

## Exhibit H

**SITE PLAN KEY NOTES**

1. SANICUT EXISTING PAVEMENT TO CLEAN EDGE (LIMITS OF PAVING) PER CITY OF FRESNO PW STD P-48.
2. EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN.
3. CONSTRUCT PROPOSED COMMERCIAL DRIVE APPROACH PER CITY OF FRESNO PW STD DWG P-2.
4. CONSTRUCT 6" CURBS WITH 24" GUTTER PER CITY OF FRESNO PW STD DWG P-9.
5. CONSTRUCT SIDEWALK PER CITY OF FRESNO PW STD DWG P-4.
6. NOT USED.
7. CONSTRUCT ACCESSIBLE RAMP PER CITY OF FRESNO STD DWG P-28.
8. PROPOSED STREET LIGHTS PER CITY OF FRESNO STD DWG S-2.
9. CONSTRUCT VALLEY GUTTER PER CITY OF FRESNO PW STD DWG P-10.
10. CONSTRUCT CASE A (5' x 6') TREE WELL PER CITY OF FRESNO PW STD DWG. P-8 AND SPECIFICATION SECTION 26-2.11C.
11. INSTALL PROPOSED "STOP" SIGN PER CITY OF FRESNO STD DWG. P-88. SEE GENERAL NOTE NO. 14.
12. INSTALL SHORT TERM BIKE RACK.
13. INSTALL LONG TERM BIKE RACK.
14. CONSTRUCT PARKING LOT PAVEMENT TO CITY OF FRESNO PW STD P-21, P-22 & P-23 (TYP), MATCH EXISTING SECTION.
15. PAINT 4" WIDE WHITE PARKING STRIPE (TYPICAL).
16. PAINT PAVEMENT MARKING INDICATED IN WHITE PAINT.
17. INSTALL DETECTABLE WARNING DEVICES PER CITY OF FRESNO PW STD. P-32.
18. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PAVEMENT MARKING 3" x 3" MINIMUM.
19. PAINT 4" WIDE PAINTED BLUE SIGN PER CITY OF FRESNO PW STD DWG. P-33.
20. PAINT "NO PARKING" PAVEMENT MARKING IN WHITE PAINT. MIN. 12" HIGH LETTERING.
21. PAINT 4" WIDE HATCHED LINES IN PAINT COLOR CONTRASTING ACCESSIBLE SURFACE. PREFERABLY BLUE OR WHITE PAINT. MAXIMUM 3" SPACING (CENTER TO CENTER).
22. INSTALL ACCESSIBLE STALL SIGNAGE. ACCESSIBLE PARKING ONLY MINIMUM FINE COMBINATION SIGN (RSC) (CA) OR SIMILAR. VAN ACCESSIBLE STALL SHALL ALSO INCLUDE "VAN ACCESSIBLE" PLAQUE (R7-8B) BENEATH PARKING SIGN. BOTTOM OF LOWEST SIGN SHALL BE INSTALLED A MINIMUM OF 80" ABOVE FINISHED GRADE.
23. INSTALL "ADA UNAUTHORIZED VEHICLES WILL BE TOWED" SIGN PER SEC. 11B-022.8, 2019 CBC AND AN ADDITIONAL 17"x22" SIGN "VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE - 20889A CALIFORNIA VEHICLE CODE - (FRESNO) POLICE DEPARTMENT 621-7000." MOUNT A MINIMUM 8" FROM BOTTOM OF LOWEST SIGN TO GROUND.
24. FUTURE ELECTRIC VEHICLE CHARGING STATION AND STALLS. REF. ELECTRICAL PLAN FOR CONDUIT ROUTING AND REQUIREMENTS.
25. PROPOSED LOW EMISSION VEHICLE PARKING. PAINT "CLEAN AIR/VANPOOL/VEV" MARKING PER 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE SEC. 5.106.5.2.1.
26. FUTURE CHARGING EQUIPMENT LOCATION (BASED ON CONFIGURATION A OF CLIPPER CREEK, INC. MODEL PND-101 CHARGING STATION).
27. FIRE ACCESS LANE - SEE RED CURB AND STRIPING REQUIREMENTS ON FIRE ACCESS SITE PLAN ON SHEET A1.3.
28. CONSTRUCT COVERED 3-CELL REFUSE CONTAINER ENCLOSURE WITH REAR PEDESTRIAN ACCESS PER CITY OF FRESNO PW STD DWG. P-33. P-35.
29. NOT USED.
30. PROPOSED ELECTRICAL TRANSFORMER LOCATION (PAD-MOUNT), SIZE IS INDICATIVE.
31. PROPOSED ELECTRICAL SERVICE CONNECTION TO BUILDING.
32. PROPOSED TELEPHONE CONNECTION TO BUILDING.
33. INSTALL SANITARY SEWER SERVICE PER CITY OF FRESNO PW STD DWG. S-1.
34. PROPOSED SEWER SERVICE CONNECTION TO BUILDING.
35. PROPOSED WATER SERVICE CONNECTION TO BUILDING.
36. PROPOSED GAS SERVICE CONNECTION TO BUILDING.
37. EMERGENCY BACK-UP POWER GENERATOR (PAD MOUNT).
38. FOD/PIV UPSTAND PIPES AND CONNECTION POINTS (LOCATION INDICATIVE, TO BE CONFIRMED AT FINAL APPLICATION).
39. WATER CONNECTION VAULT (LOCATION INDICATIVE, TO BE CONFIRMED AT FINAL APPLICATION).
40. FIRE CONNECTION VAULT (LOCATION INDICATIVE, TO BE CONFIRMED AT FINAL APPLICATION).
41. INDICATIVE SANITARY SEWER CONNECTION POINT.
42. INDICATIVE CATCH-BASIN FOR STORMWATER.
43. OUTLINE OF UPPER FLOOR ABOVE.
44. 12" WIDE DOUBLE SWING GATE.
45. 18" HIGH C&G PLASTER WITH PRECAST CONCRETE TOP CAP.
46. 18" DIAMETER CONCRETE COLUMN (PAINTED).
47. 6" HIGH PRECAST CONCRETE WHEELSTOP, TYP.
48. OUTLINE OF SOLAR PHOTOVOLTAIC ARRAY ABOVE PARKING AREA (PAINTED STEEL FRAME SUPPORT STRUCTURE WITH VERTICAL STEEL POSTS MINIMUM CLEAR HEIGHT: 9'-6" AT LOW SIDE, SLOPED -10 DEGREES TOWARD WEST OR SOUTH; MINIMUM 10' GAP PROVIDED BETWEEN STANCHIONS; MAXIMUM STANCHION LENGTH <150'; ARRAYS WILL BE TREATED AS SITE FURNISHINGS PER CODE ALLOWANCE).
49. 4" DIAMETER X 30" HIGH PAINTED STEEL BOLLARDS.
50. NEW BUS STOP SHELTER PER FAX TEMPLATE.
51. EXISTING BUS STOP SIGN TO BE REMOVED.
52. EXISTING HYDRANT TO BE REMOVED.
53. NEW HYDRANT TO BE PROVIDED TO MEET CURRENT STANDARD.
54. EXISTING 8" WATER MAIN TO REMAIN.
55. EXISTING 8" SANITARY SEWER MAIN TO REMAIN.
56. EXISTING 10" WATER MAIN - EXTEND TO BLACKSTONE AVE.
57. STORMWATER SHEET FLOW DRAINAGE PATH.
58. EXISTING 10" PUBLIC UTILITY EASEMENT TO REMAIN.
59. IVY PANEL STANCHION.
60. GARBAGE TRUCK TURNING RADIUS - SEE DIAGRAM 4/A.0.
61. PEDESTRIAN LIGHT POLE, TYP.
62. PARKING AREA LIGHT POLE, TYP.
63. 6" CURB, TYP.
64. 3'-0" PARKING OVERHANG.
65. NOT USED.
66. SLOPED SIDEWALK.
67. EXISTING WOOD FENCE, APPROX. 66" TALL TO REMAIN.
68. MAXIMUM SETBACK LINE.
69. EXISTING STOP SIGN TO REMAIN.
70. PROPOSED 2' DEDICATION TO ALLOW A 12' SIDEWALK ON SHAW.
71. BUS ROUTE IDENTIFICATION SIGN.
72. EXISTING F&D INLET TO REMAIN.
73. TEMPORARY TRASH/RECYCLING BIN LOCATION DURING COLLECTION.
74. EXISTING MEDIAN TO REMAIN.
75. EXISTING STRIPING TO REMAIN.
76. 12' SIGHT TRIANGLE.
77. 48" MIN. ACCESSIBLE PATH OF TRAVEL.
78. 12' x 48" MIN. LOADING ZONE.
79. FIRE VEHICLE ACCESS WARNING SIGN.
80. EXISTING PUBLIC FIRE HYDRANT TO REMAIN.
81. 48" WIDE SECURE ACCESS PEDESTRIAN GATE. LOCK BOX ADJACENT FOR FIRE/POLICE ACCESS. SEE KEYNOTE B4.

APPL. NO. P21-00420 EXHIBIT A DATE 05/03/2022  
 PLANNING REVIEW BY DATE  
 TRAFFIC ENG. DATE  
 APPROVED BY DATE  
**CITY OF FRESNO DARM DEPT**

**SITE LEGEND**

— SD —	PROPERTY BOUNDARY LINE	— SD —	PROPOSED STORM DRAIN (LESS THAN 12")	— SD —	PROPOSED CURB AND GUTTER
— SD —	ADJACENT PROPERTY BOUNDARY LINE	— SD —	PROPOSED STORM DRAIN	— SD —	EXISTING CURB AND GUTTER
— SD —	RIGHT OF WAY BOUNDARY LINE	— SD —	EXISTING GAS	— SD —	EXISTING SIDEWALK
— SD —	CENTER LINE OF ROAD	— SD —	PROPOSED GAS	— SD —	EXISTING SIDEWALK
— SD —	EXISTING EASEMENT LINE	— SD —	ACCESSIBLE PATH OF TRAVEL	— SD —	EXISTING SIDEWALK
— SD —	EXISTING TO REMAIN	— SD —	EXISTING TELEPHONE	— SD —	EXISTING SIDEWALK
— SD —	PROPOSED NEW	— SD —	EXISTING OVERHEAD POWER	— SD —	EXISTING SIDEWALK
— SD —	EXISTING FENCE	— SD —	EXISTING FIBER OPTIC LINE	— SD —	EXISTING SIDEWALK
— SD —	EXISTING WATER LINE	— SD —	EXISTING POWER POLE	— SD —	EXISTING SIDEWALK
— SD —	PROPOSED WATER LINE	— SD —	EXISTING SIGN	— SD —	EXISTING SIDEWALK
— SD —	EXISTING SANITARY SEWER	— SD —	PROPOSED SIGN	— SD —	EXISTING SIDEWALK
— SD —	PROPOSED SANITARY SEWER	— SD —	PROPOSED SIGN	— SD —	EXISTING SIDEWALK
— SD —	EXISTING STORM DRAIN	— SD —	PROPOSED SIGN	— SD —	EXISTING SIDEWALK

**ZONING & LAND USE INFORMATION**

LEGAL DESCRIPTION: LOTS 8, 9 AND 10 OF SIERRA VISTA PARK, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED JULY 22, 1921, IN BOOK 9 PAGE 23 OF PLATS, FRESNO COUNTY RECORDS, EXCEPTING THEREFROM THE NORTH 20 FEET OF SAID LOT 10, 63 W SHAW AVE, FRESNO, CA 93704  
 APN: 425-092-013  
 2.251 ACRES (98.0955)  
 GENERAL PLAN LAND USE DESIGNATION: CORRIDOR/CENTER MIXED USE (CMX) ZONING (EXISTING & PROPOSED)  
 COMMUNITY PLAN: BULLARD COMMUNITY PLAN  
 SPECIFIC PLAN: NOT APPLICABLE  
 DATE OF PREPARATION: 1/15/21

**PROJECT SITE & BUILDING AREAS**

PROJECT SITE AREA	98,095 SF (2.25 AC)	100.0%
EXISTING BUILDING AREA	0 SF (0 AC)	0.0%
PROPOSED GROUND FLOOR BUILDING AREA	23,399 SF (0.54 AC)	23.9%
PAVED AREA*	63,238 SF (1.45 AC)	64.4%
LANDSCAPING	11,458 SF (0.26 AC)	11.7%

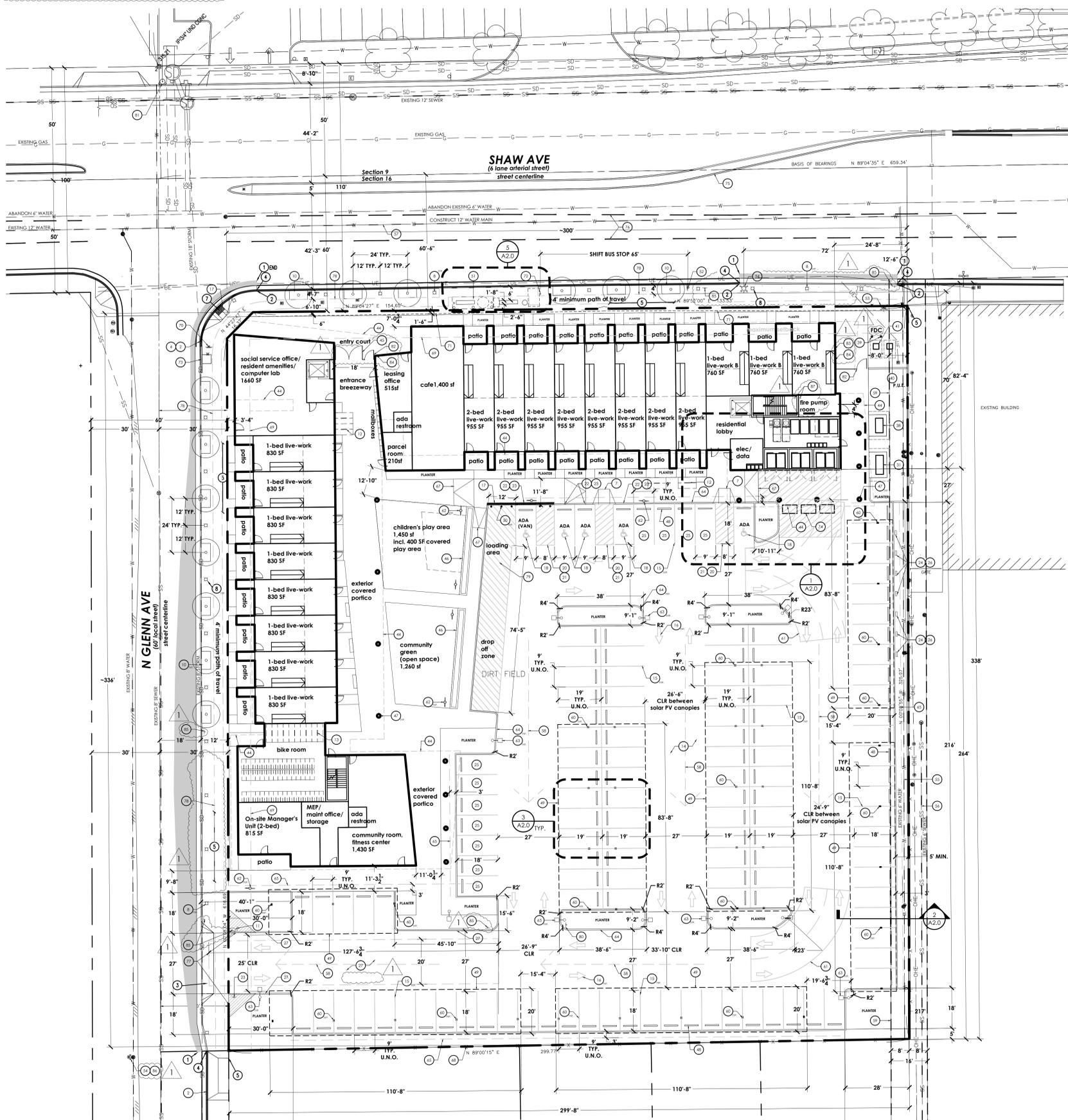
\*INCLUDES PARKING, SIDEWALKS, PRIVATE GROUND LEVEL PATIOS AND OTHER HARDSCAPED AREAS.

**PARKING SUMMARY TABLE**

TYPE	METHOD	REQUIRED	PROVIDED
VEHICLE	TABLE 5.104-8 & SEC. 15-2205 C.2.b.ii DEVELOPMENT CODE	64 (128 AFFORDABLE UNITS X 0.5)	128
ACCESSIBLE	TABLE 11B-208.2 & SEC. 11B-208.2.4, 2019 CBC	5	5
SHORT TERM BICYCLE	SEC. 5.104.4.1.1 CALGREEN STANDARDS	7 (5% OF 133 = 6.65)	8
LONG TERM BICYCLE	SEC. 5.104.4.1.1 CALGREEN STANDARDS	7 (5% OF 133 = 6.65)	40
LOW EMISSION VEHICLE	TABLE 5.106.5.2 2019 CALGREEN STANDARDS	11	11
FUTURE EV CHARGING	TABLE 5.106.5.3.3 CALGREEN STANDARDS	7	7
PARKING TO FLOOR AREA RATIO		1 SPACE PER 1,074 SF	

**GENERAL NOTES**

1. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE CURRENT PLANNING DIVISION.
2. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE FRESNO MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
3. ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
4. SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
5. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (805) 663-8800) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
6. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY (U.C. BERKELEY) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
7. OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED. ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
8. TWO (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
9. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
10. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
11. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
12. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
13. "STOP" SIGNS SHALL BE 30" STATE STANDARD AT LOCATIONS SHOWN, WHERE A "RIGHT TURN ONLY" SIGN IS ALSO REQUIRED AT THE SAME LOCATION. INSTALL A 30"x30" STATE STANDARD SIGN IMMEDIATELY BELOW THE STOP SIGN ON THE SAME POST. SIGN(S) SHALL BE MOUNTED ON A 2" GALVANIZED POST WITH THE BOTTOM OF THE LOWEST SIGN 7' ABOVE GROUND, LOCATED BEHIND CURB AND IMMEDIATELY BEHIND A MAJOR STREET SIDEWALK.
14. ALL GENERAL STANDARDS OF SECTION 15-2014 OF THE FRESNO MUNICIPAL CODE SHALL APPLY WHEN LIGHTING IS PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS.
15. DEEDS ARE REQUIRED TO PROVIDE ASSESSMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
16. ALL EXISTING DRIVE WAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK LOCATION ADJACENT IMPROVEMENTS.
17. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET ROW REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
18. CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERS AT 559-421-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
19. APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
20. FOR STANDARD DRAWINGS VISIT <https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/CityofFresnoStandardDrawings2016Feb.pdf>
21. FOR TRAFFIC PLANNING'S SAMPLES, ADDITIONAL NOTES, SAMPLES OF LEGEND, PARKING MANUAL, AND TRAFFIC STUDY CHECKLIST VISIT <https://www.fresno.gov/publicworks/traffic-engineering/tab-2>
22. TRAFFIC PLANNING CHECKLIST LINK <https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2019/04/Traffic-Planning-Checklist-04-19.pdf>
23. FOR TRAFFIC STUDY QUESTIONS PLEASE CONTACT JILL GORMLEY AT (559) 621-8792 OR VIA EMAIL AT [Jill.Gormley@fresno.gov](mailto:Jill.Gormley@fresno.gov).
24. ALL OFF-SITE TREE WELLS WILL BE IRRIGATED THROUGH AN AUTOMATIC CONTROL VALVE ACTUATED BY AN IRRIGATION CONTROLLER PROVIDED ON SITE. THE TREE WELLS WILL HAVE A SEPARATE ROOT WATERING SYSTEM CONTROLLED BY THEIR OWN IRRIGATION CONTROL.
25. ALL PAVING IN THE RIGHT OF WAY TO BE CONSTRUCTED PER CITY OF FRESNO STANDARD DRAWINGS P-41, P-42 & P-43.
26. LOADING ZONE(S) SHALL NOT BE LOCATED IN REQUIRED FIRE LANES.
27. ALL TYPES OF VEHICLE ACCESS SHALL MAINTAIN A MINIMUM OF 15 FEET 6 INCH VERTICAL CLEARANCE OVER THE ENTIRE WIDTH OF THE ACCESS. SOLAR PV STANCHIONS WILL BE CLEAR OF THIS MINIMUM HEIGHT.
28. ALL TYPES OF ACCESS SHALL NOT EXCEED A 10 PERCENT GRADE OR CONTAIN ANY IRREGULARITY CREATING AN ANGLE OF APPROACH OR DEPARTURE IN EXCESS OF 10 PERCENT, EXCEPT AS APPROVED BY THE FIRE MARSHAL (OR DESIGNEE).
29. ALL GATES ACROSS FIRE HOSE AND EQUIPMENT ACCESS POINTS SHALL BE A MINIMUM OF 4 FOOT CLEAR WIDTH.
30. ALL REQUIRED FIRE HOSE AND EQUIPMENT ACCESS GATES SHALL REMAIN UNLOCKED OR BE PROVIDED WITH POLICE/FIRE BYPASS LOCKS ("BEST" PADLOCK MODEL 218700 SERIES) A KNOX PADLOCK MAY NOT BE USED. POLICE/FIRE BYPASS LOCKS CAN BE PURCHASED ONLY THROUGH SIERRA LOCK & GLASS, 1500 N. PALM AVENUE, FRESNO, CA 93728.
31. PUBLIC STREET HYDRANT (S) MUST BE INSTALLED, COORDINATE LOCATION WITH PUBLIC WORKS.
32. FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED, TESTED AND APPROVED AND SHALL BE MAINTAINED SEPARATELY PRIOR TO AND DURING ALL PHASES OF DEVELOPMENT. THE 4" INCH OUTLET SHALL FACE THE ACCESS LANE.
33. ACCESS ROADWAYS SHALL BE CONSTRUCTED WITHIN 10 FEET OF THE FIRE HYDRANT.



**SITE PLAN AND LEVEL 1 FLOOR PLAN**

**YBA architects**  
 PRELIMINARY  
 NOT FOR CONSTRUCTION

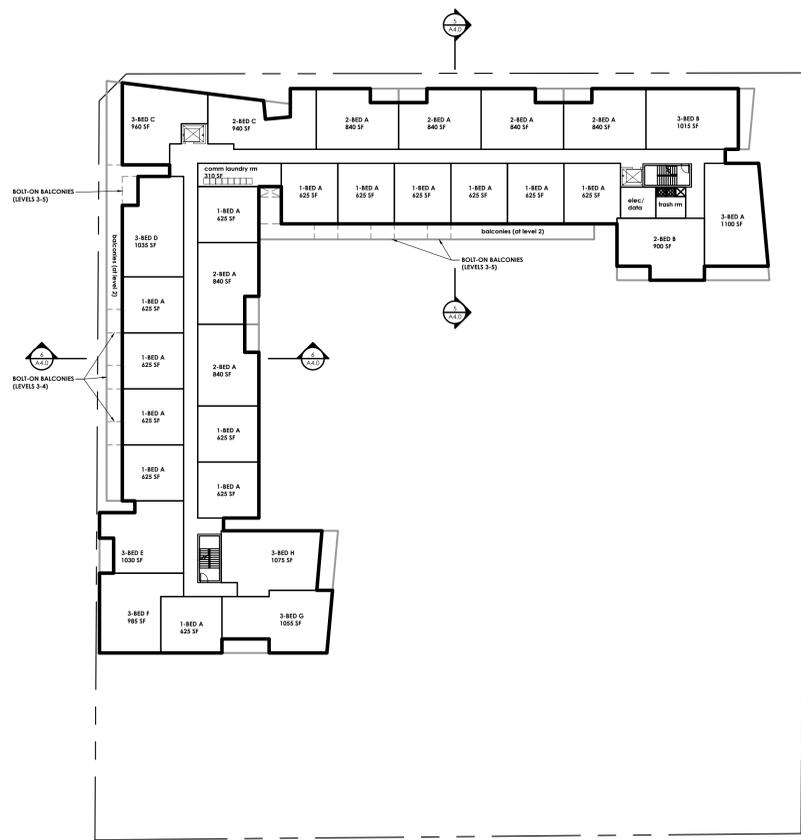
**THE GLENN**  
 63 W SHAW, AVENUE  
 FRESNO, CA 93704

DEVELOPMENT PERMIT APPLICATION  
 SITE PLAN AND LEVEL 1 FLOOR PLAN

REVISIONS:  
 DATE: 01.15.2021  
 JOB NO: 190420

**A1.0**  
 SCALE: 1"=20'-0"

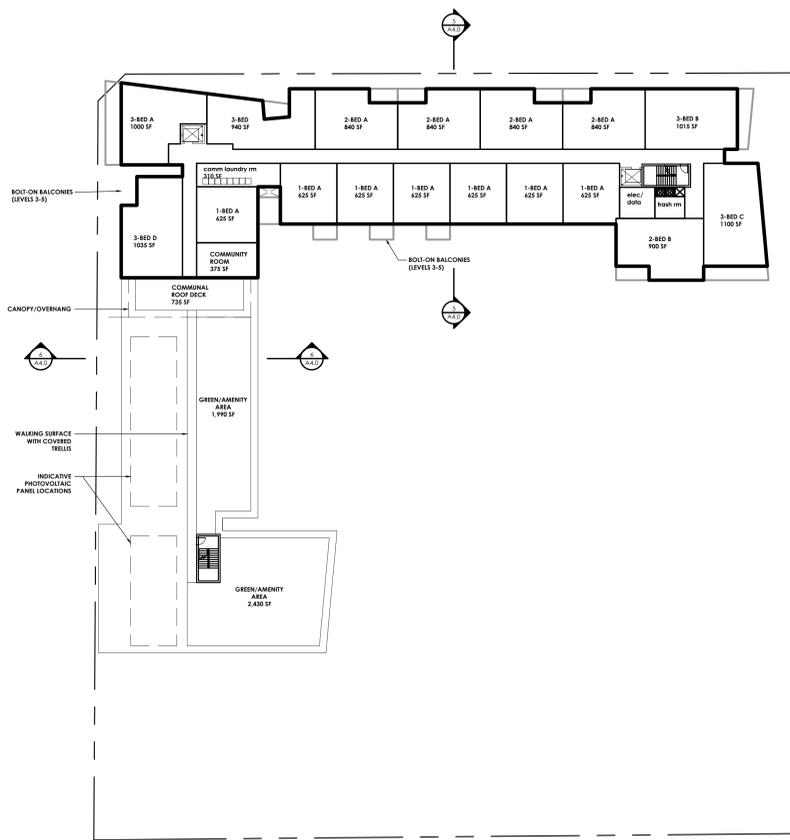




1 LEVELS 2-4 FLOOR PLAN

A3.0

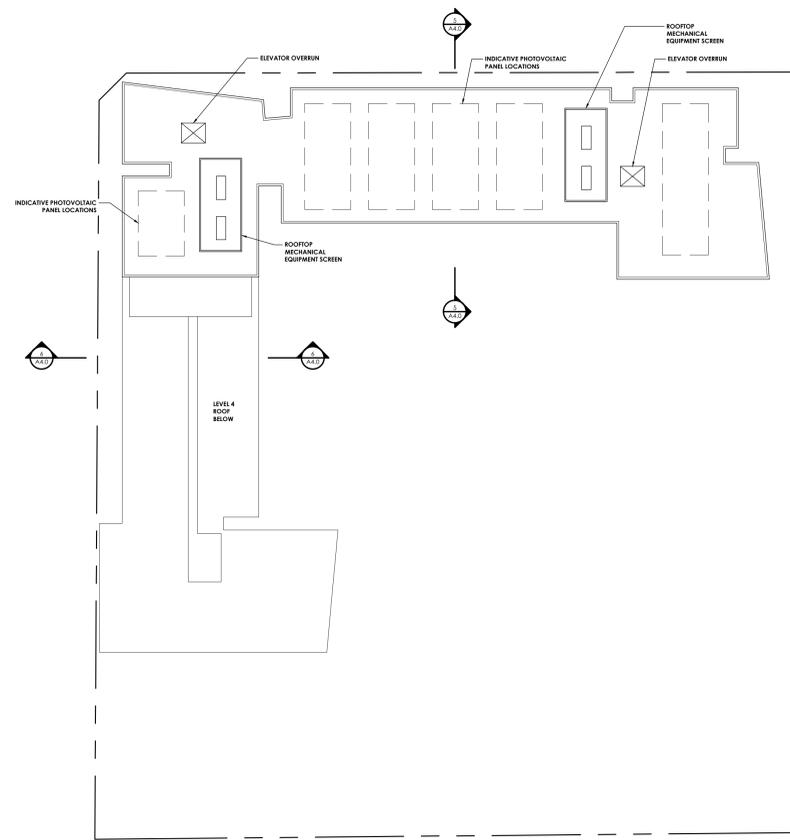
SCALE: 1"=30'-0"



2 LEVEL 5 FLOOR PLAN

A3.0

SCALE: 1"=30'-0"



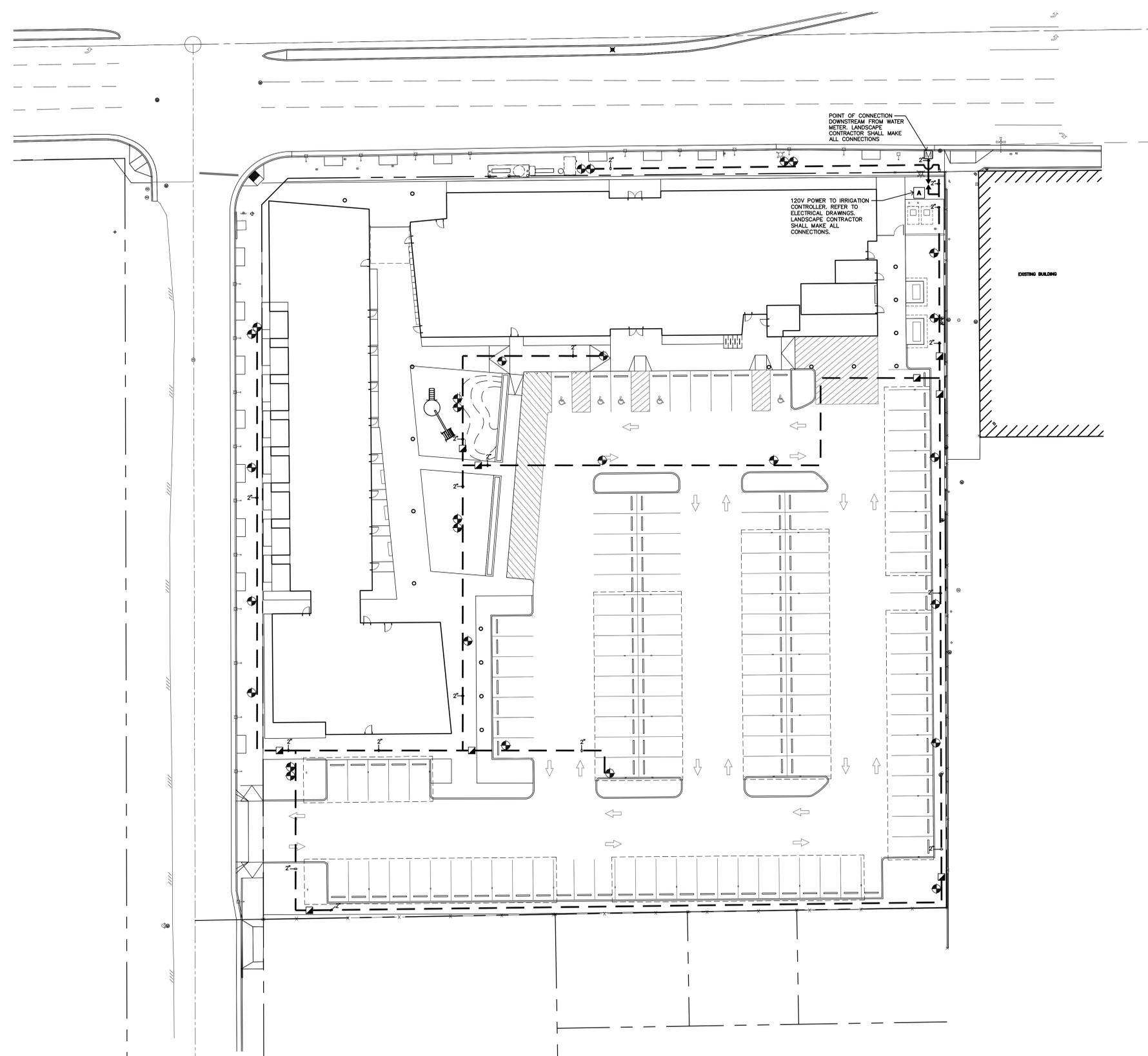
3 ROOF PLAN

A3.0

SCALE: 1"=30'-0"



APPL. NO. P21-00420 EXHIBIT L-1 DATE 05/20/22  
PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF FRESNO DARM DEPT



**IRRIGATION LEGEND**

SYM.	MANUFACTURER & DESCRIPTION
◻	DOMESTIC BRONZE MAINLINE BALL VALVE, SIZE PER MAINLINE.
◀▶	FEBCO 825 Y SERIES REDUCED PRESSURE BACKFLOW PREVENTOR
▲	IRRITROL SYSTEMS MC-42 PLUS CONTROLLER
⊕	IRRITROL SYSTEMS CENTURY SERIES 100 FC CONTROL VALVE W/ FLOW CONTROL
---	SCH 40 PVC MAINLINE, SIZE AS NOTED.

- MWELO NOTES**
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
  - CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW DRAINAGE COULD OCCUR.
  - A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
  - A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
  - AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
  - WATER SUPPLY: CITY OF FRESNO WATER DIVISION
  - TOTAL LANDSCAPE AREA: S.F.



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**REVISIONS**

NO.	DATE	NO.	DATE
△	05-18-22	△	
△		△	
△		△	
△		△	
△		△	

DRAWN | TEAM  
CHECKED | RV  
SCALE | 1" = 20'-0"  
JOB NO. | 21-2852  
DATE | 01-06-21

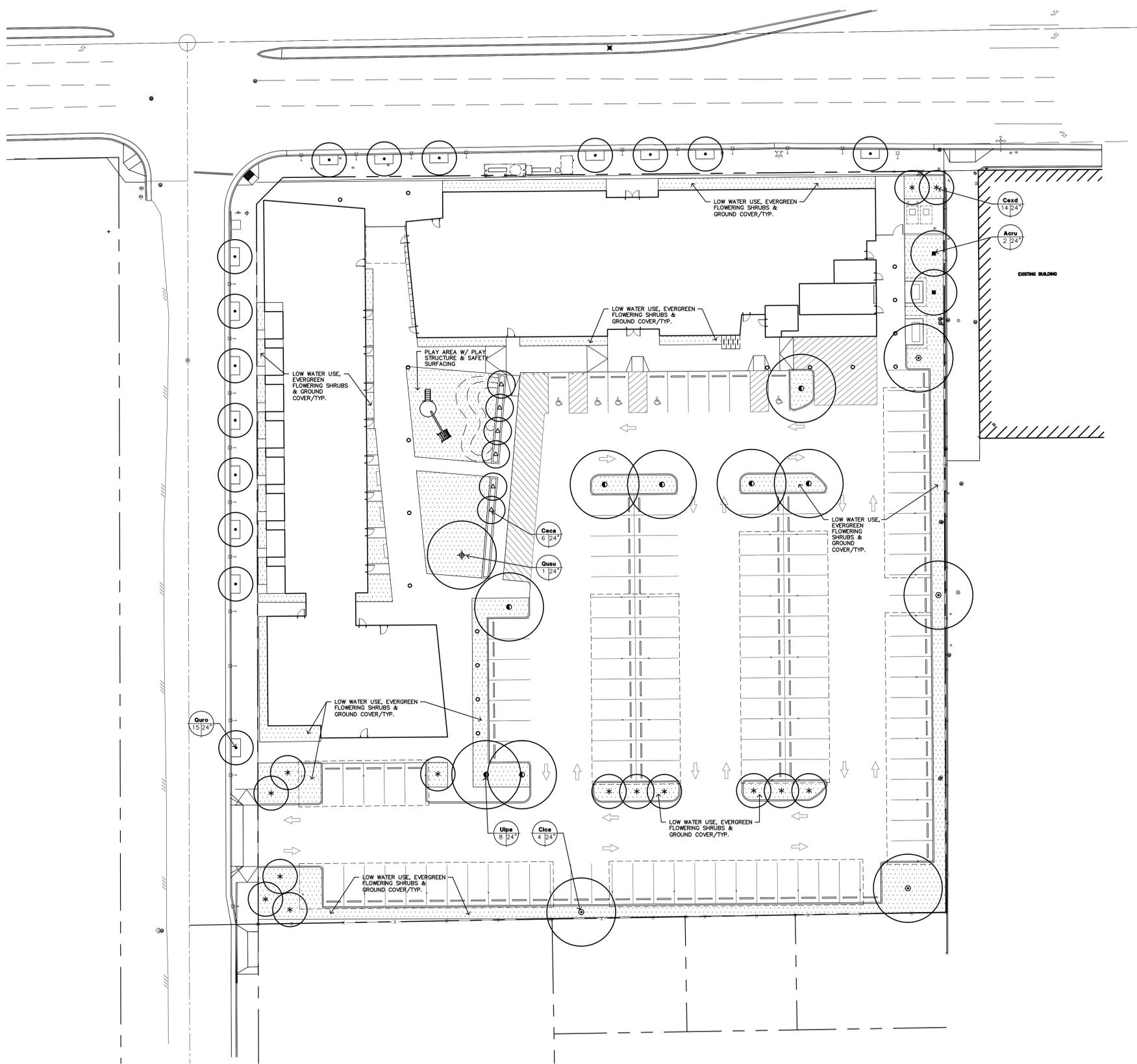
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SHEET NO.  
OF **L100**

**IRRIGATION PLAN**  
1" = 20'-0"

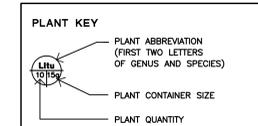


\\SITE-PC\Boro\_Archives\21\21-2852\PLANNING BACKCHECK FOLDER\boro plan.dwg 5-18-22 03:11:09 PM Kaitlyn

APPL. NO. P21-00420 EXHIBIT L-2 DATE 09/23/22  
PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
**CITY OF FRESNO DARM DEPT**



Symbol	Botanical Name	Common Name	Size	Quantity	Comments
Acru	<i>Acacia saligna</i> 'Redpointe'	Red Maple	24" Box	2	STANDARD, TRIPLE-STAKED.
Caca	<i>Cercis canadensis texensis</i> 'Oklahoma'	Oklahoma Redbud	24" Box	6	STANDARD, TRIPLE-STAKED.
Cexd	<i>Cercidium</i> x 'Desert Museum'	Palo Verde	24" Box	14	STANDARD, TRIPLE-STAKED.
Cica	<i>Cinnamomum camphora</i>	Camphor Tree	24" Box	4	STANDARD, TRIPLE-STAKED.
Quro	<i>Quercus robur</i> 'Fastigiata x Regal Prince'	Upright English Oak	24" Box	15	STANDARD, TRIPLE-STAKED.
Qusu	<i>Quercus suber</i>	Cork Oak	24" Box	1	STANDARD, TRIPLE-STAKED.
Uipa	<i>Ulmus parvifolia</i> 'Emer II'	Chinese Elm	24" Box	8	STANDARD, TRIPLE-STAKED.



**CITY OF FRESNO APPROVAL REQUIREMENTS**

- TREES PLANTED WITHIN THE RIGHT-OF-WAY SHALL BE PLANTED BY THE PROPERTY OWNER AFTER FIRST OBTAINING A STREET TREE PLANTING PERMIT AND A STREET WORK PERMIT. NOTIFY THE PUBLIC WORKS DEPARTMENT TO VERIFY THE TREE PLANTING LOCATIONS 72 HOURS PRIOR TO ANY EXCAVATION.
- TREES PLANTED IN THE RIGHT-OF-WAY SHALL BE LOCATED WITH THE FOLLOWING MINIMUM SETBACKS:  
30' FROM STREET CORNERS FOR VISIBILITY & 15' FROM DRIVEWAYS, STOP SIGNS, ALLEYS, LIGHT POLES AND POWER POLES  
10' FROM FIRE HYDRANTS & 8' FROM SEWER LINES  
5' FROM BUILDING OVERHANGS AND 2' FROM ADJACENT CONCRETE AND ADJOINING PROPERTY LINES  
3' FROM GAS, ELECTRICAL, AND WATER LINES, AND ROOF DRAINS
- DRILLING TO PIERCE HARDPAV SHALL BE REQUIRED PRIOR TO PLANTING EACH STREET TREE. NOTIFY CONSTRUCTION MANAGEMENT (559-621-5600) 2 WORKING DAYS IN ADVANCE OF DRILLING DATE FOR INSPECTION OF DRILLING OPERATIONS AND TO CHECK BACKFILL PROCEDURES AND SAFETY BARRIERS.
- DRILLING SHALL BE COMPLETED WITHIN THE 14 DAYS FOR WHICH CLEARANCE WAS OBTAINED FOR APPROVED LOCATIONS. HOLES SHALL BE 2 FEET IN DIAMETER AND DRILLED TO A DEPTH WHERE VISUAL EVIDENCE OF THE SUBSURFACE AND SAND OR GRAVEL DRAINAGE STRATUM IS APPARENT; THE DRAINAGE HOLE SHALL BE DRILLED TO A MINIMUM OF 10 FEET DEEP. IMMEDIATELY FOLLOWING DRILLING, THE HOLE SHALL BE BACKFILLED WITH SOIL DRILLED FROM THE HOLE, USING SUFFICIENT WATER TO THOROUGHLY SATURATE THE BACKFILL MATERIAL. IMMEDIATELY FOLLOWING BACKFILLING, THE WHITE SPOT DESIGNATING THE PLANTING SITE IS PAINTED BLACK TO INDICATE THE SITE HAS BEEN DRILLED. THE DRILLED SITES ARE BARRICADED AND CHECKED DAILY FOR 5 WORKING DAYS FOR SOIL SETTLING. SOIL LEVELS ARE ADJUSTED AS NECESSARY DURING THIS TIME. AFTER 7 DAYS, THE BARRICADES AND EXCESS SOIL ARE REMOVED. SOIL SHALL BE ALLOWED TO SETTLE FOR A MINIMUM OF 20 DAYS PRIOR TO PLANTING.
- THE PROPERTY OWNER IS REQUIRED TO PROVIDE A DRIP IRRIGATION SYSTEM TO EACH STREET TREE BEFORE OCCUPANCY. THE IRRIGATION SYSTEM SHALL COMPLY WITH FMC 12-306-N-23.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT THE LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT & RESOURCE MANAGEMENT DEPARTMENT.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING & IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION OF THE DEVELOPMENT & RESOURCE MANAGEMENT DEPARTMENT.
- DEVELOPMENT SHALL COMPLY WITH PUBLIC WORKS DEPARTMENT STREET TREE REQUIREMENTS. CONTACT HILARY KIMBER AT (559) 621-1345 FOR INFORMATION.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED LANDSCAPE AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPT BACKFLOW PREVENTION DEVICES), ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- THE OWNER/OCCUPANT SHALL PROPERLY MAINTAIN ALL LANDSCAPING TO ASSURE CONTINUOUS HEALTHY PLANT GROWTH. ANY UNHEALTHY OR DEAD LANDSCAPING SHALL BE REMOVED AND REPLANTED BY THE OWNER IN ACCORDANCE WITH APPROVED LANDSCAPE PLANS.

**PARKING LOT SHADING**

TOTAL SQUARE FOOTAGE OF PAVED PARKING SURFACE:	29,737 S.F.
REQUIRED SQUARE FOOTAGE OF SHADED PARKING SURFACE (50%):	14,869 S.F.
<b>TREE CANOPY AREA</b>	
LARGE: 30' - 35' DIA. 100% @ 962 S.F.	
CINNAMOMUM camphora	4
ULMUS parvifolia	7
TOTAL LARGE TREES:	11 @ 962 S.F.
TOTAL LARGE SQUARE FOOTAGE:	10,582 S.F.
<b>SMALL: 15' - 20' DIA. 100% @ 314 S.F.</b>	
CERCIS canadensis texensis 'Oklahoma'	6
CERCIDIUM x 'Desert Museum'	12
TOTAL SMALL TREES:	18 @ 314 S.F.
TOTAL SMALL SQUARE FOOTAGE:	5,652 S.F.
GRAND TOTAL SQUARE FOOTAGE:	16,234 S.F.
PERCENTAGE OF PAVED PARKING SURFACE SHADED:	50%

**MWEO NOTES**

- RECYCLING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



All designs, ideas and information shown on these drawings and specifications are and shall remain the property of Robert Boro, Landscape Architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of Robert Boro, Landscape Architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

NO.	DATE	NO.	DATE
△	05-18-22	△	
△		△	
△		△	
△		△	
△		△	

DRAWN | TEAM  
CHECKED | RV  
SCALE | 1" = 20'-0"  
JOB NO. | 21-2852  
DATE | 01-06-21

SHEET TITLE  
**PLANTING PLAN**  
SHEET NO.  
OF **L200**

**PLANTING PLAN**  
1" = 20'-0"



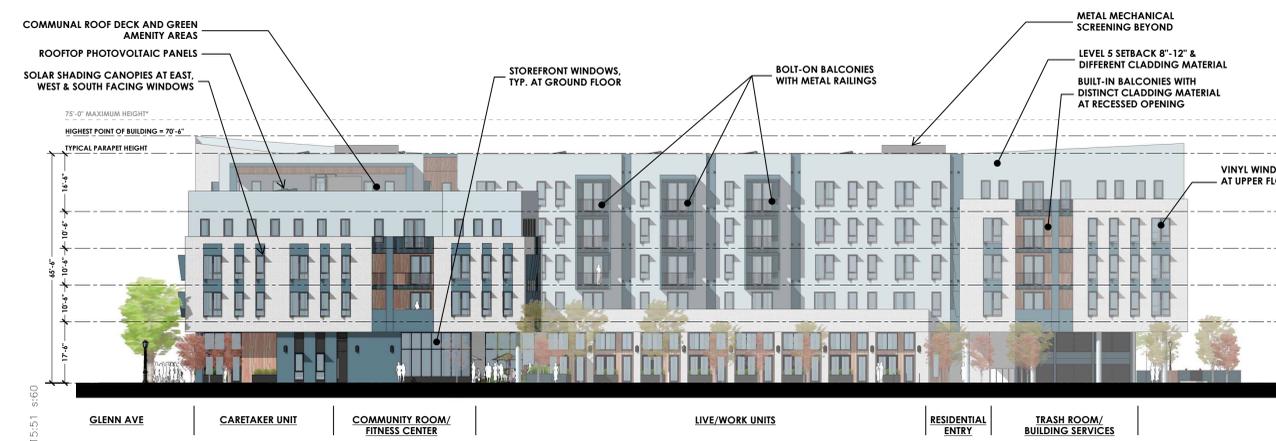
\\SITE-PC\Boro\_Archives\21-2852\PLANNING\BACKCHECK\_FOLDERS\Boro\_plant.dwg 5-18-22 03:10:32 PM kstjty



**1 NORTH ELEVATION (SHAW AVE FRONTAGE - 91.6% BUILDING COVERAGE)** \* MAX BUILDING HEIGHT PER FMC SECTION 15-2102 A, B & C.3 & SECTION 15-2103 A. SCALE: 1"=20'-0"



**2 EAST ELEVATION** \* MAX BUILDING HEIGHT PER FMC SECTION 15-2102 A, B & C.3 & SECTION 15-2103 A. SCALE: 1"=20'-0"



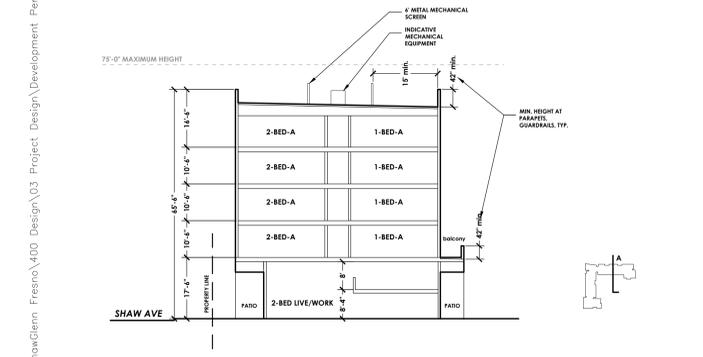
**3 SOUTH ELEVATION** \* MAX BUILDING HEIGHT PER FMC SECTION 15-2102 A, B & C.3 & SECTION 15-2103 A. SCALE: 1"=20'-0"



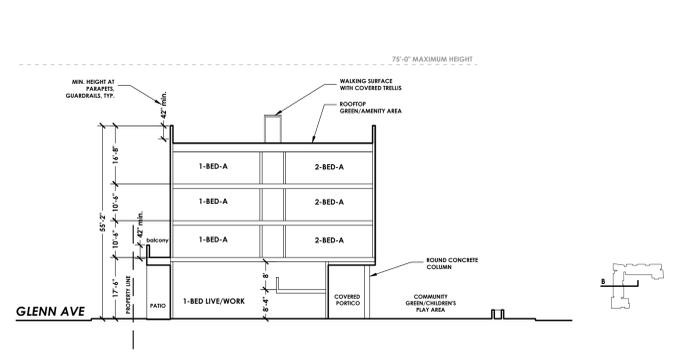
**4 WEST ELEVATION** \* MAX BUILDING HEIGHT PER FMC SECTION 15-2102 A, B & C.3 & SECTION 15-2103 A. SCALE: 1"=20'-0"

**ELEVATION MATERIAL LEGEND**

- STUCCO
- BRICK TILE
- T&G WOOD CLADDING



**5 BUILDING SECTION - A** SCALE: 1"=20'-0"



**6 BUILDING SECTION - B** SCALE: 1"=20'-0"

**THE GLENN**  
 63 W SHAW, AVENUE  
 FRESNO, CA 93704

DEVELOPMENT PERMIT APPLICATION  
 EXTERIOR ELEVATIONS & BUILDING SECTIONS

REVISIONS:  
 DATE: 01.15.2021  
 JOB NO: 190420

APPL. NO. P21-00420 EXHIBIT E DATE 08/30/2021  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO DARM DEPT

**A4.0**

Y:\190420-ShawGlenn Fresno\400 Design\03 Project Design\Development Permit\ShowGlenn - Development Permit\_Sheets.dwg\A4.0 EXT ELEVATIONS - TimSchneider 04/22/21 15:51 s:60