

Exhibit I



1508 TOLLHOUSE ROAD, SUITE 'C'
CLOVIS, CALIFORNIA 93611
559-298-3060 (OFFICE)
559-298-3267 (FAX)

1. LOCATION OF EXISTING PROPERTY LINE TO REMAIN.
2. LOCATION OF EXISTING CONCRETE PUBLIC SIDE WALK TO REMAIN.
3. LOCATION OF EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
4. LOCATION OF EXISTING CMU BLOCK WALL TO REMAIN.
5. LOCATION OF EXISTING FENCE TO REMAIN.
6. LOCATION OF EXISTING ELECTRICAL SWITCHGEAR TO REMAIN.
7. LOCATION OF EXISTING LANDSCAPE AND IRRIGATION TO REMAIN.
8. LOCATION OF WOOD FENCE, FENCE POST ON CMU BLOCK TO REMAIN.
9. LOCATION OF EXISTING PUBLIC UTILITY EASEMENT/STORM DRAIN EASEMENT TO REMAIN.
10. LOCATION OF EXISTING PG&E POWER POLE TO REMAIN.
11. LOCATION OF EXISTING OVERHEAD UTILITIES TO REMAIN.
12. LOCATION OF EXISTING WROUGHT IRON FENCE, FENCE POSTS AND FOOTINGS TO REMAIN.
13. LOCATION OF EXISTING ELECTRICAL VAULT TO REMAIN.
14. LOCATION OF EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
15. DASHED LINES INDICATES EXISTING WOOD FENCE, FENCE POST AND FOOTINGS TO BE REMOVED.
16. DASHED LINES INDICATE EXISTING SIGN TO BE REMOVED.
17. LOCATION OF EXISTING POWER POLE GUY WIRE TO BE REMOVED AND RELOCATED.
18. DASHED LINES INDICATE EXISTING CONCRETE FLATWORK TO BE REMOVED.
19. DASHED LINE INDICATES EXISTING GATES, CHAINLINK FENCE, FENCE POSTS AND FOOTINGS TO BE REMOVED.
20. LOCATION OF EXISTING LANDSCAPE AND IRRIGATION TO BE REMOVED.

SITE DATA:
 SITE ADDRESS: 3147 EAST GETTYSBURG AVENUE
 FRESNO, CALIFORNIA 93726
 APN: 427-261-25 - 427-261-26
 LAND AREA: ±1.99 ACRES NET (±86,994 SQ. FT.)
 ZONING DESIGNATION: O (OFFICE) C

BUILDING 1 DATA:
 OCCUPANCY TYPE: GROUP "B", 1-2,1, & 5-1* (MEDICAL OFFICE)
 TYPE OF CONSTRUCTION: TYPE I-B (SPRINKLERED)
 NUMBER OF STORIES: ONE STORY
 ALLOWABLE AREA: 44,000 SQ.FT. (1-2) 11,000 SQ.FT. (5-1)*
 ACTUAL BUILDING HEIGHT: 12'-0" MAX
 FIRE SPRINKLERED: YES (DIFFERED SUBMITTAL)
 FIRE ALARM: YES (DIFFERED SUBMITTAL)
 GROSS BUILDING AREA: ±11,360 SQ. FT.
 ALLOWABLE VS ACTUAL AREA: 44,000 SQ.FT. > ±11,360 SQ. FT.

BUILDING 2 DATA:
 OCCUPANCY TYPE: GROUP "B" (MEDICAL OFFICE)
 TYPE OF CONSTRUCTION: TYPE V-B (SPRINKLERED)
 NUMBER OF STORIES: SINGLE STORY
 ALLOWABLE AREA: 27,000 SQ.FT.
 ACTUAL BUILDING HEIGHT: 13'-0" MAX
 FIRE SPRINKLERED: YES (DIFFERED SUBMITTAL)
 FIRE ALARM: YES (DIFFERED SUBMITTAL)
 GROSS BUILDING AREA: ±5,000 SQ. FT.
 ALLOWABLE VS ACTUAL AREA: 27,000 SQ.FT. > ±5,000 SQ. FT.

PARKING DATA:

MEDICAL CLINIC: 1 PER EXAM ROOM; PLUS 1 PER 300 SQ.FT. OF AREA USED FOR OFFICE, CLINIC, TESTING, RESEARCH, ADMINISTRATION, AND SIMILAR ACTIVITIES ASSOCIATED WITH THE PRINCIPAL USE.

BUILDING 1 REQUIRED PARKING STALLS:
35 STATIONS + 1 ISO ROOMS = 36 STALLS,
11,360 SQ.FT. / 300 = 38 STALLS,
36 + 38 = 74 PARKING STALLS REQUIRED.

BUILDING 2 REQUIRED PARKING STALLS:
6 EXAM ROOMS = 6 STALLS,
5,010 SQ.FT. / 300 = 17 STALLS,
6 + 17 = 23 PARKING STALLS REQUIRED.

TOTAL PARKING STALLS REQUIRED:	97 STALLS
STANDARD STALLS PROVIDED:	74 STALLS
ACCESSIBLE STALLS:	4 STALLS
ACCESSIBLE VAN STALLS:	2 STALLS
EVCS STALLS (4 EVSE STALLS TO BE INSTALLED):	17 STALLS
TOTAL STALLS PROVIDED:	97 STALLS
PARKING RATIO 97 x 1,000 / 16,370 = 5.92):	5,921,000
SHORT-TERM BICYCLE PARKING REQUIRED:	5 SHORT-TERM
SHORT-TERM BICYCLE PARKING PROVIDED:	6 SHORT-TERM
LONG-TERM BICYCLE PARKING REQUIRED:	2 SHORT-TERM
LONG-TERM BICYCLE PARKING PROVIDED:	2 SHORT-TERM

GENERAL NOTES

- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY - A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-107 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY - THE INTERNATIONAL SYMBOL OF TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED PARKER SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (416) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY (SOUTHERN SAN JOAQUIN VALLEY) INFORMATION CENTER (PHONE: (805) 644-2294) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS - AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE SITE BUT, THE SITE SHALL BE FORFEITED TO THE COUNTY AND RECOMMENDATION MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF CALIFORNIA PALEONTOLOGISTS - AN ANIMAL FOSSIL ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED - ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET SURFACES AS PART OF THE SPECIAL PERMIT BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING CONCRETE CURBS, DRIVEWAYS AND FACILITIES DAMAGED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
- UNDERGROUND ALL EXISTING OFF-ROAD OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/Map as per FPM SEC 15-4114.
- ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER; FIRE HYDRANTS WILL BE RELOCATED AT THE CITY'S EXPENSE, DEVELOPER TO OBTAIN A CITY WATER METER DIVISION # 62-5330, TO ARRANGE AND COORDINATE WORK.
- SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.
- SUBMIT STREET LIGHTING PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.
- CONTACT THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES (PHONE: (559) 486-3229) REGARDING THE CONSTRUCTION OF ANY OVERHEAD, SURFACE OR SUB-SURFACE STRUCTURES AND APPURTENANCES IN THE PUBLIC RIGHT OF WAY. IF AN ENCROACHMENT COVENANT IS REQUIRED, PROVIDE EVIDENCE OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY, OBTAIN THE CITY ENGINEER'S APPROVAL FOR THE REQUIRED STREET CONSTRUCTION PLANS. CONSTRUCT ALL IMPROVEMENTS IN ACCORDANCE WITH THE CITY OF FRESNO, PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS. THE CONSTRUCTION OF ANY WORK WITHIN THE PUBLIC STREET RIGHT OF WAY (INCLUDING PEDESTRIAN AND UTILITY EASEMENTS) REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. WHEN PREPARING STREET PLANS AND/OR TRAFFIC CONTROL PLANS, CONTRACTORS SHALL COMPLY WITH THE CITY OF FRESNO 8807, 10 WORKING DAYS IN ADVANCE, TO MAKE SURE THAT SIDEWALKS OR AN APPROVED ACCESSIBLE PATH REMAIN OPEN DURING CONSTRUCTION. SUBMIT CONSTRUCTION PLANS TO THE REGIONAL PLANNING AND DEVELOPMENT DIVISION OF THE CITY OF FRESNO, TRAFFIC AND ENGINEERING SERVICES DIVISION. THE CITY ENGINEER SHALL DETERMINE IF UTILITY POLES, STREETLIGHTS, ETC. REQUIRE RELOCATION.
- PER PRELIMINARY TITLE REPORT - 88 - ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM THE EXPRESSWAY HAVE BEEN REQUINERED IN THE DOCUMENT RECORDED MAY 29, 1962 AS BOOK 486, PAGE 820 OF OFFICIAL RECORDS, #10 - ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM THE EXPRESSWAY HAVE BEEN REQUINERED IN THE DOCUMENT RECORDED JUNE 08, 1962 AS BOOK 486, PAGE 150 OF OFFICIAL RECORDS.
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS.
- ALL PROPOSED BUILDING(S) OR STRUCTURE(S) CONSTRUCTED ON THE PROPERTY MUST COMPLY WITH THE PREVAILING CALIFORNIA BUILDING CODE STANDARDS.
- ALL GENERAL STANDARDS OF SECTION 15-205 OF THE FRESNO MUNICIPAL CODE SHALL APPLY WHEN PROVIDING OR PROVIDING UNILATERAL PARKING, SALES OR DISPLAY AREAS, DEPICT ALL PROPOSED LIGHTINGS ON THE SITE PLAN.
- BICYCLE PARKING SPACES SHALL BE SUPPLIED ACCORDING TO TABLE 15-2423-D, REQUIRED ON-SITE BICYCLE PARKING SPACES OF THE FRESNO MUNICIPAL CODE. EACH BICYCLE PARKING SPACE SHALL BE A MINIMUM OF 10 FEET, 30 INCHES IN LENGTH AND EIGHT FEET IN LENGTH AND SHALL BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE. AT LEAST 30 INCHES OF CLEARANCE SHALL BE PROVIDED BETWEEN BICYCLE PARKING SPACES AND THE WALLS, POLES, LANCES IN BOTH AN OVERHEAD CLEARANCE AND A MINIMUM OF 30 INCHES OF CLEARANCE SHALL BE PROVIDED FOR BICYCLE MANEUVERING BESIDE OR BETWEEN EACH ROW, WHEN MULTIPLE ROWS ARE PROPOSED. BICYCLE PARKING SPACES SHALL NOT ENCRUCH INTO PEDESTRIAN WALKWAYS, LANDSCAPE AREAS OR REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMAL TO STRUCTURES.
- ALL GENERAL PROVISIONS OF SECTION 15-2403 OF THE FRESNO MUNICIPAL CODE SHALL APPLY TO ALL PARKING AREAS.
- SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALKS IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF FRESNO,
COUNTY OF FRESNO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS.

PARCEL 1:
THE SOUTH 150 FEET OF THE WEST 150 FEET OF THE EAST 395 FEET OF THE WEST
1/2 OF LOT 4 IN BLOCK "B" OF WOLTERS COLONY, ACCORDING TO THE MAP THEREOF
RECORDED IN BOOK 2 PAGE 10 OF PLATS, IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.

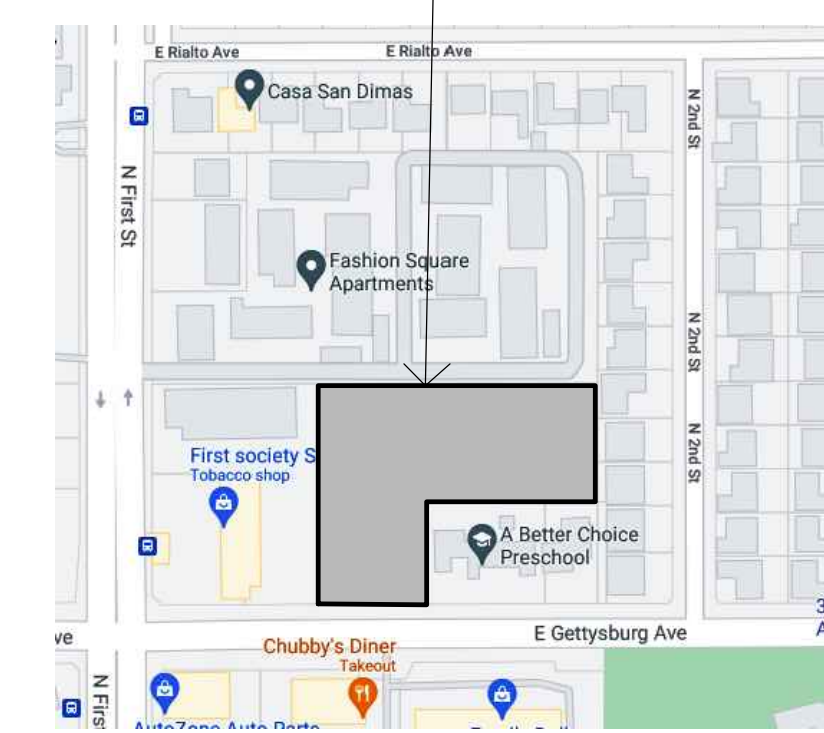
APN: 427-261-26

PARCEL 2:
THE NORTH 160 FEET OF THE SOUTH 310 FEET OF THE EAST 395 FEET OF THE
WEST 1/2 OF LOT 4 IN BLOCK 'B' OF WOLTERS COLONY, ACCORDING TO THE MAP
THEREOF RECORDED IN BOOK 2 PAGE 10 OF PLATS, IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.

APN: 427-261-25

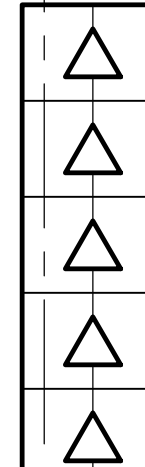
VICINITY MAP

— INDICATES PROJECT LOCATION



N.T.S.

REVISIONS



IDENTIFICATION

Scale	1"=20'-0"
Project Coordinator	BRYAN POK
Project No.	21-159

A-0.0

ADJACENT PARCEL N.I.C.
(ZONING: RM-1 RESIDENTIAL MULTI-FAMILY
APN:427-360-91)

PROPOSED AREA
64,504 SF
(ZONING: OFFICE
APN: 427-261-25)

PROPOSED AREA
22,490 SF
(ZONING: OFFICE
APN: 427-261-26)

ADJACENT PARCEL
N.I.C.
(ZONING: OFFICE
APN: 427-261-40)

ADJACENT PARCEL
N.I.C.
(ZONING: SINGLE-FAMILY
RESIDENTIAL
APN: 427-261-29)

APPL. NO. P23-00186 EXHIBIT A-1 DATE 03/30/2023

PLANNING REVIEW BY _____ DATE _____

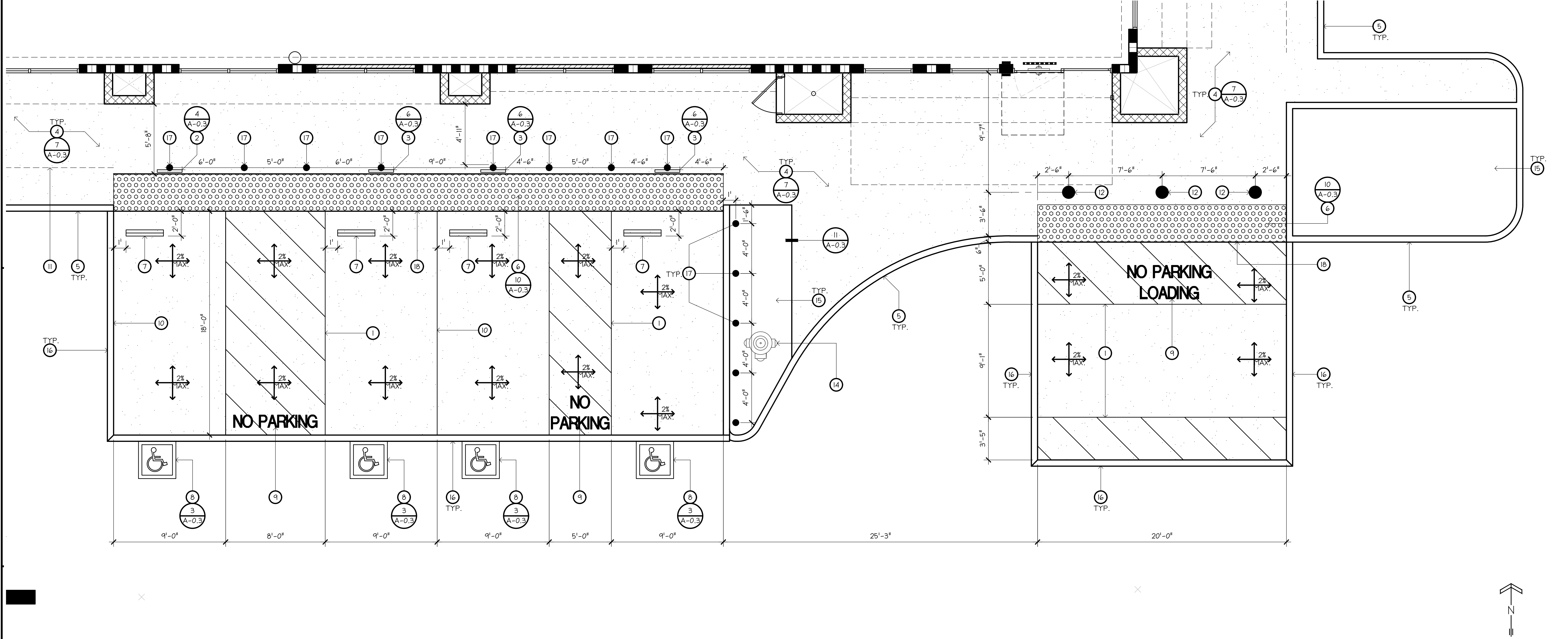
TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

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REFERENCE/DEMO SITE PLAN



PROPOSED KEYED NOTES

- LOCATION OF NEW STRIPING AT ACCESSIBLE PARKING STALL(S) - ALL PERIMETER/BOARDER STRIPING OF UNLOAD ZONE SHALL BE PAINTED BLUE - INFILL AND PARKING STRIPING SHALL BE PAINTED WHITE (INFILL STRIPING SHALL BE AT 45 DEGREES AND AT 36" O.C. MAXIMUM WITHIN "NO PARKING" ZONE) - 2% MAX SLOPE IN ALL DIRECTIONS AT ACCESSIBLE PARKING STALLS AND ACCESS AISLES.
- LOCATION OF NEW POLE MOUNTED "VAN" ACCESSIBLE PARKING SIGNAGE - REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE - REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW CONCRETE FLATWORK (5% MAXIMUM SLOPE WITH 2% MAXIMUM CROSS SLOPE) - PROVIDE CONTROL JOINTS AND EXPANSION JOINTS AS SHOWN - CONTROL AND EXPANSION JOINTS SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" DIA. - REFER TO DETAILS AND CIVIL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW 6" CONCRETE CURB.
- LOCATION OF NEW TRUNCATED DORIES OVER NEW CONCRETE - YELLOW AND APPROXIMATELY F53538 OF FEDERAL STANDARD 595C OR PROVIDE 70% MIN VISUAL CONTRAST WITH ADJACENT WALKING SURFACES - REFER TO DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW CONCRETE WHEEL STOP.
- LOCATION OF NEW ACCESSIBILITY SYMBOL STRIPING - SYMBOL STRIPING TO BE PAINTED ON AC PAVING AS SHOWN - REFER TO DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF NEW 12" HIGH LETTERS PAINTED TRAFFIC WHITE STATING "NO PARKING" AS SHOWN.
- LOCATION OF NEW 4" WIDE STRIPING PAINTED PER THE CITY OF FRESNO PARKING MANUAL (TYP.).
- DASHED LINES INDICATE 3' VEHICLE OVERHANG. (TYP.)
- LOCATION OF NEW 12" DIAMETER X 34" HIGH PRE-CAST CEMENT BOLLARD(S).
- LOCATION OF NEW CURB CUT RAMP.
- LOCATION OF NEW FIRE HYDRANT.
- LOCATION OF NEW LANDSCAPING.
- LOCATION OF NEW 6" CONCRETE TRANSITION WEDGE CURB FROM A.C. PAVING TO CONCRETE APRON FOR "ZERO CURB" AT PATIENT DROP OFF/LOADING AND AT ACCESSIBLE PARKING.
- LOCATION OF NEW 6" DIAMETER X 48" TALL CONCRETE FILLED STEEL PIPE DOME BOLLARD(S) PAINTED YELLOW.
- LOCATION OF ZERO CURB - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW SITE LIGHTING - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS - NOT ALLOWED IN 3' VEHICULAR OVERHANG.
- LOCATION OF NEW EVSE CHARGING STATIONS - SHALL CONSIST OF THE CONDUCTORS, INCLUDING THE UNGROUNDED, GROUNDED AND EQUIPMENT GROUNDING CONDUCTORS AND THE ELECTRIC VEHICLE CONNECTORS, ATTACHMENT PLUGS, AND ALL OTHER FITTINGS, DEVICES, POWER OUTLETS OR APPARATUS INSTALLED SPECIFICALLY FOR THE PURPOSE OF CHARGING BETWEEN THE PREMISES WIRING AND THE ELECTRIC VEHICLE - SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW PAVEMENT MARKINGS TO STATE: "EV CHARGING ONLY" AND SHALL BE PAINTED AT THE LOWER END OF EACH EV SPACE IN LETTERS A MINIMUM OF 12 INCHES IN HEIGHT. THE CENTERLINE OF THE TEXT SHALL BE 6 INCHES MAXIMUM FROM THE CENTERLINE OF THE VEHICLE SPACE AND ITS LOWER CORNER AT OR LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE. PER SECTION 11B-812.8.9



**CENTERLINE
DESIGN, LLC**

PLANNING - DESIGN - CONSULTING

1508 TOLLHOUSE ROAD, SUITE 'C'
CLOVIS, CALIFORNIA 93611
559-298-3060 (OFFICE)
559-298-3267 (FAX)

PROJECT

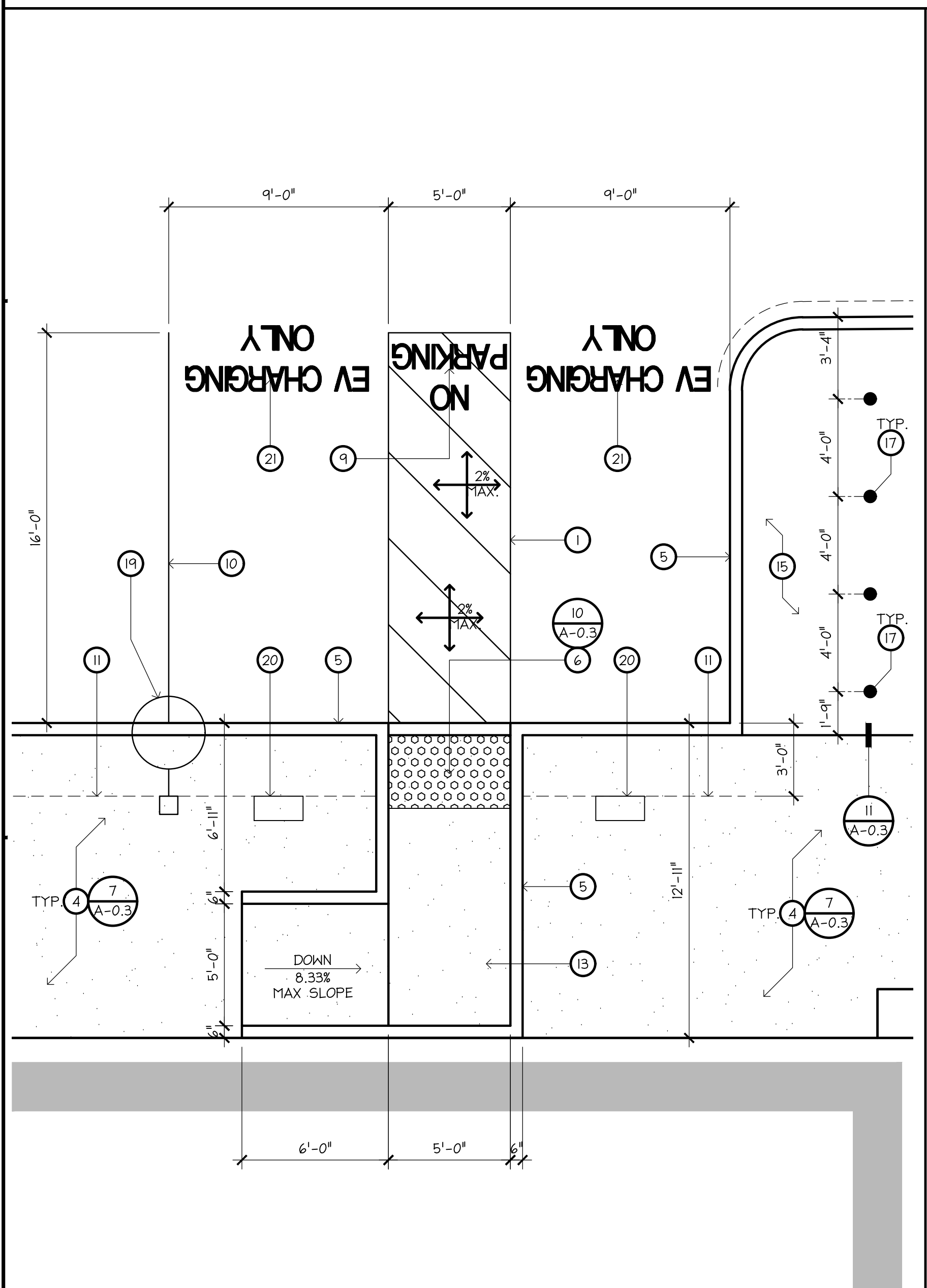
CONCEPTUAL SITE PLAN FOR:
DDYS FIRST AND GETTYSBURG
3147 EAST GETTYSBURG AVENUE
FRESNO, CA. 93726

STATUS	
Current Release Date	01-17-2023
Planning Submittal	01-17-2023
Plan Check Submittal	--

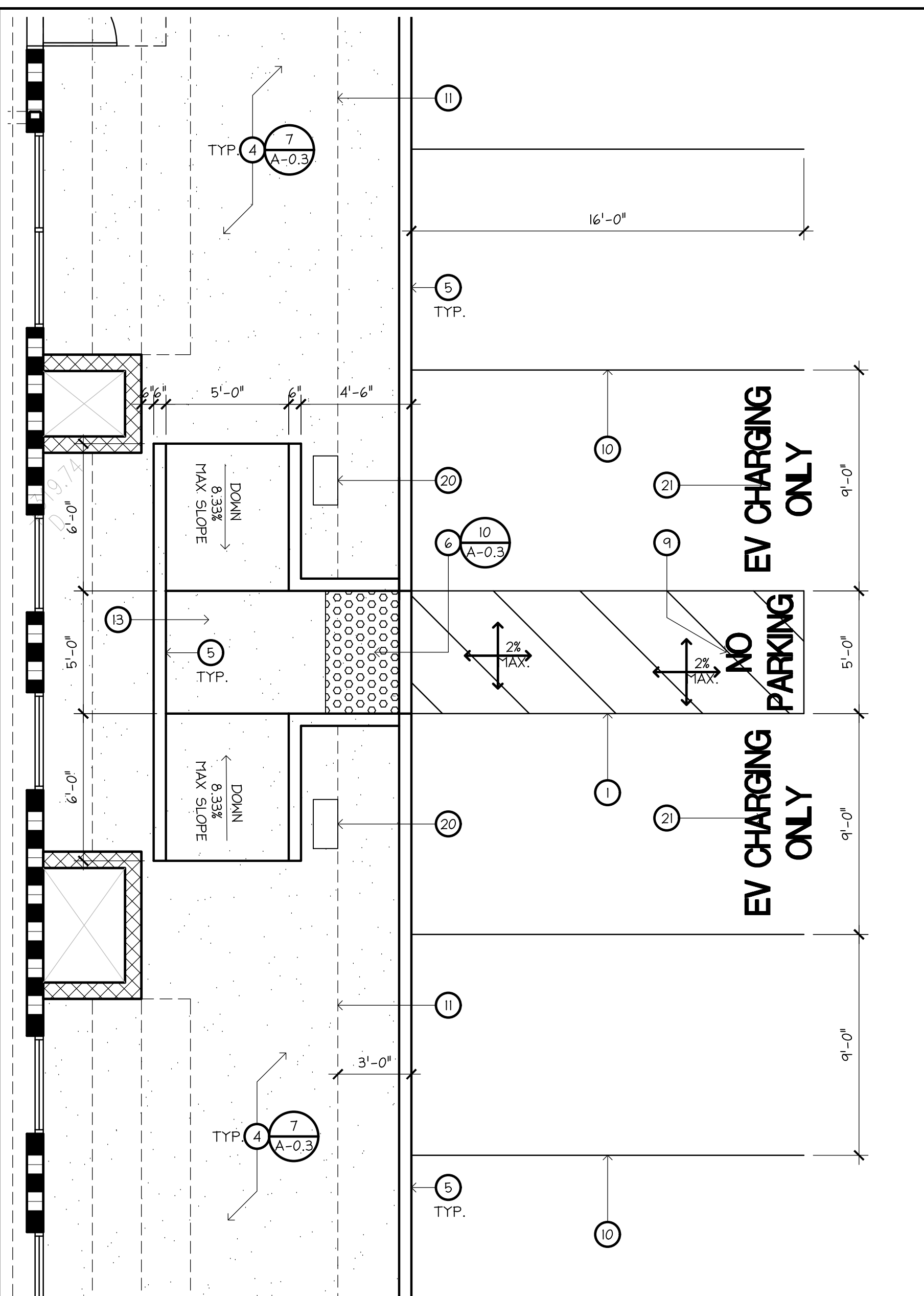
REVISIONS	
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IDENTIFICATION	
Scale	1"=20'-0"
Project Coordinator	BRYAN POK
Project No.	21-159
Sheet	

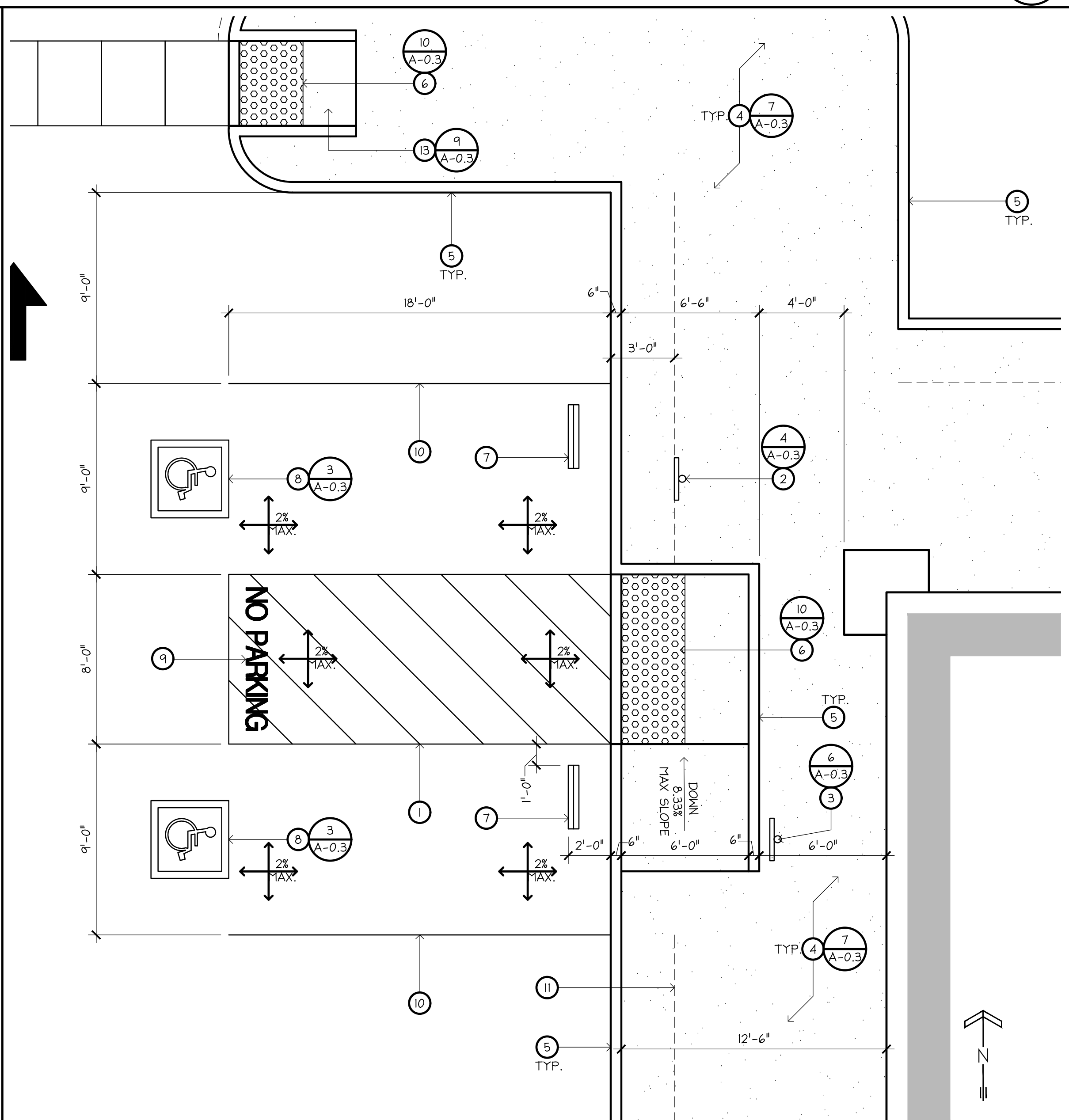
Enlarged Proposed Site Plan 1
Scale: 1/4" = 1'-0"



Enlarged Proposed Site Plan 4
Scale: 1/4" = 1'-0"



Enlarged Proposed Site Plan 3
Scale: 1/4" = 1'-0"



Enlarged Proposed Site Plan 2
Scale: 1/4" = 1'-0"

APPL. NO. P23-00186 EXHIBIT A-3 DATE 03/09/2023

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

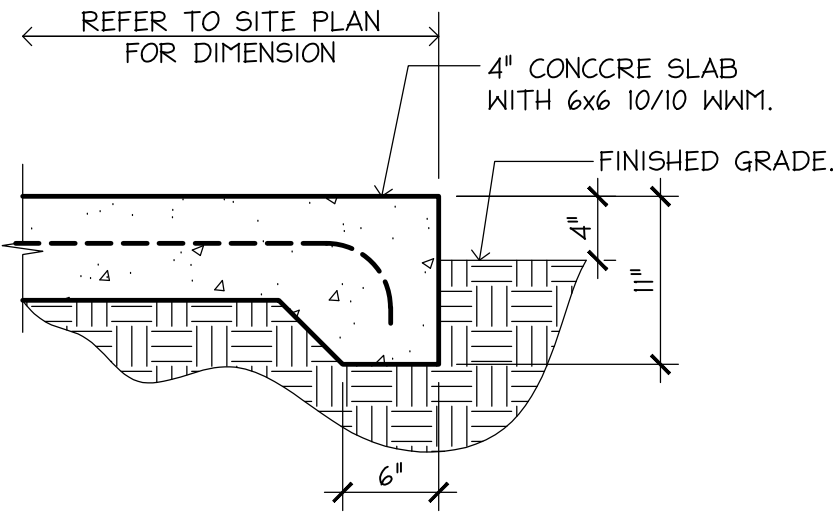
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

PROPOSED ENLARGED SITE PLAN

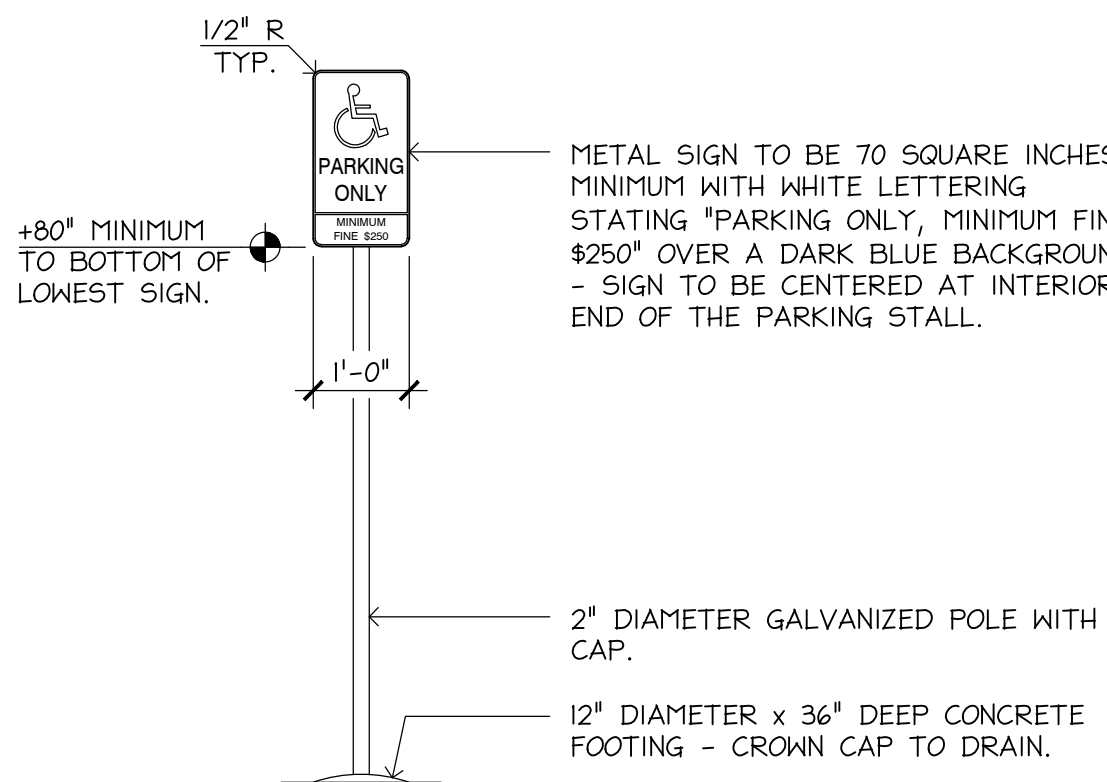
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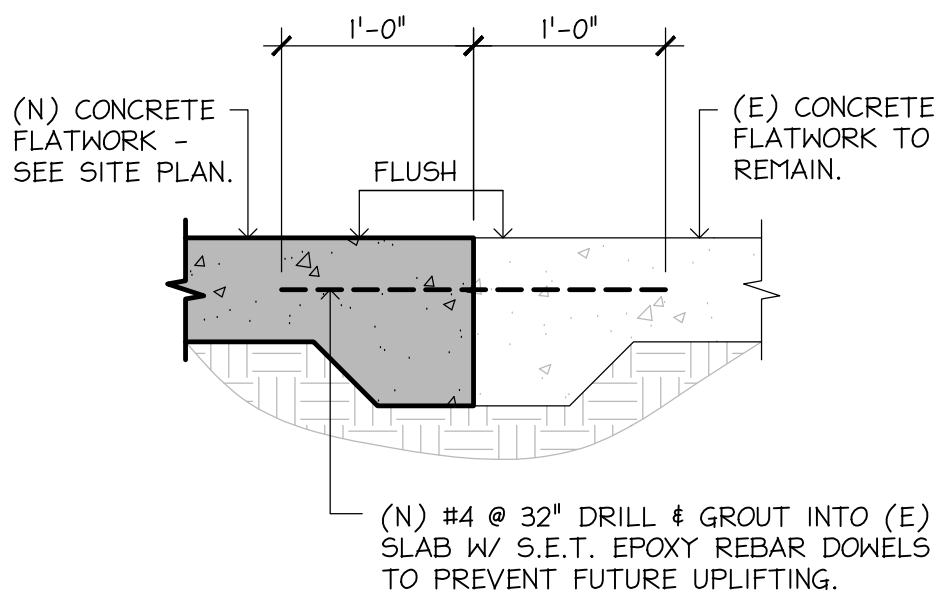
Concrete Walk Edge

Scale: 1" = 1'-0"



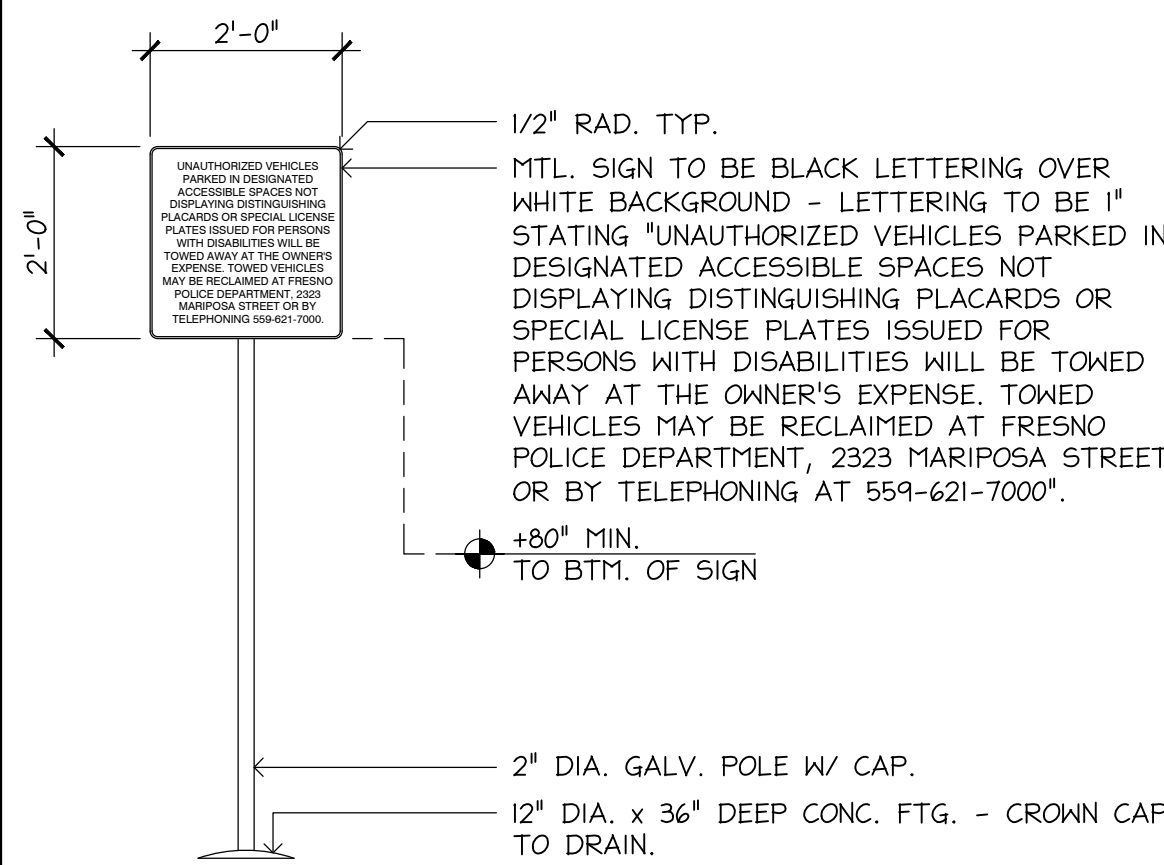
Accessible Stall Signage

Scale: 1/2" = 1'-0"



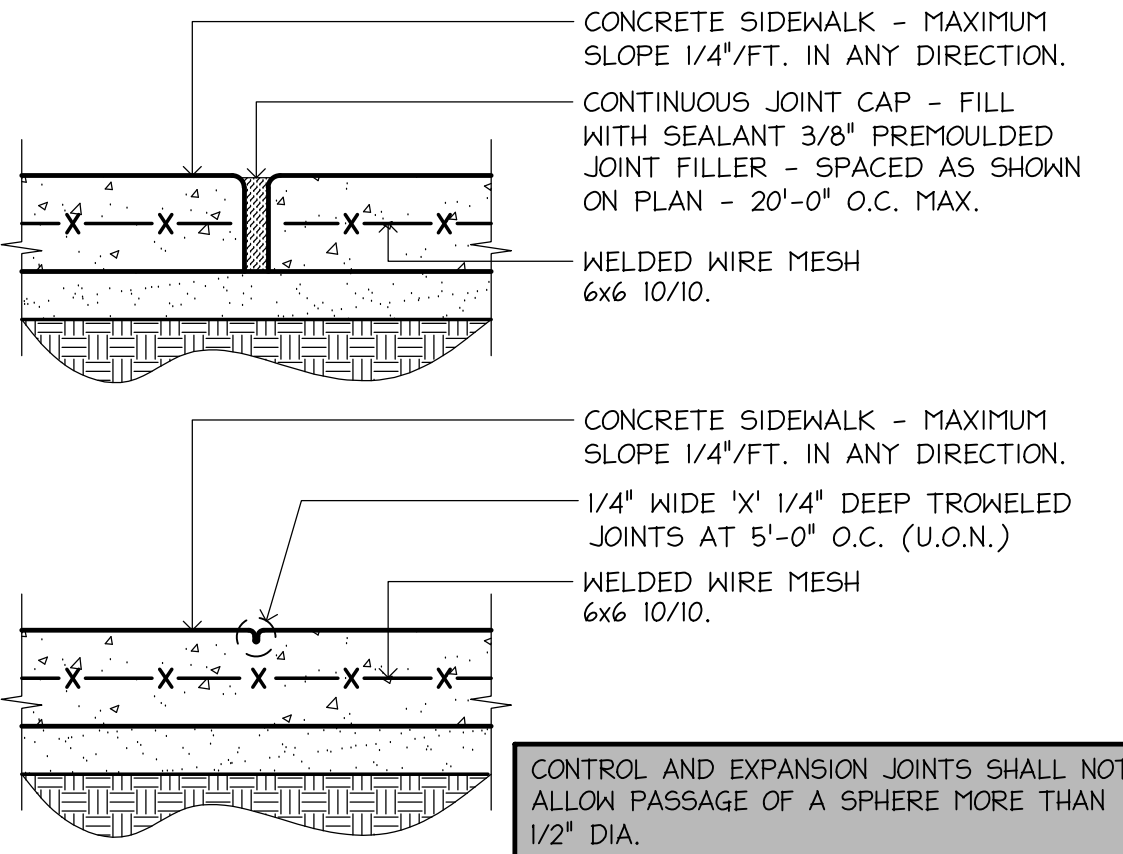
Concrete Flatwork Transition

Scale: 1" = 1'-0"



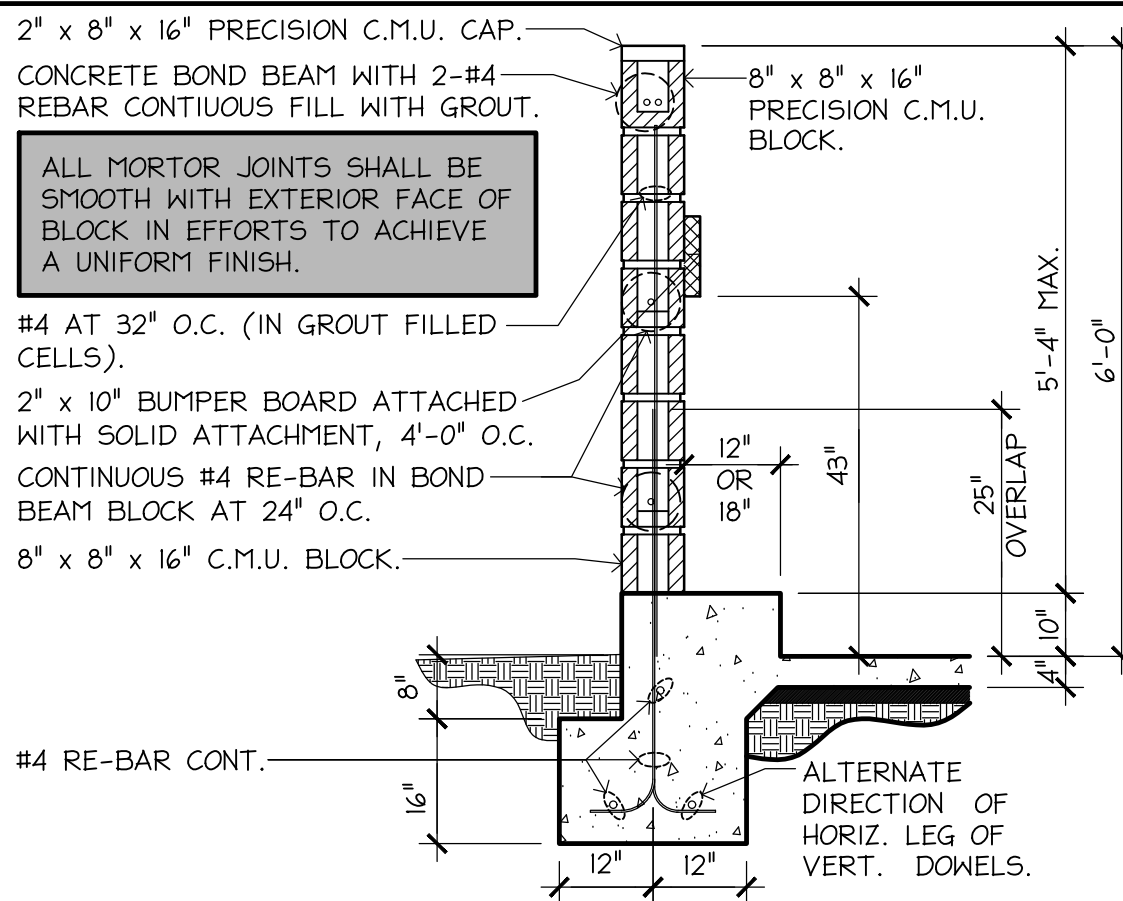
Site Entrance Signage

Scale: 1/2" = 1'-0"



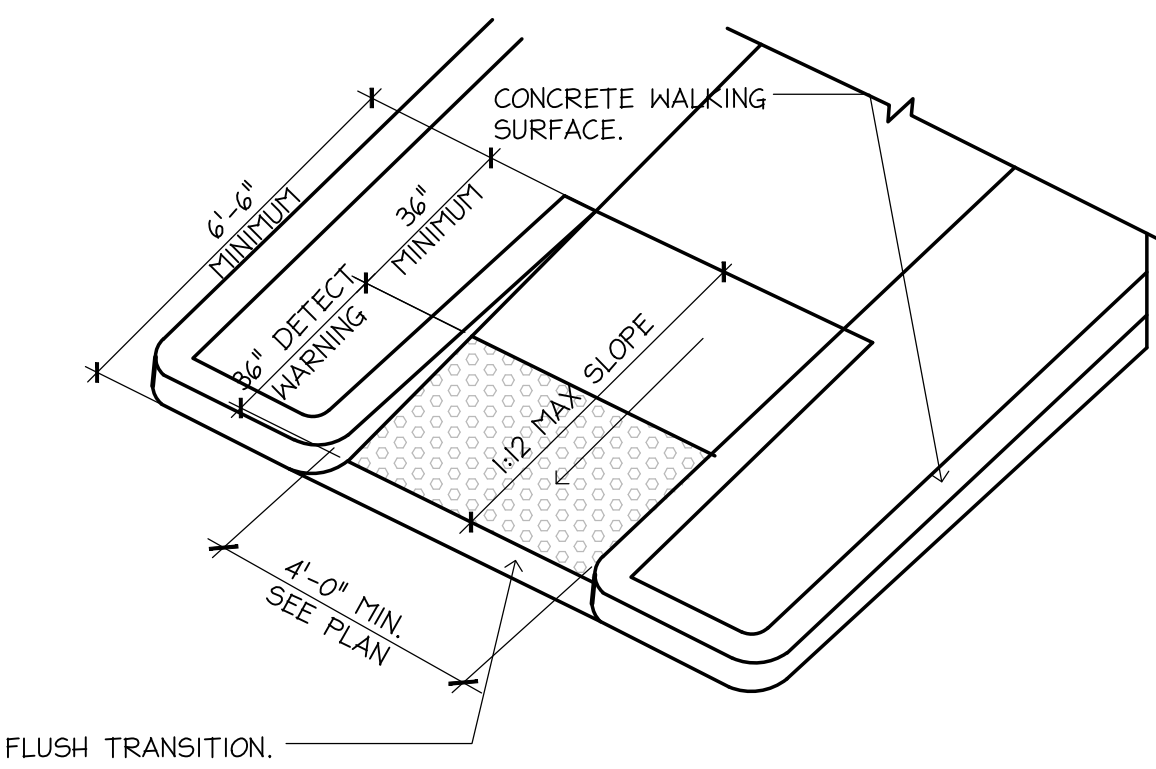
Troweled Joint / Expansion Joint

Scale: 1 1/2" = 1'-0"



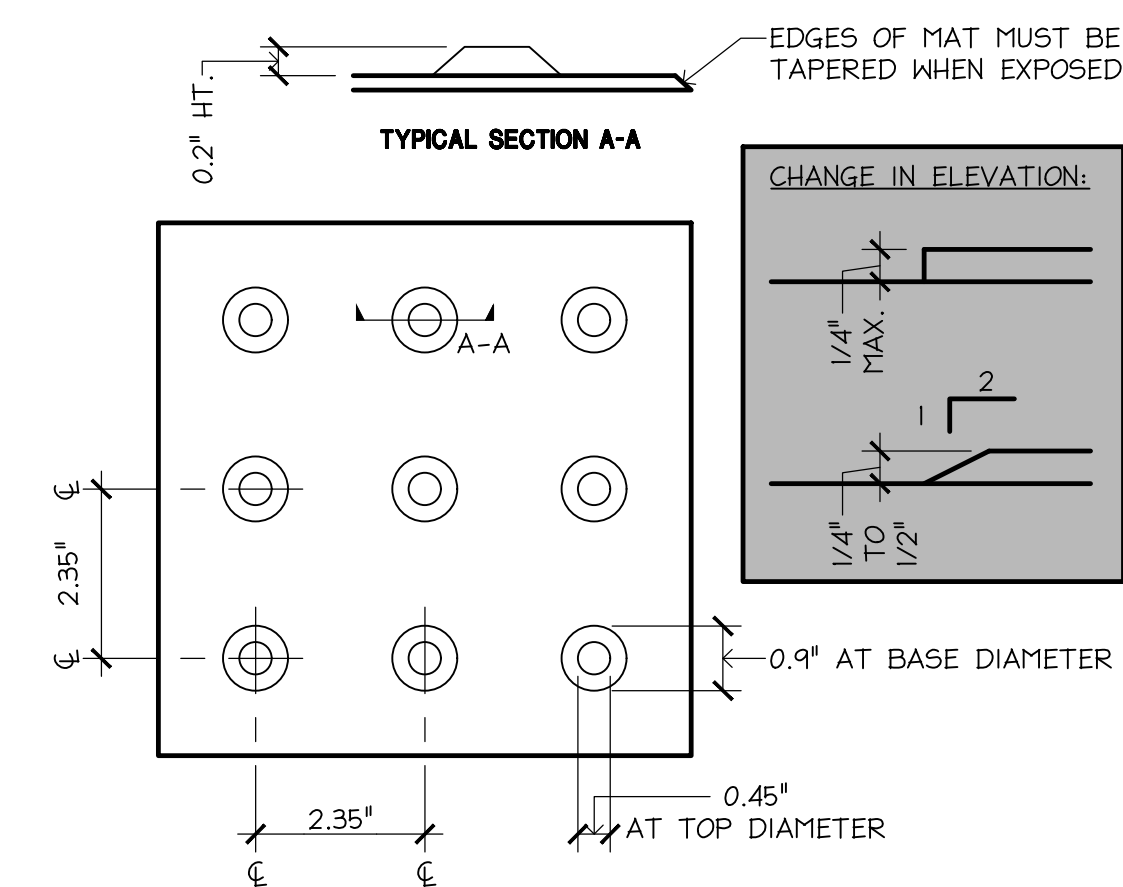
CMU Wall Section

Scale: 1/2" = 1'-0"



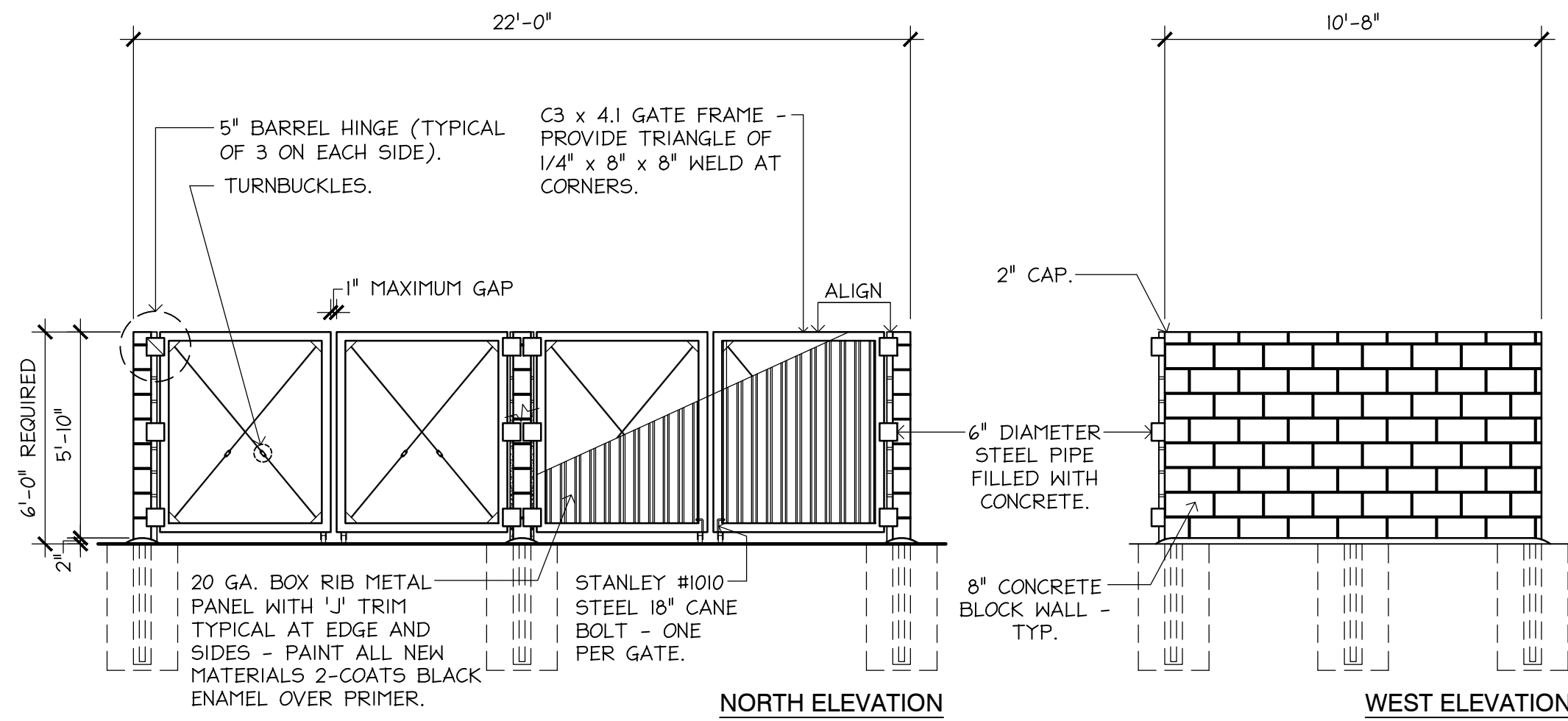
Straight Curb Ramp

N.T.S.



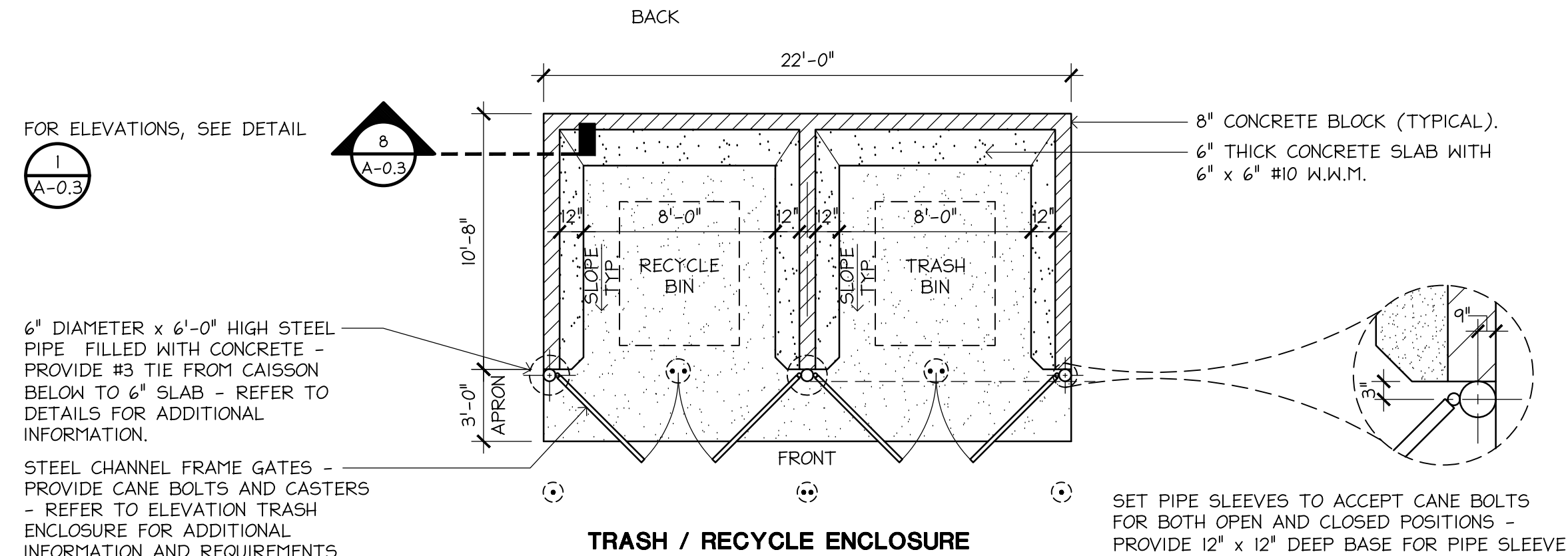
Truncated Domes

Scale: 3" = 1'-0"



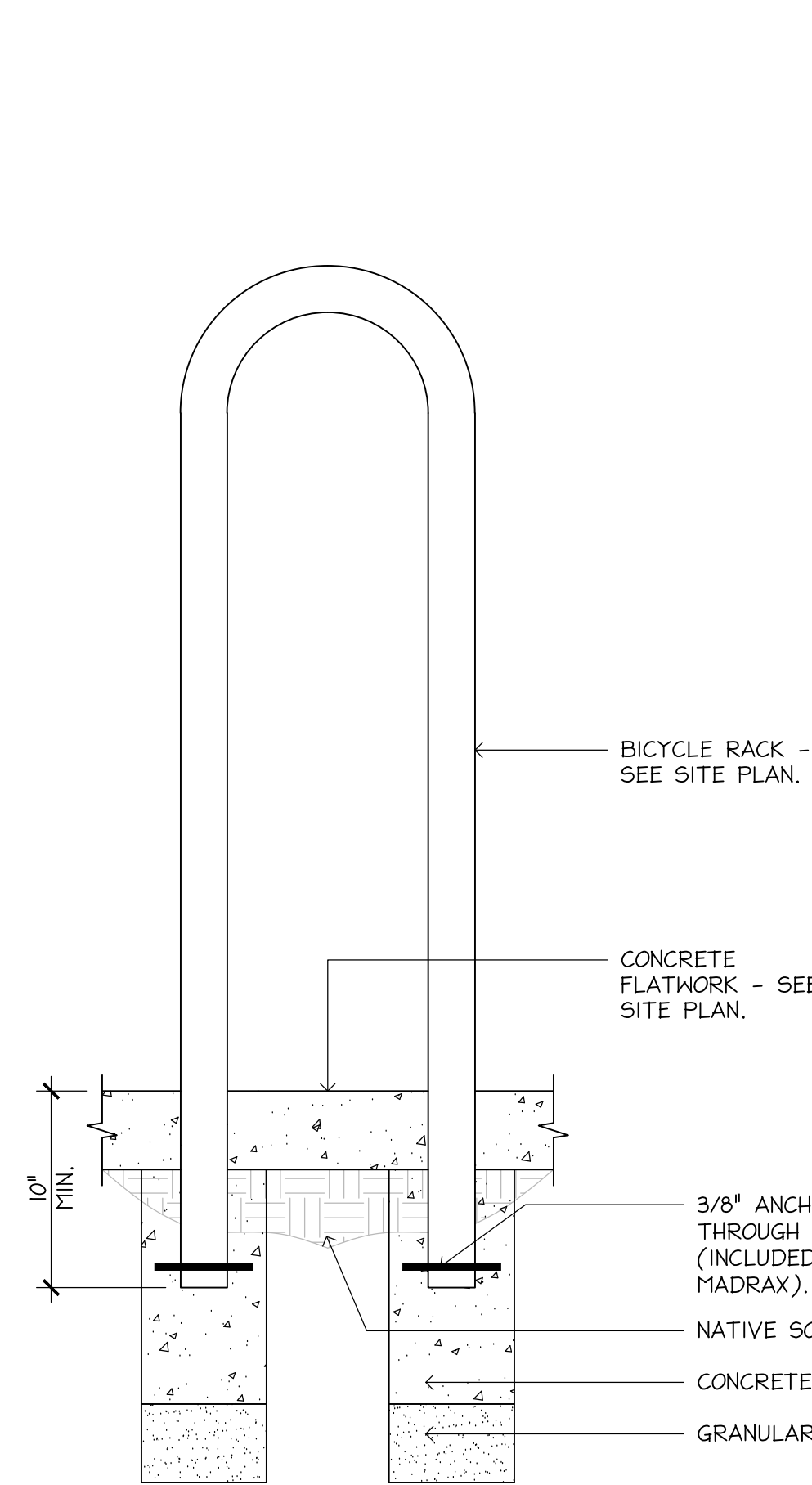
Trash Enclosure (Elevations)

Scale: 1/4" = 1'-0"



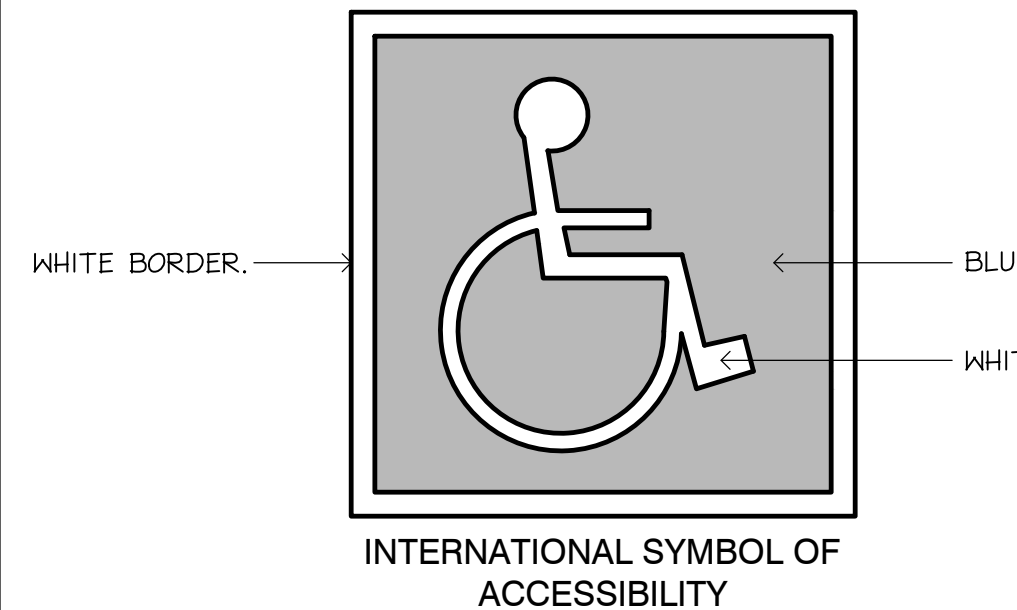
Trash Enclosure (Plan View)

Scale: 3/16" = 1'-0"



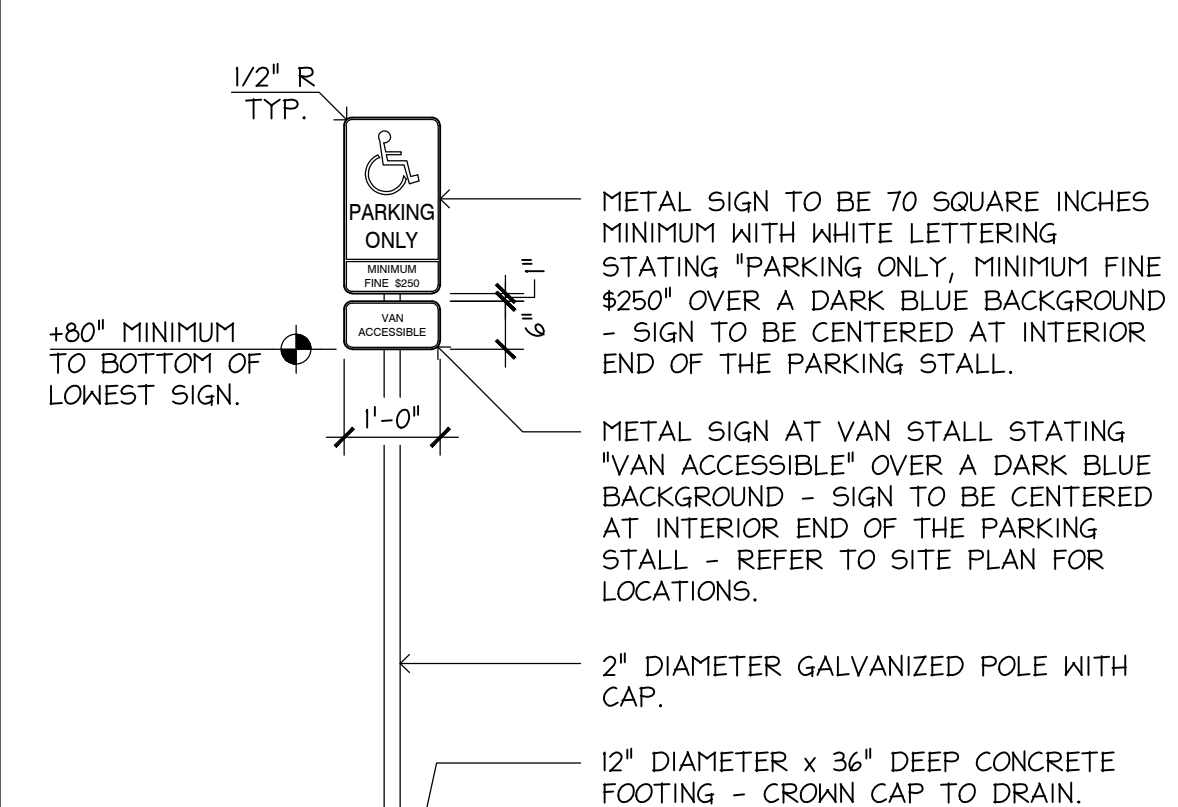
Bicycle Rack

Scale: 1 1/2" = 1'-0"



ADA Accessibility Symbol

Scale: 3/4" = 1'-0"



Accessible Stall Signage

Scale: 1/2" = 1'-0"

PROJECT

CONCEPTUAL SITE PLAN FOR:
DDYS FIRST AND GETTYSBURG
3147 EAST GETTYSBURG AVENUE
FRESNO, CA. 93726

STATUS

Current Release Date
10/13/22
Planning Submittal
Plan Check Submittal

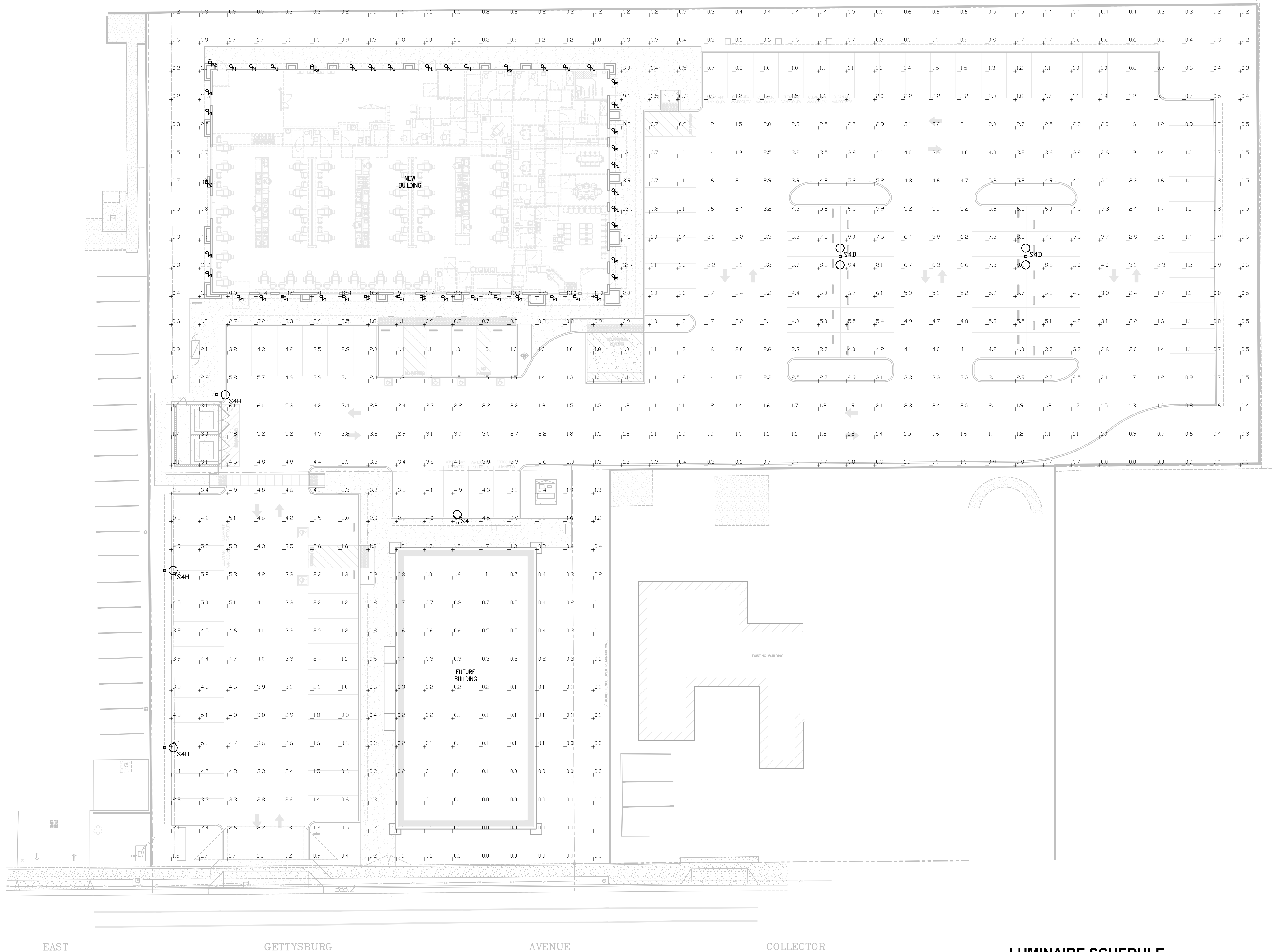
REVISIONS

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IDENTIFICATION

Scale
1" = 20'-0"
Project Coordinator
BRYAN POK
Project No.
21-159
Sheet

E-2.1



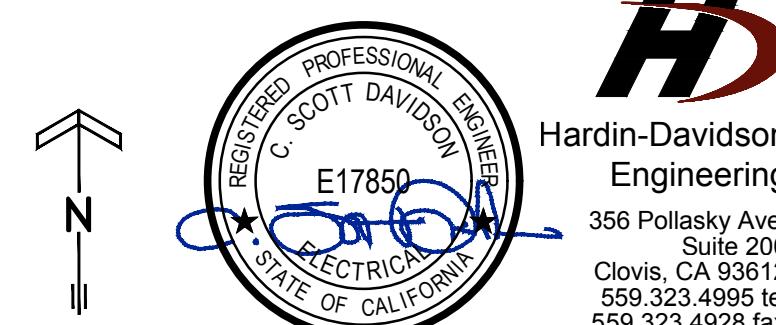
LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NO.
P1	GOTHAM	EVO6VR 40/10 AR LSS CGL
P2	LITHONIA	WDGE2 LED P0 40K 80CRI T2M
S4	LITHONIA	DSX1 LED P8 40K T4M
S4H	LITHONIA	DSX1 LED P8 40K T4M HS
S4D	LITHONIA	(2) DSX1 LED P8 40K T4M @ 1800

LAMPING	WATTS	MOUNTING	REMARK
LED	9.6	RECESSED	
LED	6.9	WALL	
LED	207.0	25 FT. POLE	
LED	207.0	25 FT. POLE	EQUIPPED WITH HOUSESIDE SHIELD
LED	414.0	25 FT. POLE	

APPL. NO. P23-00186 EXHIBIT A-5 DATE 03/30/2023
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT

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PHOTOMETRIC SITE PLAN

KEYED NOTES

- LOCATION OMEGA WALL STUCCO SYSTEM - SYSTEM COMPONENTS SHALL INCLUDE BUT NOT BE LIMITED TO AKROFLEX WM (EIFS WITH DRAINAGE) OVER AKROGUARD WATER-RESISTIVE COATING SYSTEM OR CODE-COMPLYING WATER-RESISTIVE BARRIER) - INSULATION BOARD (2" THICK) SHALL BE CORRUGATED AND MECHANICALLY FASTENED WITH A BASE COAT OF STYROGLUE IF - FINISH SHALL BE AKROFLEX OVER AKROFLEX REINFORCING MESH - REFER TO COLOR/MATERIAL LEGEND AND DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF VERTICAL/HORIZONTAL EXPANSION JOINT AND/OR REVEAL IN EIFS SYSTEM - REFER TO DETAIL FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- LOCATION OF GLAZING W/ BLACKOUT INSTALLED ON THE INSIDE FACE OF THE GLAZING - TYP.
- LOCATION OF GSM PARAPET CAP FLASHING - PAINT 2-COATS ENAMEL TO MATCH COLOR OF FINISH MATERIAL DIRECTLY BELOW.
- LOCATION OF HOLLOW METAL DOOR AND FRAME - PAINT (2) COAT ENAMEL TO MATCH ADJACENT WALL COLOR - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- LOCATION OF DUAL PANE GLAZING SYSTEM - REFER TO COLOR/MATERIAL LEGEND FOR ADDITIONAL INFORMATION.
- LOCATION OF STOREFRONT DOOR(S) - REFER TO DOOR SCHEDULE AND DETAIL(S) FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- LOCATION OF STREET ADDRESS NUMERALS LOCATED 50 AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD - LETTERS, NUMBERS, AND SYMBOLS SHALL BE A MINIMUM OF 12" HIGH, HAVE A 1" STROKE, BE REFLECTIVE, AND BE CONTRASTING WITH THE BACKGROUND COLOR OF THE BUILDING - DURING THE HOURS OF DARKNESS, THE NUMBERS SHALL BE ELECTRONICALLY ILLUMINATED (INTERNAL OR EXTERNAL).
- LOCATION OF EXTERIOR METAL CANOPY - REFER TO COLOR/MATERIAL LEGEND FOR SPECIFICATIONS AND ADDITIONAL INFORMATION.
- POTENTIAL TENANT SIGNAGE LOCATION - REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS - PROVIDE SELF ADHERED FLASHING UNDER BUILDING PAPER TYPICAL THIS WALL FACE 12" BEYOND THE PERIMETER OF THE SIGN CONFIGURATION.
- DASHED LINE INDICATES APPROXIMATE TOP OF ROOFING (BEYOND).
- LOCATION OF NEW SURFACE MOUNTED LIGHT FIXTURES - REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- DASHED LINES INDICATE APPROXIMATE LOCATION OF HVAC UNIT(S) ON ROOF DECK SCREENED BY PARAPET AS SHOWN.
- LOCATION OF 36"x36", LOCKABLE, FIRE RISER ACCESS DOOR - PAINT TO MATCH EIFS.
- LOCATION OF NEW EMERGENCY ACCESS DOOR - ACCESS DOOR WILL SERVE THE FUTURE LABORATORY/DIALYSIS CLINIC WATER SHUT OFF - GENERAL CONTRACTOR SHALL COORDINATE WITH TENANT IMPROVEMENT PLANS FOR EXACT LOCATION.
- LOCATION OF AUTOMATIC ELECTRIC SLIDING ENTRY DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW EPS FOAM TRIM WITH COLORED EIFS FINISH - REFER TO COLOR/MATERIAL LEGEND FOR ADDITIONAL INFORMATION.

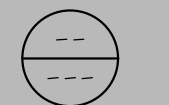
COLOR / MATERIAL LEGEND

MATERIAL	FINISH	COLOR
EIFS (BASE)	PAINTED	DUNN EDWARDS DEC754 QUICKSAND
EIFS (FIELD)	PAINTED	DUNN EDWARDS DEC772 NAVAJO WHITE
EIFS (ACCENT)	PAINTED	DUNN EDWARDS DEC235 NORTHGATE GREEN
EIFS (ACCENT)	PAINTED	DUNN EDWARDS DEC739 GOLDEN GATE
EIFS (ACCENT)	PAINTED	DUNN EDWARDS DEC718 MESA TAN
GLAZING SYSTEM	FACTORY FINISH	DARK GRAY
STOREFRONT DOOR	FACTORY FINISH	DARK BRONZE
ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	DARK BRONZE
METAL CANOPY	PAINTED	DARK BRONZE
HOLLOW METAL DOOR	PAINTED	DUNN EDWARDS DEC754 QUICKSAND

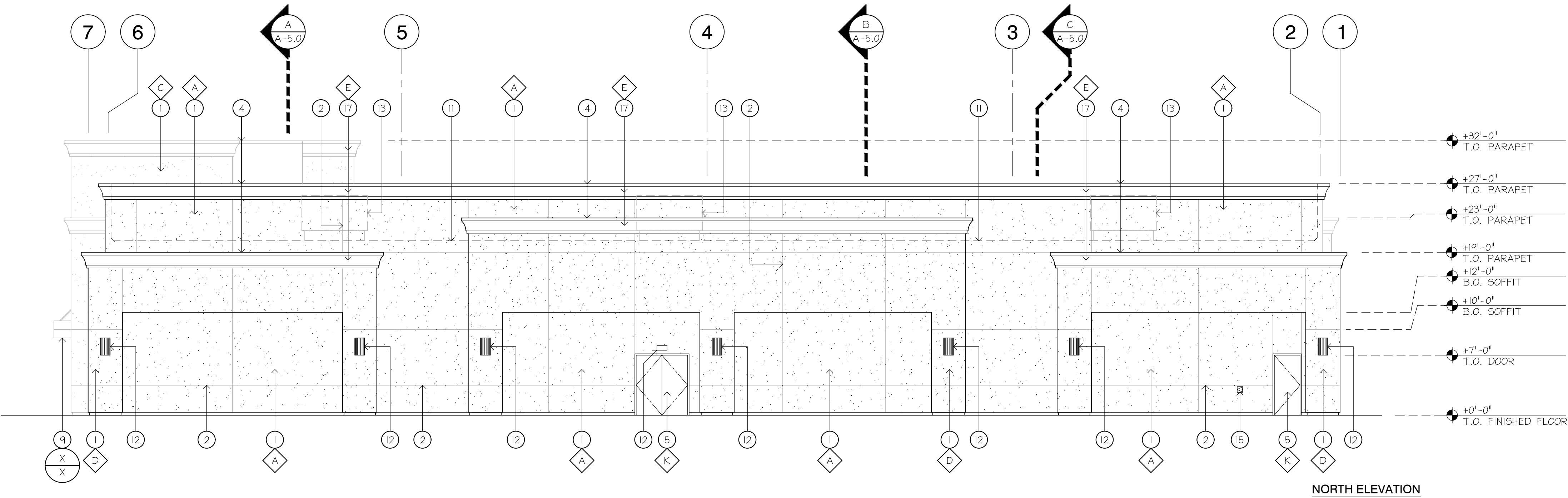
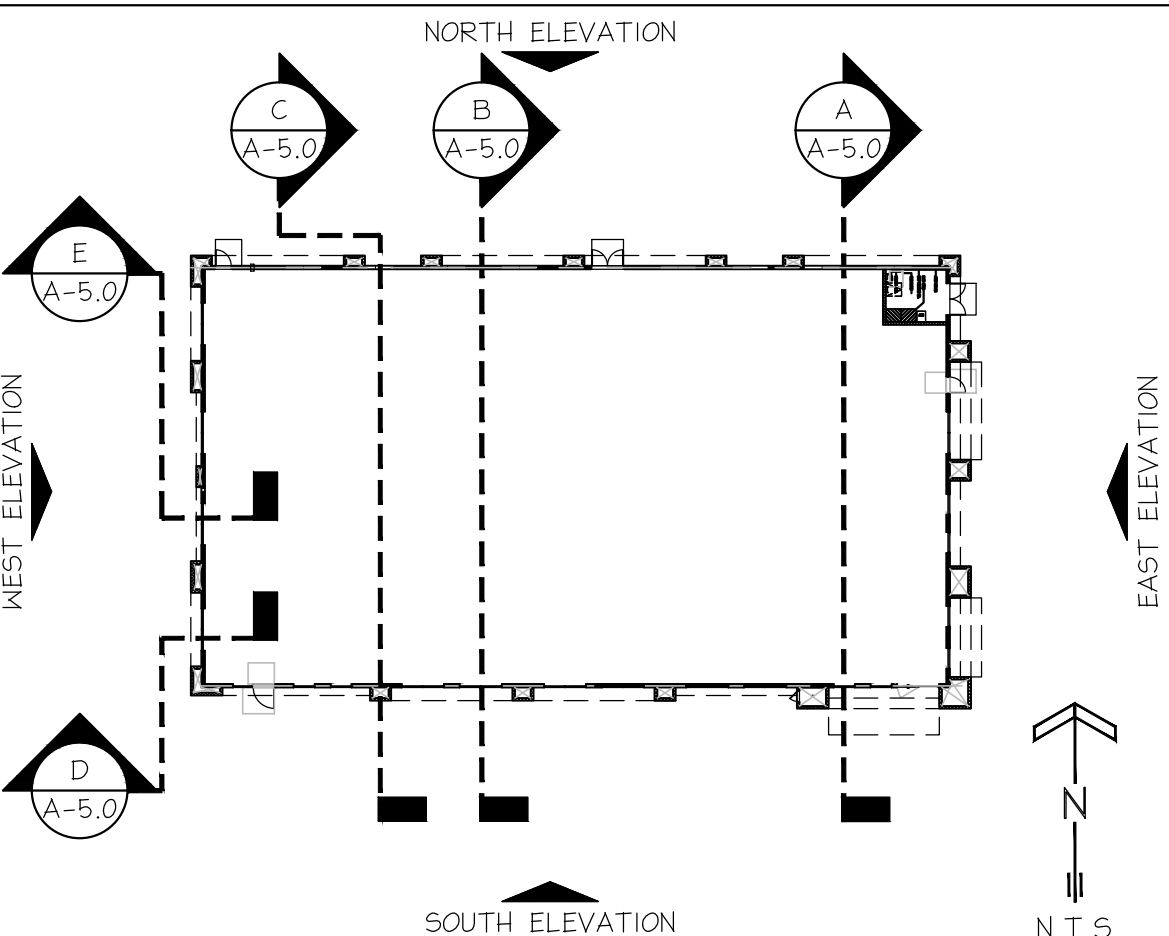
NOTE TO GENERAL CONTRACTOR:

GENERAL CONTRACTOR SHALL PROVIDE BRUSH-OUT PAINT COLORS TO THE DESIGN FIRM FOR REVIEW AND APPROVAL PRIOR TO PAINTING THE PROPOSED BUILDING FINISHES.

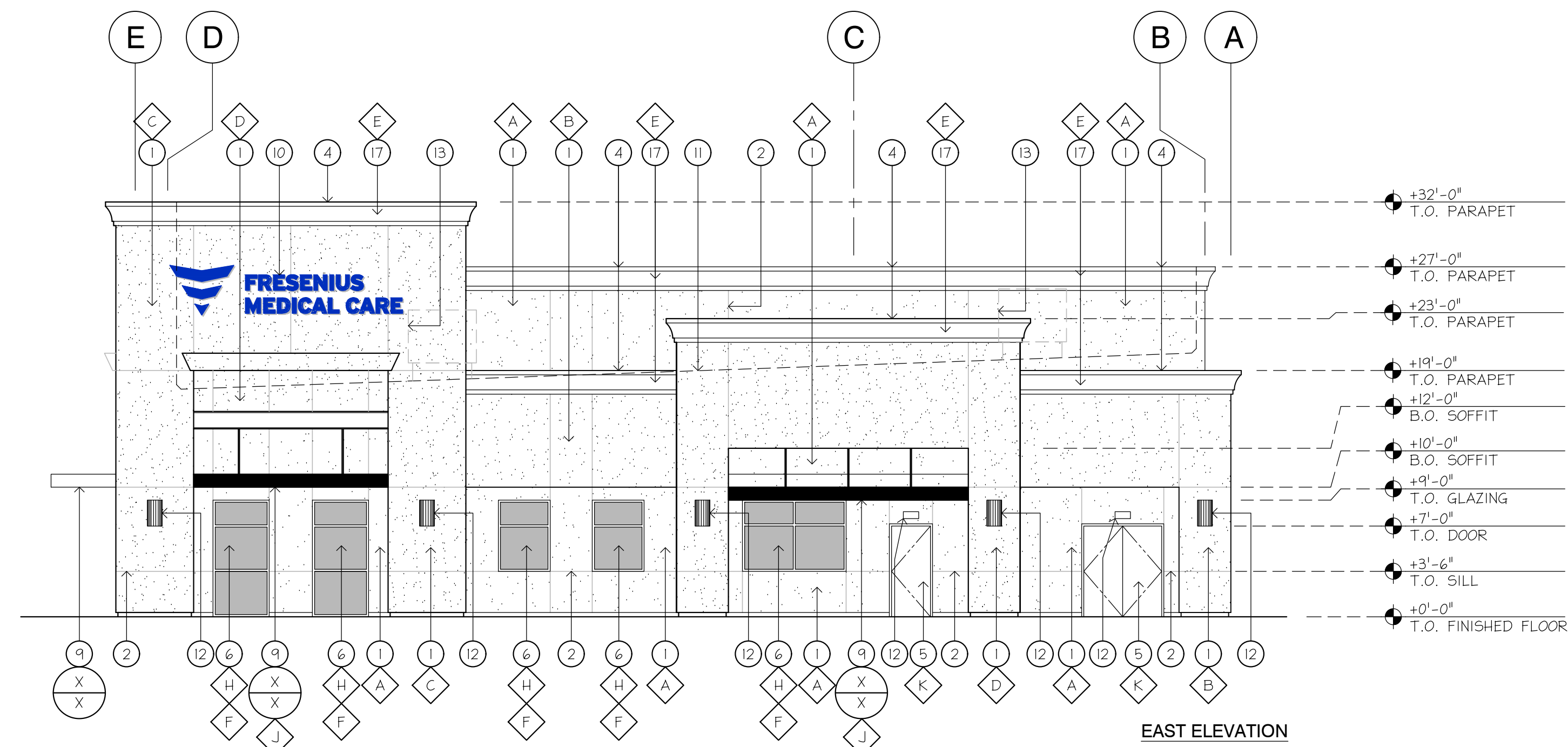
ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL:



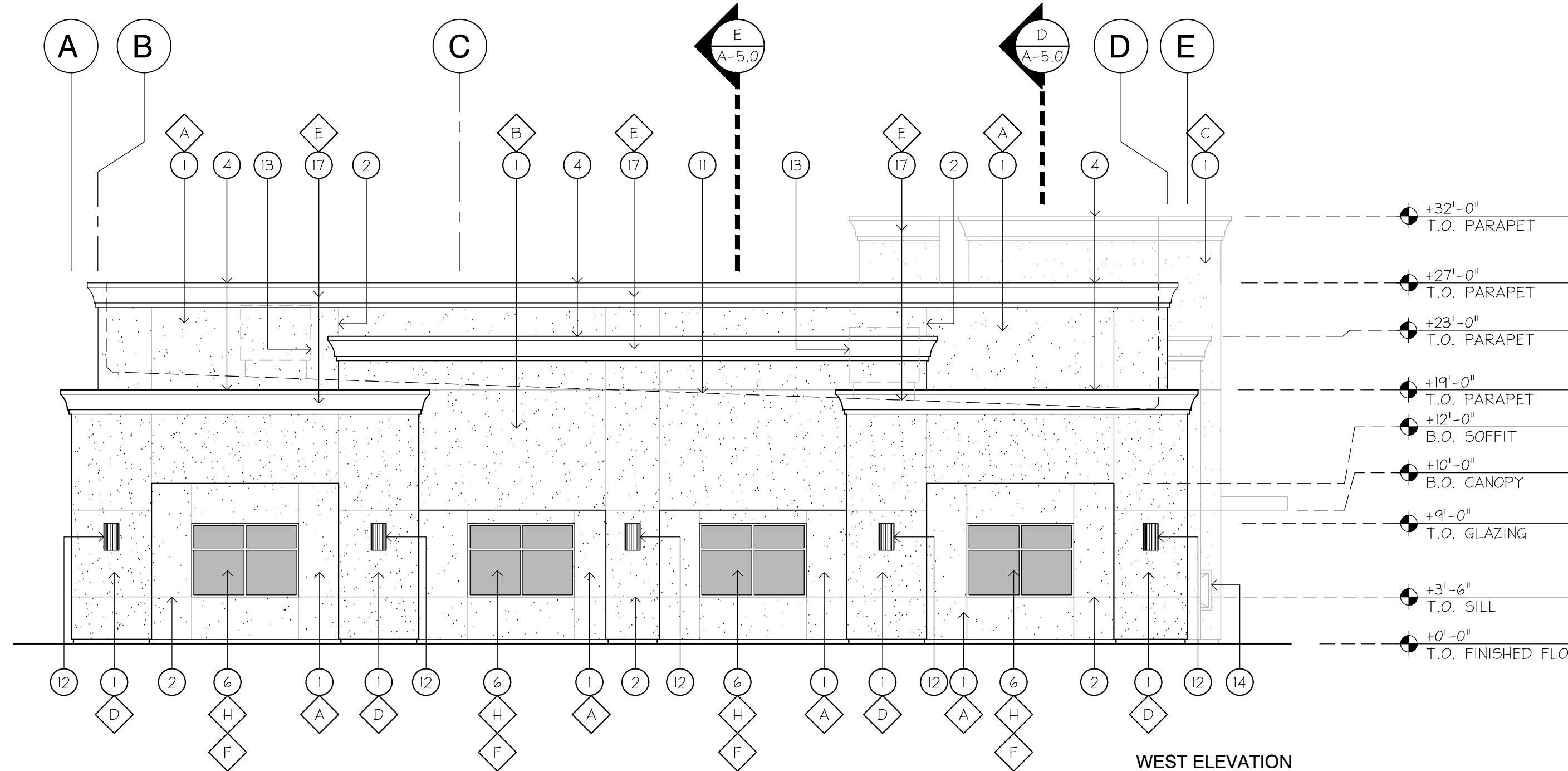
REFERENCE PLAN



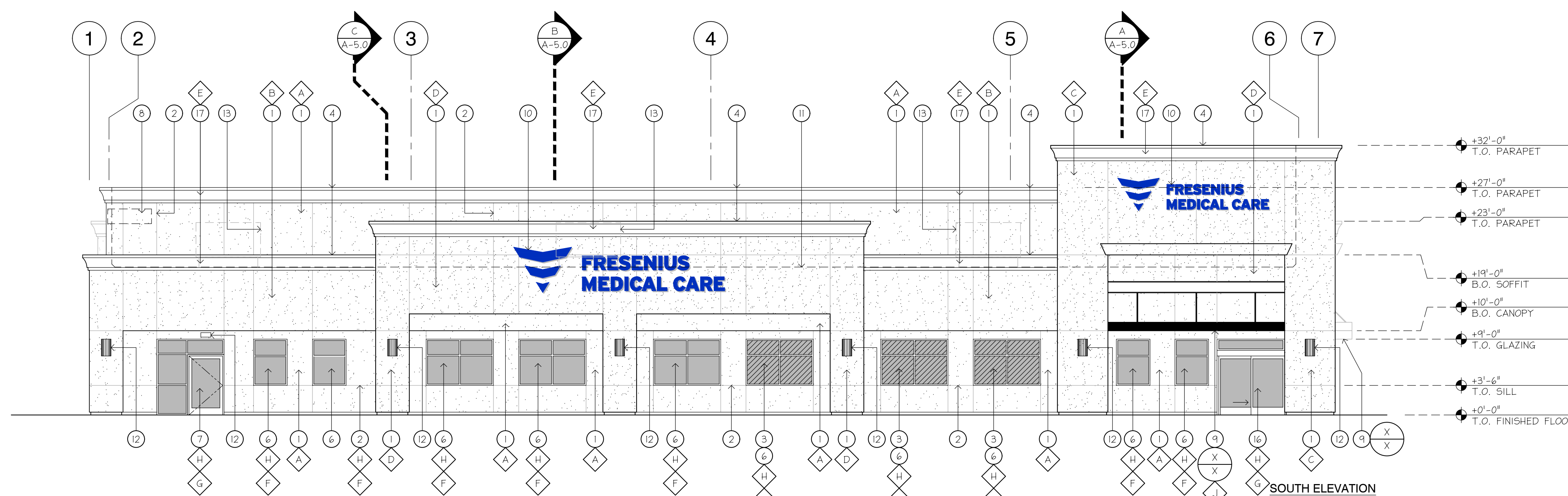
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

APPL. NO. P23-00186 EXHIBIT E-1 DATE 02/01/2023

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

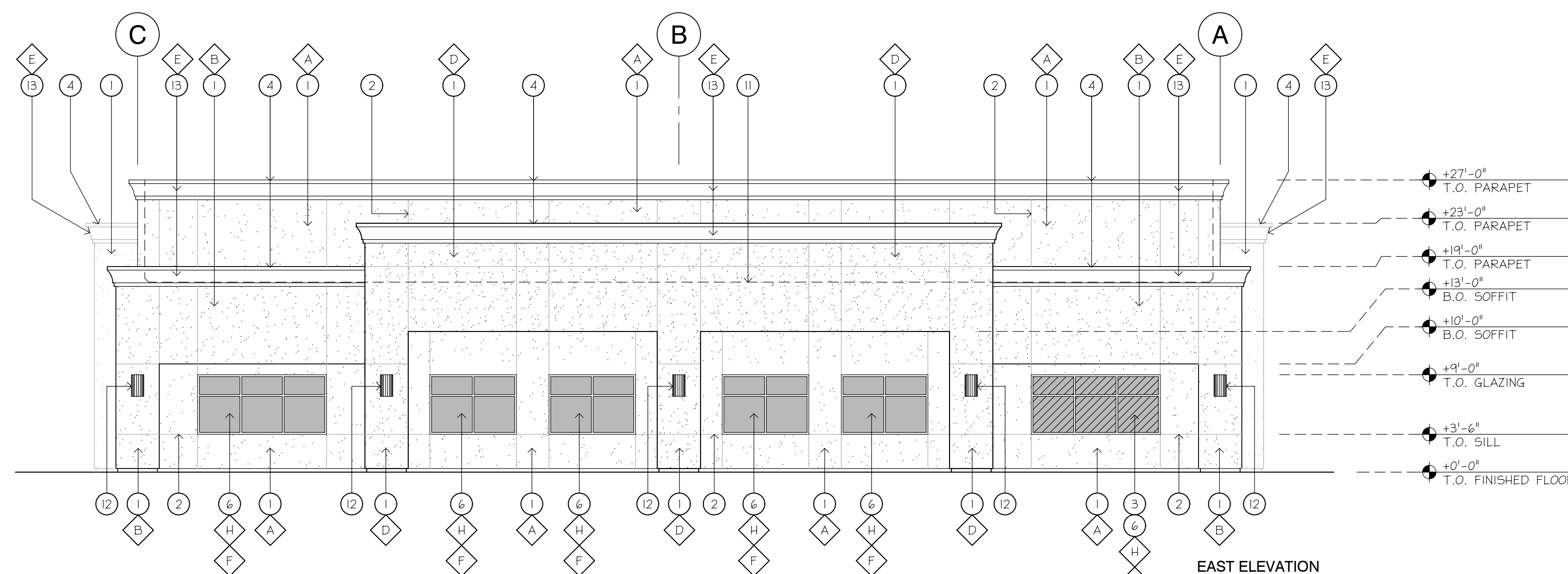
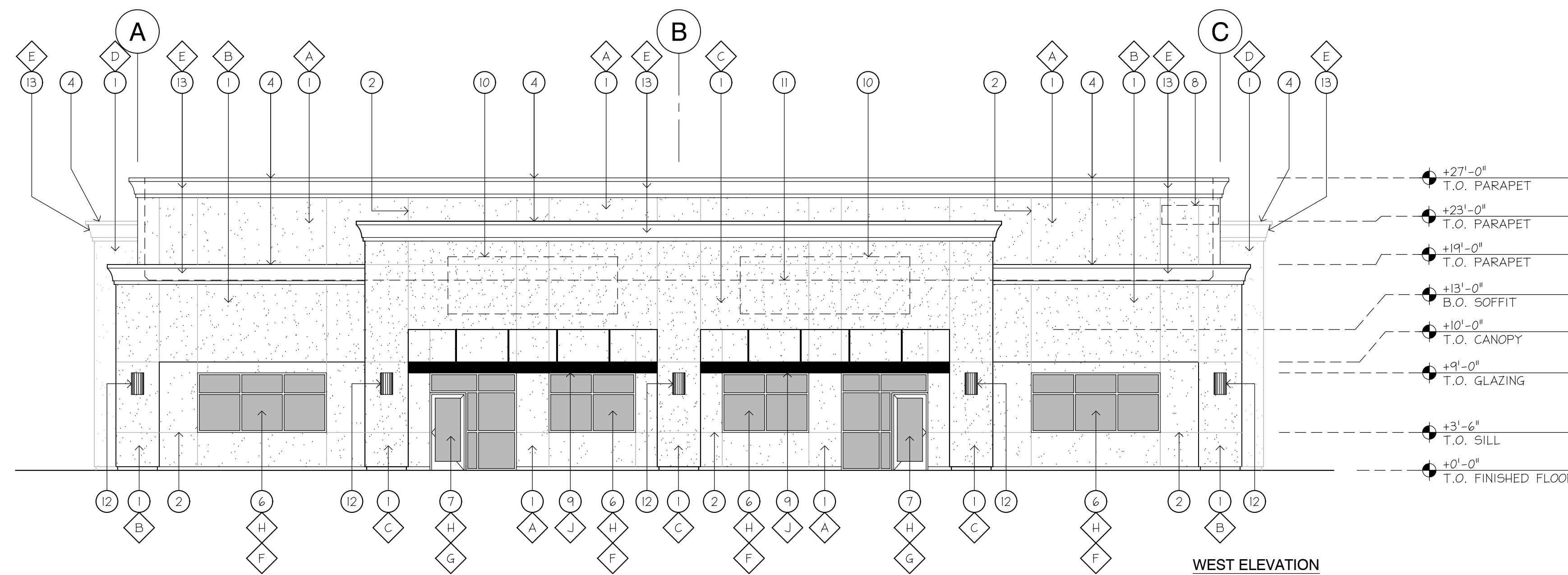
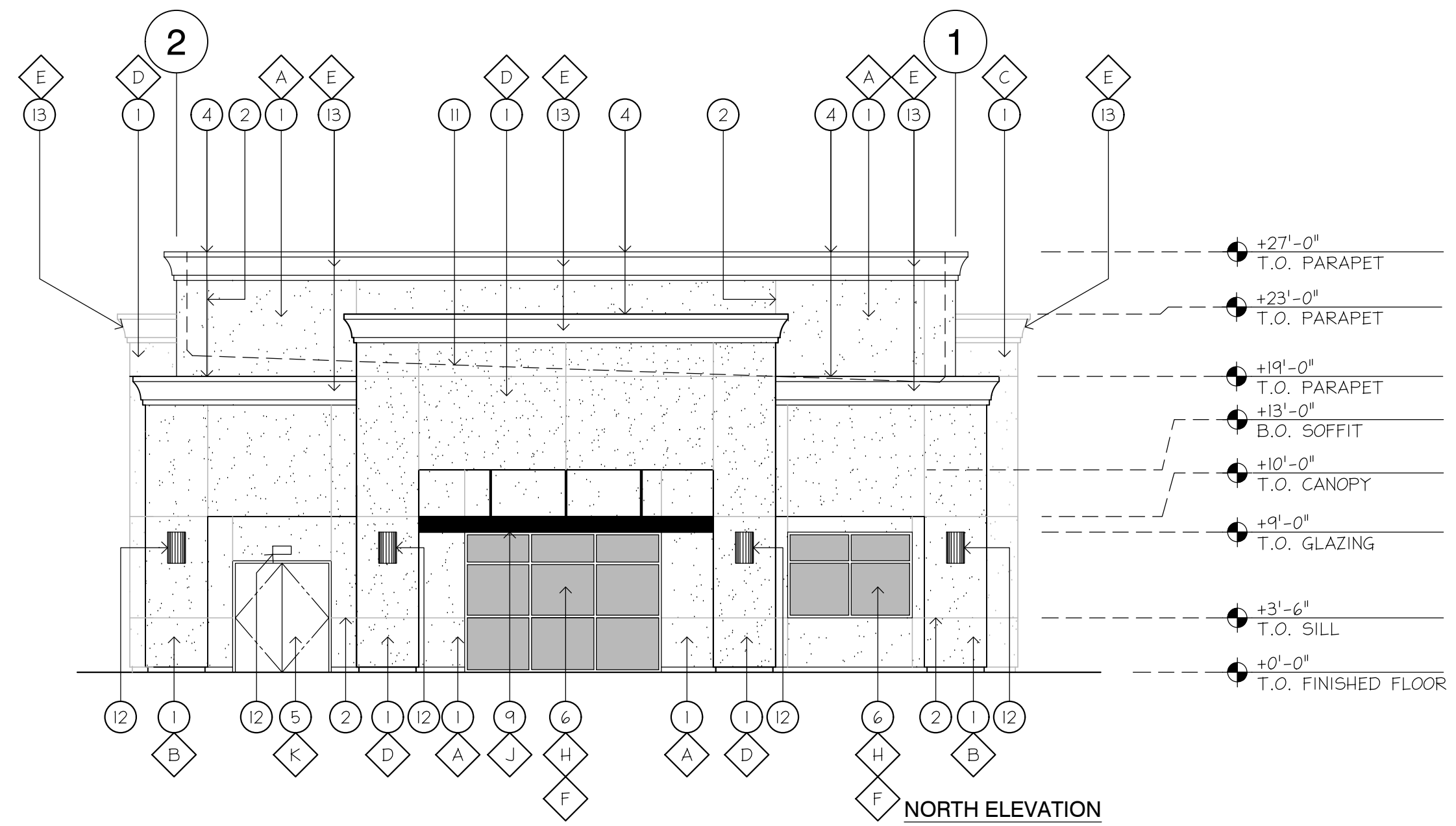
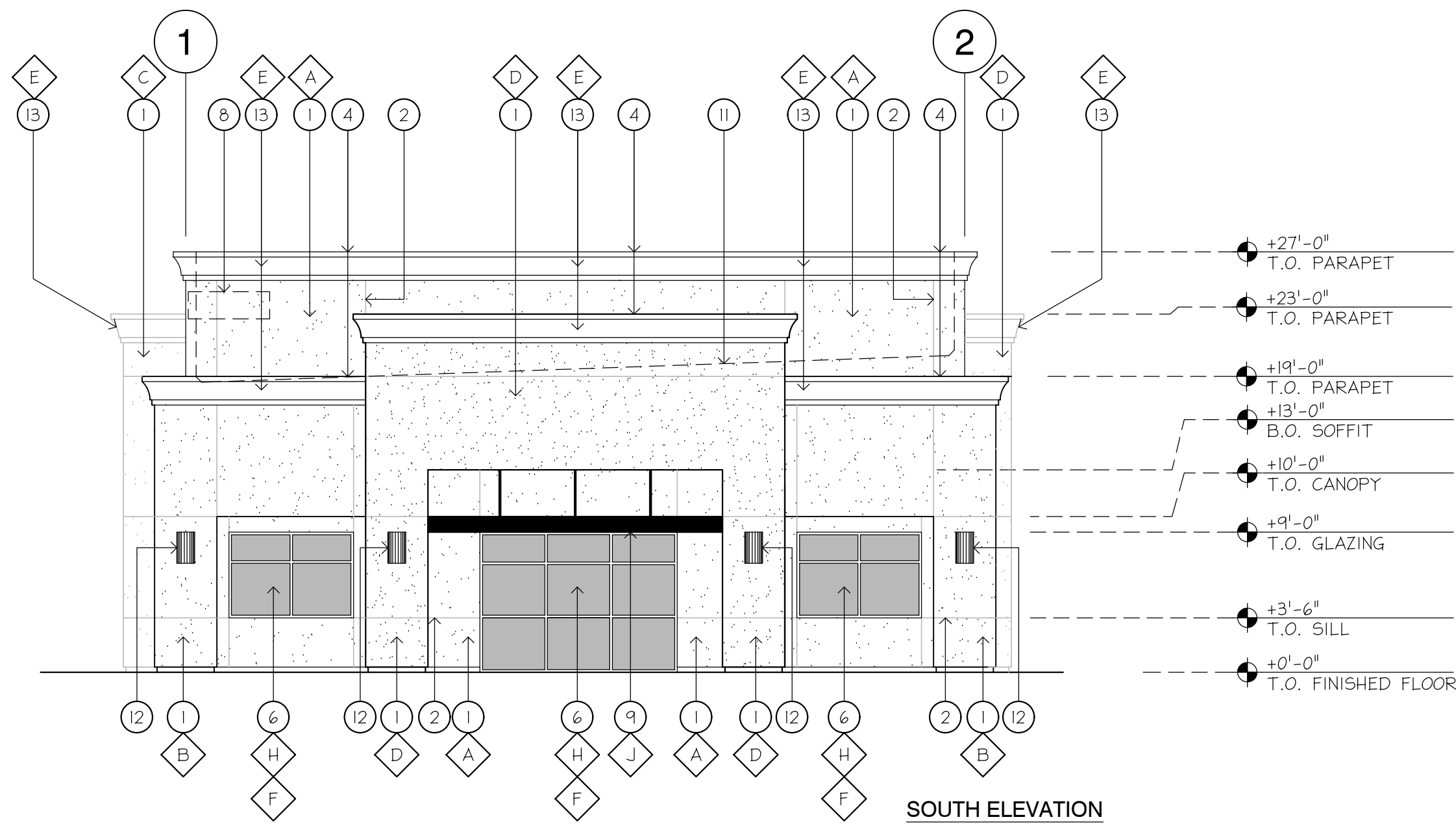
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

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PROPOSED EXTERIOR ELEVATIONS

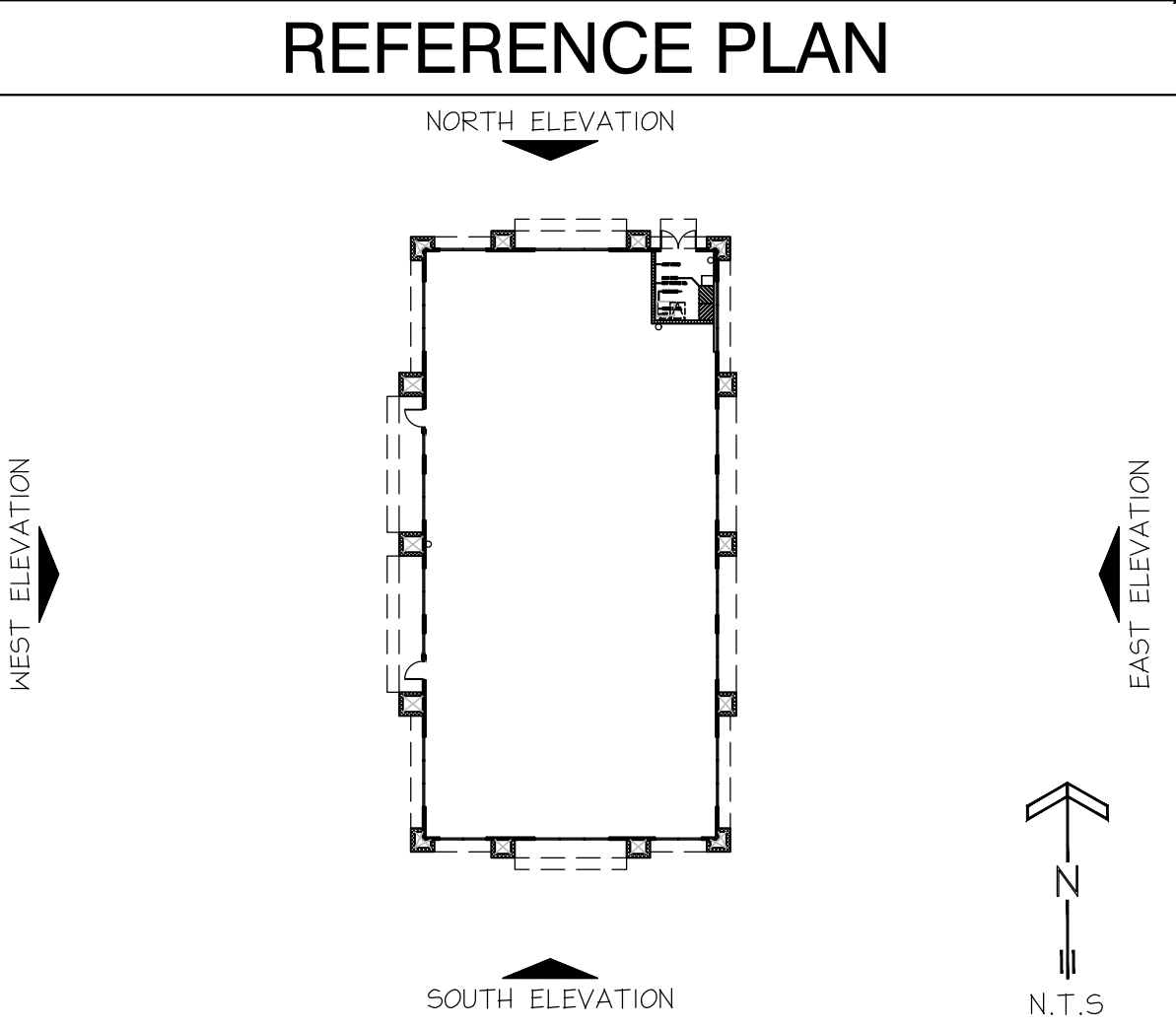
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- ### KEYED NOTES
- LOCATION OF OMEGA WALL STUCCO SYSTEM - SYSTEM COMPONENTS SHALL INCLUDE BUT NOT BE LIMITED TO AKROFLEX WM (EIFS WITH DRAINAGE) OVER AKROGUARD WATER-RESISTIVE COATING SYSTEM OR CODE-COMPLYING WATER-RESISTIVE BARRIER) - INSULATION BOARD (2" THICK) SHALL BE CORRUGATED AND MECHANICALLY FASTENED WITH A BASE COAT OF STYROGLUE TF - FINISH SHALL BE AKROFLEX OVER AKROFLEX REINFORCING MESH - REFER TO COLOR/MATERIAL LEGEND.
 - LOCATION OF VERTICAL/HORIZONTAL EXPANSION JOINT AND/OR REVEAL IN EIFS SYSTEM.
 - LOCATION OF GLAZING W/ BLACKOUT INSTALLED ON THE INSIDE FACE OF THE GLAZING - TYP.
 - LOCATION OF GSM PARAPET CAP FLASHING - PAINT 2-COATS ENAMEL TO MATCH COLOR OF FINISH MATERIAL DIRECTLY BELOW.
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COLOR / MATERIAL LEGEND

MATERIAL	FINISH	COLOR
A EIFS (BASE)	PAINTED	DUNN EDWARDS DEC754 QUICKSAND
B EIFS (FIELD)	PAINTED	DUNN EDWARDS DEC772 NAVAJO WHITE
C EIFS (ACCENT)	PAINTED	DUNN EDWARDS DEC295 NORTHGATE GREEN
D EIFS (ACCENT)	PAINTED	DUNN EDWARDS DEC739 GOLDEN GATE
E EIFS (ACCENT)	PAINTED	DUNN EDWARDS DEC718 MESA TAN
F GLAZING SYSTEM	FACTORY FINISH	DARK GRAY
G STOREFRONT DOOR	FACTORY FINISH	DARK BRONZE
H ALUMINUM STOREFRONT SYSTEM	FACTORY FINISH	DARK BRONZE
I METAL CANOPY	PAINTED	DARK BRONZE
J HOLLOW METAL DOOR	PAINTED	DUNN EDWARDS DEC754 QUICKSAND



APPL. NO. P23-00186 EXHIBIT E-2 DATE 03/09/2023

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

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FUTURE BUILDING EXTERIOR ELEVATIONS

CENTERLINE DESIGN, LLC

PLANNING • DESIGN • CONSULTING

1508 TOLLHOUSE ROAD, SUITE 'C'
CLOVIS, CALIFORNIA 93811
559-298-3060 (OFFICE)
559-298-3267 (FAX)

PROJECT

PROPOSED BUILDING SHELL DEVELOPMENT FOR:
DDYS FIRST AND GETTYSBURG
3147 EAST GETTYSBURG AVENUE
FRESNO, CA. 93726

STATUS

Current Release Date
02-01-2023
Planning Submittal
01-17-2023
Plan Check Submittal
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REVISIONS

1	
2	
3	
4	
5	

IDENTIFICATION

Scale
1/8" = 1'-0"
Project Coordinator
BRYAN POK
Project No.
21-159
Sheet

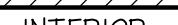
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KEYED NOTES

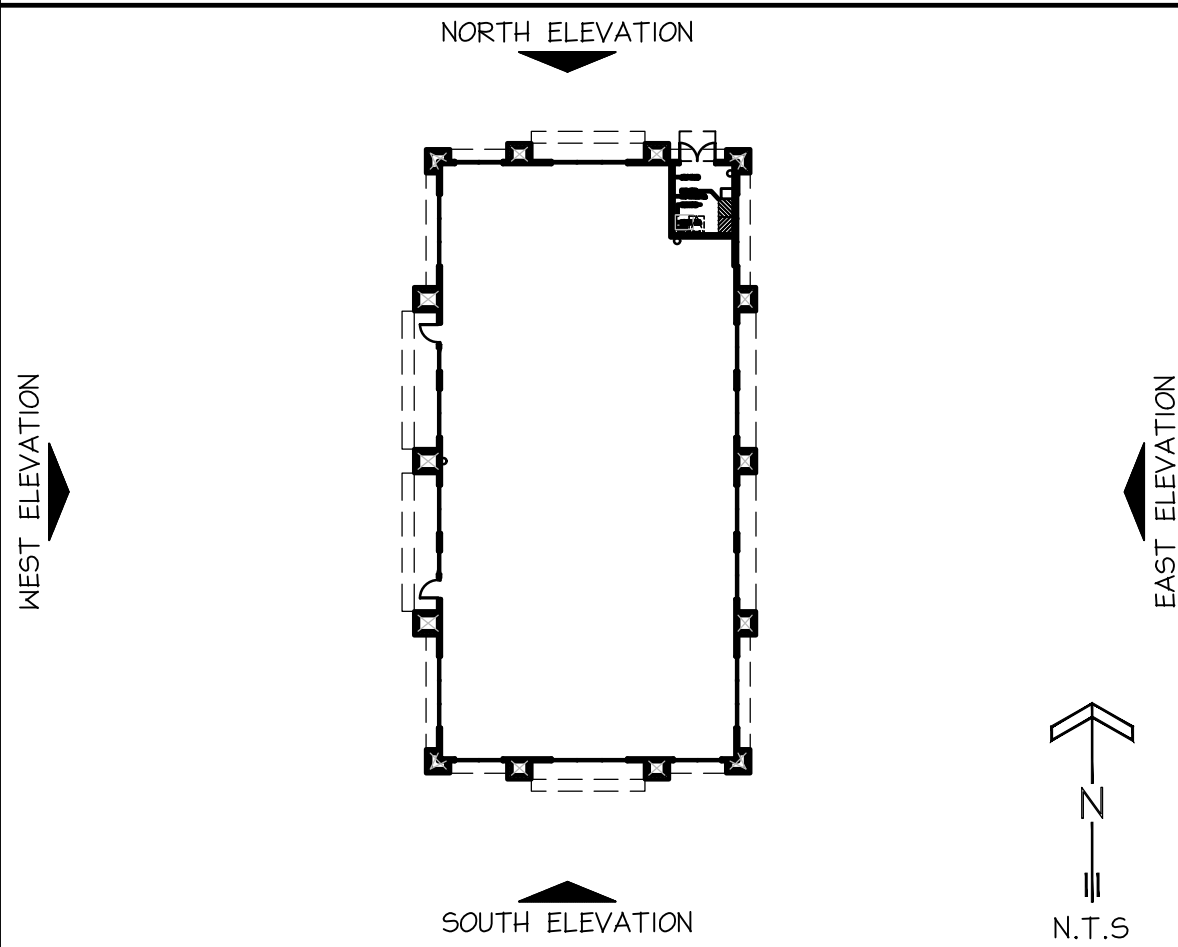
- DASHED LINES INDICATES 5'-0" x 5'-0" (5'-0" x 6'-0" AT DOUBLE DOORS) MINIMUM LEVEL LANDING AT EXTERIOR DOOR LOCATIONS - LEVEL LANDING SHALL EXTEND 24" MINIMUM PAST THE STRIKE EDGE OF DOOR AND SHALL HAVE A 2% MAXIMUM SLOPE IN ANY DIRECTION AND SHALL SLOPE AWAY FROM THE BUILDING.
- LOCATION OF EXTERIOR DOOR(S).
- DASHED LINES INDICATE LINE OF SOFFIT ABOVE.
- LOCATION OF NEW FIRE SPRINKLER LOCKABLE ACCESS PANEL - ACCESS PANEL SHALL BE 36"x36" MIN. AND SHALL BE CENTERED AT 48" A.F.F.
- LOCATION OF SIGN ABOVE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN LETTERS A MINIMUM OF 1" HIGH ON CONTRASTING BACKGROUND.
- LOCATION OF NEW TACTILE "EXIT" SIGNAGE - SIGNAGE SHALL MEET THE REQUIREMENTS OF C.B.C. SECTION 101.1 AND 11B-703.
- LOCATION OF NEW TACTILE SIGNAGE WITH THE TENANT ADDRESS IN RAISED NUMBERS AND IN BRAILLE - SIGNAGE SHALL MEET THE REQUIREMENTS OF C.B.C. SECTION 11B-703.
- LOCATION OF INTERNATIONAL SYMBOL OF ACCESSIBILITY BELOW TENANT ADDRESS/SUITE SIGN.
- LOCATION OF NEW KNOX-BOX - POSITION BOTTOM OF KNOX-BOX AT +6'-0" ABOVE FINISHED SURFACE - KNOX-BOX TO HAVE A KEY TO ALLOW FIRE DEPARTMENT ACCESS INTO THE BUILDING AND INTO THE BUILDINGS ELECTRICAL ROOM FOR ACCESS TO THE FIRE ALARM PANEL - A SPARE SPRINKLER HEAD KIT SHALL BE PROVIDED IN THE BUILDINGS ELECTRICAL ROOM NEAR THE FIRE ALARM PANEL - A KEY SHALL BE GIVEN TO THE FIRE MARSHALL PER NFPA SECTIONS 13, 4-14.4.1.1 AND 2-2.8, AND C.F.C. SECTION 506.1.
- LOCATION OF NEW SURFACE MOUNTED 2A-10BC FIRE EXTINGUISHER.
- LOCATION OF NEW WALL MOUNTED "NO SMOKING" SIGNAGE - SIGNAGE SHALL BE INSTALLED AT EACH ENTRY/EXIT DOOR AS SHOWN.
- LOCATION OF GLAZING w/ BLACKOUT FILM INSTALLED ON THE INSIDE FACE OF THE GLAZING - TYP.
- DASHED LINES INDICATE LOCATION OF ROOF ACCESS LADDER AND HATCH ABOVE.
- LOCATION OF ELECTRICAL SWITCH GEAR.
- DASHED LINES INDICATES LOCATION OF NEW METAL CANOPY.
- LOCATION OF NEW FIRE SPRINKLER RISER.
- LOCATION OF NEW PHONE BOARD.
- LOCATION OF NEW EXTERIOR GLAZING.

WALL LEGEND

GENERAL NOTES

- AREAS EXPOSED TO MOISTURE, AREAS WHERE APPLIANCES CREATE MOISTURE AND WITHIN 24" OF EACH PLUMBING FIXTURES SHALL HAVE MOISTURE AND MOLD RESISTANT GYPSUM WALLBOARD WITH EQUAL FIRE RATING DURATION VALUE.
 - INSTALLATION OF WALL ASSEMBLIES SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL (GA-600) LATEST EDITION AND GYPSUM ASSOCIATION APPLICATION AND FINISHING OF GYPSUM PANEL PRODUCTS MANUALS (GA-216) LATEST EDITION.
 - ALL INSIDE FACE OF EXTERIOR WALLS SHALL BE PAINTED WITH LATEX PAINT AS PER MPI INT 9.2A-CUSTOM GRADE FROM SLAB TO CEILING.
-  INDICATES 2x6 WOOD STUD FRAMING AS SHOWN ON STRUCTURAL PLANS (16" O.C. MAX. SPACING) - ON EXTERIOR FACE OF STUD PROVIDE EIFS WALL FINISH - INTERIOR FACE OF STUD TO BE LEFT UNFINISHED - MINIMUM R-20 INSULATION TO BE INSTALLED AT THE TIME OF THE FIRST TENANT IMPROVEMENT.
-  INDICATES 2x6 WOOD STUD FRAMING AS SHOWN ON STRUCTURAL PLANS (16" O.C. MAX. SPACING) - ON EXTERIOR FACE OF STUD PROVIDE FINISHES AS PER EXTERIOR ELEVATIONS.
-  INDICATES NEW 600S137-33 METAL STUD FRAMING AT 16" O.C. FROM SLAB TO UNDERSIDE OF ROOF DECK ABOVE - PROVIDE 5/8" GYPSUM BOARD ON BOTH SIDES OF FRAMING AND 1/2" FIRE RATED PLYWOOD OVER GYPSUM BOARD FROM SLAB TO +8'-0" A.F.F. ON WALLS OF ELECTRICAL ROOM THAT WILL RECEIVE ELECTRICAL PANELS AND/OR PHONE/ALARM EQUIPMENT - PAINT.
-  INDICATES NEW EXTERIOR GLAZING SYSTEM - REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS - ALL DOOR AND WINDOW ASSEMBLIES SHALL MEET TITLE-24 ENERGY CALCULATION REQUIREMENTS.
-  INDICATES NEW 3625/25-33 NON BEARING METAL STUD FURRING AT 16" O.C. FROM SLAB TO A POINT 13'-0" A.F.F.
-  INTERIOR FURRING NON-RATED PARTIAL HEIGHT

REFERENCE PLAN



APPL. NO. P23-00186 EXHIBIT F DATE 09/09/2023
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____
CITY OF FRESNO DARM DEPT

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FUTURE BUILDING FLOOR PLAN

PROJECT
PROPOSED BUILDING SHELL DEVELOPMENT FOR:
DDYS FIRST AND GETTYSBURG
3147 EAST GETTYSBURG AVENUE
FRESNO, CA. 93726

STATUS

Current Release Date
02-01-2023
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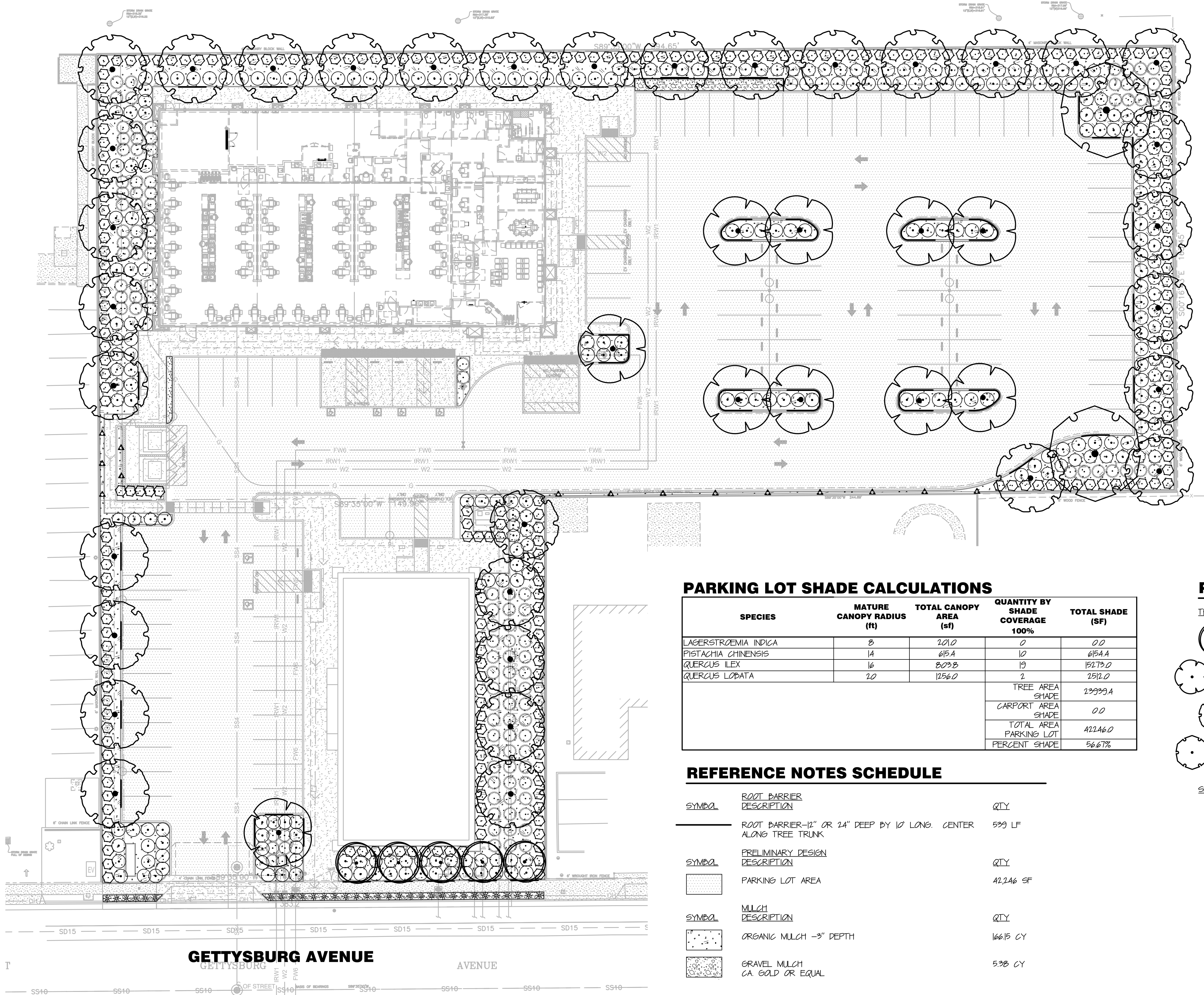
REVISIONS

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IDENTIFICATION

Scale
1/8" = 1'-0"
Project Coordinator
BRYAN POK
Project No.
21-159
Sheet

A-1.1



PARKING LOT SHADE CALCULATIONS

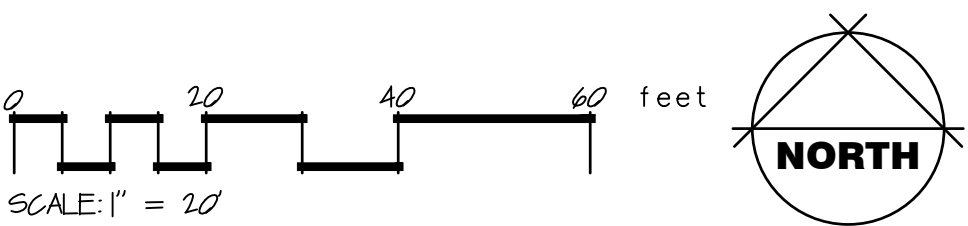
SPECIES	MATURE CANOPY RADIUS (ft)	TOTAL CANOPY AREA (sf)	QUANTITY BY SHADE COVERAGE 100%	TOTAL SHADE (SF)
LAGERSTROEMIA INDICA	8	201.0	0	0.0
PISTACHIA CHINENSIS	14	615.4	10	615.4
QUERCUS ILEX	16	809.3	19	1512.0
QUERCUS LOBATA	20	1256.0	2	1512.0
			TREE AREA SHADE	2999.4
			CARPORT AREA SHADE	0.0
			TOTAL AREA PARKING LOT	41246.0
			PERCENT SHADE	56.67%

REFERENCE NOTES SCHEDULE

SYMBOL	ROOT BARRIER DESCRIPTION	QTY
	ROOT BARRIER-12" OR 24" DEEP BY 10' LONG. CENTER ALONG TREE TRUNK	599 LF
SYMBOL	PRELIMINARY DESIGN DESCRIPTION	QTY
	PARKING LOT AREA	41246 SF
SYMBOL	MULCH DESCRIPTION	QTY
	ORGANIC MULCH -9" DEPTH	16615 CY
	GRAVEL MULCH CA. GOLD OR EQUAL	598 CY

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	WATER USE	MATURE WIDTH	QTY
	LAGERSTROEMIA INDICA GRAPE MYRTLE	15 GAL	LOW	10' TO 15' DIA	5
	PISTACHIA CHINENSIS CHINESE PISTACHE	15 GAL	LOW	20' TO 25' DIA	10
	QUERCUS ILEX HOLLY OAK	15 GAL	LOW	25' TO 30' DIA	39
	QUERCUS LOBATA VALLEY OAK	15 GAL	LOW	30' TO 35' DIA	2
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WATER USE	MATURE WIDTH	QTY
	CAMPISIS RADICANS TRUMPET CREEPER	1 GAL	LOW	10' DIA	14
	HESPERALOE PARVIFLORA RED YUCCA	1 GAL	LOW	2' DIA	32
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	1 GAL	LOW	5' DIA	95
	MUHLENBERGIA RIGENS DEER GRASS	1 GAL	LOW	5' DIA	118
	OLEA EUROPAEA 'MONTRA' LITTLE OLIVE	5 GAL	LOW	5' DIA	248
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	1 GAL	LOW		190



APPL. NO. P23-00186 EXHIBIT L-1 DATE 03/30/2023

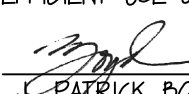
PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN.

 10.17.2022
J. PATRICK BOYD, LLA No. 4682 DATE:

project: **DDYS
FIRST
AND
GETTYSBURG**

**3147 EAST
GETTYSBURG
AVE.
FRESNO, CA
93726**

client:

designlab 252

P.O. Box 27616 Fresno, CA 93729
Studio: 559.472.9966 Fax: 559.472.9969



drawn by: **KJ** checked by: **PB**

submittal: date:
No. 1 10/17/2022
No. 2 01/11/2023
No. 3 XX/XX/XXXX
No. 4 XX/XX/XXXX

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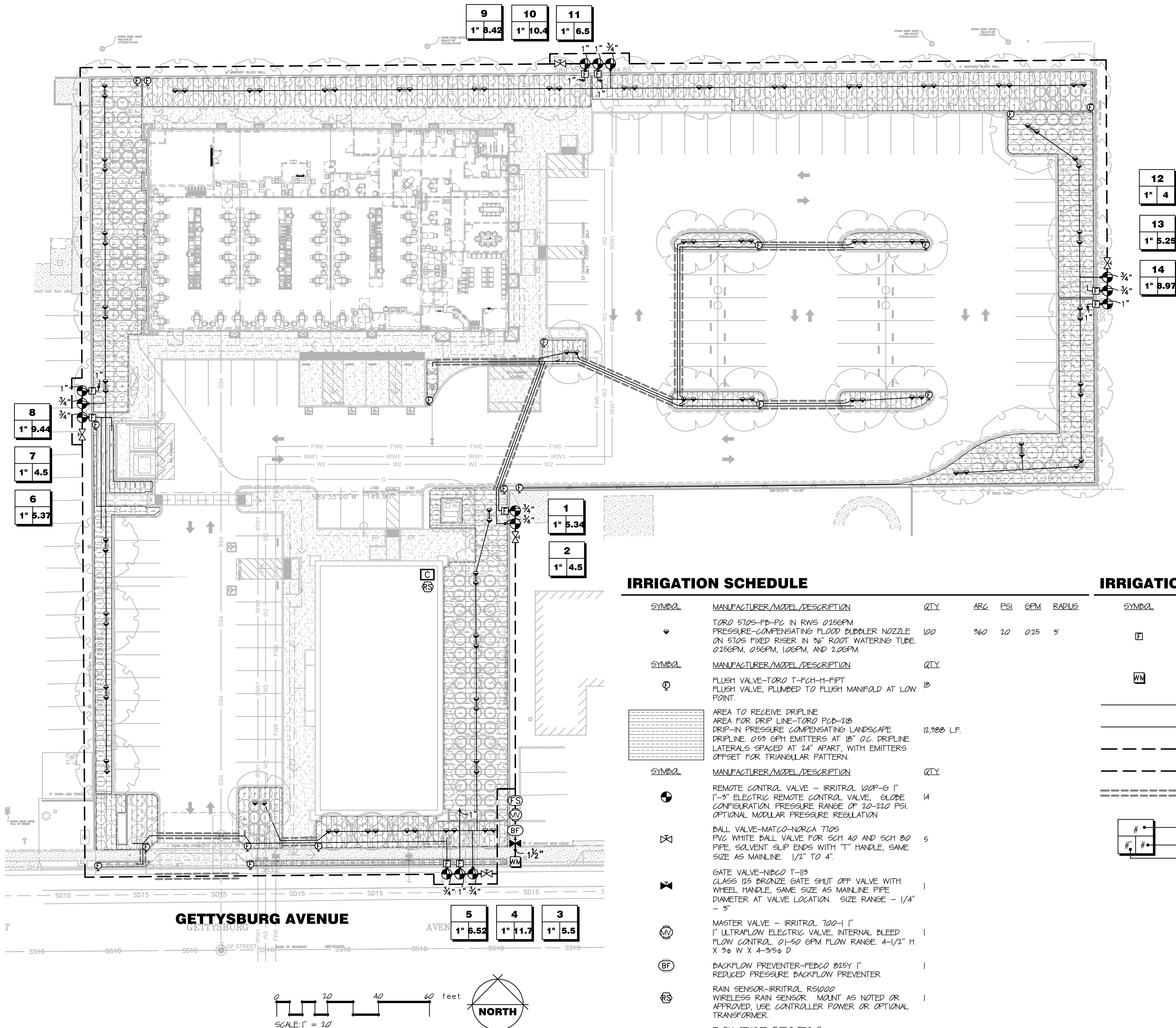
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PLANTING
PLAN

sheet no.

LA-1

project no. 22-01-002

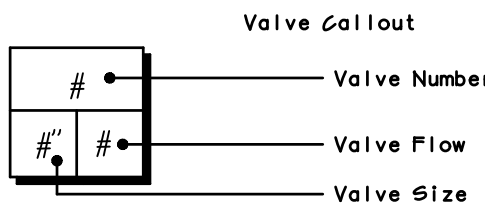


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
▼	TORO 5105-FB-PC IN RWS 0.156GPM PRESSURE-COMPENSATING FLOOD BUBBLER NOZZLE ON 5105 FIXED RISER IN 3/8" ROOT WATERING TUBE. 0.156GPM, 0.56GPM, 1.06GPM, AND 2.06GPM.	100	360	20	0.15	3'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
⊙	FLUSH VALVE-TORO T-FCH-H-FIPT FLUSH VALVE, PLUMBED TO FLUSH MANIFOLD AT LOW POINT.	18				
[Hatched Box]	AREA TO RECEIVE DRIPLINE AREA FOR DRIP LINE-TORO PCB-218 DRIPLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE 0.59 GPM EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 24" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN.	12,388 LF.				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
⊙	REMOTE CONTROL VALVE - IRRITROL 100P-6 1" 1"-3" ELECTRIC REMOTE CONTROL VALVE, GLOBE CONFIGURATION. PRESSURE RANGE OF 20-220 PSI. OPTIONAL MODULAR PRESSURE REGULATION.	14				
⊗	BALL VALVE-MATCO-NORCA T105 PVC WHITE BALL VALVE FOR SCH 40 AND SCH 80 PIPE, SOLVENT GLIP ENDS WITH "T" HANDLE, SAME SIZE AS MAINLINE 1/2" TO 4".	5				
⊗	GATE VALVE-NIRCO T-113 CLASS 125 BRONZE GATE SHUT OFF VALVE WITH WHEEL HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"	1				
⊗	MASTER VALVE - IRRITROL 100-H 1" 1" ULTRAFLOW ELECTRIC VALVE, INTERNAL BLEED FLOW CONTROL 01-50 GPM FLOW RANGE. 4-1/2" H X 3φ W X 4-3/8φ D	1				
⊗	BACKFLOW PREVENTER-FEBCO B35Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	1				
⊗	RAIN SENSOR-IRRITROL RS1000 WIRELESS RAIN SENSOR. MOUNT AS NOTED OR APPROVED. USE CONTROLLER POWER OR OPTIONAL TRANSFORMER.	1				
⊗	FLOW SENSOR-TORO TFS 1" 1/2", 3/4", 1", 1-1/2", 2", 3", AND 4" PLASTIC TEE SIZES. EFFECTIVE FLOW MONITORING, EVEN IN FLOWS LESS THAN 5 GPM. COMPATIBLE WITH TORO AND COMPETITIVE CONTROLLERS. INFELLER-BASED, PVC DESIGN.	1				

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
⊗	AMIAID 1-C-STEEL SCREEN 130MM AMIAID 1" COMPACT MANUAL PLASTIC FILTER, NPT THREAD, STEEL SCREEN ELEMENT. ENGINEERED-PLASTIC MATERIAL, MAXIMUM WORKING PRESSURE 150PSI.	9				
⊗	WATER METER 1" SEE UTILITY PLAN FOR WATER METER ASSUMED STATIC PRESSURE 50 PSI	1				
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4"	2,096 LF.				
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"	62.3 LF.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	51 LF.				
---	IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"	1,242 LF.				
---	PIPE SLEEVE: PVC SCHEDULE 40	399.7 LF.				



APPL. NO. P23-00186 EXHIBIT L-2 DATE 03/30/2023

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

project: **DDYS
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drawn by: **KJ** checked by: **PB**

submittal: **No. 1** date: **10/17/2022**

No. 2 **01/11/2023**

No. 3 **XX/XX/XXXX**

No. 4 **XX/XX/XXXX**

scale: 1"=20'-0"

sheet title:

IRRIGATION
PLAN

sheet no.

LA-2

project no. 22-01-002

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER
EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE
EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN.

Patrick Boyd 10.17.2022
J. PATRICK BOYD, LLA No. 4682 DATE:

GENERAL NOTES

1. EXISTING UTILITIES – INFORMATION ON THE DRAWINGS RELATING TO EXISTING UTILITY LINES AND SERVICES IS FROM THE BEST SOURCES AVAILABLE. ALL SUCH INFORMATION IS FURNISHED FOR INFORMATION ONLY AND IS NOT GUARANTEED.

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.

B. CALL UTILITY LOCATING SERVICE FOR PRECISE UTILITY LOCATIONS BEFORE BEGINNING ANY WORK. UNDERGROUND SERVICE ALERT. (800) 527-2600.
2. EXISTING CONDITIONS:

A. PROTECTION OF EXISTING TREES: CONSTRUCT FOUR (4) FOOT HIGH ORANGE CONSTRUCTION FENCE OR OTHER APPROVED PROTECTIVE FENCING AROUND THE TREE. CONTACT THE OWNER/OWNER'S REPRESENTATIVE FOR LOCATION OF THE FENCE IF NOT SHOWN ON THE PLAN. DO NOT ENTER, OR PLACE OBJECTS WITHIN THE FENCED AREA. PLACE A THREE (3) INCH LAYER OF WOOD MULCH WITHIN THE FENCED AREA BUT KEEP MULCH OFF OF TRUNK. CONTRACTOR SHALL MAINTAIN FENCED AREA CLEAR OF OBJECTS AT ALL TIMES.

B. WHEN IT IS NECESSARY TO EXCAVATE OR TRENCH ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. ALL ROOTS TWO (2) INCH AND LARGER IN DIAMETER EXCEPT DIRECTLY IN THE PATH OF PIPE OR CONDUIT, SHALL BE TUNNELED UNDER AND SHALL BE HEAVILY WRAPPED WITH BURLAP TO PREVENT SCARRING OR EXCESSIVE DRYING. WHERE A TRENCHING MACHINE IS RUN CLOSEST TO TREES HAVING ROOTS SMALLER THAN TWO (2) INCHES IN DIAMETER, THE WALL OF THE TRENCH ADJACENT TO THE TREE SHALL BE HAND TRIMMED MAKING CLEAN CUTS THROUGH. ROOTS ONE (1) AND LARGER IN DIAMETER SHALL BE PAINTED WITH TWO COATS OF TREE SEAL, OR EQUAL. TRENCHES ADJACENT TO TREE SHALL BE CLOSED WITHIN TWENTY-FOUR (24) HOURS, AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.

C. PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING IRRIGATION CONTROLLER, WATER METER AND BACKFLOW PREVENTER LOCATIONS. CONTRACTOR SHALL VERIFY EXISTING IRRIGATION STATIONS AT ADJACENT WORK AREA AND DETERMINE VALVES CONTROLLING HEADS INDICATED FOR CONNECTION TO EXISTING SYSTEM. CONTRACTOR SHALL VERIFY VALVE SIZE AND EXISTING GPM FLOW PRIOR TO ADDING NEW HEADS. ALSO, SPRING AND COVERAGE SHALL BE VERIFIED AND NECESSARY PROVISION IN BID MADE FOR REQUIRED ADJUSTMENTS AND MODIFICATIONS TO ACHIEVE PROPER COVERAGE.
3. CONTRACTOR SHALL FURNISH A LIST AND CUT SHEETS OF THE MATERIALS PROPOSED FOR THE PROJECT TO THE OWNER/OWNER'S REPRESENTATIVE FOR APPROVAL. CONSTRUCTION SHALL NOT BEGIN UNTIL MATERIALS ARE APPROVED.

4. INSPECTION SCHEDULE

A. THE FOLLOWING INSPECTIONS SHALL BE PERFORMED BY THE OWNER/OWNER'S REPRESENTATIVE DURING CONSTRUCTION. OWNER/OWNER'S REPRESENTATIVE SHALL CONTACT LANDSCAPE ARCHITECT FOR INSPECTION REQUIREMENTS, IF INSPECTIONS REQUIRE THE PRESENCE OF THE LANDSCAPE ARCHITECT, LANDSCAPE ARCHITECT MUST BE NOTIFIED A MINIMUM OF 4 DAYS PRIOR TO SCHEDULED INSPECTION DATE.

• PRESSURE TESTING OF IRRIGATION MAINLINE-OPEN TRENCH.

• FINAL IRRIGATION INSPECTION-CONFIRMATION OF IRRIGATION EQUIPMENT PLACEMENT AND FULL IRRIGATION COVERAGE.

• INSPECTION OF PLANT MATERIALS ON SITE BEFORE INSTALLATION.

• FINAL CONSTRUCTION INSPECTION PRIOR TO COMMENCEMENT OF WARRANTY PERIOD.

• FINAL PROJECT ACCEPTANCE AT THE END OF WARRANTY PERIOD.

5. CLEAN UP ON A DAILY BASIS PER OWNER/OWNER'S REPRESENTATIVE'S APPROVAL.
- MODEL WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS:
1. SEE CIVIL PLANS FOR GRADING PLAN.

2. A SOILS REPORT IS REQUIRED. SOIL TESTING SHALL OCCUR AFTER ALL SOIL HAS BEEN IMPORTED TO THE SITE, BUT PRIOR TO SOIL PREPARATION. THE CONTRACTOR SHALL OBTAIN A SOILS TEST FOR 'AGRICULTURAL SUITABILITY AND FERTILITY' PREPARED BY A CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES MEMBER. REPORT SHALL CONTAIN RECOMMENDATIONS FOR SOIL PREPARATION AND BACKFILL MIX. THIS REPORT SHALL BE FURNISHED TO THE OWNER AND OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO IMPLEMENTATION.

2.1. PRIOR TO PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT.

2.2. SOIL AMENDMENT SHALL BE INCORPORATED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

2.3. FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR (4) CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOILS. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP SIX (6) INCHES ARE EXEMPT FROM ADDING COMPOST AND TILLING.

3. A MINIMUM OF A THREE (3) INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. UP TO 5% OF THE LANDSCAPE MAY BE LEFT WITHOUT MULCH FOR INSECT HABITAT, AND SUCH ARE MUST BE NOTED ON THE PLANS.

4. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

5. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

6. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

7. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OR THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

8. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- PLANTING NOTES
1. DO NOT WILLFULLY PROCEED WITH PLANTING AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES AND/OR AREA DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ANY SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH LANDSCAPE INSTALLATION OPERATIONS.

3. CONTRACTOR TO PROVIDE A MINIMUM OF 2% POSITIVE DRAINAGE IN ALL PLANTING AREAS. IN NO CASE SHALL WATER DRAIN TOWARDS BUILDINGS.

4. WEED AND EXISTING GRASS CONTROL:

A. WEED AND GRASS TYPES SHOULD BE IDENTIFIED BY AN APPROVED LICENSED PEST CONTROL ADVISOR TO ENSURE COMPATIBILITY WITH CHEMICALS AND SEASON OF THE APPLICATION. DO NOT USE CHEMICAL/METHOD THAT WOULD ADVERSELY AFFECT NEW PLANTING. REMOVE EXISTING PERENNIAL WEEDS FROM SITE BY MOWING AND GRUBBING.

5. SOILS

A. SOIL TESTING

a. THE CONTRACTOR SHALL OBTAIN A SOILS TEST FOR AGRICULTURAL SUITABILITY AND FERTILITY PREPARED BY A CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES MEMBER. SOIL TESTING SHALL OCCUR AFTER ALL SOILS HAS BEEN IMPORTED TO THE SITE AND ROUGH GRADE ESTABLISHED, BUT PRIOR TO SOIL PREPARATION.

b. SOILS REPORT SHALL CONTAIN ANALYSIS OF SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM, AND PERCENT ORGANIC MATTER. SOILS REPORT SHALL CONTAIN RECOMMENDATIONS FOR SOIL PREPARATION, AMENDED SOIL AND FERTILIZATION.

c. A MINIMUM OF 2 LOCATIONS SHALL BE SAMPLED, ADDITIONAL SAMPLES REQUIRED AT THE RATE OF ONE PER EVERY 10,000 SF OF LANDSCAPE AREA.

d. TWO (2) SAMPLES PER LOCATION SHALL BE TAKEN, ONE AT A DEPTH OF 10" AND ONE AT A DEPTH OF 24" TO 36". EACH SAMPLE SHALL CONTAIN APPROXIMATELY ONE QUART OF SOIL AND BE LABELED PER LOCATION AND DEPTH.

e. THIS REPORT SHALL BE FURNISHED TO THE OWNER/OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO IMPLEMENTATION.

B. SOIL PREPARATION:

a. ROTOTILL THE FOLLOWING AMENDMENTS INTO THE SOIL AT RATES INDICATED PER 1,000 SQUARE FEET AND INCORPORATE INTO THE TOP 6" OF SOIL:

b. 4 CUBIC YARDS (CY) NITROGEN STABILIZED REDWOOD SHAVINGS

c. 150 LBS GYPSUM

d. 125 LBS GRD POWER PLUS

C. PLANT PIT BACKFILLING SOILS SHALL CONSIST OF ONE (1) PART EXCAVATED SOIL TO ONE (1) PART AMENDED SOIL. MATERIALS SHALL BE THOROUGHLY MIXED BEFORE PLACEMENT.

D. FERTILIZATION: FOR BID PURPOSES, IN ADDITION TO BACKFILL, COMMERCIAL FERTILIZER 10-10-5 AGRIFORM 21-GRAM TABLETS SHALL BE ADDED TO PLANT PITS AT THE FOLLOWING RATES:

• 1 TABLET PER 1 GALLON CONTAINER

• 2 TABLETS PER 5 GALLON CONTAINER

• 3 TABLETS PER 15 GALLON CONTAINER

• 4 TABLETS PER 24" BOX

• 5 TABLETS PER 30" BOX

• 6 TABLETS PER 36" BOX

• 7 TABLETS PER 42" BOX

• 8 TABLETS PER 48" BOX AND THOSE LARGER THAN 48".

• NO PACKS TO BE USED FOR SEASONAL COLOR AREAS.

E. SHOULD IMPORT SOIL BE NECESSARY, INDICATE SOURCE LOCATION. SOIL SHALL BE SANDY LOAM CONTAINING NO TOXIC CHEMICALS. SUBMIT AGRICULTURAL SUITABILITY AND FERTILITY TESTING FOR THIS IMPORT TO OWNER/OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO SOIL IMPORTATION. TEST REPORT SHALL INCLUDE AMENDMENT RECOMMENDATIONS AND BE DONE BY AN APPROVED CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES MEMBER.

F. UNDER NO CIRCUMSTANCES, CONCRETE AND OTHER DEBRIS MAY BE CRUSHED AND REUSED AS FILL IN PLANTING AREA.

6. PLANT MATERIAL APPROVAL AND PLACEMENT

A. PROVIDE TREES, SHRUBS AND OTHER PLANTS OF SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601).

B. ALL PLANT MATERIAL OF A GIVEN SPECIES SHALL HAVE MATCHING FORM, UNLESS OTHERWISE SPECIFIED.

C. IS IT THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE FROM PESTS OR PLANT DISEASES. PRE-SELECTION OR TAGGED MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED TO BE PEST AND DISEASE FREE PRIOR TO SHIPMENT. IT IS THE CONTRACTOR'S OBLIGATION TO PROVIDE ANY REQUIRED CERTIFICATIONS AND WARRANTY FOR ALL PLANT MATERIAL.

D. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER/OWNER'S REPRESENTATIVE.

E. NURSERY STAKES SHALL BE REMOVED FROM ALL TREES AFTER PLANTING. TREES SHALL BE ABLE TO BE SUPPORTED BY TREE STAKES ONLY.

F. IN AREAS WITH EXISTING TURF OR GROUNDCOVER, CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF BARE SPOTS AND ALL SCARS DUE TO IRRIGATION INSTALLATION OR RE-GRADING, AND SHALL MATCH EXISTING PLANTING TO ACHIEVE A UNIFORM OVERALL APPEARANCE.

G. LOCATION OF EXISTING TREES ARE APPROXIMATE. IF DURING GRADING OPERATION, EXISTING GRADE CANNOT BE MAINTAINED WITHIN DRIPLINE OF TREES, CONTACT OWNER/OWNER'S REPRESENTATIVE FOR DIRECTION PRIOR TO GRADING.

H. ANNUAL COLOR SHALL BE SELECTED BY OWNER/OWNER'S REPRESENTATIVE AT TIME OF INSTALLATION.

7. MULCH

A. ALL SHRUB/GROUNDCOVER AREAS SHALL BE TOP DRESSED WITH A MINIMUM OF 3" MULCH. TYPE SHALL BE SPECIFIED ON THE PLANS. SUBMIT SAMPLES TO OWNER/OWNER'S REPRESENTATIVE FOR APPROVAL.

8. ROOT BARRIERS

A. IN ADDITION TO ROOT BARRIERS SHOWN ON THE PLANS, ALL TREES WITHIN 5' OF ANY HARDSCAPE SHALL HAVE ROOT BARRIERS PLACED ADJACENT TO ANY HARDSCAPE. ROOT BARRIERS SHALL BE TEN (10) FOOT LONG BY 24" DEEP AND CENTERED ALONG TRUNK OF TREE.

9. MOW STRIPS

A. IN ADDITION TO ANY MOW STRIPS OR HEADERS SHOWN ON THE PLANS, CONCRETE MOW STRIP, REDWOOD OR RECYCLED PLASTIC HEADERBOARD SHALL BE INSTALLED PER DETAIL WHEREVER GROUNDCOVER AREAS MEET TURF.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM INDICATED ON THE PLANS IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR GRAPHIC DESIGN CLARIFICATION PURPOSES ONLY. EQUIPMENT SHALL BE LOCATED IN ADJACENT PLANTER. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING OR ARCHITECTURAL FEATURES.

2. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, WALL LOCATIONS, ETC., THAT WILL AFFECT HIS WORK. IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SYSTEM AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS THAT OBSTRUCTION, GRADE DIFFERENCES OR AREA DIMENSION DIFFERENCES EXIST. NOTIFY THE OWNER/OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES. IN THE EVENT THAT NOTIFICATION IS NOT MADE, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR NECESSARY CHANGES AND WORK.

3. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND OTHERS FOR LOCATING PIPE AND WIRE SLEEVES THROUGH WALLS, STRUCTURES, UNDER ROADS PAVING, ETC.

4. THE IRRIGATION DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE SHOWN FOR EACH POINT OF CONNECTION AND MAXIMUM GPM (GALLONS PER MINUTE) DEMAND SPECIFIED.

5. MAINLINE FEEDER BETWEEN POINT OF CONNECTION, METER AND BACKFLOW PREVENTER TO BE OF MATERIAL REQUIRED BY LOCAL WATER DISTRICT.

6. WHERE APPLICABLE, FINAL LOCATION OF THE BACKFLOW PREVENTER AND IRRIGATION CONTROLLER SHALL BE APPROVED BY THE CITY'S REPRESENTATIVE AND/OR OWNER'S REPRESENTATIVE.

7. A 120-VOLT ELECTRICAL POWER OUTLET AT EACH AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE NECESSARY POWER SOURCES AND TO MAKE THE FINAL LOOP UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER(S), INCLUDING PROPER GROUNDING AS REQUIRED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

8. IN ADDITION TO THE SLEEVES SHOWN ON THE PLAN, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS UPON APPROVAL OF THE OWNER'S REPRESENTATIVE, IF REQUIRED TO OPERATE THE SYSTEM. SLEEVES SHALL BE 2 X DIAMETER OF THE PIPE.

9. CONCRETE THRUST BLOCKS SHALL BE PROVIDED ON ALL MAINLINE PIPING. THEY ARE TO BE LOCATED AT ALL ABRUPT CHANGES TO HORIZONTAL ALIGNMENT, REDUCTION IN PIPE SIZES, END OF LINE AND IN-LINE VALVES TO ABSORB ANY AXIAL THRUST OF THE PIPE. THRUST BLOCKS MUST BE FORMED AGAINST UNDISTURBED EARTH.

10. INSTALL VALVE BOXES 4" FROM AND PERPENDICULAR TO PATH EDGE, CURB, LAWN, BUILDINGS OR HARDSCAPE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 6" APART. SHORT SIDE OF VALVE BOX SHALL BE PARALLEL TO WALK, CURBS, LAWN, ETC.

11. SPLICING OF 24-VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE 24" COIL OF EXCESS WIRE AT EACH SPLICE. LABEL ALL WIRES WITH WATERPROOF MARKERS AT ALL SPLICES.

12. IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE, WATER CONSERVATION AND PREVENTION OF OVERSPRAY ONTO WALKS AND ROADWAYS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITION AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

PROJECT WARRANTY PERIOD

1. PROJECT WARRANTY PERIOD SHALL BEGIN AFTER PROJECT IS COMPLETE AND APPROVED DURING THE FINAL CONSTRUCTION INSPECTION. PROJECT WARRANTY PERIOD SHALL BE 90 DAYS.

2. DURING PROJECT WARRANTY PERIOD, THE PROJECT SHALL BE INSPECTED WEEKLY AND THE FOLLOWING SHALL BE REQUIRED:

A. KEEP PLANT BASINS WELL FORMED.

B. PLANTS THAT SHOW SIGNS OF FAILURE TO GROW AT ANY TIME OR WHICH ARE SO INJURED OR DAMAGED AS TO RENDER THEM UNSUITABLE FOR THE PURPOSE INTENDED, MUST BE REMOVED, AND REPLANTED. REPLACEMENT PLANTING MUST COMPLY WITH THE ORIGINAL PLANTING SPECIFICATIONS, SIZES AND SPACING DESCRIBED FOR THE PLANTS BEING REPLACED.

C. STAKE, TIE AND TRAIN VINES ADJACENT TO WALLS AND FENCES.

D. CONTROL RODENTS AND INSECTS AS NEEDED.

E. CONTROL WEEDS AS NEEDED. CONTROL OF WEEDS SHALL BE REQUIRED BEFORE THE WEEDS REACH THE SEED STAGE OF GROWTH OR EXCEED 4 INCHES IN LENGTH, WHICHEVER OCCURS FIRST.

a. CONTROL WEEDS BY HAND-PULLING WITHIN AN AREA 2 FEET IN DIAMETER CENTERED AT EACH PLANT LOCATION. ALL OTHER LOCATIONS MAY BE CONTROLLED BY HERBICIDE.

b. REMOVE ALL TRASH AND DEBRIS.

c. IRRIGATE USING IRRIGATION CONTROLLER SET ON ET SCHEDULE.

3. PERFORM FINAL INSPECTION OF THE PROJECT WARRANTY PERIOD IN THE PRESENCE OF THE OWNER/OWNER'S REPRESENTATIVE 20 TO 30 DAYS BEFORE THE CONTRACT ENDS. FINAL CONTRACT APPROVAL WILL NOT TAKE PLACE UNTIL THE FOLLOWING HAS OCCURRED:

A. REPLACE ANY DEAD OR DAMAGED PLANT MATERIAL. REPLACEMENT PLANTING MUST COMPLY WITH THE ORIGINAL PLANTING SPECIFICATIONS, SIZES AND SPACING DESCRIBED FOR THE PLANTS BEING REPLACED.

B. CONFIRM THAT ALL TREE STAKES ARE SUFFICIENT TO SUPPORT TREES. REPLACE AS NEEDED.

C. REPLACE MULCH TO THE ORIGINAL DEPTH DICTATED IN CONSTRUCTION.

D. REPAIR OR REPLACE ANY NON-FUNCTIONAL/ DAMAGED IRRIGATION EQUIPMENT.

E. REMOVE, CLEAN AND REINSTALL ALL FILTERS.

F. FLUSH ALL DRIP EMITTER SYSTEMS.

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AND
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KJ

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No. 1

date:

10/17/2022

No. 2

01/11/2023

No. 3

XX/XX/XXXX

No. 4

XX/XX/XXXX

scale: 1"=20'-0"

sheet title:

LANDSCAPE
NOTES

sheet no.

LA-3

project no.

22-01-002

APPL. NO. P23-00186 EXHIBIT L-3 DATE 03/30/2023

PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

**3147 EAST
GETTYSBURG
AVE.
FRESNO, CA
93726**

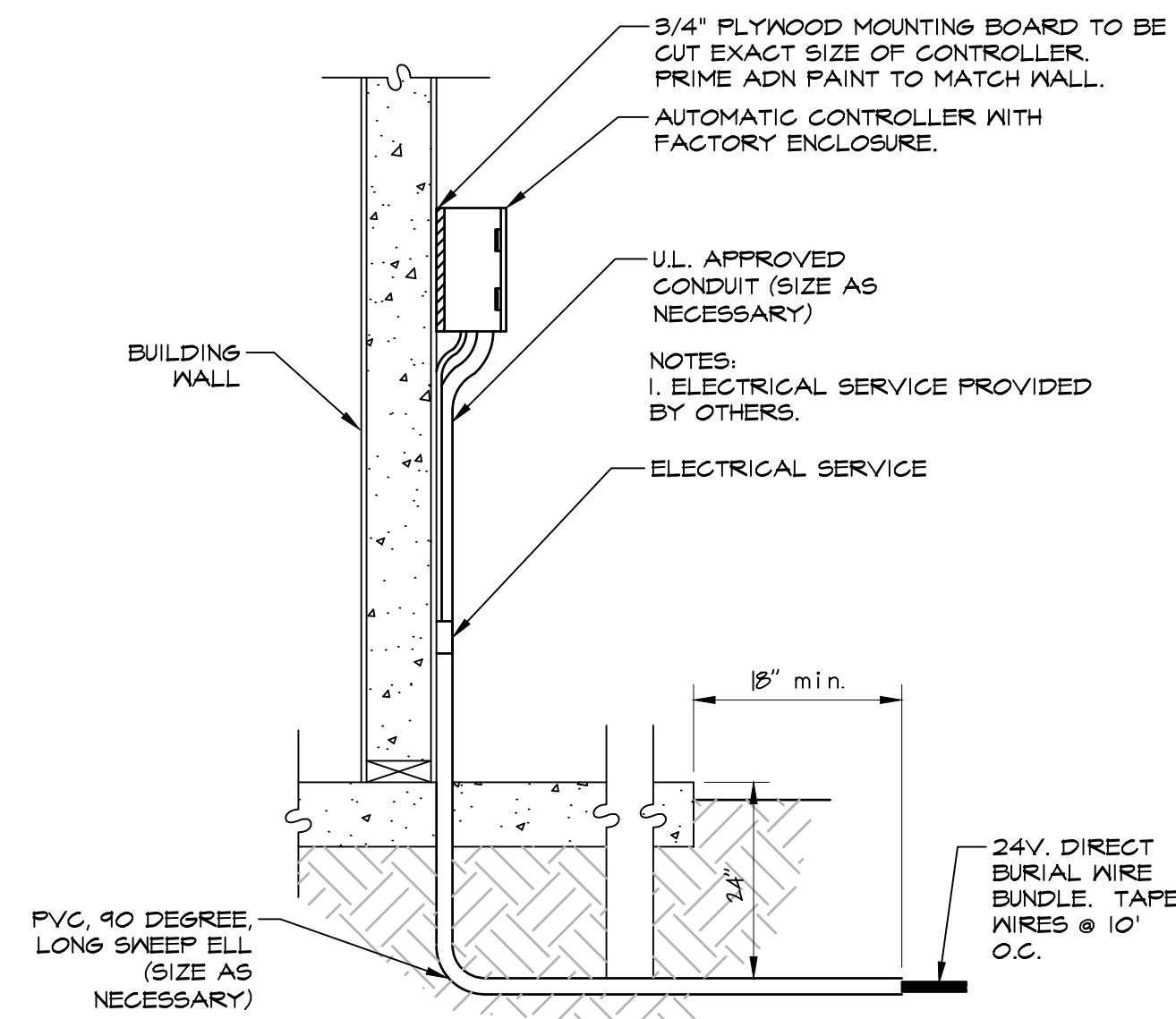
APPL. NO. P23-00186 EXHIBIT L-4 DATE 03/30/2023

PLANNING REVIEW BY _____ DATE _____

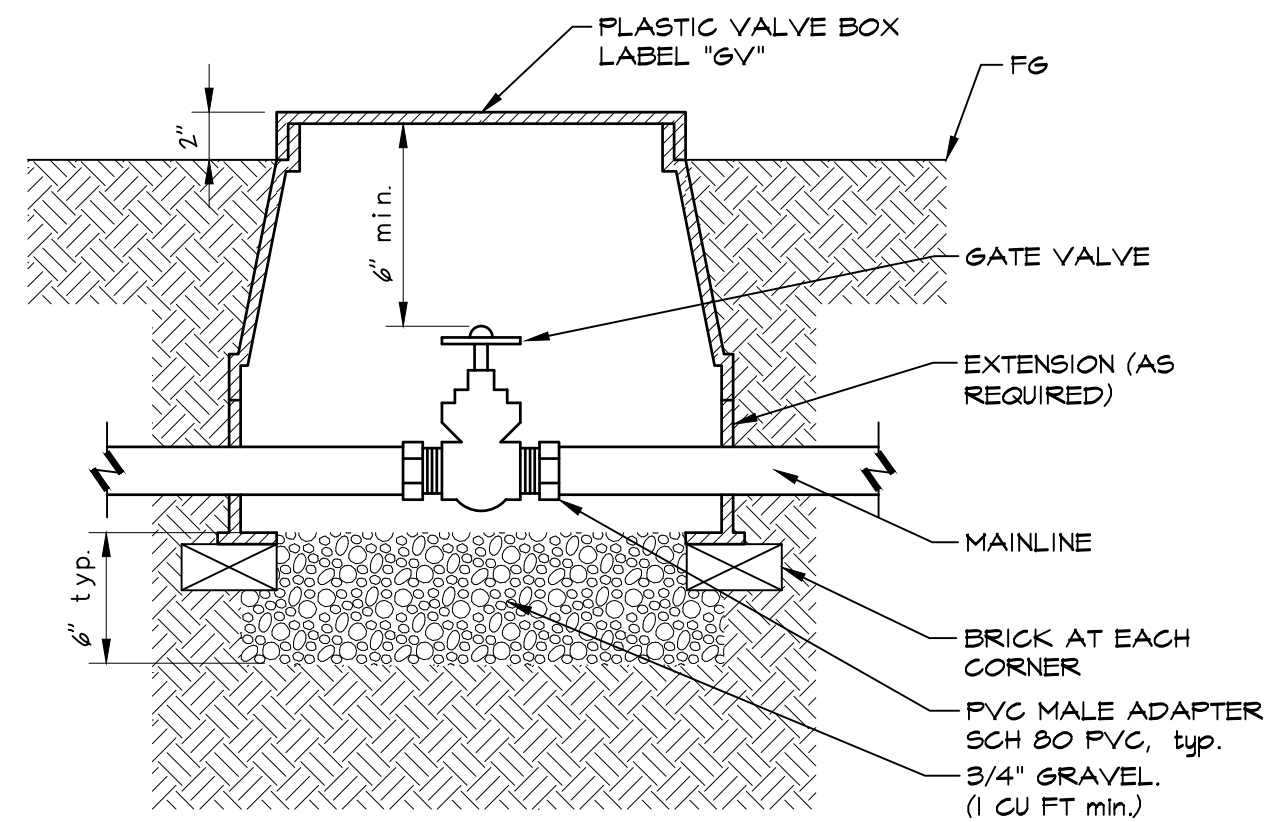
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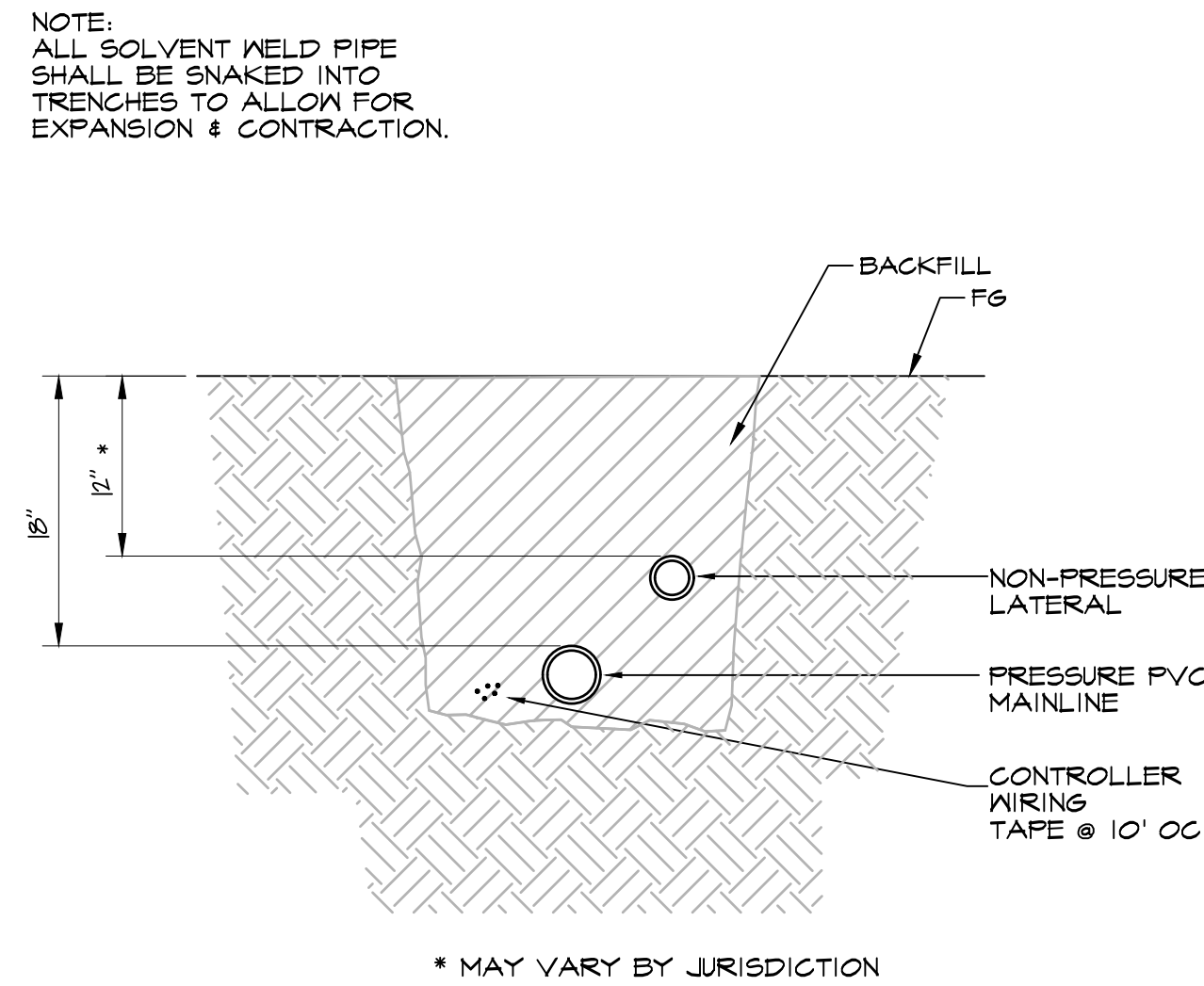
CITY OF FRESNO DARM DEPT



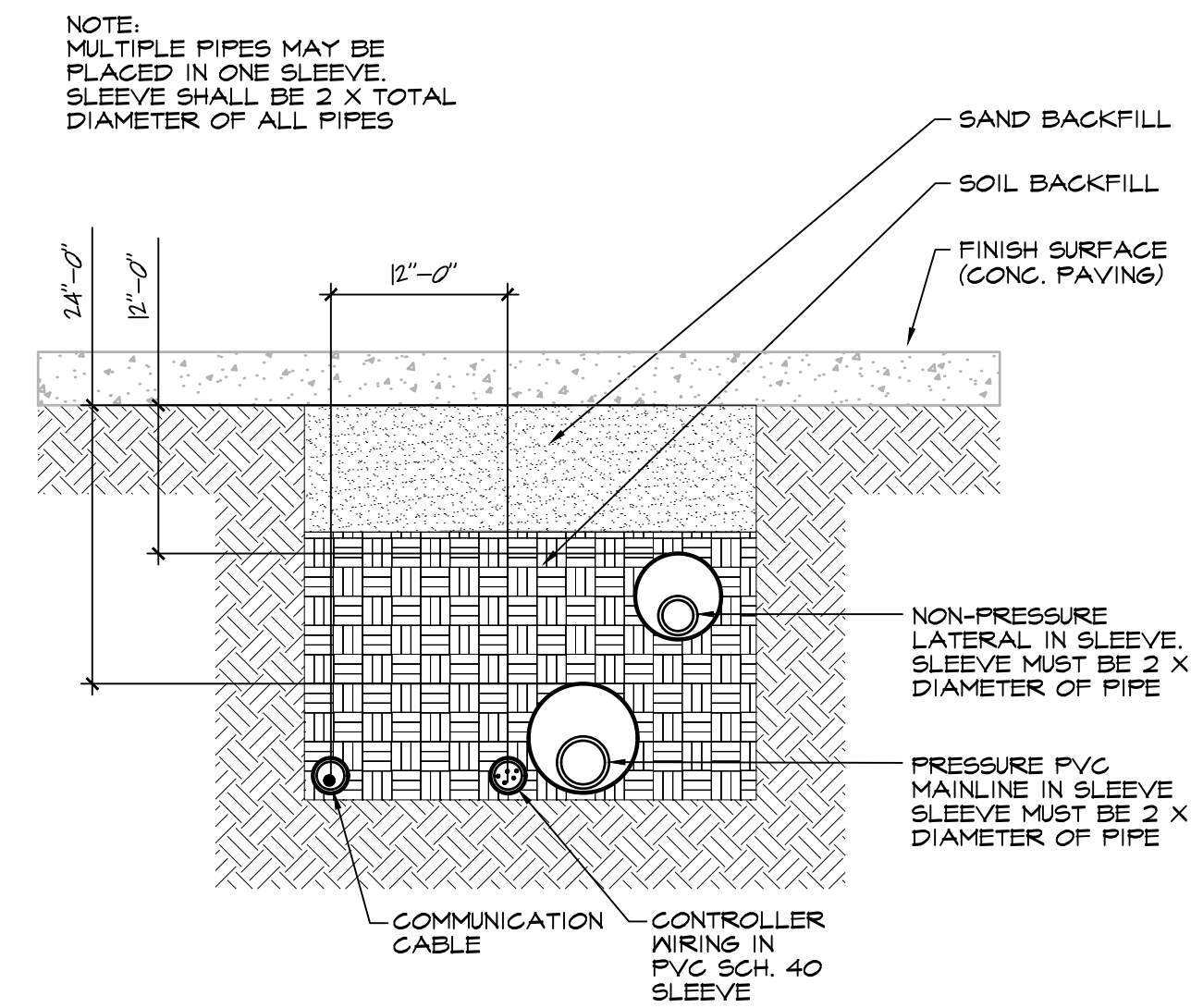
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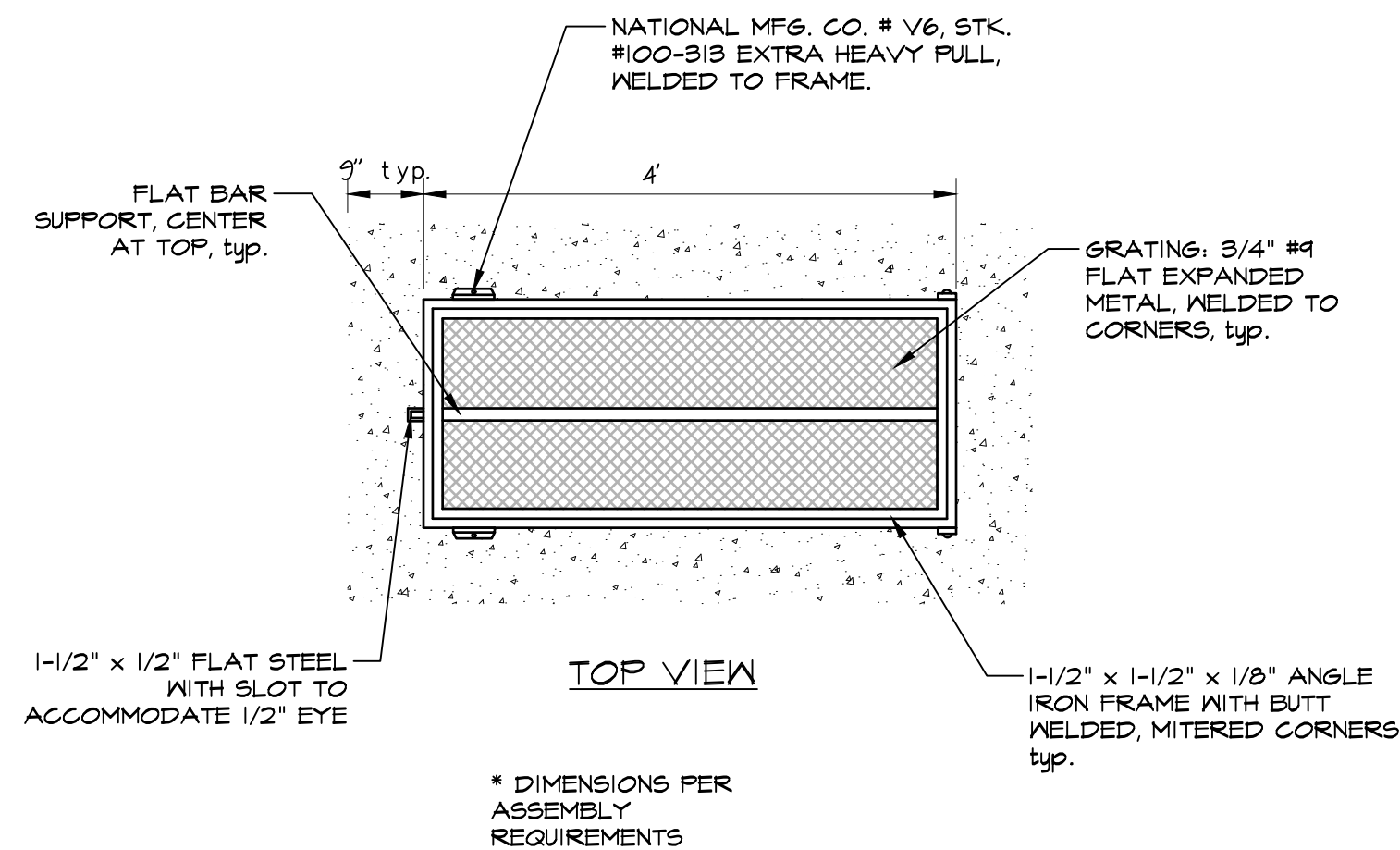
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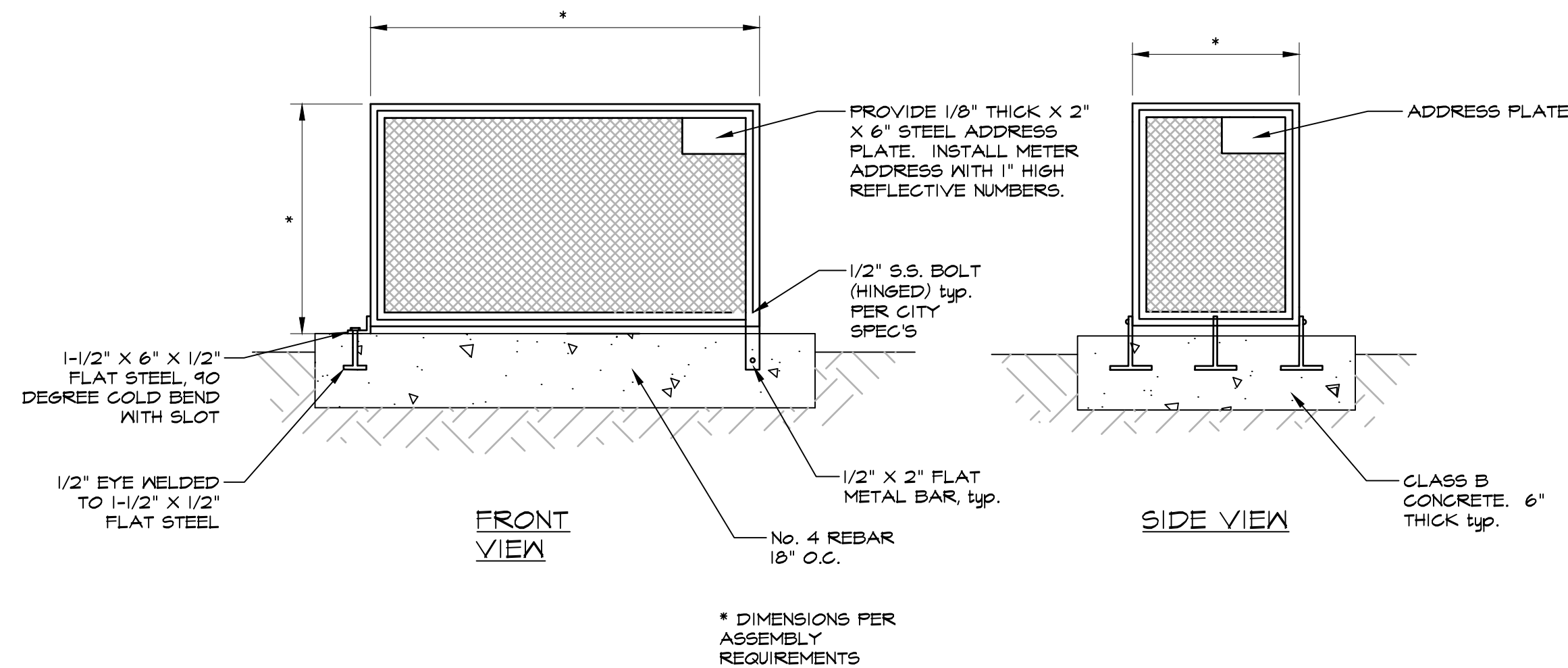
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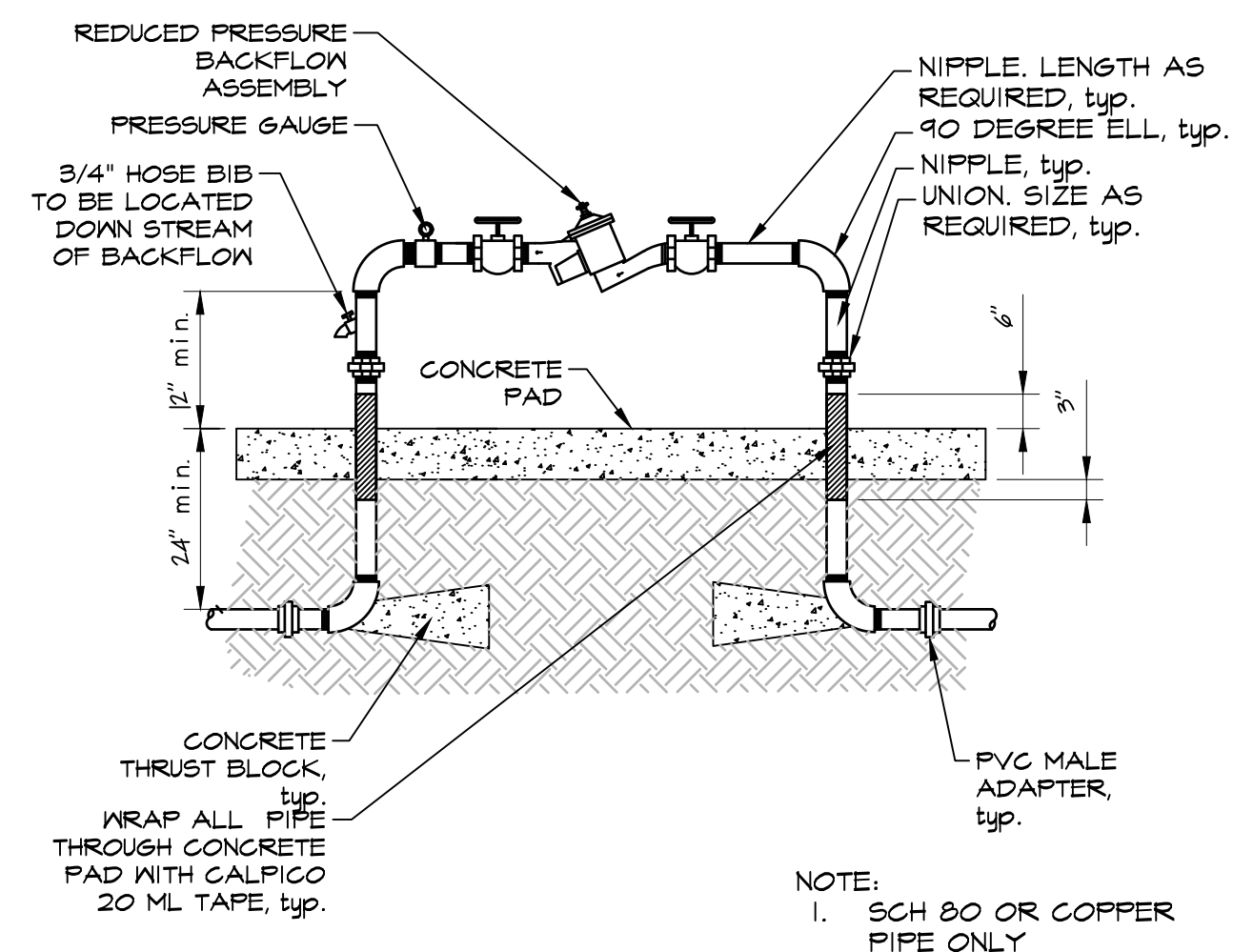
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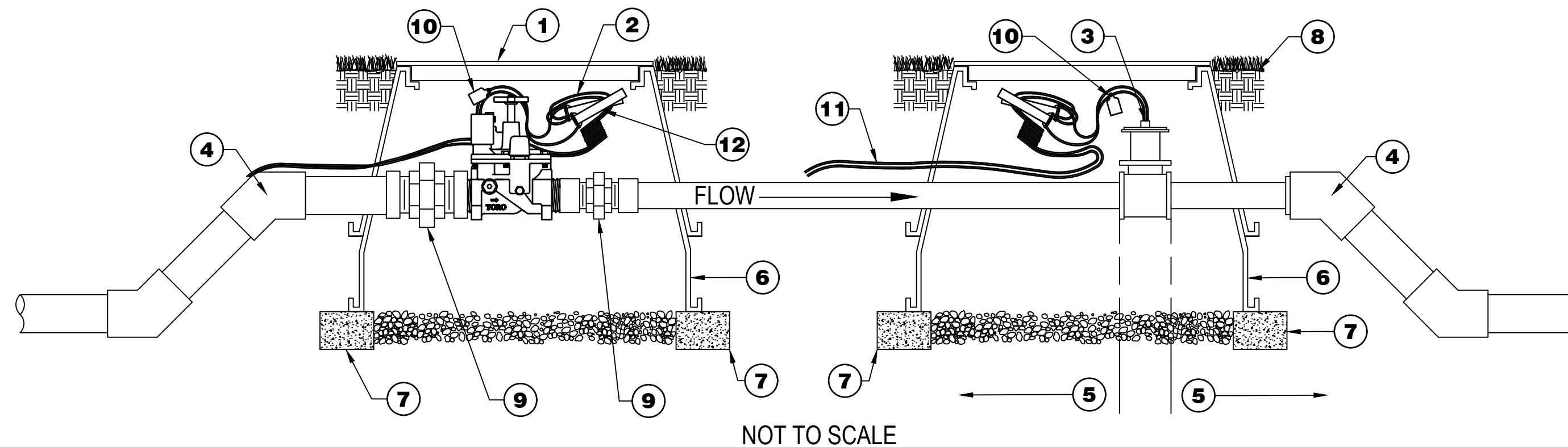
- NOTES:
1. ALL EXPOSED PARTS SHALL BE SAND BLASTED SMOOTH AND POWDER COATED, FOREST GREEN.
 2. ALL OUTSIDE WELDS SHALL BE GRIND SMOOTH.
 3. HINGE FABRICATED FROM 1/2" STAINLESS STEEL. BOLT, WASHERS AND AIRCRAFT NUTS, BURR THREAD TO PREVENT REMOVAL.
 4. METAL GRATING SHALL BE INSTALLED AND WELDED TO INSIDE OF ENCLOSURE. POWDER COATED FOREST GREEN.
 5. VACUUM BREAKER MANIFOLD NOT TO EXCEED 42" INCHES IN LENGTH IN ORDER FOR GAGE CLEARANCE.
 6. INSTALL BACKFLOW PREVENTER BLANKET PER MANUFACTURER'S RECOMMENDATIONS.



DL-IR-BAC-02



DL-IR-BAC-04



- ① VALVE BOX
- ② CONDUCTORS
- ③ FLOW SENSOR
- ④ PVC ELL - 45 DEGREE
- ⑤ MIN. 10 X PIPE DIA. UPSTREAM
MIN. 5 X PIPE DIA. DOWNSTREAM
- ⑥ EXTENSIONS AS NECESSARY
- ⑦ BRICK SUPPORT
- ⑧ VALVE BOX SET 2" ABOVE FG
- ⑨ UNION
- ⑩ IDENTIFICATION TAG
- ⑪ COMMUNICATION CABLE
- ⑫ WATER PROOF SPLICE

$$1\frac{1}{2}'' = 1'-0''$$

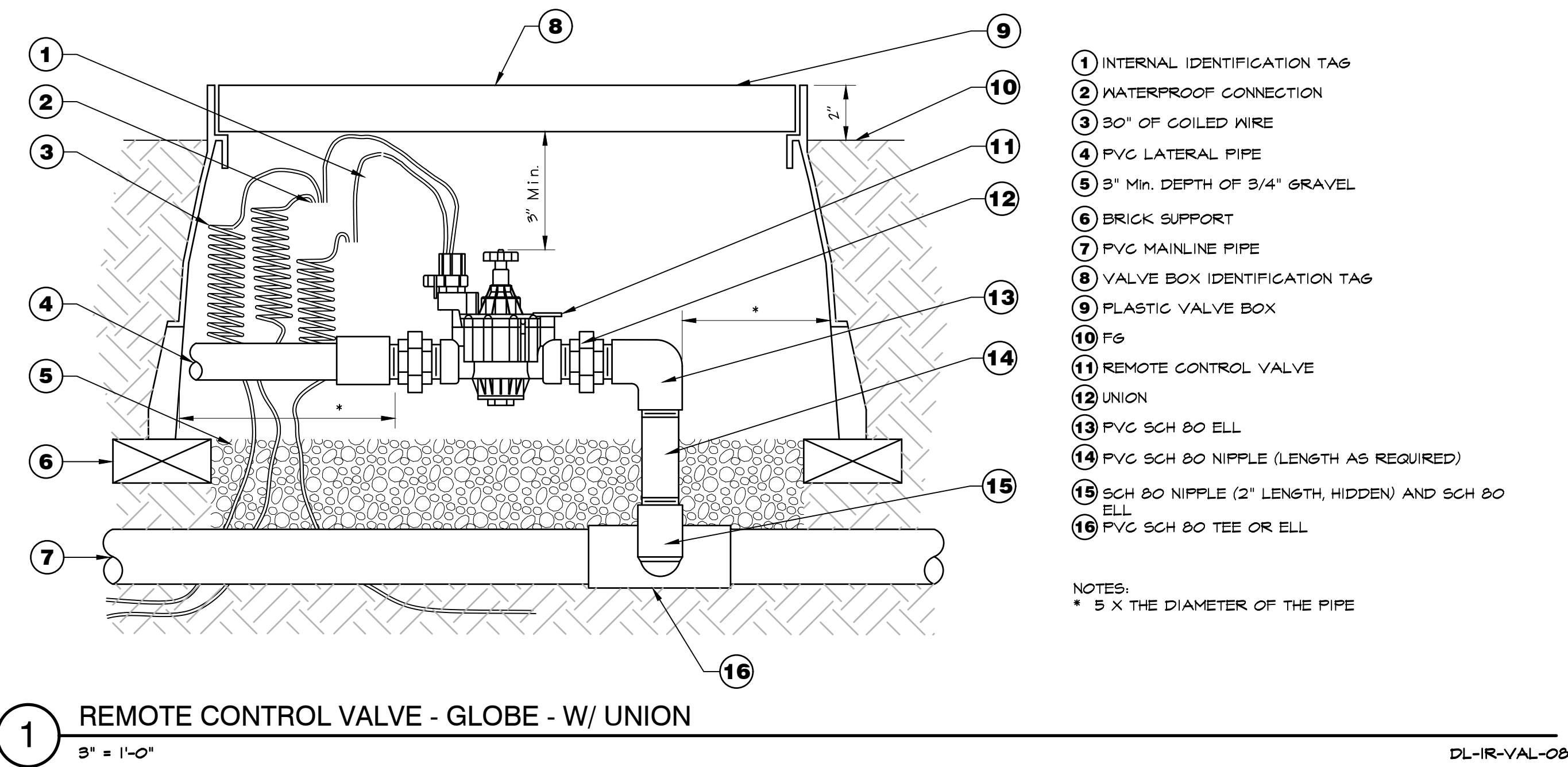
submittal:	date:
No. 1	10/17/2022
No. 2	01/11/2023
No. 3	XX/XX/XXXX
No. 4	XX/XX/XXXX

sheet title:

LANDSCAPE DETAILS

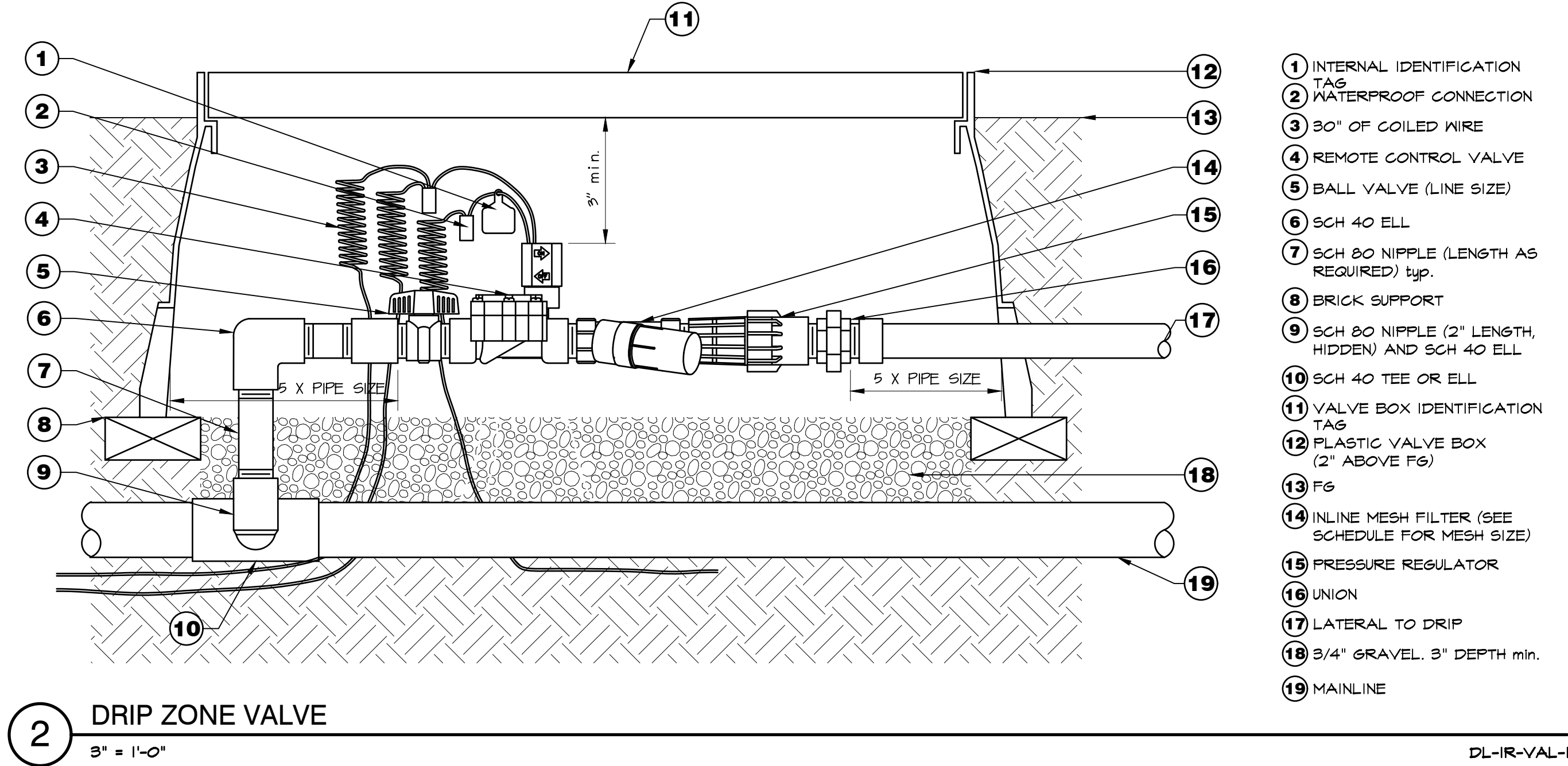
LA-4

project no. 22-01-002



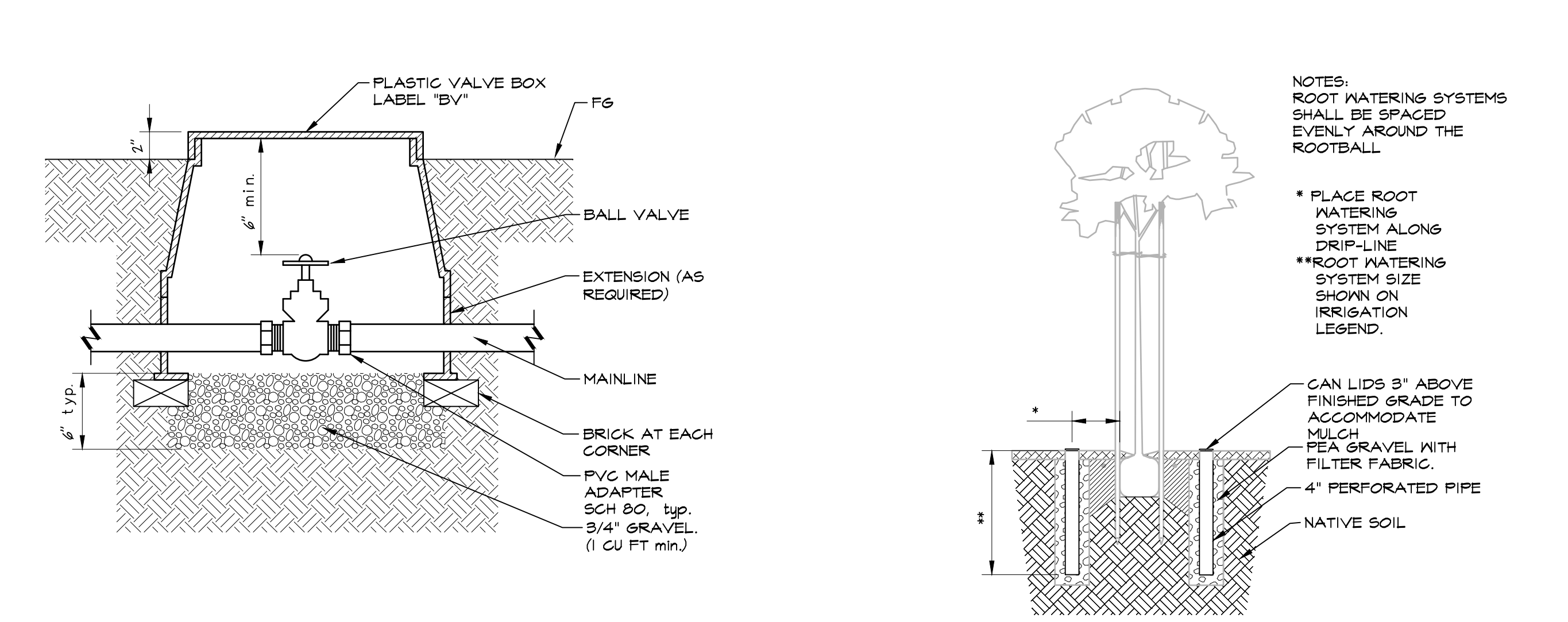
1 REMOTE CONTROL VALVE - GLOBE - W/ UNION
3" = 1'-0"

DL-IR-VAL-08



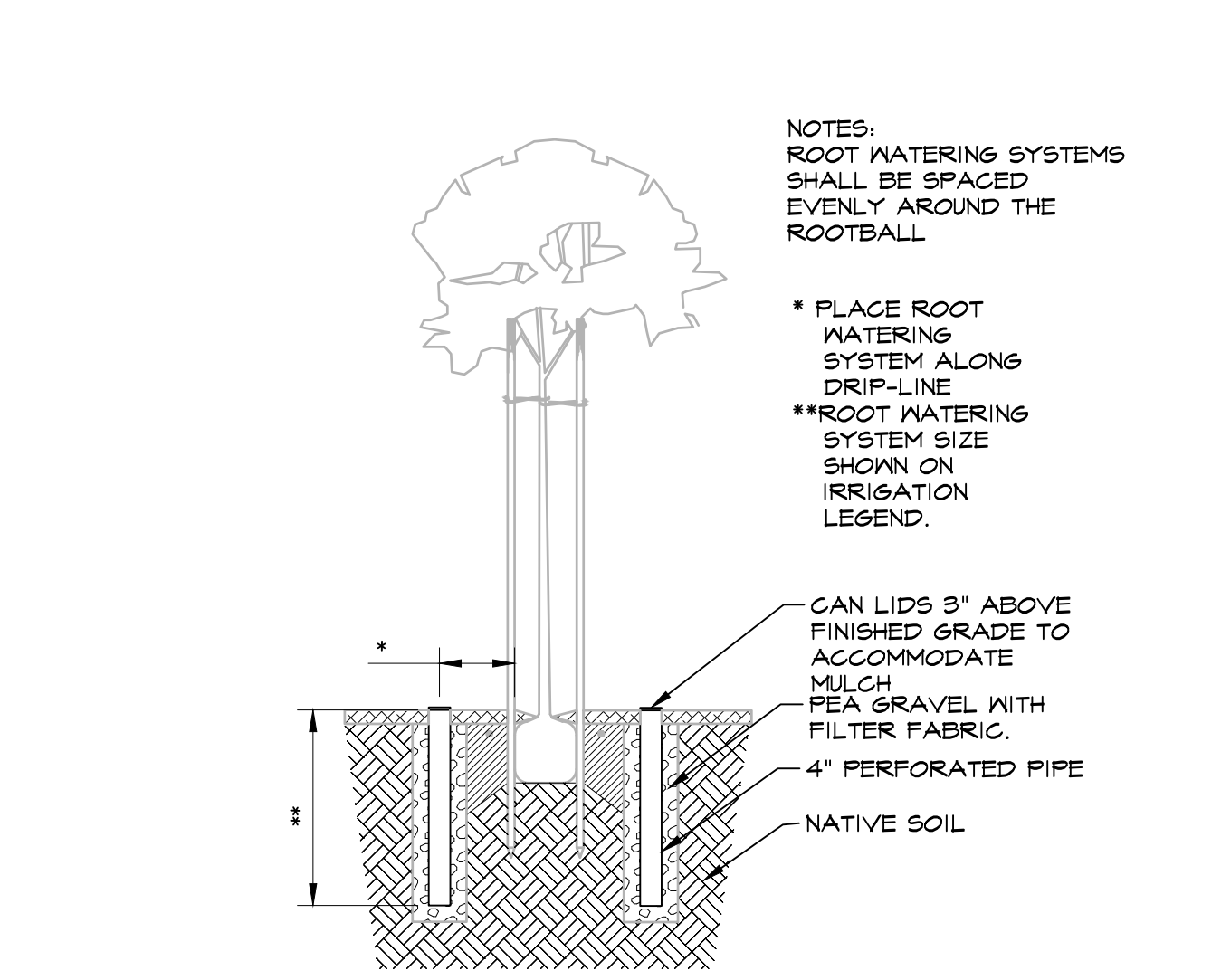
2 DRIP ZONE VALVE
3" = 1'-0"

DL-IR-VAL-12



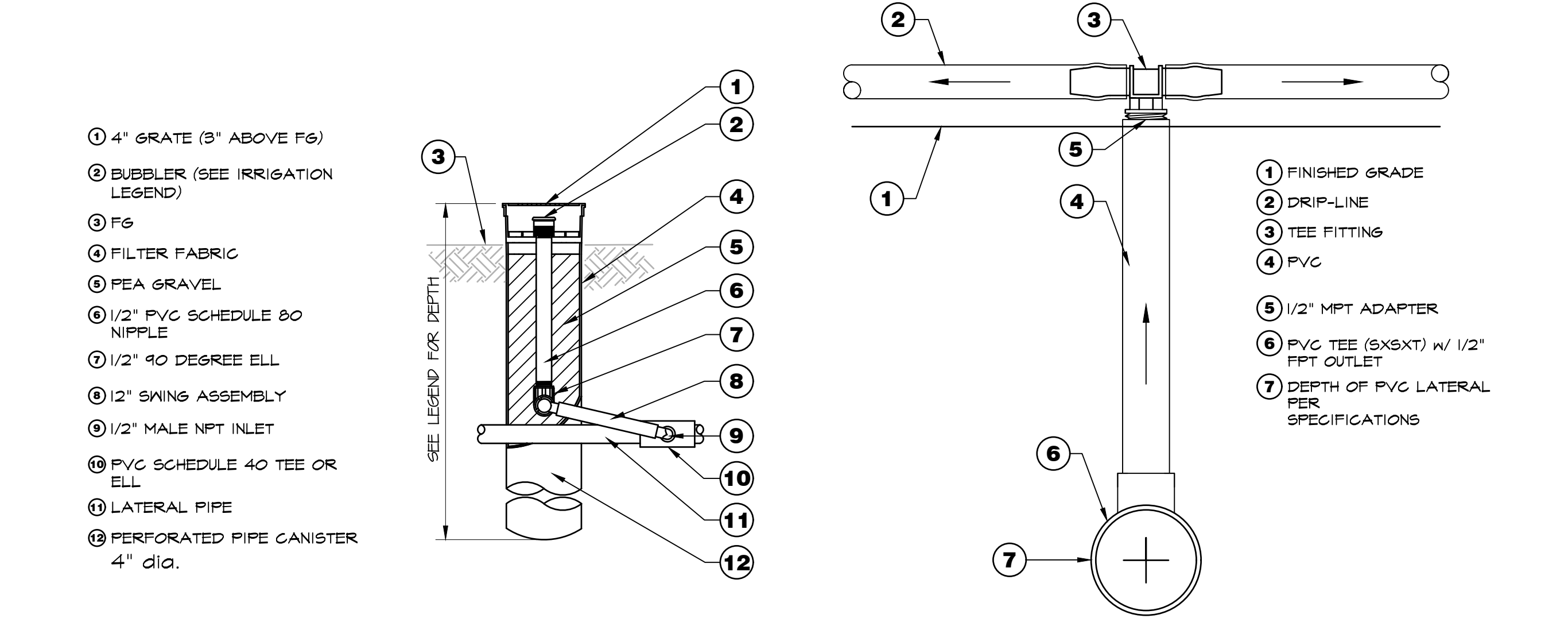
3 BALL VALVE
1 1/2" = 1'-0"

DL-IR-VAL-10



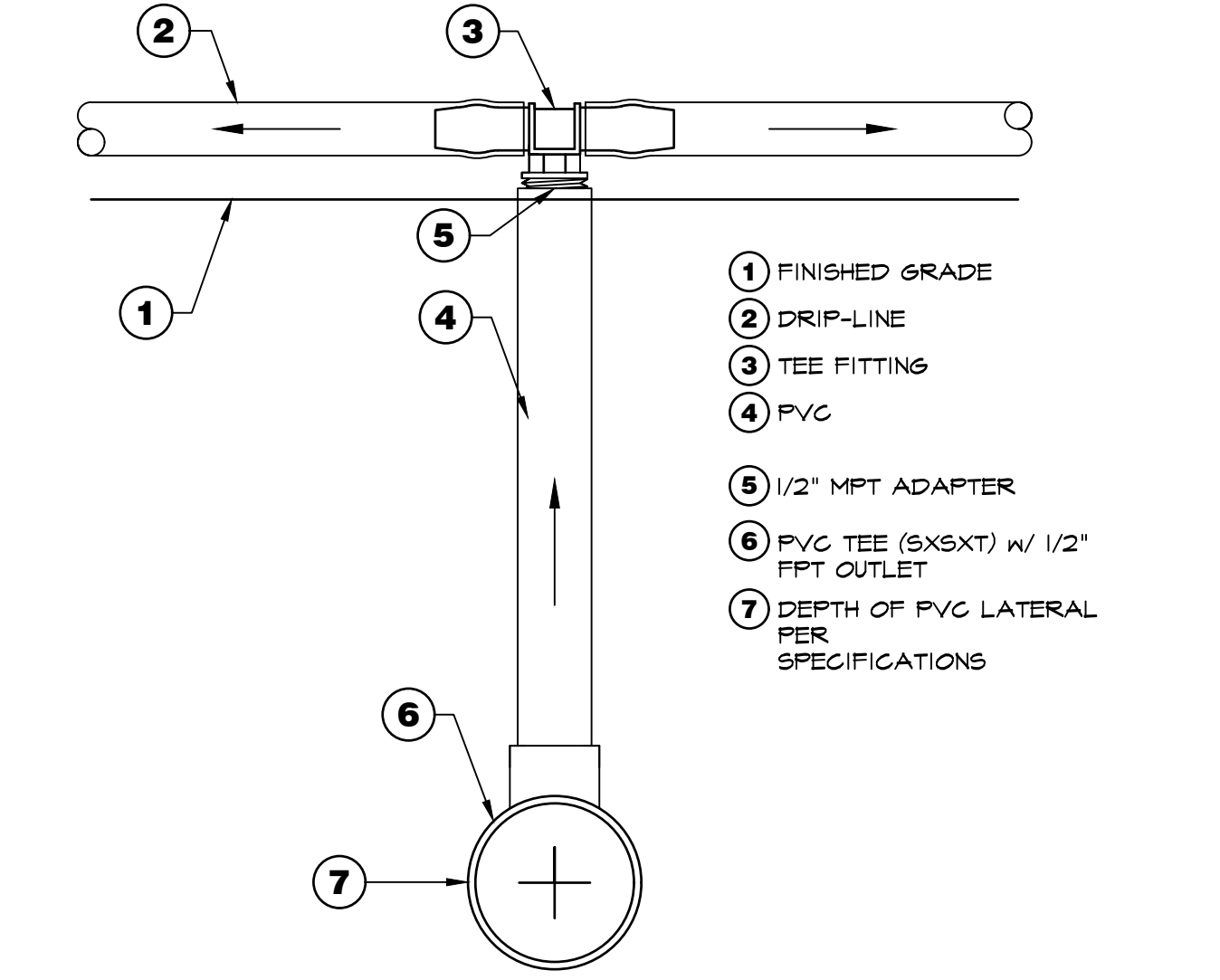
4 ROOT WATERING SYSTEM PLACEMENT
3/8" = 1'-0"

DL-IR-SPR-DEEP-06



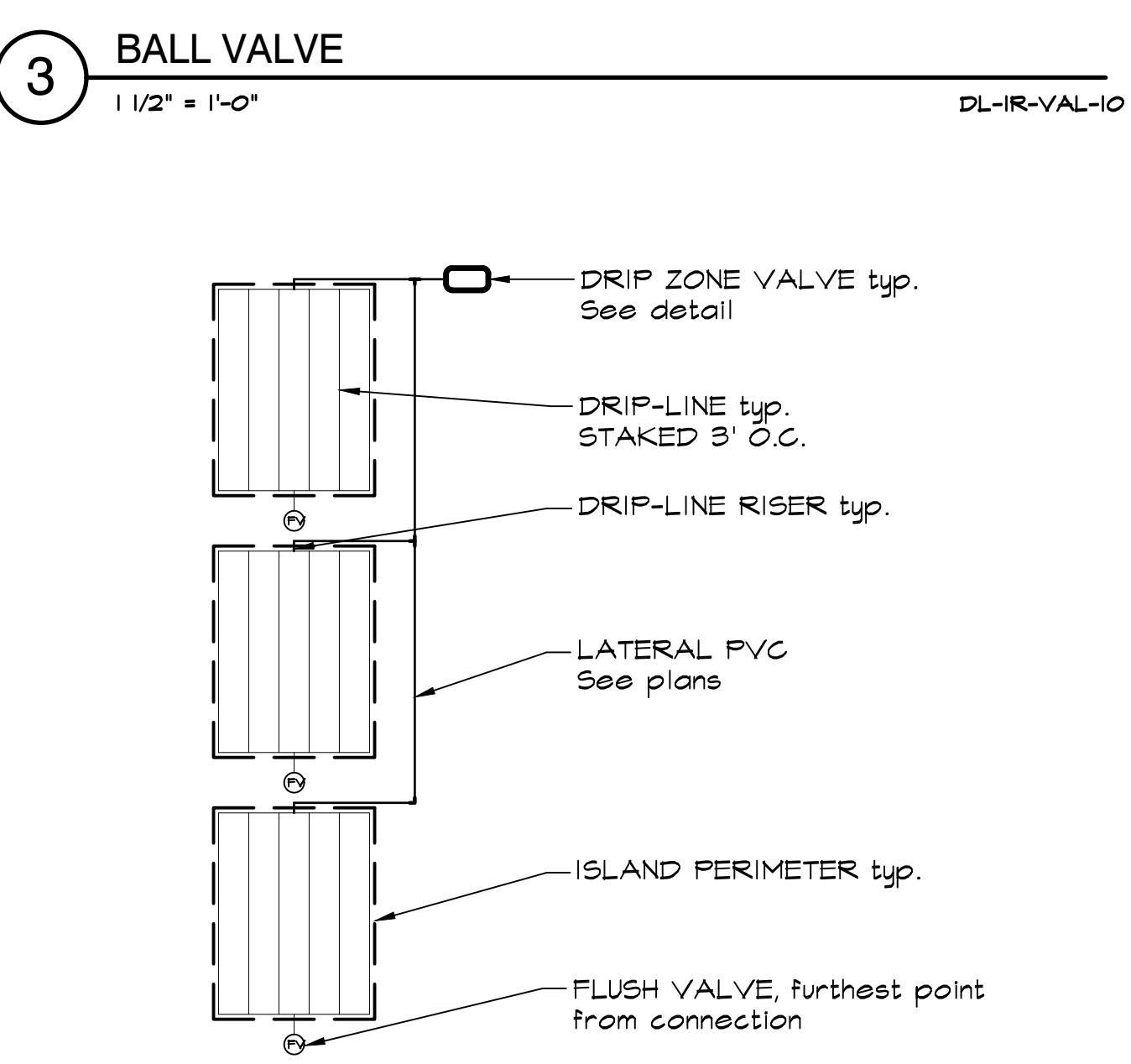
5 BUBBLER IN ROOT WATERING SYSTEM
1 1/2" = 1'-0"

DL-IR-SPR-DEEP-03



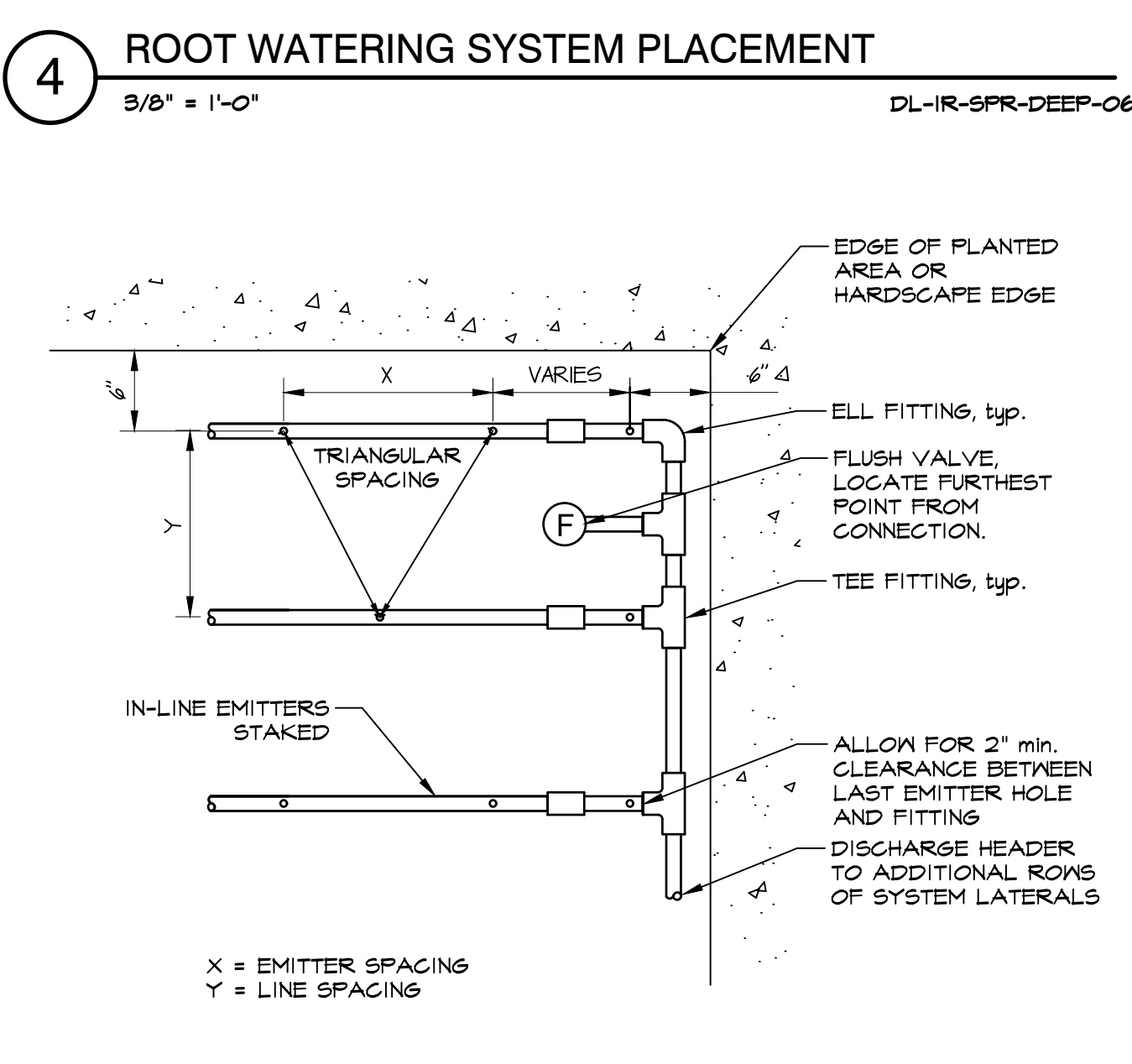
6 DRIPLINE LATERAL CONNECTION
6" = 1'-0"

DL-IR-SPR-DRIP-38



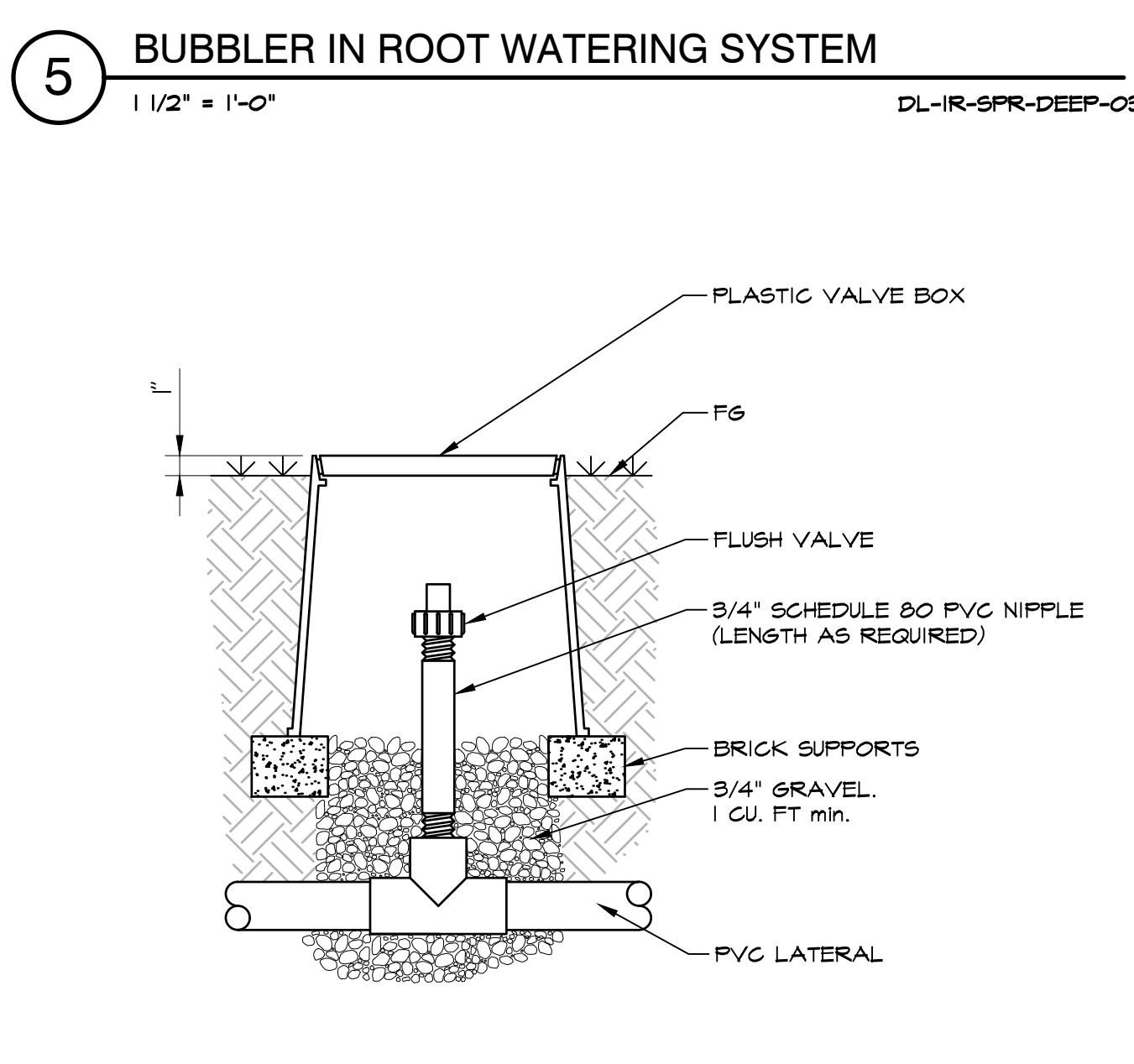
7 DRIPLINE MANIFOLD LAYOUT
1/8" = 1'-0"

DL-IR-SPR-DRIP-34



8 DRIPLINE LAYOUT
1" = 1'-0"

DL-IR-SPR-DRIP-02



9 FLUSH VALVE - AUTOMATIC
1 1/2" = 1'-0"

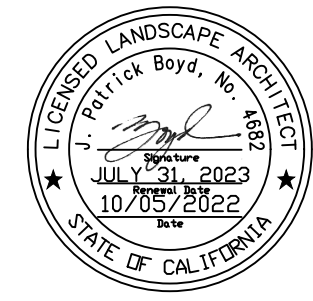
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APPL. NO. P23-00186	EXHIBIT L-5	DATE 03/30/2023
PLANNING REVIEW BY		DATE
TRAFFIC ENG.		DATE
APPROVED BY		DATE
CITY OF FRESNO DARM DEPT		

project: **DDYS
FIRST
AND
GETTYSBURG**
**3147 EAST
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FRESNO, CA
93726**

client:

designlab 252
P.O. Box 27616 Fresno, CA 93729
Studio: 559.472.9966 Fax: 559.472.9969



drawn by:	checked by:
KJ	PB
submittal:	date:
No. 1	10/17/2022
No. 2	01/11/2023
No. 3	XX/XX/XXXX
No. 4	XX/XX/XXXX

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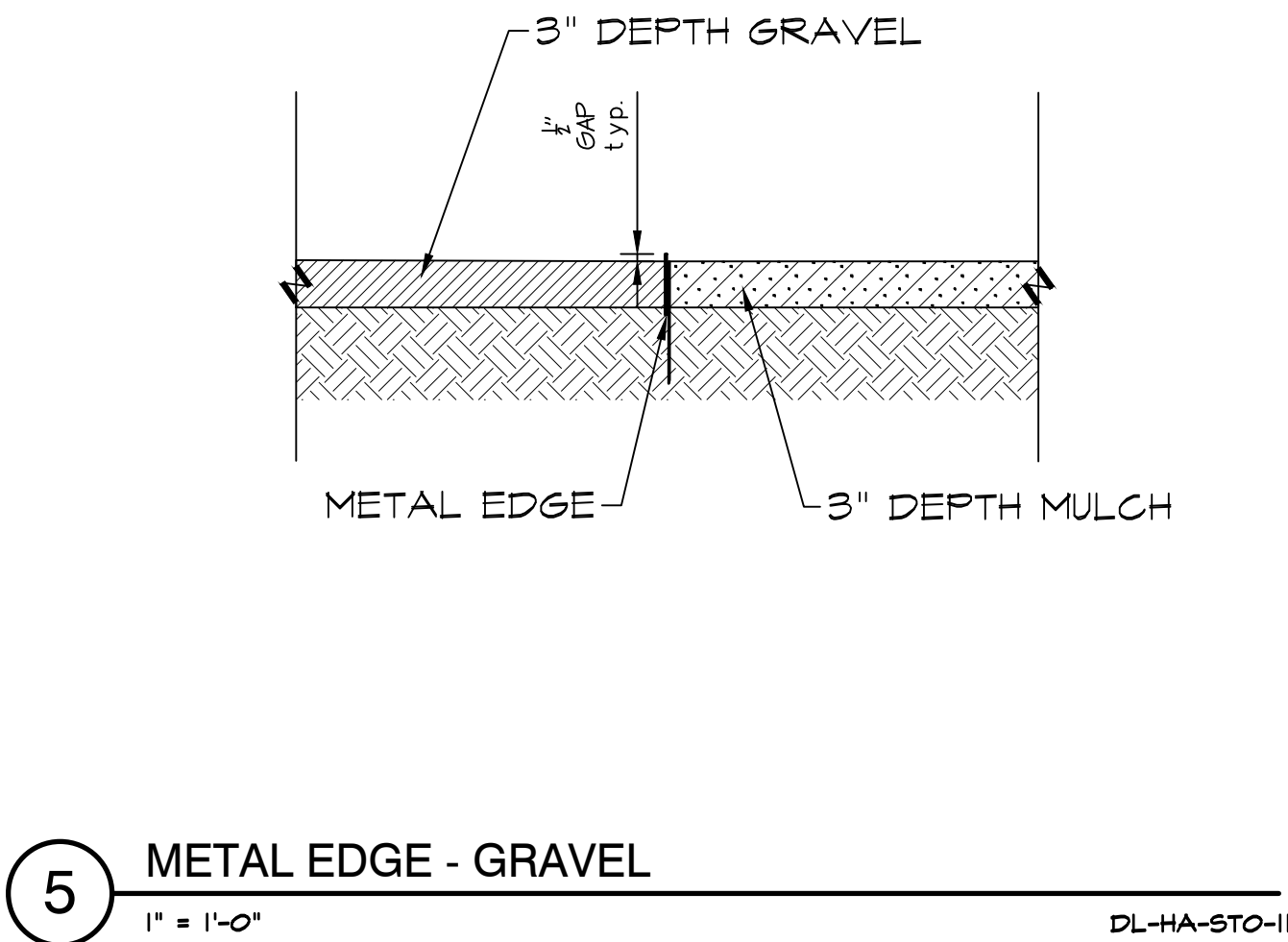
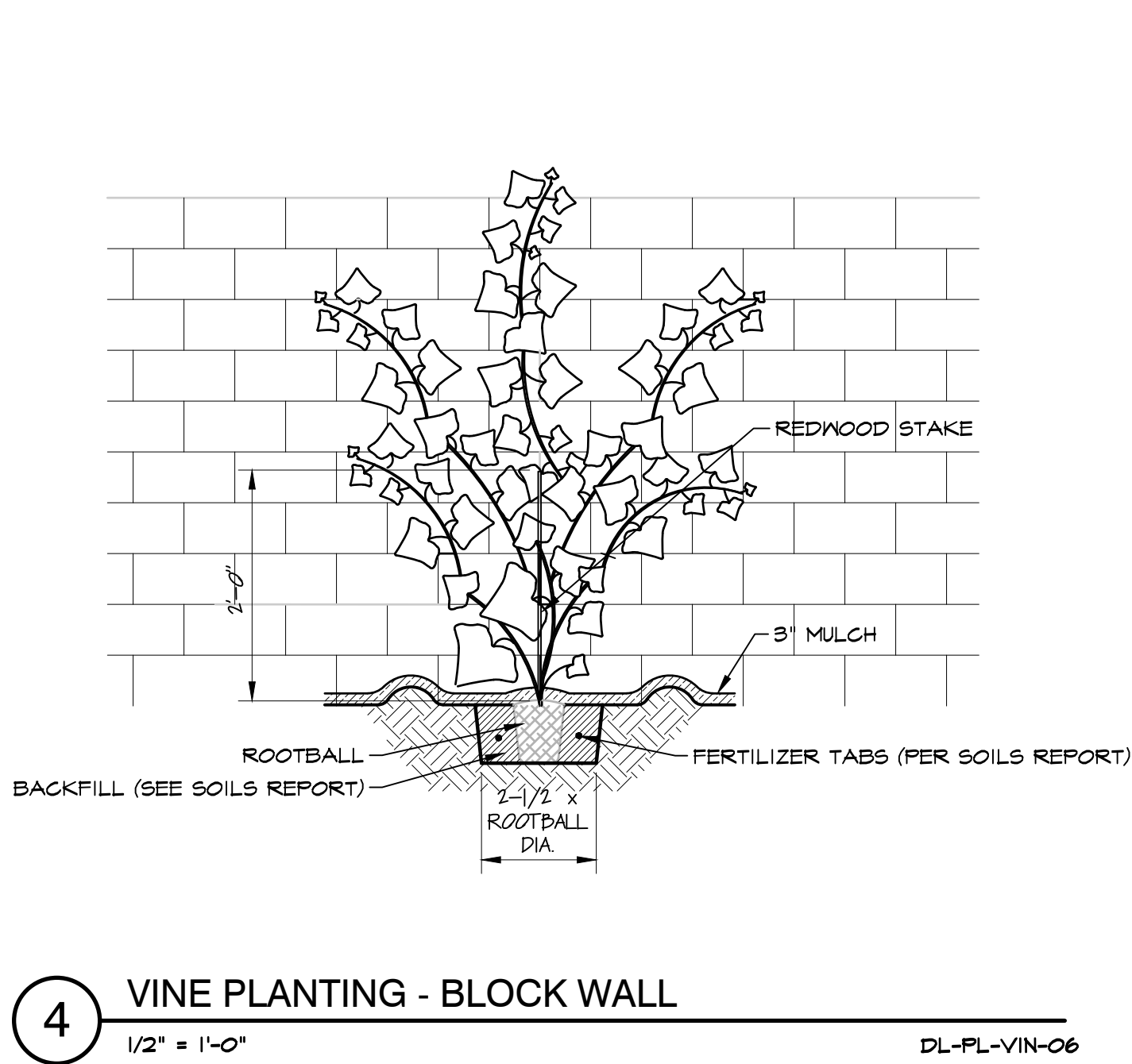
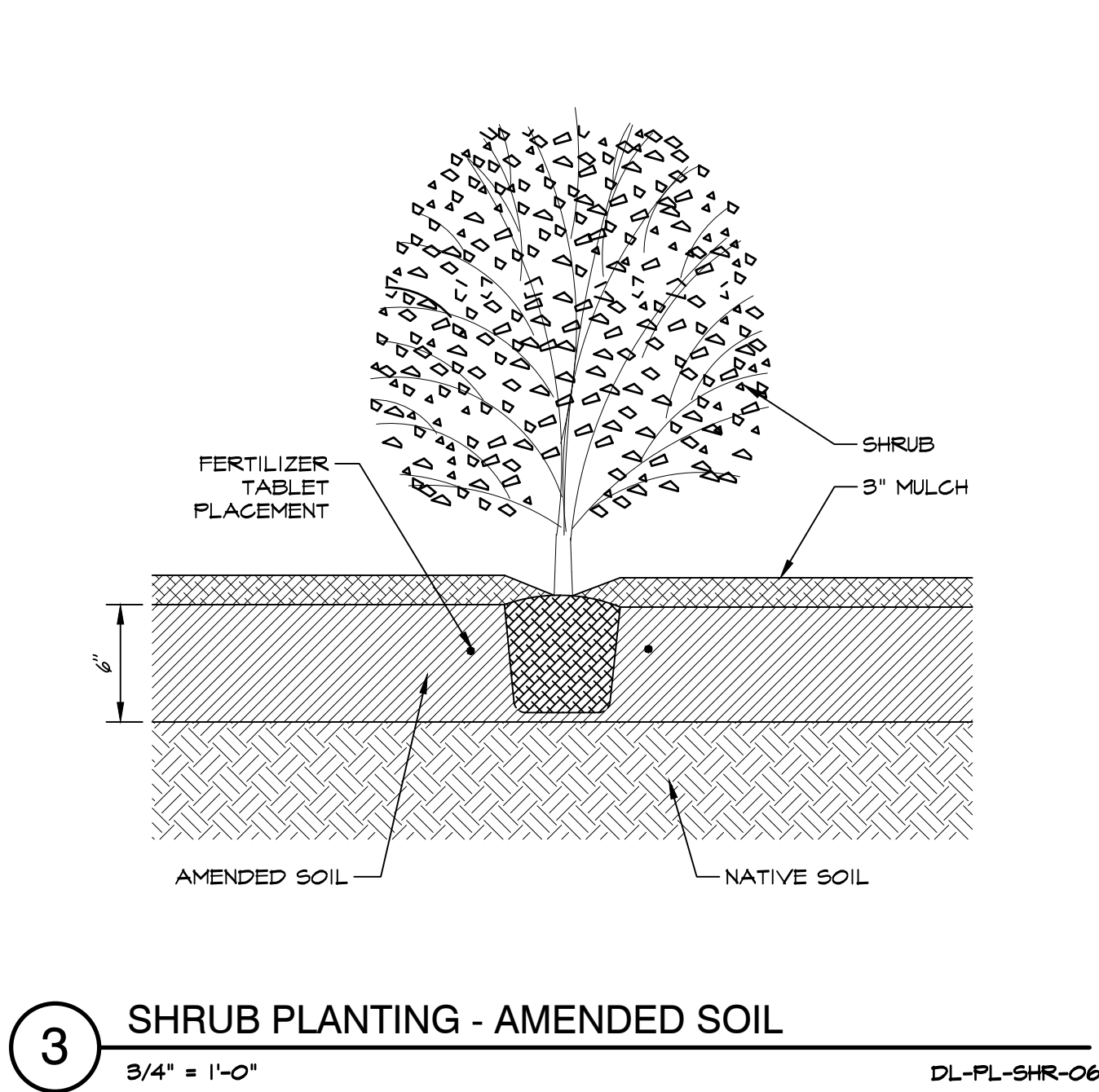
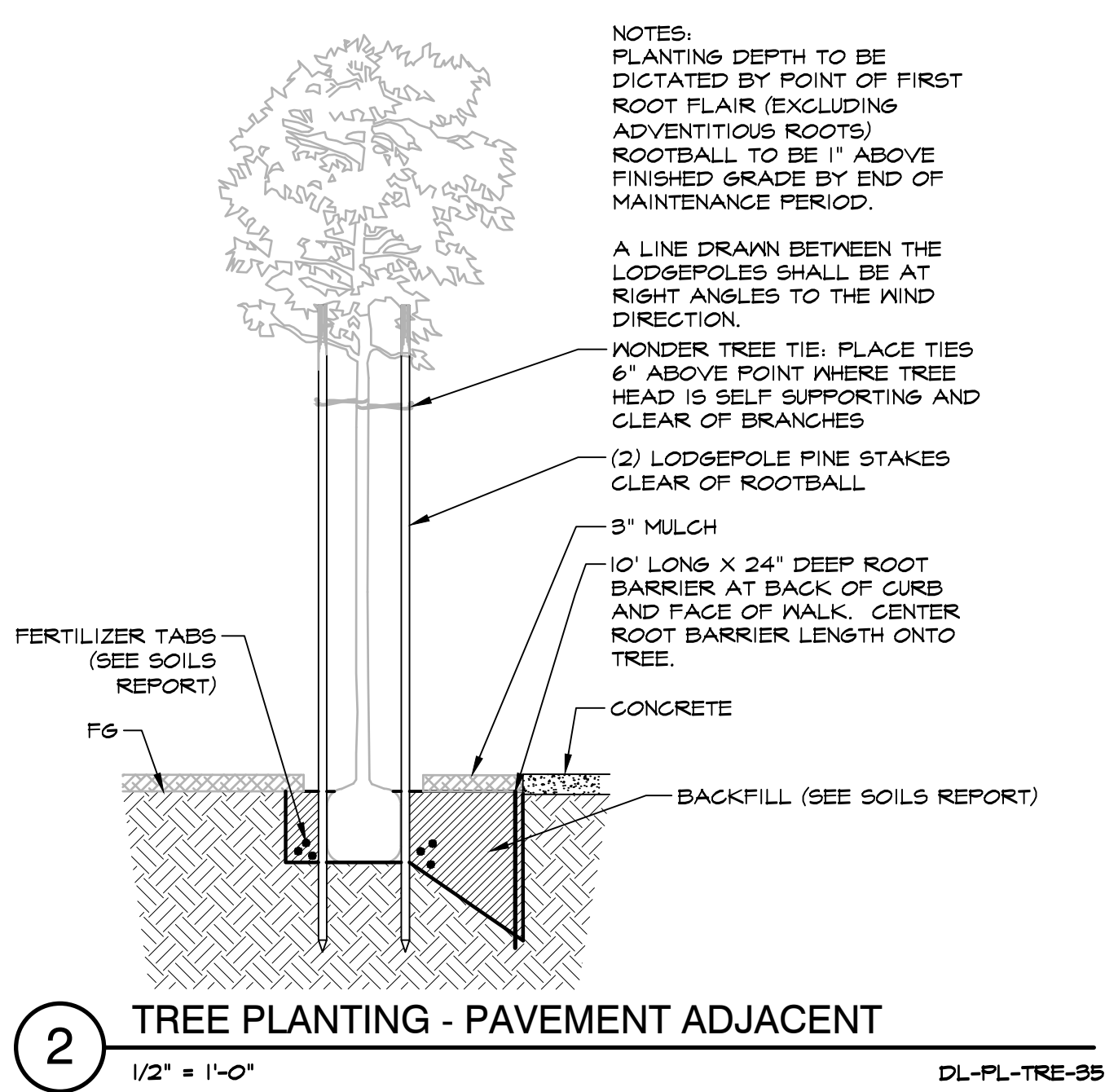
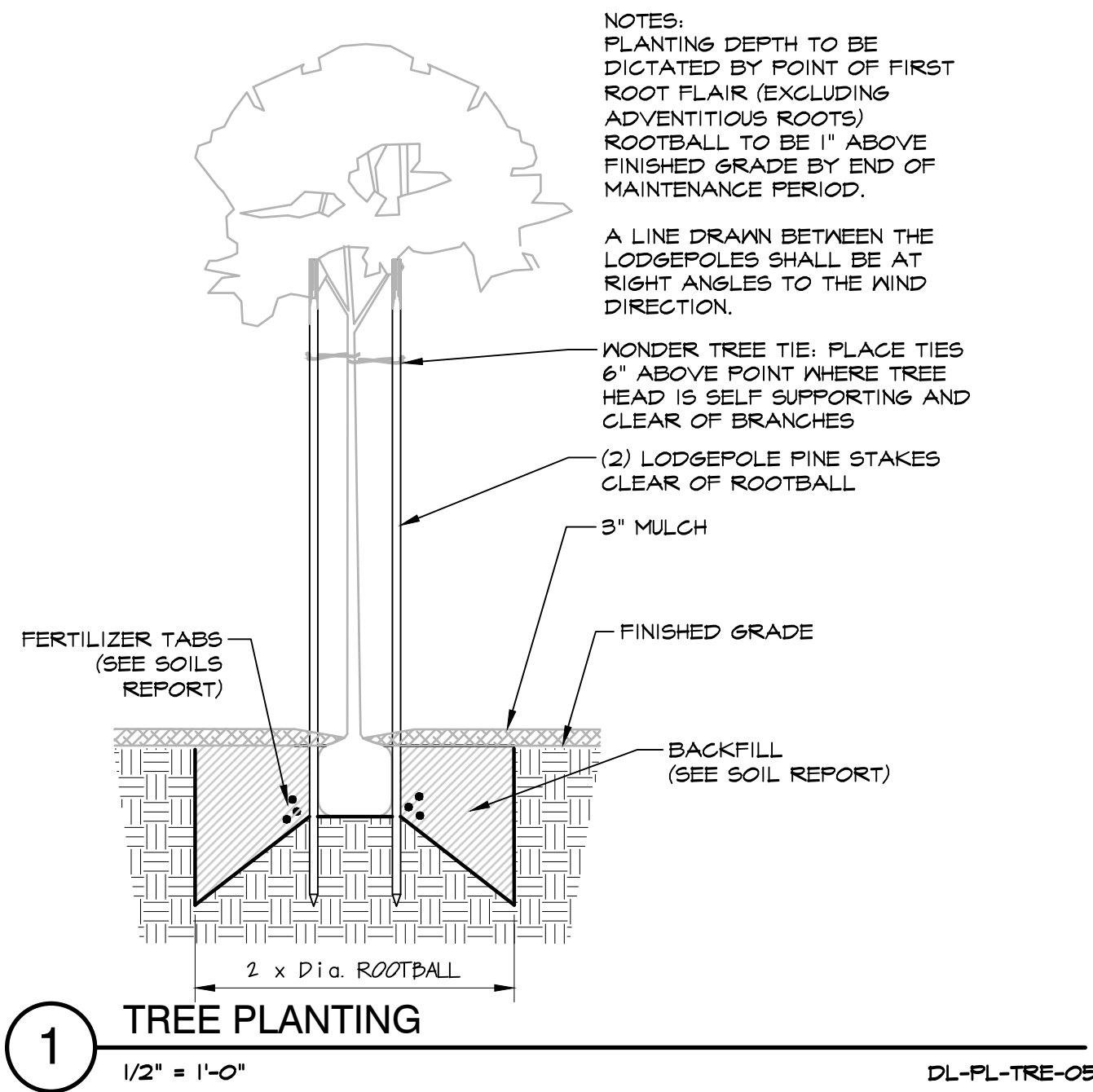
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**LANDSCAPE
DETAILS**

sheet no.

LA-5

project no. 22-01-002



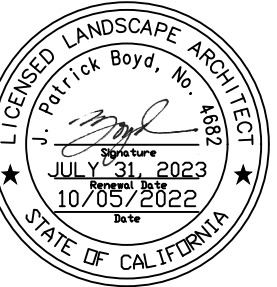
project: **DDYS
FIRST
AND
GETTYSBURG**

**3147 EAST
GETTYSBURG
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FRESNO, CA
93726**

client:

desⁱgnlab **252**

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Studio: 559.472.9966 Fax: 559.472.9969



drawn by: **KJ** checked by: **PB**

submittal:	date:
No. 1	10/17/2022
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No. 4	XX/XX/XXXX

scale: 1"=20'-0"

sheet title:

**LANDSCAPE
DETAILS**

sheet no.

LA-6

project no. 22-01-002

APPL. NO. P23-00186 EXHIBIT L-6 DATE 03/20/2023

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

