

Exhibit D:
CUP Exhibits:
Site Plan, Floor Plan, Elevations & Landscape Plans

SITE PLAN GENERAL NOTES

1. APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THIS SPECIAL PERMIT IS GRANTED, AND THE CONDITIONS IMPOSED, BASED UPON THE OPERATION STATEMENT PROVIDED BY THE APPLICANT. THE OPERATION STATEMENT IS MATERIAL TO THE ISSUANCE OF THIS SPECIAL PERMIT. UNLESS THE CONDITIONS OF APPROVAL SPECIFICALLY REQUIRE OPERATION INCONSISTENT WITH THE OPERATION STATEMENT, A NEW OR REVISED SPECIAL PERMIT IS REQUIRED IF THE OPERATION OF THIS ESTABLISHMENT CHANGES OR BECOMES INCONSISTENT WITH THE OPERATION STATEMENT. FAILURE TO OPERATE IN ACCORDANCE WITH THE CONDITIONS AND REQUIREMENTS IMPOSED MAY RESULT IN REVOCATION OF THE SPECIAL PERMIT OR ANY OTHER ENFORCEMENT REMEDY AVAILABLE UNDER THE LAW. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT PERIODS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.

2. NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.

3. DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS.

FENCES/WALLS, LANDSCAPING, PARKING

4. TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRAINED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM, AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD, WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.

5. NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED-LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.

6. PROVIDE SHADE CALCULATIONS ON THE LANDSCAPE PLAN FOR PARKING LOT SHADING IN ACCORDANCE WITH THE ATTACHED DEVELOPMENT DEPARTMENT, PERFORMANCE STANDARDS FOR PARKING LOT SHADING, INCLUDING TREE SPECIES AND TREE COUNTS.

7. TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.

8. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.

9. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.

10. ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.

SIGNAGE

11. SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.

12. WINDOW SIGNS ARE LIMITED TO FOUR SQUARE FEET IN AREA, PROVIDING INFORMATION ABOUT HOURS OF OPERATION AND EMERGENCY, SALE OR RENTAL INFORMATION ONLY. EXTERIOR SIGNAGE SUCH AS BANNERS, FLAGS AND PENNANTS ARE PROHIBITED. HOWEVER, SIGNAGE IDENTIFYING THE PROJECT IS PERMITTED FOR 30 DAYS IF APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT, ATTACHED TO THE BUILDING, AND NOT EXCEEDING 32 SQUARE FEET IN AREA.

MISCELLANEOUS

13. THERE SHALL BE ADEQUATE VEHICULAR ACCESS FROM A DEDICATED AND IMPROVED STREET OR ALLEY TO OFF-STREET PARKING AND LOADING FACILITIES ON THE PROPERTY REQUIRING OFF-STREET PARKING AND LOADING. VEHICULAR AND/OR PEDESTRIAN ACCESS SHALL BE PROVIDED AND SHALL REMAIN CLEAR AT ALL TIMES.

14. SCREEN ALL ROOF-MOUNTED EQUIPMENT FROM THE VIEW OF PUBLIC RIGHTS-OF-WAY. DEPICT ALL MECHANICAL EQUIPMENT ON SITE PLAN AND ELEVATIONS.

15. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.

16. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.

17. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

18. A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED ON THE WATER SERVICE. CONTACT THE DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION (559) 621-5300 FOR REQUIREMENTS RELATING TO APPROVED DEVICES, LOCATIONS, TESTING AND ACCEPTANCE. THIS REQUIREMENT MUST BE SATISFIED PRIOR TO FINAL OCCUPANCY.

19. THIS PROJECT WAS REVIEWED BY THE FIRE DEPARTMENT ONLY FOR REQUIREMENTS RELATED TO WATER SUPPLY, FIRE HYDRANTS, AND FIRE APPARATUS ACCESS TO THE BUILDING(S) ON SITE. REVIEW FOR COMPLIANCE WITH FIRE AND LIFE SAFETY REQUIREMENTS FOR THE BUILDING INTERIOR AND ITS INTENDED USE ARE REVIEWED BY BOTH THE FIRE DEPARTMENT AND THE BUILDING AND SAFETY SECTION OF THE DEVELOPMENT AND RESOURCE MANAGEMENT WHEN A SUBMITTAL FOR BUILDING PLAN REVIEW IS MADE AS REQUIRED BY THE CALIFORNIA BUILDING CODE BY THE ARCHITECT OR ENGINEER OF RECORD FOR THE BUILDING.

20. OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED. ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.

FIRE DEPARTMENT NOTES:

21. OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION (OVER THE COUNTER) FOR FIRE SPRINKLER ALARM SUPERVISION.

22. SUBMIT PLANS TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION BUREAU FOR THE INSTALLATION OF ALARM AND FIRE SPRINKLER SYSTEMS.

23. TWO MEANS OF INGRESS/EGRESS MUST BE PROVIDED. THIS ACCESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.

24. FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED, TESTED AND APPROVED AND SHALL BE MAINTAINED SERVICEABLE PRIOR TO AND DURING ALL PHASES OF DEVELOPMENT.

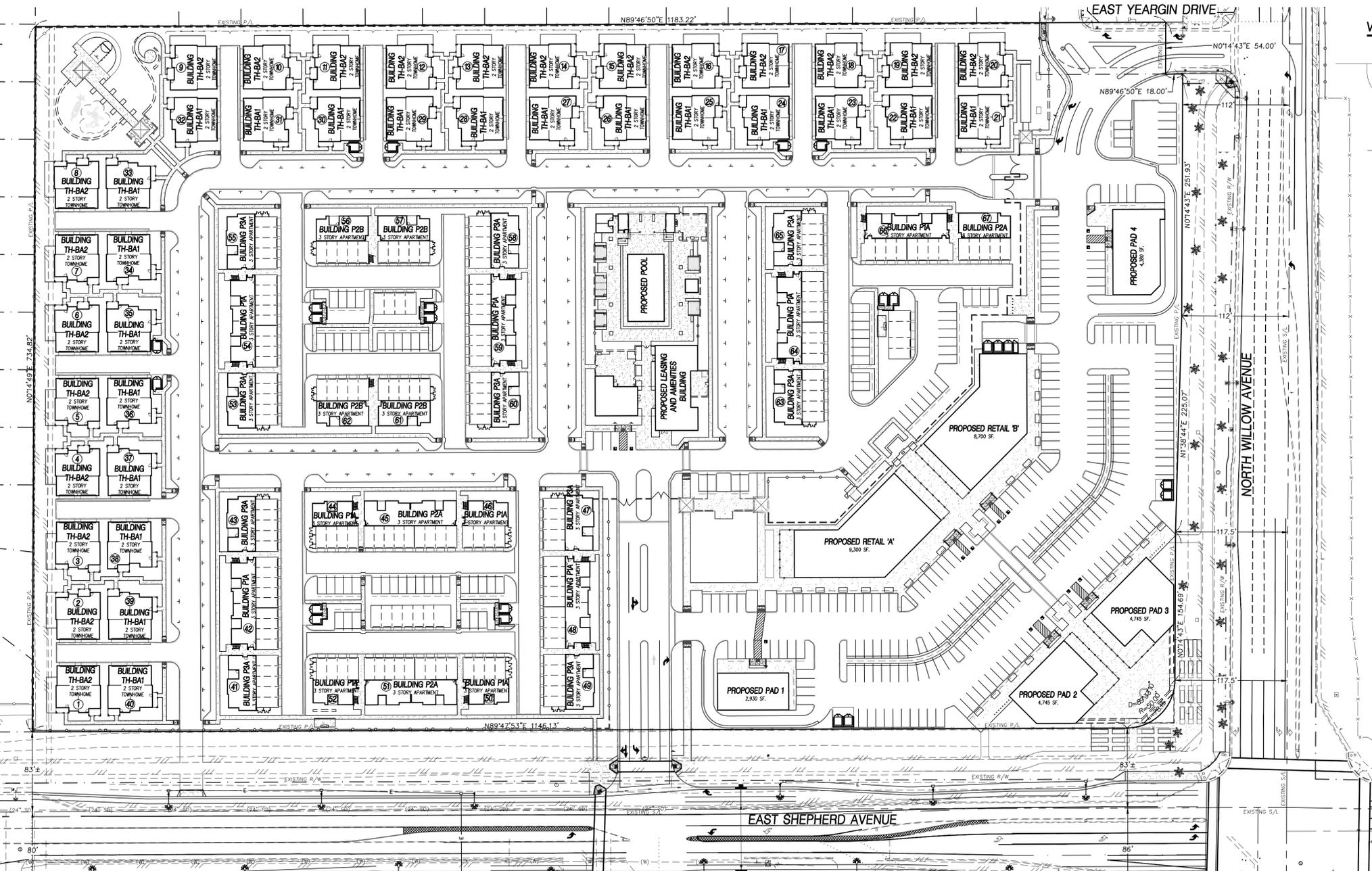
25. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.

26. PROVIDE SIGN(S) (17"x22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY WHICH STATE: "WARNING-VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE - 22658(A) CALIFORNIA VEHICLE CODE-FRESNO POLICE DEPARTMENT 621-2300.

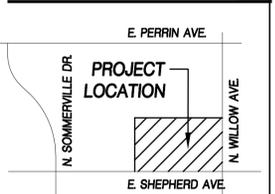
27. PROVIDE 12" HIGH BUILDING ADDRESS NUMBERS AT EACH BUILDING. COORDINATE EXACT LOCATION AT EACH BUILDING WITH THE CITY OF FRESNO FIRE DEPT.

28. ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED "ALL WEATHER" SURFACE CAPABLE OF SUPPORTING 80,000 LB. VEHICLE (MINIMUM 4" BASE ROCK OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERED PLANS) YEAR-ROUND AND WITHIN 24 FEET MINIMUM WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.

29. INTERIOR SPRINKLER RISER NOT LOCATED WITHIN 5 FEET OF AN EXTERIOR DOOR REQUIRE AND INTERIOR WALL MOUNTED INDICATING CONTROL VALVE.



VICINITY MAP:



SCALE: 1" = 60'

LEGEND:

- EXISTING SECTION LINE
- EXISTING CENTER LINE
- - - EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED FIRE LANE CURB
- EXISTING CURB & GUTTER
- EXISTING EDGE OF PAVEMENT
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STREET LIGHT
- EXISTING UTILITY POLE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXIST. TREE AND/OR TREE TRUNK
- EXISTING HANDICAP RAMP
- BUMPER OVERHANG
- O.H.

SITE SUMMARY

NET SITE AREA	15.4
NET DENSITY	16.6

PLAN SUMMARY

PLAN	MIN. AREA (S.F.)	TOTAL UNITS	MIX TOTAL	NET RENTABLE	AVERAGE SIZE
PLAN TH-A (2/2)	1401	40	15.7%		
PLAN TH-B (3/2)	1557	40	15.7%		
PLAN 1A (1/1)	864	48	18.8%		
PLAN 2A (2/2)	1043	52	20.4%		
PLAN 2B (2/2)	1202	45	17.6%		
PLAN 2C (2/2)	1306	10	3.9%		
PLAN 3A (3/2)	1460	20	7.8%		
TOTAL		255	100.0%	270,586	1060.1

PARKING SUMMARY (PAIR HOME)

PARKING REQUIRED	UNITS	GARAGE REQUIRED	ADDITIONAL SPACES	ADD. SPACES/UNIT
PAIR HOME	80	80	40	0.5
TOTAL	80	80	40	120

PARKING PROVIDED (PAIR HOME)

GARAGES PROVIDED	160	32
TOTAL PARKING SPACES	160	32
TOTAL	192	

PARKING SUMMARY (APARTMENTS)

PARKING REQUIRED	UNITS	GARAGE REQUIRED	ADDITIONAL SPACES	ADD. SPACES/UNIT
APT. 1-BED	48	48	24	0.5
APT. 2-BED	107	107	53.5	0.5
APT. 3-BED	20	20	10	0.5
TOTAL	175	175	87.5	262.5

PARKING PROVIDED (APARTMENTS)

OPEN PARKING	175	176
GARAGES PROVIDED	175	176
TOTAL PARKING SPACES	175	176
TOTAL	351	

PARKING SUMMARY (WHOLE SITE)

PARKING PROVIDED	GARAGE	OPEN	TOTAL	TOTAL/UNIT
	335	208	543	2.1

PARKING SUMMARY (RETAIL)

PARKING PROVIDED	174 STALLS
PARKING PROVIDED	239 STALLS
HANDICAP STALLS REQUIRED	7 STALLS
HANDICAP STALLS PROVIDED	11 STALLS
BICYCLE SPACES REQUIRED	4 STALLS
BICYCLE SPACES PROVIDED	4 STALLS
PARKING RATIO REQUIRED	5 STALLS/1,000 SF
PARKING RATIO PROVIDED	6.87 STALLS/1,000SF

SITE DATA:

APPLICANT/DEVELOPER/PROPERTY OWNER

HERITAGE DEVELOPMENT COMPANY
2917 EAST SHEPHERD AVENUE
CLOVIS, CALIFORNIA 93618

CONSULTANTS

ARISIAN GROUP
359 CLOVIS AVE. #200
CLOVIS, CA 93612
PH. (559) 797-4359

YAMABE & HORN ENGINEERING, INC.
2985 N. BURL AVE. #101
FRESNO, CA 93727
PH. (559) 224-3123

KTGY GROUP, INC.
ARCHITECTURE + PLANNING
17922 FITCH
IRVINE, CA 92614
PH. (949) 851-2133

SWA GROUP, INC.
570 GLENNEIRE ST.
LAGUNA BEACH, CA 92651
PH. (949) 497-5471

SITESCAPES, INC.
LANDSCAPE ARCHITECTURE + PLANNING
3190-82 AIRPORT LOOP DR.
COSTA MESA, CA 92626
PH. (949) 644-9370

EXISTING BUILDINGS

NONE

EXISTING USE

VACANT

EXISTING ZONE

EXCLUSIVE AGRICULTURAL AE-5

EXISTING PLANNED LAND USE

CORRIDOR/CENTER MIXED USE

PROPOSED ZONE

CMX

ASSESSOR'S PARCEL NUMBER

568-010-20

SITE AREA

COMMERCIAL SITE=6.79 ± AC

APARTMENT COMPLEX SITE= 13.24± AC

TOTAL SITE AREA= ±20.03 AC

SURROUNDING LAND USES:

NORTH - SINGLE FAMILY RESIDENTIAL

EAST - LIMITED AGRICULTURAL

SOUTH - REGIONAL MIXED USE

WEST - SINGLE FAMILY RESIDENTIAL

PAVEMENT AREA

311,918 SF

LANDSCAPE AREA

99,780 SF

BUILDING AREA

COMMERCIAL:

TOTAL: 34,800 SF

BUILDING COVERAGE

BUILDING AREA = 11.6% OF SITE

TOTAL DWELLING UNITS:

TOTAL DWELLING UNITS = 255

SHEET INDEX:

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	SITE PLAN
4	LANDSCAPE PLAN
5	LANDSCAPE PLAN

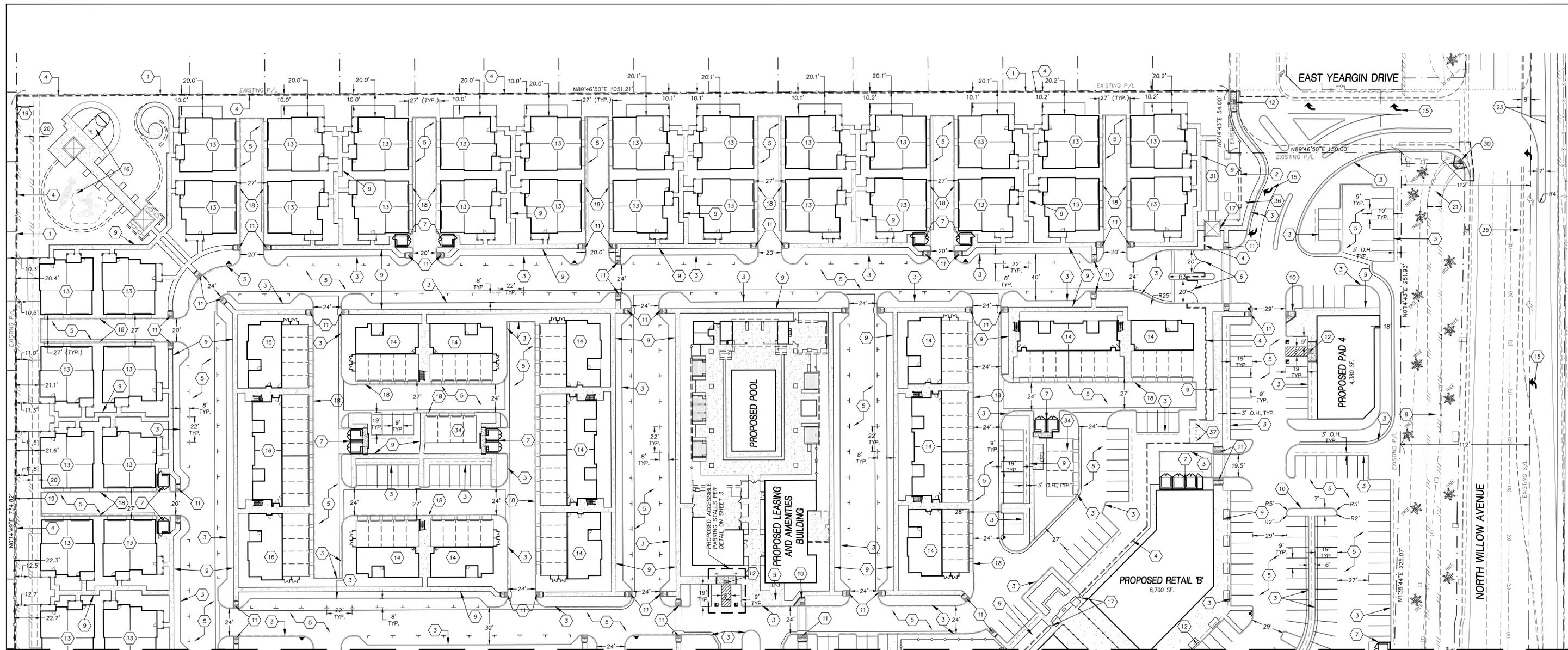


YAMABE & HORN ENGINEERING, INC.
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FRESNO, CA 93727
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FAX (559) 244-3120

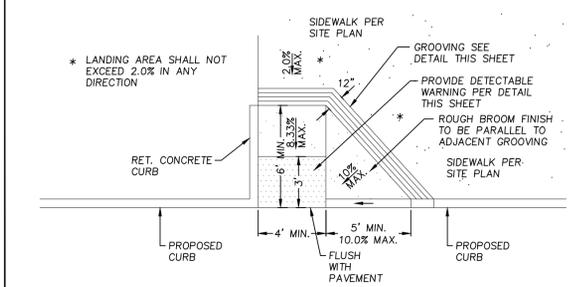
Ref. & Rev.

CITY OF FRESNO
PROJECT TITLE: **THE ROW**
WILLOW AND SHEPHERD AVENUES
SHEET DESCRIPTION: **COVER SHEET**

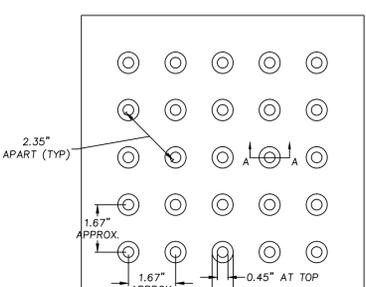
Dr. By: BR
Ch. By: BB
Date: 01/06/2016
Scale: As Noted
YH Job No. 14-189
Sheet No. 1
of 5 Sheets



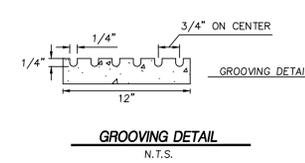
MATCH LINE - SEE SHEET 3



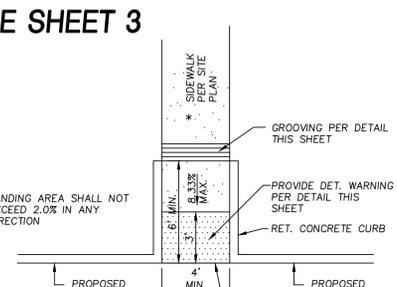
ACCESSIBLE CURB RAMP
N.T.S.



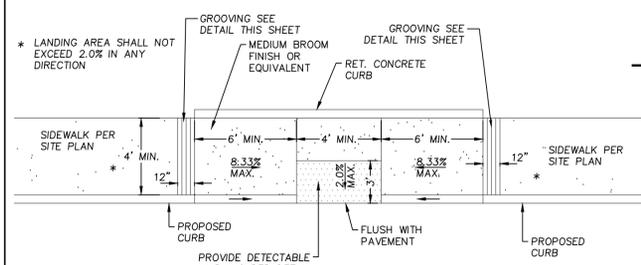
DETECTABLE WARNING DETAIL
N.T.S.



GROOVING DETAIL
N.T.S.



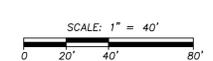
SINGLE ACCESSIBLE CURB RAMP
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DOUBLE ACCESSIBLE CURB RAMP
N.T.S.

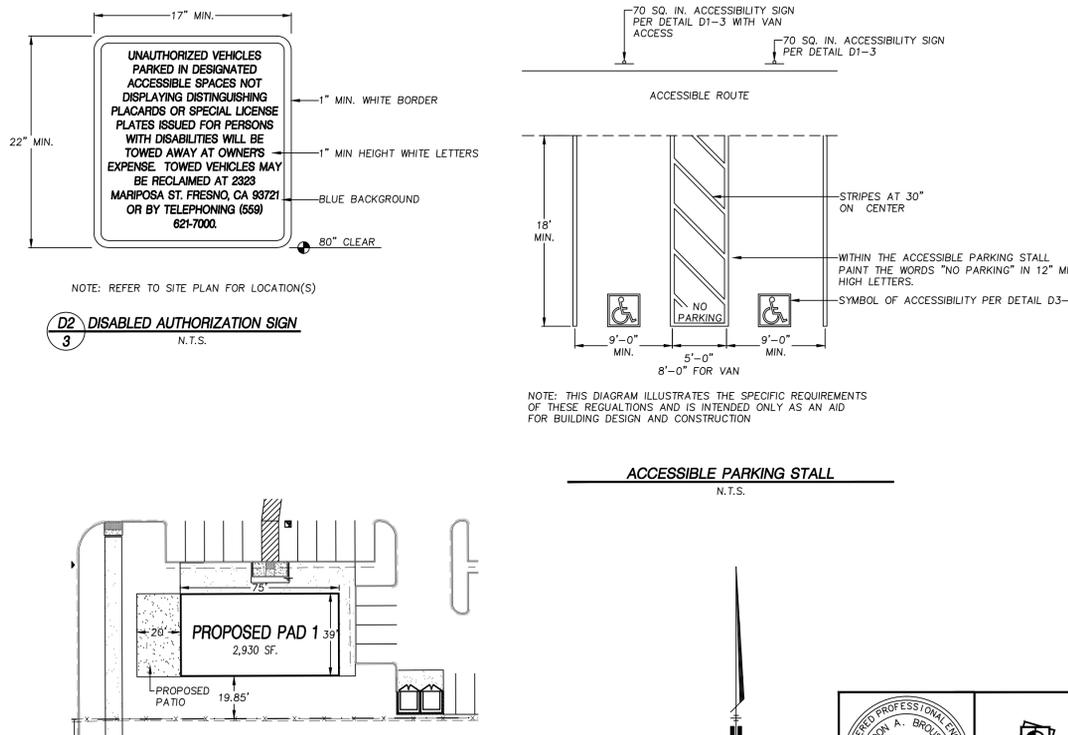
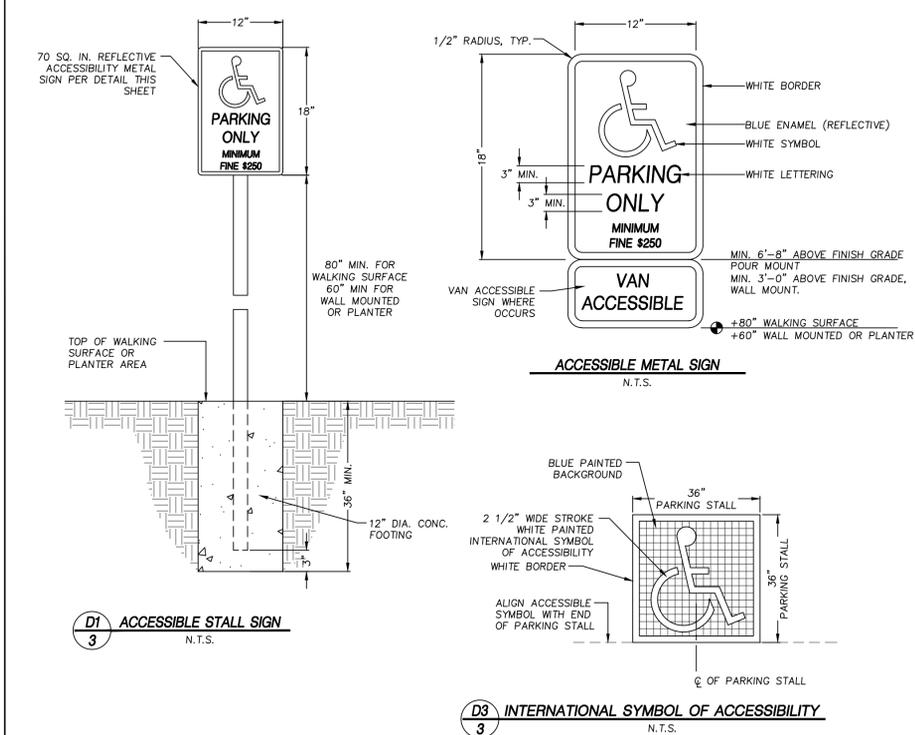
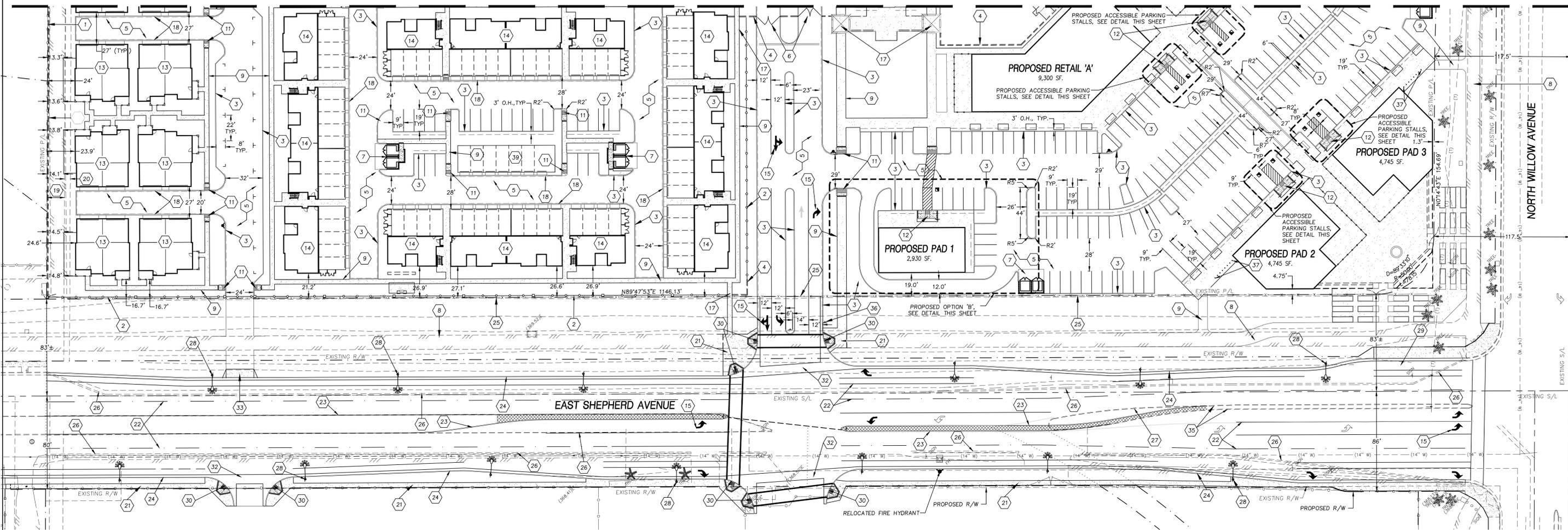
SITE PLAN KEY NOTES:

- 1 EXISTING 6" HIGH WOODEN FENCE TO REMAIN
- 2 PROPOSED 6" HIGH WROUGHT IRON FENCE
- 3 PROPOSED 6" HIGH CURB, TYP.
- 4 PROPOSED 6" HIGH CONCRETE BLOCK WALL
- 5 PROPOSED PAVING PER CITY STD P-21
- 6 PROPOSED 6" HIGH VEHICULAR ACCESS GATE
- 7 PROPOSED TRASH ENCLOSURE PER CITY STD. P-33, P-34 & P-35, TYP.
- 8 EXISTING 12" WIDE ASPHALT MULTI-PURPOSE TRAIL
- 9 PROPOSED 4" MINIMUM WIDE SIDE WALK AT 2% MAXIMUM CROSS SLOPE, TYP.
- 10 PROPOSED ACCESSIBLE CURB RAMP PER DETAIL ON SHEET 2
- 11 PROPOSED SINGLE ACCESSIBLE RAMP PER DETAIL ON SHEET 2
- 12 PROPOSED DOUBLE ACCESSIBLE RAMP PER DETAIL ON SHEET 2
- 13 PROPOSED TWO STORY TOWN HOME WITH GARAGE
- 14 PROPOSED THREE STORY APARTMENTS WITH GARAGE
- 15 PROPOSED PAVEMENT MARKING, TYP.
- 16 PROPOSED COURT AND PLAY AREA
- 17 PROPOSED PEDESTRIAN POINT OF ACCESS
- 18 PROPOSED 4" HIGH CONCRETE ROLLED CURB & GUTTER, TYP.
- 19 15' FID EASEMENT RECORDED DECEMBER 14, 1976 IN BOOK 6706 AT PAGE 657 AS DOC. NO. 111724, O.R.F.C.
- 20 5' FID EASEMENT RECORDED APRIL 4, AS DOC. NO. 111724, O.R.F.C.
- 21 PROPOSED CONCRETE SIDEWALK PER CITY STD. P-5
- 22 PROPOSED OFF-SITE PAVEMENT STRIPING, TYP.
- 23 PROPOSED 8" HIGH CONCRETE MEDIAN CURB PER CITY STD P-9
- 24 PROPOSED CURB AND GUTTER PER CITY STD P-5
- 25 EXISTING FENCE TO BE REMOVED
- 26 REMOVE EXISTING ASPHALT CONCRETE DIKE AND CONSTRUCT PROPOSED PAVEMENT
- 27 REMOVE EXISTING CONCRETE MEDIAN
- 28 PROPOSED STREET LIGHT PER CITY STD. E-1 & E-10 FOR DIVIDED ARTERIAL STREETS, TYP.
- 29 PROPOSED BUS BAY PER CITY STD P-73
- 30 PROPOSED DIAGONAL CURB RAMP PER CITY STD. P-28
- 31 PROPOSED BOCCIE BALL COURT
- 32 PROPOSED CONCRETE VALLEY GUTTER PER CITY STD. P-10
- 33 PROPOSED FIRE ACCESS DRIVEWAY APPROACH PER CITY STD. P-67
- 34 PROPOSED DETACHED GARAGE
- 35 EXISTING CURB MEDIAN TO REMAIN
- 36 PROPOSED "TOW AWAY SIGN" - REFER TO DETAIL D2-3 FOR MINIMUM COMPLIANCE REQUIREMENTS
- 37 PROPOSED BICYCLE STALLS



	YAMABE & HORN ENGINEERING, INC. 2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727 TEL (559) 244-3123 FAX (559) 244-3120	Ref. & Rev.	CITY OF FRESNO
		PROJECT TITLE THE ROW WILLOW AND SHEPHERD AVENUES SHEET DESCRIPTION SITE PLAN	Dr. By: BR Ch. By: BB Date: 01/06/2016 Scale: As Noted of 5 Sheets

MATCH LINE - SEE SHEET 2



- SITE PLAN KEY NOTES:**
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Front Elevation

Material Legend

- 1. Stucco
- 2. Stone Veneer
- 3. Fibercement Panel
- 4. Vinyl Window
- 5. Metal Rail
- 6. Metal Awning with Wood-Like Slats
- 7. Light Fixture



Rear Elevation



Typical Side Elevation

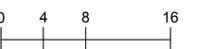
SHEPHERD AND WILLOW

Arisian Group
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 Clovis, CA 93612

ELEVATIONS - BUILDING A

FRESNO, CA
 KTGy # 2014-0951

12.15.2015



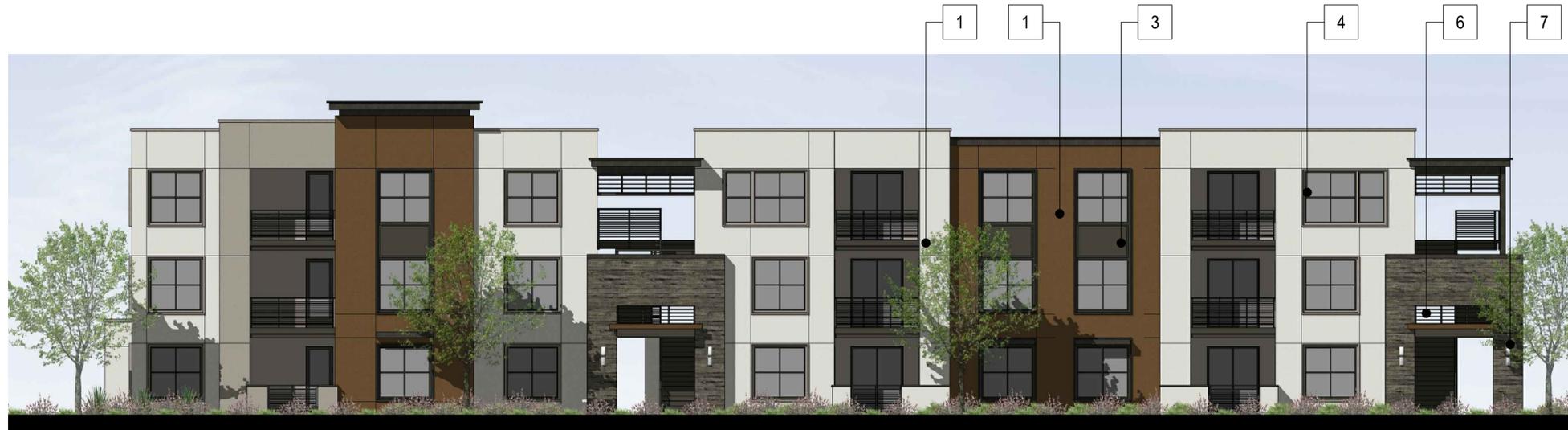
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 Oakland, CA 94607
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Material Legend

- 1. Stucco
- 2. Stone Veneer
- 3. Fibercement Panel
- 4. Vinyl Window
- 5. Metal Rail
- 6. Metal Awning with Wood-Like Slats
- 7. Light Fixture



Front Elevation



Right Elevation



Rear Elevation



Left Elevation

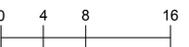
SHEPHERD AND WILLOW

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ELEVATIONS - BUILDING B

FRESNO, CA
 KTG # 2014-0951

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A2.1

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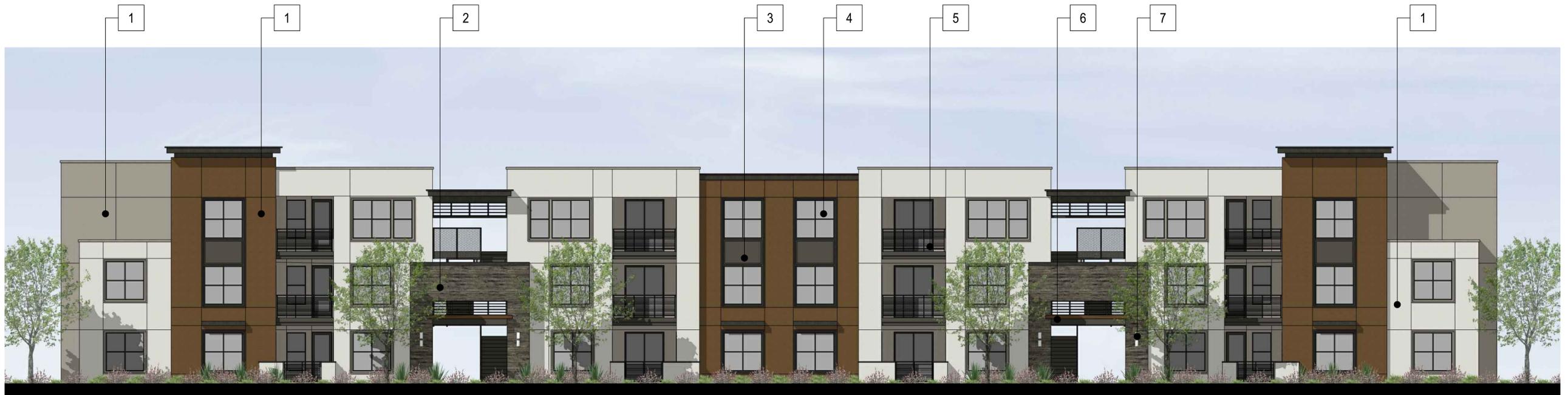




Right Elevation

Material Legend

1. Stucco
2. Stone Veneer
3. Fibercement Panel
4. Vinyl Window
5. Metal Rail
6. Metal Awning with Wood-Like Slats
7. Light Fixture



Front Elevation

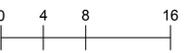
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ELEVATIONS - BUILDING C

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Left Elevation

Material Legend

- 1. Stucco
- 2. Stone Veneer
- 3. Fibercement Panel
- 4. Vinyl Window
- 5. Metal Rail
- 6. Metal Awning with Wood-Like Slats
- 7. Light Fixture



Rear Elevation

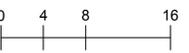
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ELEVATIONS - BUILDING C

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A2.3

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Right Elevation

Material Legend

- 1. Stucco
- 2. Stone Veneer
- 3. Fibercement Panel
- 4. Vinyl Window
- 5. Metal Rail
- 6. Metal Awning with Wood-Like Slats
- 7. Light Fixture



Front Elevation



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ELEVATIONS - BUILDING D

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A2.4



Left Elevation

Material Legend

- 1. Stucco
- 2. Stone Veneer
- 3. Fibercement Panel
- 4. Vinyl Window
- 5. Metal Rail
- 6. Metal Awning with Wood-Like Slats
- 7. Light Fixture



Rear Elevation

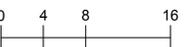
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ELEVATIONS - BUILDING D

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A2.5

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Front Elevation



Right Elevation

Material Legend

- 1. Stucco
- 2. Asphalt Shingle Roof
- 3. Stone Veneer
- 4. Fibercement Panel
- 5. Vinyl Window
- 6. Metal Rail
- 7. Metal Awning with Wood-Like Slats
- 8. Light Fixture



Rear Elevation



Left Elevation

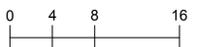
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ELEVATIONS - TOWNHOUSE A

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A2.6

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Material Legend

- 1. Rough Cut Stone Veneer
- 2. Wood-Like Horizontal Siding
- 3. Board Form Concrete Veneer
- 4. Standing Seam Metal Roof
- 5. Metal Awning with Wood-Like Slats
- 6. Storefront
- 7. Light Fixture



Front Elevation



Right Elevation



Rear Elevation



Left Elevation

SHEPHERD AND WILLOW

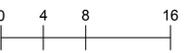
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ELEVATIONS - COMMUNITY BUILDING

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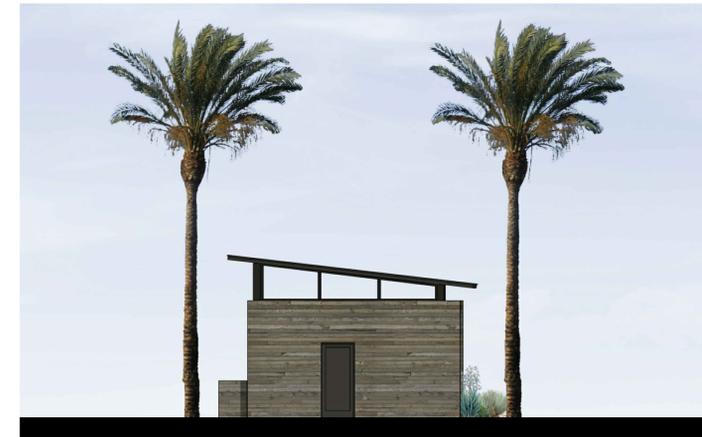
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Material Legend

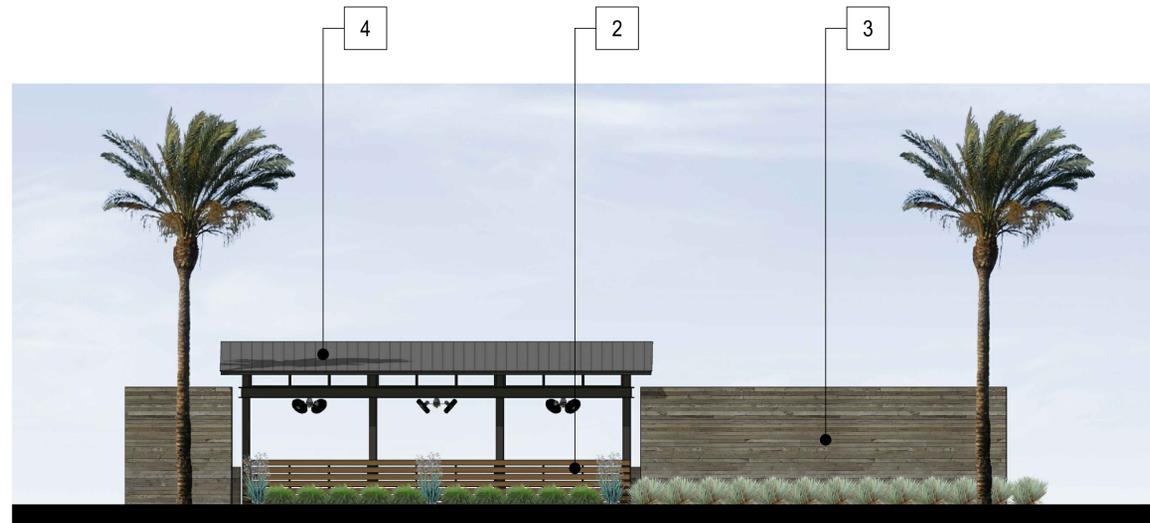
- 1. Rough Cut Stone Veneer
- 2. Wood-Like Horizontal Siding
- 3. Board Form Concrete Veneer
- 4. Standing Seam Metal Roof
- 5. Metal Awning with Wood-Like Slats
- 6. Storefront
- 7. Light Fixture



Front Elevation



Right Elevation



Rear Elevation



Left Elevation

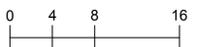
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ELEVATIONS - POOL BUILDING

FRESNO, CA
 KTGy # 2014-0951

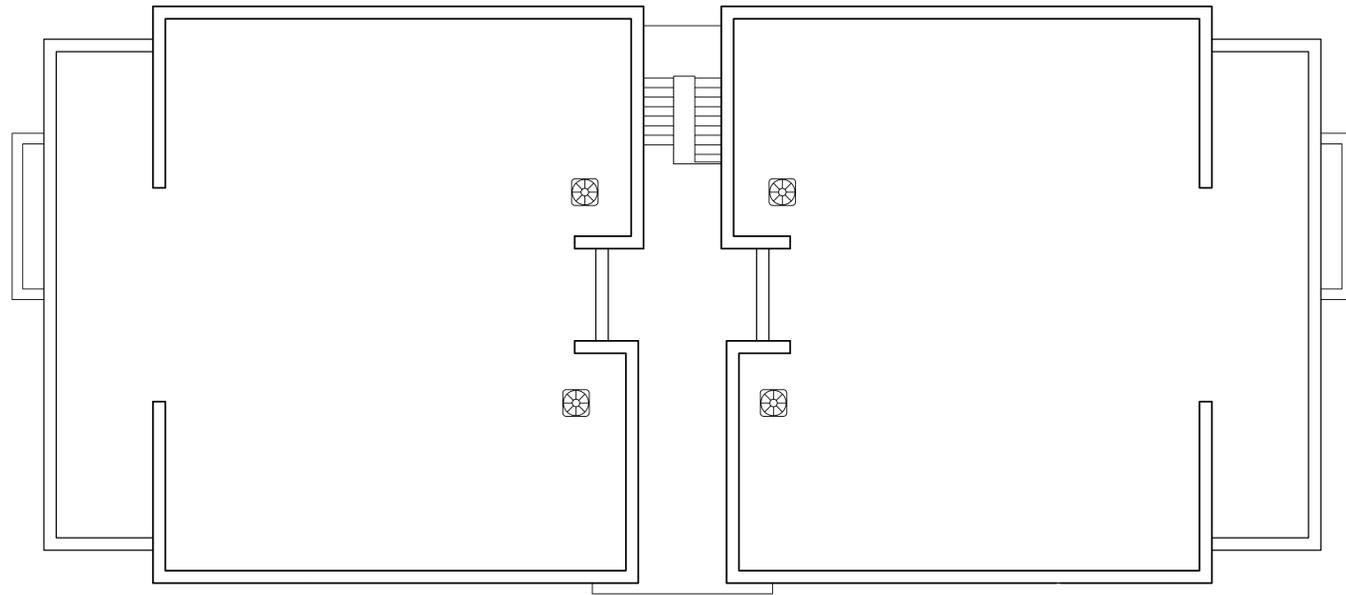
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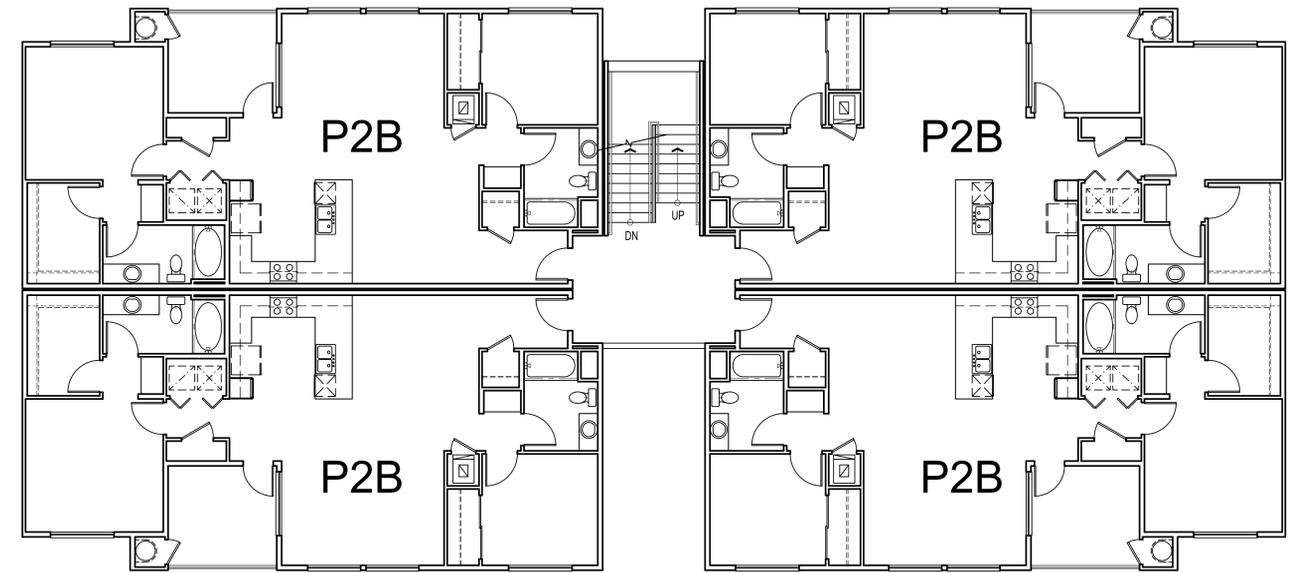
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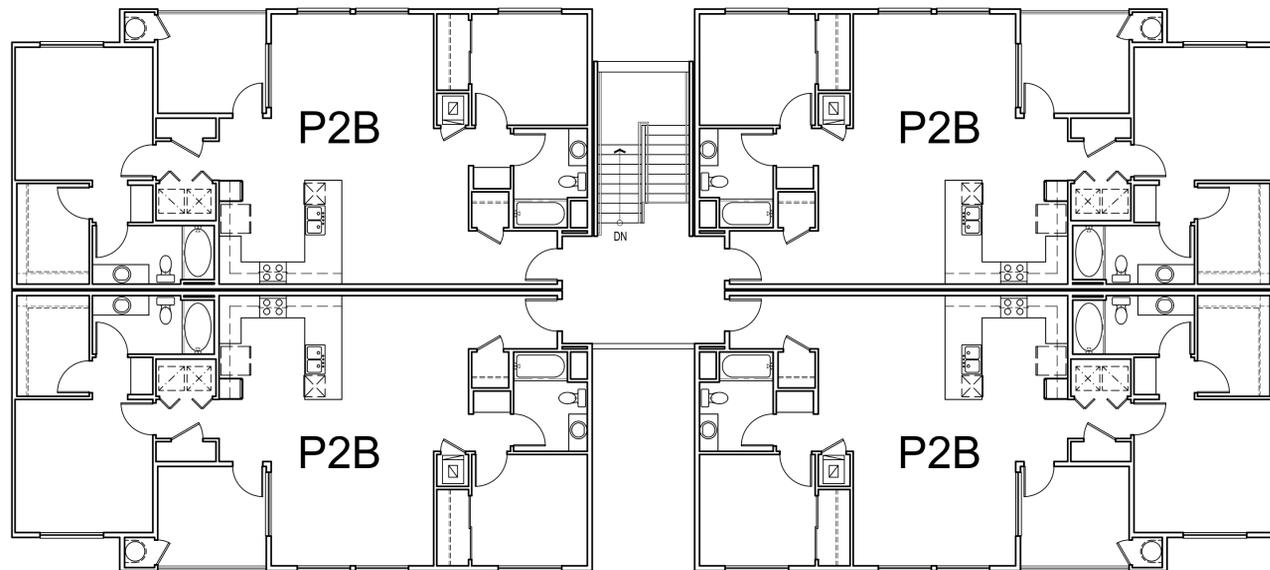




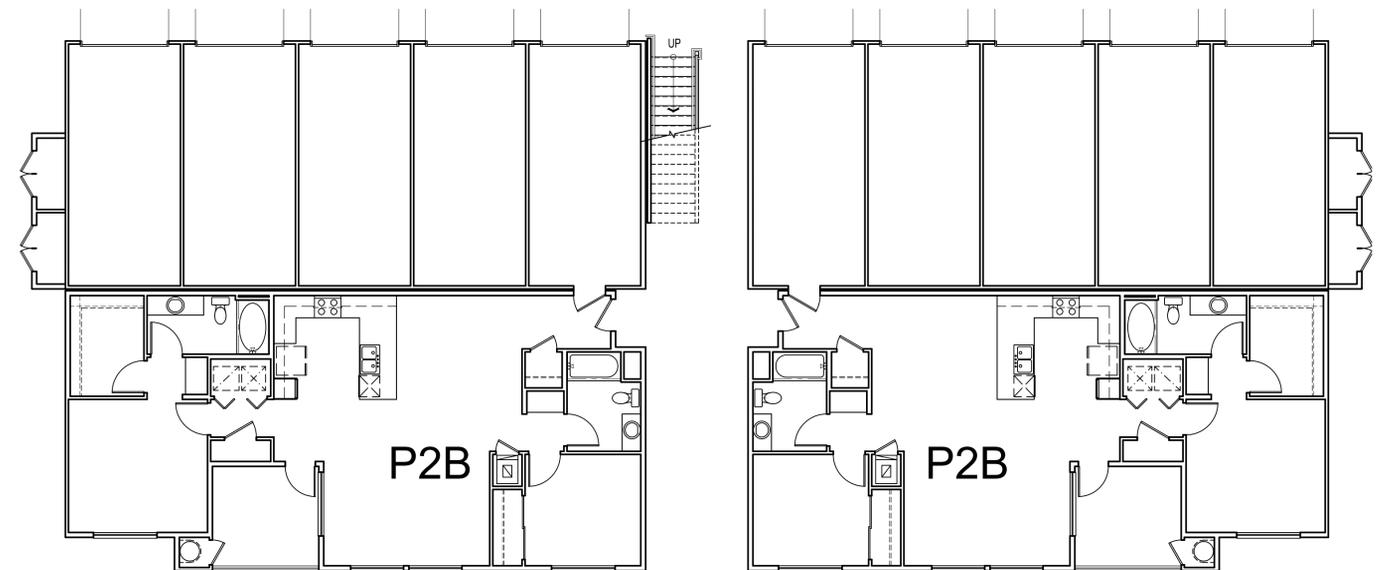
Roof Plan



Second Floor



Third Floor



First Floor

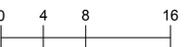
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BUILDING A PLANS

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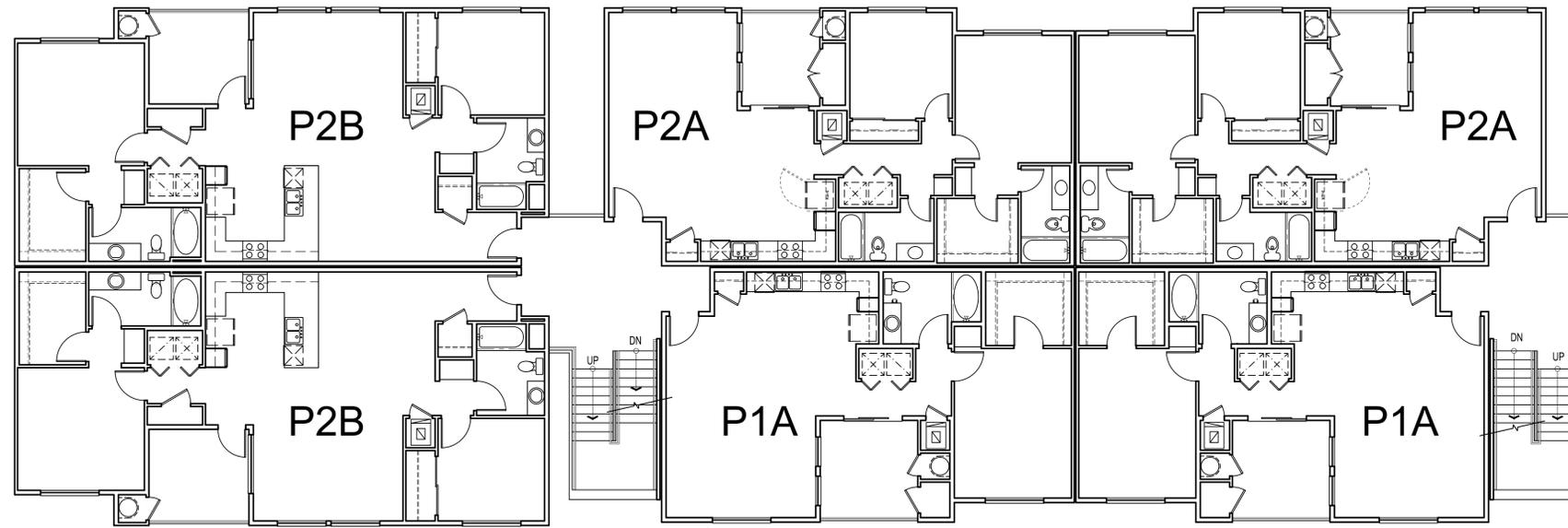
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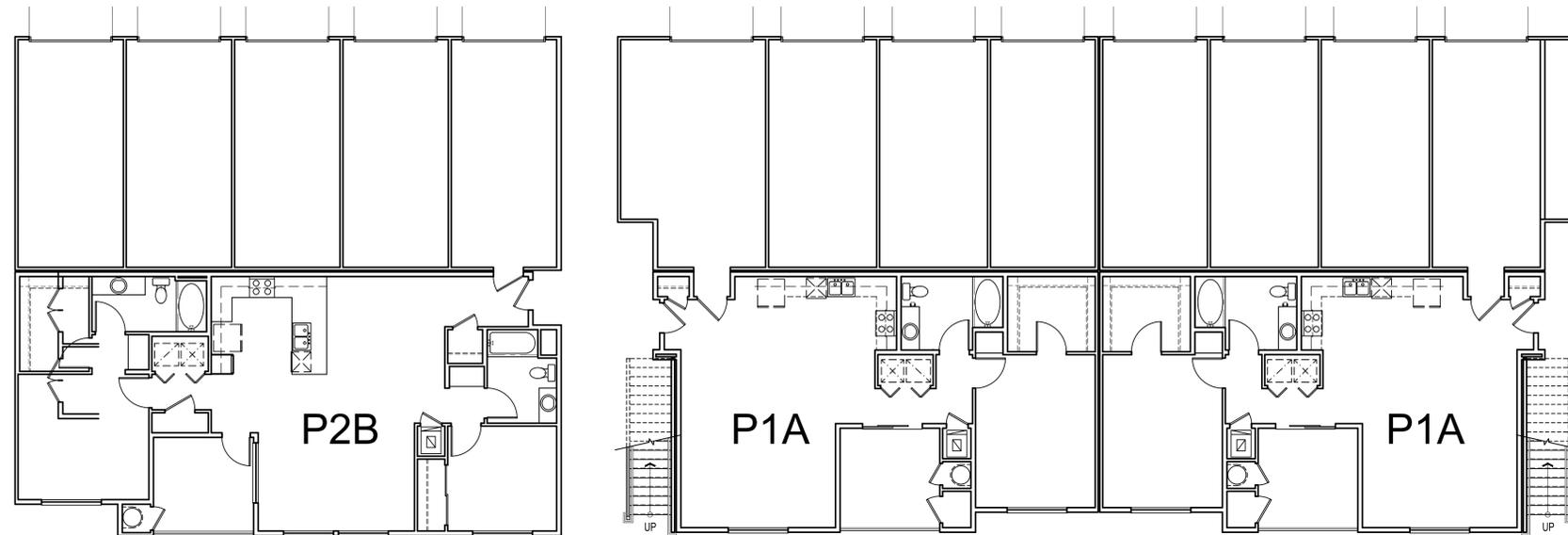
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Second Floor



First Floor

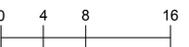
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BUILDING B PLANS

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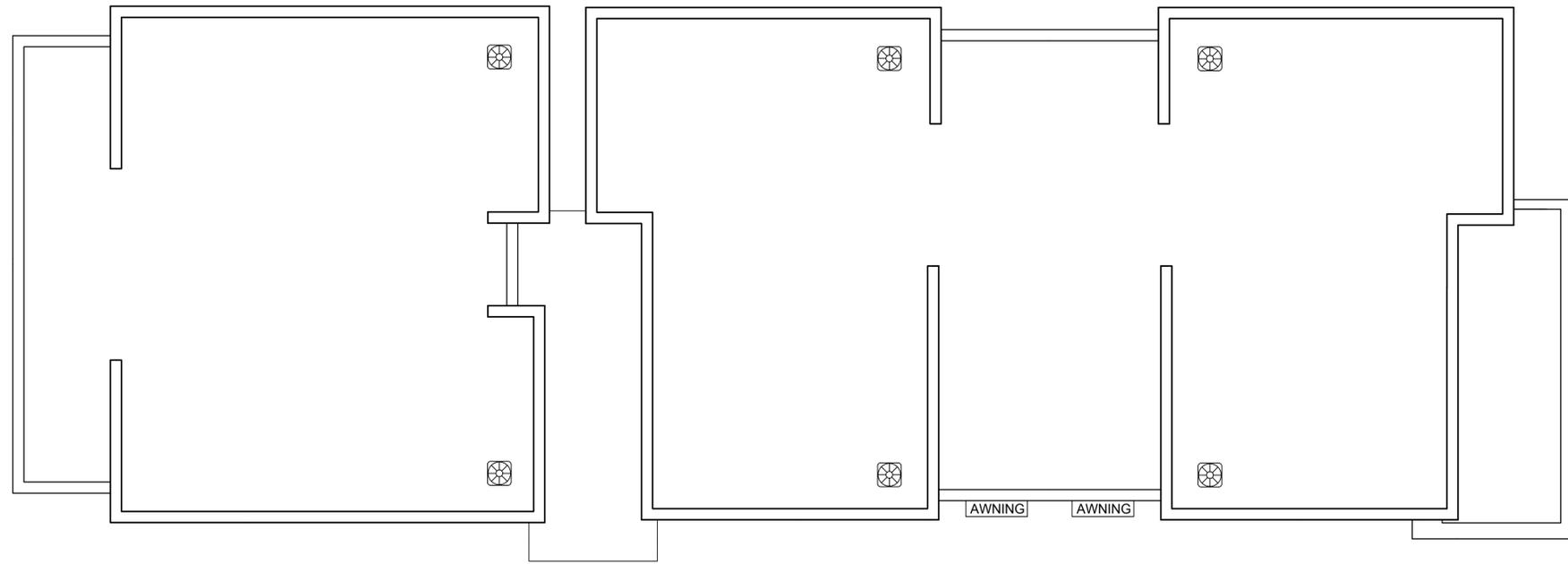
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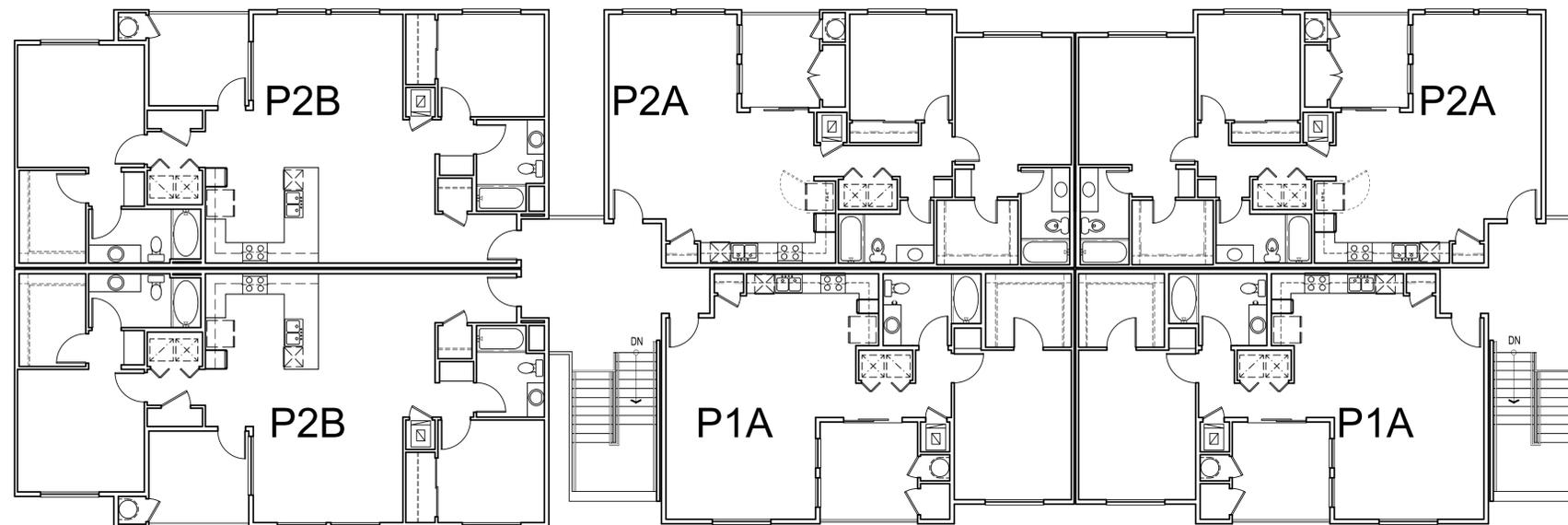
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Roof Plan



Third Floor

SHEPHERD AND WILLOW

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BUILDING B PLANS

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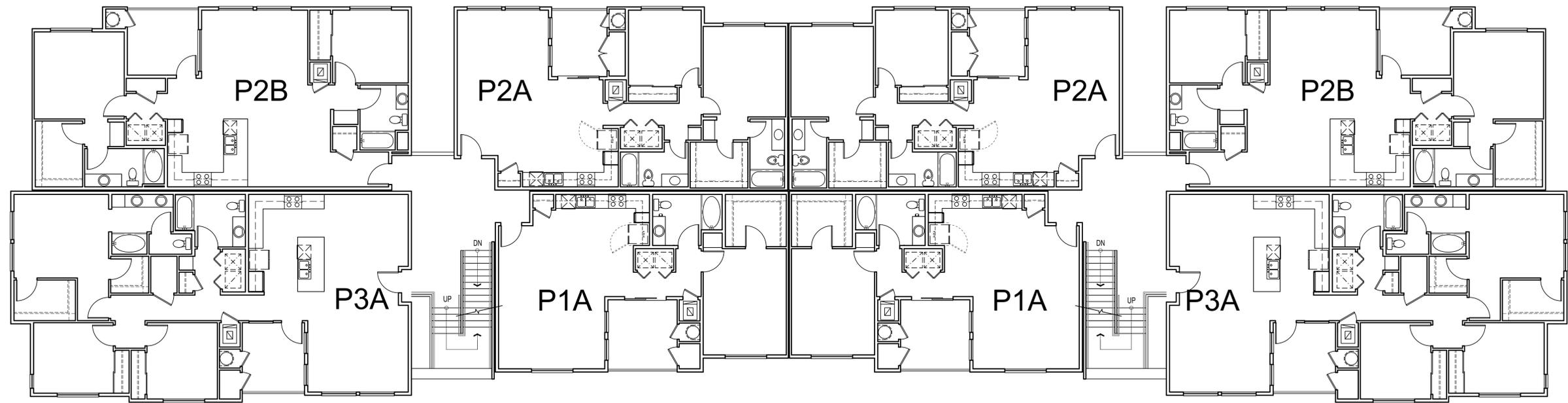
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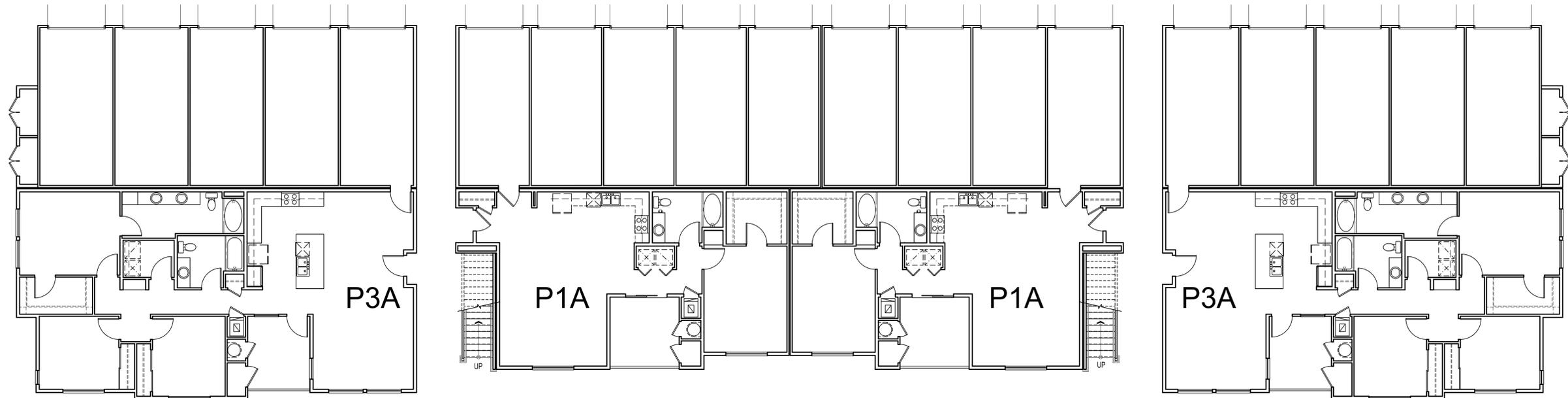
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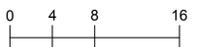




Second Floor



First Floor



A3.3

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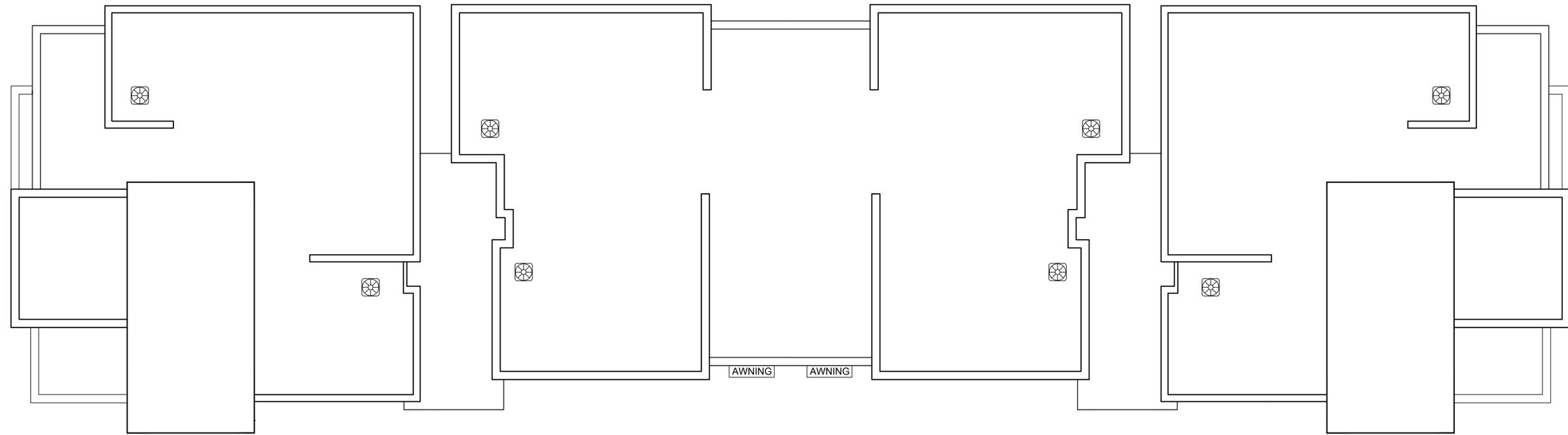
BUILDING C PLANS

FRESNO, CA
 KTG # 2014-0951

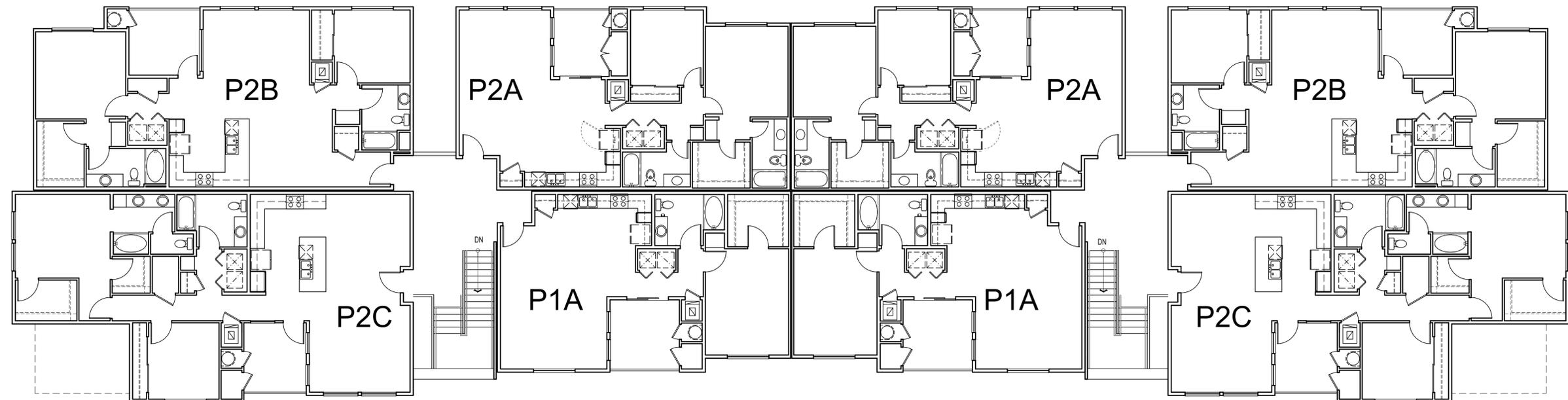
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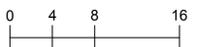




Roof Plan



Third Floor



A3.4

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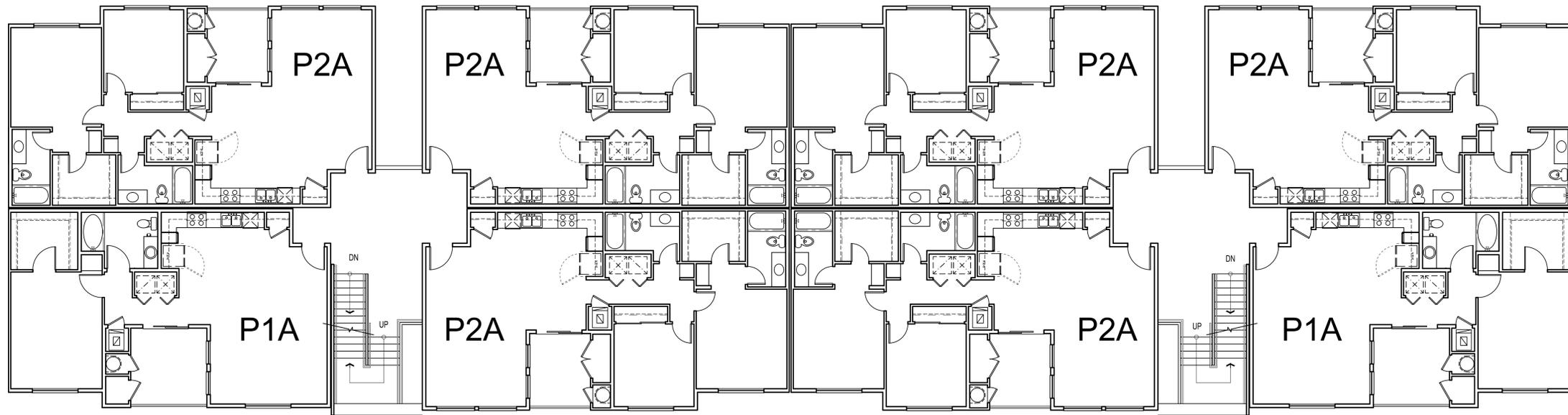
BUILDING C PLANS

FRESNO, CA
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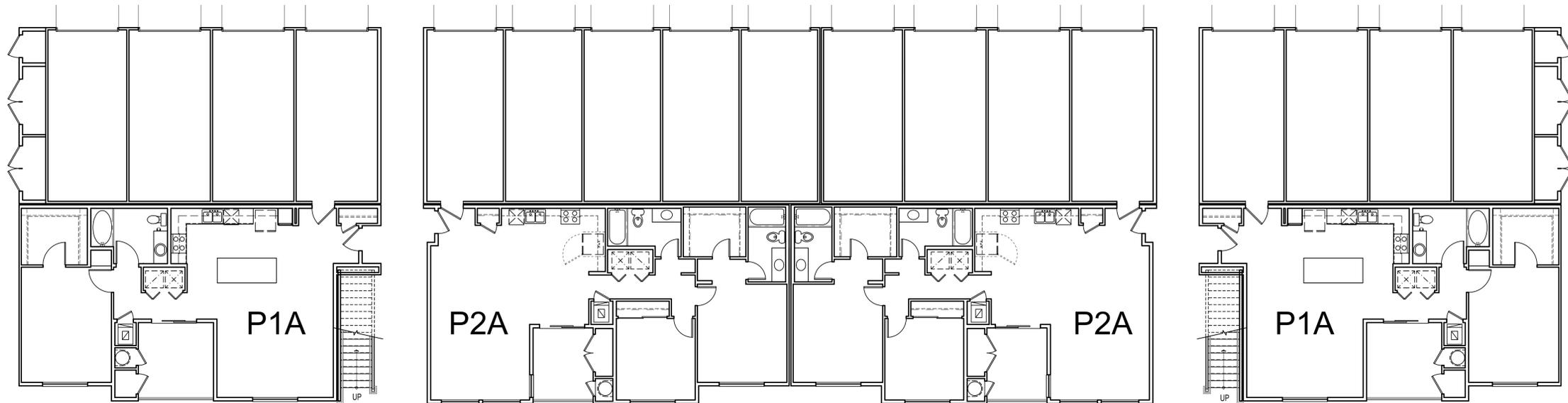
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Second Floor



First Floor

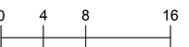
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BUILDING D PLANS

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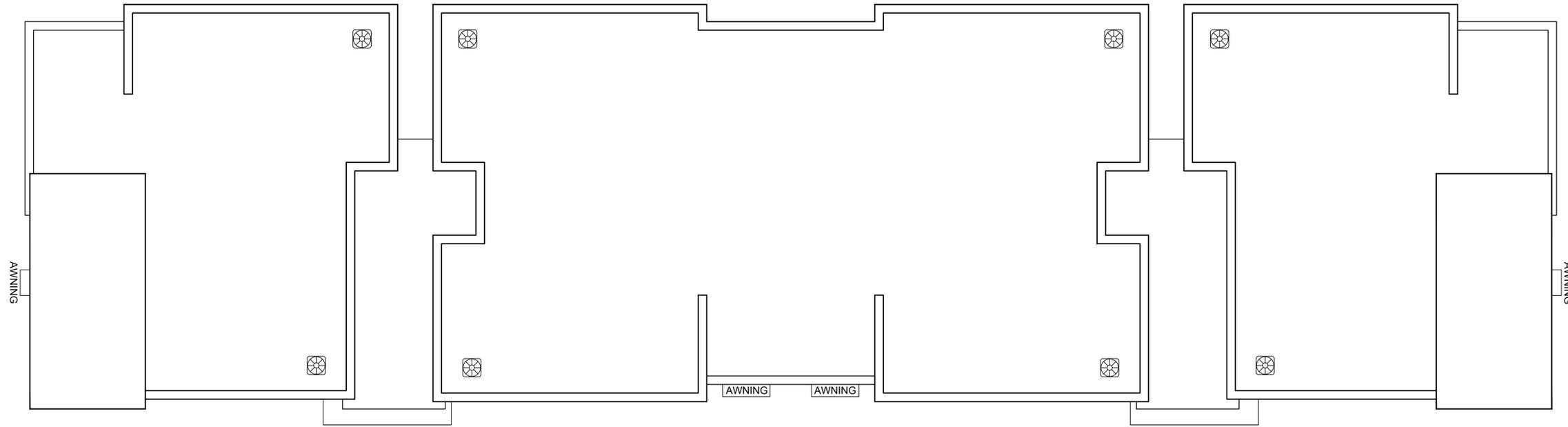
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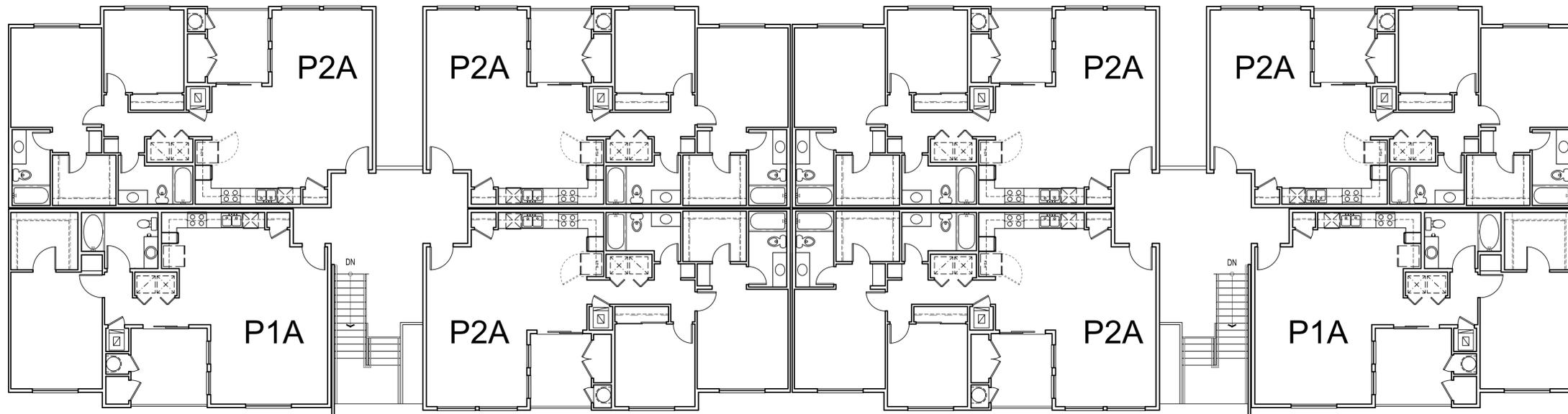
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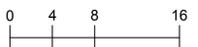




Roof Plan



Third Floor



A3.6

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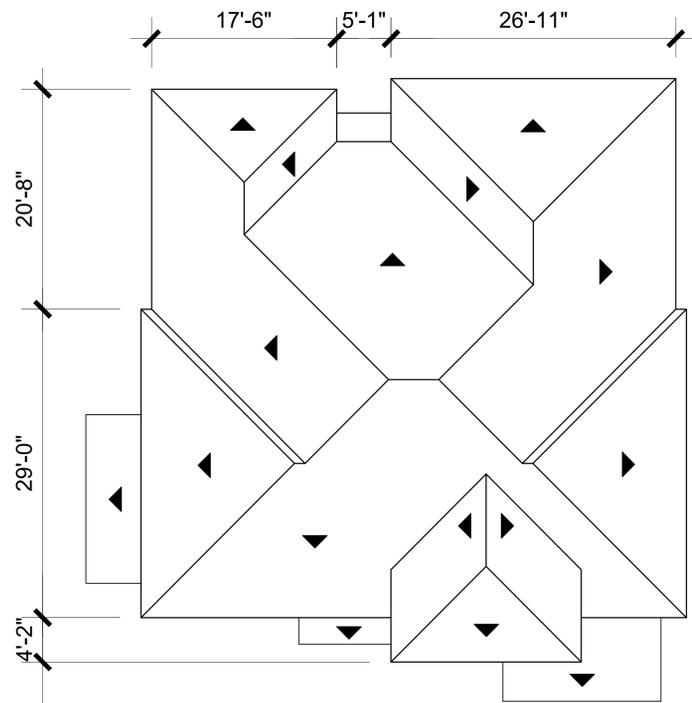
BUILDING D PLANS

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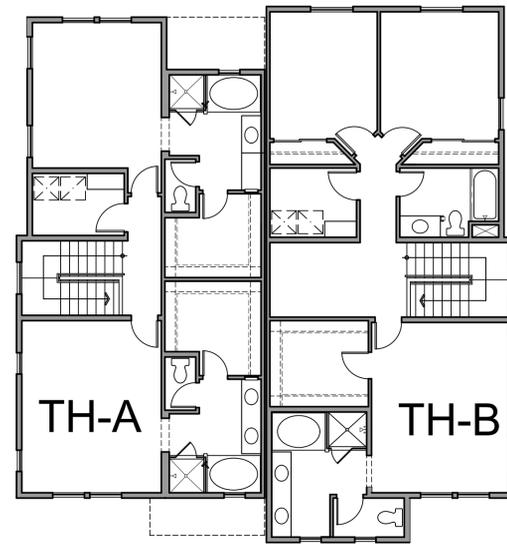
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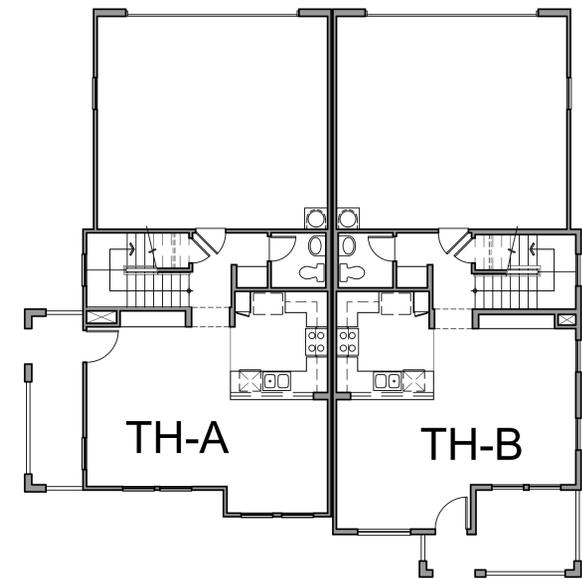




Roof Plan



Second Floor



First Floor

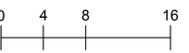
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PAIRED HOME BUILDING PLANS

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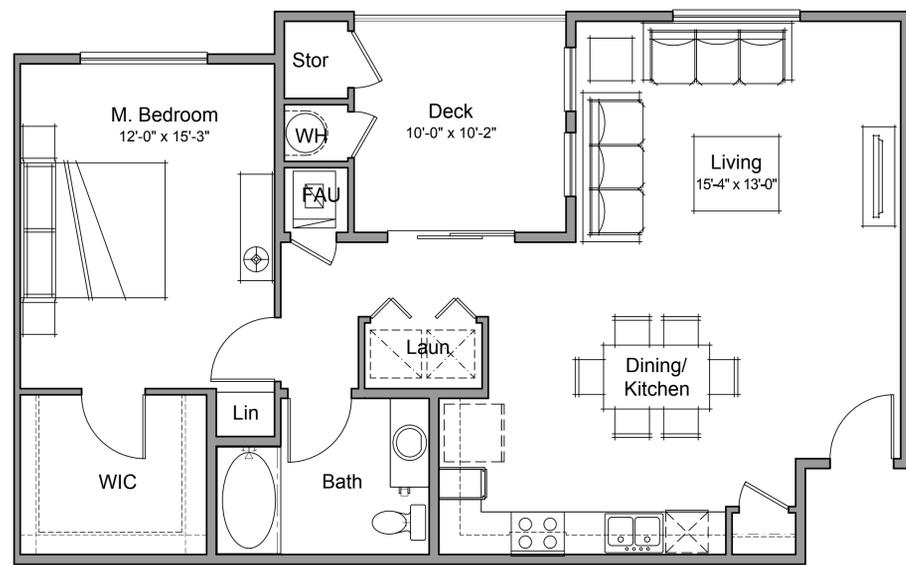
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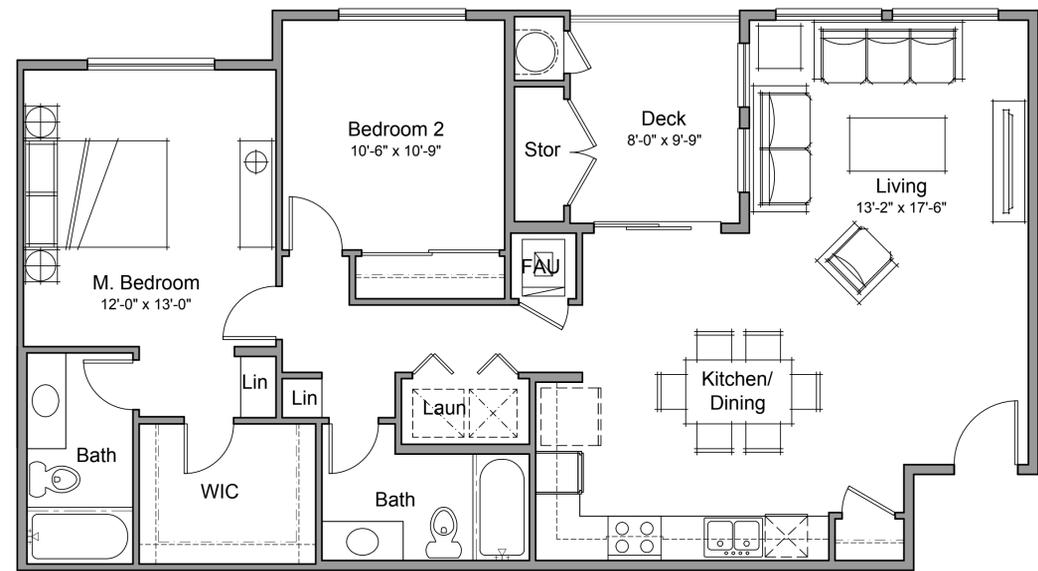
A3.7

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Plan 1A
864 Net Rentable SF



Plan 2A
1043 Net Rentable SF

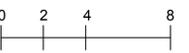
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UNIT PLANS

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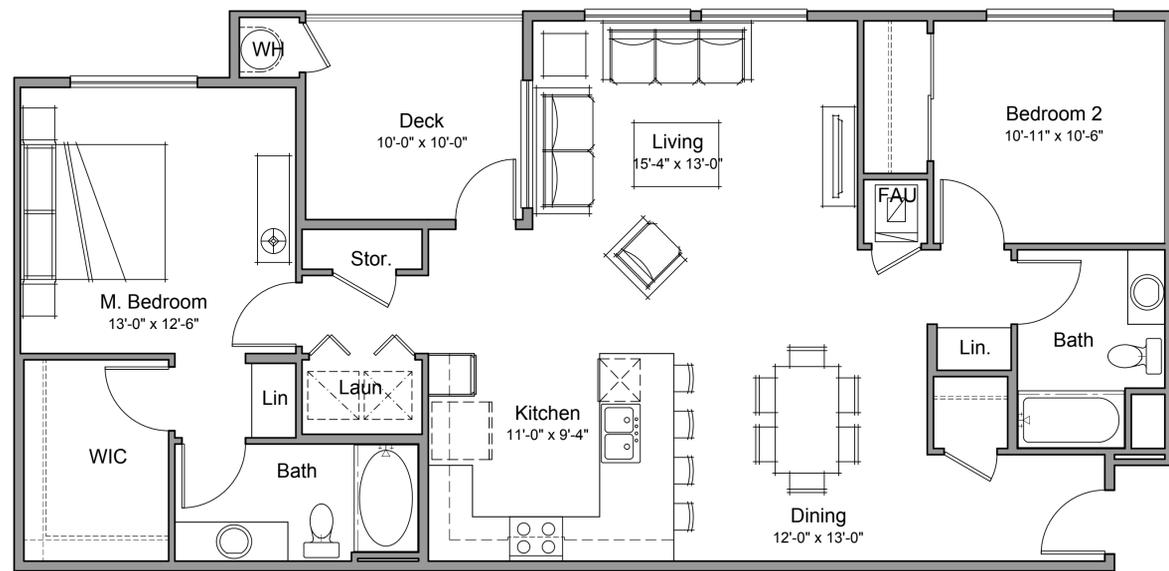
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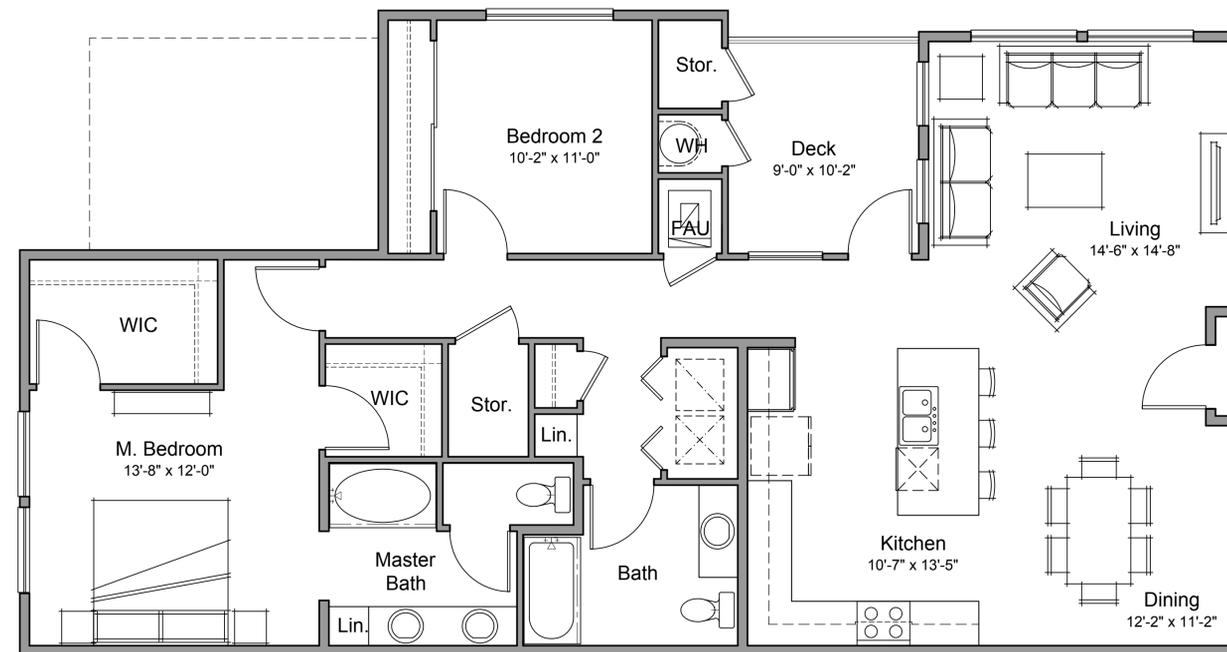
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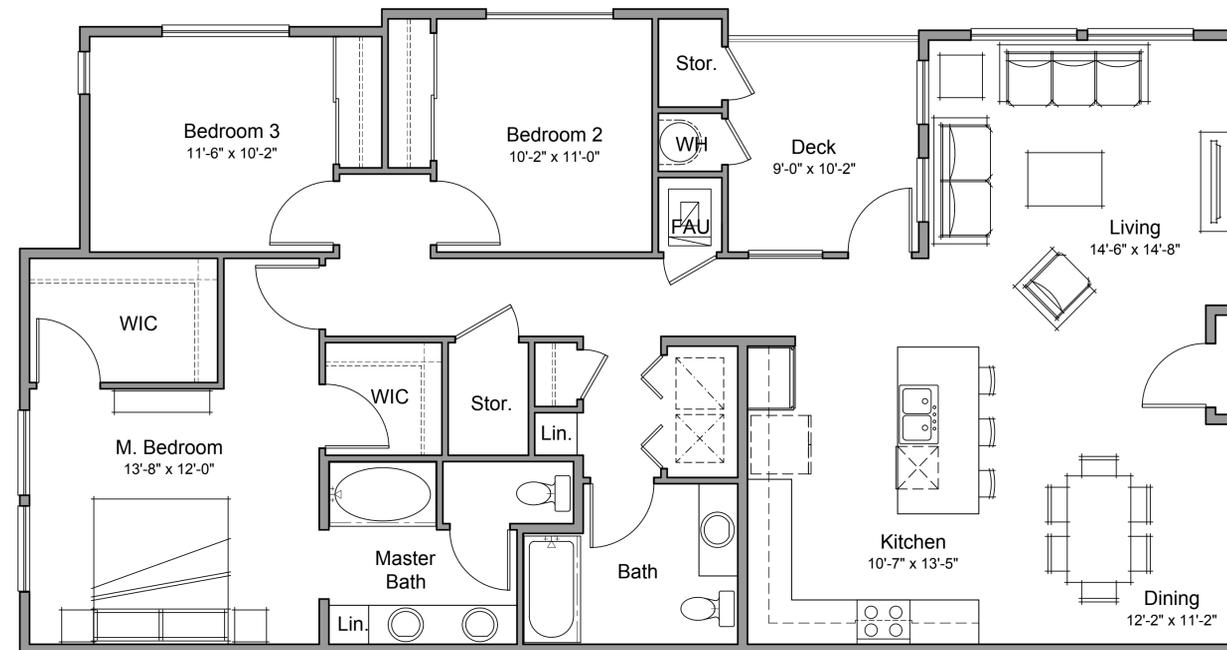




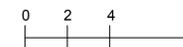
Plan 2B
1202 Net Rentable SF



Plan 2C
1306 Net Rentable SF



Plan 3A
1459 Net Rentable SF



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UNIT PLANS

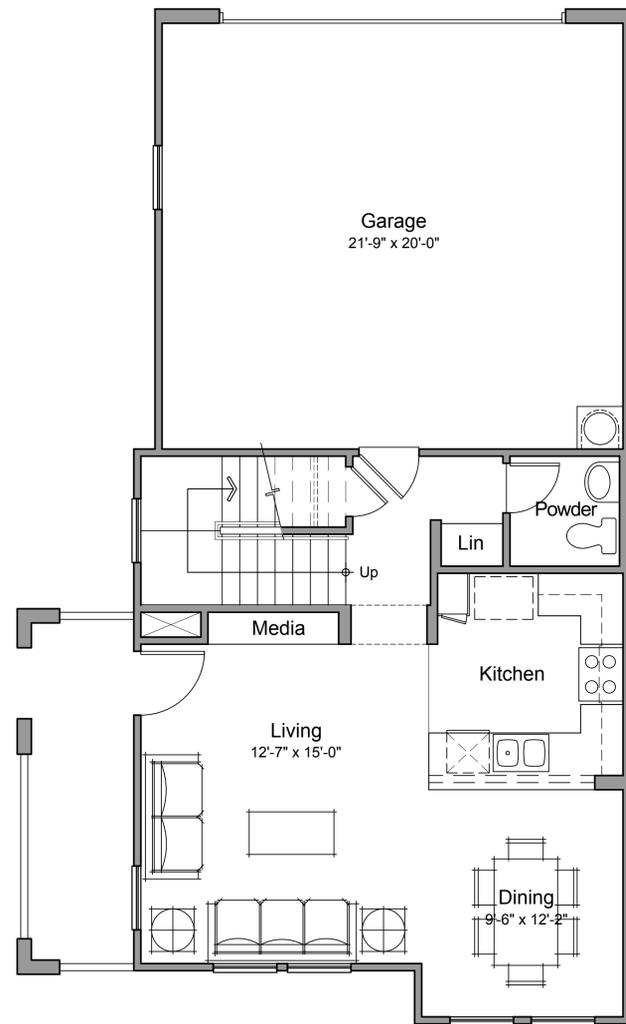
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A5.1

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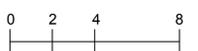


First Floor
566 Net Rentable SF



Second Floor
868 Net Rentable SF

Plan TH-A
1434 Total Net Rentable SF



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UNIT PLANS

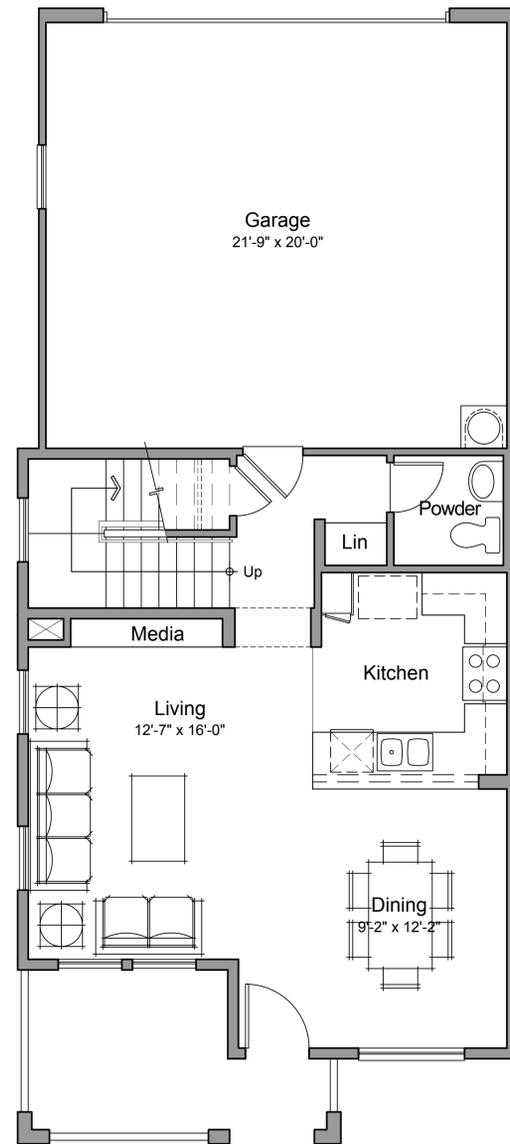
FRESNO, CA
KTGY # 2014-0951

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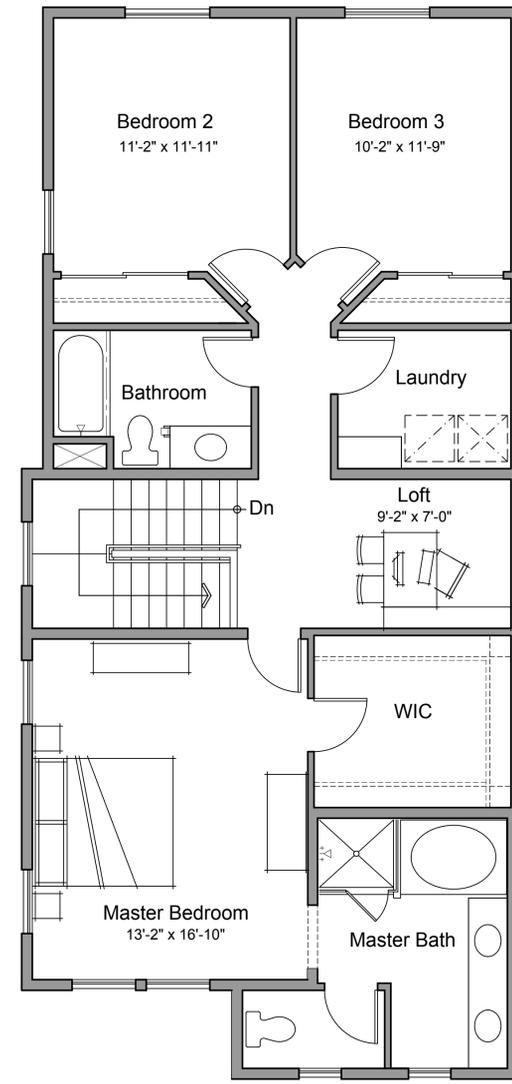
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A5.2

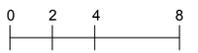


First Floor
586 Net Rentable SF



Second Floor
993 Net Rentable SF

Plan TH-B
1579 Total Net Rentable SF



A5.3

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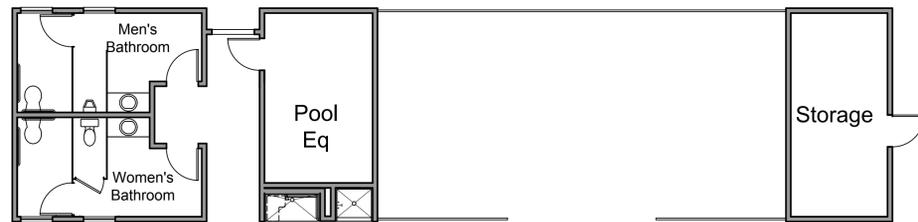
UNIT PLANS

FRESNO, CA
KTGY # 2014-0951

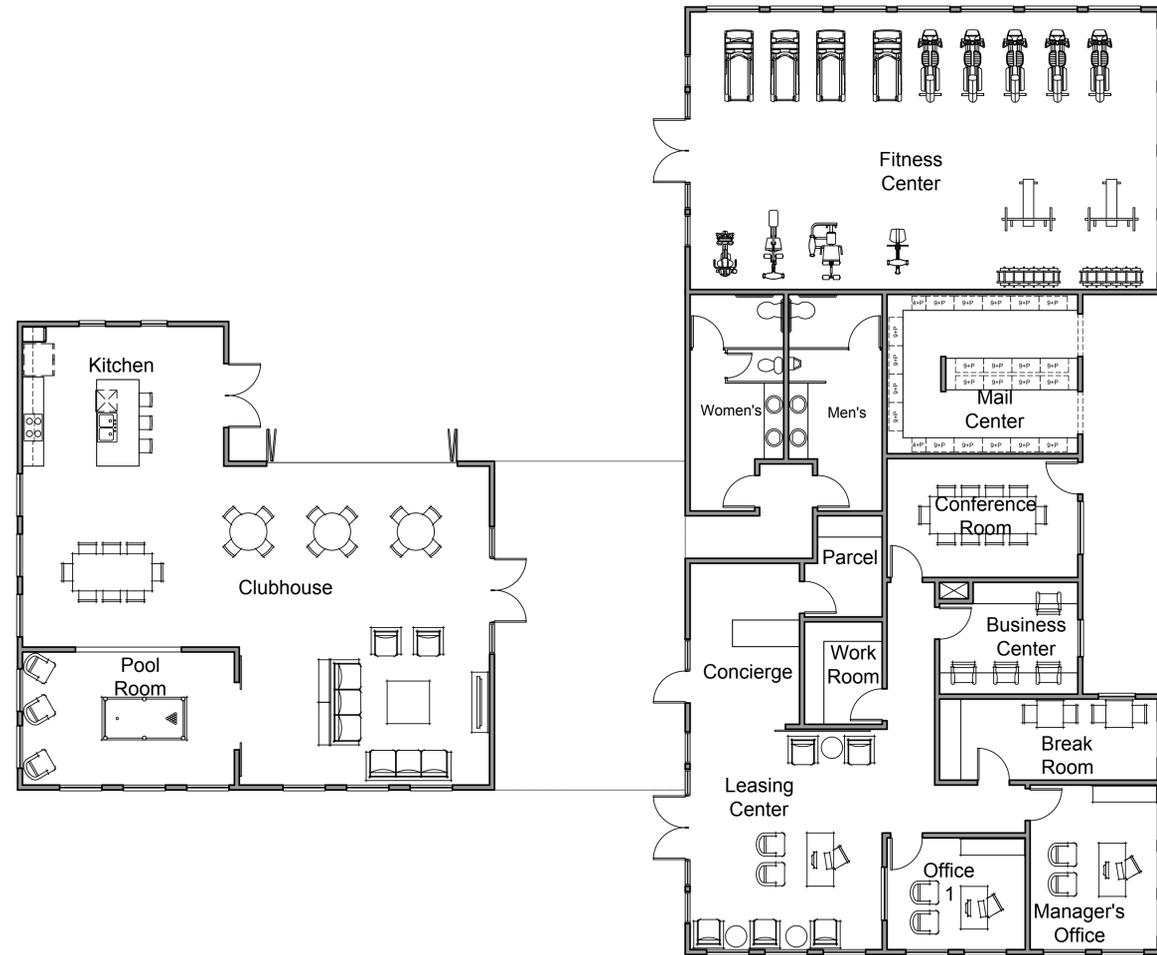
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Pool Building
750 Total Net SF



Clubhouse
5300 Total Net SF

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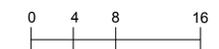
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CLUBHOUSE AND POOL BUILDING PLAN

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A5.4





① SOUTH + SOUTHEAST ELEVATION



② NORTHEAST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL "A"

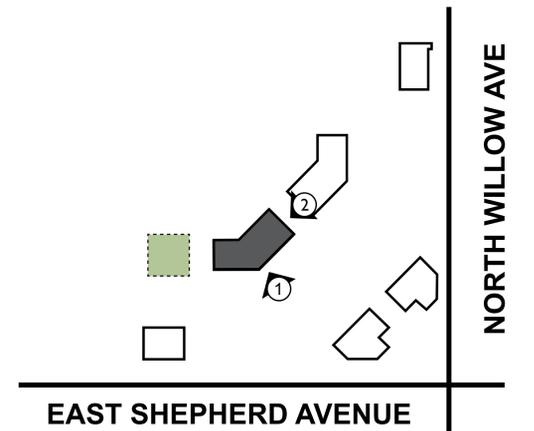
MATERIALS

A	WOOD LOUVERS
B	WOOD SIDING
C	METAL TRIM
D	CORRUGATED METAL
E	SMOOTH STUCCO
F	WET GROOVE SMOOTH PLASTER
G	STONE VENEER
H	ANODIZED ALUMINUM STOREFRONT
I	PRECAST BASE
J	TENANT BLADE SIGNAGE
K	TENANT SIGNAGE
L	METAL LOUVERS
M	METAL CANOPY
N	WOOD AWNING

FINISHES

1	"SANTA FE" STACKED STONE, ELDORADO STONE
2	"SAILCLOTH" (DE6184), DUNN EDWARDS
3	"TAWNY OWL" (DET640), DUNN EDWARDS
4	"WARM AND TOASTY" (DET646), DUNN EDWARDS
5	"COVERED WAGON" (DE6196), DUNN EDWARDS
6	"OLD BOOT" (DE6133), DUNN EDWARDS
7	"NOMADIC TAUPE" (DE6192), DUNN EDWARDS
8	"DARK BRONZE" (AB-6), ARCADIA
9	"C 51", RESYSTA
10	"C 23", RESYSTA
11	COLOR TO MATCH STOREFRONT

NOTE:
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OUTDOOR PATIOS AND RAILINGS ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



EAST SHEPHERD AVENUE

NORTH WILLOW AVE

0' 8' 16' 32' 64'
SCALE: 1/16" = 1'-0"

EEI.I



① NORTH + NORTHWEST ELEVATION



② WEST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL "A"

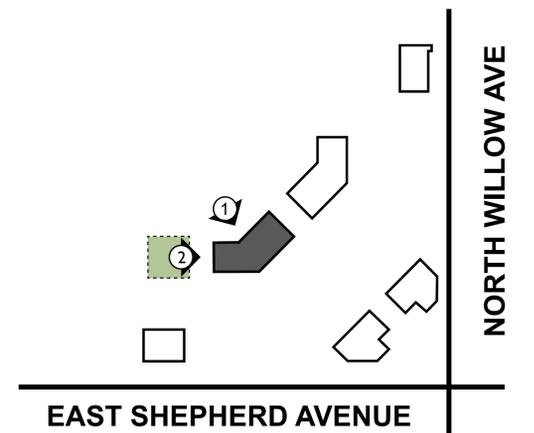
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EAST SHEPHERD AVENUE
SCALE: 1/16" = 1'-0"
EE1.2



① SOUTHEAST + EAST ELEVATION



② SOUTHWEST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL "B"

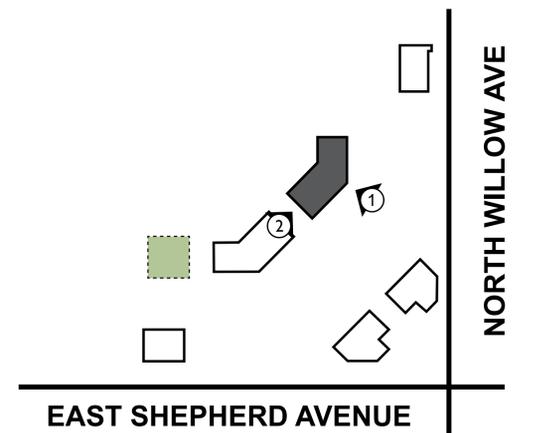
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FINISHES

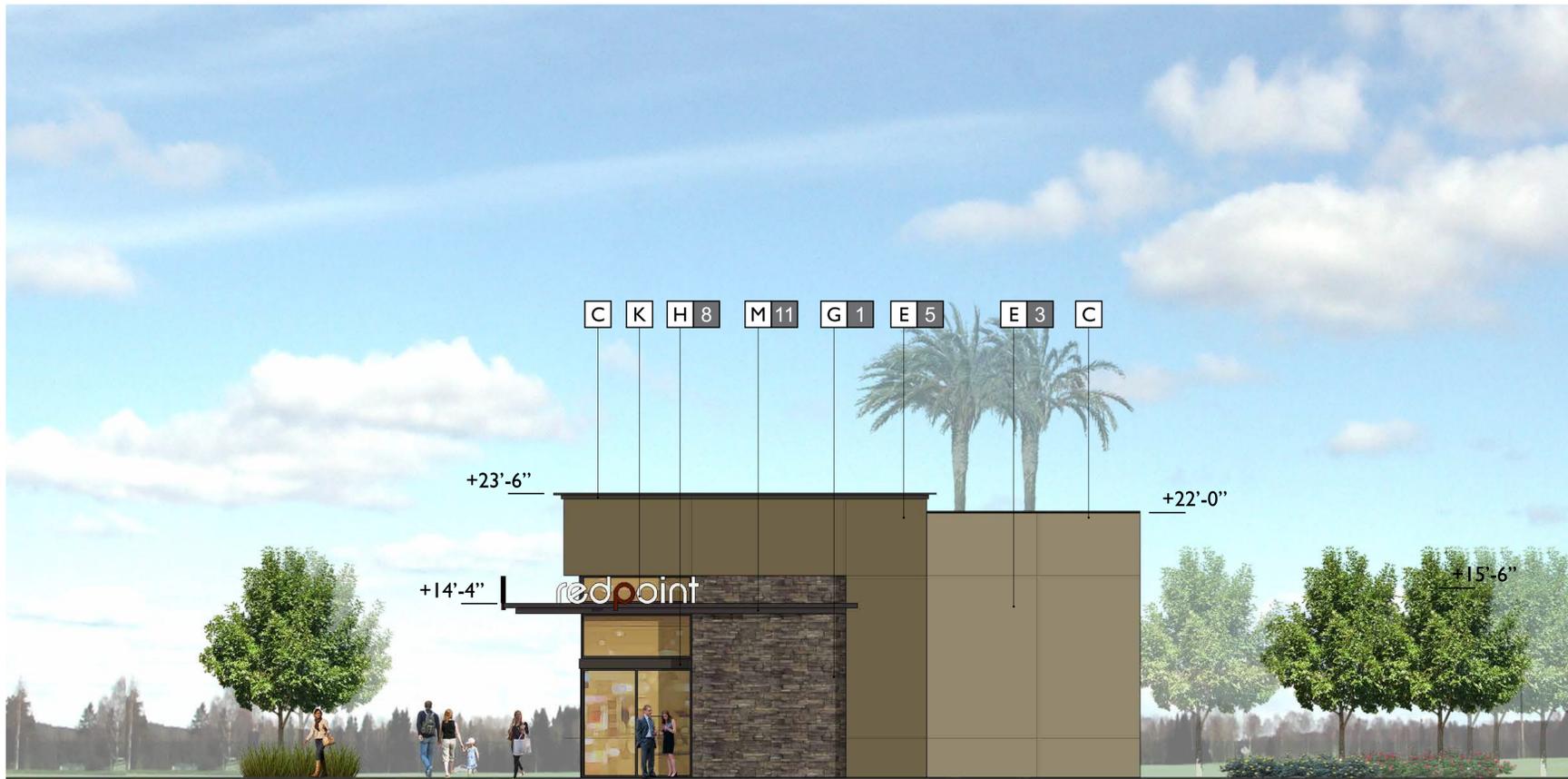
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① NORTHWEST + WEST ELEVATION



② NORTH ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL "B"

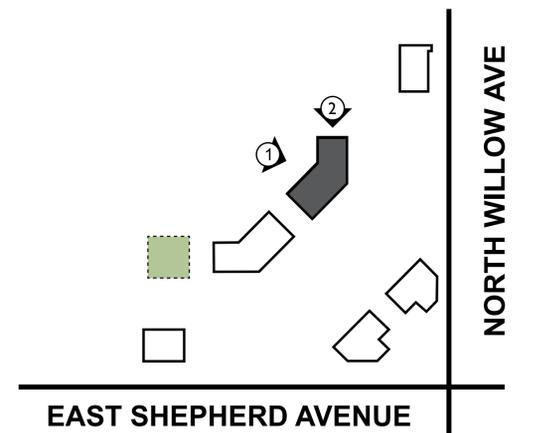
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① NORTH ELEVATION



② WEST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD I

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EST. 2015
THE ROW
 HERITAGE GROVE

FRESNO, CA
 KTGY #140952
 DATE 1.5.16

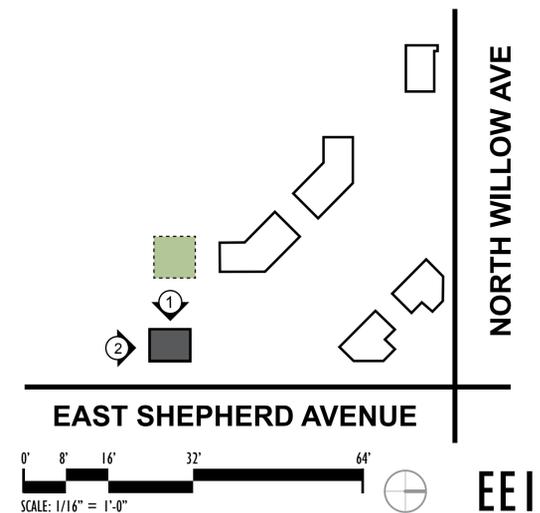
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① EAST ELEVATION



② SOUTH ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD I

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FRESNO, CA
KTGY #140952
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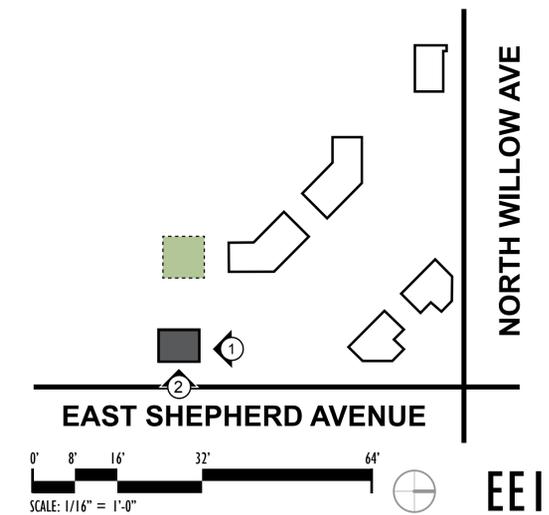
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① NORTHEAST ELEVATION



② NORTHWEST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD 2

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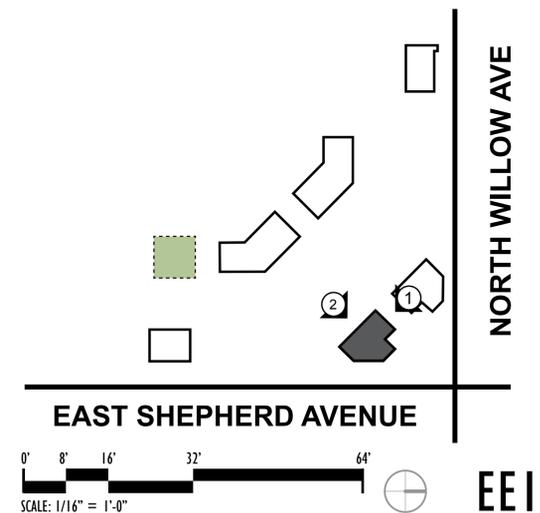
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① SOUTHWEST + SOUTH ELEVATION



② SOUTHEAST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD 2

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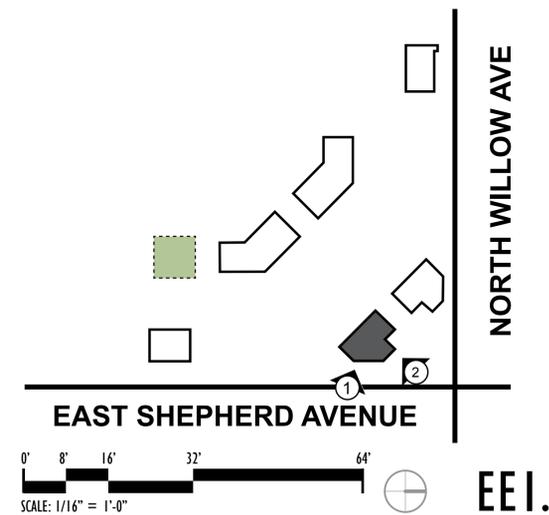
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① NORTHWEST ELEVATION

B 9 H 8



② SOUTHWEST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD 3

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FRESNO, CA
KTGY #140952
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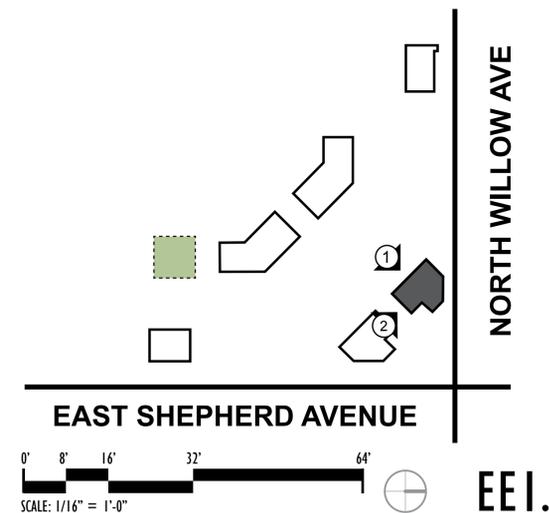
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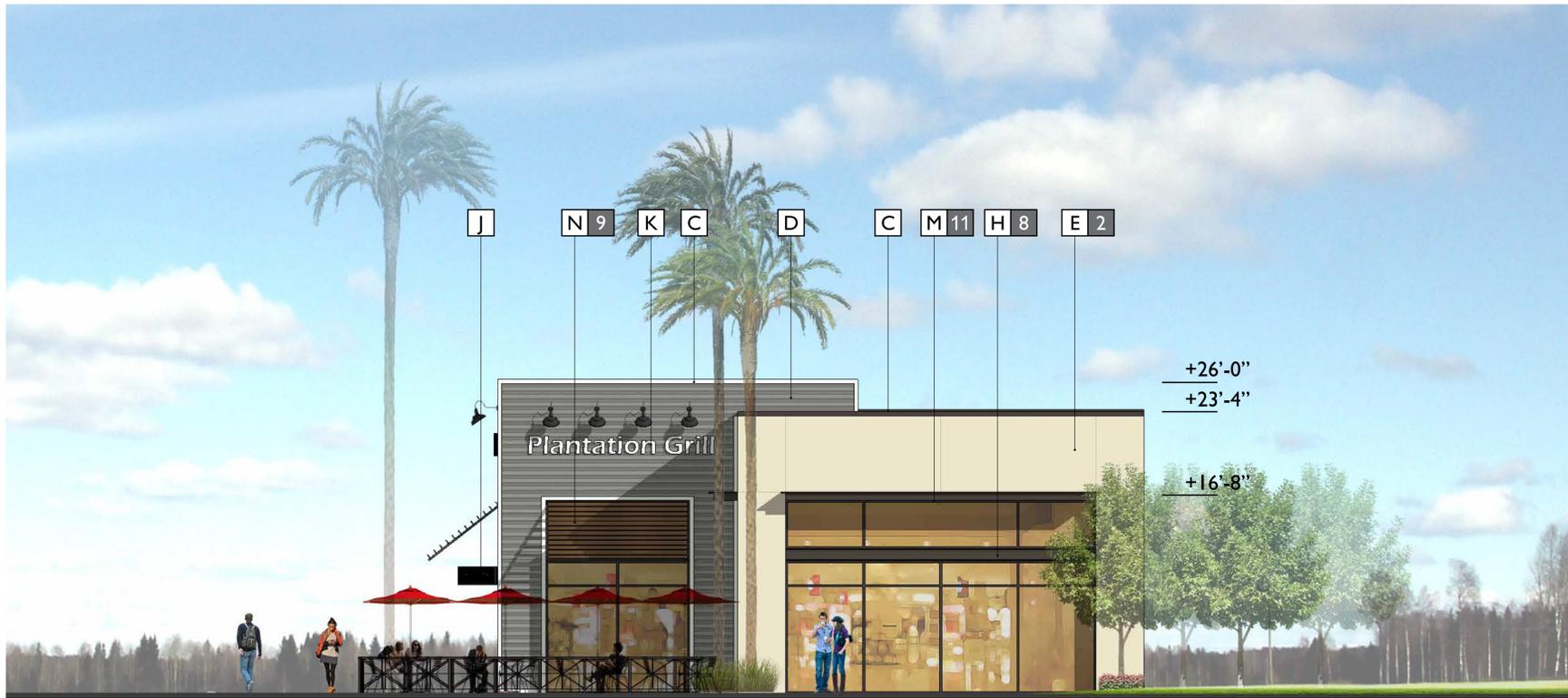
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① SOUTHEAST ELEVATION



② EAST + NORTHEAST ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD 3

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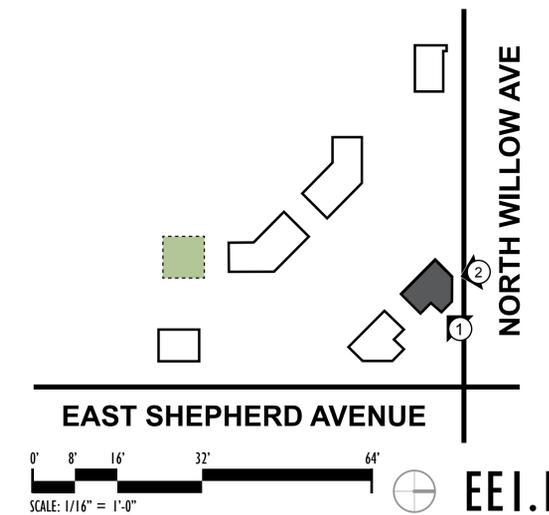
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① WEST ELEVATION



② SOUTH ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD 4

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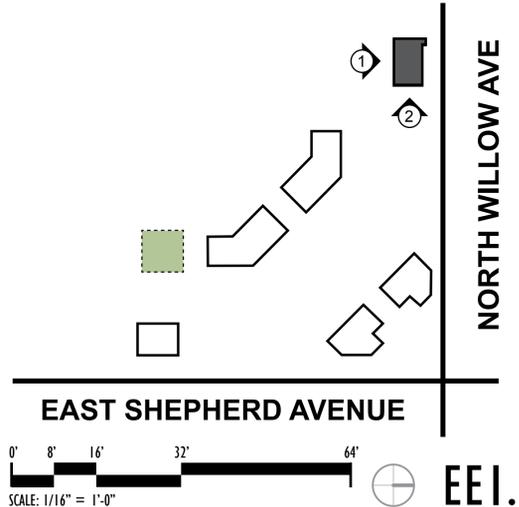
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① EAST ELEVATION



② NORTH ELEVATION

CONCEPTUAL ELEVATIONS - RETAIL PAD 4

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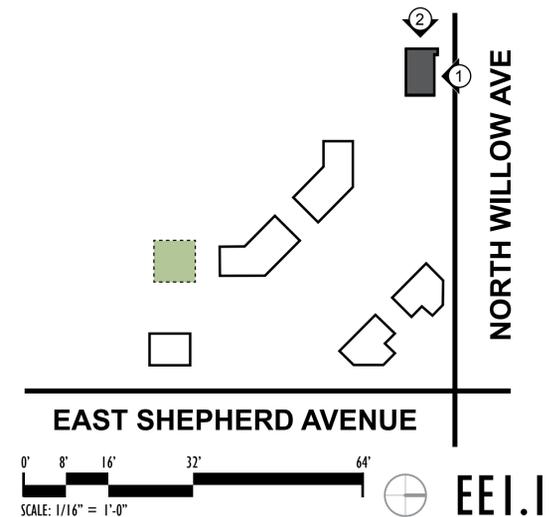
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EEI.12

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2



3



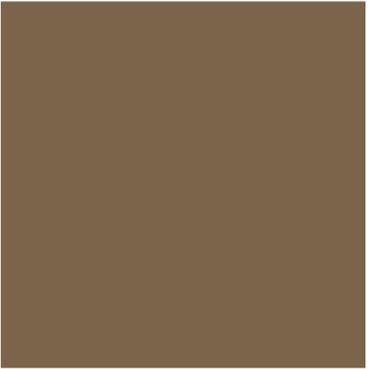
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4



5



6



7



8



9



10

FINISHES

- 1 **STONE VENEER** - "Santa Fe", Stacked Stone
Eldorado Stone
- 2 **PAINT** - "Sailcloth" (DE6184)
Dunn Edwards

- 3 **PAINT** - "Tawny Owl" (DET640)
Dunn Edwards
- 4 **PAINT** - "Warm and Toasty" (DET646)
Dunn Edwards

- 5 **PAINT** - "Covered Wagon" (DE6196)
Dunn Edwards
- 6 **PAINT** - "Old Boot" (DE6133)
Dunn Edwards

- 7 **PAINT** - "Nomadic Taupe" (DE6192)
Dunn Edwards
- 8 **STOREFRONT** - "Dark Bronze" (AB-6)
Arcadia

- 9 **WOOD SIDING** - "Walnut" (C 51)
Resysta
- 10 **WOOD SIDING** - "Aged Teak" (C 23)
Resysta

CONCEPTUAL MATERIALS

THE ROW AT HERITAGE GROVE

MBI.0

Heritage Development Company
2917 Shepherd Avenue
Clovis, CA 93619

FRESNO CA
KTGY #140952
DATE 1.5.16

KTGY Group, Inc.
Architecture+Planning
17911 Von Karman Ave., Suite 200
Irvine, CA 92614
949.851.2133
ktgy.com



AMENITY LEGEND

- ① Main Entry
 - Enhanced paving
 - Framed by mature Olive grove
 - Decorative vehicular gates with iconic tower
 - Directory on center island
- ② Entry Park
 - Open event lawn area with Olive trees
 - Flexible entertainment bar with counter seating
 - 2 iconic towers with connecting shade colonnade
 - Elevated center stage
- ③ Proposal signage wall locations
- ④ Main entry plaza between leasing and club room, has open vista to pool area from entry
- ⑤ Entertainment courtyard with strong indoor/outdoor relationship with club room
 - Outdoor kitchen with buffet counter
 - Flexible entertainment bar with counter seating
 - Festival string lights above
- ⑥ Pool Area
 - Depressed pool area with wraparound sun deck
 - Custom cabanos
 - Spa with decorative tile backdrop wall
- ⑦ Dining court
 - Outdoor room, separate from pool area
 - Large focal fireplace
 - Outdoor kitchen with BBQ, sink, and counter
- ⑧ Pool house
 - Focal terminus from club room
 - Large indoor/outdoor room with
 - TV lounge
 - Central conversation area
 - Gaming area with ping pong table
- ⑨ Dog park
 - Large enclosed park area with dog play and agility toys
 - Adjacent iconic tower acts as shade structure and fenced within dog park
 - Covered dog grooming station
- ⑩ Retail pedestrian paseo connection
 - 2 sided fireplace as focal element, shared with retail
 - Patio seating on residential side
 - Secured pedestrian access point
- ⑪ Covered satellite BBQ and seating nodes
- ⑫ Secondary entry
 - Decorative vehicular gates
 - Iconic themed tower as pedestrian access point
 - Enhanced paving
- ⑬ Garden park
 - Garden space at secondary entry
 - Bocce ball court with seating areas
- ⑭ Internal streetscape designed to create continuous tree lined shade canopy to promote walking
- ⑮ Heavily landscaped paseo with large focal accent trees at terminus
- ⑯ Dense informal planting of vertical trees along north and west property lines
- ⑰ Private park
 - Iconic matching shade structures secure the ends of the tree lined alley
 - Large tat lot over rubberized surface with a curved seat wall for older kids
 - Bark play areas for younger kids with appropriate play and inspiration toys
 - Elevated "kid scale" gazebo with slide
 - Hardcourt play area
 - BBQ and picnic tables
 - Fruit tree grove behind
- ⑱ Enclosed private open space
- ⑲ ADA access (Typ.)
- ⑳ Turf block emergency access
- ㉑ Existing regional trail system

PLANT LIST

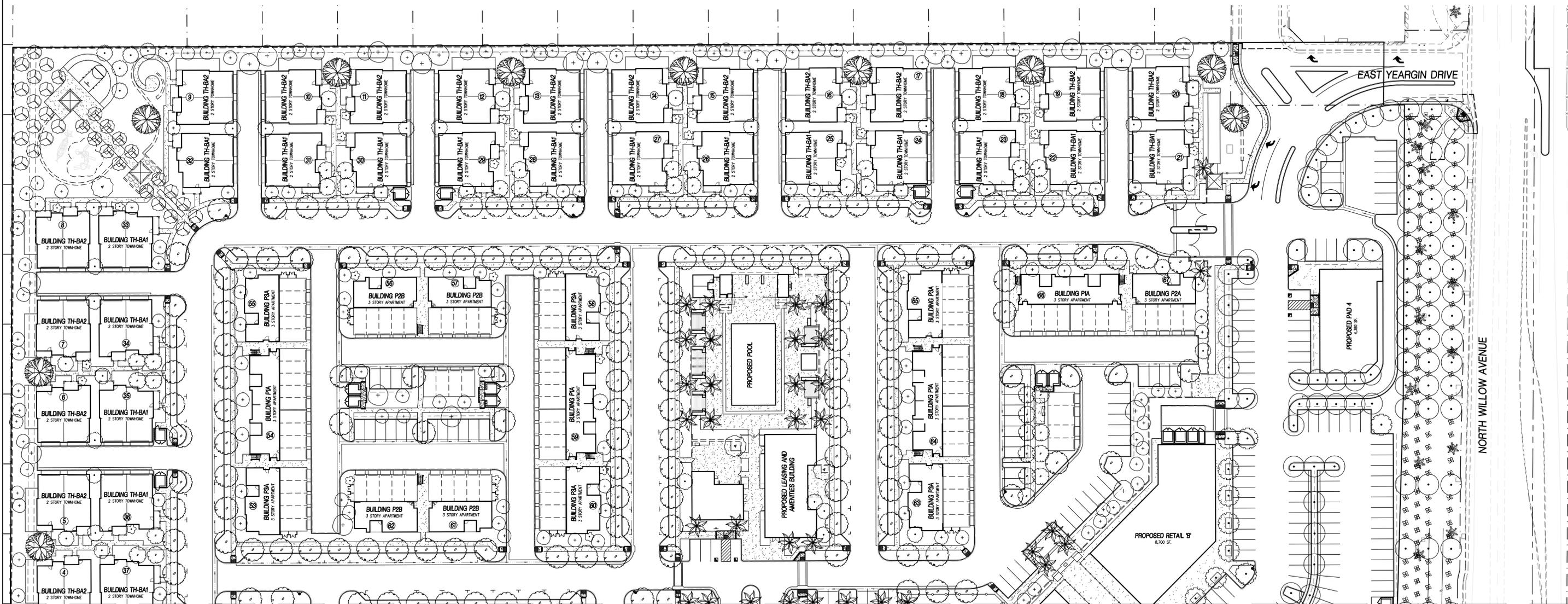
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.
TREES			
🍓	Arbutus 'Marina'	Strawberry Tree	98
	Laurus Nobilis	Sweet Bay	
	Magnolia grandiflora 'Little Gem'	Southern Magnolia	
🌿	Cinnamomum camphora	Camphor Tree	14
	Quercus agrifolia	Coast Live Oak	
	Schinus molle	California Pepper Tree	
🌿	Geijera parviflora	Australian Willow	232
	Pinus canariensis	Canary Island Pine	
	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	
🌿	Gleditsia L. inermis 'Shademaster'	Honey Locust	39
	Koeleruteria paniculata	Golden Rain Tree	
	Lagerstroemia hybrids 'Tuskegee'	Crape Myrtle (Deep Pink)	
🌿	Ulmus parvifolia 'True Green'	Evergreen Elm	197
🌿	Olea europaea	Olive	49
🌿	Fruit Tree		32
PALMS			
🌴	Phoenix dactylifera	Date Palm	43
	Washingtonia robusta hybrida	Hybrid Fan Palm	
SHRUBS			
🌿	Agave desmetiana 'Variegata'	Variegated Dwarf Century Plant	
	Agave vilmoriniana	Octopus Agave	
🌿	Aloe arborescens	Tree Aloe	
	Buxus microphylla japonica	Japanese Boxwood	
🌿	Callistemon viminalis 'LittleJohn'	Dwarf Bottlebrush	
	Chondropetalum tectorum	Cape Rush	
🌿	Dianella tasmanica 'Silver Streak'	Silver Streak Flax Lily	
	Hemerocallis 'Dwarf Red'	Day Lily	
🌿	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	
	Ligustrum japonicum 'Texanum'	Wax Leaf Privet	
🌿	Moraea bicolor	Fortnight Lily	
	Muhlenbergia capillaris 'Regal Mist'	Regal Mist Muhly	
🌿	Pittosporum tobira	Tobira	
	Pyracantha h. 'Tiny Tim'	Pyracantha	
🌿	Raphirolepis indica 'Clara'	Dwarf Indian Hawthorne	
	Rosa f. 'Trumpeter'	Trumpeter Rose	
🌿	Rosa x 'Noare'	Flower Carpet Red Grounder Rose	
	Russelia equisetiformis	Coral Fountain	
🌿	Strelitzia reginae	Bird-of-Paradise	



PRELIMINARY LANDSCAPE PLAN

SHEPHERD AND WILLOW

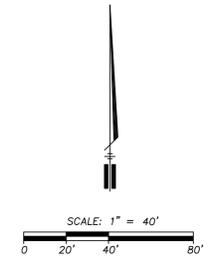
Arisian Group
389 Clovis Ave., Suite 200
Clovis, California 93612



MATCH LINE - SEE SHEET 5

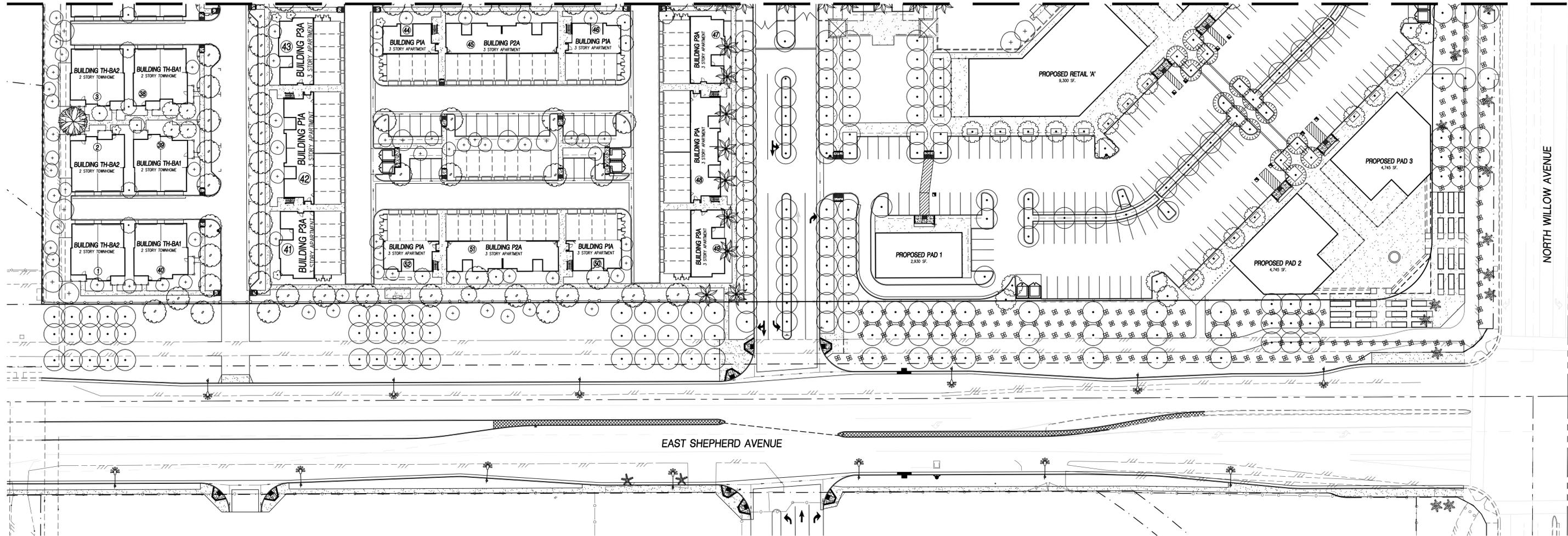
PLANT LIST:

SYMBOL TREES	BOTANICAL NAME	COMMON NAME	QTY.
	ARBUTUS 'MARINA'	STRAWBERRY TREE SWEET	98
	LAURUS NOBILIS	BAY SOUTHERN MAGNOLIA	
	MAGNOLIA GRANDIFLORA	'LITTLE GEM'	
	CINNAMOMUM CAMPHORA	CAMPHOR TREE COAST LIVE	14
	QUERCUS AGRIFOLIA	OAK CALIFORNIA PEPPER	
	SCHINUS MOLLE	TREE	
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	232
	PINUS CANARIENSIS	CANARY ISLAND PINE	
	CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	
	GLEDITSIA T. INERMIS	HONEY LOCUST GOLDEN	39
	'SHADEMASTER'	RAIN TREE CRAPE MYRTLE	
	KOELERUTERIA PANICULATA	(DEEP PINK)	
	LAGERSTROEMIA HYBRIDS	'TUSKEGEE'	
	ULMUS PARVIFOLIA	'TRUE GREEN'	197
	OLEA EUROPEA	'SWAN HILL' OLIVE	183
	FRUIT TREE		32
	PHOENIX DACTYLIFERA	DATE PALM HYBRID FAN	43
	WASHINGTONIA ROBUSTA	PALM	
	PYRUS CALLERYANA	'REDSPIRE' CALLERY PEAR	14
	'REDSPIRE'		
	PYRUS CALLERYANA	'ARISTOCRAT' CALLERY PEAR	36
	'ARISTOCRAT'		



	YAMABE & HORN ENGINEERING, INC. 2985 N. BURL AVENUE SUITE 101 FRESNO, CA 93727 TEL (559) 244-3123 FAX (559) 244-3120	Ref. & Rev.	CITY OF FRESNO
		PROJECT TITLE THE ROW WILLOW AND SHEPHERD AVENUES SHEET DESCRIPTION LANDSCAPE PLAN	Dr. By: BR Ch. By: BB Date: 01/06/2016 Scale: As Noted

MATCH LINE - SEE SHEET 4



PLANT LIST:

SYMBOL TREES	BOTANICAL NAME	COMMON NAME	QTY.
	ARBUTUS 'MARINA' LAURUS NOBILIS MAGNOLIA GRANDIFLORA 'LITTLE GEM'	STRAWBERRY TREE SWEET BAY SOUTHERN MAGNOLIA	98
	CINNAMOMUM CAMPHORA QUERCUS AGRIFOLIA SCHINUS MOLLE	CAMPHOR TREE COAST LIVE OAK CALIFORNIA PEPPER TREE	14
	GELEERA PARVIFLORA PINUS CANARIENSIS PYRUS CALLERYANA 'CHANTICLEER'	AUSTRALIAN WILLOW CANARY ISLAND PINE CHANTICLEER PEAR	232
	GLEDITSIA T. INERMIS 'SHADEMASTER' KOLBEUTERIA PANICULATA LAGERSTROEMIA HYBRIDS 'TUSKEGEE'	HONEY LOCUST GOLDEN RAIN TREE GRAPE MYRTLE (DEEP PINK)	39
	ULMUS PARVIFOLIA 'TRUE GREEN'	EVERGREEN ELM	197
	OLEA EUROPEA 'SWAN HILL'	SWAN HILL OLIVE	183
	FRUIT TREE		32
	PHOENIX DACTYLIFERA WASHINGTONIA ROBUSTA HYBRIDA	DATE PALM HYBRID FAN PALM	43
	PYRUS CALLERYANA 'REDSPIRE'	'REDSPIRE' CALLERY PEAR	14
	PYRUS CALLERYANA 'ARISTOCRAT'	'ARISTOCRAT' CALLERY PEAR	36



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FAX (559) 244-3120

Ref. & Rev.	CITY OF FRESNO	Dr. By: BR	YH Job No. 14-89
	PROJECT TITLE THE ROW WILLOW AND SHEPHERD AVENUES	Ch. By: BB	Sheet No. 5
	SHEET DESCRIPTION LANDSCAPE PLAN	Date: 01/06/2016	Scale: As Noted of 5 Sheets