

Exhibit I



SUBJECT: Conditions of Approval for **P23-03676**

DATE: March 29, 2024

TO: Saul Perez, Planner II
Planning and Development Department

FROM: Leonel Arvizu, Engineer I
Public Works Department, Traffic Planning Section

ADDRESS: 1261 N Ninth St, Fresno, CA, 93703

APN: 453-282-24

ATTENTION:		
The items below require a separate process with additional fees and timelines, in addition to the development permit process. Submit the following items early to avoid delaying approval of building permits. Final approval of the site plan is contingent on receipt of all items checked below.		
Street Trees Requirements	Adrian Gonzalez	Public Works Department (559) 621-8693

ATTENTION:
Provide corrections as noted on Exhibit "A-1".
Prior to resubmitting the corrected exhibit, provide the following information and conditions of approval on the site plan:
A. GENERAL REQUIREMENTS
<ol style="list-style-type: none"> 1. Property Lines: Revise dimensions of existing property lines. 2. Legal description: Provide legal description. 3. Scope of work: Identify all items as existing, proposed, to remain, to be removed or future. 4. Legend: Revise line type and utility symbols. 5. Required Notes: Revise General Notes to include the required Public Works Department notes. <ol style="list-style-type: none"> a. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.

- b. Repair all damaged and/or off-grade concrete street improvements as determined by the Construction Management Engineer, prior to occupancy.
- c. Two working days before commencing excavation operations within the street right-of way and/or utility easements, all existing underground facilities shall have been located by UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
- d. The performance of any work within the public street right-of-way requires a street work permit prior to commencement of work. All required street improvements must be completed and accepted by the City prior to occupancy. <https://www.fresno.gov/publicworks/traffic-engineering/#tab-6>
- e. Construction on state highways must conform to both City of Fresno and State Division of Highways Specifications.
- f. Provide a 4' minimum path of travel along the public sidewalk directly in front of property, to meet current accessibility regulations. A pedestrian easement may be required if requirements are not met.
- g. Contact the Public Works Department, Traffic Engineering at 559-621-8800, 10 working days prior to any offsite concrete construction.
- h. All existing sidewalks in excess of 2% maximum cross slope must be brought into compliance prior to acceptance by Public Works.
- i. All development shall take place in accordance with all city laws and regulations.

B. OFFSITE INFORMATION:

- 1. **Center Lines:** Dimension Center Line to Property Line.
- 2. **Public Street Improvements:**
 - a. **Concrete curb, gutter, and sidewalk:**
 - b. **Sidewalk drains:**
 - c. **Drive approach:**
- 3. **Street furniture:** Identify utility poles.
- 4. **Accessibility:** Identify and dimension the required 4' minimum path of travel along the public sidewalk adjacent to the property. Provide pinch point dimensions. A pedestrian easement may be required if Title 24 requirements cannot be met.

C. ONSITE INFORMATION:

- 1. **Walls or Fencing:** Identify walls and fences complete with height and type of material.
- 2. **Lot drainage:** Identify lot drainage conveyance to the right-of-way.
- 3. **Parking lot:**
 - a. **Directional arrows:** Provide directional arrows to identify the flow of traffic.

- b. **Paving:** Identify limits
- c. **Visibility triangles:** Identify the required 12' visibility triangle at all approaches.

PUBLIC IMPROVEMENT REQUIREMENTS

The following requirements are based on city records and the accuracy of the existing and proposed on-site and off-site conditions depicted on the exhibits submitted. Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed. Construct additional offsite improvements, including but not limited to, concrete curb, gutter, sidewalk, approaches, ramps, pavement, utility relocations, etc. in accordance with *City of Fresno's Public Works Standards, Specifications*, and the approved street plans.

Repair all damaged and/or off grade off-site concrete street or paved public pedestrian walkway improvements as determined by the City of Fresno Public Works Department, Construction Management Division, (559) 621-5600. Pedestrian paths of travel must also meet current accessibility regulations.

All existing sidewalks and trails in excess of 2% maximum cross slope must be brought into compliance **prior** to acceptance by Public Works.

The construction of any private overhead, surface or sub-surface structures, and appurtenances in the public right of way is prohibited unless an **Encroachment Covenant** is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8693. **Encroachment Covenant** must be approved **prior** to issuance of building permits.

North Ninth Street: Local

(Provide the following as notes on the site plan.)

1. Construction Requirements:
 - a. If proposing to widen driveway approach, construct a driveway approach to *Public Works Standards P-2* and *P-6*, as approved on the site plan. Construct permanent paving as needed per *Public Works Standard P-48*. Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**.
 - b. Construct concrete curb, gutter, and sidewalk to *Public Works Standard P-5*. The curb shall be constructed to a **10'** residential pattern. Construct a **4'** residential sidewalk.
 - c. Planting and Irrigation of street trees shall conform to the minimum spacing, guidelines, and requirements as stated in the *Model Water Efficiency Landscape Ordinance, Public Works Standards and Specifications, Section 25 and 26*.
 - d. Provide a **12'** visibility triangle at all driveways, per Fresno Municipal Code (FMC) 15-2018B.

The performance of any work within the public right of way and/or easements (including street, bike, pedestrian, landscape, and utility easements) requires a **Street Work Permit prior** to commencement of work. Contact Public Works Department at (559) 621-8800, 10 working days prior to construction of any improvements in the public right-of-way and/or easements. All improvements shall be constructed in accordance with the City of Fresno, *Public Works Department Standard Drawings and Specifications*. Traffic Control Plans shall be required to ensure the sidewalk, or an approved accessible path remains open during construction. Contact Melessa Avakian at (559) 621-8812 or at Melessa.Avakian@fresno.gov and submit Traffic Control Plans to the Traffic Operations and Planning Division. All work shall be reviewed, approved, completed, and accepted **prior** to obtaining a certificate of occupancy.

Two working days before commencing excavation operations within the street right of way and/or utility easements, all existing underground facilities shall have been located by Underground Services Alert (USA) Call 811.

Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice Land Surveying in the State of California.

PRIVATE IMPROVEMENT REQUIREMENTS

Off-Street Parking Facilities and Geometrics:

Contact the Planning and Development Department for review and approval of onsite parking. The parking lot is required to meet the *City of Fresno's Parking Manual, Public Works Standards (P-21, P-22, and P-23) and Specifications*. Parking must also comply with the *California Building Code's* accessibility requirements and the Fire and Solid Waste Department's minimum turning templates.

Driveway:

1. Construct a concrete or asphalt driveway to *Public Works Standard P-21, P-22, and P-23* at minimum.
2. Driveway and drive approach shall be constructed to the same width per **Exhibit "A-1"**.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees **at the time of building permit**. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the Master fee schedule.

Fresno Major Street Impact (FMSI) Fees: This entitlement is in the **Infill Area**; therefore, pay all applicable City-wide regional street impact fees. Contact the Public Works Department, Frank Saburit at (559) 621-8797.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to issuance of certificate of occupancy.

In order to obtain street or building permit approval from the Public Works Department, an approval stamp with a signature from Traffic Planning is required on the site plan and inserted in the building sets.

Questions relative to these conditions may be directed to Leonel Arvizu (559) 621-8662 Leonel.Arvizu@fresno.gov in the Public Works Department, Traffic Planning Section.

PROVIDE THE FOLLOWING GENERAL NOTES:

1. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
2. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
3. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
4. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
6. CONSTRUCTION ON STATE HIGHWAYS MUST CONFORM TO BOTH CITY OF FRESNO AND STATE DIVISION OF HIGHWAYS SPECIFICATIONS.
7. PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
8. CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 559-621-8800, 10 WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
9. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
10. ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS.

PLANTING AND IRRIGATION OF STREET TREES SHALL CONFORM TO THE MINIMUM SPACING, GUIDELINES, AND REQUIREMENTS AS STATED IN THE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE, PUBLIC WORKS STANDARDS AND SPECIFICATIONS, SECTION 25 AND 26.

OUR RECORDS INDICATE 30' FROM CENTER LINE TO PROPERTY LINE.

IDENTIFY ITEM.

OUR RECORDS INDICATE (E) SIDEWALK IS ADJACENT TO (E) CURB.

CONSTRUCT 4' SIDEWALK PER PW STD P-5.

IF PROPOSING TO WIDEN DRIVE APPROACH, IDENTIFY & DIMENSION (E) WIDTH AND (P) WIDTH.

IF PROPOSING TO WIDEN DRIVEWAY APPROACH, CONSTRUCT DRIVEWAY APPROACH PER PW STDS P-2, P-6, & P-48.

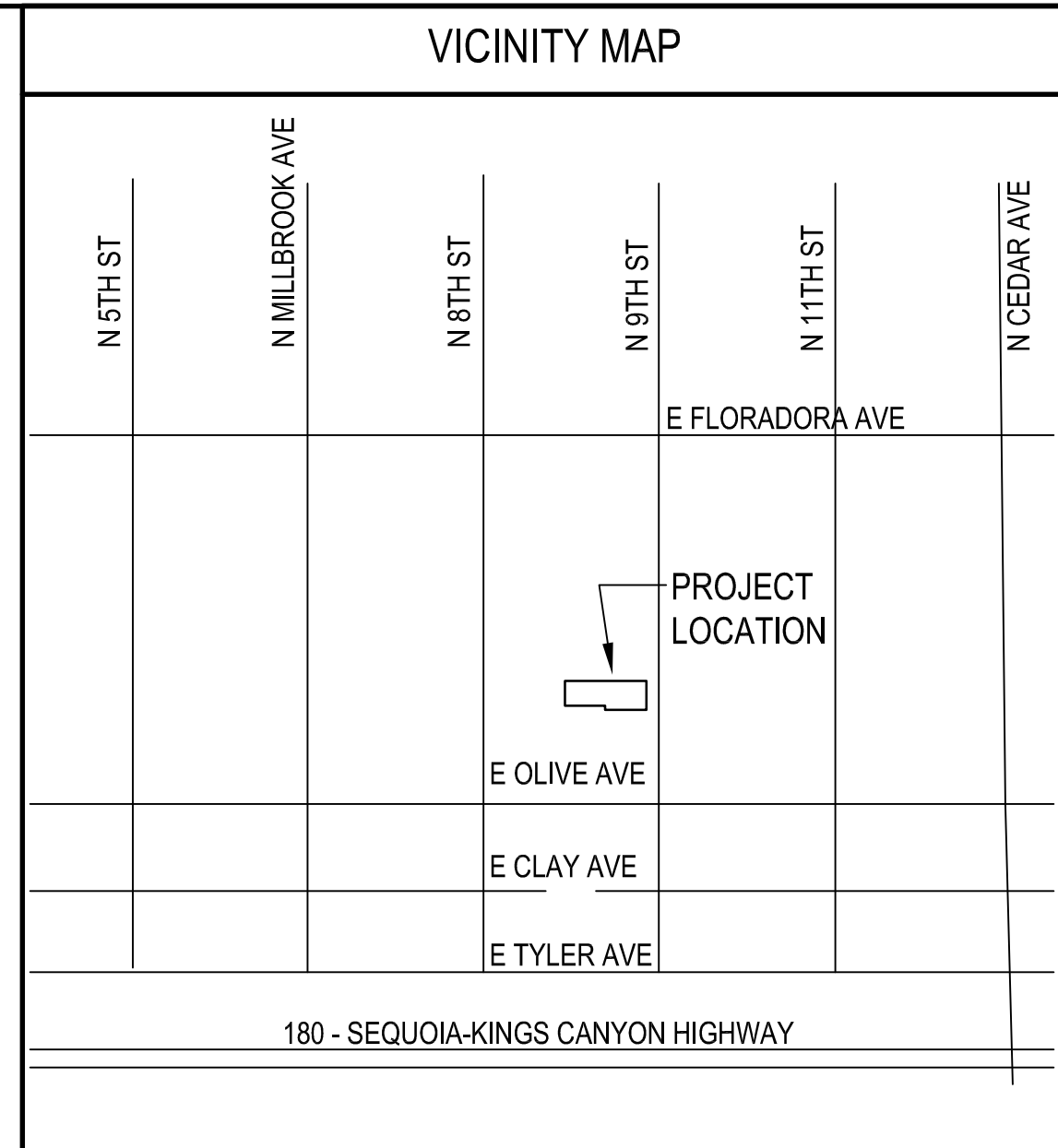
PROVIDE THE FOLLOWING:
 -REVISE PROPERTY LINES.
 -PROVIDE LEGAL DESCRIPTION.
 -IDENTIFY ALL ITEMS AS EXISTING, PROPOSED, TO REMAIN, TO BE REMOVED OR FUTURE.
 -IDENTIFY LOT DRAINAGE CONVEYANCE TO THE RIGHT-OF-WAY.
 -CONSTRUCT SIDEWALK DRAIN PER PW STD P-23.
 -IDENTIFY STREET FURNITURE.
 -IDENTIFY WALLS AND FENCES COMPLETE WITH HEIGHT AND TYPE OF MATERIAL.
 -IDENTIFY THE REQUIRED 12' VISIBILITY TRIANGLE AT ALL APPROACHES.
 -IDENTIFY (E) WALLS AND FENCES COMPLETE WITH HEIGHT & TYPE OF MATERIAL.

APPL. NO. P23-03676 EXHIBIT A-1 DATE 03/07/2024

LEONELA
 PW, LAND PLANNING SECTION
 REVISIONS REQUIRED
 Leonel.Arvizu@fresno.gov
 2024.03.29 15:56:42-07'00"

CITY OF FRESNO DARM DEPT

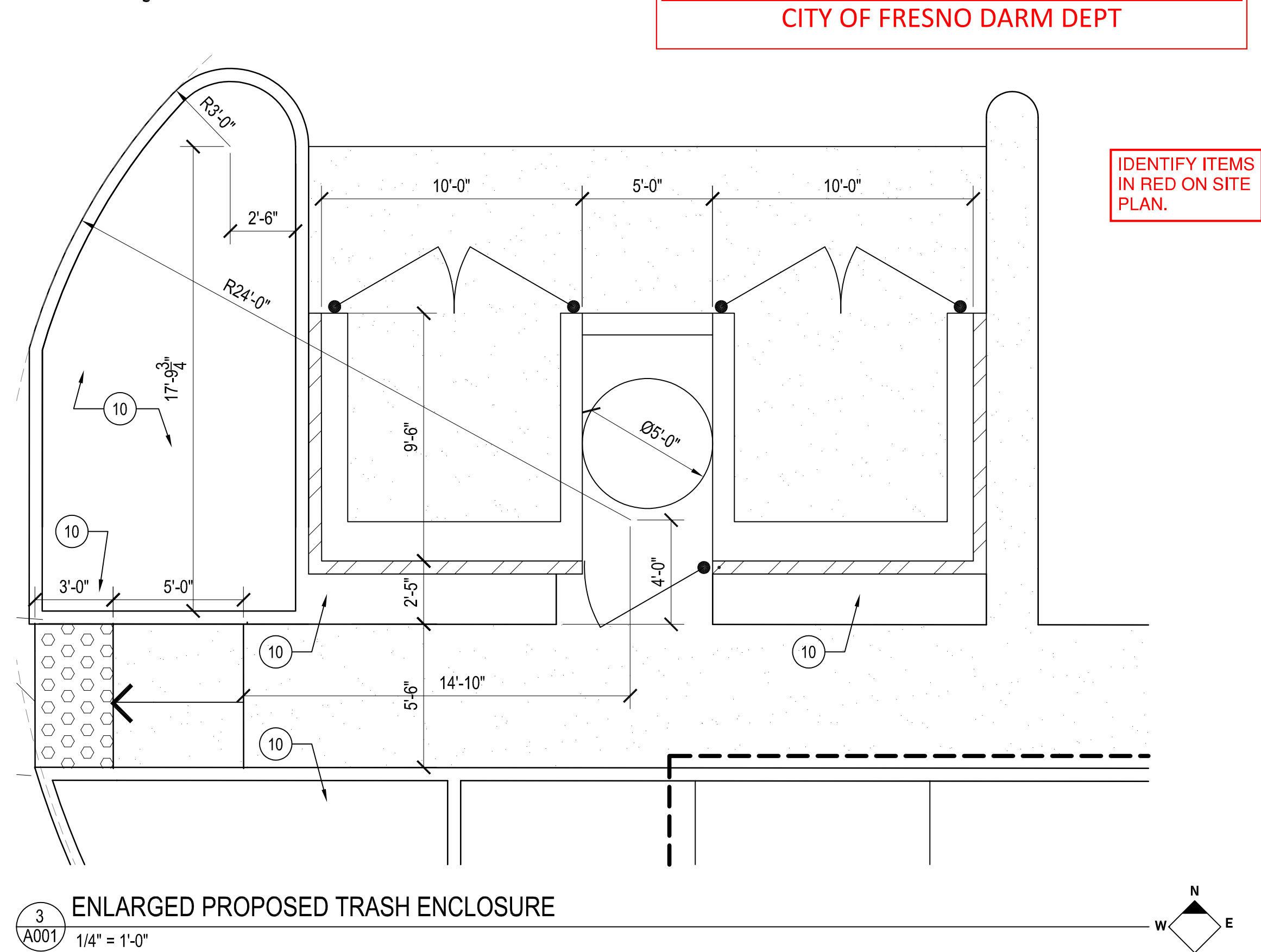
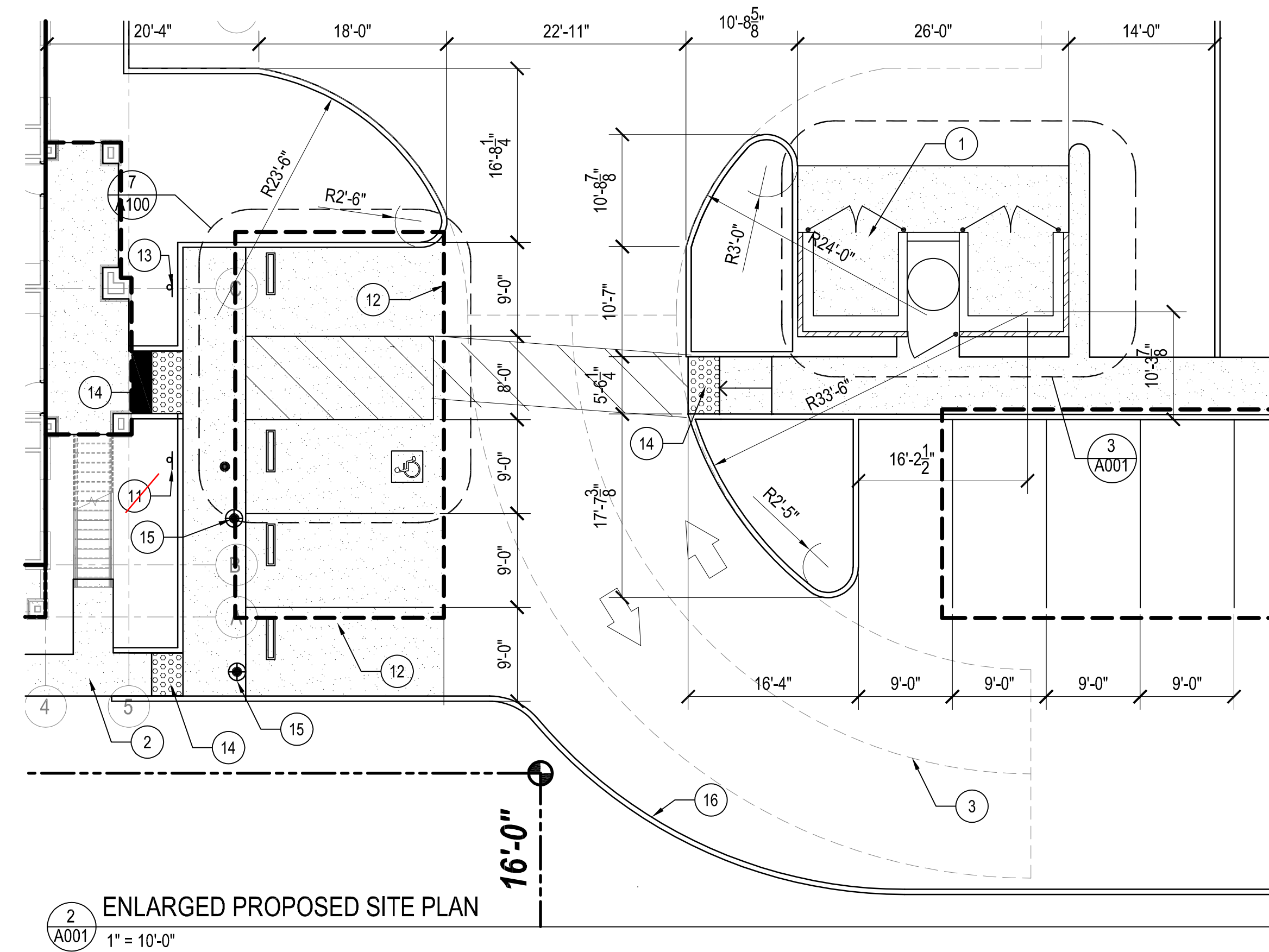
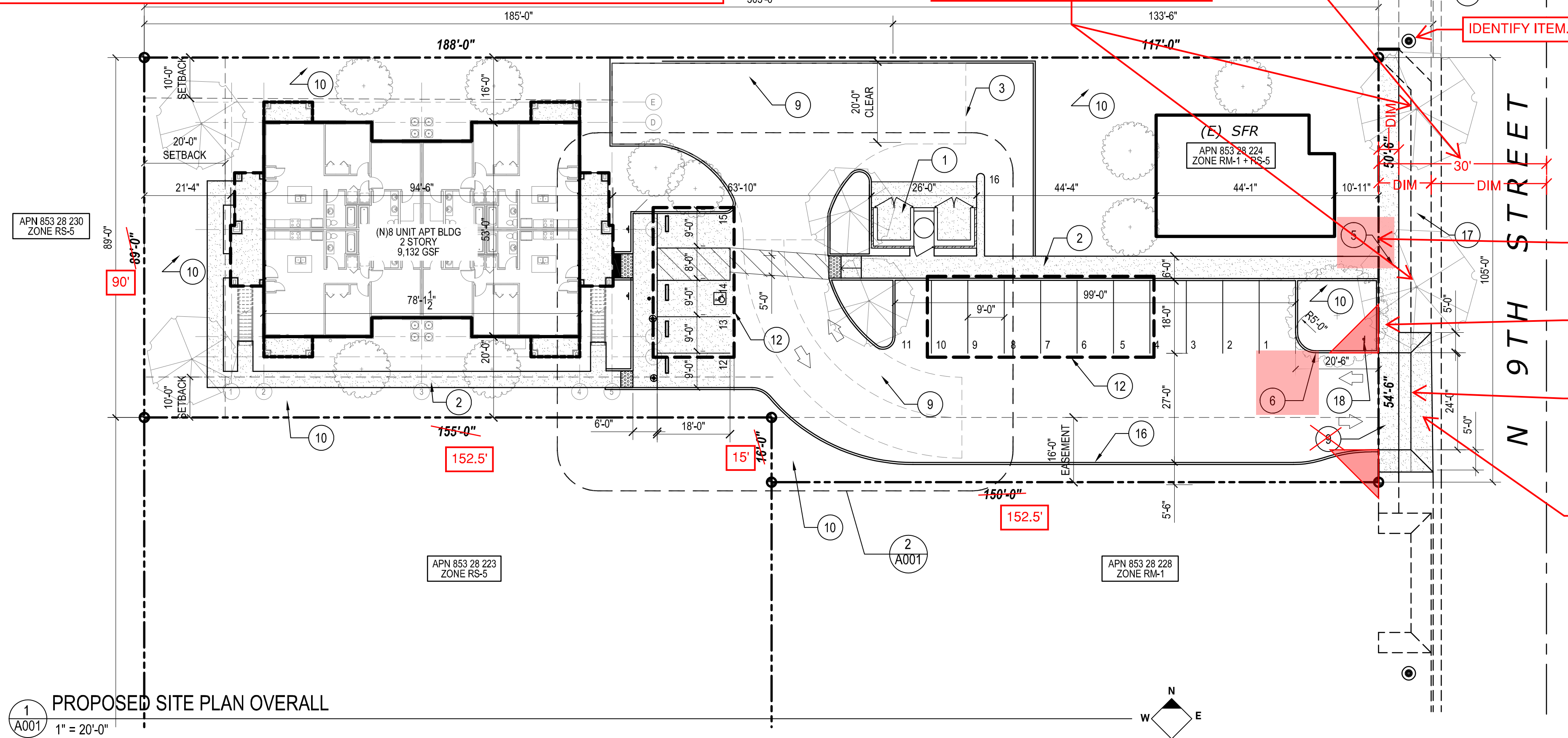
IDENTIFY ITEMS IN RED ON SITE PLAN.



KEYNOTES	
SYM	DESCRIPTION
1	(N) TRASH AND RECYCLING ENCLOSURE
2	(N) SIDEWALK
3	(N) FIRE TRUCK TURNING RADIUS
4	(N) CONCRETE SIDEWALK IDENTIFY KEYNOTES IN RED ON SITE PLAN.
5	(E) SIDEWALK TO REMAIN
6	(E) PLANTING STRIP VERIFY KEYNOTES.
7	(E) GUTTER CURB TO REMAIN
8	(N) PARKING STALL STRIPING
9	(N) A/C PAVEMENT. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
10	(N) LANDSCAPE PLANTER AREA. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
11	(N) VAN ACCESSIBLE PARKING STALL SIGN
12	(N) CARPORT
13	(N) ACCESSIBLE PARKING STALL SIGN
14	(N) ACCESSIBLE CURB RAMP. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
15	(N) EV READY CHARGING RECEPTACLE
16	(N) 6" CONCRETE CURB. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
17	DEMOLISH EXISTING CITY SIDEWALK AND REPLACE WITH NEW SIDEWALK AND PLANTING STRIP PER CITY STANDARDS.
18	(N) ACCESSIBLE PARKING TOW-AWAY SIGN

SITE LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CURB/GUTTER
---	STREET CENTERLINE
---	PROPERTY LINE
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED HARDSCAPE SURFACE
---	BUILDING FOOTPRINT
---	CMU WALL
---	SETBACK
---	CURB/GUTTER
---	PATH OF TRAVEL
---	MARKED FIRE LANE

PROJECT DATA	
PROJECT DESCRIPTION: NEW 8 UNIT APARTMENT BUILDING, PARKING, CARPORTS AND LANDSCAPING. EXISTING SINGLE UNIT HOUSE TO REMAIN.	
SITE ADDRESS:	1261 N NINTH STREET Fresno, CA 93703
APN:	453-282-24
CURRENT ZONING:	RM-1 + RS-5
PLANNED LAND USE:	MULTI
BUILDING DATA:	
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	VB
FIRE SPINKLERS:	YES
NUMBER OF STORIES:	2



Crawford Architecture & Planning

PROJECT
APARTMENT COMPLEX

1261 N 9TH ST.
 FRESNO, CA 93703

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LICENSED ARCHITECT
 NICHOLAS M. CRAWFORD
 C-38643
 05/31/2025 RENEWAL DATE
 STATE OF CALIFORNIA

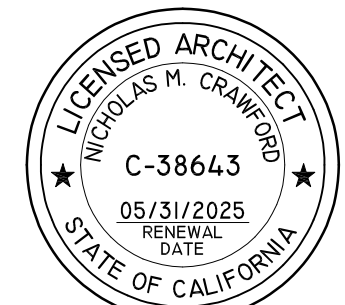
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

ISSUE DATE: 10/20/23
 PROJECT NO.: 23012
 REVISION: DATE

SITE PLAN

A001

CP1



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

Parking Lot Shade Calculations

COVERED PARKING PROVIDE 100% SHADING

35' DIA. TREES - (1) @ 962 sf = 962 sf
COVERED PARKING SHADING = 1,895 SF

TOTAL SHADE PROVIDED: 2,821 sf
TOTAL PARKING LOT AREA: 3,023 sf
PERCENT SHADE PROVIDED: 93%

Tree Legend

Symbol	Size	Botanical Name	Common Name
	15 GAL	Tilia Cordata	Pry
	15 GAL	Nyssa Sylvatica	Tupelo

Shrub Legend

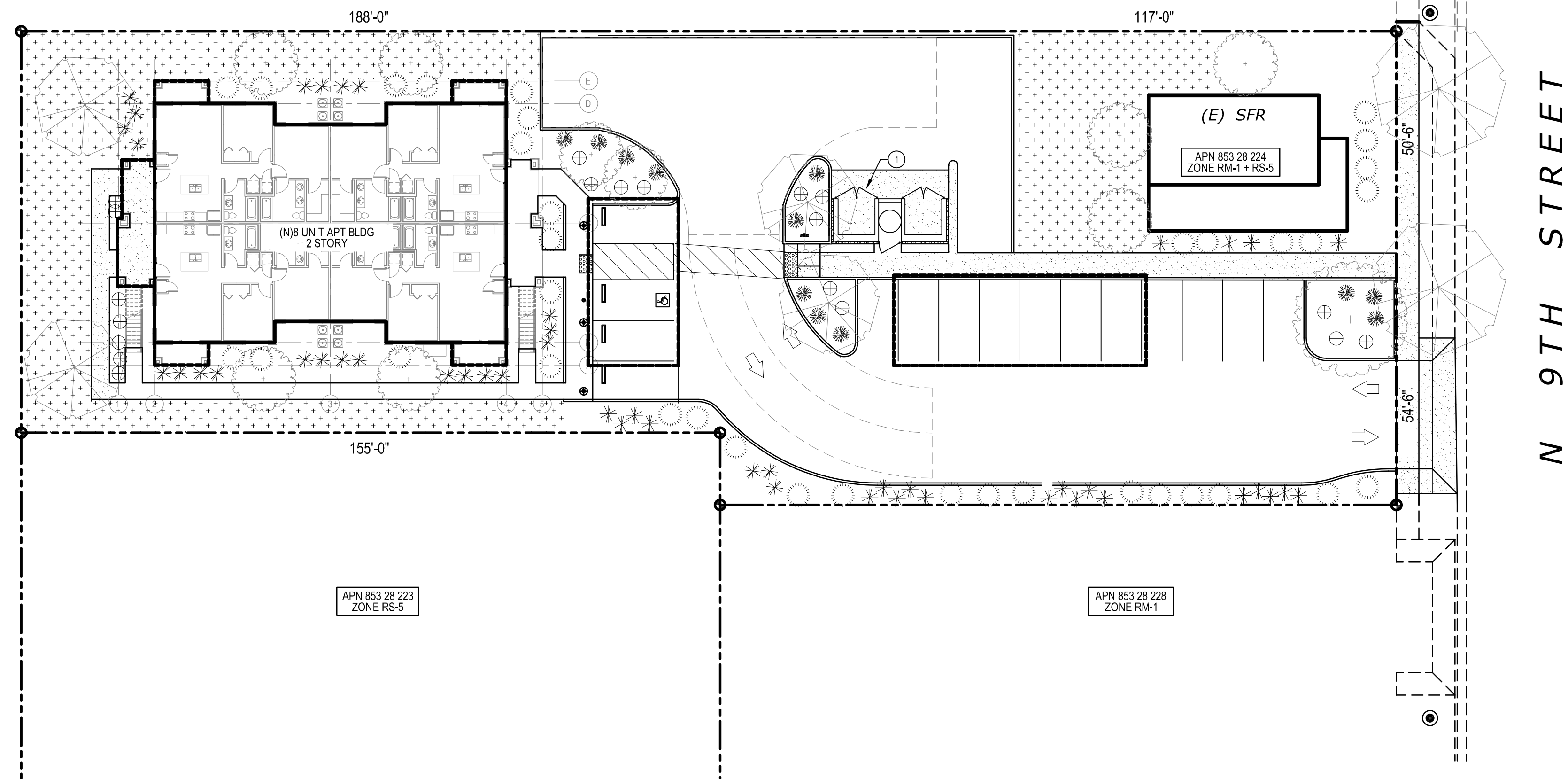
Symbol	Size	Botanical Name	Common Name
	1 GAL	Muhlenbergia 'Pink Muhly'	Pink Muhly Grass
	1 GAL	Olea 'Little Ollie'	Little Ollie Dwarf Olive
	1 GAL	Pennisetum secaceum	Fountain Grass
	5 GAL	Rosa 'Iceberg'	Iceberg Rose
	TURF	Festuca arundinacea	Tall Fescue

WELO Water Budget

Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (galyr)	MAWA = (ETo) * (0.62) * (ETAF * LA) + ((1-ETAF) * SLA)
	Residential	51.4	0.55	3,472	7,542	181,982	
Estimated Total Water Use (ETWU)		ETo	(SF * PF) / IE	SLA	ETWU (galyr)	ETWU = (ETo) * (0.62) * (PF * SF / IE) + SLA	
		51.4	795	3,472	135,994	Project meets water budget.	
Difference between MAWA and ETWU		45,988					

ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
Add Hydrozone	1	STREET	Drip	540	0.03	0.81	20
	2	FRONT	Drip	1,596	0.03	0.81	59
	3	TURF	Spray	0	0.80	0.75	0
	4	APT	Drip	1,934	0.30	0.81	716
Landscape area (not including SLA)				4,070			795

ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE
Special Landscape Areas (SLA)	Edible planting area	0	1.0	-
	Multi-use and sports field turf area	3,472	1.0	3,472
	Area irrigated with recycled water	0	1.0	-
	Pool	0	1.0	-
Total SLA		3,472		3,472
Total Landscape Area (including SLA) from ETWU Calculation		7,542		



PROPOSED LANDSCAPE PLAN

1" = 20'-0"

APPL. NO. P23-03676 EXHIBIT A-2 DATE 03/07/2024

LEONELA
PW, LAND PLANNING SECTION
REVISIONS REQUIRED
Leonel.Arvizu@fresno.gov
2024.03.29 15:57:12-07'00'

CITY OF FRESNO DARM DEPT

DEPARTMENT OF PUBLIC WORKS

TO: Saul Perez, Planner II
Planning & Development Department

FROM: Adrian Gonzalez, Supervising Engineering Technician
Public Works, Land Planning & Subdivision Inspection Section

DATE: March 29, 2024

SUBJECT: P23-03676; 1261 North Ninth Street (APN: 453-282-24) located on the west side of North Ninth Street between East Olive Avenue and East Floradora Avenue. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street rights-of-way, landscape easements, outlots and median islands:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with AB 1881.
2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Public Planting and Utility Easement.
 - a. Street trees inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
 - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
 - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.
 - d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city-controlled property is in conformance with the Specifications of the City of Fresno.
 - e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.
 - f. Choose appropriate trees from the list of Approved Street Trees.
<https://www.fresno.gov/publicworks/developer-doorway/#tab-5>

Submit all landscape and irrigation plans, to the scale of 1" = 20', to dpwplansubmittal@fresno.gov for plan review, prior to the installation of any landscaping within the right-of-way.

2600 Fresno Street, Room 3043
Fresno, California 93721-3604
(559) 621-8277
www.fresno.gov

Jennifer K. Clark, AICP, HDFP
Director

Date of Comments: 05/31/2024

SUBJECT: FIRE DEPARTMENT COMMENTS ON CONDITIONAL USE PERMIT APPLICATION NO. P23-03676 FOR PROPERTY LOCATED AT 1261 NORTH NINTH STREET (APN: 453-282-24)

FIRE DEPARTMENT COMMENTS

All back checks are performed electronically through the Accela Program (FAASTER portal). You must submit the following documentation to the Building Department: 1) Provide copy of the original submittals (drawings, calculations, and supporting documents) including mark-ups from the plan reviewers who worked on your documents. 2) Provide a complete set of revised drawings, calculations, and supporting documents addressing plan check comments (all changes shall be clouded). 3) Provide a detailed typed response to each item listed in the plan check correction comments document. If you have additional questions regarding back check submittals, please contact the Building Department.^^

All revisions to plans shall be called out with a cloud or delta.^^

If you have questions and would like more information regarding FFD Development Policies please see the following: <https://www.fresno.gov/fire-training/manuals-and-forms/>^^

Fire Department back check items require a sign-off from Fire Department staff. Back check items signed by any person other than sworn Fire Department staff are invalid.^^

This plan review is a review of the areas noted with a cloud or delta only. Any current or future approval for this plan will be for the clouded areas only and shall not constitute an approval for any areas or changes not shown on the plans with a cloud or delta. ^^

Original comments from initial review not addressed on resubmittal.^^

Note on Plan: Required fire apparatus access lanes shall be provided year round and maintained with an approved all-weather surface, capable of supporting 80,000-pound vehicles. The fire apparatus access lanes shall be a minimum of 4-inch base rock over compacted or undisturbed native soil or per approved engineering plans with a minimum of 24 feet of clear width or other approved method, which would prevent shoulder degradation. (FFD Development Policy 403.002)^^

Note on Plan: All private streets and driveways that are provided for common access and are required for Fire Department access shall be constructed to a minimum unobstructed width of 20 feet. For drives separated by a median, 15 foot minimum lanes are required.^^

Note on Plan: Regardless of parking configurations, a minimum clear drive width of 20 feet shall be required. The Fire Marshal (or designee) may require increases in these widths. (FFD Development Policy 403.002)^^^

Loading zone(s) shall not be located in required fire lanes.^^^

Note on Plan: Emergency vehicle access shall be designated by painting the curb red (top and side) and stenciling "FIRE LANE NO PARKING" in 3-inch white letters on the most vertical curb, at least every 50 feet. If no curb is present, a minimum 6-inch wide red stripe shall be painted along the edge of the roadway with "FIRE LANE" in 3-inch white letters at least every 50 feet. (FFD Development Policy 403.005)^^^

Provide note on site plan: Provide sign(s) (17"x22" minimum) at all public entrance drives to the property which state "Warning – Vehicles stopped, parked or left standing in fire lanes will be immediately removed at owner's expense – 22658(a) California Vehicle Code – Fresno Police Department 621-7000."^^^

Note on Plan: Signs may be used in conjunction with, or in lieu of, curb painting. (FFD Development Policy 403.005) The curbside signs shall be at a minimum:

- a) The sign shall be at a minimum 12 inch x 18 inch sign with a white reflective background.
- b) The sign shall read "FIRE LANE NO PARKING" in minimum 3-inch red letters.
- c) Signs shall be placed at the beginning and end of the designated fire lane and be at 50 foot intervals. Directional arrows shall be placed on the signs to indicate the extent and direction of the fire lanes.
- d) Signs shall be set at least 18 inches but not more than 24 inches from the curb and must have a finished height of 7 feet to the bottom of the sign when adjacent to sidewalks.
- e) Signs shall not be obstructed by landscaping or street fixtures and shall be readily visible from a vehicle.^^^

Note on Plan: All weather access roads shall be installed and maintained in a serviceable condition prior to and during construction. (FFD Development Policy 403.002)^^^

Note on plan: Turns in private drives for fire apparatus access shall have minimum 44 foot centerline turn radius.^^^

Note on Plan: All building openings shall be accessible within 200 feet of a public street, private driveway, or other approved access. (FFD Development Policy 403.002)^^^

Note on Plan: All types of vehicle access shall maintain a minimum of 13 feet, 6 inch vertical clearance over the entire width of the access. (FFD Development Policy 403.002)^^^

Note on Plan: All types of access shall not exceed a 10 percent grade or contain any irregularity creating an angle of approach or departure in excess of 10 percent, except as approved by the Fire Marshal (or designee). (FFD Development Policy 403.002)^^^

Show the location of the fire department connection. Fire department connections shall not be installed within five (5) feet of any building opening, excluding a fire department riser access door. (FFD Development Policy 405.025)^^^

Note on Plan: Fire department connections shall be located within forty (40) feet of a fire apparatus

access lane. (FFD Development Policy 405.025)^

Note on Plan: The minimum size of all fire department connections shall be based upon the system type. No connection shall be less than 2½ inch in size. (FFD Development Policy 405.025)^

Note on Plan: Fire department connections shall be located on the street side of buildings or facing approved fire apparatus access roads, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the fire chief. 2022 CFC, Section 912.2.1.^^

Note on Plan: Address Identification. For new and existing buildings, the fire code official is authorized to require approved address or building area identification signage as needed to readily determine the building or area of a building protected by fire department connections. 2022 FMC, Section 10-50912.4.4^^

Note on Plan: All turnarounds shall have a minimum 44-foot centerline turning radius with a minimum of 22 feet clear drive width. "T" turnarounds shall have a minimum clear drive width of 24 feet and shall be a minimum of 90 feet in length. All turnarounds must be kept clear of all obstructions (e.g., no parking, no garbage bins, etc., and marked if necessary). (FFD Development Policy 403.002)^

Note on Plan: Fire hose pull and equipment access is an unobstructed walkway which provides continuous access connecting vehicular access to all building openings and exterior storage areas. The walkway requires unobstructed 36 inch horizontal clearance around openings and continuous 7 foot vertical clearance. (FFD Development Policy 403.002)^

Note on Plan: Required walking access shall be designed to prevent sharp turns and obstacles which would hinder the carrying of hoses, ground ladders and other hand held equipment.^^

Note on Plan: All gates across fire hose and equipment access points shall be a minimum of 4 foot clear width.^^

Note on Plan: All required fire hose and equipment access gates shall remain unlocked or be provided with Police/Fire bypass locks. ("Best" padlock model 21B700 series). A Knox padlock may not be used. Police/Fire bypass locks can be purchased only through Sierra Lock & Glass, 1560 N. Palm Avenue, Fresno, CA 93728.^^

Note on plan: Fire hydrants and access roads shall be installed, tested and approved and shall be maintained serviceable prior to and during all phases of development. The 4½ inch outlet shall face the access lane.^^

This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.^^



DEPARTMENT OF PUBLIC UTILITIES

MEMORANDUM

DATE: March 22, 2024

TO: MARY CATERNOLO – Administrative Assistant II
Planning & Development Department – Current Planning

FROM: DEJAN PAVIC, PE, Projects Administrator
Department of Public Utilities – Utilities Planning & Engineering

**SUBJECT: DPU CONDITIONS OF APPROVAL FOR P23-03676 MULTI-FAMILY
RESIDENTIAL – APN 453-282-24**

General Requirements

1. Engineered improvement plans, prepared by a Registered Civil Engineer, if necessary, shall be submitted for Department of Public Utilities review and approval.
2. All Department of Public Utilities facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.
3. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
4. A street work permit is required for any work in the Right-of-Way.
5. All underground utilities shall be installed prior to permanent street paving.

Water Service Requirements

The nearest water main to serve the Project is an 8-inch water main located in North 9th Street. Water facilities are available to provide service to the Project subject to the following requirements:

1. On-site water facilities shall be private.
2. Installation of a new water service(s) and meter(s) shall be required, as the existing 1.0-inch water service and meter do not meet the Project's needs.
3. The applicant shall be financially responsible for the abandonment of any unused water services previously installed to the property.
4. Destroy any existing on-site well(s) in compliance with the State of California Well Standards, Bulletins 74-81 and 74-90, or current revisions, issued by California Department of Water Resources, Fresno County standards, and City of Fresno

standards. The applicant shall comply with Fresno Municipal Code (FMC) Section 6-518, as may be amended from time to time.

Water Supply Requirements

The existing property is currently served with 1 (one) 1.0-inch water service and meter.

1. Water Capacity Fee charges for the installation of new water services and meters to serve the property.
 - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
 - b. If the total domestic, commercial, industrial, and irrigation water demands for the Project can be accommodated with the existing water service and meter, the applicant shall not be required to pay Water Capacity Fee charges.
 - c. If the total domestic, commercial, industrial, and irrigation water demands for the Project cannot be accommodated with the existing water service and meter, and an additional water meter or a larger water meter is required, the applicant shall be required to pay Water Capacity Fee charges.
 - d. If a larger water meter or fire service is required to accommodate the new, larger water demands, then the Water Capacity Fee charge shall be calculated by subtracting the Water Capacity Fee charge associated with the existing water service and meter from the Water Capacity Fee charge associated with the larger water meter size required for the Project.
 - e. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule (MFS).
 - f. The City reserves the right to require the applicant to increase or decrease the size of a water meter for the Project to ensure that it is properly sized to accommodate fire protection requirements and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
 - g. The Water Capacity Fee charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
2. The applicant shall be required to pay all other water-related fees and charges in accordance with the City's MFS and the FMC.

Sewer Requirements

The nearest sanitary sewer main to serve the Project is an 8-inch sewer main located in North 9th Street. Sanitary sewer facilities are available to provide service to the Project subject to the following requirements:

1. Installation of a new sewer service branch(es) shall be required if the existing sewer branch (sewer lateral) is not adequate and/or operational.
2. On-site sanitary sewer facilities shall be private.
3. All existing on-site private septic systems (including septic tanks) shall be destroyed and abandoned in compliance with the State of California standards, Fresno County standards, and City of Fresno standards, as may be amended from time to time. All sewer connections and sewer main extensions shall comply with FMC Section 6-303(a), as may be amended from time to time.
4. The applicant shall be financially responsible for abandonment of any unused sewer services previously installed to the property.

Sanitary Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project (if not previously paid with the existing sewer service at the property):

1. Lateral Sewer Charge.
2. Oversize Sewer Charge.
3. Wastewater Facility Sewer Charge (Multi-family Residential).
4. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility Charges per FMC Sections 6-304 and 6-305. Sewer Facility Charges consist of two components: a Wastewater Facilities Charge and Trunk Sewer Charge, where applicable.
5. Sewer Facility Charges are collected after occupancy on a monthly basis, based on metered usage (water or sewer effluent). The applicant may contact the Department of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the Project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect at that time, per City of Fresno MFS. The applicant shall provide data regarding estimated sewer discharge rates (flow) and loading (BOD/TSS levels) required for calculating the estimated charges.

Solid Waste Requirements

For the purpose of establishing City solid waste service policies, multi-family complexes are defined as complexes composed of three (3) dwelling units or more per parcel. These service requirements apply to all multi-family complexes within the City of Fresno.

1. This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Mid Valley Disposal at (559) 237-9425.
2. All trash bins provided to multi-family complexes must be serviced with a frequency of at least twice per week. This standard does not apply to frequency of service for recycling bins.
3. All multi-family complexes are required to subscribe for recycling services, per FMC 9-405.1. Recycling services may be provided by the City of Fresno or any private recycling service provider. Recycling services must include, at the minimum, cardboard, newspaper, paper, glass, plastics, beverage containers, and metal recycling.
4. All trash and recyclable material must be placed in approved containers, per FMC 9-404. At no time may trash and recyclable material be placed on the ground or pavement.
5. Bin enclosures, if provided on site, must be used exclusively for the storage of trash and recycling bins, per The Public Works Standard Specifications P-33 and P-34.
6. All Solid Waste and Recycling services collectively must equal or exceed the ratio provided in FMC 15-2016.
7. Service Route Permits and Location Permits are required for all private trash company services within the City of Fresno per FMC 9-408. All private company trash service arrangements must be pre-approved through Solid Waste Management Division.

Note: a part of these Solid Waste Requirements may need to be modified in the future to comply with SB1383, as mandated by the State of California.

8. Dimension offset of proposed trash enclosure from property line. The safe back up limit per a solid waste vehicle shall not exceed 45-feet.
9. Americans with Disability Act (ADA) requirement for multi-family residential developments:
10. The applicant shall install (construct) a trash enclosure(s) for the Project that complies with the City's ADA requirements as defined in the City's Standard Drawings, Details and Specifications. The certificate of occupancy for the Project shall be withheld until the applicant installs (constructs) the trash enclosure(s) in accordance with the City's ADA requirements.

2600 Fresno Street, Room 3043
Fresno, California 93721-3604
(559) 621-8277
www.fresno.gov

Jennifer K. Clark, AICP, HDFP
Director

Date of Comments: 03/13/2024

SUBJECT: POLICE DEPARTMENT COMMENTS ON CONDITIONAL USE PERMIT APPLICATION NO. P23-03676 FOR PROPERTY LOCATED AT 1261 NORTH NINTH STREET (APN: 453-282-24)

POLICE DEPARTMENT COMMENTS

Please consider combating crimes through the implementations of Crime Prevention through Environmental Design (CPTED) concept. Examples: Sufficient lightings helps deter crime and allows officers to properly evaluate the area of any potential criminal activities. Surveillance cameras should be installed at all entry/exit points, points of sales locations, locations where groups of people would congregate and parking lots. Surveillance systems should be digital HD format; hold a minimum of fourteen days (14) of recordings has the ability to play back and is downloadable.

2600 Fresno Street, Room 3043
Fresno, California 93721-3604
(559) 621-8277
www.fresno.gov

Jennifer K. Clark, AICP, HDFP
Director

Date of Comments: 03/26/2024

**SUBJECT: FRESNO COUNTY DEPARTMENT OF PUBLIC HEALTH COMMENTS ON
CONDITIONAL USE PERMIT APPLICATION NO. P23-03676 FOR PROPERTY
LOCATED AT 1261 NORTH NINTH STREET (APN: 453-282-24)**

FRESNO COUNTY DEPARTMENT OF PUBLIC HEALTH DEPARTMENT COMMENTS

Recommended Conditions of Approval:

- Construction permits for the proposed development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the proposed development should be subject to assurance that the City of Fresno community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- The proposed project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.
- Facilities that use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Your proposed business will handle hazardous materials and/or hazardous waste and will be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95 (<http://cers.calepa.ca.gov/>). Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.
- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

2600 Fresno Street, Room 3043
Fresno, California 93721-3604
(559) 621-8277
www.fresno.gov

Jennifer K. Clark, AICP, HDFP
Director

Date of Comments: 03/28/2024

SUBJECT: BUILDING AND SAFETY SERVICES COMMENTS ON CONDITIONAL USE PERMIT APPLICATION NO. P23-03676 FOR PROPERTY LOCATED AT 1261 NORTH NINTH STREET (APN: 453-282-24)

BUILDING AND SAFETY SERVICES COMMENTS

The items below require a separate process with additional fees and timelines, in addition to the Conditional Permit Application process. Be advised the following are preliminary comments based on the drawings submitted to the Planning and Development Division.

- 1) Building, Grading and Utility plans are required to be submitted to the Building and Safety Services Division for approval permits for the proposed project.
 - a) All construction documents shall be designed, stamped and signed by a licensed architect/engineer.
 - b) Provide a clear statement of funding for the proposed project on the cover sheet of the construction documents.
 - i) Publicly funded projects shall comply with CBC chapter 11B.
 - ii) Privately funded projects shall comply with CBC chapter 11A.
 - c) Provide Electric Vehicle parking per California Green Building Standards Code section 4.106.4.2.1.



BOARD OF EDUCATION

Susan Wittrup, President
Valerie F. Davis, Clerk
Claudia Cazares
Genoveva Islas
Elizabeth Jonasson Rosas
Andy Levine
Keshia Thomas

SUPERINTENDENT

Robert G. Nelson, Ed.D.

March 7, 2024

Saul Perez
Development and Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721-3604

**SUBJECT: PLANNING APPLICATION P23-03676
8-UNIT MULTI-FAMILY COMPLEX
1261 N. NINTH ST.**

Dear Mr. Perez,

Fresno Unified School District submits the following response to your request for review and comment on the above referenced Planning Application. The applicant proposes the construction of a 9,132 square-foot, multi-family development with 8 dwelling units to be located at 1261 North Ninth Street.

Any urban residential development occurring as a result of project approval will have an impact on the District's student housing capacity. The District, through local funding, is in a position to partially mitigate its shortage of classrooms to accommodate planned population growth for the foreseeable future. However, the District recognizes that the legislature, as a matter of law, has deemed, under Government Code Section 65996, that all school facilities impacts are mitigated as a consequence of SB 50's Level 1, 2 and 3 developer fee legislative provisions.

New development on the above referenced property is subject to development fee rates in effect at the time of payment, and the current residential rate is \$4.79 per square foot. Fees will be calculated pursuant to rates effective at the time of payment and new development on the property will be subject to the development fee prior to issuance of a building permit.

The project is presently within the attendance areas of the schools identified below:

Elementary School: Mayfair
Middle School: Yosemite
High School: McLane

If the assigned neighborhood schools cannot accommodate the potential increase of students, current school assignments may be evaluated for potential adjustments.

The district appreciates the opportunity to comment on the proposed project. Please contact our office at 457-3066 if you have any questions or require additional information regarding our comments.

Sincerely,

Alex Belanger, Chief Executive
Operational Services

AB:sdr

DWC



2907 S. Maple Avenue
Fresno, California 93725-2208
Telephone: (559) 233-7161
Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

March 29, 2024

Saul Perez
Development and Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Conditional Use Permit Application No. P23-03676
N/W Olive and Cedar avenues

Dear Mr. Perez:

The Fresno Irrigation District (FID) has reviewed the Conditional Use Permit Application No. P23-03676 for which the applicant proposes a new 8-plex apartment building, APN: 453-282-24. FID has the following comments:

1. FID does not own, operate, or maintain any facilities located on the subject property, as show on the attached FID exhibit map.
2. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area was historically native or rural residential with minimal to no water use. Under current circumstances, the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a significant increase in dependence on groundwater, this deficit will increase. FID recommends the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.
3. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Fresno are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Fresno should consider the impacts of the development on the City's ability to comply with the requirements of SGMA.

Saul Perez
RE: P23-03676
March 29, 2024
Page 2 of 2

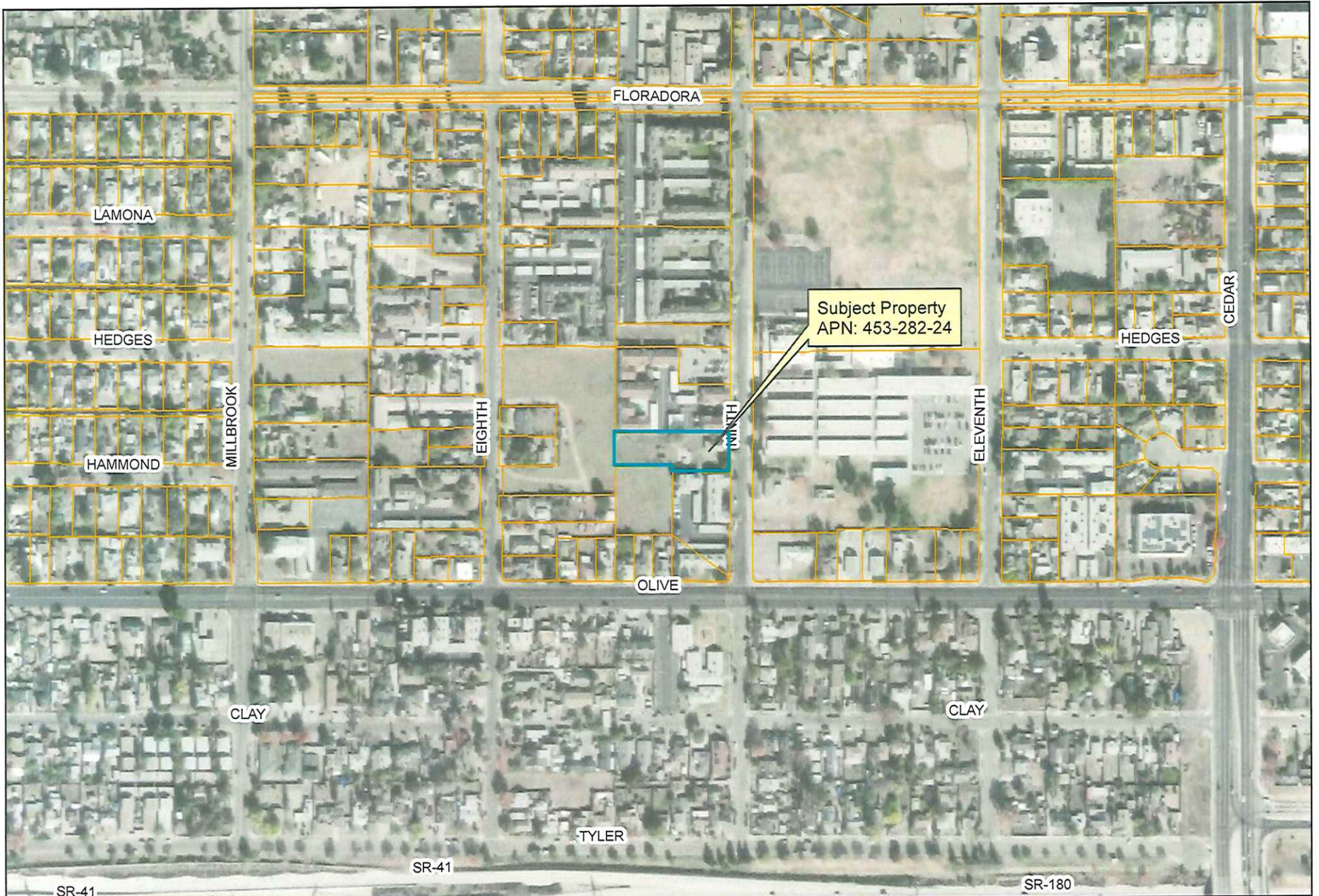
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or jlandrith@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



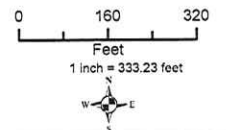
FRESNO IRRIGATION DISTRICT

Legend

- | | | | | |
|-----------------|--------------------|-------------------|----------------|-----------------------|
| FID Canal | FID Pipeline | Stream Group | FID Boundary | Parcel |
| Private Canal | Private Pipeline | Other-Creek/River | Railroad | FMFCD Acquired Basins |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline | Streets & Hwys | FMFCD Proposed Basins |

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

Path: G:\Fidgis\20240220 FID Master.mxd
 Spatial Reference
 Name: NAD 1983 StatePlane California IV FIPS 0404



CITY OF FRESNO

DEVELOPMENT AND IMPACT FEE ESTIMATE

The following estimates are based on preliminary conceptual information. The exact fee obligation will be computed at the time of development by Public Works Department, Land Division & Engineering. The fee rates in effect at the time of building permit issuance, as determined by the Master Fee Schedule, shall apply.

Proposed Development: Ninth Street Apartments - 1261 N. Ninth Street

A.P.N. 453-282-24

Planned Land Use: Multi-Family Residential

Current Zoning: RM-1

Site Area: +/- 0.68 acres

Living Units / LUE: 8 Living Units

Entitlement: P23-03676

Estimate Date: March 14, 2024

WATER CONNECTION CHARGES						
	Service Area	Quantity	Units	Fee Rate	Amount Due	Notes
Water Service & Meter Charge	2"	1	EA.	\$2,671.00	\$2,671.00	[1] [6]
Irrigation Service & Meter Charge	1.5"	1	EA.	\$2,508.00	\$2,508.00	[1] [6]
Time & Materials Charge	4" fire	1	EA.	\$14,700.00	\$14,700.00	[1] [6]
Frontage Charge		105	L.F.	\$6.50	<i>previously satisfied</i>	
Water Capacity Fee	1.5"	0.50	EA.	\$7,233.91	\$3,616.96	[1] [6]
Water Capacity Fee	2"	0.50	EA.	\$14,461.71	\$7,230.86	[1] [6]

Total Water Connection Charges	\$30,726.81	[1]
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SEWER CONNECTION CHARGES						
	Service Area	Quantity	Units	Fee Rate	Amount Due	Notes
House Branch Sewer Charge		[2]	EA	\$0.00	[2]	[2]
Lateral Sewer Charge		10,500	Sq.Ft.	\$0.10	<i>previously satisfied</i>	
Oversized Sewer Charge		10,500	Sq.Ft.	\$0.05	<i>previously satisfied</i>	
Wastewater Facilities Charge		STEP		[3]	[3]	[4] [7]

Total Sewer Connection Charges	\$0.00	[3]
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CITYWIDE/REGIONAL IMPACT FEES						
	Service Area	Quantity	Units	Fee Rate	Amount Due	Notes
Citywide Fire Facilities Impact Fee	Multi-Family	8	Units	\$1,774.37	\$14,194.96	[7]
Citywide Park Facility Impact Fee	Multi-Family	8	Units	\$3,921.33	\$31,370.64	[7] [9]
Citywide Police Facilities Impact Fee	Multi-Family	8	Units	\$736.01	\$5,888.08	[7]
Citywide Regional Street Charge	Multi-Family	0.57	AC	\$17,360.97	\$9,895.75	[6]
New Growth Area Major Street Charge	Multi-Family	0.57	AC	\$54,385.63	<i>n/a</i>	
Traffic Signal Mitigation Impact Fee	Multi-Family	8	Units	\$601.64	\$4,813.12	[6]

Total Citywide/Regional Impact Fees	\$66,162.55
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Total Fees and Charges	\$96,889.36
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CITY OF FRESNO

DEVELOPMENT AND IMPACT FEE ESTIMATE

NOTES:

Within the City of Fresno's sphere of influence there are other sewer and water utility providers. If the project is within one of those districts, the developer must provide confirmation from the representative Districts that all conditions for sewer and/or water connections and services have been satisfied, prior to issuance of a Building Permit.

Outside agencies developer impact fees: It is the developer's responsibility to contact those agencies for their fee estimates. These agencies include but are not limited to; Fresno County, Council of Fresno County Governments (FCOG), Fresno Metropolitan Flood Control District (FMFCD), various School Districts that serve the City of Fresno, etc.

NOTICE OF 90-DAY PROTEST PERIOD (GOVERNMENT CODE §66020(d)(1))

A protest filed pursuant to subdivision and/or development (a) shall be filed at the time of approval or conditional approval of the development or within 90 days after the date of the imposition of the fees, dedications, reservations, or other exactions to be imposed on a development project. Each local agency shall provide to the project applicant a notice in writing at the time of the approval of the project or at the time of the imposition of the fees, dedications, reservations, or other exactions, a statement of the amount of the fees or a description of the dedications, reservations, or other exactions, and notification that the 90-day approval period in which the applicant may protest has begun.

- The Board of Directors of the Fresno County Regional Transportation Mitigation Fee Agency approved Resolution No. 2009-01 requiring the payment of Regional Transportation Mitigation Fee. The effective date of this resolution is January 1, 2010. Please contact the Council of Fresno County Governments (FCOG) at (559) 233-4148 to determine this fee obligation. Confirmation by the FCOG is required before the City of Fresno can issue the Certificate of Occupancy.
- On December 8, 2016, Fresno City Council adopted Resolution No. 2016-258, effective July 1, 2018, administratively updating the impact fees adjusted by this resolution annually to the percentage change in the 20-City Construction Cost Index as reported in the Engineering News Record (ENR) for the 12-month period ending of May of the year of adjustment.
- Payment of Fresno Metropolitan Flood Control District (FMFCD) impact fees may be required. Please contact FMFCD at (559) 456-3292 to determine fee obligation.
- Payment of applicable school district fees is required prior to issuance of Building Permit. Please contact the respective school district to satisfy your fee obligation. Confirmation by the respective school district is required before the City of Fresno can issue building permits

[1] Fees for Water Service Connections and/or Meters, and Water Capacity due at time of development. Charges based on service and/or meter sizes, (Rates as established by the Master Fee Schedule), determined by the Developer.

[2] Sewer House branches to be installed by Developer at the Developer's cost.

[3] Upon occupancy of the project, the subdivider shall pay the appropriate sewer facility charge pursuant to the Simple Tiered Equity Program (STEP) as determined by the City of Fresno Department of Finance, Utilities Billing & Collection Division (559-621-6765).

[4] The Wastewater Facilities Charge (WWFC) is applicable to single family, duplex, and triplex developments. (FMC 6-302(i)); For Condominium conversions, WWFC may stay in the S.T.E.P. if the project continues to be master metered for water. If the condominiums are individually metered, the developer will pay the pro-rated portion of these fees.

[5] The Trunk Sewer Charge is applicable to single family, duplex, and triplex developments. (FMC 6-302(i)); For Condominium conversions, Trunk Sewer Charges may stay in the S.T.E.P. if the project continues to be master metered for water. If the condominiums are individually metered, the developer will pay the pro-rated portion of these fees.

[6] Due at Building Permit

[7] Due with Certificate of Occupancy

[8] Construction Fee Credits may be applicable. Contact the Public Works Engineering Services Division at (559) 621-8685 for more information.

[9] Parks fee applicable only to residential developments

[10] Fee not applicable on replacement or reconstruction of an existing structure that has been destroyed or demolished provided that the Building Permit for new construction is obtained within one year after the building is destroyed or demolished, and there is no change in the land use designation. (Res. Nos. 2005-428, 429)

[11] Subject to the acceptance date of the vesting tentative map, fee may not be applicable until 2-years after the date of Final Map recordation; when applicable, fee is due at Building Permit for all un-developed lots at the fee rate then in effect.

Prepared and Reviewed By: Frank Saburit

Date: March 14, 2024

(559) 621-8797

**City of Fresno Public Works Department
Land Division & Engineering**

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

PUBLIC AGENCY

SAUL PEREZ
PLANNING & DEVELOPMENT DEPARTMENT
CITY OF FRESNO
2600 FRESNO STREET, THIRD FLOOR
FRESNO, CA 93721-3604

DEVELOPER

NICKOLAS CRAWFORD, CRAWFORD
ARCHITECTURE & PLANNING
811 BARSTOW AVE.
CLOVIS, CA 93612

PROJECT NO: **2023-03676**

ADDRESS: **1261 N. NINTH ST.**

APN: **453-282-24**

SENT: **May 08, 2024**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
II4	\$3,472.00	NOR Review	\$50.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$116.00	Amount to be submitted with first grading plan submittal.
Total Drainage Fee: \$3,472.00		Total Service Charge: \$166.00		

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District’s Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District’s reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/25 based on the site plan submitted to the District on 3/07/24 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Creditable storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Creditable drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Creditable facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR
CUP
No.
2023-03676**

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Page 2 of 3

FR
CUP No. 2023-03676

Approval of this development shall be conditioned upon compliance with these District Requirements.

1. a. Drainage from the site shall BE DIRECTED TO NINTH STREET.
 b. Grading and drainage patterns shall be as identified on Exhibit No.
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
 Developer shall construct facilities as shown on Exhibit No. 1 as
 None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
 Grading Plan
 Street Plan
 Storm Drain Plan
 Water & Sewer Plan
 Final Map
 Drainage Report (to be submitted with tentative map)
 Other
 None Required

4. Availability of drainage facilities:
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
 d. See Exhibit No. 2.

5. The proposed development:
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
 Does not appear to be located within a flood prone area.

6. The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

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7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Debbie Campbell
Design Engineer, RCE

Digitally signed by Debbie Campbell Date: 5/8/2024 9:52:58 AM



David L. Everitt
Engineering Technician I

Digitally signed by David L. Everitt Date: 5/1/2024 1:39:01 PM

CC:

AMR ALI, PURE DIAMOND LLC

6474 NORTH STATE STREET

FRESNO, CA 93722

OTHER REQUIREMENTS

EXHIBIT NO. 2

In an effort to improve storm runoff quality, outdoor storage areas shall be constructed and maintained such that material that may generate contaminants will be prevented from contact with rainfall and runoff and thereby prevent the conveyance of contaminants in runoff into the storm drain system.

The District encourages, but does not require that roof drains from non-residential development be constructed such that they are directed onto and through a landscaped grassy swale area to filter out pollutants from roof runoff.



March 28, 2024

Re: P23-03676
1261 N Ninth Street

Dear City of Fresno,

Thank you for providing PG&E the opportunity to review the proposed plans for P23-03676 1261 N Ninth Street dated 3/7/2024. Our review indicates the proposed improvements do not appear to directly interfere with existing PG&E facilities or impact our easement rights.

Please note this is our preliminary review and PG&E reserves the right for additional future review as needed. This letter shall not in any way alter, modify, or terminate any provision of any existing easement rights. If there are subsequent modifications made to the design, we ask that you resubmit the plans to the email address listed below.

If the project requires PG&E gas or electrical service in the future, please continue to work with PG&E's Service Planning department: <https://www.pge.com/cco/>.

As a reminder, before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work. This free and independent service will ensure that all existing underground utilities are identified and marked on-site.

If you have any questions regarding our response, please contact the PG&E Plan Review Team at pgeplanreview@pge.com.

Sincerely,

PG&E Plan Review Team
Land Management