

Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following

subsequent amendments or revisions

a. All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property. b. All public and private easements, rights-of-way and any actual or potential prescriptive

easements or uses of the subject property; and, c. Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.

No land shall be used, and no structure shall be constructed, occupied, enlarged, altered, demolished, or moved in any zoning district, except in accordance with the provisions of this Code. Specific uses of land, buildings, and structures listed as prohibited in any zoning district are hereby declared to be detrimental to the public health, safety, and welfare.

Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department; HYPERLINK "https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/ CityofFresnoStandardSpecifications2016January.pdf"https://www.fresno.gov/publicworks/wp-HYPERLINK "https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/ CityofFresnoStandardSpecifications2016January.pdf"content/uploads/sites/17/2016/09/ CityofFresnoStandardSpecifications2016January.pdf

Development shall take place in accordance with all city, county, state and federal laws and

Owners and persons having ownership interest in businesses operating in the City of Fresno are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form are available at the following website: HYPERLINK "http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/ businesstaxapplicaiton.htm http://www.fresno.gov/Government/DepartmentDirectory/Finance/ BusinessLicenseand HYPERLINK

"http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/ businesstaxapplicaiton.htm Tax/businesstaxapplicaiton.htm 7. All proposed building(s) or structure(s) constructed on the property must comply with the

prevailing California Building Code Standards. . Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.

A permit granted under the Fresno Municipal Code shall automatically expire if it is not

exercised or extended within three years of its issuance. Refer to Section 15-5013, Expiration of Planning Entitlements, for more information about the exercise of rights. FENCES/WALLS, LANDSCAPING, PARKING 10. Nothing in this Development Code shall be deemed to prohibit the erection of temporary fencing around construction sites in compliance with the Building Code and other applicable provisions

of the Fresno Municipal Code. Future fences shall be reviewed and approved by the Planning and Development Department prior to installation. Fences, hedges, and walls shall be maintained in good repair, including painting, if required, and

shall be kept free of litter or advertising. Where hedges are used as screening, trimming or pruning shall be employed as necessary to maintain the maximum allowed height. Fences shall be maintained and shall stand upright and shall not lean. All planting and other landscape elements shall be permanently maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding,

cleaning, fertilizing, and regular watering. Wherever necessary, plantings shall be replaced with other plant materials to insure continued compliance with applicable landscaping requirements. Yards shall be maintained free of refuse, debris, rubbish, or other accumulated matter and/or materials, and shall be maintained clean. Grass shall not exceed six inches in height. 14. New landscaping shall have an automatic irrigation system designed to provide adequate and

efficient coverage of all plant material. Irrigation systems shall comply with the requirements of the California Green Building Standards Code and/or the California Model Water Efficient Landscape Ordinance and/or the California Plumbing Code as may be amended. Trees shall be maintained by property owners to be free from physical damage or injuring

arising from lack of water, chemical damage, accidents, vandalism, insects, and disease. Any tree showing such damage shall be replaced with another tree. . No tree for which a Tree Removal Permit is required shall be removed until all conditions of the permit have been satisfied and the decision has become final. In addition, tree(s) approved for removal in conjunction with a development application shall not be removed before the issuance

of a Building Permit or unless all of the conditions of approval of the development applications are satisfied. The review authority shall issue a Tree Removal Permit if any of the following general criteria is met: a) The tree(s) is irreparably diseased or presents a danger of falling that cannot be controlled or remedied through reasonable preservation and/or preventative procedures and practices so that the public health or safety requires its removal. b) The tree(s) can potentially cause substantial damage to existing or proposed main structure(s) (e.g. dwellings, other main structures, or public infrastructure) or interfere with utility services and cannot be controlled or remedied through reasonable relocation or modification of the structure or utility services. c) The retention of the tree(s) restricts the economic enjoyment of the property or creates an unusual hardship for the property owner by severely limiting the use of the property in a manner

alternatives to preserve the tree(s). 8. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Current Planning Division.

has demonstrated to the satisfaction of the Review Authority that there are no reasonable

not typically experienced by owners of similarly zoned and situated properties, and the applicant

. Future tenant improvements shall be reviewed and approved by the Planning and Development Department to ensure that adequate off-street parking is provided. O. Trees required for parking lots are in addition to trees required elsewhere on the site as

prescribed in other sections of the Fresno Municipal Code. I. Parking lots, including landscaped areas, driveways, and loading areas, shall be maintained free of refuse, debris, or other accumulated matter and shall be kept in good repair at all times. 22. A minimum number of accessible parking stalls are required for the proposed project per State

of California Building Code. 3. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Fresno Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles. 4. Not used.

25. All general standards of Section 15-2015 of the Fresno Municipal Code shall apply when lighting is provided to illuminate parking, sales or display areas. 6. Bicycle parking spaces shall be supplied according to Table 15-2429-D: Required On- Site Bicycle

Parking Spaces of the Fresno Municipal Code. Each bicycle parking space shall be a minimum of 30 inches in width and eight feet in length and shall be accessible without moving another bicycle. At least 30 inches of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces to allow for the maneuvering of bikes. Overhead clearance shall be a minimum of seven feet. A minimum five foot aisle between each row of bicycle parking shall be provided for bicycle maneuvering beside or between each row, when multiple rows are proposed. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures. 7. All general provisions of Section 15–2403 of the Fresno Municipal Code shall apply to all parking

8. The parking lot is required to meet the *City of Fresno's Parking Manual, Public Works Standards* (P-21, P-22, and P-23) and Specifications (HYPERLINK "https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/

Parking-Manual.pdf"https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/ 2016/09/Parking- HYPERLINK "https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/ Parking-Manual.pdf"Manual.pdf). Parking must also comply with the California Building Code's accessibility requirements and the Fire and Solid Waste Department's minimum turning templates. Contact the Planning and Development Department for Parking Manual questions.

29. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment. 30. Signs, other than directional signs, if applicable, are not approved for installation as part of this

special permit. . All proposed signs shall conform to the current sign ordinance. The submittal checklist for signs is available online at HYPERLINK "https://www.fresno.gov/darm/planning-development/applications-forms-fees/

#tab-14"https://www.fresno.gov/darm/planning- HYPERLINK "https://www.fresno.gov/darm/planning-development/applications-forms-fees/ #tab-14"development/applications-forms-fees/#tab-14 . Window signs limited to the hours of operation, address, occupancy, and emergency information,

subject to the following standards: a) Operational windows signs shall not be mounted or placed on windows higher than the second story. b) The maximum area of exempt window signage shall 33. Banners, streamers, moving signs, and inflatables (including air dancers, balloons, and similar

objects) are allowed subject to Temporary Use Permit approval for establishments within Non-Residential Districts. Signs of this type do not count toward total maximum sign area. No sign per this section shall be displayed for more than 30 days, and a period of 30 days must lapse before displaying another sign. Signs shall not be displayed for more than 60 total days during a calendar year.

4. Every sign displayed within the city, including exempt signs, shall be maintained in good physical condition and shall comply with adopted regulations. All defective or broken parts shall be replaced. Exposed surfaces shall be kept clean, in good repair, and painted where paint is

MISCELLANEOUS

35. Noise levels shall not exceed the decibel levels described in Section 15-2506 of the FMC at anytime, measured at the nearest subject property line.

36. No vibration shall be produced that is transmitted through the ground and is discernible without the aid of instruments by a reasonable person at the lot lines of the site. Vibrations from temporary construction, demolition, and vehicles that enter and leave the subject parcel (e.g., construction equipment, trains, trucks, etc.) are exempt from this standard.

Lights shall be placed to deflect light away from adjacent properties and public streets, and to prevent adverse interference with the normal operation or enjoyment of surrounding properties. Direct or sky-reflected glare from floodlights shall not be directed into any other property or street. Except for public street lights and stadium lights, no light, combination of lights, or activity shall cast light onto a residentially zoned property, or any property containing residential uses, exceeding one-half foot- candle.

38. No use shall be operated such that significant, direct glare, incidental to the operation of the use is visible beyond the boundaries of the lot where the use is located. Windows shall not cause glare that may disrupt adjoining properties, traffic on adjacent streets, etc. Glare or heat reflected from building materials shall be mitigated so as to not disrupt surrounding properties. 39. The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Planning and Development Department for 'Official Addresses'. Only those

Development Notes

addresses assigned by the City of Fresno will be recognized as 'Official Addresses'. The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'. 40. All projects, including projects that involve less than one acre of property, are required to

comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, Fresno Municipal Code (FMC) Chapter 6, Article 7 (FMC Sections 6-701 et seq.) When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior to** commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at (559) 445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet: HYPERLINK

"http://www.waterboards.ca.gov/water_issues/programs/stormwater/ construction.shtml www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml. Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, HYPERLINK "http://www.casqa.org/" www.casqa.org.

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at (559) 445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: HYPERLINK

"http://www.waterboards.ca.gov/water_issues/programs/stormwater/ industrial.shtml"www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml, The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities (HYPERLINK

"http://www.casga.org/"*www.casga.org*). 41. Screen all roof-mounted equipment from the view of public rights-of-way.

42. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately. 43. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation.

44. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be

45. Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply. 46. Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for alternative wastewater treatment facilities. 47. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of

issuance of building permit unless other arrangements have been approved to defer such

payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8797. 48. Open street cuts are not permitted; all utility connections must be bored. 49. CROSS-CONNECTION CONTROL. A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621–5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement

must be satisfied prior to final occupancy. 50. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Planning and Development Department when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

51. Open storage (outside an enclosed building) shall be limited to vehicles, boats, recreational vehicles, and trailers. Outdoor storages areas shall be screened from public view by building façades or solid fences. At the discretion of the Review Authority, the treatment of the ground surface of the open storage area may be gravel or other materials as prescribed by the San Joaquin Valley Air Pollution Control District, the Public Works Department, the Fire Department, and the Fresno Metropolitan Flood Control District. All open storage must be depicted on the site

plan and described in operation. If it is not, it is not allowed on the site. 52. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

(Not all fees will be applicable to all projects. Please reach out to Frank Saburit at (559) 621-8797 for

53. NOTICE TO PROJECT APPLICANT: In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

54. CITYWIDE DEVELOPMENT IMPACT FEES a. Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the Master Fee Schedule. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit. b. Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)

c. Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units) d. Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential

CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006) a. Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law Street Impact Fees will be a condition on all development entitlements granted.

56. FRESNO COUNTY FACILITY IMPACT FEE Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits. 57. REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; HYPERLINK "http://www.fresnocog.org/"www.fresnocog.org. The RTMF form shall be signed by a Building and Safety Services staff member prior to issuance of building permits. Proof of payment shall be provided prior to issuance of occupancy. 58. SCHOOL FEES

School fees must be paid, if required, prior to the issuance of building permits. Contact the applicable school district to obtain fee amount. Provide proof of payment (or no fee required) prior to the issuance of building permits. 59. FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES

a. A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact the FMFCD at (559) 456-3292.

FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of a new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Planning and Development Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.

60. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied. a. Lateral Sewer Charge (based on property frontage to a depth of 100')

Wastewater Facilities Charge d. Trunk Sewer Charge Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Wastewater Division - Environmental Services Section at (559)

b. Oversize Sewer Charge (based on property frontage to a depth of 100')

61. WATER CONNECTION CHARGES: (FMC Sections 6-501 to 6-507). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior to** issuance of building permits may also be applied.

a. Frontage Charge (based on property frontage) Service Charges (based on service size required by applicant) Meter Charges (based on service need)

Water Capacity fee (based on size of meter) 62. Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19. PUBLIC WORKS DEPARTMENT GENERAL NOTES

63. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California. 64. Repair all damaged and/or off-grade concrete street improvements as determined by the Construction Management Engineer, prior to occupancy.

65. Two working days before commencing excavation operations within the street right-of- way and/or utility easements, all existing under-ground facilities shall have been located by underground services 66. The performance of any work within the public street right-of-way requires a street work permit prior to commencement of work. All required street improvements must be completed and

accepted by the City prior to occupancy. 67. Contact the Public Works Department, Traffic Engineering at (559) 621-8800, 10 working days prior to any offsite concrete construction.

APPL. NO. P22-00795 **EXHIBIT** A-1 PLANNING REVIEW BY TRAFFIC ENG. **APPROVED BY** CITY OF FRESNO DARM DEPT

Existing Hospice Facility

1-Story, 24 Beds

16,547 Sq. Ft.

Existing /Demo Site Plan

Undeveloped

2806 E. ALLUVIAL AVE.

(53)

AVENUE

(5)—

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Keynotes Project Description: Proposed residential Planned Development Description that will divide the property into parcels for 28 dwelling units (12 duplexes and 2 single family units) and a common area. Existing 35' drive approach to be relocated & reduced to 30' wide. Reference Approved Documents: Existing curb and gutter. Annexation: ANX-17-004 Rezone: R-17-008 \ Existing city sidewalk. CUP: C-17-062 Lot Line Adjustment: LLA 201832 🙀 | Existing city street light Existing CMU wall. Parcel A of Lot Line Adjustment No. 2018-32, perfected by grant Existing planter. described as follows: Existing stormwater retention. Existing stormwater discharge. Existing monument sign. Existing on-site pole light. Existing parking stall striping. Site Address: Existing paving. Existing 6" concrete curb. Existing concrete valley gutter. Existing accessible parking stall. Existing concrete wheel-stop. Existing concrete sidewalk. Existing courtyard. Existing natural gas generator and enclosure. Existing trash enclosure. New fire hydrant. Connect to existing water line on adjacent property. $\widehat{22}$ New 6" concrete rolled curb. New parking stall striping per City of Fresno parking manual. New pavement per City of Fresno standard specifications. New painted directional arrows. New concrete valley gutter. New on-site light pole. New concrete sidewalk. 5% max slope in direction of travel, 2% max cross slope. Existing angle parking to be adjusted for 90 degree parking. \bigcirc New 40' drive approach. New monument sign on CMU fence. New drive access gates with electric motor. \bigcirc New keypad for gate access. $_{f 34)}$ | New van-accessible parking stall per California Building Code, ADA, and City of Fresno parking manual. 病 | New accessible parking stall per California Building Code, ADA, and City of Fresno parking manual. New van-accessible parking stall sign. New accessible parking tow-away sign. New accessible curb ramp and detectable warning strip New pool. New 7' tall split-face CMU fence. \setminus | New 36" wide steel gate with security screen, lever and egress hardware. Provide police-fire bypass lock box $^{\prime}$ with X1 core per Fresno Fire Department Policy 403. $\sqrt{2}$ | New concrete landing - 2% max slope an any direction. \bigcap New 9' tall cabana with toilet room and shower. \bigcap New marked and painted fire lane per Fresno Fire Department standards. Indicates line of existing pavement. Area to be demolished and re-graded to blend with new portion of the site. Existing 8" Detector Check Valve Existing 2" Water Meter (Domestic) 2820 E. ALLUVIAL AVE. Existing 2" RP device. APN: 404-500-29 New 2" water loop for domestic water, fire sprinklers (NFPA 13R), and landscape irrigation to each unit. Note: $\stackrel{\smile\smile}{}$ Water loop sizing to be determined; larger services may be necessary if not enough water pressure. Existing Fire Department Connection location. Existing fire hydrant location. Relocate existing property line. Existing 2" Water Meter (Irrigation) Demolish portion of existing curb and planter. Demolish existing valley gutter. Remove existing light pole. Salvage for re-use. New cluster mailbox per USPS. Fire X1 bypass hardware &click to enter radio frequency gate opening hardware. Emergency Access Only gate sign, both sides of gate. Graphic address directory per development policy G-002. CVC 22658 Fire lane tow away warning sign. Existing AT&T underground vault to be relocated. New Decorative LED pole light. New decorative LED bollard light. New PG&E transformer location. (67) | Existing street tree. ALLUVIAL

Existing street tree to be removed.

Developer/General

Contractor:

Project Directory

811 Barstow Ave

Clovis, CA 93612

Ph: (559) 440-9999

info@stallion.net

Clovis, CA 93611

Lic. #C-38643

Ph: (559) 977-9779

Lic. #1001656

Stallion Development & Construction

Crawford Architecture & Planning

1755 Herndon Ave, Ste 103

nicholas@crawfordap.com

at Alluvial

2806 & 2820 E Alluvial Ave

Clovis, CA 93611

deed recorded on 03-06-20, as Document No. 2020-0028882, of Official Records of Fresno County, and more particularly

A portion of the Southwest Quarter of the Southeast Quarter of the Northeast Quarter of Section 36, Township 12 South, Range 20 East, Mount Diablo Base and Meridian, according to the official plat thereof, in the County of Fresno, State of California.

Site Data:

2806 & 2820 E Alluvial Ave.

Clovis, CA 93611 (City of Fresno)

Legal Description:

Project Data

128,859 SF. (2.96 Ac) Site Area Total Building Coverage: 48,336 Sq. Ft. (38%) Total Paved Area: Approx. 50,000 Sq. Ft. (38%) Total Landscape Area: Approx. 30,523 Sq. Ft. (24%) Parking Data: Parking modified for 42 Stalls Existing 7 Stalls Added 49 Stalls Total existing Hospice Site: Proposed Parking (Duplex | 56 Stalls Covered (2-Car garages) 22 Uncovered 78 Stalls Total Building Data | Building Occupancy R-3 Construction Type: No of Stories Fire Suppression System: NFPA 13R Sprinkler System Dwelling Units Two-Bedroom: 16 Three-Bedroom: 12 Total: 28 2-Bedroom Unit Areas: 1,012 SF Living 481 SF Garage 19 SF Porch 56 SF Patio 1,568 SF Total 2B Unit Area 1.270 SF Living 3-Bedroom Unit Areas: 481 SF Garage 19 SF Porch 75 SF Patio 1,845 SF Total 2B Unit Area Unit Type Breakdown Type A: 2B/2B Type B: 2B/3B Qty: 3 Type B-R: 3B/2B Qty: 5 Type C: 3B/3B Type D: 3B Qty: 2 Building Type A Total Buildings: 4 Building Living Area: 2,024 SF Total Building Area: 3,316 SF Building Type B Total Buildings: 3 Building Living Area: 2,540 SF (2-Bedroom/3-Bedroom) Total Building Area: 3,413 SF Total Buildings: 5 Building Living Area: 2,282 SF (Reverse) (3-Bedroom/2-Bedroom) Total Building Area: 3,413 SF Total Buildings: 5 Building Living Area: 2,282 SF (3-Bedroom/3-Bedroom) Total Building Area: 3,690 SF Building Type D | Total Buildings: 2

Total Covered Area: 48,336 SF				
Site Le	egend			
Symbol	Description			
	Existing Curb/Gutter			
	Street Centerline			
	Property Line			
	Proposed Concrete Pavement			
	(E) Area to demolished			
	Proposed Asphalt Concrete			
	Building Footprint			
	CMU Wall			
	SETBACK			
	Curb/Gutter			
	Path of Travel			
	Demo			
	Red curbs and NO PARKING FIRE LANE in 3-in. white letters every 50 feet o.c.			
	Existing Street Tree Ginko Bilboa (Maidenhair Tree)			
	New Tree Phoenix Dactylifera (Date Palm)			

Vicinity Map

PROJECT

LOCATION

EAST ALLUVIAL AVE

EAST EL PASO AVE

EAST DECATUR AVE

EAST CROMWELL AVE

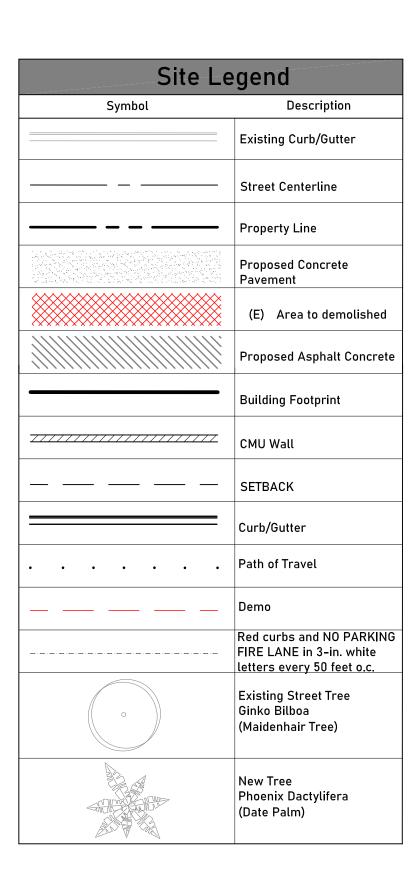
| Building Living Area: 2,170 SF

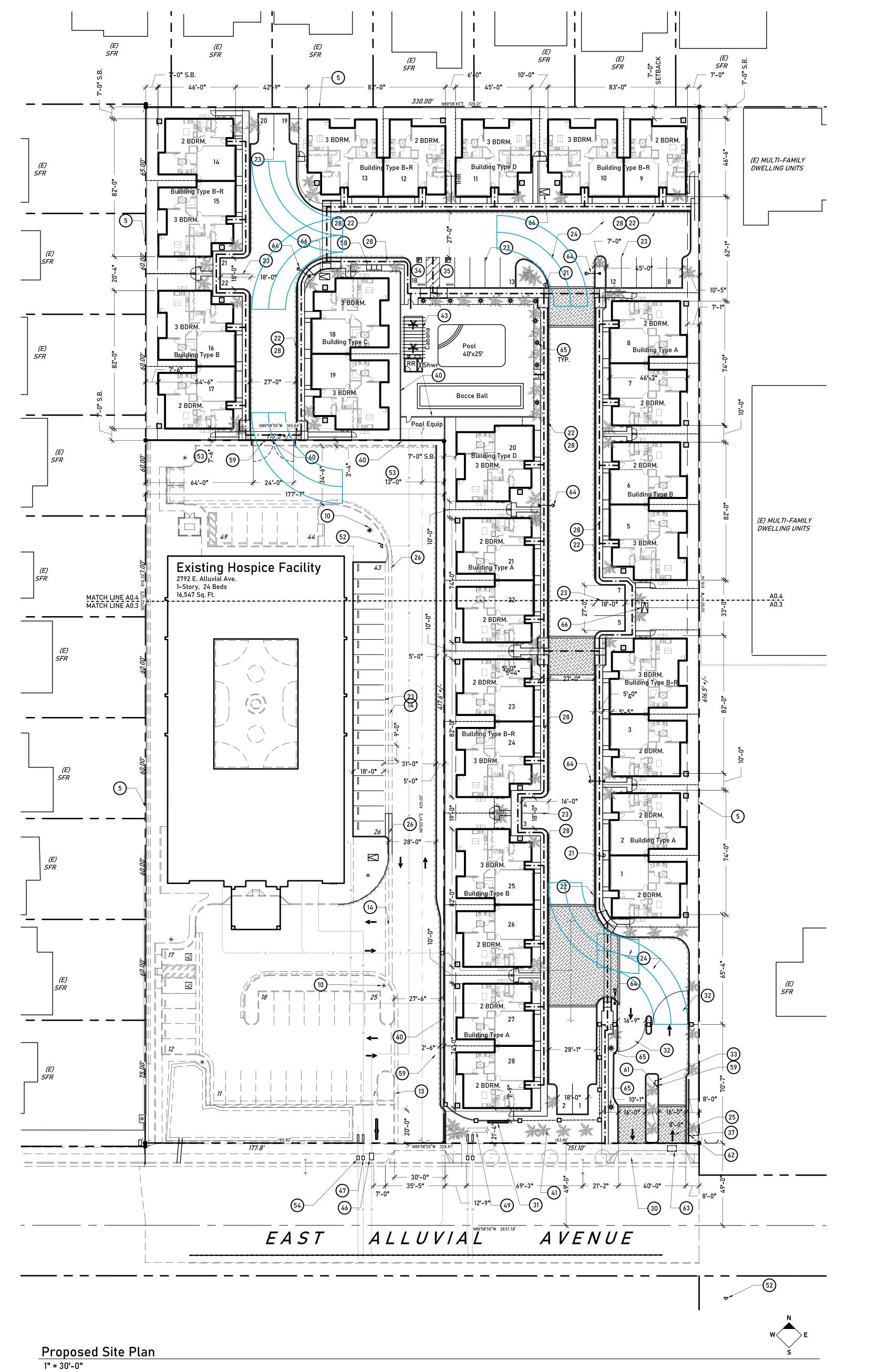
Total Building Area: 1,845 SF

Total Living Area: 31,432 SF

Existing/Demo and Site Plan and Development

APPL. NO. <u>P22-00795</u>	EXHIBIT A-2	DATE 05/11/2022
PLANNING REVIEW BY_		_DATE
TRAFFIC ENG		_DATE
APPROVED BY		DATE
CITY OF	FRESNO DARM	I DEPT

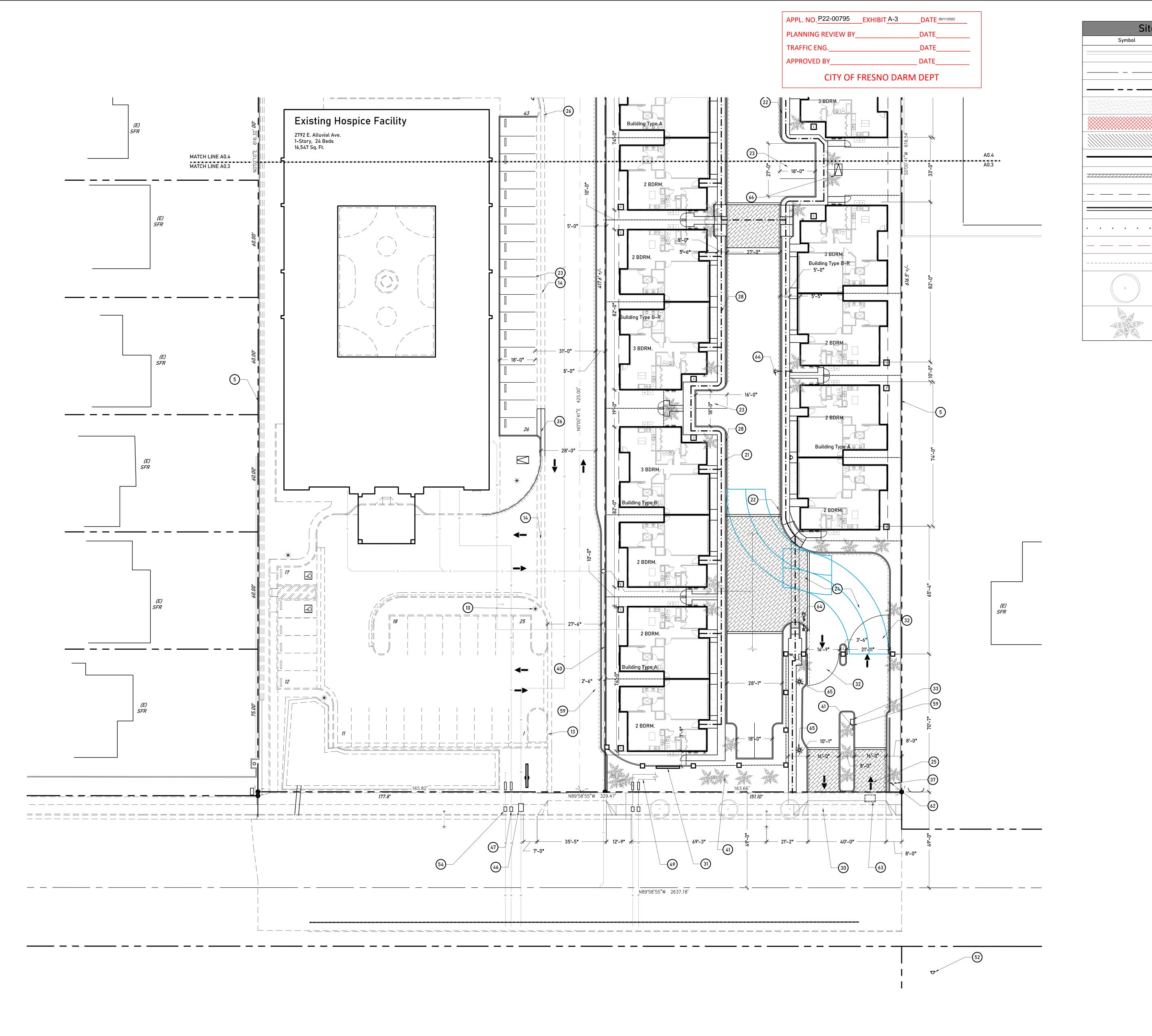






Proposed Site Plan (Overall)

SCALE 1" = 30'

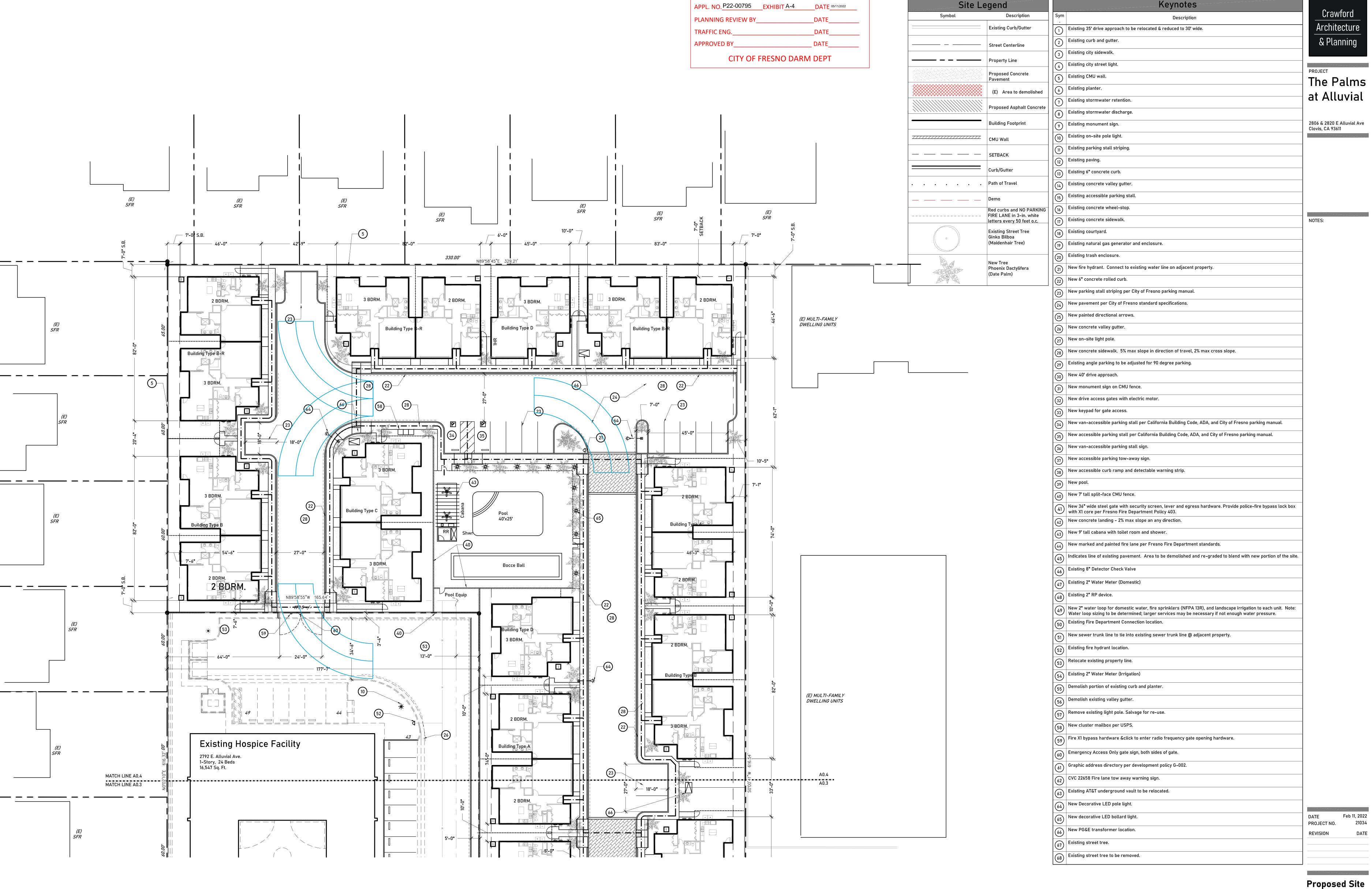


	ite Legend		Keynotes	Crawford
	Description Existing Curb/Gutter	Sym	Description Existing 35' drive approach to be relocated & reduced to 30' wide.	Architecture
	-	2	Existing curb and gutter.	& Planning
	Street Centerline	3	Existing city sidewalk.	a r tarring
	Property Line	4	Existing city street light.	PROJECT
	Proposed Concrete Pavement	5	Existing CMU wall.	The Palms
	(E) Area to demolished	6	Existing planter.	at Alluvial
	Proposed Asphalt Concrete	7	Existing stormwater retention. Existing stormwater discharge.	di Attaviat
	Building Footprint	9	Existing monument sign.	2806 & 2820 E Alluvial Ave
	CMU Wall	10	Existing on-site pole light.	Clovis, CA 93611
		11	Existing parking stall striping.	
	SETBACK	12	Existing paving.	
	Curb/Gutter	13	Existing 6" concrete curb.	
•	Path of Travel	14	Existing concrete valley gutter.	
	Demo	(15)	Existing accessible parking stall. Existing concrete wheel-stop.	
	Red curbs and NO PARKING FIRE LANE in 3-in. white letters every 50 feet o.c.	16	Existing concrete sidewalk.	NOTES:
	Existing Street Tree	17 18	Existing courtyard.	NOTES.
	Ginko Bilboa (Maidenhair Tree)	19	Existing natural gas generator and enclosure.	
	Now Tree	20	Existing trash enclosure.	
	New Tree Phoenix Dactylifera (Date Palm)	21	New fire hydrant. Connect to existing water line on adjacent property.	
	,	22	New 6" concrete rolled curb.	
		23	New parking stall striping per City of Fresno parking manual. New pavement per City of Fresno standard specifications.	
		24	New pavement per City of Fresno standard specifications. New painted directional arrows.	
		(25)	New concrete valley gutter.	
		(26) (27)	New on-site light pole.	
		28	New concrete sidewalk. 5% max slope in direction of travel, 2% max cross slope.	
		29	Existing angle parking to be adjusted for 90 degree parking.	
		30	New 40' drive approach.	
		31	New monument sign on CMU fence.	
		32	New drive access gates with electric motor.	
		33	New keypad for gate access. New van-accessible parking stall per California Building Code, ADA, and City of Fresno parking manual.	
		34	New accessible parking stall per California Building Code, ADA, and City of Fresno parking manual.	
		(36)	New van-accessible parking stall sign.	
		37	New accessible parking tow-away sign.	
		38	New accessible curb ramp and detectable warning strip.	
		39	New pool.	
		40	New 7' tall split-face CMU fence. New 36" wide steel gate with security screen, lever and egress hardware. Provide police-fire bypass lock box	
		(41)	with X1 core per Fresno Fire Department Policy 403.	
		(42)	New concrete landing - 2% max slope an any direction. New 9' tall cabana with toilet room and shower.	
		43	New marked and painted fire lane per Fresno Fire Department standards.	
		(45)	Indicates line of existing pavement. Area to be demolished and re-graded to blend with new portion of the site.	
		(46)	Existing 8" Detector Check Valve	
		(47)	Existing 2" Water Meter (Domestic)	
		48)	Existing 2" RP device.	
		49	New 2" water loop for domestic water, fire sprinklers (NFPA 13R), and landscape irrigation to each unit. Note: Water loop sizing to be determined; larger services may be necessary if not enough water pressure.	
		50	Existing Fire Department Connection location.	
		51	New sewer trunk line to tie into existing sewer trunk line @ adjacent property.	
		52	Existing fire hydrant location.	
		53	Relocate existing property line.	
		54)	Existing 2" Water Meter (Irrigation)	
		55	Demolish portion of existing curb and planter.	
		56	Demolish existing valley gutter.	
		57	Remove existing light pole. Salvage for re-use.	
		58	New cluster mailbox per USPS.	
		59	Fire X1 bypass hardware &click to enter radio frequency gate opening hardware.	
		60	Emergency Access Only gate sign, both sides of gate.	
		61	Graphic address directory per development policy G-002.	
			CVC 22658 Fire lane tow away warning sign.	
		(62)	Fuithing ATCT and a second of the second of	
		63	Existing AT&T underground vault to be relocated.	
		63	New Decorative LED pole light.	DATE Fob 11 200
		63		DATE Feb 11, 202 PROJECT NO. 2103

Existing street tree to be removed.

Symbol

Proposed Site Plan (Partial South)



Proposed Site Plan (Partial North)

SCALE 1" = 20'

N8958/45°E 329.21' 13: 608 12: 654 11: 600 10: 600 10: 600 10: 600 10: 600	
Common Area A: 5244 5F	
Common Area A : 5244 SF	
MATCH LINE A0.4 MATCH LINE A0.3 MATCH LINE A0.	A0.4 A0.3
Area B: 900 SF 9	
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	

Site Plan - Open Space
1" = 30'-0"

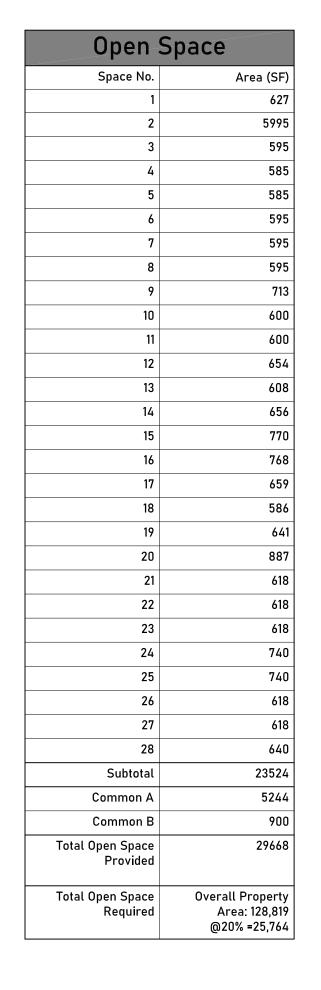
APPL. NO. <u>P22-00795</u> <u>EXHIBIT A-5</u> <u>DATE 05/11/2022</u>

PLANNING REVIEW BY _____DATE_____

TRAFFIC ENG._____DATE____

APPROVED BY______ DATE_____

CITY OF FRESNO DARM DEPT



Crawford

PROJECT

The Palms

at Alluvial

2806 & 2820 E Alluvial Ave Clovis, CA 93611

NOTES:

DATE Feb 11, 2022
PROJECT NO. 21034
REVISION DATE

Site Plan -Open Space

SCALE 1" = 30'