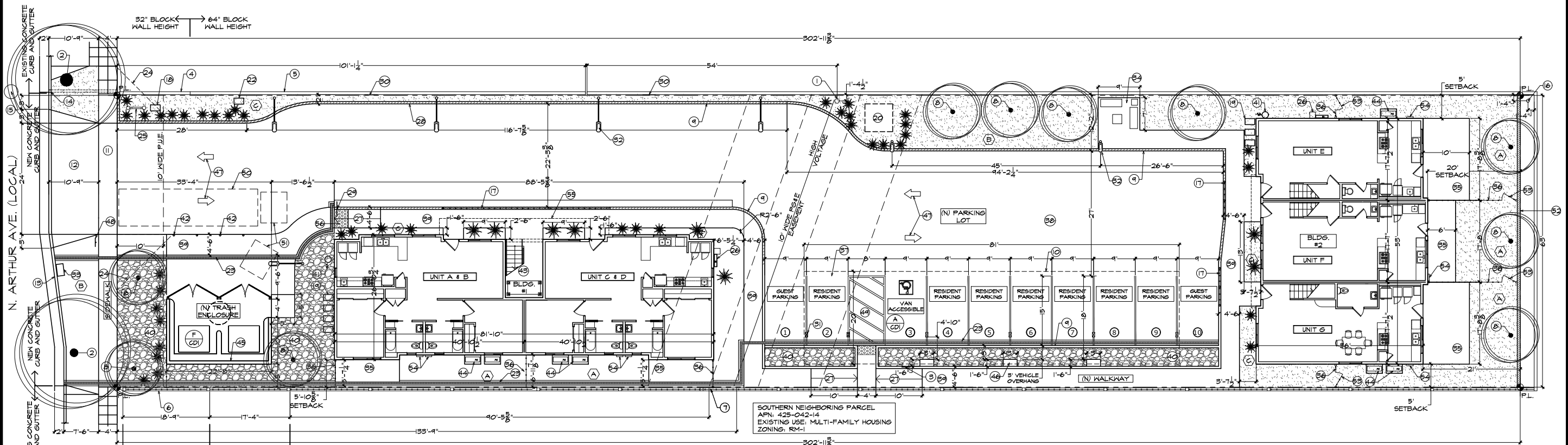


NORTHERN NEIGHBORING PARCEL  
 APN: 425-042-16, 425-042-20, 425-042-03, 425-042-04  
 EXISTING USE: MIXED-USE  
 ZONING: CMX



SOUTHERN NEIGHBORING PARCEL  
 APN: 425-042-14  
 EXISTING USE: MULTI-FAMILY HOUSING  
 ZONING: RM-1

LOT AREA: 19,089.00 SQ. FT. = 0.44 ACRES  
 APN: 425-042-19

LEGAL DESCRIPTION: THE NORTH ONE-HALF OF LOT 27 OF BULLARD NORTH FRESNO ADDITION, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 7, PAGE 72 OF PLATS, FRESNO COUNTY RECORDS.

PROPOSED SITE PLAN  
 SCALE: 1" = 10'-0"

AREA	SQ. FT.
UNIT A	1,000.28
UNIT B	1,000.28
UNIT C	1,000.28
UNIT D	1,000.28
UNIT E FIRST FLOOR	631.33
UNIT E SECOND FLOOR	631.33
UNIT F FIRST FLOOR	636.00
UNIT F SECOND FLOOR	636.00
UNIT G FIRST FLOOR	631.33
UNIT G SECOND FLOOR	631.33
TOTAL:	7,649.04

AREA	SQ. FT.	ACRES	PERCENTAGE
PROJECT SITE AREA	19,089.00	0.438	100.00%
EXISTING BUILDING AREA	0	0.000	0.00%
BUILDING #1 AREA	2,000.57	0.046	10.48%
BUILDING #2 AREA	1,906.74	0.044	9.99%
BUILDING COVERAGE	3,855.58	0.089	20.20%
PAVED AREA	7,888.68	0.181	41.33%
COMMON LANDSCAPE AREA	1,844.74	0.042	9.69%
PLANTERS AREA	341.00	0.008	1.74%
PRIVATE PATIO UNIT A	270.17	0.006	1.42%
PRIVATE PATIO UNIT C	270.17	0.006	1.42%
PRIVATE PATIO UNIT E	571.24	0.013	3.02%
PRIVATE PATIO UNIT F	556.28	0.008	1.87%
PRIVATE PATIO UNIT G	571.24	0.013	3.02%

PARKING SPACES REQUIRED: 7 x 1.5 = 11  
 PARKING SPACES PROVIDED: 11 x 0.7 = 8 (80% REDUCTION FROM TRANSIT ACCESSIBILITY)  
 ACCESSIBLE PARKING SPACES REQUIRED: 1  
 ACCESSIBLE PARKING SPACES PROVIDED: 1  
 COVERED PARKING SPACES REQUIRED: 1  
 COVERED PARKING SPACES PROVIDED: 1  
 GUEST PARKING SPACES REQUIRED: 3  
 GUEST PARKING SPACES PROVIDED: 3  
 BICYCLE PARKING SPACES REQUIRED: 0  
 BICYCLE PARKING SPACES PROVIDED: 0  
 RATIO OF PARKING SPACES TO FLOOR AREA: 0.0013 OR 1 PER 775 SQ. FT. OF FLOOR AREA  
 CARPORT AREA: 1,622.95 SQ. FT.

PLEASE REFER TO SHEET C2: AS-BUILT SITE AND DEMOLITION PLAN FOR THE STREET CENTERLINE, DIMENSION FROM CENTERLINE TO PROPERTY LINE, STREET DIMENSION AND STREET LABEL.

GENERAL SITE PLAN NOTES:

- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- ALL ACCESSIBLE SPACES SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION 10-1017 OF THE MUNICIPAL CODE SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIALS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE

- FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT OF WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
- UNDERGROUND ALL EXISTING OFF-SITE OVERHEAD UTILITIES WITHIN THE LIMIT OF THIS APPLICATION PER FMC 15-2017.
- CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 559-621-8800, 10 WORKING DAYS

- EMERGENCY VEHICLE ACCESS SHALL BE DESIGNATED BY PAINTING THE CURB RED (TOP AND SIDE) AND STENCILING "FIRE LANE NO PARKING" IN 3-INCH WHITE LETTERS ON THE MOST VERTICAL CURB, AT LEAST EVERY 50 FEET. IF NO CURB IS PRESENT, A MINIMUM 6-INCH WIDE RED STRIPE SHALL BE PAINTED ALONG THE EDGE OF THE ROADWAY WITH "FIRE LANE" IN 3-INCH WHITE LETTERS AT LEAST EVERY 50 FEET.
- PROVIDE SIGN(S) (17" X 22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY WHICH STATE "WARNING - VEHICLE STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE - 22658(A) CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 621-2500."

REFERENCES:

- (E) PROPERTY CORNER
- (E) PROPERTY LINE
- TREES
- WOOD FENCE
- (N) PRIVATE PATIO AREA
- (N) COMMON LANDSCAPE AREA
- (N) PLANTER
- (N) FIRE LANE CURB
- REVISED ON 02-07-2020

KEYNOTES:

- (E) POWER POLE
- (E) TREE TO REMAIN
- (N) VAN ACCESSIBLE, INTERNATIONAL ACCESSIBILITY SYMBOL AND TOW-AWAY SIGN ON T-10' POLE
- (E) 32" HIGH BLOCK WALL
- (E) 64" HIGH BLOCK WALL
- (E) 4' HIGH WOOD FENCE
- (E) 6'-10" HIGH WOOD & CMU BLOCK FENCE
- (N) TREE
- (N) 6" CONTINUOUS CONCRETE CURB
- (N) CARPORT ROOF PROJECTION
- (N) 4' WIDE CONCRETE SIDEWALK PER CITY STANDARD P-5
- (N) CONCRETE DRIVEWAY APPROACH AS PER CITY OF FRESNO STANDARD P-2 & P-6
- (N) CONCRETE CURB AND GUTTER PER CITY OF FRESNO STANDARD P-5
- (E) DRAIN PIPE THROUGH CONCRETE CURB ON NEIGHBOR'S PROPERTY
- (E) SEWER MANHOLE
- (E) POLE ON NEIGHBOR'S PROPERTY
- (N) BOLLARD AND SAFETY GUARD
- (N) 2 1/2" PUBLIC WATER METER

- (N) WATER METER
- (N) CONCRETE SQUARE PAD FOR PG&E TRANSFORMER
- N/A
- (N) IRRIGATION WATER METER
- (N) DRAINAGE CHANNEL W/ EXPANSION JOINT AT 60' o.c. MAX. SPACING
- VISIBILITY TRIANGLE - - - - -
- (N) BACKFLOW PREVENTION DEVICE
- (N) ELECTRICAL SERVICE MAIN WITH STACKED ELECTRICAL PANELS
- (N) SLOPED CONCRETE WALKWAY
- (N) PAINTED FIRE LANE
- (N) 5 MPH SPEED LIMIT SIGN
- (N) CVC 22658 FIRE LANE TOW AWAY WARNING SIGN MOUNTED ON BLOCK WALL
- (N) 6" X 12" CARPORT COLUMN (TYP.) W/ INTEGRATED LIGHTING
- (N) CONCRETE CURB AND GUTTER PER CITY OF FRESNO STANDARD P-5
- (N) LED LIGHT POLE AND FIXTURE (TYP.)
- (N) MAILBOX
- (N) SEATING AREA ON CONCRETE PAD
- (N) CONCRETE PATIO
- (N) 6" HIGH WOOD FENCE
- PARKING STALL TO BE CONVERTED TO ACCESSIBLE PARKING STALL ON AS NEEDED BASIS
- (N) ASPHALT DRIVEWAY AND PARKING LOT PER CITY OF

- (N) CONCRETE WALKWAY
- (N) GRAVEL OR DECOMPOSED GRANITE
- (N) FIRE SPRINKLER RISER, 2 1/2" FIRE DEPARTMENT CONNECTION AND ALARM MONITORING PANEL
- (N) SAFETY BOLLARDS AT 5' o.c. (TYP.)
- (N) PRE-FABRICATED METAL & CONCRETE STAIRS
- (N) MINI SPLIT HEATING/ COOLING OUTDOOR UNIT ON CONCRETE PAD AS PER MANUFACTURER
- (N) TRASH ENCLOSURE AS PER CITY STANDARD P-33, P-34 & P-35 - SEE DETAIL IN F/CD1
- (N) DUAL ELECTRICAL VEHICLE CHARGING STATION CONCRETE PAD (TYP.)
- (N) PAINT DIRECTIONAL ARROWS PER CITY STANDARDS
- (N) 17" X 22" FIRE LANE TOW AWAY SIGN (SEE NOTE 15)
- (N) ACCESSIBLE FOR VAN ACCESSIBLE PARKING AND TO ALLOW FOR VEHICLES TO TURN AROUND
- (N) 8' X 30' FRONT-LOADING GARBAGE TRUCK PROJECTION
- (N) GARBAGE BIN PATH PROJECTION
- (N) 6" HIGH BLOCK WALL FENCE PER CITY OF FRESNO STANDARD DETAIL P-45
- (N) WOOD GATE W/ LOCK
- (N) ELECTRIC TANKLESS WATER HEATER
- (N) BALCONY PROJECTION
- (N) WARNING DOMES

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 www.pauliengineering.com

**PROPOSED 7 APARTMENT UNITS**  
 CONSTRUCTION DRAWINGS  
 4934 NORTH ARTHUR AVENUE,  
 FRESNO, CALIFORNIA 93705



REVISIONS:	SCALE: AS NOTED	DATE: 02-26-2020	DRAWN BY: A.B., G.F.L.	CHECKED BY: E.T.P.	SHEET NO. C3
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NORTH ELEVATION - BUILDING #1  
SCALE: 1/4" = 1'-0"

REFERENCES:

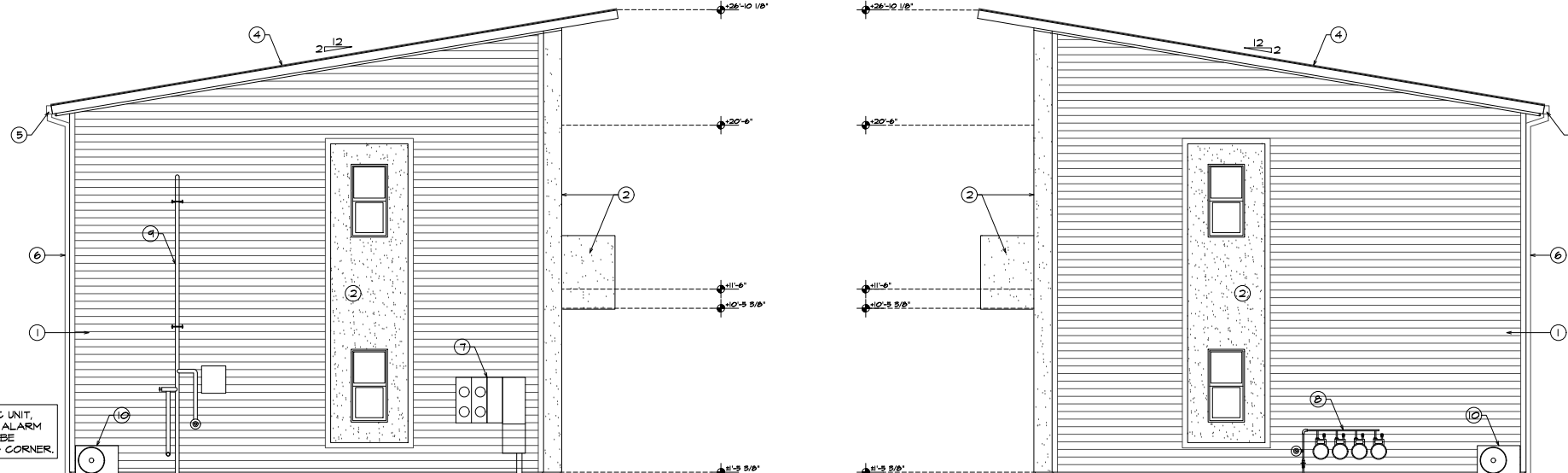
- ±0'-0" ELEVATION
- X 12 ROOF SLOPE

KEYNOTES:

1. (N) FIBER CEMENT SIDING o/ 3/8" OSB SHEATHING
2. (N) 2-COAT STUCCO o/ 3/8" OSB SHEATHING
3. (N) METAL EXPANSION JOINT (TYP.)
4. (N) METAL ROOF
5. (N) RAIN GUTTER
6. (N) DOWNSPOUT
7. (N) ELECTRICAL SERVICE MAIN WITH STACKED ELECTRICAL PANELS
8. (N) GAS METER
9. (N) FIRE SPRINKLER RISER, 2 1/2" FIRE DEPARTMENT CONNECTION AND ALARM MONITORING PANEL
10. (N) MINI SPLIT HEATING/ COOLING OUTDOOR UNIT

ELEVATION NOTES:

1. ELEVATIONS WITH RESPECT TO SEWER MANHOLE

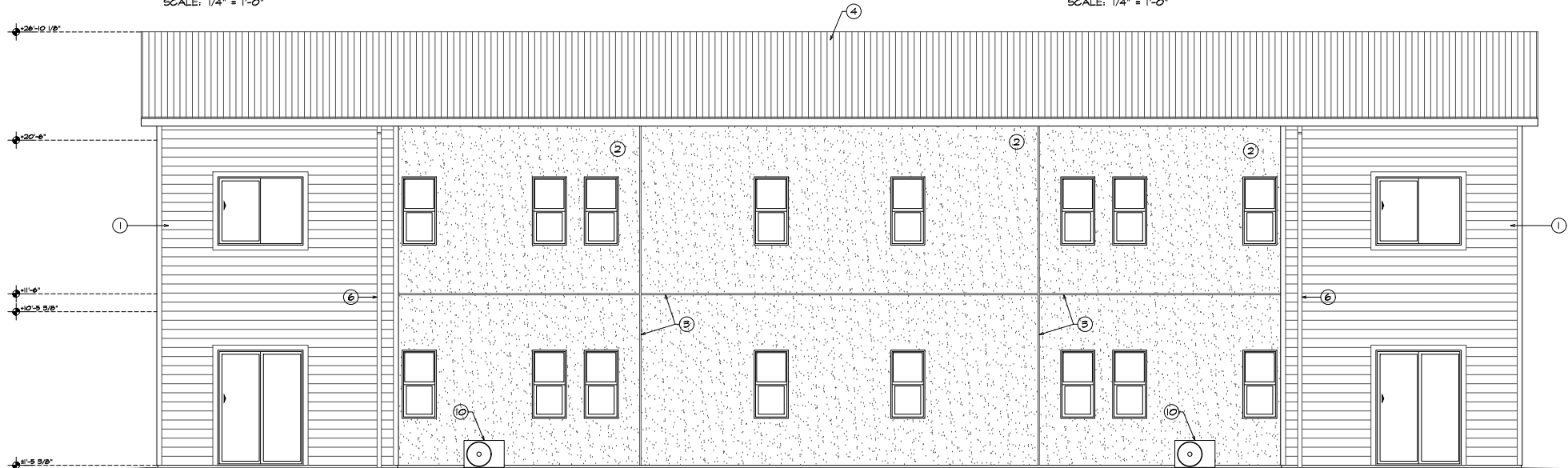


EAST ELEVATION - BUILDING #1  
SCALE: 1/4" = 1'-0"

WEST ELEVATION - BUILDING #1  
SCALE: 1/4" = 1'-0"

ELECTRICAL PANEL, A/C UNIT, AND FDC CONNECTION/ ALARM MONITORING PANEL TO BE SCREENED BY BUILDING CORNER.

GAS METERS AND A/C UNIT TO BE SCREENED BY TREES/ TRASH ENCLOSURE.



SOUTH ELEVATION - BUILDING #1  
SCALE: 1/4" = 1'-0"

A/C UNITS TO BE SCREENED BY BEING WITHIN FENCED PRIVATE PATIO.

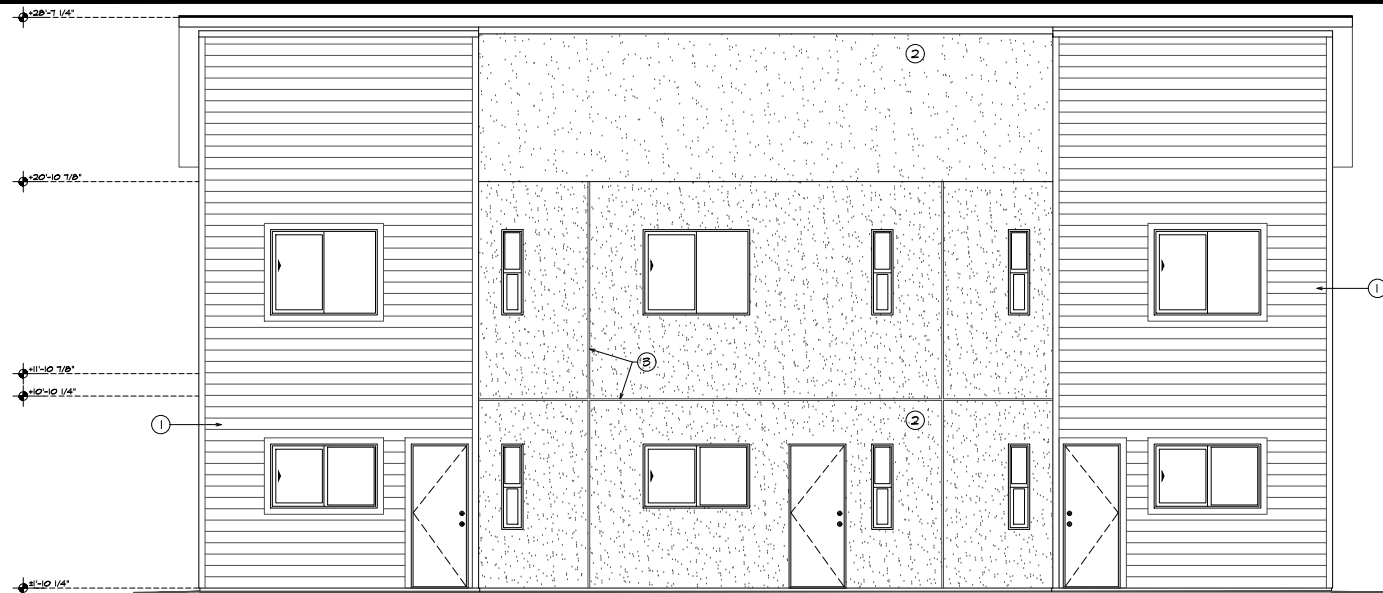
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PROPOSED 7 APARTMENT UNITS  
SITE PLAN REVIEW  
4434 NORTH ARTHUR AVENUE,  
FRESNO, CALIFORNIA 93705

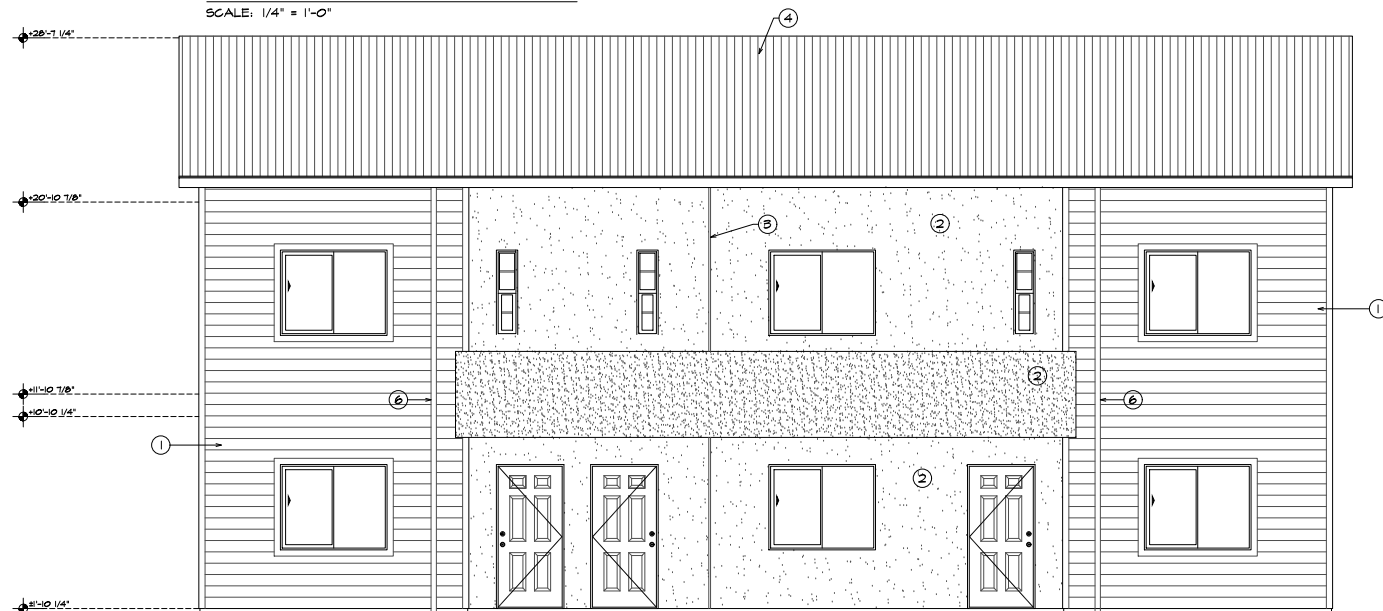


REVISIONS
SCALE: AS NOTED
DATE: 07-08-2019
DRAWN BY: J.C./ A.B.
CHECKED BY: E.T.P.
SHEET NO.

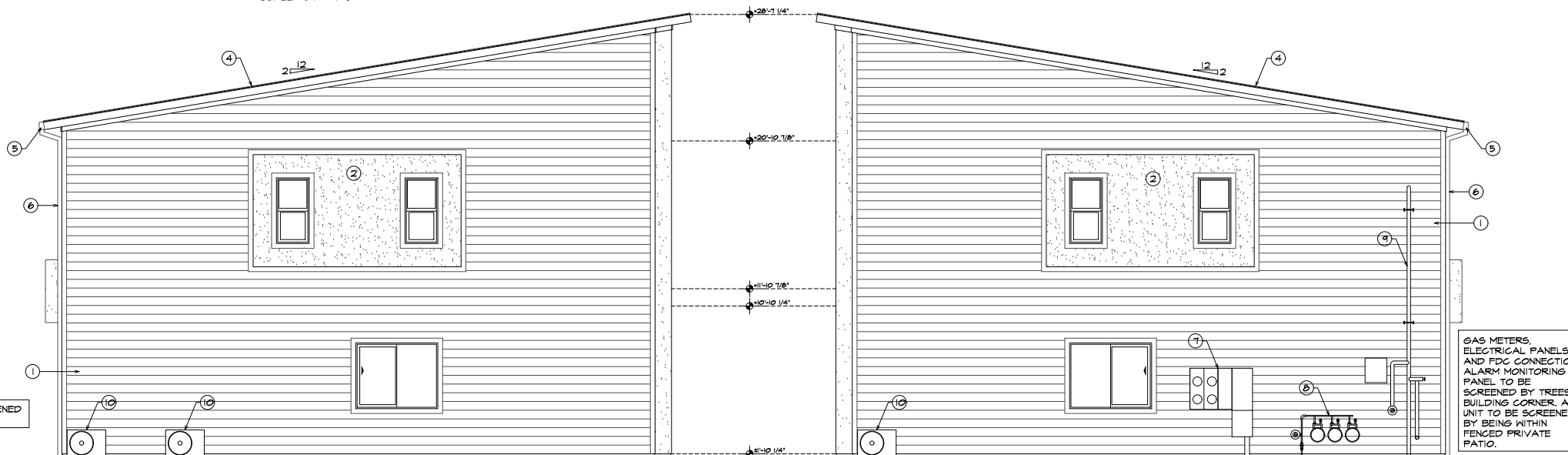
A3



**EAST ELEVATION - BUILDING #2**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION - BUILDING #2**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION - BUILDING #2**  
SCALE: 1/4" = 1'-0"

**NORTH ELEVATION - BUILDING #2**  
SCALE: 1/4" = 1'-0"

A/C UNITS TO BE SCREENED BY BUILDING CORNER.

GAS METERS, ELECTRICAL PANELS, AND FDG CONNECTION/ALARM MONITORING PANEL TO BE SCREENED BY TREES/BUILDING CORNER, A/C UNIT TO BE SCREENED BY BEING WITHIN FENCED PRIVATE PATIO.

**REFERENCES:**

- ±0'-0" ELEVATION
- 12 ROOF SLOPE

**KEYNOTES:**

1. (N) FIBER CEMENT SIDING o/ 3/8" OSB SHEATHING
2. (N) 2-COAT STUCCO o/ 3/8" OSB SHEATHING
3. (N) METAL EXPANSION JOINT (TYP.)
4. (N) METAL ROOF
5. (N) RAIN GUTTER
6. (N) DOWNSPOUT
7. (N) ELECTRICAL SERVICE MAIN WITH STACKED ELECTRICAL PANELS
8. (N) GAS METER
9. (N) FIRE SPRINKLER RISER, 2 1/2" FIRE DEPARTMENT CONNECTION AND ALARM MONITORING PANEL
10. (N) MINI SPLIT HEATING/ COOLING OUTDOOR UNIT

**ELEVATION NOTES:**

1. ELEVATIONS WITH RESPECT TO SEWER MANHOLE

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**PROPOSED 7 APARTMENT UNITS**  
**SITE PLAN REVIEW**  
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**REVISIONS**

SCALE: AS NOTED

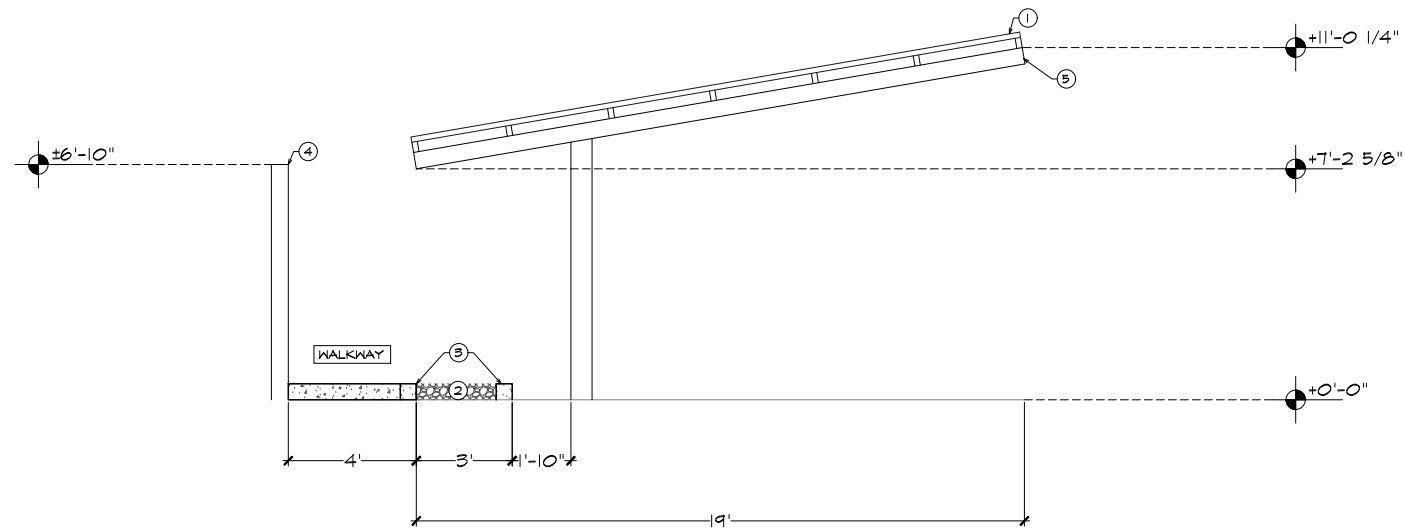
DATE: 07-08-2019

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CHECKED BY E.T.P.

SHEET NO.

A4



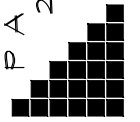
PROPOSED ELEVATIONS - CARPORT  
SCALE: 3/8" = 1'-0"

REFERENCES:

±0'-0" ELEVATION

KEYNOTES:

1. (N) SOLAR PANEL
2. (N) GRAVEL OR DECOMPOSED GRANITE
3. (N) 6" CURB
4. (E) 6' 10" HIGH WOOD FENCE
5. (N) GALVANIZED STEEL CARPORT



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SCALE: AS NOTED

DATE: 07-08-2019

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SHEET NO.

A5



**GENERAL FLOOR PLAN NOTES:**

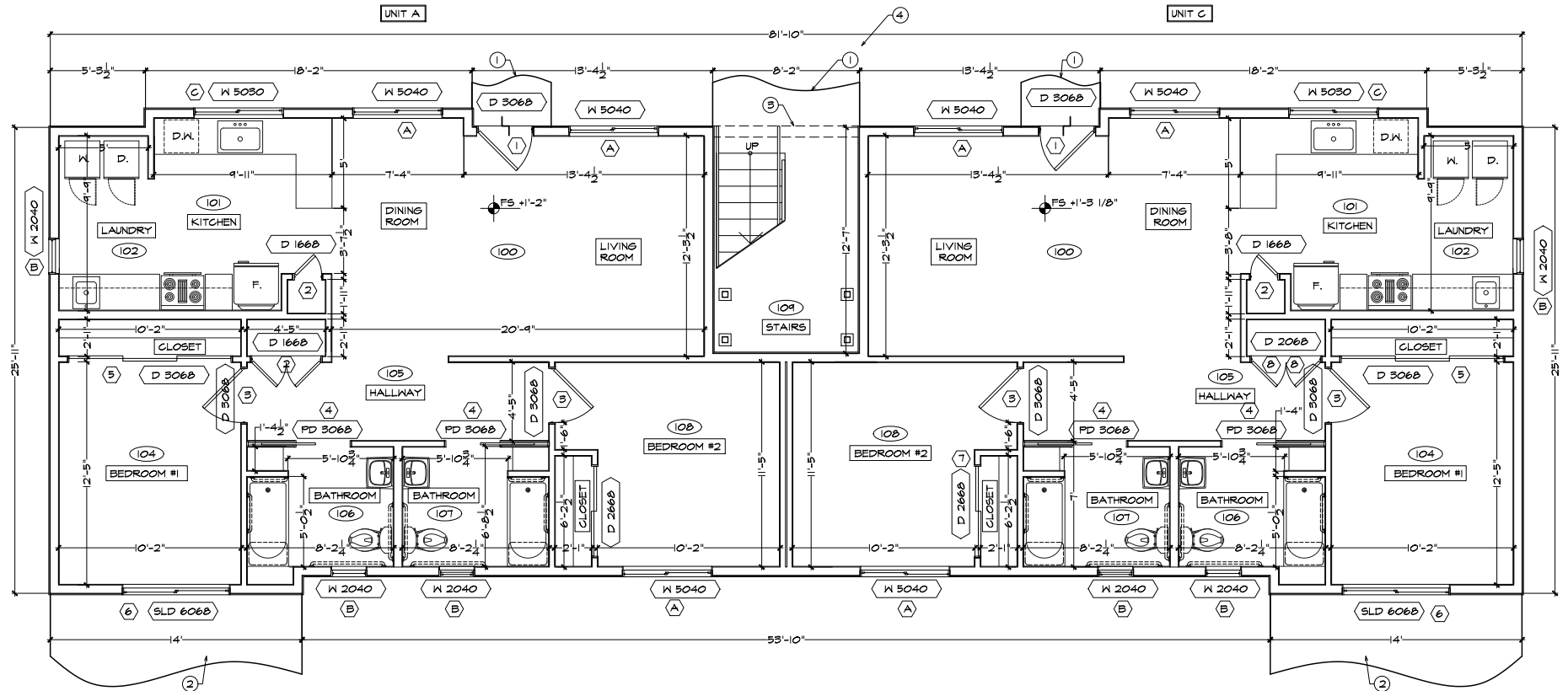
- WALL DIMENSIONS ARE SHOWN TO FACE OF STUD
- PROVIDE SHELF AND POLE AT CLOSETS
- ELEVATIONS SHOWN WITH RESPECT TO SEWER MANHOLE

**REFERENCES:**

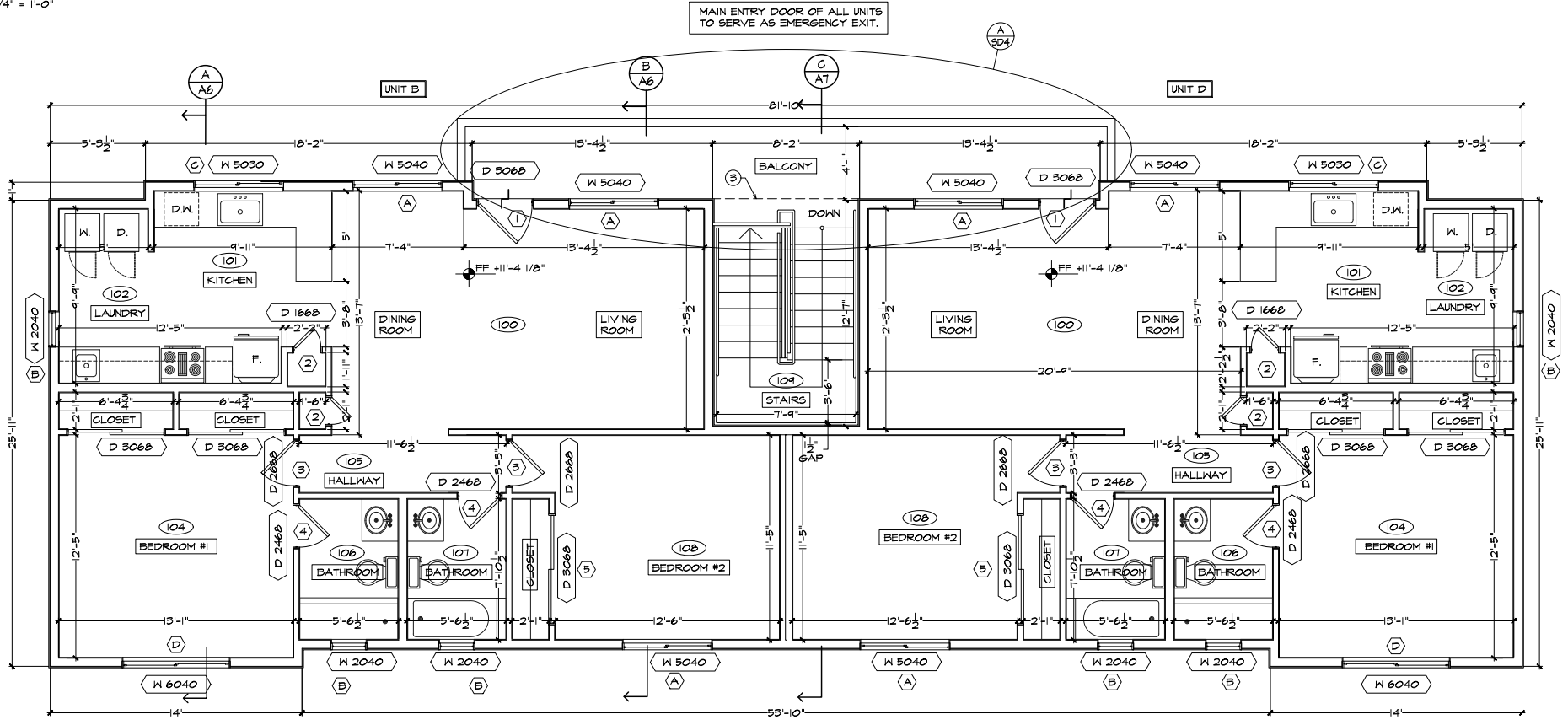
- D.W. DISHWASHER
- W.H. WATER HEATER
- W. CLOTHES WASHER
- D. CLOTHES DRYER
- F. REFRIGERATOR
- ⊕ DOOR TAG
- ⊗ WINDOW TAG
- Ⓜ ROOM TAG
- X.X' STEP
- XXX GROUND/FLOOR ELEVATION

**KEYNOTES:**

1. CONCRETE WALKWAY
2. CONCRETE PATIO
3. CEILING PROJECTION
4. BALCONY PROJECTION



PROPOSED 1ST STORY FLOOR PLAN - BUILDING #1  
 SCALE: 1/4" = 1'-0"



PROPOSED 2ND STORY FLOOR PLAN - BUILDING #1  
 SCALE: 1/4" = 1'-0"

REVISIONS

SCALE: AS NOTE

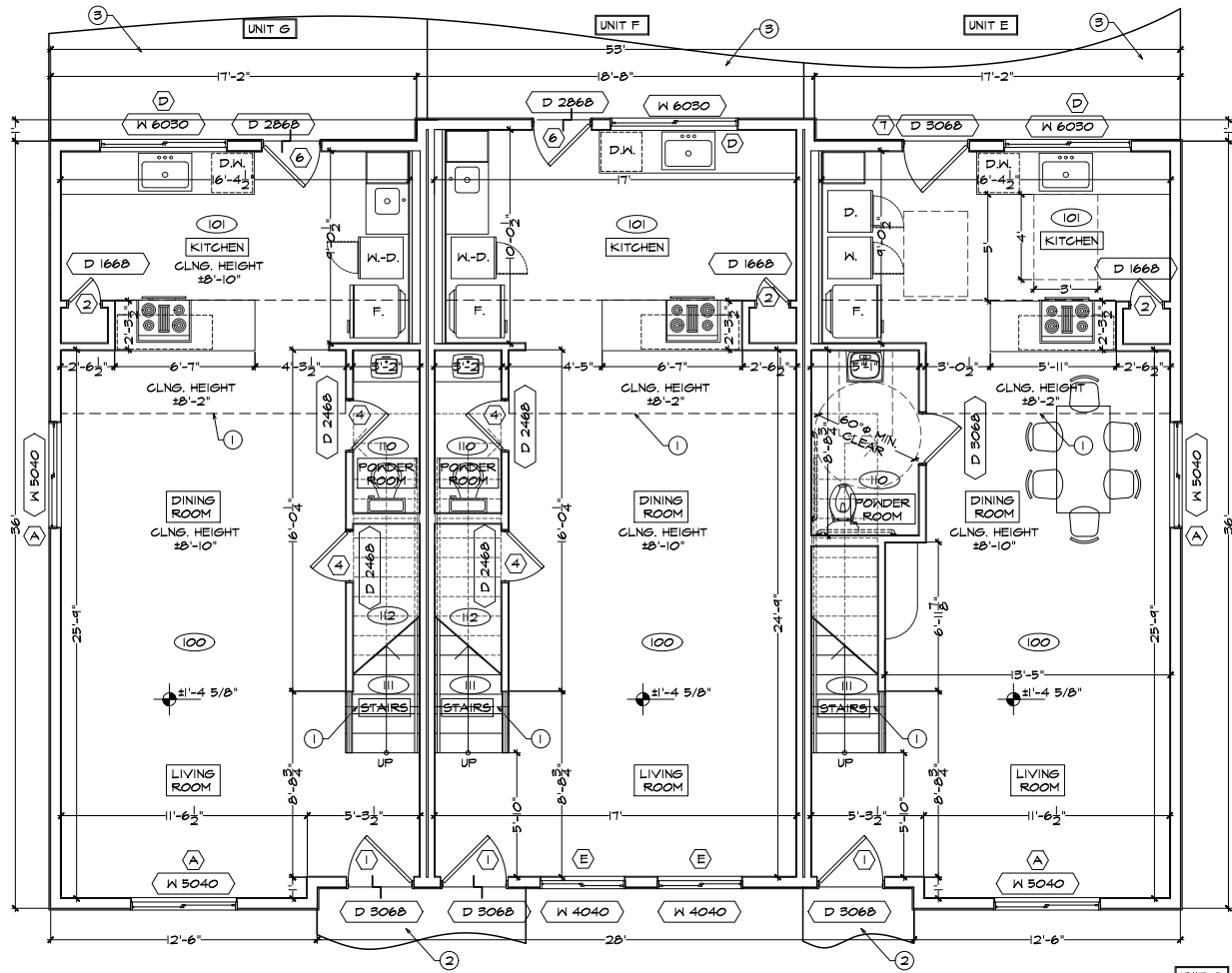
DATE: 02-26-2020

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CHECKED BY: E.T.P.

SHEET NO.





PROPOSED 1ST STORY FLOOR PLAN - BUILDING #2  
SCALE: 1/4" = 1'-0"

**GENERAL FLOOR PLAN NOTES:**

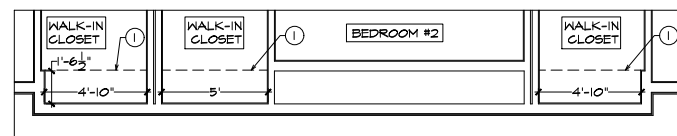
- WALL DIMENSIONS ARE SHOWN TO FACE OF STUD
- ELEVATIONS SHOWN WITH RESPECT TO SEWER MANHOLE

**REFERENCES:**

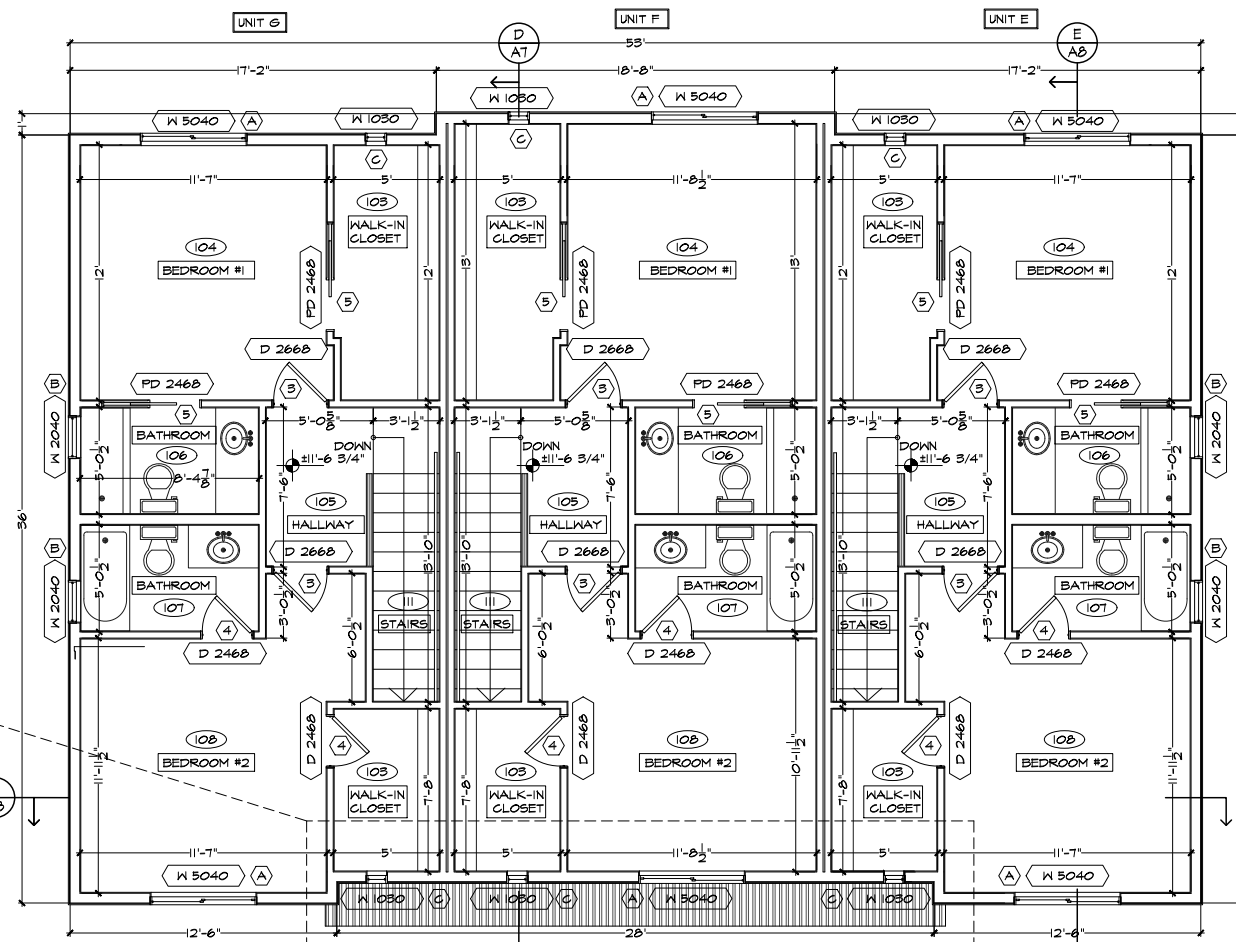
- D.W. DISHWASHER
- W.-D. STACKED CLOTHES WASHER AND DRYER
- W. CLOTHES WASHER
- D. CLOTHES DRYER
- F. REFRIGERATOR
- # DOOR TAG
- ## WINDOW TAG
- ### ROOM TAG
- X.X' STEP
- xxx GROUND/FLOOR ELEVATION

**KEYNOTES:**

- 1. CEILING BREAK PROJECTION
- 2. CONCRETE WALKWAY
- 3. CONCRETE PATIO



POPOUT FLOOR PLAN - BUILDING #2  
SCALE: 1/4" = 1'-0"



PROPOSED 2ND STORY FLOOR PLAN - BUILDING #2  
SCALE: 1/4" = 1'-0"

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REVISIONS

SCALE: AS NOTE

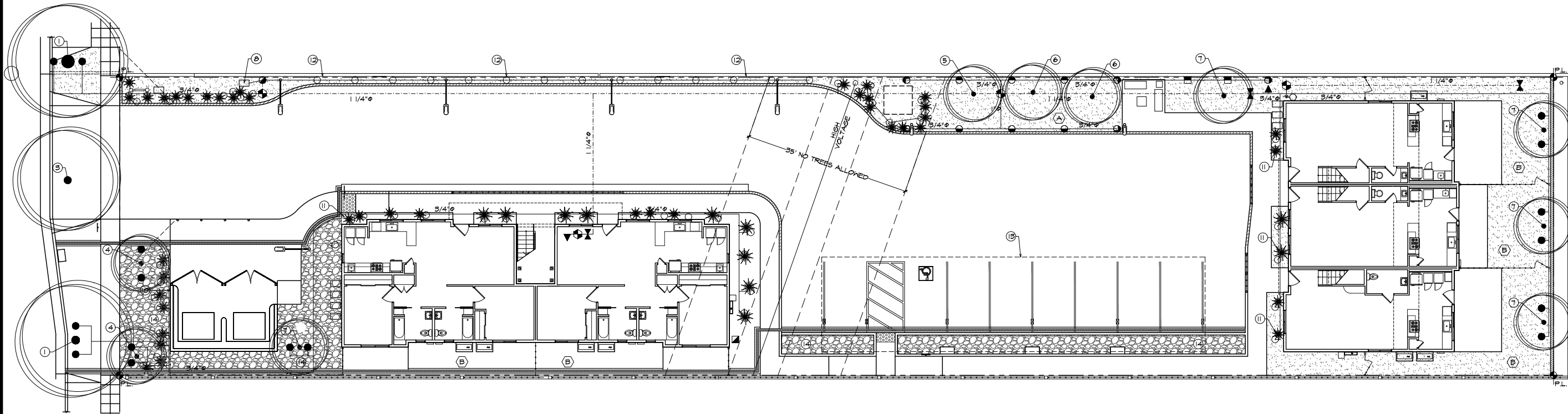
DATE: 02-26-2020

DRAWN BY: A.B./G.F.L.

CHECKED BY: E.T.P.

SHEET NO.

A2



**TREE SCHEDULE**

# OF ACACIA BAILEYANA:	2
# OF ACER RUBRUM:	1
# OF GEJERA PARVIFLORA:	2
# OF GRAPE MYRTLE:	5
<b>TOTAL:</b>	<b>10</b>

PARKING LOT SHADING IS PROVIDED BY GARPORT COVER

**LANDSCAPE & IRRIGATION PLAN**  
SCALE: 1" = 10'-0"

**LANDSCAPE PLAN NOTES:**

- PLANTERS, TREE WELL AND VINES IN LANDSCAPE BUFFER TO BE IRRIGATED BY DRIP IRRIGATION SYSTEM.
- LAWN AREAS TO BE IRRIGATED BY SPRINKLERS.
- DUE TO PARCEL LENGTH TO WIDTH RATIO, PARCEL WILL NOT MEET PARKING LOT SHADING REQUIREMENTS.

**IRRIGATION PLAN NOTES:**

- ALL PVC UNDER CONCRETE PAVEMENT INSTALL IN SCH40 PVC 2x LINE SIZE

**REFERENCES:**

- PL - PROPERTY CORNER
- PROPERTY LINE
- TREES
- FENCE
- (A) LAWN AREA
- (B) SYNTHETIC GRASS AREA

- 1401 - RAINBIRD - BUBBLER - .25 GPM
- 1404 - RAINBIRD - BUBBLER - 1.00 GPM
- 1806 PRS - RAINBIRD - POP-UP - 90-210 MP815
- 1806 PRS - RAINBIRD - POP-UP - SST MP2000
- 100-FEB 1 - RAINBIRD - VALVE
- ESPTM2.B - RAINBIRD - CONTROLLER
- 825YLF 1 1/4 - FEBCO - BACKFLOW - LEAD FREE
- 1 1/4 BV - PVC - BALLVALVE - TXT
- PVC PIPE CL200 3/4"φ - 1"φ
- PVC PIPE SCH40 1-1/4"φ MAIN LINE
- ▲ HOSE BIB

**KEYNOTES:**

- (E) ARIZONA CYPRESS TREE TO REMAIN
- N/A
- (E) 16" φ TREE TO BE REMOVED
- (N) ACACIA BAILEYANA
- (N) ACER RUBRUM
- (N) GEJERA PARVIFLORA
- (N) GRAPE MYRTLE
- (N) IRRIGATION METER
- N/A
- (N) VINE ON TRASH ENCLOSURE
- (N) ROSES OR SALVIA LEUCANTHA OR OSTEOSPERMUM OR AGAPANTHUS (TYP.)
- (N) VINES ON BLOCK WALL
- (N) GARPORT ROOF PROJECTION
- (N) GRAVEL OR DECOMPOSED GRANITE

**MWELO PERFORMANCE APPROACH (> 2,500 SQ. FT. LANDSCAPE AREA)**

**TREES & SHRUBS SCHEDULE**

DESCRIPTION	WATER USAGE	PLANT FACTOR
ACACIA BAILEYANA	LOW	0.3
ACER RUBRUM	MODERATE	0.5
GEJERA PARVIFOLIA	MODERATE	0.5
GRAPE MYRTLE	LOW	0.3
ROSES OR SALVIA LEUCANTHA.....	MODERATE	0.4
TURF	HIGH	0.7
VINES ON BLOCK WALL	LOW	0.2

**MAWA:**

MAWA = (Eto)(0.62)[(ETAFxLA)+(1-ETAF)(SLA)]  
 Eto = 511 in/yr  
 ETAF = 0.55 FOR RESIDENTIAL  
 LA = 3,170 SQ.FT.  
 SLA = 0 SQ.FT.  
 MAWA = 55,237.6 gal/yr

HYDROZONE	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY	LANDSCAPE AREA	ETAF x AREA	ETWU
COMMON LANDSCAPE AREA - TURF	0.7	SPRINKLERS	0.75	842 SQ.FT.	785.9	24,847.8 gal/yr
1'-6" WIDE LANDSCAPE BUFFER - VINES	0.2	DRIP	0.81	136 SQ.FT.	33.6	1,063.9 gal/yr
PLANTERS/ TREE WELLS	0.4	DRIP	0.81	1,356 SQ.FT.	669.6	21,215.2 gal/yr
<b>TOTAL ETWU =</b>						<b>55,256.4 gal/yr</b>

**PAULI ENGINEERING, INC.**  
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 www.pauliengineering.com

**PROPOSED 7 APARTMENT UNITS**  
 CONSTRUCTION DRAWINGS  
 4934 NORTH ARTHUR AVENUE,  
 FRESNO, CALIFORNIA 93705



REVISIONS:

SCALE: AS NOTED

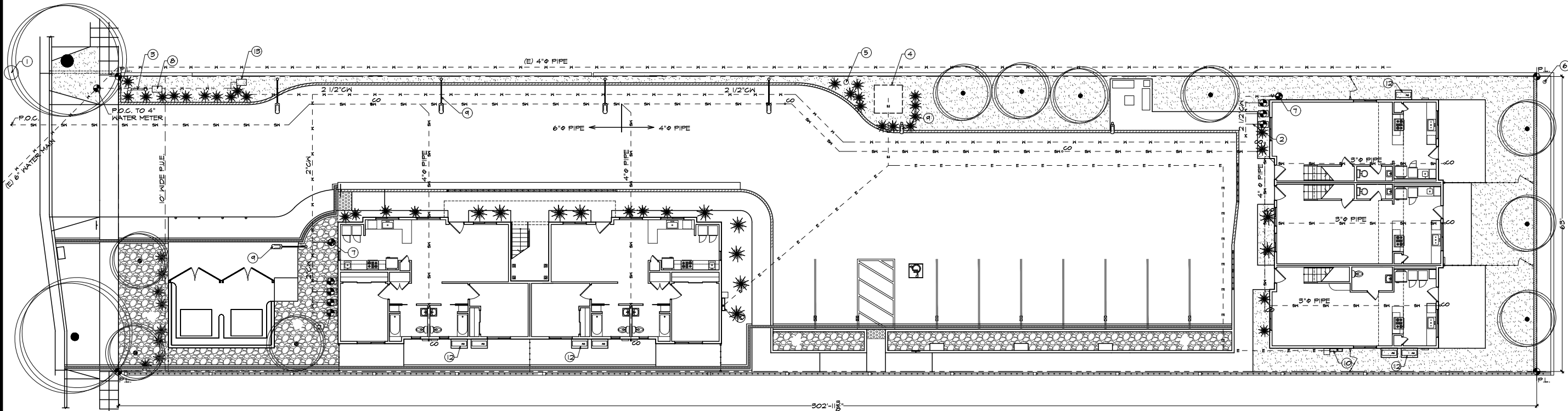
DATE: 02-26-2020

DRAWN BY: A.B., G.F.L.

CHECKED BY: E.T.P.

SHEET NO.

11



**UTILITIES PLAN**  
SCALE: 1" = 10'-0"

**REFERENCES:**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>● P.L. PROPERTY CORNER</li> <li>----- PROPERTY LINE</li> <li>--- FENCE</li> <li>- - x - - (E) &amp; (N) WATER LINE</li> <li>- - - - (N) SEWER LINE</li> <li>- - - - (N) ELECTRICAL LINE</li> </ul> | <ul style="list-style-type: none"> <li>W.H. WATER HEATER</li> <li>P.O.C. POINT OF CONNECTION</li> <li>∞ CLEANOUT</li> <li>● TREES</li> </ul> |
|---|--|

**KEYNOTES:**

1. (E) SEWER MANHOLE
2. (N) 1" WATER METER (TYP.)
3. (N) BACKFLOW PREVENTION DEVICE
4. (N) CONCRETE PAD FOR PG&E TRANSFORMER
5. (E) PG&E POLE
6. (E) POLE
7. (N) FIRE SPRINKLER RISER, 2 1/2" FIRE DEPARTMENT CONNECTION AND ALARM MONITORING PANEL
8. (N) 2 1/2" PUBLIC WATER METER
9. (N) LED LIGHT POLE (TYP.)
10. (N) ELECTRICAL MAIN AND STACKED ELECTRICAL PANELS
11. N/A
12. (N) MINI SPLIT HEATING/ COOLING OUTDOOR UNIT ON CONCRETE PAD PER MANUFACTURER
13. (N) IRRIGATION WATER METER

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C5