

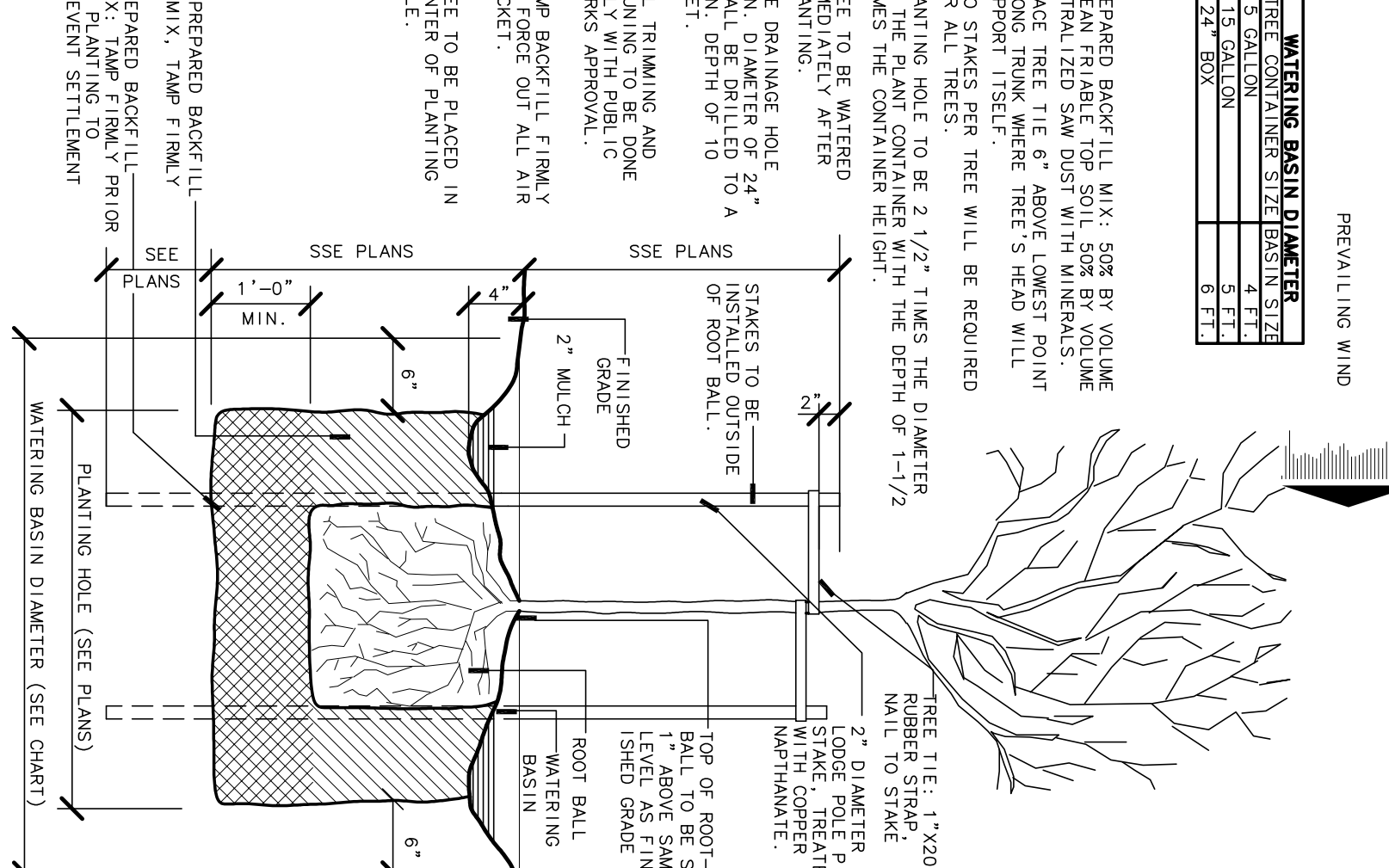
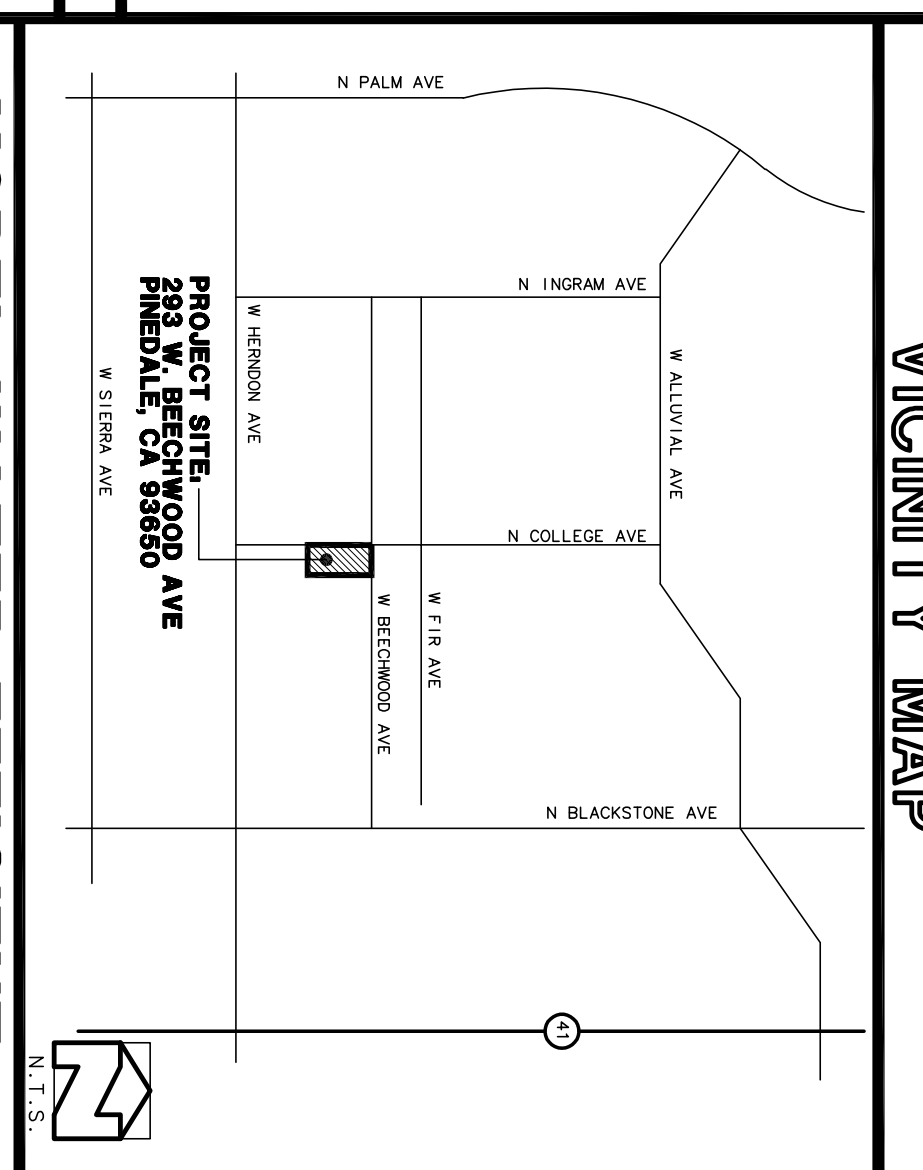
PROJECT DATA

ZONE: RM3
ASSESSORS PARCEL NUMBER: 031-11-001-10-000-50-17
OWNER: STAR HOUSING PROJECT INC.
JOB ADDRESS: 293 W. BEECHWOOD AVENUE, FRESNO, CA 93722
FILE NUMBER: C-18352

PROPOSED USE: RESIDENTIAL
OCCUPANCY: R-3
CONSTRUCTION TYPE: CONCRETE
S.F. PERmitted FLOOR: 11,124 SQ. FT. GROSS
GROSS AREA: 43,020 SQ. FT. GROSS
TOTAL: 2,287 SQ. FT. GROSS

SITE AREA: 10,000 SQ. FT. (NET) (0.24 ACRES)
LOT COVERAGE: 32%
BUILDING SETBACKS: 5' FRONT, 5' SIDE, 5' REAR
LEAD IN DISTANCE: 525'
PLANNING: 112'

LAND USE: RESIDENTIAL MEDIUM DENSITY
GRADING: NEAREST NEIGHBOR'S ELEVATION WITHIN 20' OF PROJECT CORNER SHALL BE USED FOR FINISH GRADE, CONC. CURB, CONC. DRIVE, CONC. DRIVEWAY, AND THE NEAREST NEIGHBOR'S ELEVATION OF 6.5' CONC. CURB.



HYDROZONE ZONE OF VALUE INFORMATION TABLE

HYDROZONE	ASSIMILATION	EVAPORATION	RETENTION
H1	5'	8'	8'
H2	4'	6'	6'
H3	3'	4'	4'
H4	2'	2'	2'
H5	1'	1'	1'

ESTIMATED TOTAL WATER CALCULATING TABLE

HYDROZONE	PLANT TYPE	PLANT FACTOR (PF)	AREA (SQ. FT.)	WATER USE (GAL) PER YEAR
H1	1.0	1.0	1,000	1,000
H2	2.0	2.0	2,000	4,000
H3	3.0	3.0	3,000	9,000
H4	4.0	4.0	4,000	16,000
H5	5.0	5.0	5,000	25,000
TOTAL				55,000

- ### PLANTING SPECIFICATIONS
- 1. ALL PLANTS SHALL BE INSTALLED IN THE MANNER SHOWN ON THE PLANS AND SHALL BE MAINTAINED THROUGHOUT THE TERM OF THE CONTRACT.
 - 2. PLANTS SHALL BE INSTALLED IN THE MANNER SHOWN ON THE PLANS AND SHALL BE MAINTAINED THROUGHOUT THE TERM OF THE CONTRACT.
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 - 10. PLANTS SHALL BE INSTALLED IN THE MANNER SHOWN ON THE PLANS AND SHALL BE MAINTAINED THROUGHOUT THE TERM OF THE CONTRACT.

- ### GENERAL NOTES
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF FRESNO PUBLIC WORKS STANDARDS AND SPECIFICATIONS, LATEST EDITION.
 - 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FRESNO, CALIFORNIA.
 - 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
 - 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS ON THE SITE.
 - 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHITECTURAL FEATURES ON THE SITE.
 - 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING EROSION CONTROL MEASURES ON THE SITE.
 - 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FLOOD CONTROL MEASURES ON THE SITE.
 - 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATER QUALITY MEASURES ON THE SITE.
 - 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AIR QUALITY MEASURES ON THE SITE.
 - 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CLIMATE RESILIENCE MEASURES ON THE SITE.

SHADE AND TREE REQUIREMENTS

NO.	TYPE OF TREE	AREA OF TREE (SQ. FT.)	SO. FT.
1	SHADE TREE	1,000	10
2	SHADE TREE	2,000	20
3	SHADE TREE	3,000	30
4	SHADE TREE	4,000	40
5	SHADE TREE	5,000	50
6	SHADE TREE	6,000	60
7	SHADE TREE	7,000	70
8	SHADE TREE	8,000	80
9	SHADE TREE	9,000	90
10	SHADE TREE	10,000	100

- ### DEVELOPMENT NOTES
- 1. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
 - 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS ON THE SITE.
 - 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHITECTURAL FEATURES ON THE SITE.
 - 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING EROSION CONTROL MEASURES ON THE SITE.
 - 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FLOOD CONTROL MEASURES ON THE SITE.
 - 6. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATER QUALITY MEASURES ON THE SITE.
 - 7. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AIR QUALITY MEASURES ON THE SITE.
 - 8. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CLIMATE RESILIENCE MEASURES ON THE SITE.
 - 9. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING SPECIFICATIONS ON THE SITE.
 - 10. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SHADE AND TREE REQUIREMENTS ON THE SITE.

SITE KEY NOTES

- 1. PROPOSED CONCRETE CURB AND DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF FRESNO PUBLIC WORKS STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- 2. PROPOSED CONCRETE DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF FRESNO PUBLIC WORKS STANDARDS AND SPECIFICATIONS, LATEST EDITION.
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- 10. PROPOSED CONCRETE DRIVEWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF FRESNO PUBLIC WORKS STANDARDS AND SPECIFICATIONS, LATEST EDITION.

MIKE DE ALBA AND ASSOCIATES

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CONSTRUCTION ADMINISTRATION
ROOM ADDITIONS
REPAIR DOCUMENTATION
CONSULTING

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STAR HOUSING PROJECT INC.

STAR HOUSING PROJECT INC.
DRAWINGS PREPARED FOR:
PROJECT NO. 2323

DATE: 03/15/2023
SCALE: AS NOTED
DRAWN BY: SP.1
APPROVED BY: MIKE DE ALBA