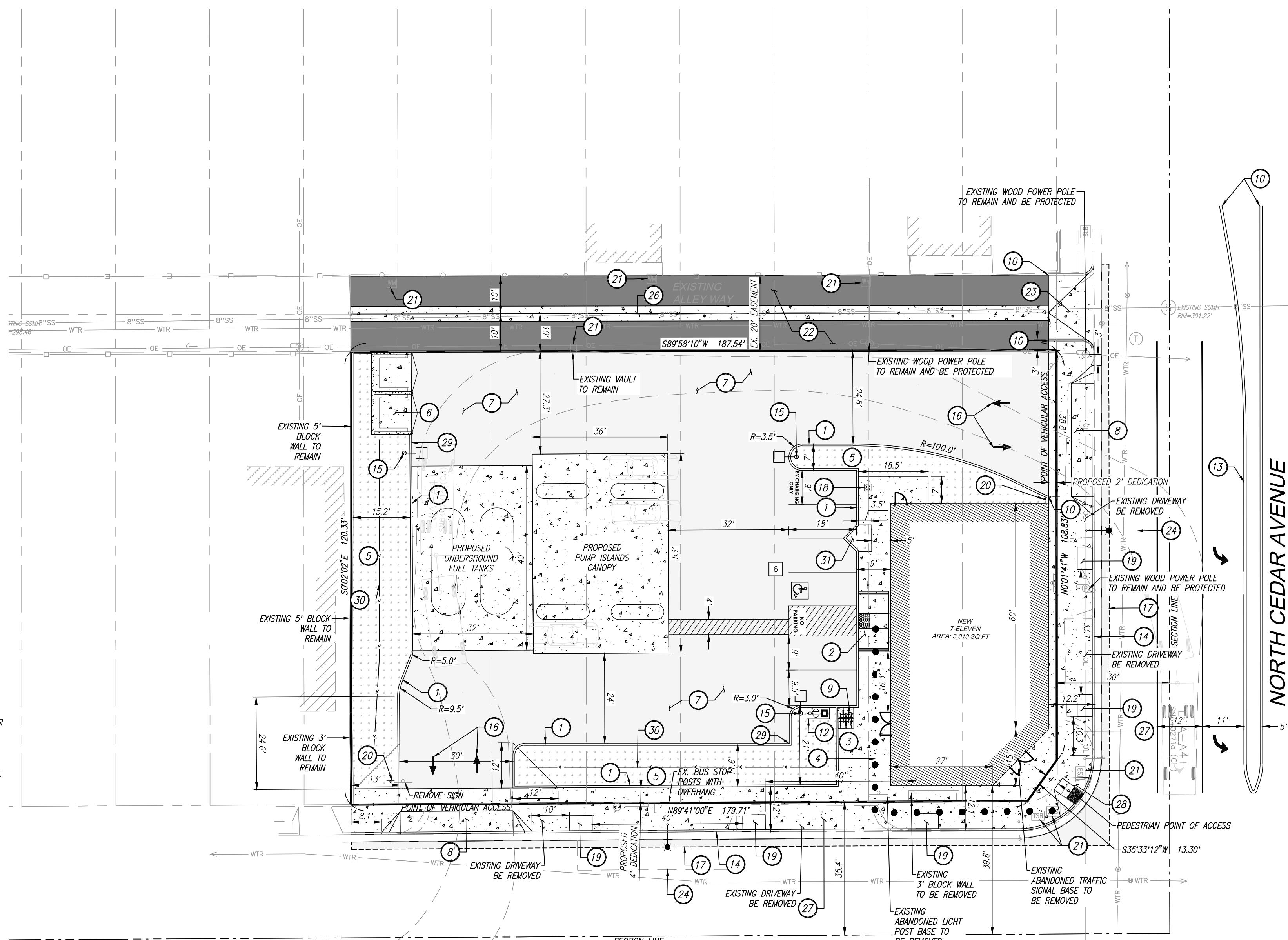
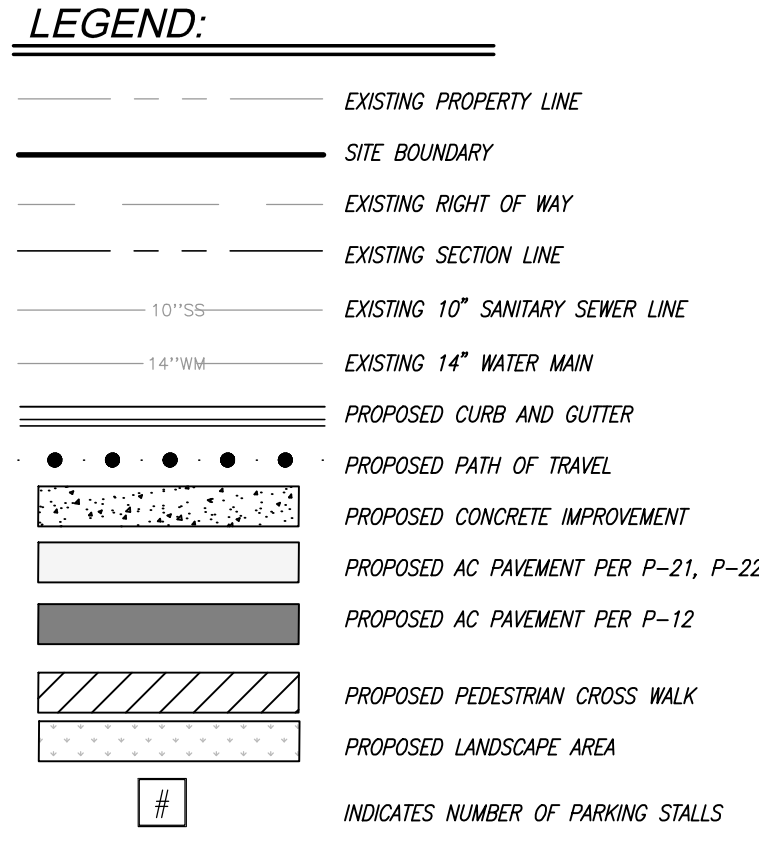


Exhibit F

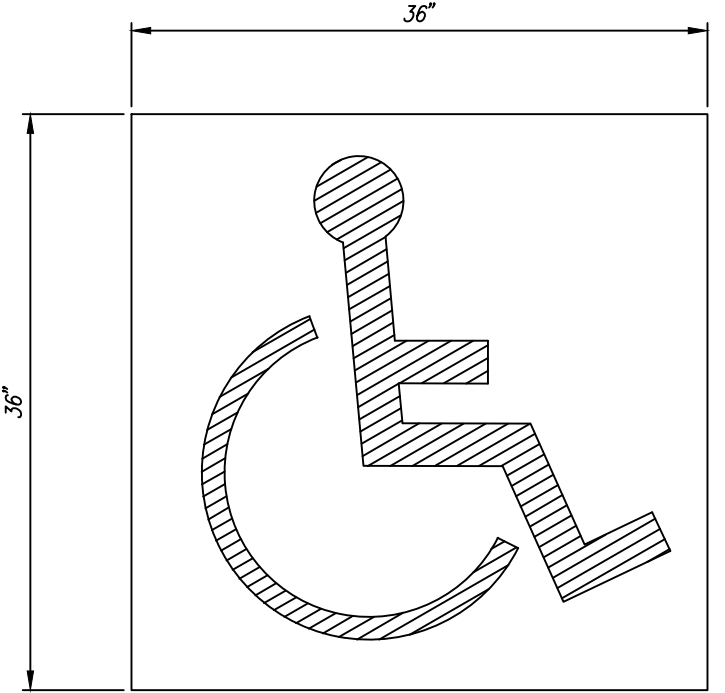
Exhibits (Site Plan, Elevations, Floor Plans)



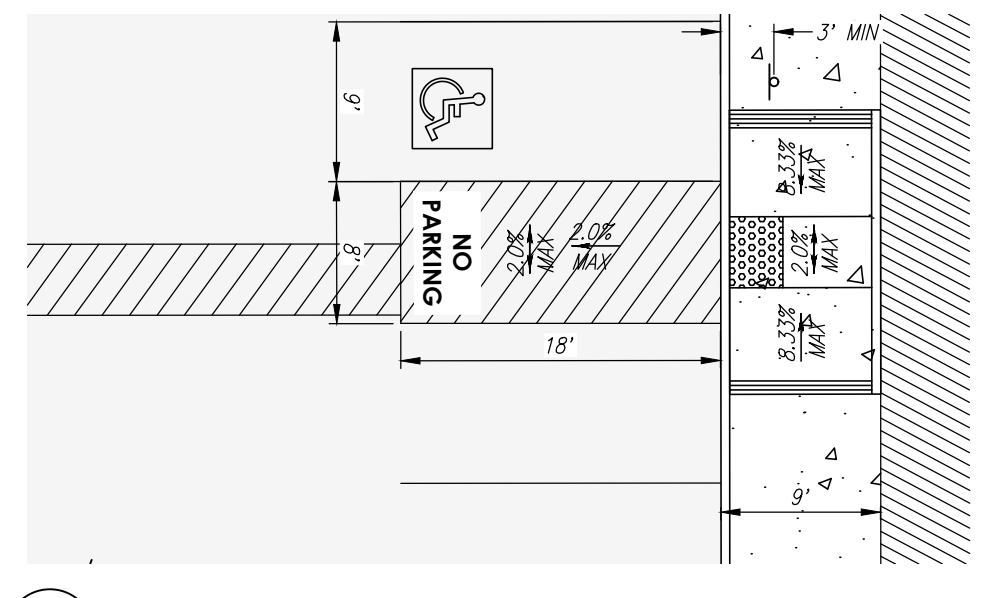
- GENERAL NOTES**
- REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
 - WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-442-2444.
 - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE SURVEYING IN THE STATE OF CALIFORNIA.
 - DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - UNDERGROUND ALL EXISTING OPSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 15-2017 OR PROVIDE A SIGNED WAIVER FROM THE DIRECTOR.
 - ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH ADJACENT STREET IMPROVEMENTS.
 - CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 559-621-8900, 10 WORKING DAYS PRIOR TO ANY OPSITE CONCRETE CONSTRUCTION.
 - ALL EXISTING SIDEWALKS IN EXCESS OF 2 PERCENT MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS. MODIFY OR REPLACE EXISTING RAMP TO MEET CURRENT PUBLIC WORKS STANDARDS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. DETECTABLE WARNING DEVICES ARE REQUIRED IF NOT EXISTING. REF: PW STD. DWG. P-28, P-29, P-30, P-31 & P-32.
 - CONSTRUCT UNDERGROUND STREET LIGHTING SYSTEM TO PUBLIC WORKS STANDARDS WITHIN THE LIMITS OF THE APPLICATION. SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO PUBLIC WORKS DEPARTMENT, ENGINEERING SERVICES.



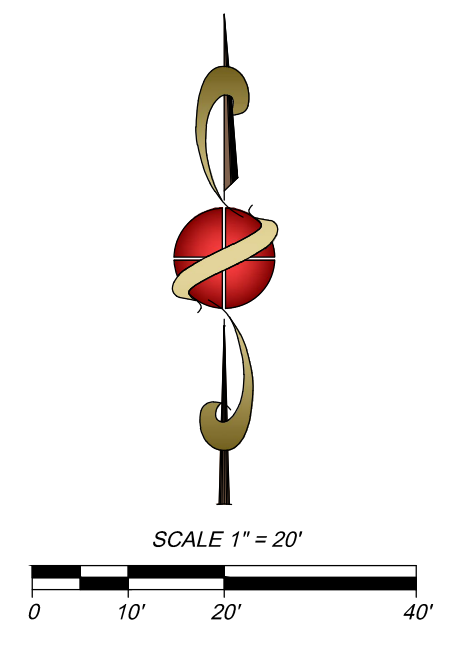
- KEYNOTES**
- PROPOSED 6" CONCRETE CURB PER CITY OF FRESNO STD. P-5
 - PROPOSED ACCESSIBLE RAMP PER DETAIL THIS SHEET
 - PROPOSED CONCRETE SIDEWALK PER CITY OF FRESNO STD. P-5
 - PROPOSED DOTTED LINE INDICATES LOCATION OF PATH OF TRAVEL FROM PUBLIC WAY AND/OR ACCESSIBLE STALL SPACES AISLE TO MAIN ENTRANCE OF TENANT SPACE
 - PROPOSED LANDSCAPE AREA
 - PROPOSED TRASH ENCLOSURE PER CITY OF FRESNO STD. P-33 THROUGH P-35
 - PROPOSED AC PAVING PER CITY OF FRESNO STD. P-21, P-22, & P-23
 - PROPOSED 30' DRIVEWAY APPROACH PER CITY OF FRESNO STANDARD P-2, P-6 & P-48. PROVIDE 10' OF RED CURB ON EITHER SIDE OF APPROACH
 - PROPOSED BICYCLE PARKING
 - PROPOSED CURB TAPER
 - PROPOSED HEAVY TANK
 - PROPOSED AIR/WATER STATION
 - PROPOSED MEDIAN PER CITY OF FRESNO STD. P-62 AND MEDIAN CURB PER CITY OF FRESNO STD. P-9. TO BE SUBMITTED ON STREET PLANS FOR REVIEW
 - PROPOSED 6" CONCRETE CURB AND GUTTER PER CITY OF FRESNO STD. P-5
 - PROPOSED SITE LIGHT
 - PROPOSED PAINTED DIRECTIONAL ARROWS
 - PROPOSED LIMIT OF SAWCUT
 - PROPOSED EV CHARGER
 - PROPOSED 4'x6' TREE WELL PER CITY OF FRESNO STD. P-8
 - INSTALL 30" STATE STANDARD "STOP" SIGN AT LOCATION SHOWN. SIGN SHOULD BE MOUNTED ON A 2" GALVANIZED POST WITH THE BOTTOM OF THE LOWEST SIGN 7" ABOVE GROUND, LOCATED BEHIND CURB AND IMMEDIATELY BEHIND MAJOR STREET SIDEWALK. INSTALL RIGHT TURN ONLY SIGN R5-5 (RIGHT) DIRECTLY BELOW
 - ADJUST UTILITY BOX TO GRADE
 - CONSTRUCT ALLEY PAVING PER CITY OF FRESNO STD. P-12
 - CONSTRUCT ALLEY APPROACH PER CITY OF FRESNO STD. P-13
 - PROPOSED STREET LIGHT WITH METAL POLE PER E-1. TO BE SUBMITTED ON STREET LIGHT PLANS FOR REVIEW
 - PROPOSED CURB RAMP PER CITY OF FRESNO STD. P-31 AND P-32
 - CONSTRUCT CONCRETE VALLEY GUTTER PER CITY OF FRESNO STD. P-10
 - PROPOSED 12" SIDEWALK PER CITY OF FRESNO STD. P-5
 - PROPOSED CURB RAMP PER CITY OF FRESNO STD. P-31 AND P-32
 - PROPOSED CURB CUT
 - PROPOSED SWALE
 - PROPOSED TREE WELL



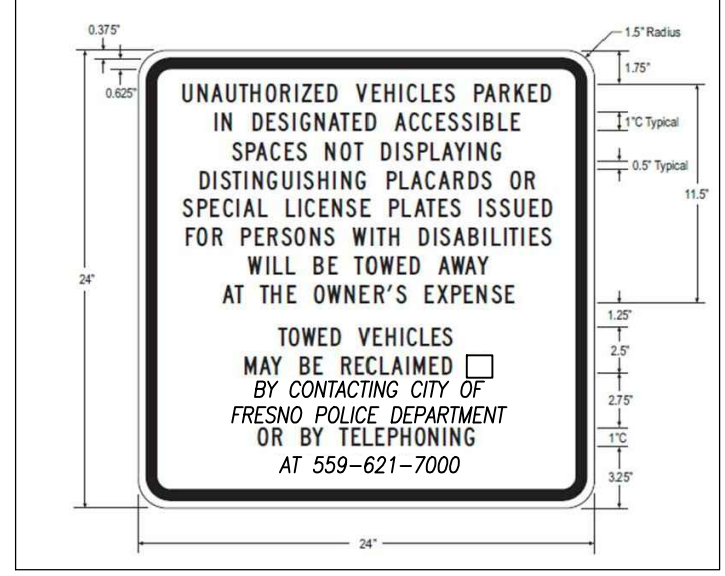
B INTERNATIONAL SYMBOL OF ACCESSIBILITY
 NOT TO SCALE



A TYPICAL VAN ACCESSIBLE PARKING STALL
 NOT TO SCALE
 NOTE: THE FIRST REQUIRED ACCESSIBLE PARKING SPACE SHALL BE VAN ACCESSIBLE



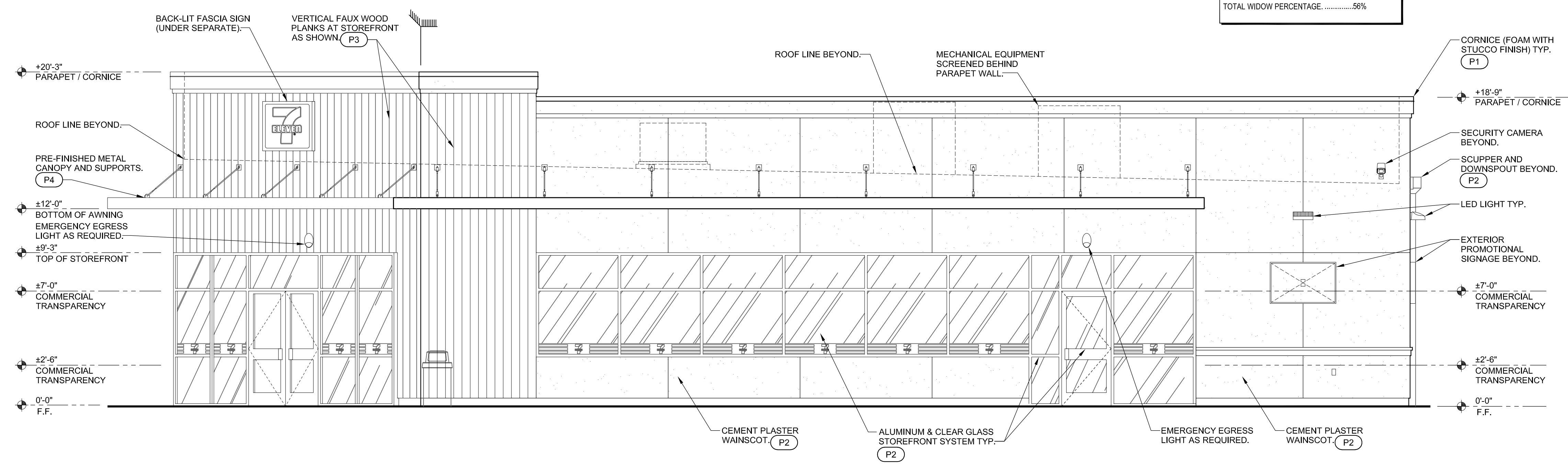
C SIGN AND SYMBOLS OF ACCESSIBILITY
 NOT TO SCALE



- NOTES:**
- THE CLEAR HEIGHT OF THE LOWEST PORTION OF THE SIGN SHALL BE A MINIMUM OF 80 INCHES ABOVE THE GROUND.
 - THE SIGN SHALL NOT BE LESS THAN 24" BY 24" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE TEXT SHOWN ABOVE.
 - THE SIGN SHALL HAVE A DARK BLUE BACKGROUND WITH WHITE LETTERING.
 - THE BLANK SPACES SHOWN ABOVE ARE TO BE FILLED IN WITH THE APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.
 - EXISTING SIGNAGE NOT IN COMPLIANCE WITH THIS DETAIL SHALL BE REPLACED PER THIS DETAIL.
 - THE SIGNAGE SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE 2013 CBC, SECTION 1129B.4 AND 2012 MUTCD CALIFORNIA SUPPLEMENT.

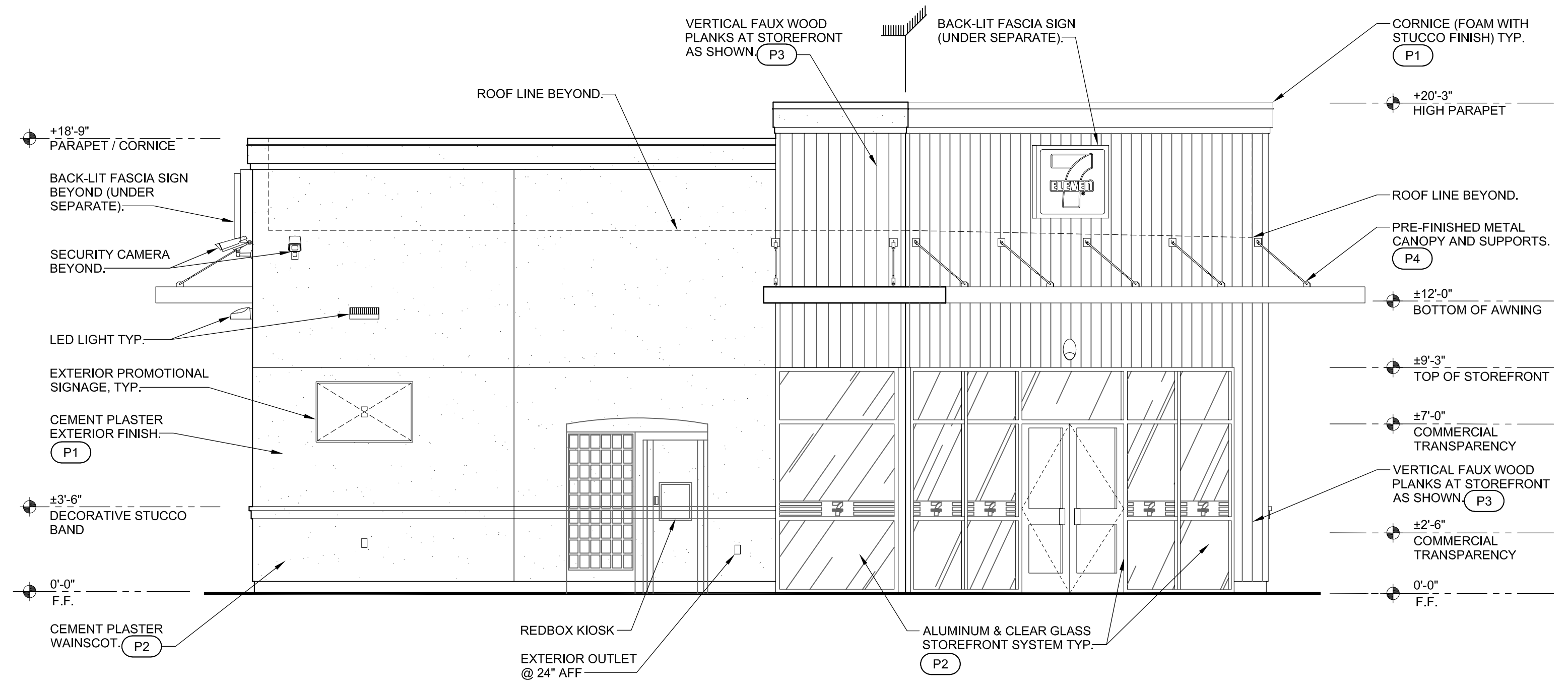
D ACCESSIBLE ENTRY SIGN
 NOT TO SCALE

| | |
|--|-------------|
| GROUND FLOOR COMMERCIAL TRANSPARENCY TABLE, REQUIRED | |
| 50% WALL AREA BETWEEN 2.5' A.F.F. TO 7'-0" A.F.F. | 487 SQ. FT. |
| WINDOW SQ. FOOTAGE PROVIDED | 275 SQ. FT. |
| TOTAL WINDOW PERCENTAGE | 56% |



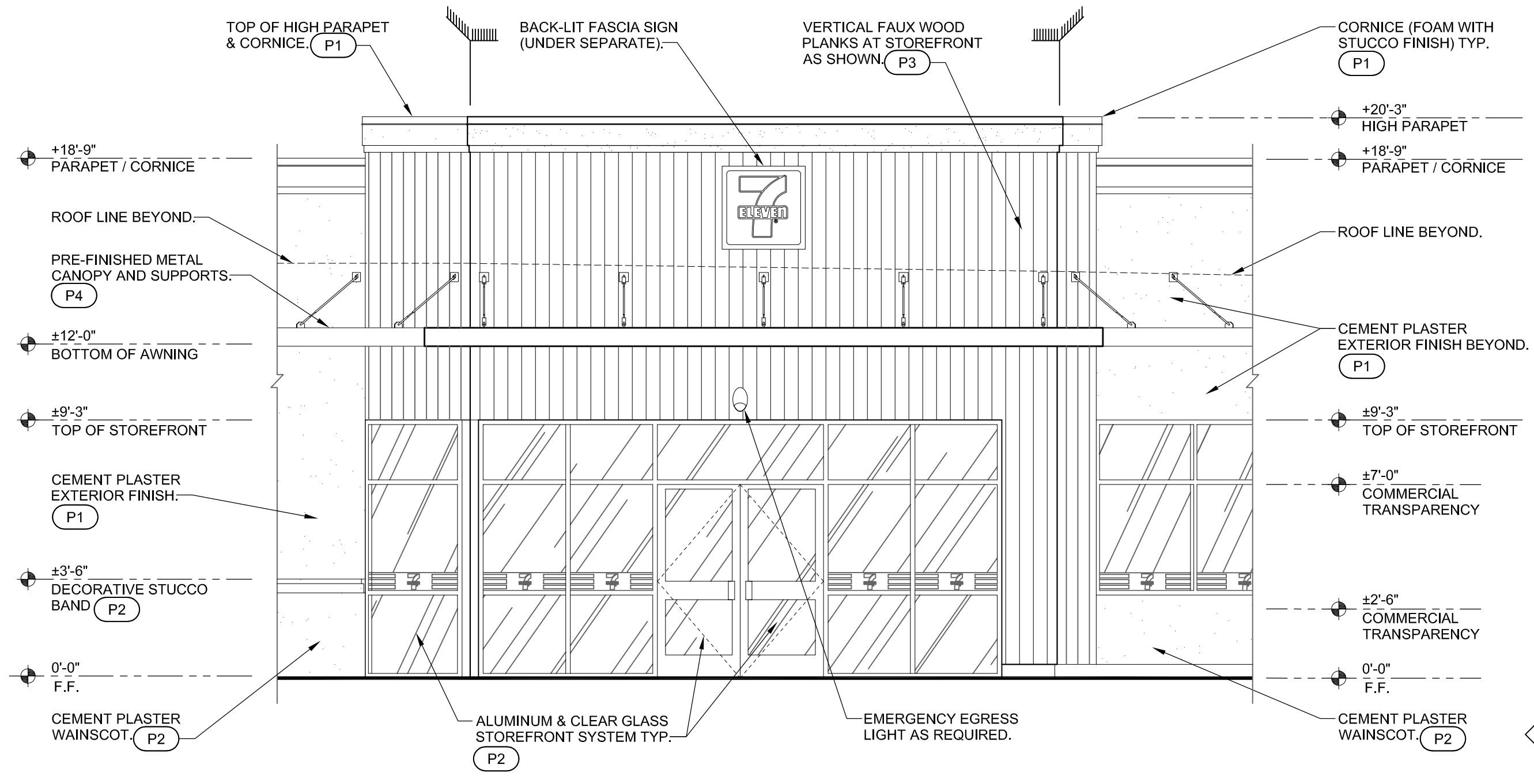
EXTERIOR ELEVATION EAST
(NORTH CEDAR AVENUE BUILDING SIDE)

SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION SOUTH
(EAST TULARE AVENUE BUILDING SIDE)

SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION SOUTH EAST CORNER
(ANGLE WALL FACING INTERSECTION)

SCALE 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



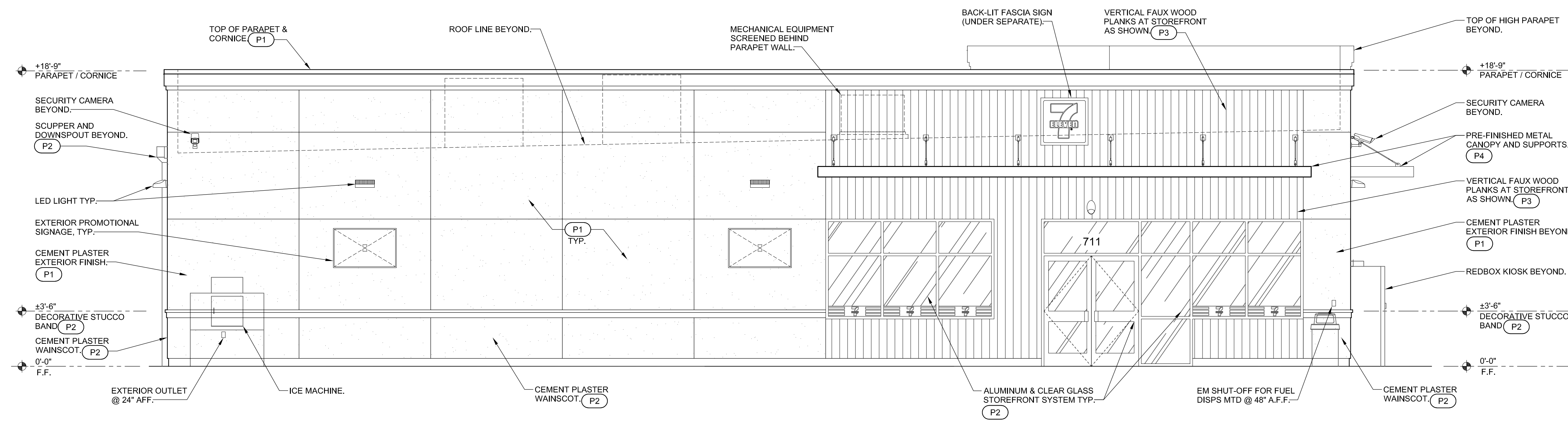
15974 N 77TH ST
SUITE 100
SCOTTSDALE
ARIZONA
85260

7-ELEVEN #—
W/GAS STATION
Cedar & Tulare
Fresno, CA

TITLE
EXTERIOR
ELEVATIONS

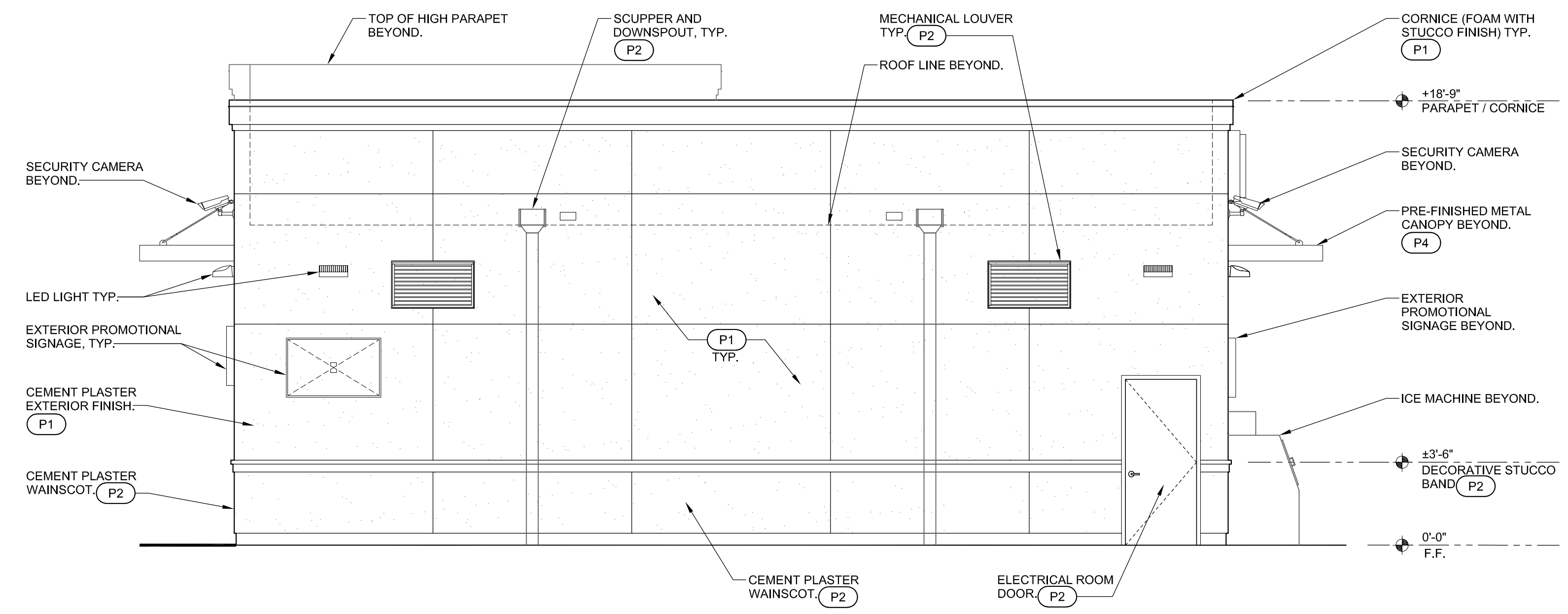
DATE
09.24.18
PROJECT NO.
18-234

A3.0



EXTERIOR ELEVATION WEST

SCALE 1/4" = 1'-0"



EXTERIOR ELEVATION NORTH

SCALE 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



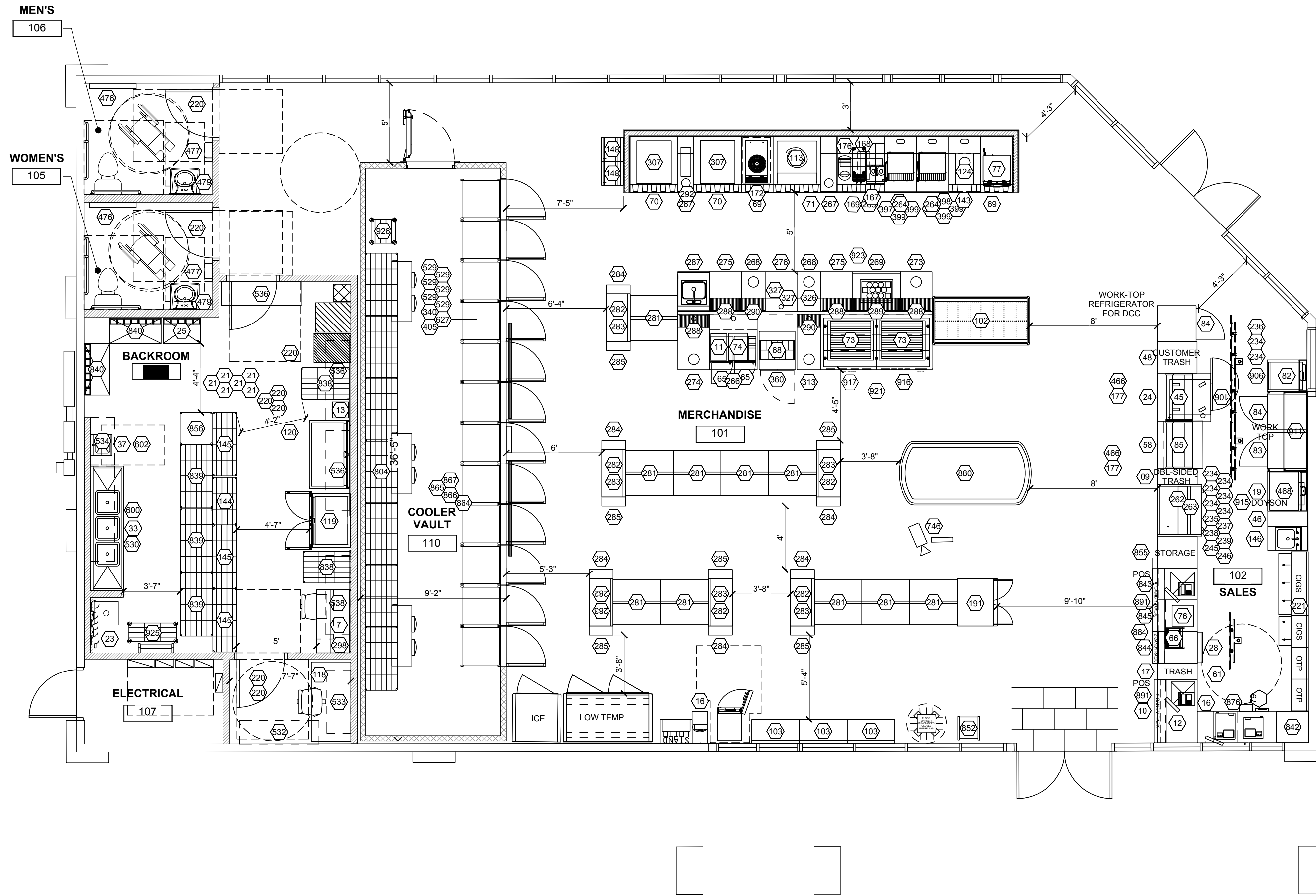
15974 N 77TH ST
SUITE 100
SCOTTSDALE
ARIZONA
85260

7-ELEVEN #—
W/GAS STATION
Cesar & Tabor
Fresno, CA

TITLE
EXTERIOR
ELEVATIONS

DATE
09.24.18
PROJECT NO.
18-234

A3.1



LAYOUT INFORMATION

| | |
|------------------|----------------|
| ROLLER GRILLS | 2 (SELF SERVE) |
| SANDWICH CASE | 9' |
| VAULT DOORS | 12 |
| LOW TEMP DOORS | 1 |
| ICE MERCH. DOORS | 1 |
| NOVELTY CASE | 1 |
| BAKERY CASE | 1 (LG) |
| SLURPEE BARRELS | 8 |

| | |
|----------------------|---------------------|
| GONDOLA UNITS (60"H) | 20 |
| END CAPS (60"H) | 06 |
| POWER WINGS | (12) - NOT IN TOTAL |
| LOW WALLS (36"H) | 03 |
| HIGH WALLS (72"H) | 00 |
| TOTAL | 29 |

| | |
|------------------|------------|
| TOTAL SQ FT | = 3,202 SF |
| SALES FLOOR AREA | = 2,114 SF |

GAS: YES LIQUOR: NO
BEER: YES WINE: YES

OCCUPANCY LOAD (>49) = 68
TRAVEL DISTANCE (<200) = 100'
COMMON PATH OF TRAVEL (<75) = 40'
RESTROOMS REQUIRED = 2
EXITS REQUIRED = 2

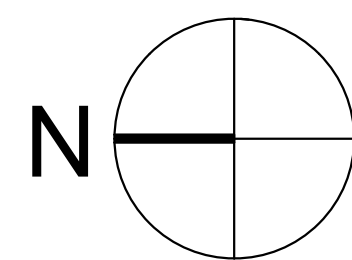
OVERHEAD SHELVES = 38 FT
FLOOR SHELVES = 35 FT

WALL TYPE LEGEND

| | |
|-------------------------|--|
| EXISTING WALL | |
| EXISTING COLUMN | |
| NEW WALL | |
| NEW PARTIAL HEIGHT WALL | |
| NEW COOLER WALL | |

OCCUPANCY CALCULATION

| | | | | | |
|--------------------|---------|---|-----|----------|------------------|
| MERCHANDISE | 1835 SF | / | 30 | = | 62 PEOPLE |
| KITCHEN / SALES | 279 SF | / | 200 | = | 2 PEOPLE |
| STORAGE/ BACK ROOM | 840 SF | / | 300 | = | 3 PEOPLE |
| OFFICE | 48 SF | / | 100 | = | 1 PERSON |
| RESTROOM | 200 SF | / | N/A | = | 0 PEOPLE |
| TOTAL | | | | = | 68 PEOPLE |



1042810 - FRESNO, CA - LAYOUT 5

4151 E. TULARE
FRESNO, CA

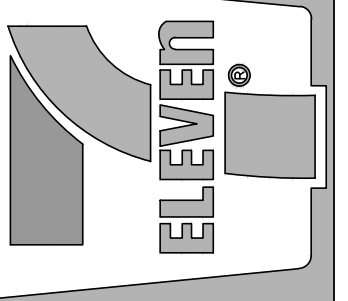
SCALE: 1/4"=1'-0"

11/12/18

APPROVED: YES NO
00/00/00

Rev. # Description Date

7-ELEVEN, INC.
3200 Hackberry Rd., Irving, Texas 75063
7-11 #1042810
4151 E. TULARE
FRESNO, CA



Job#: 2018111.33
Scale: AS NOTED
Date: 11/12/18
Drawn By: TB
Checked By: PO

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SHEET:

SOIL REPORT NOTES

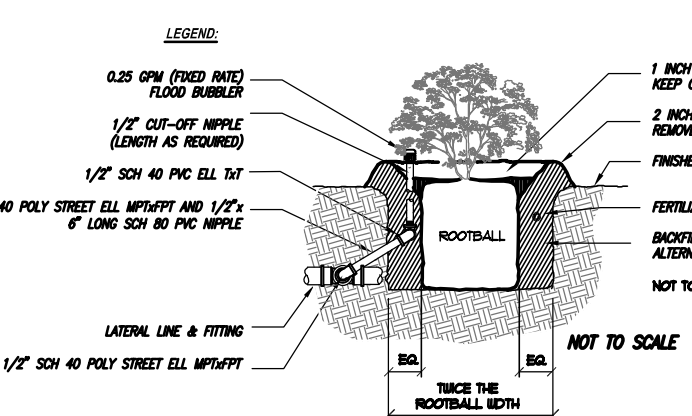
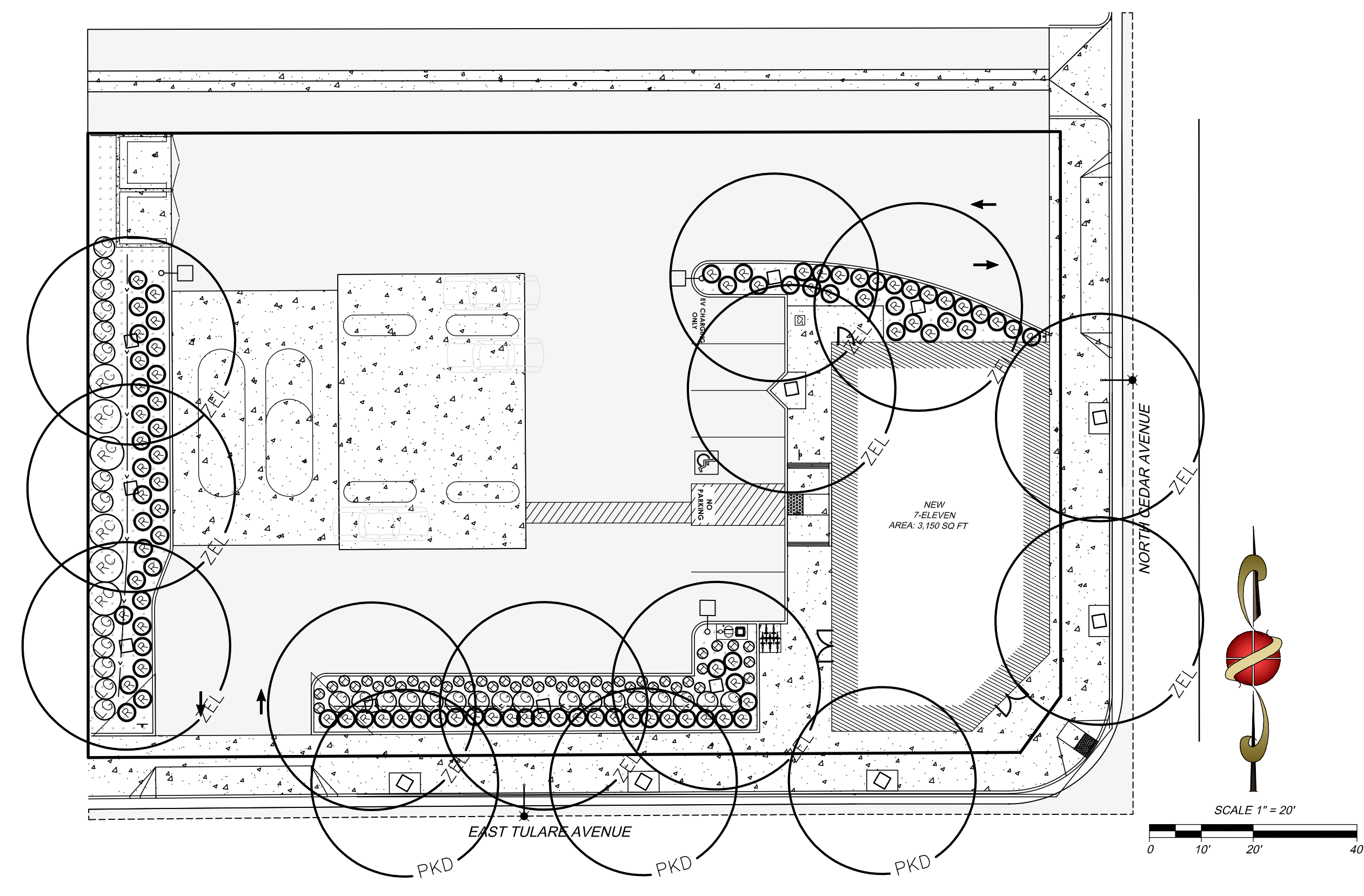
1. AFTER THE SITE HAS BEEN CLEARED OF DEBRIS AND PRIOR TO CONSTRUCTION BEGINNING, A SOILS SAMPLE IS TO BE OBTAINED TO DETERMINE SOIL FERTILITY. THE SOIL SAMPLE IS TO BE OBTAINED PER THE RECOMMENDATIONS OF THE SOIL TESTING LABORATORY. THE SOIL FERTILITY RESULTS ARE TO BE MADE AVAILABLE TO THE LANDSCAPE CONTRACTOR PRIOR TO WORK BEGINNING. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT OR PROJECT ACCEPTANCE, THE PROJECT APPLICANT OR DESIGNEE SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF THE SOIL ANALYSIS REPORT RECOMMENDATIONS WITHIN THE LANDSCAPED AREA TO THE CITY WITH THE CERTIFICATE OF COMPLETION.

PLANTING NOTES

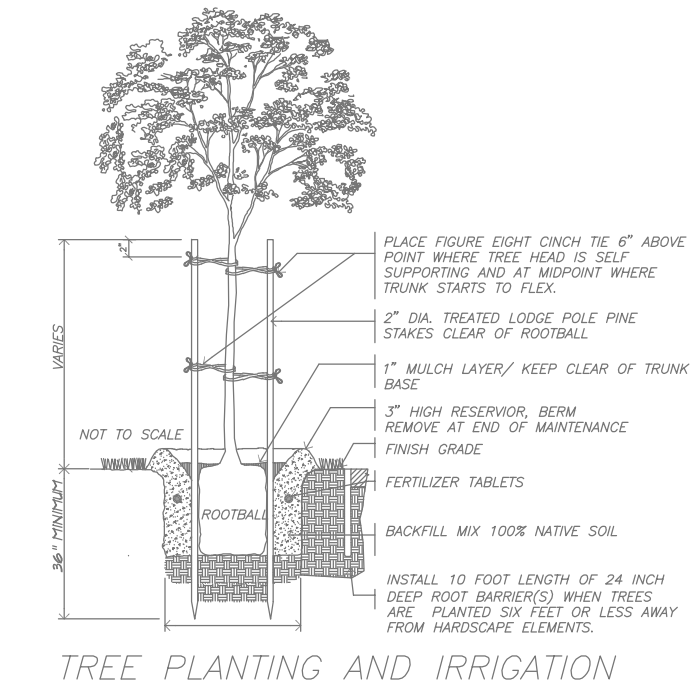
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK, MATERIALS, EQUIPMENT AND SERVICES FOR PERFORMING THE PLANTING, APPEARING ON THE CONSTRUCTION DRAWINGS FOR THE INSTALLATION OF THIS PROJECT.
 2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CLIENT REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
 4. SEE DETAILS AND SPECIFICATIONS FOR PLANTING REQUIREMENTS.
 5. THE CONTRACTOR SHALL REFER TO THE PLANS AND SPECIFICATIONS WHEN PREPARING THE BID. THE CONTRACTOR SHALL VERIFY THE AVAILABILITY OF THE PLANT MATERIAL IMMEDIATELY AFTER THE SOWING OF THE CONTRACT WITH THE OWNER. PLANTS SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID NAME AS SPECIFIED IN THE PLANT LEGEND. CONTRACTOR SHALL REFER TO THE SUNSET WESTERN GARDEN BOOK FOR COMPLETE DESCRIPTIONS OF PLANT MATERIALS. SUBSTITUTIONS OF PLANT TYPES AS SPECIFIED IN THE DRAWINGS ARE NOT ALLOWED WITHOUT PRIOR AUTHORIZATION BY THE CITY OF FRESNO AND/OR LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS SHALL BE SUBMITTED IN WRITTEN FORM. CONTRACTOR SHALL CONTACT CLIENTS REPRESENTATIVE IMMEDIATELY WITH ANY DISCREPANCY OR UNAVAILABILITY ISSUES. FAILURE TO MAKE SUCH CONTACTS KNOWN TO CLIENTS REPRESENTATIVE WILL RESULT IN THE CONTRACTOR'S RESPONSIBILITY TO REPLACE THE INAPPROPRIATE MATERIALS AT NO EXPENSE TO OWNER.
 6. ALL PLANT MATERIAL MUST BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS SHALL BE OF ADEQUATE SIZE AS SPECIFIED ON THE PLANS AND BE IN GOOD CONDITION UPON ARRIVAL AT THE PROJECT SITE. THEY SHALL BE FREE OF BROKEN LIMBS, CUTS OR ABRASIONS TO ITS TRUNK AND LIMBS, SUN SCALDED LEAVES, INSECT INFESTATIONS, DISEASES, FUNGI AND SHOW NO SIGNS OF DISTRESS FROM LACK OF WATERING. ALL SUBSTANDARD PLANT MATERIAL WILL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 7. CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
 8. NO PLANTING WORK SHALL BEGIN UNTIL THE FOLLOWING HAS BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND/OR THE CITY OF FRESNO: DRAINAGE SYSTEM, IRRIGATION SYSTEM, FINAL GRADES HAVE BEEN ESTABLISHED, SOIL PREPARATION AND PLANTING AREAS HAVE BEEN PROPERLY GRADED.
 9. FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT THE CLIENTS REPRESENTATIVE FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO PRECISION CIVIL ENGINEERING WILL RESULT IN CONTRACTOR'S RESPONSIBILITY TO RELOCATE THE MATERIALS AT NO EXPENSE TO OWNER.
 10. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DUE TO CONSTRUCTION. PROVIDE

PROTECTIVE BARRIER THROUGHOUT CONSTRUCTION.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING REQUIRED ROOT BARRIERS WHEN TREES ARE FIVE FEET OR LESS FROM HARDSCAPE AREAS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT AND RECONDITIONING THE EXISTING LANDSCAPE DAMAGED BY THIS CONSTRUCTION CONTRACT. REPLACEMENT AND RECONDITIONING WILL INCLUDE BUT NOT BE NECESSARILY LIMITED TO: RIPPING, SOIL PREPARATION, SOIL CONDITIONING, FINE GRADING AND SEEDING). TREE, SHRUB AND GROUND COVER REPLACEMENTS, ETC.
 13. LANDSCAPE AREAS TO BE ROUGH GRADED TO 4" BELOW SURROUNDING HARDSCAPE FINISHED SURFACE TO ALLOW FOR 3" MULCH LAYER.
 14. THE CONTRACTOR SHALL USE THE FOLLOWING PROCEDURES TO PREPARE BACKFILL PLANTING SOIL:
 CONTAINER BACKFILL METHOD
 MIX THE FOLLOWING MATERIALS TOGETHER ON-SITE. USE THIS AS BACKFILL MIX FOR ALL CONTAINER PLANTINGS. TO ONE CUBIC YARD ON SITE SOIL, ADD THE FOLLOWING:
 • 8 CU. FEET 4-10 MELLOCO'S 'NITRO-HUMUS' OR EQUAL COMPOSTED MATERIAL
 • 3 POUNDS 'JOHN & BOBS' SOIL OPTIMIZER, WITH 14% HUMIC ACID
 • INSTALL AGRIFORM 'LOW RELEASE' 20-10-5 FERTILIZER PELLETS AS PER RECOMMENDATIONS SEE STANDARD PLANTING DETAIL.
 15. PRIOR TO TOP DRESSING, USE PRE-EMERGENT HERBICIDE, 'MONISTAR' OR EQUAL AT A RATE SPECIFIED BY THE MANUFACTURER FOR ALL SHRUB PLANTING AREAS.
 16. THE CONTRACTOR SHALL GUARANTEE THE PLANTING AND ALL ITS COMPONENTS FOR THE TIME PERIOD SPECIFIED IN THE CONTRACT. THE GUARANTEE SHALL BEGIN AFTER THE DATE OF FINAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE AND/OR THE CITY OF FRESNO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR ASSOCIATED WITH THE GUARANTEE DURING THAT TIME PERIOD.
 17. CONTROLLED RELEASE FERTILIZE TABLETS TO BE ADDED PER MANUFACTURERS RECOMMENDATIONS.

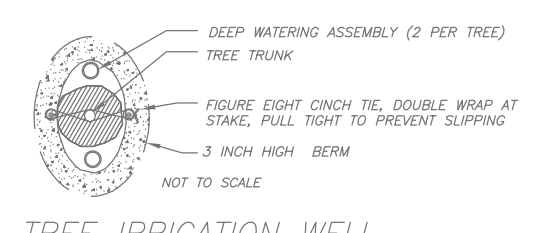
18. PRIOR TO BUILDING FINAL (OR FINAL ACCEPTANCE OF THE TRACT), ALL DOCUMENTS REQUIRED BY MWELD SHALL BE SUBMITTED IN AN ACCEPTABLE FORM TO THE CITY ENGINEERING DIVISION:
 • IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER
 • LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
 • IRRIGATION AUDIT REPORT
 • SOIL ANALYSIS REPORT
 • DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS
 • AS-BUILTS OF THE LANDSCAPE PLANTING AND IRRIGATION PLANS WHICH SHALL BE SUBMITTED THROUGH THE ENGINEER OF RECORD, AND NOT THE LANDSCAPE CONTRACTOR, OR WRITTEN CERTIFICATION BY THE LANDSCAPE ARCHITECT/CONTRACTOR THAT THE PROJECT HAS BEEN INSTALLED PER PLAN.



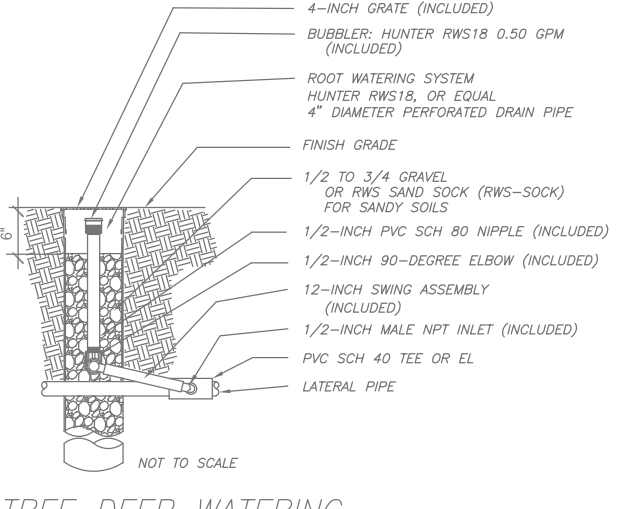
SHRUB PLANTING



TREE PLANTING AND IRRIGATION



TREE IRRIGATION WELL



TREE DEEP WATERING

PLANT LEGEND

| CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. | | | | | |
|--|---------|------|---|----------|--------------|
| SYMBOL | SIZE | QTY | SCIENTIFIC NAME COMMON NAME | COMMENTS | WUCOLS VALUE |
| TREES | | | | | |
| TREES SHALL BE PLANTED AS PER CITY OF FRESNO STANDARD | | | | | |
| TREE ROOT BARRIERS SHALL BE INSTALLED AS PER CITY OF FRESNO STANDARD | | | | | |
| PKD | 15 GAL | 2 | PISTACHE X 'KEITH DAHEY' / HYBRID PISTACHE | STANDARD | LOW |
| PKD | 15 GAL | 11 | ZELKOVA SERRATA 'VILLAGE GREEN' / JAPANESE ZELKOVA | STANDARD | LOW |
| SHRUBS | | | | | |
| SHRUBS SHALL BE PLANTED AS PER CITY OF FRESNO STANDARD | | | | | |
| ⊙ | 1 GAL | 43 | HESPERALOE PARVIFLORA / BRAKELIGHTS RED YUCCA | | MED |
| ⊙ | 5 GAL | 82 | ROSA 'FLOWER CARPET RED' | | LOW |
| ⊙ | 1 GAL | 30 | LIGUSTRUM 'TEXANUM' / WAXLEAF PRIVET | | LOW |
| ⊙ | 5 GAL | 6 | ROMNEYA COULTERI / MATILIA POPPY | | LOW |
| GROUND COVER | | | | | |
| □ | SQ. FT. | 2963 | 3 INCHES ± OF MULCH IN ALL PLANTERS - WALK-ON DECO BARK | 1000 CFB | * + |

**CITY OF FRESNO
TREE, LANDSCAPE & SHADE REQUIREMENTS**

(A) PROVIDE ONE MEDIUM SIZE TREE FOR EVERY TWO PARKING SPACES

SPACES PROVIDED: 6
 TREES REQUIRED: 3
 TREES PROVIDED: 9

(B) DISPERSIVE TREES OVER THE PARKING LOT AREA TO PROVIDE 50 PERCENT SHADING OF THE PARKING AREA SURFACE WITHIN 15 YEARS.

PARKING LOT / PAVED AREA = 10,453 SQ FT
 50% SHADE REQUIRED = 5,226 SQ FT

9 ZELKOVA 40' DIA. = 1,257 SF EA.
 OVERHEAD SHADED AREA OVER PAVING ONLY = 3,828 SF
 1 CANOPY STRUCTURE = 1,908 SF

TOTAL AREA SHADED = 5,736 SF
 PERCENT SHADE COVERAGE PROVIDED = 55%

(C) A MINIMUM OF (1) TREE FOR EVERY 2,000 SQ FT OF LOT COVERAGE

PROJECT SITE LOT AREA = 21,796 SQ FT
 ONE TREE PER 2,000 SQ. FT. = 11 TREES

TREES PROVIDED = 9 TREES

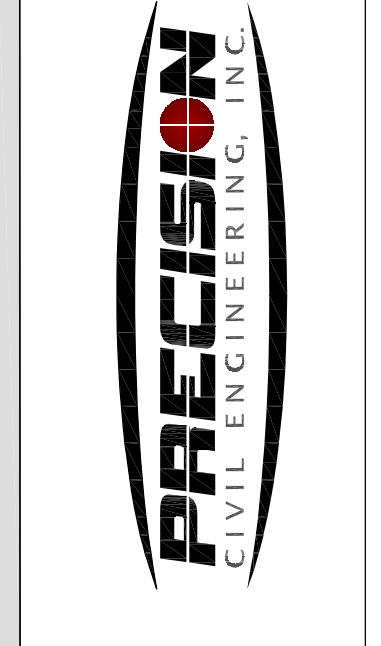
(D) A MINIMUM OF 10 PERCENT OF ANY PARKING LOT AREA SHALL BE LANDSCAPED

PARKING LOT AREA = 10,313 SQ FT
 10% LANDSCAPED REQUIRED = 1,031 SQ FT

PROPOSED LANDSCAPED AREA = 3,010 SQ FT
 = 29% LANDSCAPED

P:\CIVIL_3D_PROJECTS\2018\18-169\PRODUCTION\DRAWINGS\LANDSCAPE\18-169 LANDSCAPE.DWG 1/10/2019 3:36:47 PM

PRECISION CIVIL ENGINEERING
 1234 Q STREET, FRESNO, CALIFORNIA 93731
 TEL: 559-449-4500 FAX: 559-449-4515
 WWW.PRECISIONENGINEERING.NET



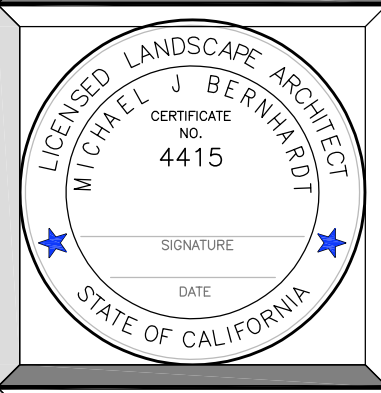
PROJECT TITLE: 7-ELEVEN GAS STATION
 SHEET DESCRIPTION: LANDSCAPE PLAN
 CITY OF: FRESNO
 COUNTY OF: FRESNO

PREPARED FOR: SKW CAPITAL
 2100 SANDERS ROAD
 NORTHBROOK, IL 60062

REVISIONS

| | |
|--|--|
| | |
| | |

DRAWN BY: DHL
 CHECKED BY: MLB
 DATE: 1/10/2019



SHEET NUMBER: 1 OF 1
 JOB NUMBER: 18-169