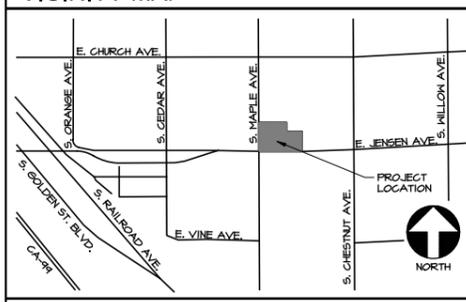


VICINITY MAP



DEMOLITION KEYNOTES

- D1. INDICATES (E) TREE TO BE REMOVED, TYP.
- D2. REMOVE (E) FENCE AT PERIMETER OF PONDING BASIN
- D3. (E) PONDING BASIN TO BE FILLED AND COMPACTED, SEE CIVIL.
- D4. (E) STORM DRAIN LINE TO BE REMOVED OR ABANDONED, SEE CIVIL.
- D5. (E) OVERHEAD POWER LINE AND POLES TO BE REMOVED
- D6. (E) OVERHEAD TELEPHONE LINE AND POLES TO BE REMOVED OR UNDERGROUND
- D7. REMOVE (E) MEDIAN AND CURB AS REQUIRED TO CONSTRUCT (N) LEFT TURN LANE, SEE CIVIL.
- D8. REMOVE (E) MEDIAN LANDSCAPING AND IRRIGATION AT AREA OF REMOVED MEDIAN, SEE CIVIL AND LANDSCAPING
- D9. RELOCATE (E) SIGNAL AHEAD SIGN VERIFY LOCATION W/ CITY OF FRESNO
- D10. REMOVE (E) CURB, GUTTER, SIDEWALK AND CURB RAMP
- D11. REMOVE AND SALVAGE (E) FIRE HYDRANT, STREET LIGHT AND OTHER EQUIPMENT AT STREET CORNER
- D12. REMOVE (E) ASPHALT DIKE BUS BAY AND BUS STOP SIGN

PROJECT DIRECTORY

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SITE GENERAL NOTES

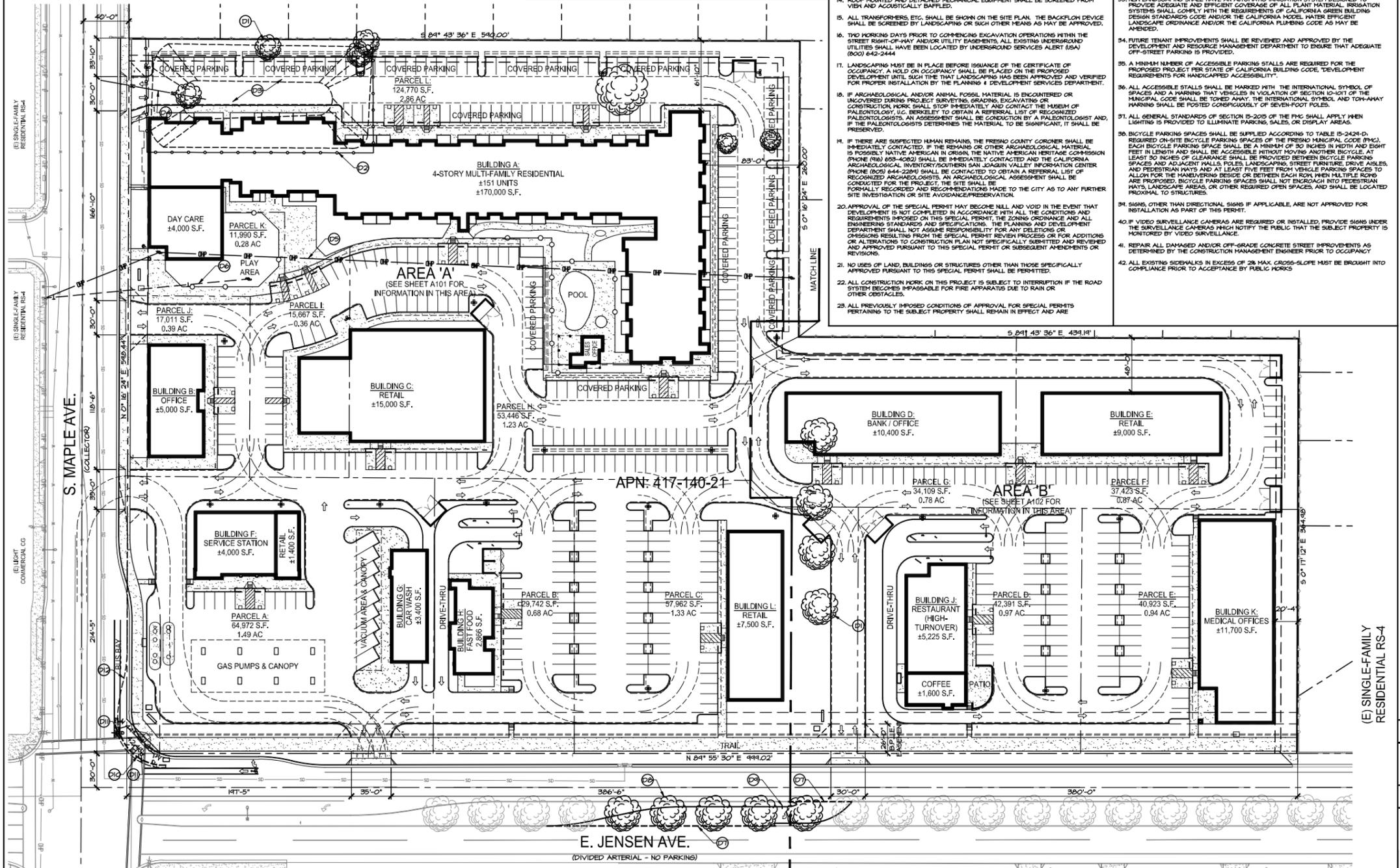
1. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AS INDICATED HEREON AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY BETWEEN THESE PLANS AND EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BID.
2. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS OF SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE SUBMITTING BIDS.
3. PROVIDE MINIMUM OF 28' CLEARANCE FROM BUILDING FOR A DISTANCE OF 5'-0" AT LANDSCAPE AREAS, IN MINIMUM AT PAVING AREAS.
4. NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY
5. PROVIDE 1/2" MAX. STEP FROM EXTERIOR DOOR THRESHOLDS TO EXTERIOR SURFACE. CHANGES IN ELEVATIONS MORE THAN 6" ALONG EXIT PATHS SHALL BE BY MEANS OF AN APPROVED RAMP.
6. LAY OUT FORMS FOR WALKWAYS AND EXTERIOR SLABS IN FIELD FOR ARCHITECT'S APPROVAL BEFORE POURING.
7. CONTRACTOR TO PROVIDE THE BUILDING DEPARTMENT WITH SOIL COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY.
8. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
9. THE APPLICANT SHALL INSTALL AN APPROVED BACKFLOP PREVENTION ASSEMBLY ADJACENT TO THE WATER METER AND SHALL BE TESTED BY AN APPROVED ALPHA CERTIFIED TESTER WITHIN 5 DAYS OF INSTALLATION WITH THE RESULTS SENT TO THE CITY UTILITIES DIVISION.
10. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL) INTO THE BUILDING FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
11. THE SOILS REPORT SHALL BE A PART OF THESE PLANS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK.
12. PROVIDE ILLUMINATED ADDRESS SIGN VISIBLE FROM THE STREET PRIOR TO FINAL INSPECTION PER FIRE DEPT. STANDARD.
13. THE SANITARY SEWER SERVICES, WATER, GAS AND OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF PAVING ON SITE.
14. ROOF MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND AESTHETICALLY BLENDED.
15. ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOP DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
16. TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND UTILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) (800) 642-2444
17. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
18. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSEL MATERIAL IS ENCOUNTERED OR UNCOVERED DURING PROJECT SURVEYING, GRADING, EXCAVATING OR CONSTRUCTION WORK SHALL STOP IMMEDIATELY AND CONTACT THE MUSEUM OF PALERONTOLOGY, U.S. BUREAU OF LAND MANAGEMENT TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALERONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALERONTOLOGIST AND, IF THE PALERONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
19. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE (916) 695-4082) SHALL BE IMMEDIATELY CONTACTED AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE (805) 844-2299) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALY RECORDED AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
20. APPROVAL OF THE SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE AND ALL ENGINEERING STANDARDS AND SPECIFICATIONS. THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR CHANGES RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
21. NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SPECIAL PERMIT SHALL BE PERMITTED.
22. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
23. ALL PREVIOUSLY IMPOSED CONDITIONS OF APPROVAL FOR SPECIAL PERMITS PERTAINING TO THE SUBJECT PROPERTY SHALL REMAIN IN EFFECT AND ARE PRESERVED.

24. ALL ACCESSIBLE PARKING STALLS SHALL BE LOCATED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM THE ACCESSIBLE PARKING STALL.
25. ALL OUTDOOR LIGHTING SHALL BE HOODED AND DIRECTED DOWNWARD SO AS TO NOT SHINE TOWARD ADJACENT PROPERTIES AND PUBLIC STREETS.
26. NO LAND SHALL BE USED, AND NO STRUCTURE SHALL BE CONSTRUCTED, OCCUPIED, DAMAGED, ALTERED, DEMOLISHED OR MOVED IN ANY ZONING DISTRICT EXCEPT IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE. SPECIFIC USES OF LAND, BUILDINGS, AND STRUCTURES AUTHORIZED IN ANY ZONING DISTRICT ARE HEREBY DECLARED TO BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE.
27. ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND HOLD BE SUBJECT TO A NEW SPECIAL PERMIT.
28. A PERMIT GRANTED UNDER THIS CODE SHALL AUTOMATICALLY EXPIRE IF IT IS NOT EXERCISED OR EXTENDED WITHIN THREE YEARS OF ITS ISSUANCE. REFER TO SECTION 15-2019, EXPIRATION OF PLANNING ENTITLEMENTS, FOR MORE INFORMATION ABOUT THE EXPIRE OF RIGHTS.
29. FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
30. TREES SHALL BE MAINTAINED BY PROPERTY OWNERS TO BE FREE FROM PHYSICAL DAMAGE OR INJURY ARISING FROM LACK OF WATER, CHEMICAL DAMAGE, ACCIDENTS, VANDALISM, INSECTS, AND DISEASE. ANY TREE SHOWING SUCH DAMAGE SHALL BE REPLACED WITH ANOTHER TREE.
31. NO TREE FOR WHICH A TREE REMOVAL PERMIT IS REQUIRED SHALL BE REMOVED UNTIL ALL CONDITIONS OF THE PERMIT HAVE BEEN SATISFIED AND THE DECISION HAS BECOME FINAL. IN ADDITION, TREES APPROVED FOR REMOVAL IN CONJUNCTION WITH A DEVELOPMENT OR ALTERATION SHALL NOT BE REMOVED BEFORE THE ISSUANCE OF A BUILDING PERMIT OR, UNLESS ALL OF THE CONDITIONS OF APPROVAL OF THE DEVELOPMENT APPLICATION ARE SATISFIED.
32. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
33. NEW LANDSCAPING SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO PROVIDE ADEQUATE BICYCLE PARKING SPACES OF THE FRESNO MUNICIPAL CODE (FMC). EACH BICYCLE PARKING SPACE SHALL BE A MINIMUM OF 30 INCHES IN WIDTH AND EIGHT FEET IN LENGTH AND SHALL BE ACCESSIBLE TO A PERSON MOVING ANOTHER BICYCLE. AT LEAST 50 INCHES OF CLEARANCE SHALL BE PROVIDED BETWEEN BICYCLE PARKING SPACES AND ADJACENT WALLS, POLES, LANDSCAPE STREET FURNITURE, DRIVE ASSES, AND PEDESTRIAN PATHS AND AT LEAST FIVE FEET FROM VEHICLE PARKING SPACES TO ALLOW FOR THE HANDLING OF BICYCLES. BICYCLE PARKING SPACES SHALL NOT BE LOCATED IN RESTAURANT MAYS, LANDSCAPE AREAS, OR OTHER REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMATE TO OTHER BICYCLE PARKING SPACES.
34. FUTURE TENANT IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT TO ENSURE THAT ADEQUATE OFF-STREET PARKING IS PROVIDED.
35. A MINIMUM NUMBER OF ACCESSIBLE PARKING STALLS ARE REQUIRED FOR THE PROPOSED PROJECT PER STATE OF CALIFORNIA BUILDING CODE, DEVELOPMENT REQUIREMENTS FOR HANDICAPPED ACCESSIBILITY.
36. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-101 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOWAWAY WARNING SHALL BE POSTED CONSPICUOUSLY AT SEVEN-FOOT POLES.
37. ALL GENERAL STANDARDS OF SECTION 15-2019 OF THE FMC SHALL APPLY WHEN LIGHTING IS PROVIDED TO ILLUMINATE PARKING, SALES, OR DISPLAY AREAS.
38. BICYCLE PARKING SPACES SHALL BE SUPPLIED ACCORDING TO TABLE 15-2401-F. REQUIRED ON-SITE BICYCLE PARKING SPACES OF THE FRESNO MUNICIPAL CODE (FMC). EACH BICYCLE PARKING SPACE SHALL BE A MINIMUM OF 30 INCHES IN WIDTH AND EIGHT FEET IN LENGTH AND SHALL BE ACCESSIBLE TO A PERSON MOVING ANOTHER BICYCLE. AT LEAST 50 INCHES OF CLEARANCE SHALL BE PROVIDED BETWEEN BICYCLE PARKING SPACES AND ADJACENT WALLS, POLES, LANDSCAPE STREET FURNITURE, DRIVE ASSES, AND PEDESTRIAN PATHS AND AT LEAST FIVE FEET FROM VEHICLE PARKING SPACES TO ALLOW FOR THE HANDLING OF BICYCLES. BICYCLE PARKING SPACES SHALL NOT BE LOCATED IN RESTAURANT MAYS, LANDSCAPE AREAS, OR OTHER REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMATE TO OTHER BICYCLE PARKING SPACES.
39. SIGNS OTHER THAN DIRECTIONAL SIGNS IF APPLICABLE ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS PERMIT.
40. IF VIDEO SURVEILLANCE CAMERAS ARE REQUIRED OR INSTALLED, PROVIDE SIGNS UNDER THE SURVEILLANCE CAMERAS WHICH NOTIFY THE PUBLIC THAT THE SUBJECT PROPERTY IS MONITORED BY VIDEO SURVEILLANCE.
41. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
42. ALL EXISTING SIDEWALKS IN EXCESS OF 26" MAX. CROSS-SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.

PROJECT INFORMATION

SITE ADDRESS:	E. JENSEN & S. MAPLE FRESNO, CA 93704
SITE PLAN REVIEW NO.:	-
APN:	480-090-60
EXISTING ZONING:	CC/LRM-2/ URM
EXISTING USE:	VACANT
PROPOSED USE:	MIXED USE, MULTI-FAMILY RESIDENTIAL, COMMERCIAL, RETAIL AND OFFICE SPACES
SITE AREA:	(83056) SQ. FT. 12.18 ACRES
BUILDING AREA:	A: FIRST FLOOR - DAY CARE 14,000 SQ. FT. A: FIRST FLOOR - RESIDENTIAL 130,500 SQ. FT. A: THIRD FLOOR - RESIDENTIAL 142,500 SQ. FT. A: FOURTH FLOOR - RESIDENTIAL 142,500 SQ. FT. TOTAL BUILDING AREA: 410,000 SQ. FT.
BUILDING B:	OFFICE 15,000 SQ. FT.
BUILDING C:	RETAIL 15,000 SQ. FT.
BUILDING D:	BANK/OFFICE 10,400 SQ. FT.
BUILDING E:	RETAIL 15,000 SQ. FT.
BUILDING F:	SERV. STATION/RETAIL 14,400 SQ. FT.
BUILDING G:	CAR WASH 13,400 SQ. FT.
BUILDING H:	FAST FOOD 2,666 SQ. FT.
BUILDING J:	RESTAURANT/COFFEE 16,825 SQ. FT.
BUILDING K:	MEDICAL OFFICES 11,700 SQ. FT.
BUILDING L:	RETAIL 17,500 SQ. FT.
BUILDING HEIGHT:	FOUR STORIES FOR RESIDENTIAL; SEE ELEVATIONS SINGLE STORY FOR COMMERCIAL; SEE ELEVATIONS
SITE COVERAGE:	22.5% (BLDG. FOOTPRINT/SITE AREA)
TYPE OF CONSTRUCTION:	V-B W FIRE SPRINKLERS
OCCUPANCY GROUP:	R-2 / B
MULTI-UNIT RESIDENTIAL PARKING:	
REQUIREMENTS PER FRESNO MUNICIPAL CODE TABLE 15-2401:	
STUDIO UNITS (33)	= MIN. 30 COVERED + 4 GUEST SPACES
ONE-BR. UNITS (53)	= MIN. 53 COVERED + 30 GUEST SPACES
TWO-BR. UNITS (65)	= MIN. 65 COVERED + 33 GUEST SPACES
TOTAL PARKING REQUIRED (910):	146 COVERED + 72 GUEST = 220 STALLS
ACCESSIBLE PARKING REQUIRED:	11 SPACES (2 VAN + 9 STANDARD)
PARKING PROVIDED:	
COVERED STALLS:	145 (91x10)
COVERED ACCESSIBLE STALLS:	8 (91x10) (2 VAN + 6 STANDARD)
UNCOVERED STALLS:	67 (91x10)
UNCOVERED ACCESSIBLE STALLS:	3 (91x10) (1 VAN + 2 STANDARD)
TOTAL STALLS:	223
FUTURE RESIDENTIAL E.V. CHARGING STATIONS: 223 X .06 = 14 MIN. REQD. (PER CALGREEN 4.106.4.2)	
COMMERCIAL PARKING:	
REQUIREMENTS PER FRESNO MUNICIPAL CODE TABLE 15-2401:	
BUILDING B: OFFICE (1,400)	= MIN. 13 SPACES
BUILDING C: RETAIL (1,450)	= MIN. 33 SPACES
BUILDING D: BANK/OFFICE (1,400/1,400)	= MIN. 26 SPACES
BUILDING E: RETAIL (1,450)	= MIN. 20 SPACES
BUILDING F: SERV. STN./RETAIL (1,250/1,450)	= MIN. 14 SPACES
BUILDING G: CAR WASH	N/A
BUILDING H: FAST FOOD (1,150)	= MIN. 14 SPACES
BUILDING J: COFFEE SHOP/RESTAURANT (1,150)	= MIN. 46 SPACES
BUILDING K: MEDICAL OFFICES (1,125)	= MIN. 43 SPACES
BUILDING L: RETAIL (1,450)	= MIN. 17 SPACES
TOTAL PARKING REQUIRED:	236 SPACES
ACCESSIBLE PARKING REQUIRED:	7 SPACES (2 VAN + 5 STANDARD)
PARKING PROVIDED:	
STANDARD STALLS:	216 (91x10)
COMPACT STALLS:	40 (91x7)
STD. ACCESS. STALLS:	14 (91x10)
VAN ACCESS. STALLS:	3 (91x10)
TOTAL STALLS:	274
(ASSUME 25% TENANT-OCCUPANTS, 75% VISITORS)	
DESIGNATED CLEAN AIR VEHICLE PARKING STALLS REQD.:	274 X .08 = 23 MIN.
FUTURE E.V. CHARGING STATIONS: 274 X .06 = 17 MIN. REQD. (PER CALGREEN 4.106.4.2)	

(E) SINGLE-FAMILY RESIDENTIAL RS-4



NOTE: BUILDING F, G, #1 ELEVATIONS PER FUTURE TENANT BRAND

NOTE: ALL E.V. CHARGING STATIONS INDICATED ARE FUTURE AND MAY BE INSTALLED AT THE OPTION OF THE OWNER. REVISIONS INDICATED ARE SUBJECT TO CHANGE AT OPTION OF OWNER

NOTE: ALL STREET PAVING IMPROVEMENTS AND REPAIRS TO BE CONSTRUCTED PER CITY OF FRESNO STANDARD P-50

NOTE: CLEAN AIR VEHICLE PARKING NOTE: PROVIDE 236 DESIGNATED CLEAN AIR VEHICLE PARKING STALLS PER DETAIL 15(A)(1), CLEAN AIR VEHICLE STALLS ARE TO BE DISTRIBUTED EVENLY THROUGHOUT NEW PARKING STALLS SERVING COMMERCIAL BUILDINGS (CALGREEN 5.106.5.2)

NOTE: ALL WALKWAYS TO HAVE MAX. 5% SLOPE IN DIRECTION OF TRAVEL AND MAX. 1.5% CROSS SLOPE

NOTE: SUPPORT STRUCTURE AT AT GARPORTS/SHADE CANOPIES NOT TO BE LOCATED WITHIN PARKING STALL OR ACCESS AISLE BOUNDARIES

NOTE: WALKING ACCESS IS REQUIRED TO REACH BUILDING OPENINGS WITHIN 200 FT. OF A PAVED SURFACE DESIGNED FOR FIRE APPARATUS USE. REQUIRED WALKING ACCESS SHALL BE DESIGNED TO PREVENT SHARP TURNS OR OBSTACLES THAT WOULD HINDER THE CARRYING OF GROUND LADDERS AND OTHER HAND-HELD EQUIPMENT. GATES SHALL BE A MINIMUM OF 4 FEET IN WIDTH IF THEY ARE USED IN THE WALKING ACCESS PATH.

NOTE: ALL PEDESTRIAN GATES (WHERE PROVIDED) FOR COMPLIANCE OF THE 200' RULE SHALL REMAIN UNLOCKED OR BE PROVIDED WITH POLICE/FIRE BYPASS LOCKS OR BESTX-1 LOCK BOX (BEST PADLOCK MODEL 2B100 SERIES).

SITE MASTER PLAN

SCALE: 1" = 40'-0"

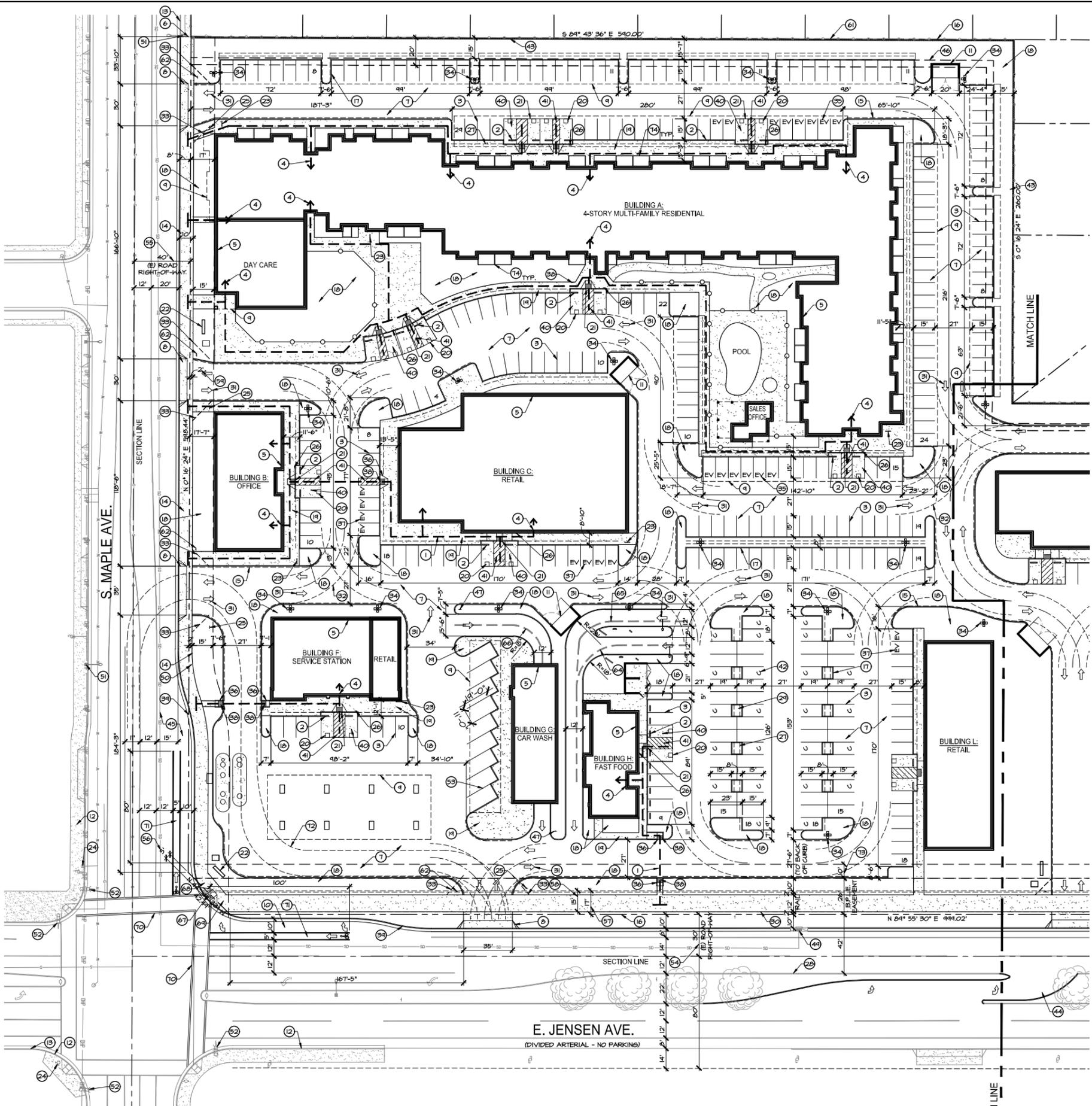


NO.	DATE	DESCRIPTION
1	10/19/2020	C.U.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

SITE MASTER PLAN

PROJECT NO. 19-008.00
DRAWING A100
www.tgrouparchitects.com



KEYNOTES

- (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)
- DASHED LINE INDICATES CONTINUOUS ACCESSIBLE PATH-OF-TRAVEL (2% MAX. SLOPE, 15% MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY & ACCESSIBLE PARKING TO BUILDING ENTRANCES, TYP.; MIN. 48" WIDE; SEE CIVIL DRAWINGS
 - INDICATES (N) CONCRETE WHEEL STOP; SEE DETAIL 12/A101
 - INDICATES (N) PAINTED WHITE PARKING STRIPE, TYP.
 - ACCESSIBLE BUILDING ENTRANCE AT PROPOSED (N) BUILDING
 - INDICATES (N) PROPOSED BUILDING FOOTPRINT, TYP.
 - (N) CONCRETE SIDEWALK TO FLUSH WITH (E) SIDEWALK PER DETAIL 10/A101
 - (N) AC PARKING LOT PAVEMENT PER FRESNO P.J. STDS. P-21, P-22, & P-23. EXTENT OF (N) PAVEMENT AS INDICATED ON CIVIL DRAWINGS.
 - (N) DRIVEWAY APPROACH PER FRESNO P.J. STDS. P-2 & P-6
 - INDICATES CANOPY OR ROOF OVERHANG
 - (N) RIGHT TURN/DECELERATION LANE
 - (N) SOLID-WASTE ENCLOSURE BASED ON CITY OF FRESNO P.J. STDS. P-33 & P-34
 - (E) CONCRETE SIDEWALK, CURB AND GUTTER TO REMAIN
 - CONCRETE CURB & GUTTER TO REMAIN WHERE INDICATED
 - (N) CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER FRESNO P.J. STD. P-5
 - DASHED LINE INDICATES DRIVE AISLES IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 225001. DESIGNATE CURBS AS FIRE LANES (RED CURB WITH "FIRE LANE" IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGNS EVERY 50 FEET), TYP.
 - INDICATES PROPERTY LINE, TYP.
 - (N) 6" RAISED CONCRETE CURB PER DETAILS 8 & 9/A101 AND CIVIL DRAWINGS, TYP.
 - (N) LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR SCOPE OF (N) LANDSCAPING
 - (N) CONCRETE SLAB/SIDEWALK; 1:20 MAX. SLOPE, 15% MAX. CROSS-SLOPE; SEE CIVIL DRAWINGS & DETAILS 6 & 7/A101; LIGHT BROOM FINISH, TYP.; PROVIDE FIBER EXPANSION JOINT WHERE WALKWAY MEETS BUILDING FOOTINGS; SLOPE MIN. 15% AWAY FROM BUILDING
 - (N) VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES, PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A101
 - (N) PAVEMENT FLUSH WITH CURB OR WALK, TYP. AT ACCESSIBLE STALLS AND ACCESS AISLES
 - (N) PROPOSED MONUMENT SIGNAGE LOCATION, SIGNAGE UNDER SEPARATE PERMIT
 - (N) BICYCLE RACK W/ MIN. 3 BICYCLE CAPACITY (SHORT TERM); SEE SPECIFICATIONS
 - (E) FIRE HYDRANT
 - (N) PARKING ENTRANCE SIGN, SEE DETAIL 4/A101
 - (N) PARKING SIGN FOR ACCESSIBLE SPACES, TYP.; SEE DETAIL 5/A101
 - INDICATES (N) 36" VEHICLE BUMPER OVERHANG, TYP.
 - (E) MEDIAN ISLAND
 - (N) TREE HELL PLANTER, TYP.; ALL TREES TO BE LOCATED OUTSIDE OF 3' BUMPER OVERHANG AREA
 - (N) 12" MAJOR STREET TRAIL W/ 26" BIKE/PEDESTRIAN EASEMENT PER CITY OF FRESNO P.J. STDS. P-58 OR P-59 & P-60; SEE CIVIL DRAWINGS
 - (N) DIRECTIONAL ARROW PAINTED WHITE PER DETAIL 27/A101
 - INDICATES 20' WIDE TURNING RADIUS W/ 44' CENTER RADIUS, TYP.
 - INDICATES 12 FT. MIN. VISIBILITY TRIANGLE EA. SIDE OF DRIVEWAY PER F.M.C. 15-2018B
 - (N) SITE LIGHTING STANDARD; SEE ELECTRICAL DRAWINGS
 - FUTURE E.V. CHARGING STATIONS PER CALGREEN RESIDENTIAL MANDATORY MEASURES SECTION 4.106.4.2; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
 - (N) SIDEWALK TRANSITION RAMP; 2% MAX. SLOPE
 - FUTURE E.V. CHARGING STATIONS PER CALGREEN NON-RESIDENTIAL MANDATORY MEASURES SECTION 5.106.5.3; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
 - INDICATES (N) CONT. TRUNCATED DOME DETECTABLE WARNING SURFACE, TYP. PER DETAIL 27/A101
 - (N) CONCRETE CURB AND GUTTER PER CITY OF FRESNO P.J. STD. P-5 WHERE OCCURS, TYP. SEE CIVIL
 - (N) ACCESSIBLE PARKING STALL(S), TYP.; SEE TYP. DETAILS 18 & 14/A101
 - (N) PAINTED WHITE STRIPING AT 3'-0" O.C. AT PEDESTRIAN AISLE
 - INDICATES COMPACT CAR STALL, TYP.
 - (N) 6 FT. HIGH MIN. CMU WALL
 - (N) MEDIAN ISLAND LEFT TURN POCKET IN (E) MEDIAN PER CITY OF FRESNO P.J. STDS. P-42 & P-45; SEE CIVIL DRAWINGS
 - (N) 80' BUS BAY/ACCELERATION LANE PER CITY OF FRESNO P.J. STD. P-73; SEE CIVIL DRAWINGS
 - INDICATES LIMIT OF TYPE 2 LANDSCAPE BUFFER PER F.M.C. TABLE B-2305-C1
 - (N) "EXIT ONLY" SIGN
 - (E) DECORATIVE GUARDRAIL AT PERIMETER OF PATIO SEATING AREA
 - (E) STORM DRAIN INLET TO REMAIN
 - (E) BUS STOP SIGN; RELOCATE AS REQUIRED FOR NEW BUS BAY CONSTRUCTION
 - (E) STREET LIGHT ON METAL POLE, TYP.
 - (E) TRAFFIC SIGNAL, TYP.
 - (N) CAR WASH VACUUM STATIONS UNDER CANOPY; STATIONS 11" x 11", TYP.
 - (E) 30' ROAD RIGHT-OF-WAY FOR ROAD PURPOSES AS GRANTED TO THE COUNTY OF FRESNO BY INSTRUMENT RECORDED NOVEMBER 1 1949 IN BOOK 171 PAGE 43 OF DEEDS FRESNO COUNTY OFFICIAL RECORDS
 - (E) 40' WIDE ROAD RIGHT-OF-WAY FOR ROAD PURPOSES AS GRANTED TO THE COUNTY OF FRESNO RECORDED NOVEMBER 4 1965 IN BOOK 5236 PAGE 570 FRESNO COUNTY OFFICIAL RECORDS
 - (E) ROAD RIGHT-OF-WAY FOR PUBLIC STREET PURPOSES AS GRANTED TO THE COUNTY OF FRESNO BY INSTRUMENT NO. 61860 RECORDED MAY 24, 1974 IN BOOK 1243 PAGE 902 FRESNO COUNTY OFFICIAL RECORDS
 - (E) STORM DRAIN EASEMENT AS GRANTED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT BY INSTRUMENT NO. 2003-000498B RECORDED JANUARY 14, 2003 FRESNO COUNTY OFFICIAL RECORDS
 - (E) RIGHT-OF-WAY AND STORM DRAIN EASEMENT AS GRANTED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT BY INSTRUMENT NO. 2000-005471 RECORDED JANUARY 14, 2003 FRESNO COUNTY OFFICIAL RECORDS
 - (N) PROPOSED PEDESTRIAN EASEMENT
 - (E) BLOCK WALL TO REMAIN
 - (N) 6'-0" RESIDENTIAL WOODEN FENCE TO REMAIN
 - (N) 30' POLE-MOUNTED STATE STANDARD STOP SIGN
 - INDICATES STACKING AREA AT DRIVE-THRU; 280' LONG ACCOMMODATING 415 VEHICLES
 - INDICATES STACKING AREA AT DRIVE-THRU; 163' LONG ACCOMMODATING 410 VEHICLES
 - INDICATES STACKING AREA AT ALT. DRIVE-THRU LANE; 104' LONG ACCOMMODATING 45 VEHICLES
 - INDICATES STACKING AREA AT CARWASH; 81' LONG ACCOMMODATING 45 VEHICLES
 - (N) CURB CUT RAMP
 - SALVAGED TRAFFIC SIGNALS AND POLE RELOCATED TO INDICATED POSITION
 - SALVAGED FIRE HYDRANT RELOCATED TO INDICATED POSITION
 - (N) CROSSWALK STRIPING; (E) STRIPING TO BE REMOVED
 - (N) BIKE LANE
 - INDICATES PATH-OF-TRAVEL AND REQUIRED CLEARANCES FOR FUEL RESUPPLY TRUCK
 - INDICATES BOUNDARY OF OFFER OF DEDICATION FOR FUTURE RIGHT-OF-WAY AND/OR TRAIL PURPOSES
 - PATIO ENCLOSURE FOR APARTMENT UNIT, TYP.

SHEET A102

LEGEND

---	PROPERTY LINE
---	CENTERLINE
---	EASEMENT BOUNDARY
---	36" BUMPER OVERHANG
⊕	SITE LIGHTING FIXTURE
○	(E) MANHOLE
⊕	(E) STREET VALVE
⊕	(E) FIRE HYDRANT
⊕	(E) UTILITY POLE



DATE	DESCRIPTION
10/19/2020	C.U.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
 FRESNO, CA

ENLARGED PARTIAL SITE PLAN - AREA 'A'

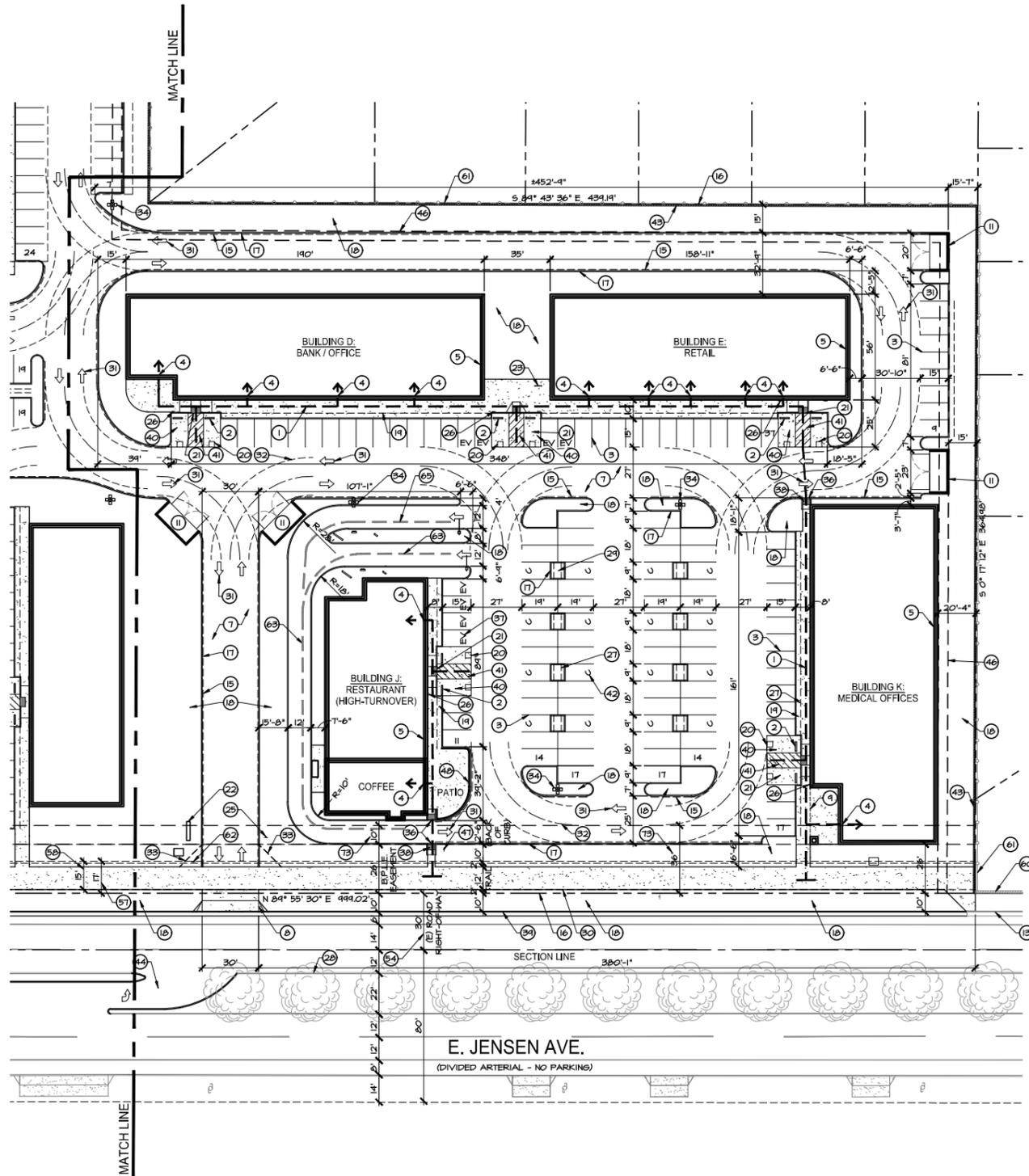
ENLARGED PARTIAL SITE PLAN - AREA 'A'



SCALE: 1" = 30'-0"

PROJECT NO. 19-008.00
 DRAWING A101
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SHEET A101



KEYNOTES

(NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

1. DASHED LINE INDICATES CONTINUOUS ACCESSIBLE PATH-OF-TRAVEL (2% MAX. SLOPE, 15% MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY & ACCESSIBLE PARKING TO BUILDING ENTRANCES, TYP.; MIN. 48" WIDE; SEE CIVIL DRAWINGS
2. INDICATES (N) CONCRETE WHEEL STOP; SEE DETAIL 12/A101
3. INDICATES (N) PAINTED WHITE PARKING STRIPE, TYP.
4. ACCESSIBLE BUILDING ENTRANCE AT PROPOSED (N) BUILDING
5. INDICATES (N) PROPOSED BUILDING FOOTPRINT, TYP.
6. (N) CONCRETE SIDEWALK TO FLUSH WITH (E) SIDEWALK PER DETAIL 10/A101
7. (N) AC PARKING LOT PAVEMENT PER FRESNO P.J.L. STDS. P-21, P-22, & P-23. EXTENT OF (N) PAVEMENT AS INDICATED ON CIVIL DRAWINGS.
8. (N) DRIVEWAY APPROACH PER FRESNO P.J.L. STDS. P-2 & P-6
9. INDICATES CANOPY OR ROOF OVERHANG
10. (N) RIGHT TURN/DECELERATION LANE
11. (N) SOLID-WASTE ENCLOSURE BASED ON CITY OF FRESNO P.J.L. STDS. P-33 & P-34
12. (E) CONCRETE SIDEWALK, CURB AND GUTTER TO REMAIN
13. (E) CONCRETE CURB & GUTTER TO REMAIN WHERE INDICATED
14. (N) CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER FRESNO P.J.L. STD. P-5
15. DASHED LINE INDICATES DRIVE AISLES IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 225001. DESIGNATE CURBS AS FIRE LANES (RED CURB WITH "FIRE LANE" IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGNS EVERY 50 FEET), TYP.
16. INDICATES PROPERTY LINE, TYP.
17. (N) 6" RAISED CONCRETE CURB PER DETAILS 8 & 9/A101 AND CIVIL DRAWINGS, TYP.
18. (N) LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR SCOPE OF (N) LANDSCAPING
19. (N) CONCRETE SLAB/SIDEWALK; 1:20 MAX. SLOPE, 15% MAX. CROSS-SLOPE; SEE CIVIL DRAWINGS & DETAILS 6 & 7/A101; LIGHT BROOM FINISH, TYP.; PROVIDE FIBER EXPANSION JOINT WHERE SIDEWALK MEETS BUILDING FOOTINGS; SLOPE MIN. 15% AWAY FROM BUILDING
20. (N) VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A101
21. (N) PAVEMENT FLUSH WITH CURB OR WALK, TYP. AT ACCESSIBLE STALLS AND ACCESS AISLES
22. (N) PROPOSED MONUMENT SIGNAGE LOCATION, SIGNAGE UNDER SEPARATE PERMIT
23. (N) BICYCLE RACK W/ MIN. 3 BICYCLE CAPACITY (SHORT TERM); SEE SPECIFICATIONS
24. (E) FIRE HYDRANT
25. (N) PARKING ENTRANCE SIGN, SEE DETAIL 4/A101
26. (N) PARKING SIGN FOR ACCESSIBLE SPACES, TYP.; SEE DETAIL 5/A101
27. INDICATES (N) 36" VEHICLE BUMPER OVERHANG, TYP.
28. (E) MEDIAN ISLAND
29. (N) TREE HELL PLANTER, TYP.; ALL TREES TO BE LOCATED OUTSIDE OF 3' BUMPER OVERHANG AREA
30. (N) 12" MAJOR STREET TRAIL W/ 26" BIKE/PEDESTRIAN EASEMENT PER CITY OF FRESNO P.J.L. STDS. P-58 OR P-59 & P-60; SEE CIVIL DRAWINGS
31. (N) DIRECTIONAL ARROW PAINTED WHITE PER DETAIL 21/A101
32. INDICATES 20' WIDE TURNING RADIUS W/ 44' CENTER RADIUS, TYP.
33. INDICATES 12 FT. MIN. VISIBILITY TRIANGLE EA. SIDE OF DRIVEWAY PER F.M.C. 15-2018B
34. (N) SITE LIGHTING STANDARD; SEE ELECTRICAL DRAWINGS
35. FUTURE E.V. CHARGING STATIONS PER CALGREEN RESIDENTIAL MANDATORY MEASURES SECTION 4.106.4.2; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
36. (N) SIDEWALK TRANSITION RAMP; 2% MAX. SLOPE
37. FUTURE E.V. CHARGING STATIONS PER CALGREEN NON-RESIDENTIAL MANDATORY MEASURES SECTION 5.106.5.3; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
38. INDICATES (N) CONT. TRUNCATED DOME DETECTABLE WARNING SURFACE, TYP. PER DETAIL 21/A101
39. (N) CONCRETE CURB AND GUTTER PER CITY OF FRESNO P.J.L. STD. P-5 WHERE OCCURS, TYP. SEE CIVIL
40. (N) ACCESSIBLE PARKING STALL(S), TYP.; SEE TYP. DETAILS 18 & 14/A101
41. (N) PAINTED WHITE STRIPING AT 3'-0" O.C. AT PEDESTRIAN AISLE
42. INDICATES COMPACT CAR STALL, TYP.
43. (N) 6 FT. HIGH MIN. CHU WALL
44. (N) MEDIAN ISLAND LEFT TURN POCKET IN (E) MEDIAN PER CITY OF FRESNO P.J.L. STDS. P-42 & P-43; SEE CIVIL DRAWINGS
45. (N) 80' BUS BAY/ACCELERATION LANE PER CITY OF FRESNO P.J.L. STD. P-73; SEE CIVIL DRAWINGS
46. INDICATES LIMIT OF TYPE 2 LANDSCAPE BUFFER PER F.M.C. TABLE B-2305-C1
47. (N) "EXIT ONLY" SIGN
48. (N) DECORATIVE GUARDRAIL AT PERIMETER OF PATIO SEATING AREA
49. (E) STORM DRAIN INLET TO REMAIN
50. (E) BUS STOP SIGN; RELOCATE AS REQUIRED FOR NEW BUS BAY CONSTRUCTION
51. (E) STREET LIGHT ON METAL POLE, TYP.
52. (E) TRAFFIC SIGNAL, TYP.
53. (N) CAR WASH VACUUM STATIONS UNDER CANOPY; STATIONS 11'4" x 1'10", TYP.
54. (E) 30' ROAD RIGHT-OF-WAY FOR ROAD PURPOSES AS GRANTED TO THE COUNTY OF FRESNO BY INSTRUMENT RECORDED NOVEMBER 1 1949 IN BOOK 171 PAGE 43 OF DEEDS FRESNO COUNTY OFFICIAL RECORDS
55. (E) 40' WIDE ROAD RIGHT-OF-WAY FOR ROAD PURPOSES AS GRANTED TO THE COUNTY OF FRESNO RECORDED NOVEMBER 4 1965 IN BOOK 5236 PAGE 570 FRESNO COUNTY OFFICIAL RECORDS
56. (E) ROAD RIGHT-OF-WAY FOR PUBLIC STREET PURPOSES AS GRANTED TO THE COUNTY OF FRESNO BY INSTRUMENT NO. 61860 RECORDED MAY 24, 1974 IN BOOK 1243 PAGE 402 FRESNO COUNTY OFFICIAL RECORDS
57. (E) STORM DRAIN EASEMENT AS GRANTED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT BY INSTRUMENT NO. 2003-0004986 RECORDED JANUARY 14, 2003 FRESNO COUNTY OFFICIAL RECORDS
58. (E) RIGHT-OF-WAY AND STORM DRAIN EASEMENT AS GRANTED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT BY INSTRUMENT NO. 2000-005471 RECORDED JANUARY 14, 2003 FRESNO COUNTY OFFICIAL RECORDS
59. (N) PROPOSED PEDESTRIAN EASEMENT
60. (E) BLOCK WALL TO REMAIN
61. (E) 6'-0" RESIDENTIAL WOODEN FENCE TO REMAIN
62. (N) POLE-MOUNTED STATE STANDARD STOP SIGN
63. INDICATES STACKING AREA AT DRIVE-THRU; 280' LONG ACCOMMODATING 415 VEHICLES
64. INDICATES STACKING AREA AT DRIVE-THRU; 163' LONG ACCOMMODATING 410 VEHICLES
65. INDICATES STACKING AREA AT ALT. DRIVE-THRU LANE; 104' LONG ACCOMMODATING 45 VEHICLES
66. INDICATES STACKING AREA AT CARWASH; 81' LONG ACCOMMODATING 45 VEHICLES
67. (N) CURB CUT RAMP
68. SALVAGED TRAFFIC SIGNALS AND POLE RELOCATED TO INDICATED POSITION
69. SALVAGED FIRE HYDRANT RELOCATED TO INDICATED POSITION
70. (N) CROSSWALK STRIPING; (E) STRIPING TO BE REMOVED
71. (N) BIKE LANE
72. INDICATES PATH-OF-TRAVEL AND REQUIRED CLEARANCES FOR FUEL RESUPPLY TRUCK
73. INDICATES BOUNDARY OF OFFER OF DEDICATION FOR FUTURE RIGHT-OF-WAY AND/OR TRAIL PURPOSES
74. PATIO ENCLOSURE FOR APARTMENT UNIT, TYP.

LEGEND

- PROPERTY LINE
- CENTERLINE
- EASEMENT BOUNDARY
- 36" BUMPER OVERHANGS
- ☼ SITE LIGHTING FIXTURE
- (E) MANHOLE
- ⊕ (E) STREET VALVE
- ⊕ (E) FIRE HYDRANT
- ⊕ (E) UTILITY POLE



SCALE: 1" = 30'-0"

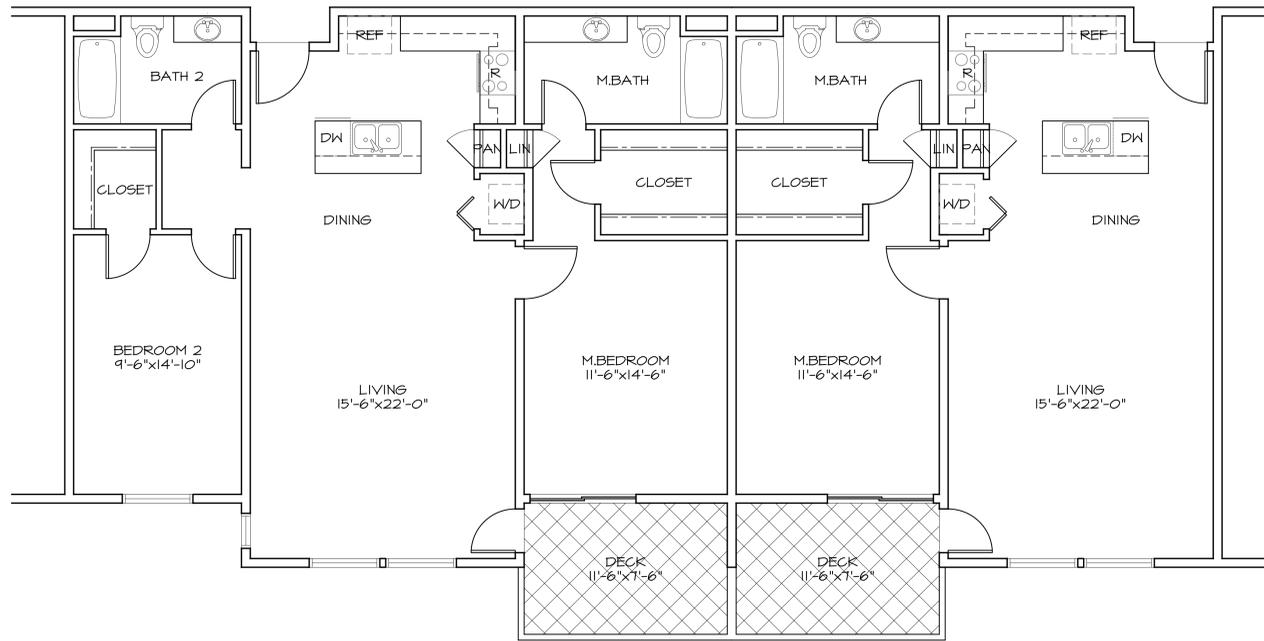
ENLARGED PARTIAL SITE PLAN - AREA 'B'



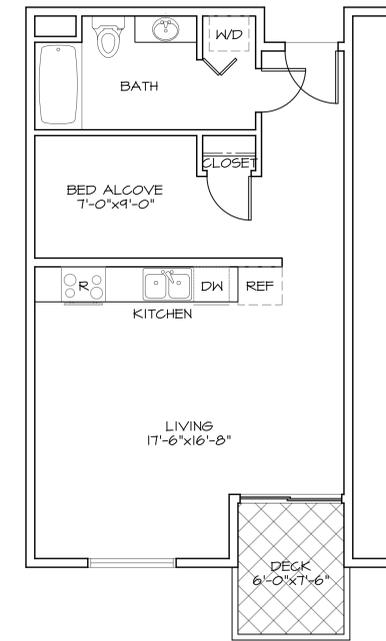
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1	10/19/2020	C.I.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
 BDM BUILDERS
 EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
 FRESNO, CA
 ENLARGED PARTIAL SITE PLAN - AREA 'B'

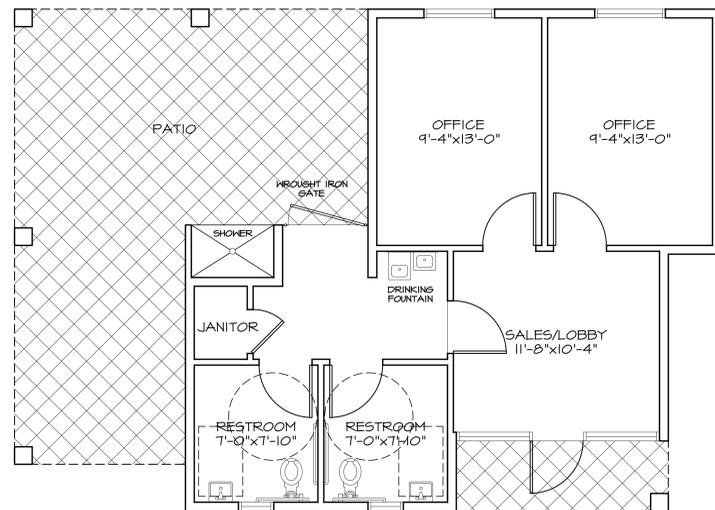
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 DRAWING A102
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2 BEDROOM UNIT (±1,130 SQ. FT.)



STUDIO UNIT (±590 SQ. FT.)



SALES OFFICE / COMMUNE AREA (±650 SQ. FT.)

COMM. CENTER - STUDIO - 1-BED & 2-BED FLOOR PLANS

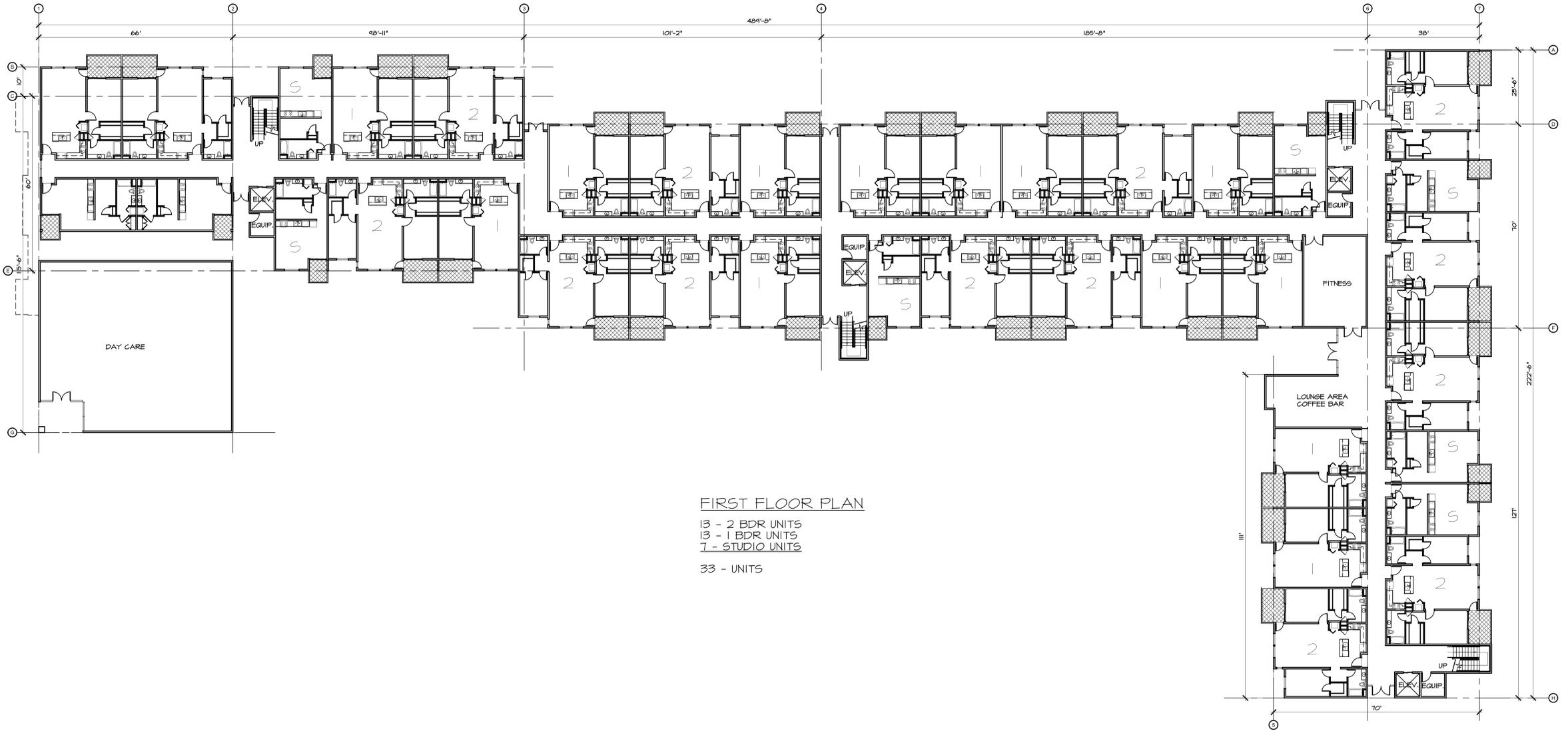


MARK	DATE	DESCRIPTION
-	10/19/2020	C.U.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

COMM. CENTER - STUDIO - 1-BED & 2-BED FLOOR PLANS

The Taylor Group expressly warrants that the information contained herein is true, accurate, and complete to the best of our knowledge and belief. This information is provided for your information only and is not to be used for any other purpose without our prior written consent.



FIRST FLOOR PLAN

- 13 - 2 BDR UNITS
- 13 - 1 BDR UNITS
- 7 - STUDIO UNITS
- 33 - UNITS

PLOT DATE:

BUILDING A - FIRST FLOOR PLAN



SCALE: 1/16" = 1'-0"

The User Design expressly warrants that the information contained herein is true, accurate, and complete to the best of its knowledge and belief. The User Design shall be held harmless by the Architect for any errors or omissions in the information provided herein, as an independent contractor, and shall be held harmless by the Architect for any errors or omissions in the information provided herein, as an independent contractor.

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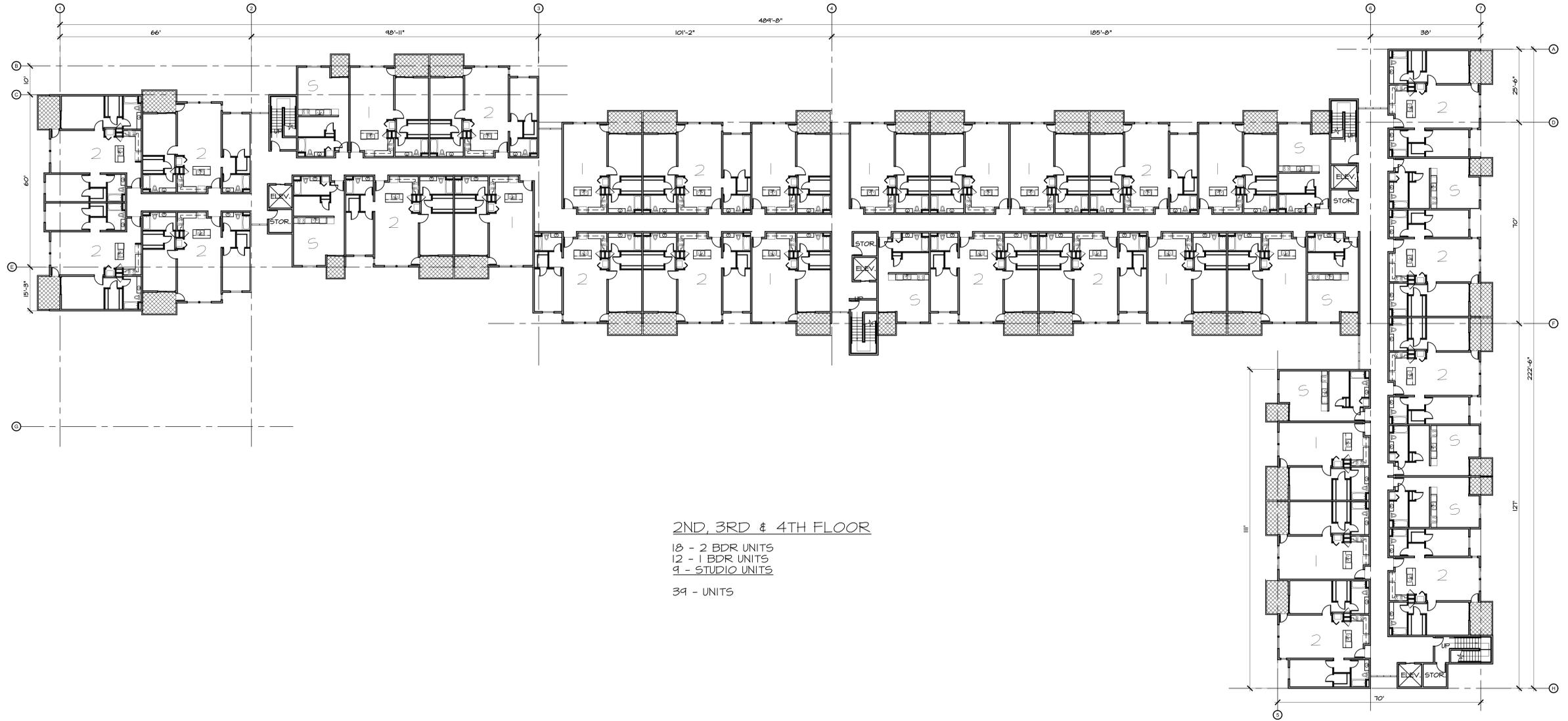
PROPOSED MIXED USE SITE PLAN FOR:

BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

BUILDING A - FIRST FLOOR PLAN

MARK	DATE	DESCRIPTION
-	10/19/2020	C.U.P. RESUBMITTAL PACKAGE





2ND, 3RD & 4TH FLOOR

18 - 2 BDR UNITS
 12 - 1 BDR UNITS
 9 - STUDIO UNITS

39 - UNITS

BUILDING A - BUILDING A - SECOND - THIRD - FOURTH FLOOR PLAN



SCALE: 1/16" = 1'-0"

The User Design expressly warrants that the information contained herein is true, accurate, and complete to the best of its knowledge and belief. The User Design shall not be held responsible for any errors or omissions in this drawing or for any consequences arising from the use of this drawing. The User Design shall not be held responsible for any damage or injury to persons or property resulting from the use of this drawing. The User Design shall not be held responsible for any delay or interruption of the project resulting from the use of this drawing. The User Design shall not be held responsible for any cost or expense incurred by the User Design in connection with the use of this drawing.

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PROPOSED MIXED USE SITE PLAN FOR:

BDM BUILDERS
 EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
 FRESNO, CA

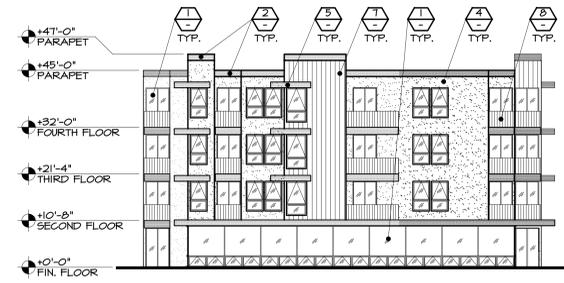
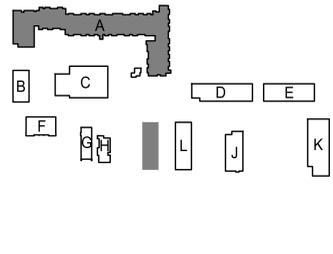
BUILDING A - SECOND - THIRD - FOURTH FLOOR PLAN

MARK	DATE	DESCRIPTION
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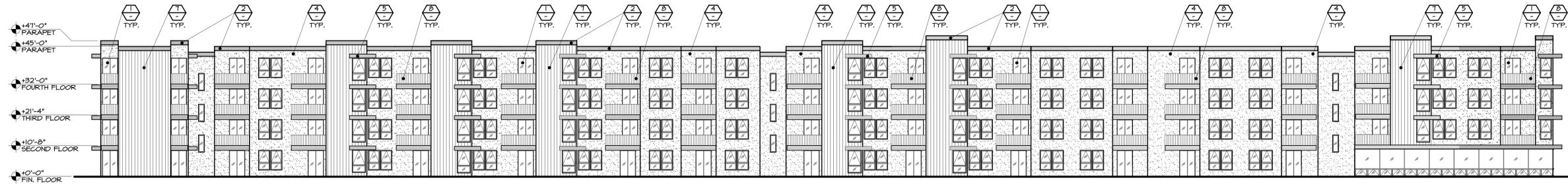


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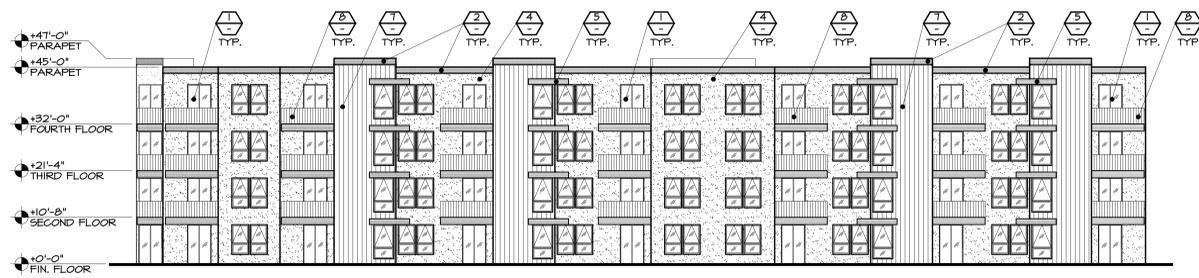
KEY PLAN



A BUILDING A - WEST ELEVATION



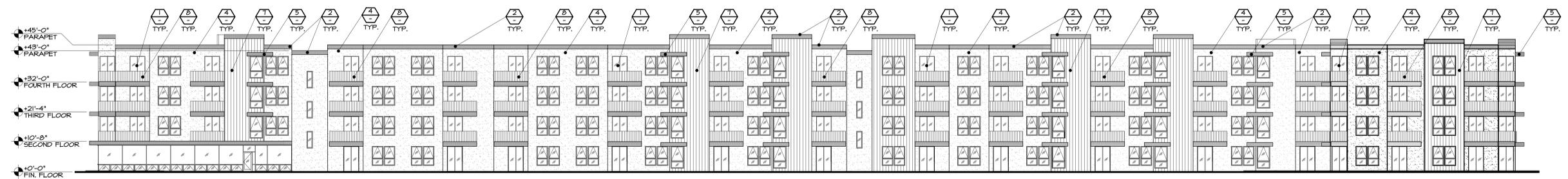
B BUILDING A - NORTH ELEVATION



C BUILDING A - EAST ELEVATION



D BUILDING A - WEST SIDE ELEVATION



E BUILDING A - SOUTH ELEVATION

EXTERIOR FINISH SCHEDULE		EXTERIOR PAINTING SCHEDULE	
MARK	MATERIAL	MARK	MATERIAL
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	9	COMPOSITE PLANK SIDING
2	GALV. SHEET METAL CAP FLASHING	10	WALL-MOUNTED ADVERTISING DISPLAY CASES
3	METAL SIDING	11	LIGHT BAND
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	12	-
5	ALUMINUM CANOPY	13	-
6	THIN BRICK VENEER	14	-
7	METAL PANEL SIDING	15	-
8	METAL RAILING	16	-
		17	-

EXTERIOR PAINTING SCHEDULE	
DESCRIPTION	DESCRIPTION
THE FOLLOWING ITEMS SHALL BE PAINTED, UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS, IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X	
SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

- NOTES:
- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
 - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
 - PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
 - FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
 - ANTI-GRAFFITI COATINGS TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
 - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
 - MATERIAL COLORS TO BE DETERMINED

BUILDING A - EXTERIOR ELEVATIONS

SCALE: 1/16" = 1'-0"

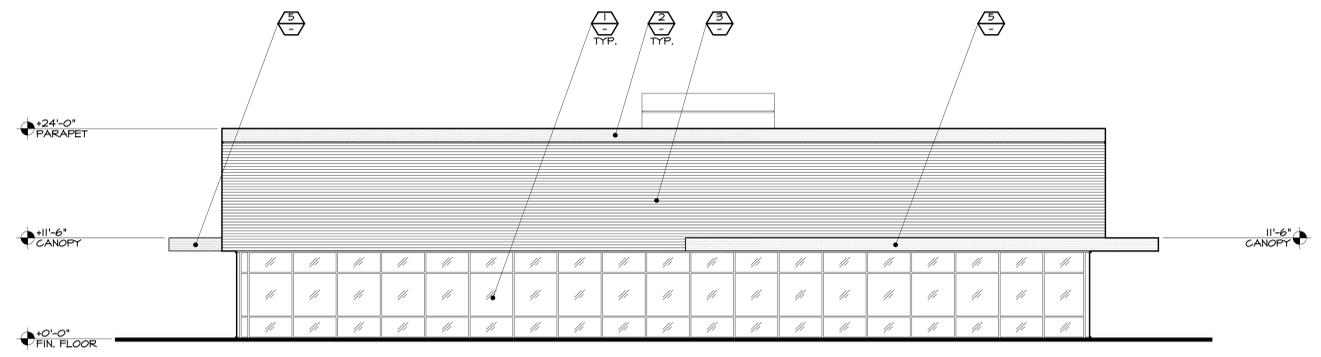
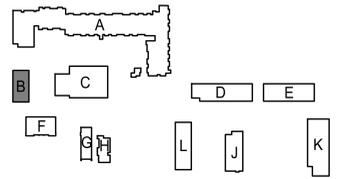


DATE	DESCRIPTION
10/19/2020	C.U.P. RESUBMITTAL PACKAGE

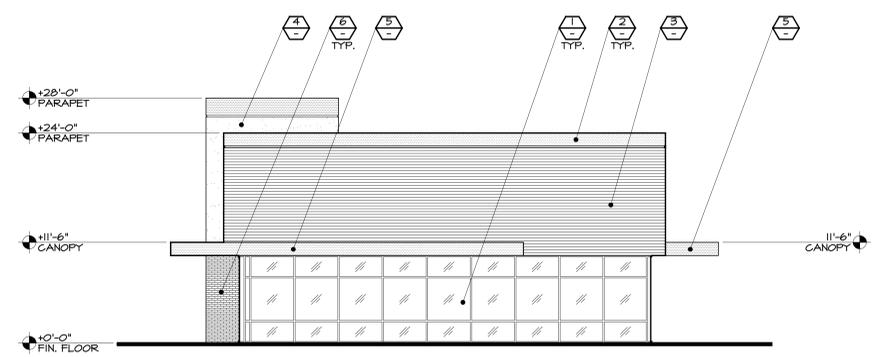
PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

BUILDING A - EXTERIOR ELEVATIONS

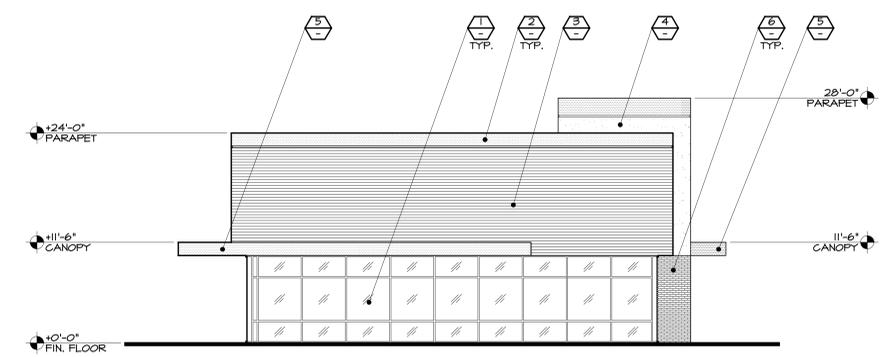
KEY PLAN



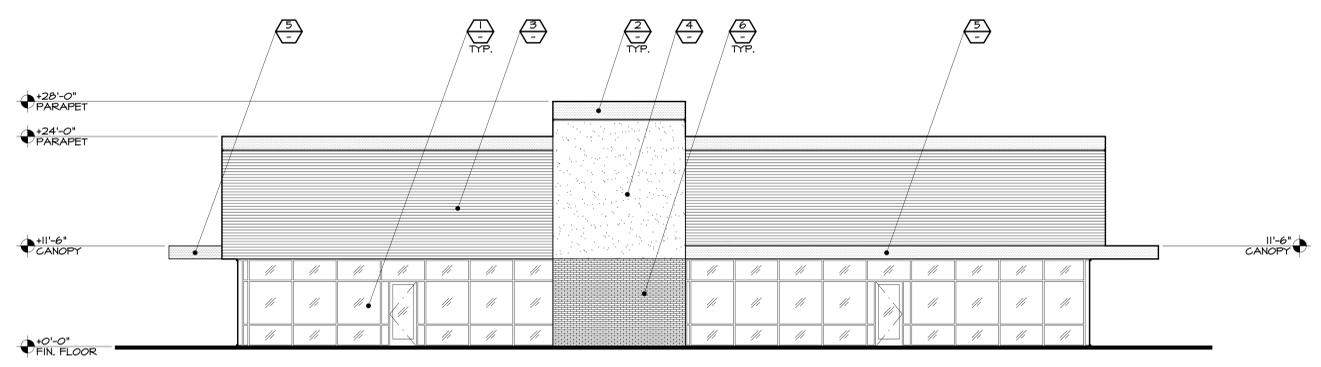
(A) BUILDING B - WEST ELEVATION



(B) BUILDING B - NORTH ELEVATION



(C) BUILDING B - SOUTH ELEVATION



(D) BUILDING B - EAST ELEVATION

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH, SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM; ACRYLIC COLOR FINISH, SMOOTH TEXTURE/FINISH, SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE

DESCRIPTION	DESCRIPTION
THE FOLLOWING ITEMS SHALL BE PAINTED: UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED 6SM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE ANKING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS: IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

NOTES:

- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
- SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
- PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
- FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
- FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
- FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
- ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT 10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
- SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
- MATERIAL COLORS TO BE DETERMINED

BUILDING B - EXTERIOR ELEVATIONS

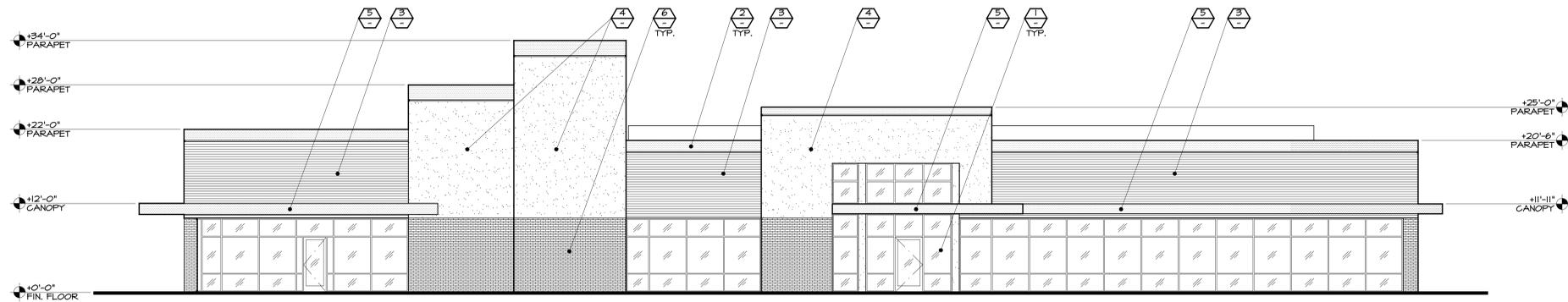
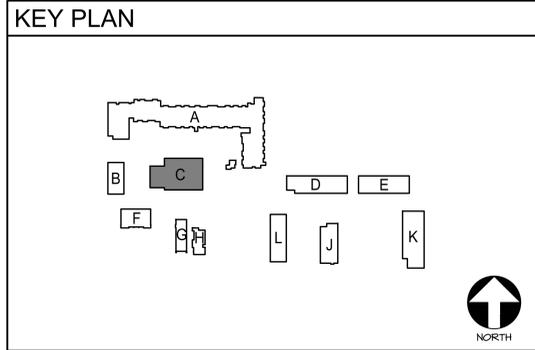
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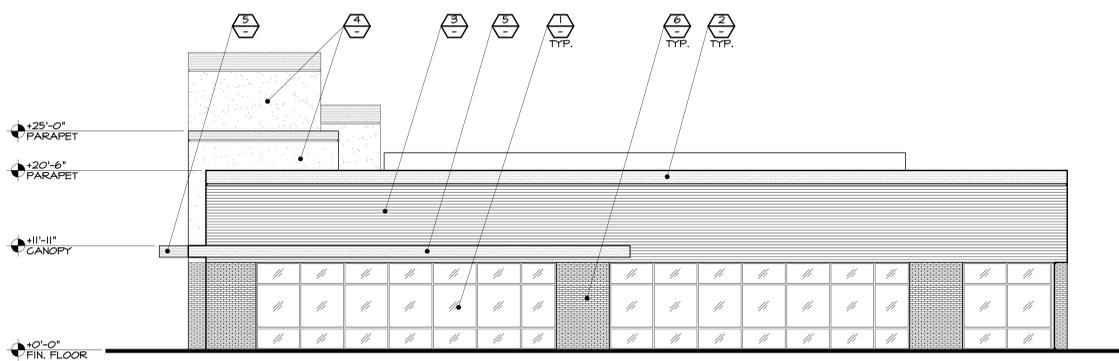
MARK	DATE	DESCRIPTION
-	10/19/2020	C.U.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

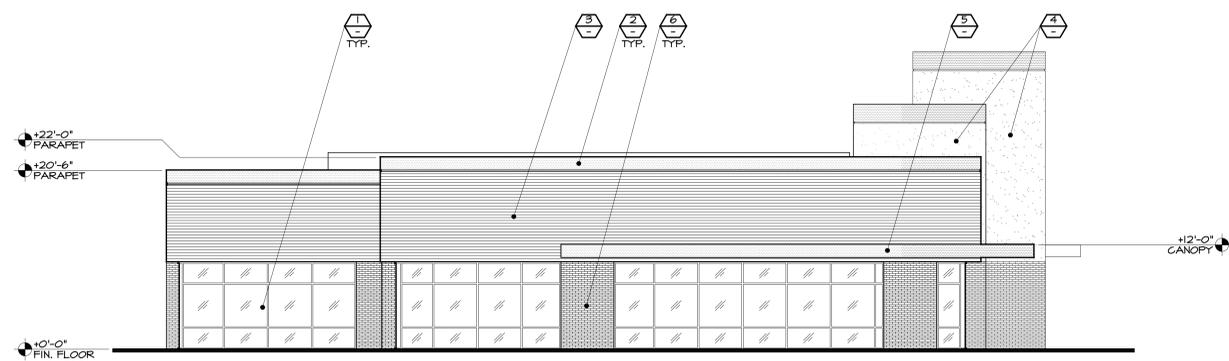
BUILDING B - EXTERIOR ELEVATIONS



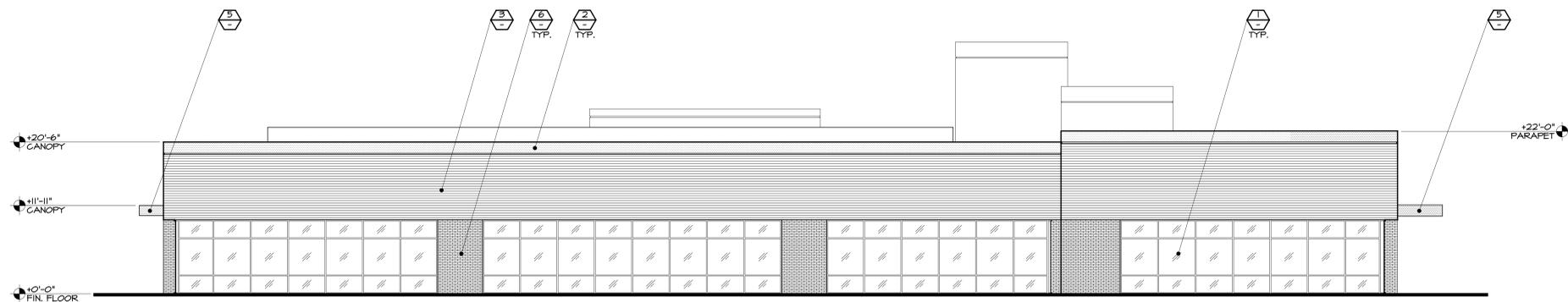
A BUILDING C - SOUTH ELEVATION



B BUILDING C - EAST ELEVATION



C BUILDING C - WEST ELEVATION



D BUILDING C - NORTH ELEVATION

EXTERIOR FINISH SCHEDULE			EXTERIOR PAINTING SCHEDULE		
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH, SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM; ACRYLIC COLOR FINISH, SMOOTH TEXTURE/FINISH, SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED; UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

- NOTES:
- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
 - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
 - PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
 - FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND WALL/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
 - ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
 - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
 - MATERIAL COLORS TO BE DETERMINED

BUILDING C - EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

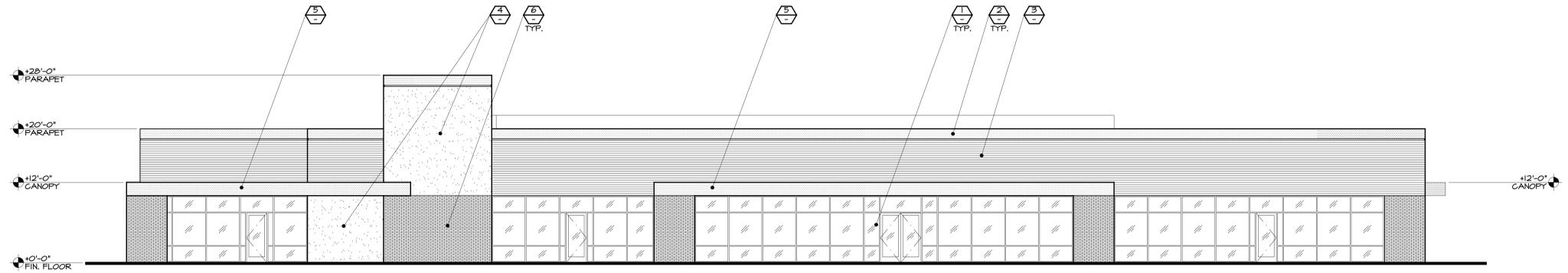
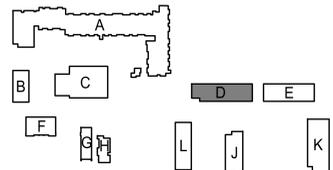


MARK	DATE	DESCRIPTION
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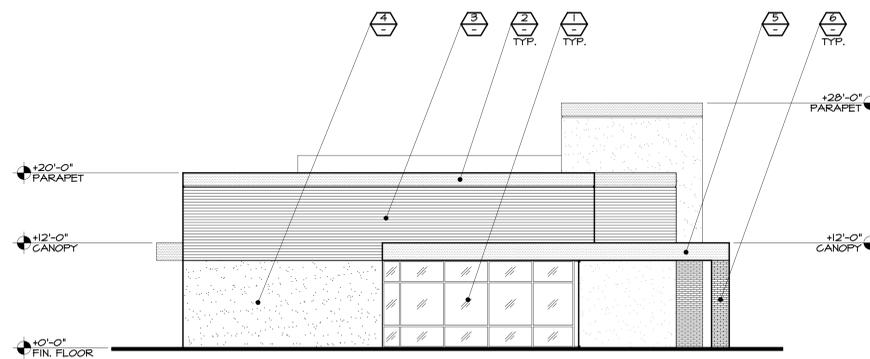
PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

BUILDING C - EXTERIOR ELEVATIONS

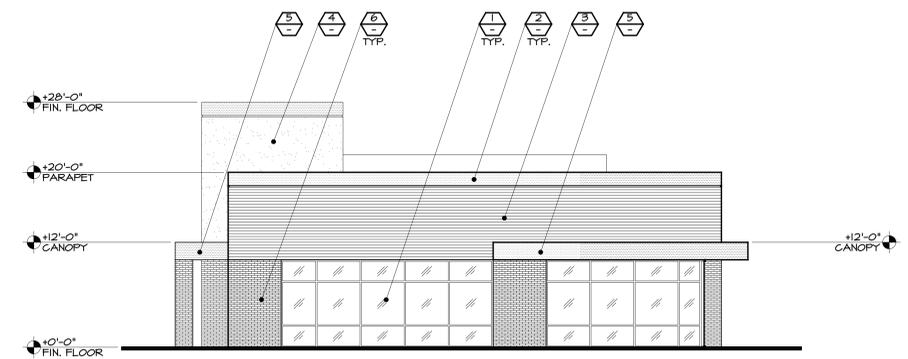
KEY PLAN



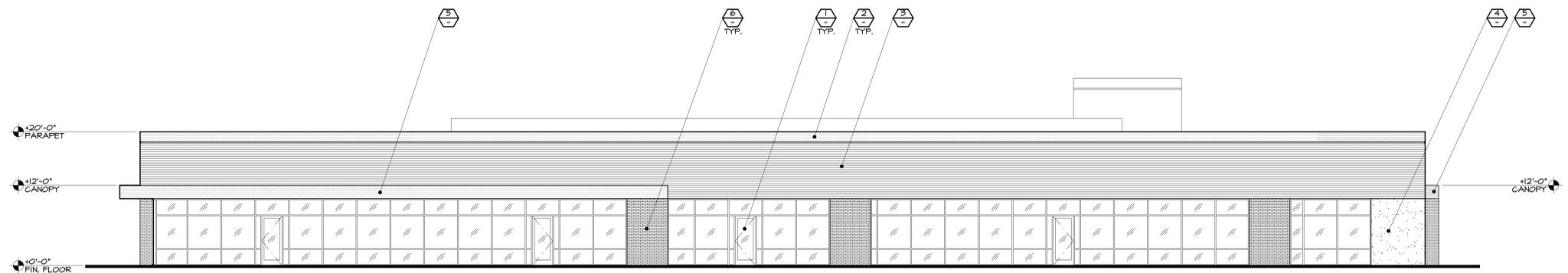
(A) BUILDING D - SOUTH ELEVATION



(B) BUILDING D - EAST ELEVATION



(C) BUILDING D - WEST ELEVATION



(D) BUILDING D - NORTH ELEVATION

EXTERIOR FINISH SCHEDULE			EXTERIOR PAINTING SCHEDULE		
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH, SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM, ACRYLIC COLOR FINISH, SMOOTH TEXTURE/FINISH, SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED: UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS: IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

- NOTES:
- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
 - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
 - PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
 - FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
 - ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
 - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
 - MATERIAL COLORS TO BE DETERMINED

BUILDING D - EXTERIOR ELEVATIONS

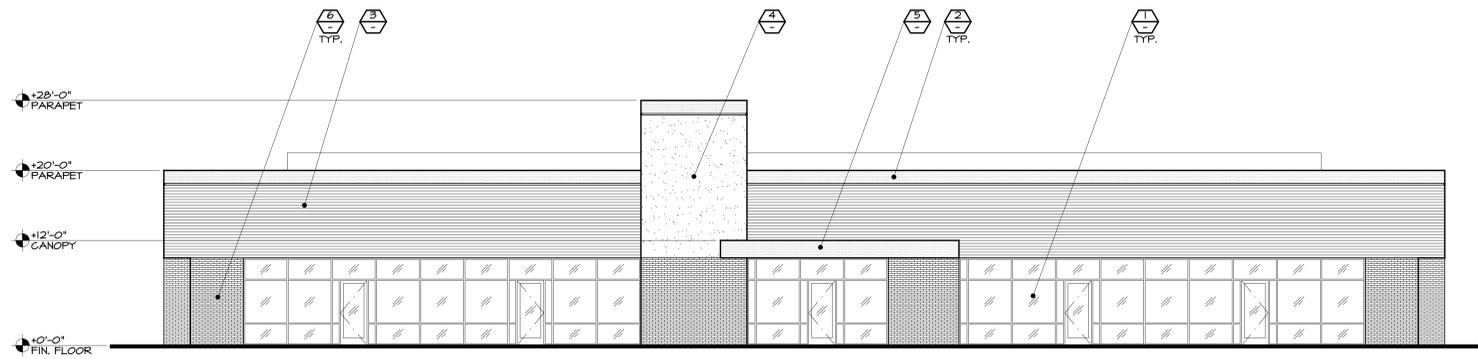
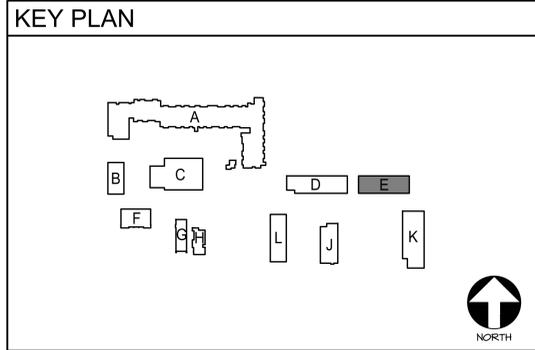
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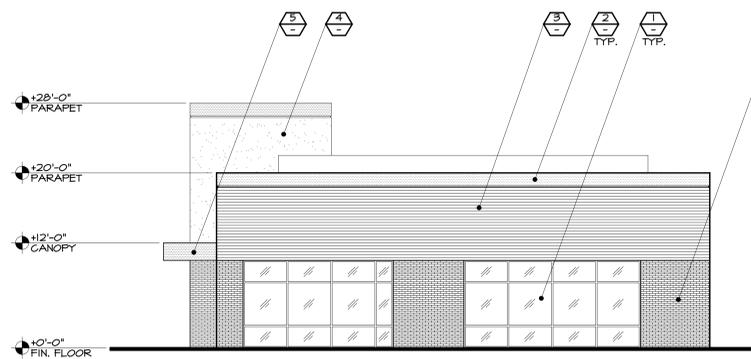
MARK	DATE	DESCRIPTION
-	10/19/2020	C.I.P. - RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

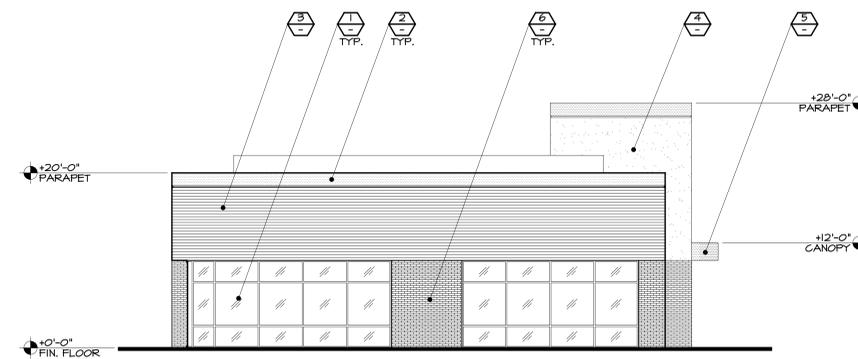
BUILDING D - EXTERIOR ELEVATIONS



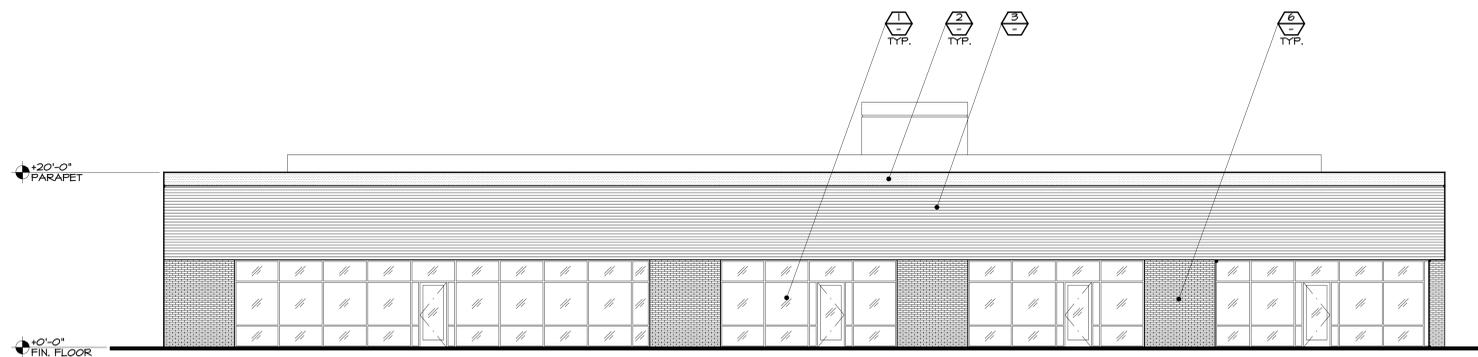
(A) BUILDING E - SOUTH ELEVATION



(B) BUILDING E - EAST ELEVATION



(C) BUILDING E - WEST ELEVATION



(D) BUILDING E - NORTH ELEVATION

EXTERIOR FINISH SCHEDULE			EXTERIOR PAINTING SCHEDULE		
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH, SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM; ACRYLIC COLOR FINISH, SMOOTH TEXTURE/FINISH, SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED; UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS; IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

NOTES:
1. ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
2. SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
3. PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
4. FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
5. FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
6. FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
7. ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
8. SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
9. MATERIAL COLORS TO BE DETERMINED

BUILDING E - EXTERIOR ELEVATIONS

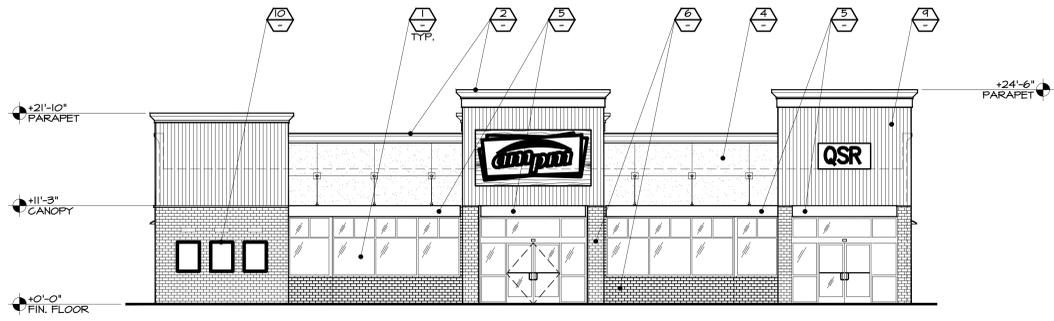
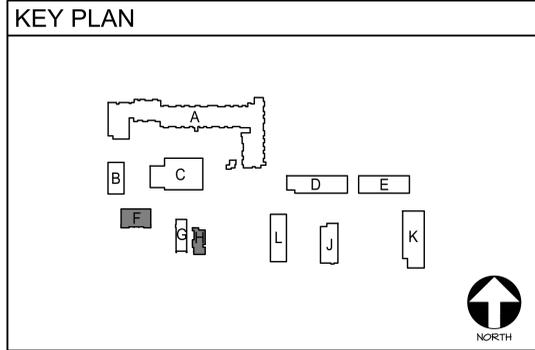
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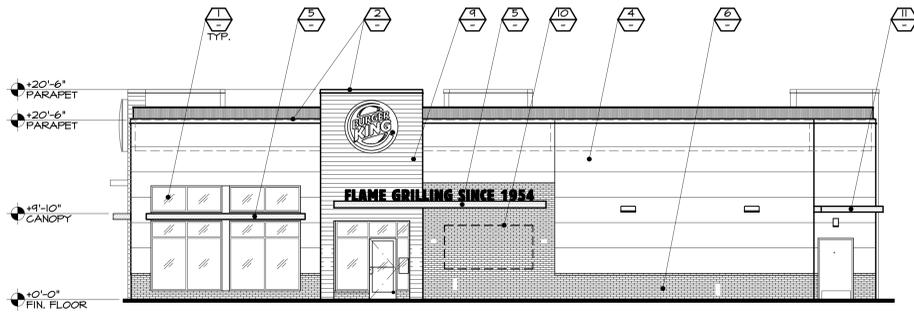
MARK	DATE	DESCRIPTION
-	10/19/2020	C.I.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

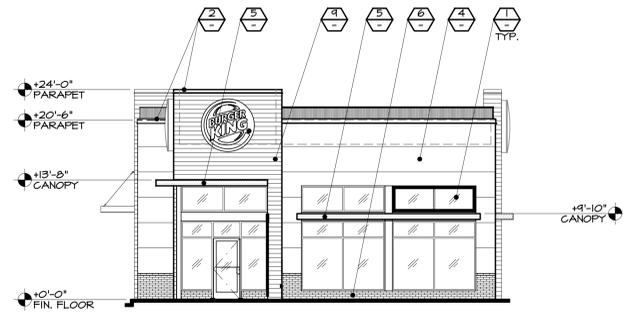
BUILDING E - EXTERIOR ELEVATIONS



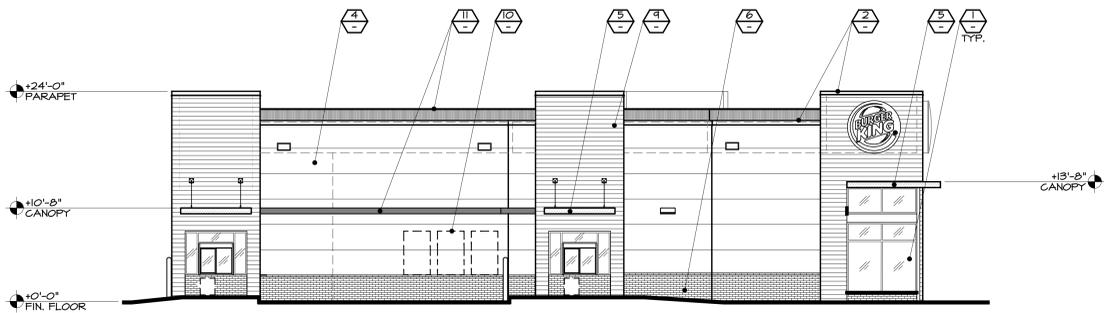
(A) BUILDING F - SOUTH ELEVATION



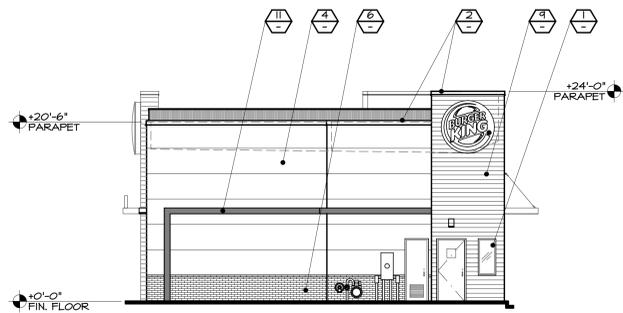
(A) BUILDING H - EAST ELEVATION



(B) BUILDING H - SOUTH ELEVATION



(C) BUILDING H - WEST ELEVATION



(D) BUILDING H - NORTH ELEVATION

EXTERIOR FINISH SCHEDULE			EXTERIOR PAINTING SCHEDULE		
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH; SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM; ACRYLIC COLOR FINISH; SMOOTH TEXTURE/FINISH; SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED: UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS: IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

- NOTES:
- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
 - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
 - PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
 - FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
 - ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +0'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
 - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
 - MATERIAL COLORS TO BE DETERMINED

BUILDINGS F & H - EXTERIOR ELEVATIONS

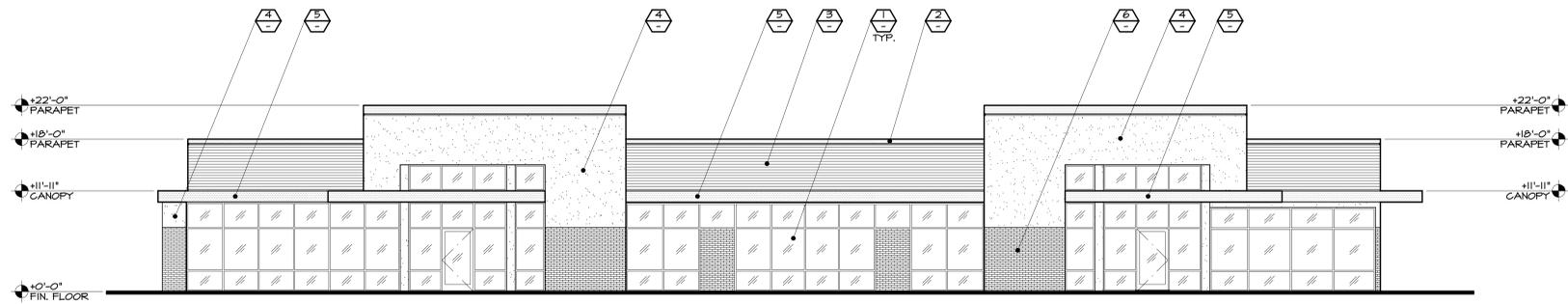
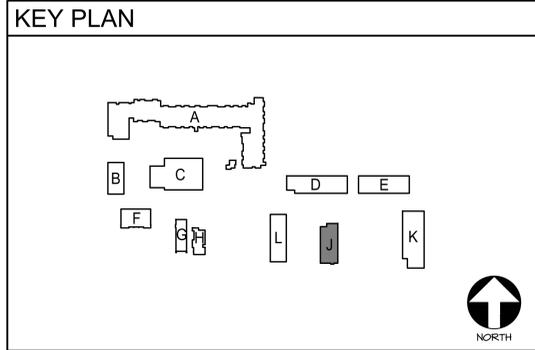
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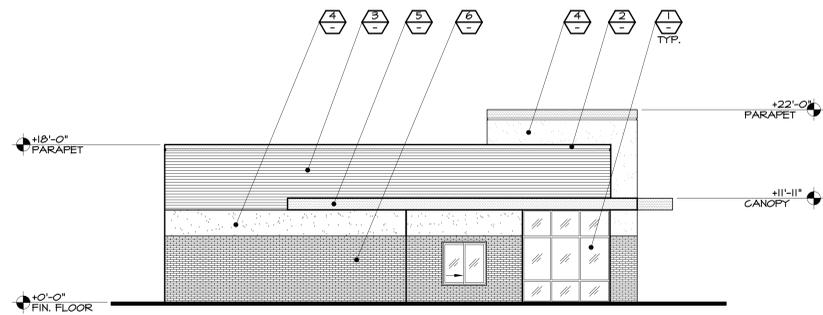
MARK	DATE	DESCRIPTION
-	10/19/2020	C.I.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

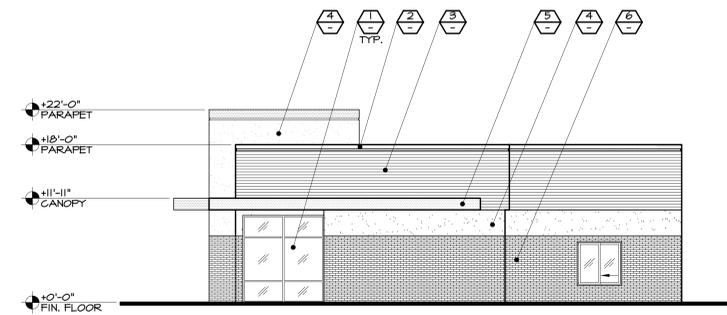
BUILDINGS F & H - EXTERIOR ELEVATIONS



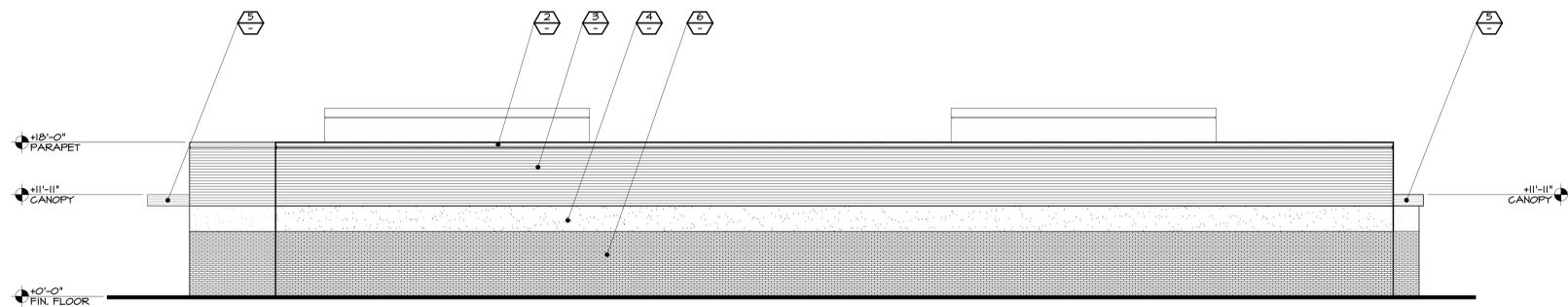
(A) BUILDING J - EAST ELEVATION



(B) BUILDING J - SOUTH ELEVATION



(C) BUILDING J - NORTH ELEVATION



(D) BUILDING J - WEST ELEVATION

EXTERIOR FINISH SCHEDULE			EXTERIOR PAINTING SCHEDULE		
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH; SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM; ACRYLIC COLOR FINISH; SMOOTH TEXTURE/FINISH; SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED; UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS: IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

NOTES:
1. ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
2. SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
3. PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
4. FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
5. FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
6. FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
7. ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
8. SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
9. MATERIAL COLORS TO BE DETERMINED

BUILDING J - EXTERIOR ELEVATIONS

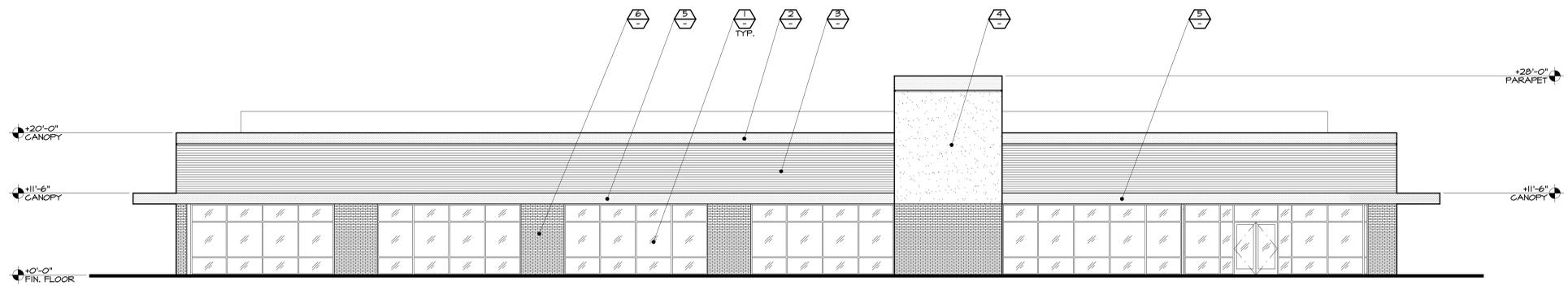
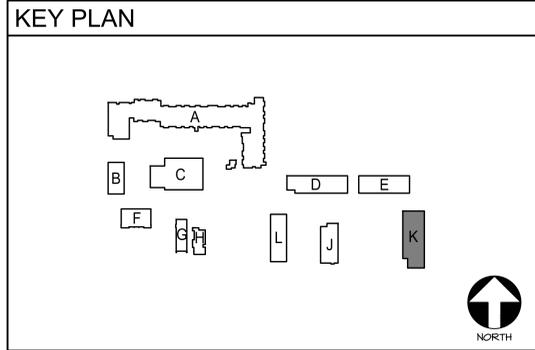
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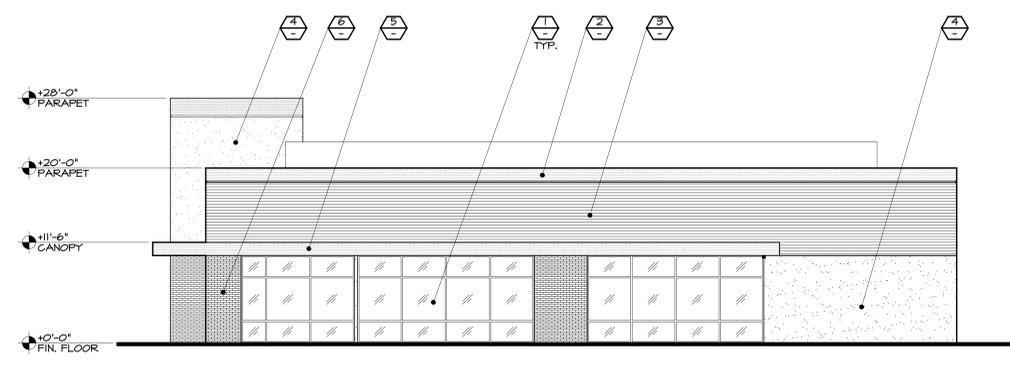
MARK	DATE	DESCRIPTION
-	10/19/2020	C.I.P. - RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

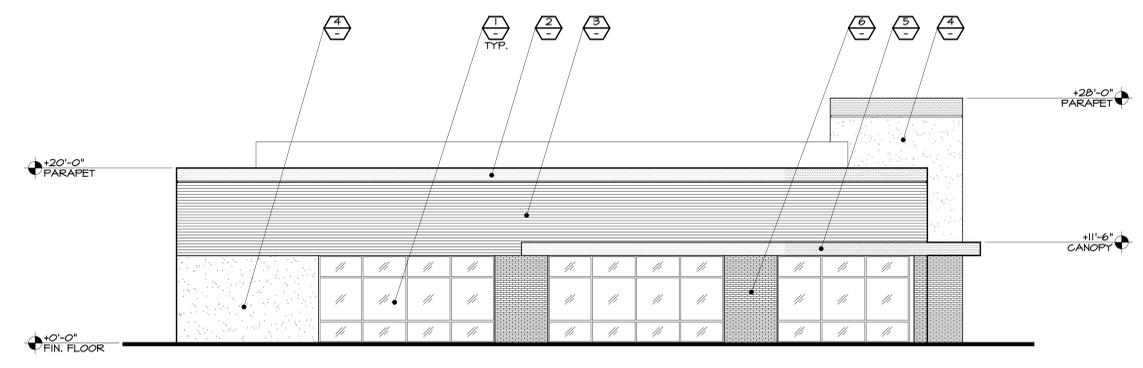
BUILDING J - EXTERIOR ELEVATIONS



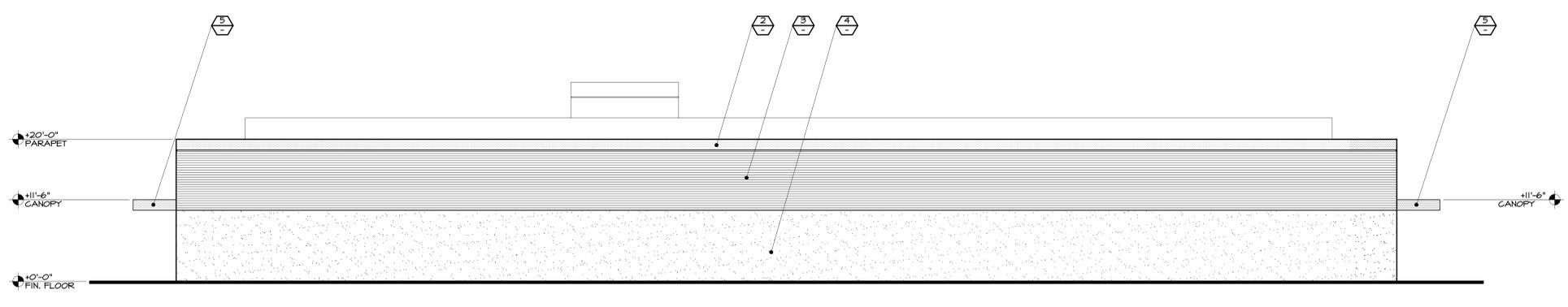
(A) BUILDING K - WEST ELEVATION



(B) BUILDING K - SOUTH ELEVATION



(C) BUILDING K - NORTH ELEVATION



(D) BUILDING K - EAST ELEVATION

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT/CURTAINWALL SYSTEM	4-1/2" STOREFRONT / 6" CURTAIN WALL, THERMAL BREAK, CLEAR ANODIZED FINISH; SEE WINDOW SCHEDULE, SHEET A301	9	COMPOSITE PLANK SIDING	-
2	GALV. SHEET METAL CAP FLASHING	-	10	WALL-MOUNTED ADVERTISING DISPLAY CASES	-
3	METAL SIDING	-	11	LIGHT BAND	-
4	EXT. INSULATION FINISH SYSTEM (EIFS); RIGID INSUL. O/ GYPSUM SHTG.	1-1/2" THICK INSULATION SYSTEM; ACRYLIC COLOR FINISH; SMOOTH TEXTURE/FINISH; SEE SHEET A90X FOR STANDARD EIFS DETAILS; SEE DETAIL X/A90X FOR TYP. LIST OF MFR. DETAILS	12	-	-
5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
7	METAL PANEL SIDING	-	15	-	-
8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE

DESCRIPTION	DESCRIPTION
THE FOLLOWING ITEMS SHALL BE PAINTED: UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, EXCEPT FOR TOUCH-UP AS REQUIRED IN SPECIFICATIONS.
EXPOSED GSM FLASHING & CAPS ROOF ACCESS HATCH TRASH ENCLOSURE GATE EXPOSED ROOF DRAIN OVERFLOW PIPE MISC. PANELS & EXPOSED PIPES; SEE SPECS	STOREFRONT/CURTAINWALL SYSTEM EIFS SYSTEM ALUMINUM CANOPY ALUMINUM FASCIA ALUMINUM CAP FLASHING ALUMINUM REVEAL OPENABLE AWNING WINDOWS SIMULATED WOOD SIDING/SOFFIT ACM PANELS
EXPANSION JOINTS: IN EIFS SYSTEM O/ GYPSUM SHTG. O/ METAL STUDS-----SEE DETAILS X, X & X/A90X SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT LOCATIONS AND INFORMATION	

- NOTES:**
- ALL SHEET METAL FLASHING TO BE MIN 24 GA., UNLESS OTHERWISE INDICATED.
 - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
 - PROVIDE GYP. SHTG. BELOW ALL EIFS AND ACM PANEL RAINSCREEN SYSTEMS AT ALL VERT. SURFACES; SEE SECTIONS AND DETAILS FOR LOCATIONS WHERE REQ'D.
 - FOR TYPICAL SEALANT JOINTS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND WALL OPENINGS, SEE DETAIL X/A90X
 - FOR FLASHING AROUND BOX/PIPE PENETRATIONS AT EIFS, SEE DETAIL X/A90X
 - ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +0'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
 - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
 - MATERIAL COLORS TO BE DETERMINED

BUILDING K - EXTERIOR ELEVATIONS

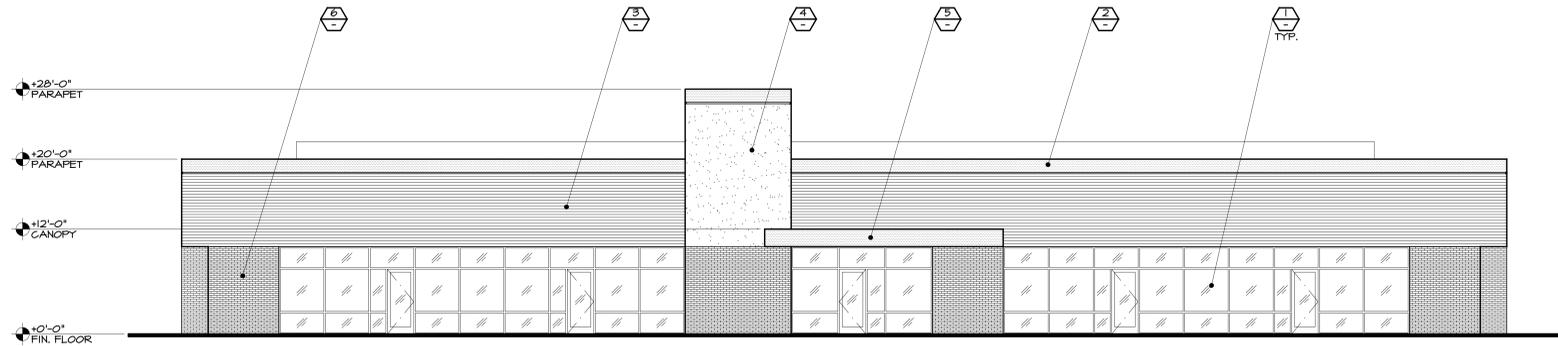
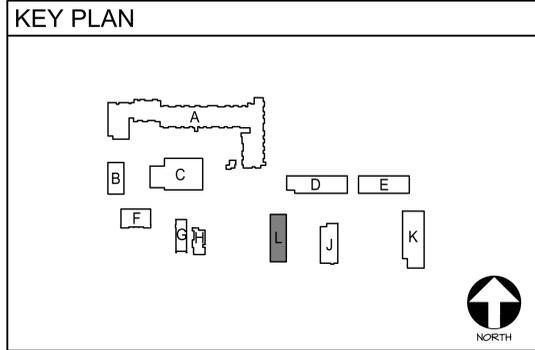
SCALE: 1/8" = 1'-0"



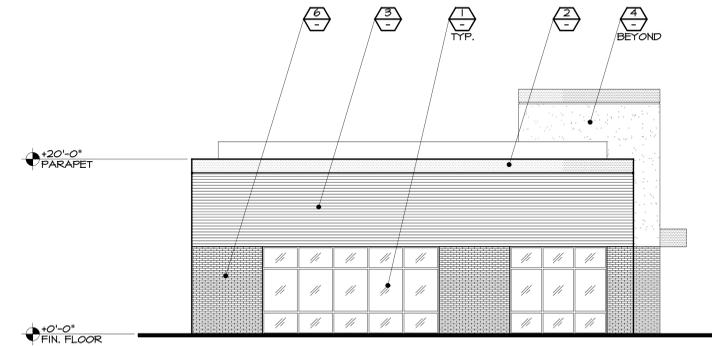
MARK	DATE	DESCRIPTION
-	10/19/2020	C.U.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
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EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

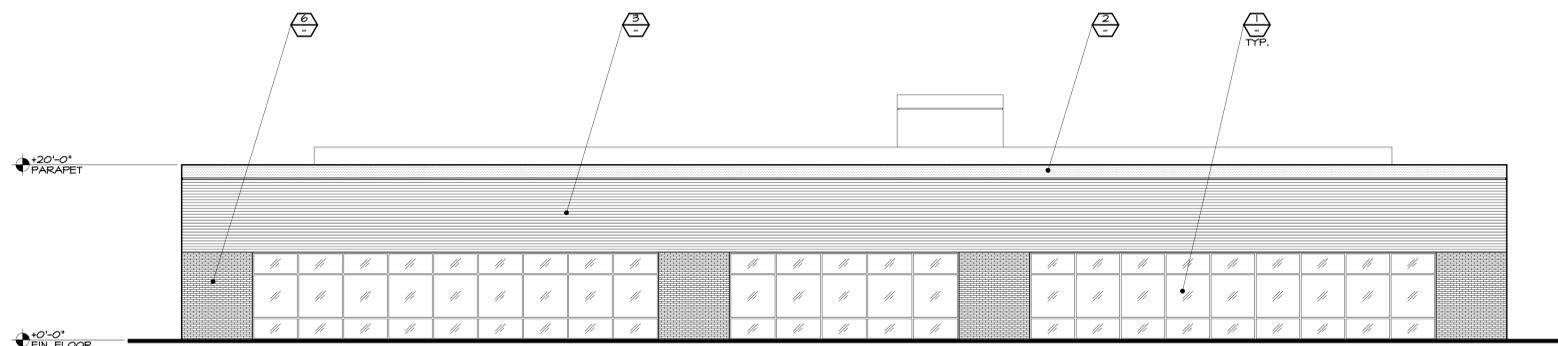
BUILDING K - EXTERIOR ELEVATIONS



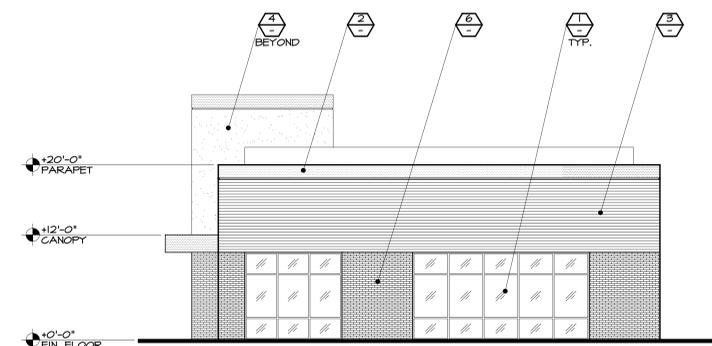
A BUILDING L - WEST ELEVATION



B BUILDING L - NORTH ELEVATION



C BUILDING L - EAST ELEVATION



D BUILDING L - SOUTH ELEVATION

EXTERIOR FINISH SCHEDULE			EXTERIOR PAINTING SCHEDULE		
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
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5	ALUMINUM CANOPY	-	13	-	-
6	THIN BRICK VENEER	-	14	-	-
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8	METAL RAILING	-	16	-	-
			17	-	-

EXTERIOR PAINTING SCHEDULE	
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 - ANTI-GRAFFITI COATING TO BE APPLIED TO EIFS, & CONCRETE BELOW HORIZONTAL JOINT AT +10'-0". APPLIED CONT. AROUND ENTIRE BUILDING.
 - SEE STRUCTURAL DRAWINGS FOR DRIFT JOINT DETAILS
 - MATERIAL COLORS TO BE DETERMINED

BUILDING L - EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



MARK	DATE	DESCRIPTION
-	10/19/2020	C.U.P. RESUBMITTAL PACKAGE

PROPOSED MIXED USE SITE PLAN FOR:
BDM BUILDERS
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
FRESNO, CA

BUILDING L - EXTERIOR ELEVATIONS



Concept Plant Legend

	STREET TREES Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache Platanus acerifolia 'Columbia' / London Plane Tree	22
	SMALL ACCENT TREE Arbutus x 'Marina' / Thornless Palo Verde Cercis canadensis 'Oklahoma' / Oklahoma Redbud Lagerstroemia x 'Natchez' / White Crape Myrtle Multi-Trunk	72
	SCREENING TREE Koeleuteria bipinnata / Chinese Flame Tree Quercus suber / Cork Oak	15
	SHADE TREE Quercus agrifolia / Coast Live Oak Quercus engelmannii / Engelmann Oak Quercus lobata / Valley Oak	37
	LARGE ACCENT TREE Arbutus x 'Marina' / Arbutus Standard Laurus nobilis 'Saratoga' / Sweet Bay Quercus virginiana / Southern Live Oak	44
	PALM	7

Sample Plant Palette

Shrubs and Groundcover

Achillea spp.	Yarrow
Agave spp.	Magwey
Aloe spp.	Aloe
Arctostaphylos spp.	Manzanita
Artemisia Parris Castle	Coastal Sage
Baccharis 'Pigeon Point'	Coyote Bush
Calamagrostis 'Karl Foerster'	Feather Reed Grass
Callistemon 'Little John'	Dwarf Bottlebrush
Carex spp.	Sedge
Carpenteria californica	Bush Anemone
Ceanothus spp.	Wild Lilac
Chondropetalum tectorum	Cape Rush
Cistus x pulverulentus 'Sunset'	Magenta Rockrose
Cotoneaster 'Coral Beauty'	Prostrate Cotoneaster
Dasylirotin spp.	Desert Spoon
Dianella 'Casa Blue'	Blue Flax Lilly
Echium Candicans	Pride of Madera
Eriogonum spp.	Buckwheat
Hesperaloe parvifolia	Red Yucca
Kniphofia spp.	Red Hot Poker
Lavandula 'Goodwin Creek'	Lavender
Leucophyllum spp.	Texas Ranger
Leymus 'Canyon Prince'	Wild Rye
Mahonia repens	Creeping Mahonia
Muhlenbergia spp.	Muhly Grass
Olea 'Lil Olie'	Dwarf Olive
Pennisetum spp.	Feather Grass
Rhamnus californica varieties	Coffeeberry
Rhamnus alaternus	Italian Buckthorn
Rhus integrifolia	Lemonadeberry
Rosemarinus spp.	Rosemary
Teucrium spp.	Germander
Salvia spp.	Sage
Zauschneria spp.	California Fuchsia

Notes:

- All landscape plans and installations shall comply with the City of Fresno design guidelines, standards, codes and regulations.
- All landscape areas shall receive permanent irrigation.
 - Irrigation system shall be point source with gallon per minute emitters for trees and gallon per hour emitters for shrubs.
 - Irrigation system shall have a flow sensor and master valve.
 - Irrigation controller shall be a smart controller operating off of weather data and soil moisture sensors.
 - Irrigation controller management software shall be cloud based with remote/online access.
- All landscape installations shall be permanently maintained.
- All landscape plans shall comply with the Model Water Efficient Landscape Ordinance (MWELO) or the local jurisdictions water ordinance, whichever is more stringent.
- All plants shall be of quality as prescribed in the details and specifications of the landscape construction plans.
- All utilities, perimeter walls and trash enclosures shall be screened with hedges, vines, or other approved treatments.

Preliminary MWELO Calculations

Fresno Eto: 51.1
 Total Landscape Area: 74,106 SF
 Average Plant Factor: 0.03 Low water use plants
 Irrigation Efficiency: 0.81 Drip Irrigation
 Estimated Annual Water use: **869,565 gallons**
 Maximum allowed water Allowance: 1,056,522 gallons

SHADE CALCULATIONS

PARKING AREA: 101,256.5 square ft.
 SHADE AREA NEEDED: 50,628.25 SF
 COVERED PARKING AREA: 24523.29 square ft.
 TREE SHADE CANOPY AREA: 36,047.68 square ft.
 TOTAL SHADE COVERAGE 60,571.07 = 59.8%



Arbutus 'Marina'



Pistacia chinensis 'Keith Davey'



Echium candicans



Hesperaloe parvifolia



Rhamnus 'Mound San Bruno'



Kniphofia spp.



Muhlenbergia & Ceanothus



Quercus engelmannii



Quercus agrifolia



Dianella 'Cas Blue'



Agave x 'Blue Glow'



Carex divulsa



Rosmarinus off. 'Tuscan Blue'



Pennisetum spathiolatum



Platanus acerifolia 'Columbia'



Lagerstroemia x 'Natchez'



Olea europaea 'Little Ollie'



Archtostaphylos x 'Pacific Mist'



Leucophyllum frut. 'Green Cloud'



Mahonia repens



Zauschneria cana 'Silver Select'



MARK	DATE	DESCRIPTION

PROPOSED MIXED USE SITE PLAN FOR:
 BDM BUILDERS
 EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE
 FRESNO, CA
 Schematic Landscape Plan

The User Date expressly warrants that the information provided herein is true, accurate, and complete. The User Date shall be responsible for obtaining all necessary permits and approvals for this project. The User Date shall be responsible for obtaining all necessary permits and approvals for this project.

PROJECT NO. _____

DRAWING S-3

APPL. NO. P20-00636 EXHIBIT L DATE 02/12/2020
 PLANNING REVIEW BY _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 APPROVED BY _____ DATE _____
 CITY OF FRESNO DARM DEPT