

Exhibit C

2600 Fresno Street, Third Floor
Fresno, CA 93721
(559) 621-8277

Jennifer K. Clark, AICP, Director

August 15, 2025

Please reply to:

Brittany Martin

559-621-8059

Brittany.Martin@fresno.gov

Brenda Ramirez
Central Valley Engineering and Surveying, Inc.
bramirez@cveas.com
(Sent via email only)

SUBJECT: DEVELOPMENT PERMIT APPLICATION NO. P23-03606 FOR PROPERTY LOCATED AT 121 AND 135 WEST NORTH AVENUE (APN: 329-020-33)

On August 15, 2025, the Planning and Development Director approved **Development Permit Application No. P23-03606**, requesting authorization to construct a new $\pm 4,900$ square-foot metal building for use as a commercial truck repair shop, along with a parking lot providing 5 standard vehicle spaces and 9 commercial truck spaces, on a ± 2.23 -acre lot currently improved with an existing $\pm 2,594$ -square-foot single-family residence, which is proposed to remain on the property. Additional proposed on- and off-site improvements include a new trash enclosure, parking lot lighting, a 7-foot-high-wrought iron entrance gate, a 7-foot-high CMU perimeter wall, and an upgraded driveway approach. The project also proposes a temporary stormwater ponding basin enclosed by a 6-foot-high chain link fence with privacy slats. Further site enhancements consist of bicycle parking, new curbs, gutters, sidewalks with tree wells, and a new driveway to serve the existing residence. Infrastructure improvements include the installation of a 15-foot-wide storm drain easement and pipeline along the west side of the property, a 15-foot-wide landscape buffer, and new utility infrastructure to support the proposed use. The parcel is zoned BP (*Business Park*).

Development Permit Application No. P23-03606 was determined to be exempt from the State of California Environmental Quality Act (CEQA) by the Planning and Development Department on August 15, 2025, through Section 15332/Class 32 Categorical Exemption. The approval of this project is subject to compliance with the following Conditions of Approval:

- 1) Development shall take place in accordance with Exhibit A-2 dated 3/25/2025, and Exhibits A-1, E-1, F-1, L-1, and O-1 dated 1/31/2025, and the Conditions of Approval dated **August 15, 2025**.
- 2) Miscellaneous Requirements
 - a) Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
 - i. All existing and proposed improvements including but not limited to buildings and

structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;

- ii. All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
 - iii. Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.
- b) Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications.
- c) The Planning and Development Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions (**include this note on site plan**).

APPEALS

Please be advised that this project may be subject to a variety of discretionary conditions of approval. These conditions are based on adopted City plans, ordinances and policies; those determined to be required through the interdepartmental/interagency review process; and those determined through the environmental assessment process as necessary to mitigate adverse effects on the health, safety and welfare of the community. The conditions of approval may also include requirements for development and use that would, on the whole, enhance the project and its relationship to the neighborhood and environment.

All conditions of approval based on adopted plans, codes, and regulations are mandatory. Conditions based on the FMC may only be modified by variance, provided the findings required by FMC Section 15-5506 can be made. Discretionary conditions of approval may be appealed but will ultimately be deemed mandatory unless appealed in writing to the Director within 15 days or by **September 2, 2025**. In the event you wish to appeal the Director's decision, you may do so by filing a written appeal. The appeal shall include the appellant's interest in or relationship to the subject property, the decision or action appealed and specific reasons why the applicant believes the decision or action appealed should not be upheld.

If you wish to appeal the decision, a written request must be received at the Planning and Development Department by **September 2, 2025**. The written request should be addressed to the Planning and Development Director and the project planner identified below and include the application number referenced above. Please submit the request in writing (mail or email to PublicCommentsPlanning@fresno.gov) and CC the planner listed below by the date noted above. A \$1017.96 fee applies to an appeal by an applicant (no fee applies if member of the public). **The fee is required prior to accepting the appeal, as required by Section 15-5017-A.1 of the FMC and established by the Master Fee Schedule.**

COMPLIANCE REVIEW PROCESS

To complete the compliance review process for building permits relative to planning and

zoning issues, please upload **electronic PDF** copies of the corrected, final site plan, elevations, landscape, and irrigation plans, operational statement, any fees and title reports for required covenants, and any required studies or analyses into the compliance record for final review and approval into the compliance record **at least 15 days before applying for building permits.**

The compliance record number for this application is **P25-02679**. These documents can be uploaded electronically to the citizen access portal at **Accela Citizen Access**. Contact Planner once any corrected exhibits are uploaded.

It may be necessary to resubmit these “corrected exhibits” a second time if not all the conditions have been complied with or are not shown on the exhibits. To complete the back-check process, the applicant must demonstrate compliance with all required conditions of approval prior to commencement of land use activity. Submit any required items to **Brittany Martin** in Planning and Development Department for Final review and Approval, prior to commencement of land use activity.

Copies of the final approved exhibits stamped by the Planning and Development must be submitted for unstamped copies of the same in each of the sets of construction plans submitted for plan check prior to the issuance of building permits.

EXPIRATION DATES

The exercise of rights granted by this special permit must be commenced by **August 15, 2028** (three years from the date of approval), pursuant to FMC Section 15-5013. An extension of up to one additional year may be granted, provided that the findings required under FMC Section 15-5013-A.1 are made by the Director. All required improvements must be installed prior to the operation of the proposed use.

Our goal is to continuously improve our customer service. Please take a moment to complete a quick survey linked **here**. If you have any questions regarding this letter, feel free to give me a call at the number listed above.

Sincerely,

Brittany Martin

Brittany Martin, Planner
Planning and Development

Enclosures: Conditions of Approval dated August 15, 2025

Exhibit A-2 dated 3/25/2025, and Exhibits A-1, E-1, F-1, L-1, and O-1 dated 1/31/2025

Comments from partnered Agencies and Departments



2600 Fresno Street, Third Floor
Fresno, California 93721-3604
(559) 621-8277 FAX (559) 498-1026

Planning and Development Department
Jennifer K. Clark, AICP, Director

August 15, 2025

Please reply to:
Brittany Martin
(559) 621-8059

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On August 15, 2025, the Planning and Development Department Director **approved Development Permit Application No. P23-03606**. This approval authorizes the construction of a new $\pm 4,900$ square-foot metal building for use as a commercial truck repair shop, along with a parking lot providing 5 standard vehicle spaces and 9 commercial truck spaces, on a ± 2.23 -acre lot currently improved with an existing $\pm 2,594$ -square-foot single-family residence, which is proposed to remain on the property. Additional proposed on- and off-site improvements include a new trash enclosure, parking lot lighting, a 7-foot-high-wrought iron entrance gate, a 7-foot-high CMU perimeter wall, and an upgraded driveway approach. The project also proposes a temporary stormwater ponding basin enclosed by a 6-foot-high chain link fence with privacy slats. Further site enhancements consist of bicycle parking, new curbs, gutters, sidewalks with tree wells, and a new driveway to serve the existing residence. Infrastructure improvements include the installation of a 15-foot-wide storm drain easement and pipeline along the west side of the property, a 15-foot-wide landscape buffer, and new utility infrastructure to support the proposed use. The subject property is zoned BP (*Business Park*).

The proposed project was determined to be exempt from the California Environmental Quality Act (CEQA) by the Planning and Development Department on August 15, 2025, through Sections 15332/Class 32 (In-Fill Development) Categorical Exemption.




The approval of this project is subject to compliance with the following Conditions of Approval.

CONDITIONS OF APPROVAL


PART A – ITEMS TO BE COMPLETED

The following items are required before issuance of building permits or final inspection:

Planner to check when completed		
<input type="checkbox"/>	1.	Development and operations shall take place in accordance with Exhibit A-2 dated 3/25/2025, and Exhibits A-1, E-1, F-1, L-1, and O-1 dated 1/31/2025. Revise and transfer all comments or corrections to plan exhibits and

		upload them to the related compliance record before issuance of building permits (see directions below).
	2.	<p>a) Revise operational statement to specify how the establishment will minimize the idling of large commercial trucks.</p> <p>b) Revise operational statement to state that any large, refrigerated truck/trailers that require continuous operation will only be located in stalls located the maximum distance from residential properties. Identify these stalls on site plan.</p> <p>c) Revise operational statement to specify that large trucks will avoid routes through residential areas where possible, and will reroute from Highway 41 using Central, Elm, and Fig Avenues.</p>
	3.	<p>Pursuant to Section 15-2710 (Automobile/Vehicle Service and Repair, Major and Minor) of the FMC, the project shall comply with:</p> <p>a) All work to be conducted within an enclosed building except pumping motor vehicle fluids, checking and supplementing fluids, and mechanical inspection and adjustments not involving any disassembly per Section 15-2710-C. Include this note on the site plan and revise the Operational Statement accordingly.</p> <p>b) Per Section 15-2710-D, vehicles being worked on or awaiting service or pick up shall be stored within an enclosed building or completely screened from view by a screen wall. Unattended vehicles may not be parked or stored on the sidewalk adjoining the property, in the street, or in any portion of the public right-of-way within the city. Include this note on the site plan and revise the Operational Statement accordingly.</p> <p>c) Exterior storage, including tires, shall not be visible from Major Streets or residential districts per Section 15-2710-E. Include this note on the site plan and revise the Operational Statement accordingly.</p> <p>d) No used or discarded automotive parts or equipment or permanently disabled, junked, or wrecked vehicles may be stored outside a building, unless screened per Section 15-2710-I. Include this note on the site plan and revise the Operational Statement accordingly.</p>
	4.	<p>Pursuant to Section 15-2721 (Concrete Batch Plants, Storage Yards, And Similar Uses) the project shall comply with:</p> <p>a) Revise the site plan to identify a 200-foot setback between any proposed outdoor storage areas (specifically the parking spaces for commercial trucks and trailers) and the property line of the residential properties located across West North Avenue, as required by Section 15-2721-C-2.</p> <p>b) A screen wall and gate, seven feet in height shall be provided along all property lines. Said wall shall be located at the rear of required</p>

		<p>landscaping along streets, including freeways. Screen Walls, when located on a local industrial street or between industrial uses, may be a material other than masonry, subject to review and approval by the Director. Provide elevations for screening wall. Screening wall required in front of the property shall be setback 15 feet from the back of the sidewalk.</p> <p>c) Pursuant to FMC Section 15-2006-M-2, plain concrete block shall not be the primary material along Major Streets or other situations when block walls are required as part of project approval, such as at the rear of landscape easements. Concrete block or precast concrete walls shall be split face or finished with stucco, and capped with a decorative cap, or other decorative material as may be approved by the Director. Other materials may be approved by the Director should the design provide for an enhanced appearance. For continuity, walls should incorporate similar styles, colors, etc., when located on the same side of the street. Depict on the elevations how the screening wall along the front of the property complies with this section of the code.</p>
<div data-bbox="170 1354 259 1423" style="border: 1px solid black; width: 55px; height: 33px; margin: 0 auto;"></div>	5.	<p>Per Section 15-2721 (Concrete Batch Plants, Storage Yards, and Similar Uses) C-3-d, Additional screening and landscaping, as determined by the Director may be required where necessary to prevent visual impacts on adjacent properties.</p> <p>a) For compliance review provide planner with landscape elevation plans for the West North Avenue frontage.</p> <p>b) Revise landscaping along frontage of property to ensure landscaping at point of maturity will provide complete screening from ground level to a minimum height greater than 14 feet.</p> <p>c) Pursuant to Section 15-2721-C-3-a of the FMC, a minimum 10-foot-wide landscaped area is required along all street frontages, unless a greater setback is specified by the Code or an operative plan. As the subject property is located in the BP (Business Park) zone district and fronts North Avenue, which is classified as a major road, a 15-foot landscaped setback shall be provided along the street frontage up to the screening wall.</p> <ul style="list-style-type: none"> ○ Landscaping within this area shall include, per 100 linear feet: 2 large trees, 3 small to medium trees, 8 large shrubs, and 10 small to medium shrubs <p>d) <i>OPTIONAL: Consider implementing features of a complete vegetative barrier along all frontages per specifications of the Vegetative Barriers and Urban Greening Emission Reduction Program Plan of the San Joaquin Valley Air Pollution Control District AB 617 Community Emission Reduction Program. Consultation with Air District would be required to determine if project is eligible for enrollment in Program Plan.</i></p>

	6.	<p>The applicant shall provide landscape buffers in accordance with Table 15-2305-C.1 of the Fresno Municipal Code as follows:</p> <ol style="list-style-type: none"> 1. West Interior Side Property Line (Adjacent to Residential): <ul style="list-style-type: none"> • A Type 2 landscape buffer is required along the west side of the property, where it abuts a single-family residential district. Due to a 15-foot FMFCD storm drain easement that precludes tree planting, the applicant shall provide: <ul style="list-style-type: none"> ○ Landscaping over the FMFCD easement that includes 8 large shrubs, and 10 small to medium shrubs per every 100 linear feet. ○ For the additional adjacent 15-foot-wide landscaped area resulting in a total 30-foot-wide buffer, the following shall be required per every 100 linear feet: 2 large trees, 3 small to medium trees, 8 large shrubs, and 10 small to medium shrubs. 2. East Interior Side Property Line (Between the Truck Repair Shop and the Adjacent Industrial Property): <ul style="list-style-type: none"> • A Type 1 landscape buffer is required along the east side of the commercial truck repair shop, where the commercial use adjoins an industrial district. This excludes the truck parking area. <ul style="list-style-type: none"> ○ This buffer shall be at least 10 feet wide and include per every 100 linear feet: 2 large trees, 2 small to medium trees, 6 large shrubs, and 8 small to medium shrubs 3. No buffer is required along the south rear property line as this area involves industrial-to-industrial use adjacency.
	7.	<p>Pursuant to Sections 15-2015 (Outdoor Lighting and Illumination) and 15-2508 (Lighting and Glare) of the FMC, Outdoor Lighting shall comply as follows:</p> <ol style="list-style-type: none"> 1. Add notes to site plan. <ol style="list-style-type: none"> a. Outdoor lighting shall not exceed an intensity of one foot candle of light throughout the facility. b. All exterior doors, during the hours of darkness, shall be illuminated with a minimum of 0.5 foot-candle of light. c. All parking lots shall be illuminated with a minimum of 0.5 foot-candle of light. d. Lighting fixtures shall not exceed maximum allowable height as

		<p>specified in Table 15-2015-B-3 of the FMC.</p> <p>e. Lights shall be placed to deflect light away from adjacent properties and public streets, and to prevent adverse interference with the normal operation or enjoyment of surrounding properties.</p> <p>2. Lighting fixtures shall not be greater than 25 feet within 100 feet of street frontages.</p> <p>3. Provide photometric lighting plan that demonstrates lighting will not impact surrounding properties.</p>
<input type="checkbox"/>	8.	<p>Landscaping and irrigation shall be installed and maintained in accordance with the provisions and standards of Article 23 of the Fresno Municipal Code.</p> <p>Prior to final inspection, a written certification, signed by a landscape professional approved by the Planning and Development Department Director, shall be submitted stating that the required landscaping and irrigation system have been installed in accordance with the landscaping and irrigation plans approved by the Planning Division Include this note on the site and landscape plans.</p> <p>A hold on final inspection shall be placed on the proposed improvements until landscaping has been approved and verified by the Planning Division for proper installation. Please be advised that a fee will apply for the release of any holds placed.</p>
<input type="checkbox"/>	9.	<p>Addressing:</p> <p>The address listed in the conditions of approval (121 and 135 West North Avenue) are the 'Official Addresses' given to the site. The tentative addresses for the separate buildings are provided as an attachment. Please inform Planner Brittany Martin when you are ready to submit building plans for your project and confirm that the tentative addresses are consistent with your building plans. If your project changes and requires an updated address plan, please contact Planner Brittany Martin. Please update and add the addresses to the exhibits.</p> <p>Please note, only those addresses assigned by the City of Fresno will be recognized as 'Official Addresses'. The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.</p>
	10.	<p>On-site signs shall strictly adhere to the requirements of the Fresno Municipal Code and adopted plans and policies. Any proposed signage for the business is to be reviewed under a separate sign application.</p>
<input type="checkbox"/>	11.	<p>Parking shall be developed and maintained in accordance with the provisions of Article 24 of the Citywide Development Code and the City of Fresno Parking Manual.</p>

PART B – OTHER AGENCY COMMENTS AND CONDITIONS REQUIREMENTS

Planner to check when completed

<input type="checkbox"/>	1. Air Pollution Control District: Comply with the requirements outlined in the attached air district letter dated June 10, 2024.
<input type="checkbox"/>	2. Airports: The City of Fresno Airports Department anticipates no adverse impacts on Fresno Yosemite International Airport or Fresno Chandler Executive Airport from the proposed project.
<input type="checkbox"/>	3. Building and Safety Division: The items below require a separate process with additional fees and timelines, in addition to the Development Permit Application process. Be advised the following are preliminary comments based on the drawings submitted to the Planning and Development Division. 1) Building, Grading and Utility plans are required to be submitted to the Building and Safety Services Division for approval permits for the proposed project. a. All construction documents shall be designed, stamped and signed by a licensed architect/engineer. b. Fire-resistance rated construction is required at the east exterior wall of the proposed building. CBC section 705.5, 705.8 and 705.11. c. Design exterior entries and/or openings subject to foot traffic or wind-driven rain to prevent water intrusion into buildings per CAL Green 5.407.2.2 (5.407.2.2.1 at the main entry; 5.407.2.2.2 at all other entries and openings).
<input type="checkbox"/>	4. Department of Public Utilities (Sewer, Solid Waste, Water): Comply with the attached memoranda dated May 16, 2024.
<input type="checkbox"/>	5. Department of Public Works (Traffic): See Public Works, Land Planning Section conditions of approval and redline Exhibit CP3, in the record attachments. Make minor corrections and provide documentation of recorded deed prior to site plan sign off. For questions, please contact Braulio Flores at Braulio.Flores@fresno.gov or at (559) 621-8806.
<input type="checkbox"/>	6. Department of Public Works (Engineering): See Public Works, Traffic Planning's Conditions of Approval for street tree requirements.
<input type="checkbox"/>	7. Department of Public Works (CFD): See Public Works, Traffic Planning's Conditions of Approval for site maintenance requirements.
<input type="checkbox"/>	8. Fire Department: Approved as submitted. Approval of this plan does not authorize or approve any

		<p>omission or deviation from applicable adopted codes and adopted standards. Final approval is subject to field inspection.</p> <p>This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Planning & Development Department when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.</p> <p>This plan review is a review of the areas noted with a cloud or delta only. Any current or future approval for this plan will be for the clouded areas only and shall not constitute an approval for any areas or changes not shown on the plans with a cloud or delta.</p>
<input type="checkbox"/>	9.	<p>Flood Control:</p> <p>Comply with the attached Notice of Requirements submitted by the Fresno Metropolitan Flood Control District dated February 26, 2025. Pay the NOR Review fee, Grading Plan Review fee, and Drainage fee prior to the issuance of building permits.</p>
<input type="checkbox"/>	10.	<p>Fresno County Environmental Health:</p> <p>Recommended Conditions of Approval:</p> <ul style="list-style-type: none"> • The proposed project shall comply with the City's municipal code and the Fresno County Noise Ordinance Codes. All equipment shall be maintained according to the manufacturer's specifications, and that noise generating equipment be equipped with mufflers. It is recommended that a noise study is conducted for the parking of trucks (potential refrigerated trailers) or idling of trucks for prolonged periods, that includes potential mitigation measures. Consideration should be given to the City Municipal Code and the County of Fresno Noise Ordinance. • Facilities that use and/or store hazardous materials and/or hazardous wastes, they shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the California Health and Safety Code (HSC), Division 20, Chapter 6.95, Section 25507 (http://cers.calepa.ca.gov/). Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information. • The applicant should be advised of the State of California Public Resources Code, Division 30; Waste Management, Chapter 16; Waste Tire Facilities and Chapter 19; Waste Tire Haulers and facilities, may require the Owner/Operator to obtain a Tire Program Identification Number (TPID) and possibly a waste and used tire hauler permit from the California Department of Resources Recycling and Recovery (Cal

		<p>Recycle). Contact the local Tire Enforcement Agency at (559) 600-3271 for additional information.</p> <ul style="list-style-type: none"> As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor. Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.
<input type="checkbox"/>	11.	<p>Fresno Irrigation District: Comply with the requirements listed in the attached letter dated May 3, 2024.</p>
<input type="checkbox"/>	12.	<p>Historic Preservation: The scope of the work does not include any demolition. The proposed metal building is at the back of the existing property. It was evaluated and found that the proposed project will have minimal to no impact on the existing property. This concludes the Historic Review Process.</p>
<input type="checkbox"/>	13.	<p>Land Division Impact Fees: Comply with the requirements outlined in the attached fee estimate letter dated April 24, 2024.</p>
<input type="checkbox"/>	14.	<p>PG&E: Comply with the requirements listed in the attached letter dated May 1, 2024.</p>

PART C – OPERATIONAL REQUIREMENTS

Automobile/Vehicle Service and Repair, Major and Minor

1. Design.

- Service bay openings shall be designed to minimize the visual intrusion on surrounding streets and properties. Bay doors shall be screened from public right-of-way to the greatest degree feasible. On corner lots fronting two or more streets with different classifications in the General Plan, bay doors shall face the street with the highest classification, unless the bay doors are screened from both streets.
- Designs shall incorporate landscaping and half screen walls to screen vehicles while allowing eye level visibility into the site.

- Work Areas.** All work shall be conducted within an enclosed building except: pumping motor vehicle fluids, checking and supplementing fluids, and mechanical inspection and adjustments not involving any disassembly.

- Vehicle Storage.** Vehicles being worked on or awaiting service or pick-up shall be

stored within an enclosed building or in a parking lot on the property that is adequately screened, with an earth berm or Screen Wall, or combination thereof or a building. Screen Walls shall be located on property lines with the exception of yards along streets, where the Screen Wall shall be located at outside of required setbacks. Unattended vehicles may not be parked or stored on the sidewalk adjoining the property, in the street, or in any portion of the public right-of-way within the city. Screen Walls are not required when the site is located in an Industrial District that abuts a local street (Major Streets are required to have a Screen Wall). For Screening Wall standards, refer to Section 15-2008-C.

4. **Equipment, Product, and Vehicle Parts Storage.** Exterior storage, including tires, shall not be visible from Major Streets or residential districts.
5. **Water Runoff.** Water runoff shall be property treated as determined by the Department of Public Utilities and the Fresno Metropolitan Flood Control District.
6. **Spray/Paint Booths.** Spray Booths shall be screened from Major Streets and shall be separated a minimum of 100 feet from Residential Districts, Parks, public or private Schools (K-12), and Daycare Centers. Evidence, in the form of the letter, shall be submitted to the City prepared by the San Joaquin Valley Air Pollution Control District that the proposed paint booth complies with adopted standards.
7. **Litter.** The premises shall be kept clean and in an orderly condition at all times.
8. **Inoperable Vehicles and Junked Parts.** No used or discarded automotive parts or equipment or permanently disabled, junked, or wrecked vehicles may be stored outside a building, unless screened.

Concrete Batch Plants, Storage Yards, and Similar Uses

1. **Landscaping and Screening.**
 - a. There shall be a minimum 10-foot landscape area along all streets, unless a greater setback is required elsewhere in this Code or operative plan.
 - b. A Screen Wall and gate, of seven feet in height shall be provided along all property lines. Said wall shall be located at the rear of required landscaping along streets, including freeways. Screen Walls, when located on a local industrial street or between industrial uses, may be a material other than masonry, subject to review and approval by the Director.
 - c. Graffiti along perimeter Screen Walls shall be removed within 48 hours.
 - d. Additional screening and landscaping, as determined by the Director may be required where necessary to prevent visual impacts on adjacent properties.
2. **Paving.** All storage areas shall be paved per the following standards:
 - a. Public Works Standards for Parking Lots, or

- b. The surfacing shall consist of a minimum of two inches of asphalt concrete or three inches of road-mixed asphalt surfacing over native soil compacted in accordance with Public Works Standards. An alternative soil stabilizing agent may be applied and maintained, in lieu of asphalt concrete or road-mixed asphalt surfacing if approved in writing by the Public Works Director and the San Joaquin Valley Air Pollution Control District.

3. **Operational Requirements.**

- a. The operational statement shall articulate what items shall be stored on-site and for what purposes.
- b. There shall be no loading/unloading of vehicles and/or materials in the public right-of-way or within customer parking areas.
- c. Vehicles and/or materials may only be stored within designated areas per the approved entitlement.
- d. Personal storage of vehicles, such as boats or RVs, is prohibited.
- e. Retail Sales are prohibited.

- 4. **Stacking.** The stacking of products may not exceed two feet above the required screen wall, unless it is not visible from a Residential Use or District or a public street.

5. **Infrastructure Requirements.**

- a. Off-site improvements may be required by the City.
- b. The facility shall be served by a public sewer system. Private septic sewer systems are prohibited.
- c. Adequate facilities and infrastructure shall be provided for fire protection as determined by the City.

PART D - OTHER REQUIREMENTS

1) Planning/Zoning/Environmental Compliance Requirements

- a) Development shall take place in accordance with the policies of the Fresno General Plan, Southwest Fresno Specific Plan, and the Employment - Business Park planned land use designation.
- b) Development shall take place in accordance with the BP (*Business Park*) zone districts, and all other applicable sections of the Citywide Development Code, Chapter 15 of the Fresno Municipal Code (FMC) specifically but not limited to:
 - a. FMC Section 15-2710 (Automobile/Vehicle Service and Repair, Major and Minor)
 - b. FMC Section 15-2721 (Concrete Batch Plants, Storage Yards, and Similar Uses).

- c) Comply with the operational statement submitted for the proposed project dated January 31, 2025. Development shall take place in accordance with the attached “General Notes and Requirements for Entitlement Applications” if applicable.
- d) Property development standards and operational conditions are contained in Articles 13 (*Employment Districts*), 20 (*General Site Requirements*), 23 (*Landscape*), 24 (*Parking and Loading*), and 25 (*Performance Standards*). Any project revisions, development and operation must comply with these property development standards and operational conditions.
- e) Development shall comply with the City of Fresno Parking Manual, California Building Code, and American Disabilities Act requirements.

APPEALS

Pursuant to Table 15-1302 (Land Use Regulations – Employment Districts) the outdoor storage component of the project requires a courtesy notice be sent to all properties within 1,000 feet of the subject property upon approval.

Please be advised that this project may be subject to a variety of discretionary conditions of approval. These conditions based on adopted City plans, ordinances and policies; those determined to be required through the interdepartmental/interagency review process; and those determined through the environmental assessment process as necessary to mitigate adverse effects on the health, safety and welfare of the community. The conditions of approval may also include requirements for development and use that would, on the whole, enhance the project and its relationship to the neighborhood and environment.

All conditions of approval based on adopted plans, codes, and regulations are mandatory. Conditions based on the FMC may only be modified by variance, provided the findings required by the FMC Section 15-5506 can be made. Discretionary conditions of approval may be appealed but will ultimately be deemed mandatory unless appealed in writing to the Director within 15 days. In the event you wish to appeal the Director’s decision, you may do so by filing a written appeal with the Director. The appeal shall include the appellant’s interest in or relationship to the subject property, the decision or action appealed and specific reasons why the applicant believes the decision or action appealed should not be upheld.

If you wish to appeal the decision, a written request must be received by the Planning and Development Department by **September 2, 2025**. The written request should be addressed to Jennifer K. Clark, Director, and the project planner identified below, and include the application number referenced above. Please submit the request in writing (mail or email to publiccommentsplanning@fresno.gov and CC the planner listed below) to the Planner by the date noted above. A \$1017.96 fee applies to an appeal by an applicant. **The fee is required prior to accepting the appeal, as required by Section 15-5017-A.1 of the FMC and established by the Master Fee Schedule.**

COMPLIANCE REVIEW PROCESS

Please Note: To complete the compliance review process for building permits relative to planning and zoning issues, please upload **electronic PDF copies** of the corrected, final site plan, elevations, landscape, and irrigation plans, operational statement, any

fees and title reports for required covenants, and any required studies or analyses into the compliance record for final review and approval into the compliance record at least 15 days before applying for building permits.

The compliance record for the application is **P25-02679**. These documents can be uploaded electronically to the citizen access portal at [Accela Citizen Access](#). Contact Planner Brittany Martin once any corrected exhibits are uploaded.

It may be necessary to resubmit these "corrected exhibits" a second time if not all the conditions have been complied with or are not shown on the exhibits. Once the "corrected exhibits" are approved by the Planning and Development Department, please place these exhibits in the plan check set and contact Brittany Martin at Brittany.Martin@fresno.gov to coordinate final approval with Public Works Land Planning Division and Planning.

Copies of the final approved exhibits stamped by the Development Services Division must be submitted for unstamped copies of the same in each of the sets of construction plans submitted for plan check prior to the issuance of building permits.

EXPIRATION DATES

The exercise of rights granted by this special permit must be commenced by **August 15, 2028** (three years from the date of approval), pursuant to FMC Section 15-5013. An extension of up to one additional year may be granted, provided that the findings required under FMC Section 15-5013-A.1 are made by the Director. All required improvements must be installed prior to the operation of the proposed use.

Our goal is to continuously improve our customer service. Please take a moment to complete a quick survey linked [here](#). If you have any questions regarding this letter, feel free to give me a call at the number listed above.

Sincerely,

Brittany Martin

Brittany Martin, Planner
Planning and Development

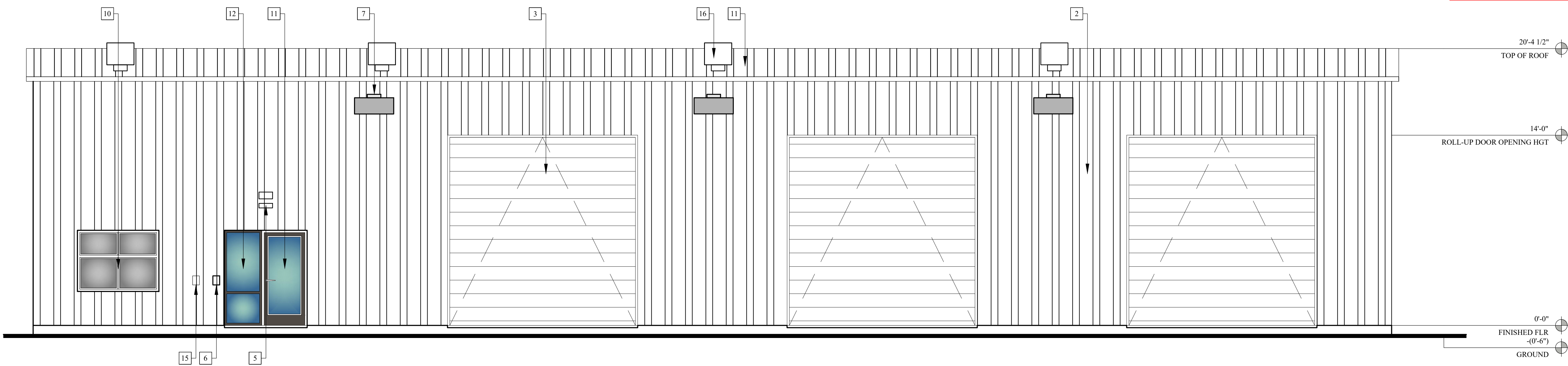
Enclosures: Exhibit A-2 dated 3/25/2025, and Exhibits A-1, E-1, F-1, L-1, and O-1 dated 1/31/2025

Comments from partnered Agencies and Departments

City of Fresno Parking Manual

General Notes and Requirements for Entitlement Applications

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CVEAS. REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.



Scope of work: All items to be listed as proposed, existing to remain or to be removed, or future.

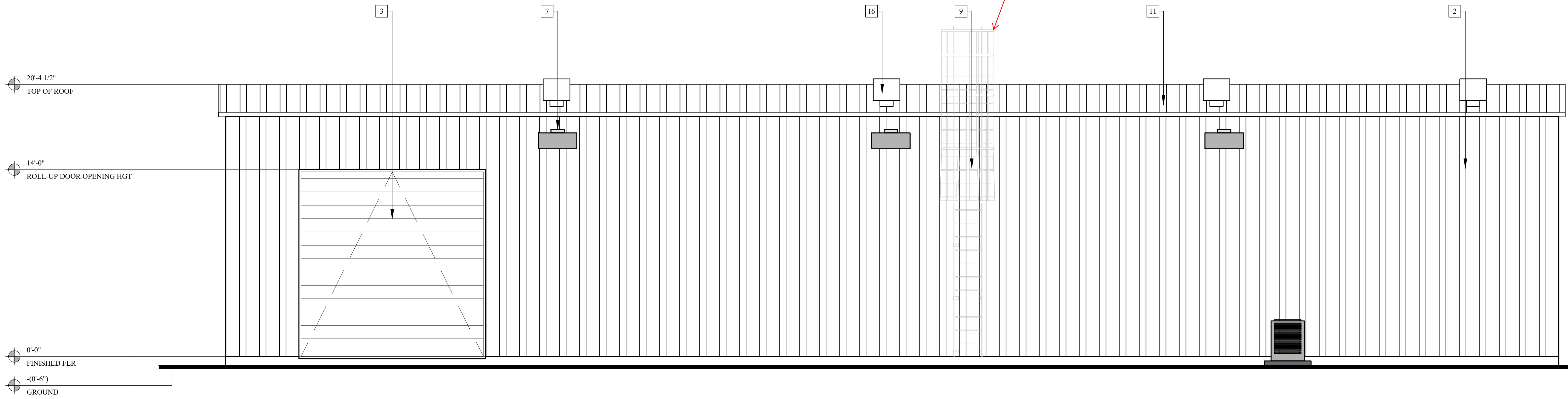
ELEVATION KEYED NOTES	
1	PRE FINISHED CORRUGATED METAL ROOFING
2	PRE FINISHED CORRUGATED METAL SIDING
3	PRE FINISHED METAL ROLL UP DOOR. REFER TO DOOR SCHEDULE.
4	HOLLOW METAL DOOR - REFER TO DOOR SCHEDULE.
5	STREET ADDRESS - SEE COVER SHEET GENERAL NOTES FOR MORE INFORMATION.
6	KNOX BOX - SEE FLOOR PLAN FOR MORE INFO.
7	WALL PACK LIGHT.
8	PRE FINISHED METAL DOWNSPOUTS SEE ROOF PLANS FOR MORE INFO.
9	INDICATES ROOF ACCESS LADDER
10	6040 WINDOW - REFER TO SCHEDULE.
11	3070 STOREFRONT DOOR W/ 10' HIGH KICKPLATE - REFER TO SCHEDULE.
12	2470 WINDOW - REFER TO SCHEDULE.
13	NOT USED
14	NOT USED
15	BUILDING SIGNAGE - SEE FLOOR PLAN FOR MORE INFO.
16	TURBO VENT

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from major streets, highways, passenger railways, or abutting Residential Districts.

FRONT ELEVATION - WEST

A

SCALE: 1/4" = 1'-0"



Roof access ladders shall be screened from Major Streets.

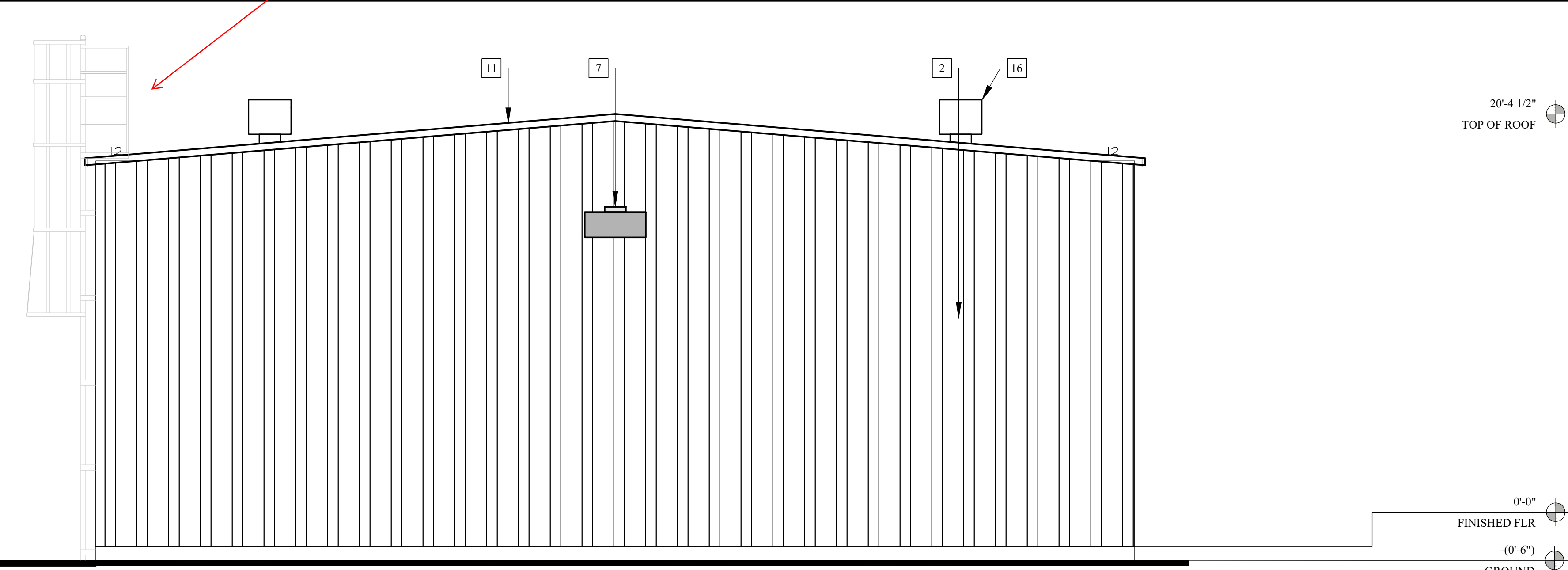
Roof access ladders shall be screened from Major Streets.

APPL. NO. P23-03606 EXHIBIT E-1 DATE 1/11/2025
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
COND. APPROVED BY _____ DATE _____
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

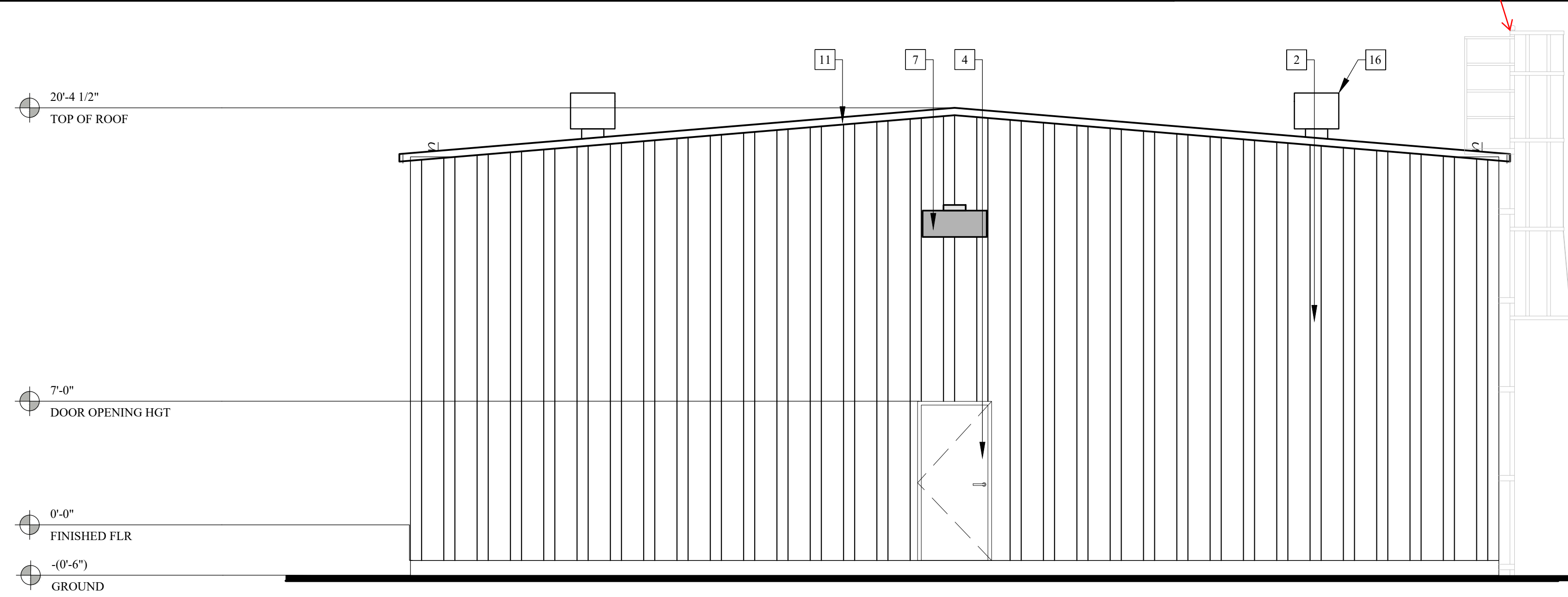
REAR ELEVATION - EAST

C

SCALE: 1/4" = 1'-0"



Roof access ladders shall be screened from Major Streets.



SIDE ELEVATIONS - NORTH

B

SCALE: 1/4" = 1'-0"

SIDE ELEVATIONS - SOUTH

D

SCALE: 1/4" = 1'-0"

CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.
2511 LOGAN STREET Tel: (559) 841-8811
SELMA, CA 93662 Fax: (559) 841-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT

TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-033

DATE SIGNED: 1/31/2025

Revisions	Date

ELEVATIONS

CVEAS JOB #:

23063

DATE:

1/31/2025

PLANNING SUBMITTAL #:

PLAN CHECK SUBMITTAL #:

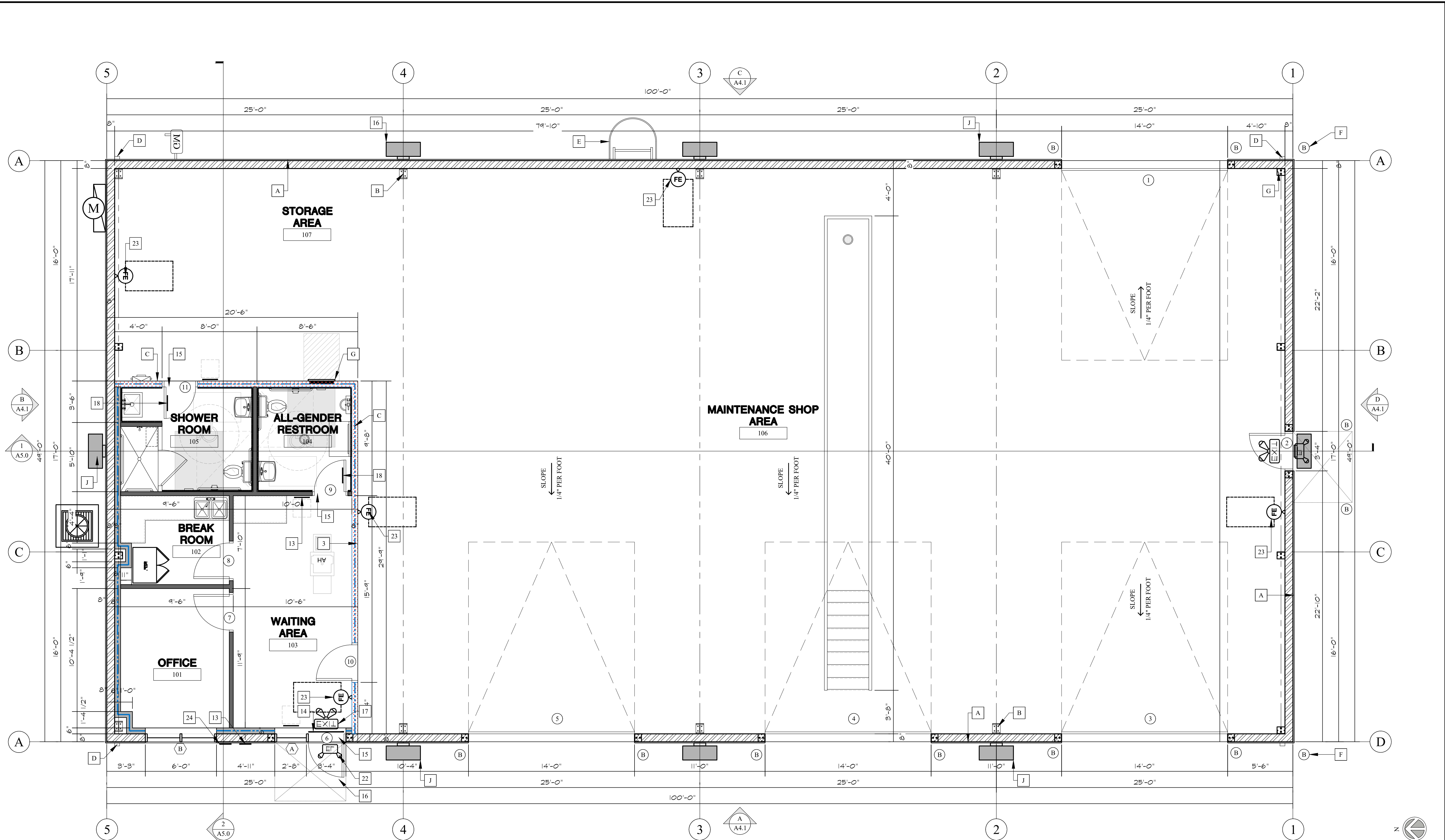
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PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPL. NO. P23-03606 EXHIBIT F-1 DATE 1/31/2025
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
COND. APPROVED BY _____ DATE _____
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

FLOOR PLAN KEYED NOTES

- FASTENERS IN PRESERVATIVE-TREATED WOOD SHALL BE APPROVED SILICON BRONZE OR COPPER STAINLESS STEEL OR HOT-DIPPED ZINC-COATED GALVANIZED STEEL.
- ALL FINISHED MATERIALS (ADHESIVE, SEALANTS, CAULKS, PAINTS, CARPETS, RESILIENT FLOORING, COMPOSITE WOOD PRODUCTS) SHALL COMPLY WITH CAL-GREEN 5504.4.
- THIS PROJECT HAS BEEN DESIGNATED WITH A UNIFORM LOAD OF 15 POUNDS PER SQUARE-FOOT TO SUPPORT THE ADDED LOADS OF A FIRE-SPRINKLER SYSTEM. THE MAIN FRAMING MEMBERS HAVE BEEN DESIGNED TO SUPPORT THE CONCENTRATED LOADS OF A SPRINKLER SYSTEM.
- PROVIDE FIRE BLOCKING AT ALL FLOOR AND CEILING LEVELS AND AT TEN-FOOT INTERVALS.
- ALL WEATHER STRIPPING, CAULKING, AND SEALING OF EXTERIOR DOOR(S), WINDOW(S), AND BUILDING ENVELOPE OPENING(S), AS REQUIRED BY STANDARDS. SHALL BE SUBJECT TO FIELD INSPECTION.
- OPEN-ABLE WINDOW AREA SHALL BE GREATER THAN OR EQUAL TO ONE-SIXTEENTH (1/16) OF THE FLOOR AREA. (CBC 1209.3)
- POWER DRIVEN FASTENERS: RAMJET PINS NO. 3880 AT BEARING WALLS 18" O.C. AND NON-BEARING WALLS.
- ALL WINDOW/DOOR FLASHING REFER TO DETAIL 9/D2.
- PROVIDE PEDESTRIAN EXIT FROM THE GARAGE OF THE SIZE TO PERMIT THE INSTALLATION OF A 36" X 80" DOOR AND THE HARDWARE MAY NOT BE LOCKABLE.
- ALL GLASS IN DOORS MUST BE LABELED SAFETY GLASS OR TEMPERED GLASS.
- FLOOR PROJECTIONS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH, INCLUDING BUT NOT LIMITED TO BALCONIES, LANDINGS, DECKS, AND STAIRS SHALL BE CONSTRUCTED OF NATURALLY DURABLE WOOD, PRESERVATIVE-TREATED WOOD, CORROSION-RESISTANT STEEL, OR SIMILAR APPROVED MATERIALS AT OPEN DECK AREA.
- SLAB SURFACE MUST SLOPE TO DRAIN 1/4" PER FOOT.
- INSTALL 12-INCH HIGH ADDRESS ON THE BUILDING IF NOT EXISTING. A SEPARATE SUITE SIGN SHALL BE TACTILE WITH SUITE NUMBERS IN RAISED NUMBERS AND BRAILLE AT THE MAIN ENTRY IF NOT EXISTING.
- IN BUILDING(S) IN OCCUPANCY GROUP A HAVING AN OCCUPANCY LOAD OF 300 OR LESS GROUPS B, F, M, AND S, AND IN PLACES OF RELIGIOUS WORSHIP, THE MAIN DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
A. THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED;
B. A READILY VISIBLE DURABLE SIGN POSTED OVER THE PRIMARY DOOR, AT EACH SPACE STATING "THIS DOOR SHALL REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" WITH 1" HIGH LETTERS ON A CONTRASTING BACKGROUND;
C. THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE FIRE CODE OFFICIAL FOR DUE CAUSE.
- THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/2 INCH ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY / ACCESSIBLE PARKING STALL INTO THE BUILDING OR RESTROOMS.
- INSTALL 6" X 6" ACCESSIBILITY SIGN AT FRONT MAIN ENTRANCE.
- PROVIDE ILLUMINATED EXIT SIGNS AT EXTERIOR EXIT DOORS WITH A BATTERY BACKUP OR AN APPROVED ALTERNATIVE.
- NEW TACTILE DOOR SIGN(S) ON RESTROOM ENTRY DOORS. REFER TO DETAIL 2/D1.
- 6'X5' LANDING AREA.
- PROVIDE THE FOLLOWING FOR FLOORS AND WALLS IN WATER CLOSET COMPARTMENTS:
A. FLOORS: TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 5 INCHES.
B. WALLS: WALLS WITHIN 2 FEET OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE SMOOTH, HARD ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SMOOTH, HARD NONABSORBENT SURFACE TO A HEIGHT OF 4 FEET. THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
- EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT SHALL HAVE A TACTILE EXIT SIGN WITH THE WORD "EXIT" IN RAISED CHARACTER.
- PROVIDE EMERGENCY LIGHTS WITH A BATTERY BACKUP OR AN APPROVED ALTERNATIVE.
- INSTALL 4A-40BC FIRE EXTINGUISHERS (MAXIMUM 50 FOOT TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING). SHALL BE INSTALLED SO THAT THE TOP IS NOT MORE THAN 5 FEET ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 3 FEET.
- PROVIDE KNOX BOX AT MAIN ENTRY AND INSTALLED AT 66" ABOVE FINISHED GRADE, UNLESS EXISTING. SECTION 506.1.

FLOOR PLAN KEYED NOTES

- A PRE-FINISHED CORRUGATED METAL SIDING.
- B STEEL FRAME SYSTEM - REFER TO STRUCTURAL PLANS.
- C 1-HOUR FIRE RATED EXTERIOR WALL. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION.
- D PRE-FINISHED METAL DOWNSPOUT ASSEMBLY.
- E LOCATION OF PAINTED ROOF ACCESS LADDER. PRE-FAB LADDERS BY OKEEFE'S INC. OR EQUAL.
- F 6" METAL BOLLARDS W/ CONCRETE. REFER TO DETAIL.
- G LOCATION ELECTRICAL PANEL(S). REFER TO ELECTRICAL PLANS FOR ADDTNL INFO.
- H METAL C-CHANNEL FRAME - REFER TO STRUCTURAL PLANS.
- J WALL PACK LIGHT.

INSULATION LEGEND

DESCRIPTION	TYPE
WALL INSULATION	R-19

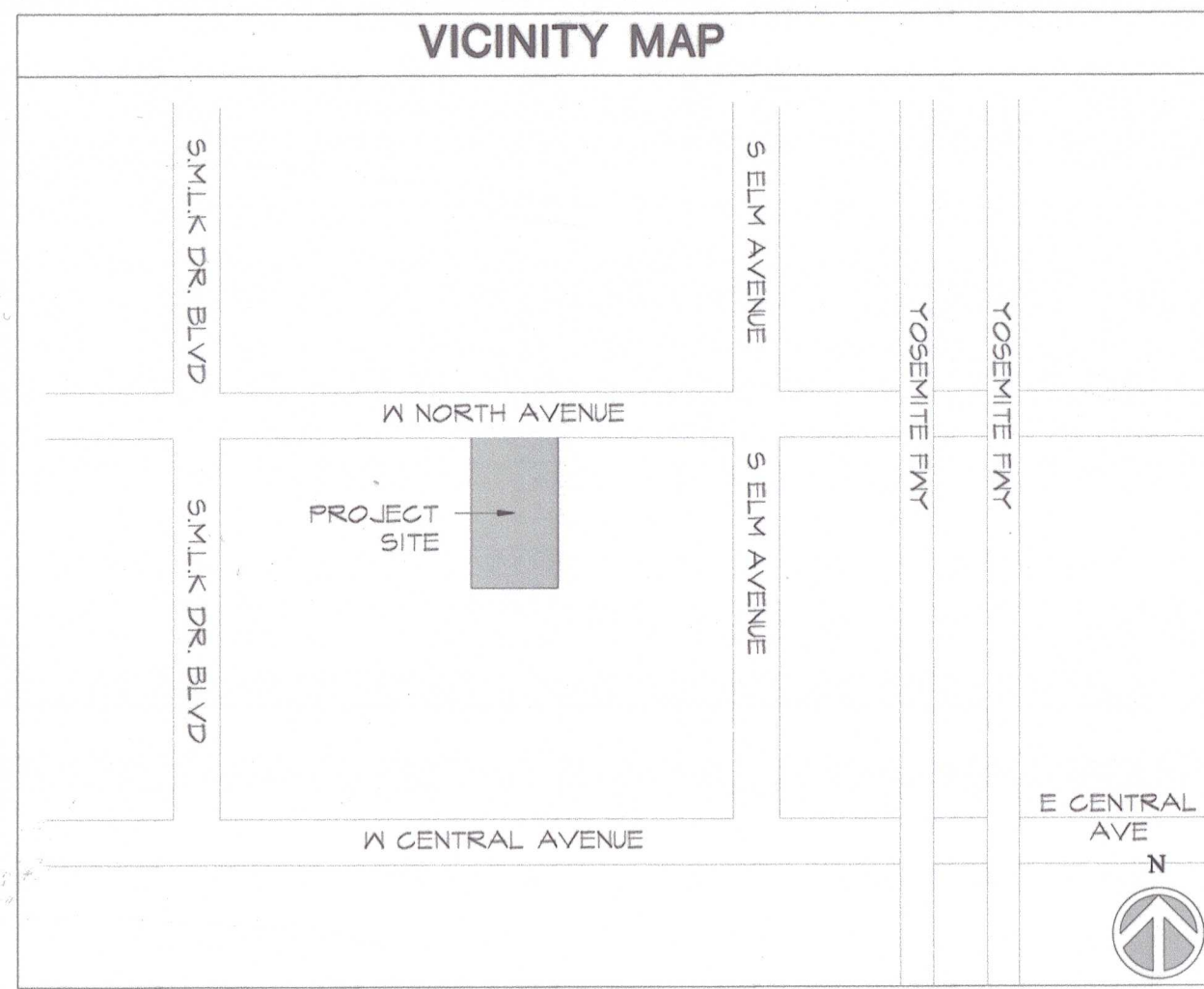
WALL LEGEND

SYMBOL	DESCRIPTION
	NEW EXTERIOR WALL: 2x6 DF #2 WOOD STUD AT 16" O.C. EXTERIOR SIDE - 7/8" MIN. THICKNESS OVER 1/2" 6A x 1-1/2" HEXAGONAL PAPER-BACKED WIRE LATH OVER 2-LAYERS OF TYPE "D" PAPER UNDERLAYMENT OVER PLYWOOD SHEATHING. INTERIOR SIDE - 1/2" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING. PROVIDE INSULATION PER TITLE 24.
	NEW INTERIOR WALL: 2x4 DF #2 WOOD STUD AT 16" O.C. 5/8" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	NEW INTERIOR BEARING WALL: 2x6 DF #2 WOOD STUD AT 16" O.C. BOTH SIDES - 5/8" DRYWALL WITH SCREWS REFER TO STRUCTURAL PLANS FOR NAILING.
	NEW 1-HOUR RATED SEPARATION WALL: 2x6 DF #2 WOOD STUD AT 16" O.C. BOTH SIDES - 5/8" TYPE "X" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	NEW METAL EXTERIOR WALL:

Revisions	Date

PROPOSED FLOOR PLAN	
CVEAS JOB #:	23063
DATE:	1/31/2025
PLANNING SUBMITTAL #:	
PLAN CHECK SUBMITTAL #:	
DRAWN BY:	
CHECKED BY:	
SCALE:	

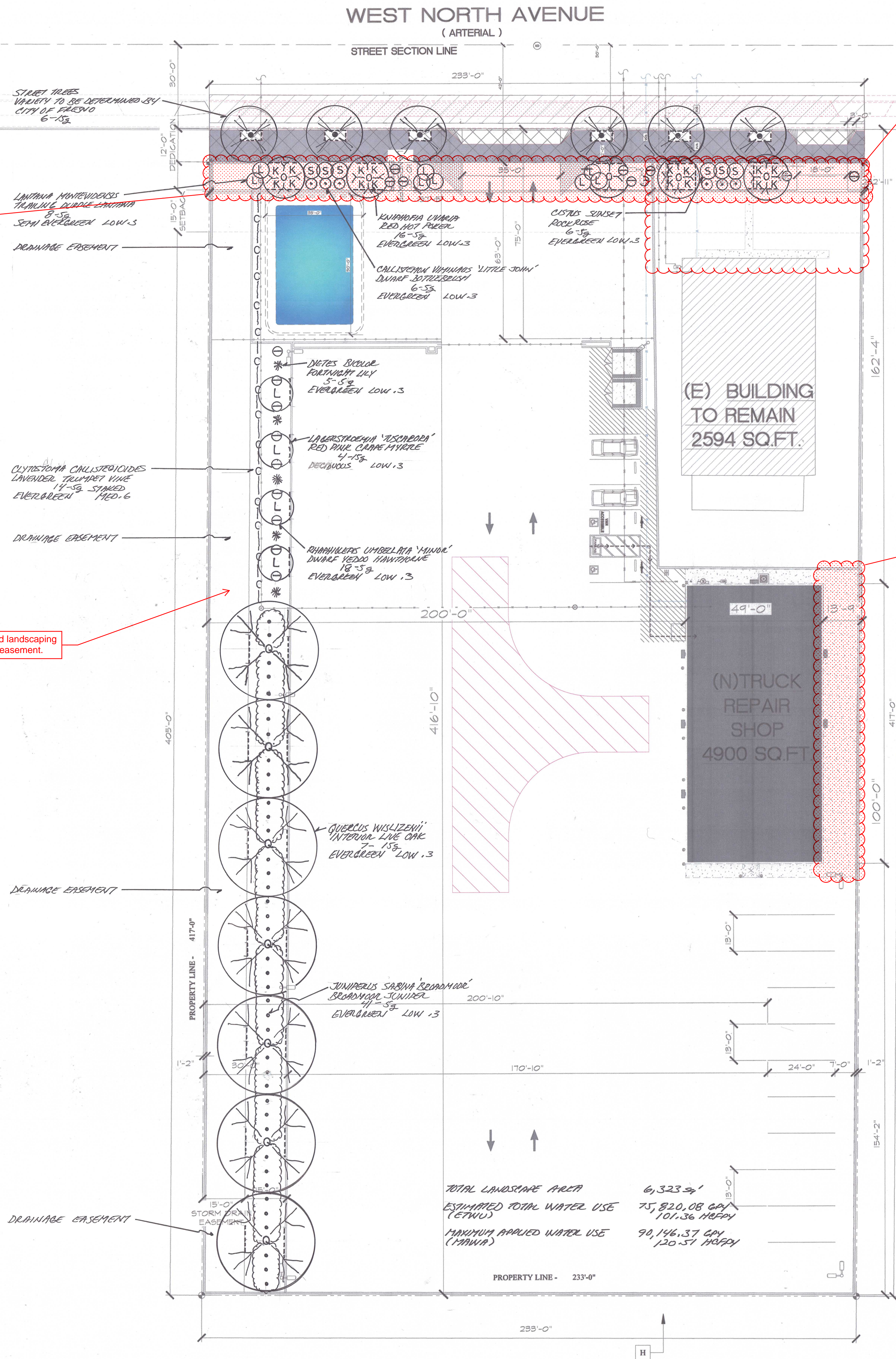
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1. Revise landscaping along frontage of property to ensure landscaping at point of maturity will provide complete screening from ground level to a minimum height greater than 14 feet.
2. Pursuant to Section 15-2721-C-3-a of the FMC, a minimum 10-foot-wide landscaped area is required along all street frontages, unless a greater setback is specified by the Code or an operative plan. As the subject property is located in the BP (Business Park) zone district and fronts North Avenue, which is classified as a major road, a 15-foot landscaped setback shall be provided along the street frontage up to the screening wall. Landscaping within this area shall include, per 100 linear feet: 2 large trees, 3 small to medium trees, 8 large shrubs, and 10 small to medium shrubs

Prior to final inspection, a written certification, signed by a landscape professional approved by the Planning and Development Department Director, shall be submitted stating that the required landscaping and irrigation system have been installed in accordance with the landscaping and irrigation plans approved by the Planning Division. Include this note on the site and landscape plans.

Depict any proposed landscaping within the drainage easement.



LANDSCAPE NOTES

- (1) THE VARIETY OF THE SIX (6) STREET TREES TO BE DETERMINED BY THE CITY OF FRESNO.
- (2) THE LANDSCAPE DESIGN SHALL MEET ALL REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- (3) A SEPARATE WATER METER, DEDICATED TO LANDSCAPE ONLY IS REQUIRED. (MWELO 1992.7)
- (4) A SOIL ANALYSIS REPORT WITH RECOMMENDATIONS IS REQUIRED. (MWELO 1992.5)
- (5) ROOT BARRIERS REQUIRED ON ALL TREES LOCATED WITHIN TEN FEET (10') OF BURIED UTILITIES, WATERS, MAINLINES AND SEWER LINES. DEEP ROOT US 24" x 2" ROOT BARRIERS, TEN FOOT (10') MINIMUM LINEAR LENGTH.
- (6) ALL LANDSCAPE PLANTS (INCLUDING DRAINAGE EASEMENT) TO RECEIVE A THREE INCH (3") LAYER OF DECUMATIVE MULCH. (MWELO 1992.6)

Add a 10 foot Type 1 Landscape Buffer. This includes 2 large trees, 2 small to medium trees, 6 large shrubs, and 8 small to medium shrubs every 100 linear feet. If keeping sidewalk, minimum size is 4 feet.

IRRIGATION

- (1) AN AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. IRRIGATION SYSTEM TO MEET ALL REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- (2) A SEPARATE IRRIGATION SYSTEM AND WATER METER FOR THE SIX (6) STREET TREES TO BE INSTALLED.
- (3) IRRIGATION SYSTEMS TO BE DRIP/IRRIGATION SYSTEMS.
- (4) AN IRRIGATION MOUNT RETAIN IS REQUIRED.

LANDSCAPE DOCUMENTATION PALETTE

- (1) A COMPLETE LANDSCAPE DOCUMENTATION PALETTE, MEETING ALL THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, SHALL BE SUBMITTED.

DESIGN COMPLIANCE

TABLE TO COMPLY WITH THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND STANDARD IRRIGATION SYSTEMS, IRRIGATION SYSTEM, LANDSCAPE DOCUMENTATION PALETTE.

01/24/25

LANDSCAPE PLAN

SCALE: 1"=20'-0"

OWNER DATA
MANDEEP KAUSHAL
121 N NORTH AVENUE
FRESNO, CA 93706-5518
PHONE: -- 554-445-8808
EMAIL: -- deepkaushal84@gmail.com
CONTACT: DEEPAK KAUSHAL

APPL. NO. P23-03606 EXHIBIT L-1 DATE 1/21/2025
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
COND. APPROVED BY DATE
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

Landscape plans shall be drawn to scale and shall, at a minimum, include the following:

1. Proposed plant locations, species, sizes, and plant factor. Plants with similar water needs shall be grouped together into hydrozones on the landscape plan. The plant factor according to the California Department of Water Resources study, Water Use Classification of Landscape Species (WUCOLS), shall be identified for all landscaped areas on a site. All water features shall be identified as high water use and temporarily irrigated areas shall be identified as low water use.
2. Proposed landscape features (mounds, stepping stones, benches, sculptures, decorative stones, or other ornamental features) locations, dimensions, and materials.
3. Proposed water features (fountains, pools and ponds) and paved surfaces locations, dimensions, and materials.
4. Proposed landscape structures (sheds, trellises, arbors, gazebos, fire pits, fireplaces, built-in barbecues, decks, retaining walls, and seat walls) locations, dimensions, and materials.
5. Location of any existing trees over six inches in diameter, as measured 48 inches above natural grade, and whether each such tree is proposed for retention or removal.
6. Identification of areas of preservation or incorporation of existing native vegetation.
7. Identification of areas not intended for a specific use, including areas planned for future phases of a phased development, shown landscaped or left in a natural state.
8. Any additional proposed landscape elements and measures to facilitate plant growth or control erosion.

Provide a summary table that includes the following:

1. Number of trees per species. Provide how trees and shrubs are complying with the size and spacing requirements of FMC Section 15-2307-A-5. (i.e. type of shrub/tree, height at maturity, size of gallon containers.)
2. Number of trees required per the Fresno Municipal Code Pursuant to FMC Section 15-2308-A-3, in the BP zone district a minimum of one tree for every 2,000 square feet of lot coverage.
3. Percent of parking lot shading that will be provided in 15 years. Pursuant to FMC Section 15-2421-A, 50 percent of areas not landscaped shall be shaded, of light colored materials with a Solar Reflectance Index (SRI) of at least 29.
4. Proposed species of trees
5. MWELO calculations and hydrozones

New landscaping shall have an automatic irrigation system designed to provide adequate and efficient coverage of all plant material. Irrigation systems shall comply with the requirements of the California Green Building Standards Code and/or the California Model Water Efficient Landscape Ordinance and/or the California Plumbing Code as may be amended.

CVEAS
CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.
2391 LOGAN STREET Tel: (554) 841-8811
SELMA, CA 93662 Fax: (554) 841-8815
WWW.CVEAS.COM Email: info@cveas.com

DESIGN • PLANNING & PROJECT MANAGEMENT

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL PROJECT

PROJECT
TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-033



DATE SIGNED: 1/21/2025

Revisions	Date

LANDSCAPE PLAN

CVEAS JOB #:	23063
DATE:	1/21/2025
PLANNING SUBMITTAL #:	
PLAN CHECK SUBMITTAL #:	
DRAWN BY:	
CHECKED BY:	
SCALE:	

L1.0

Operational Statement Form

Please use this form to clearly explain the proposed project. This information will assist all individuals, departments and agencies in their review and drafting of comments, conditions, suggestions or recommendations. The goal is to facilitate an accurate and complete description of your project in order to avoid unnecessary delays in gathering additional information. If you have any questions about the requested information, please call Development Services at (559) 621-8277.

Note: If the Operational Statement is not submitted or if the submittal is illegible, unclear or incomplete, the review of your project will not be accepted for processing.

Project Description:

Truck Maintenance Shop is being submitted by Brenda Ramirez of CVEAS, INC on behalf of Mandeep Kaushal and pertains to 2.22 acres of property located at 121 W. North Ave.
APN: 329-020-33 and is zoned BP with a planned land use of business

Add 135 W North Ave

The applicant is requesting authorization to:

Construct a new 100'x49' metal building.

Revise to Employment -
Regional Business Park.

The proposed development will consist of
A new metal building to be used as a truck repair garage.

The existing site currently consists of a house with 0 existing parking spaces
The proposed hours of operation are from 8am to 6pm on Monday - Friday
Other facts pertinent to this project are as follows:

The project site is partially developed. The existing house on site is to remain.

Add the following to the operational statement:

- a) Revise operational statement to specify how the establishment will minimize the idling of large commercial trucks.
- b) Revise operational statement to state that any large, refrigerated truck/trailers that require continuous operation will only be located in stalls located the maximum distance from residential properties.
- c) Revise operational statement to specify that large trucks will avoid routes through residential areas where possible, and will reroute from Highway 41 using Central, Elm, and Fig Avenues.
- d) All work to be conducted within an enclosed building except pumping motor vehicle fluids, checking and supplementing fluids, and mechanical inspection and adjustments not involving any disassembly per Section 15-2710-C.
- e) Per Section 15-2710-D, vehicles being worked on or awaiting service or pick up shall be stored within an enclosed building or completely screened from view by a screen wall. Unattended vehicles may not be parked or stored on the sidewalk adjoining the property, in the street, or in any portion of the public right-of-way within the city.
- f) Exterior storage, including tires, shall not be visible from Major Streets or residential districts per Section 15-2710-E.
- g) No used or discarded automotive parts or equipment or permanently disabled, junked, or wrecked vehicles will be stored outside a building, unless screened per Section 15-2710-I.

events, number of employees, required equipment, on-site storage, demolition or adaptive reuse of existing structures, noise generation, any hazardous materials, etc.)

The undeveloped part of the lot is to be improved to accommodate the metal building. New parking will be incorporated to the site, 3 standard stalls, 2 ADA, and 9 truck parking stalls. There will be a new trash enclosure constructed meeting City's standards. New lighting will be added following the parking layout. The site is to be gated and surrounded by a 7' high block wall. Business hours will be from 8am-6AM. There will be 4 employees. The shop will mainly be used for oil changes and tire repairs. Most of the parking spaces will be used by clients getting repairs or by the owner's personal trucks. No demolition is anticipated.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

File No. 210.412

Page 1 of 4

PUBLIC AGENCY

BRITTANY MARTIN
PLANNING & DEVELOPMENT DEPARTMENT
CITY OF FRESNO
2600 FRESNO STREET, THIRD FLOOR
FRESNO, CA 93721-3604

DEVELOPER

MANDEEP KAUSHAL
121 WEST NORTH AVE.
FRESNO, CA 93706

PROJECT NO: **2023-03606**

ADDRESS: **121 W. NORTH AVE.**

APN: **329-020-33**

SENT: **February 26, 2025**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
AV	\$81,176.00	NOR Review	\$85.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$433.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review	For amount of fee, refer to www.fresnofloodcontrol.org for form to fill out and submit with first storm drain plan submittal (blank copy attached).	
Total Drainage Fee: \$81,176.00		Total Service Charge:	\$518.00	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/25 based on the site plan submitted to the District on 2/03/25 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Creditable storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Creditable drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Creditable facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

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**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

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Approval of this development shall be conditioned upon compliance with these District Requirements.

1. ☐ a. Drainage from the site shall
☒ b. Grading and drainage patterns shall be as identified on Exhibit No. 1.
☐ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
☒ Developer shall construct facilities as shown on Exhibit No. 1 as MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.
☐ None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:

☒ Grading Plan
☒ Street Plan
☒ Storm Drain Plan
☒ Water & Sewer Plan
☐ Final Map
☐ Drainage Report (to be submitted with tentative map)
☐ Other
☐ None Required

4. Availability of drainage facilities:

☐ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
☐ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
☒ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
☐ d. See Exhibit No. 2.

5. The proposed development:

☐ Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
☒ Does not appear to be located within a flood prone area.

6. ☐ The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

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7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Brent Sunamoto
District Engineer, RCE

CC:

BRENDA RAMIREZ, CENTRAL VALLEY ENGINEERING AND
SURVEYING, INC

2511 LOGAN ST.

SELMA, CA 93662



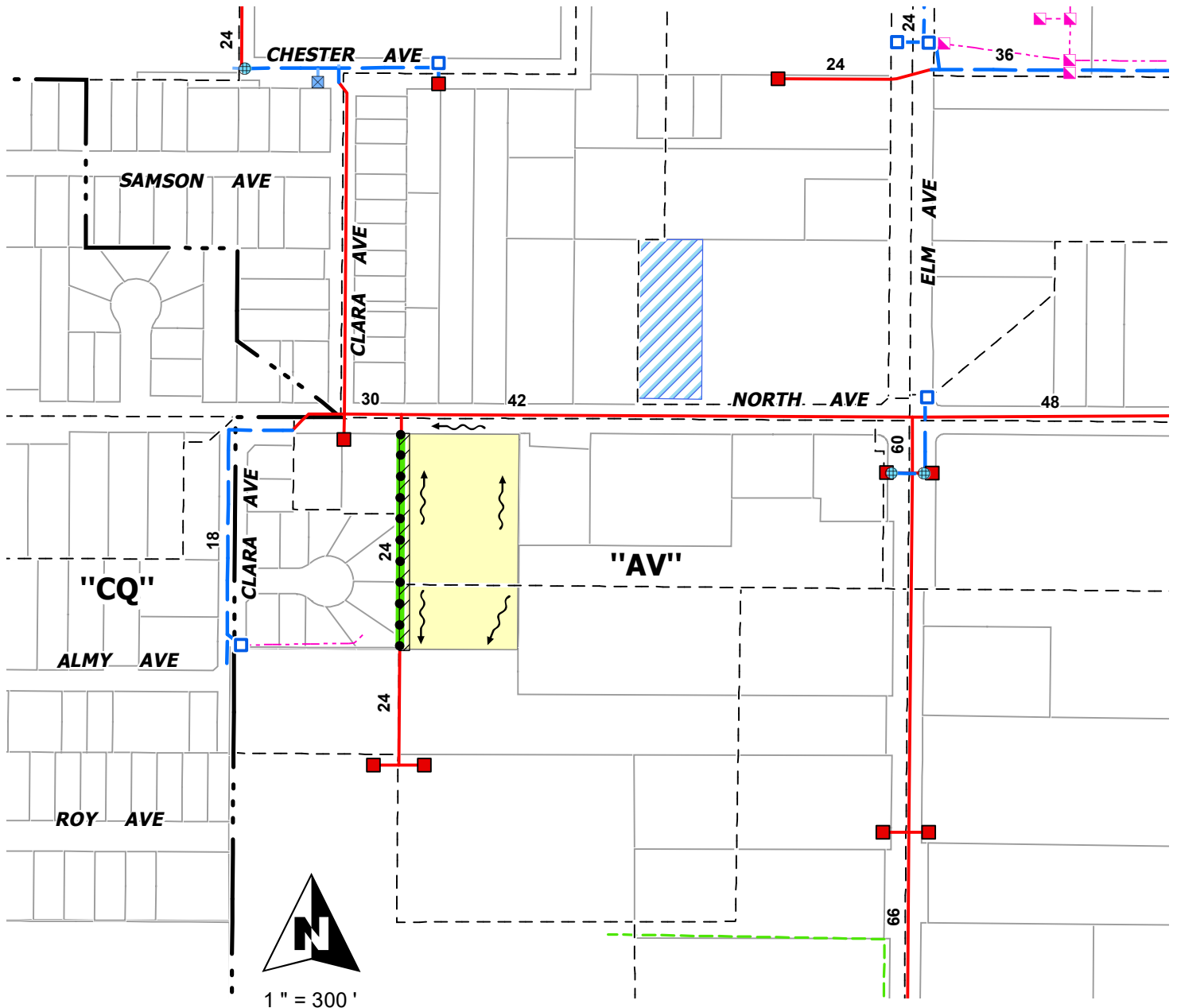
Gary W. Chapman
Engineering Tech III

Digitally signed by Gary W. Chapman Date: 2/10/2025 8:13:01 AM

Digitally signed by Brent Sunamoto Date: 2/26/2025 8:23:50 AM

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NOTE: THIS MAP IS SCHEMATIC.
DISTANCES, AMOUNT OF CREDITABLE
FACILITIES, AND LOCATION OF INLET
BOUNDARIES ARE APPROXIMATE.



LEGEND

- Creditable Facilities (Master Plan Facilities To Be Constructed By Developer) - Pipeline (Size Shown)
- Existing Master Plan Facilities
- Future Master Plan Facilities
- Private Facilities
- Existing Temporary Inlet
- Inlet Boundary
- Drainage Area Boundary
- Direction Of Drainage
- Minimum 15' Wide Storm Drain Easement To Be Dedicated To District By The Developer
- Existing Temporary Pond
- Limits Of FR DPA 2023-03606 v.1

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DRAINAGE AREA "AV"

EXHIBIT NO. 1

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT



OTHER REQUIREMENTS

EXHIBIT NO. 2

The minimum finish floor elevation shall be 274.66 (U.S.G.S. Datum).

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City or District.

The developer shall dedicate a minimum fifteen foot-foot (15') wide storm drain easement as shown on Exhibit No. 1. No encroachments into the easement will be permitted including, but not limited to, foundations, roof overhangs, swimming pools, and trees.

In an effort to improve storm runoff quality, outdoor storage areas shall be constructed and maintained such that material that may generate contaminants will be prevented from contact with rainfall and runoff and thereby prevent the conveyance of contaminants in runoff into the storm drain system.

The District encourages, but does not require that roof drains from non-residential development be constructed such that they are directed onto and through a landscaped grassy swale area to filter out pollutants from roof runoff.

Runoff from areas where industrial activities, product, or merchandise come into contact with and may contaminate storm water must be treated before discharging it off-site or into a storm drain. Roofs covering such areas are recommended. Cleaning of such areas by sweeping instead of washing is to be required unless such wash water can be directed to the sanitary sewer system. Storm drains receiving untreated runoff from such areas shall not be connected to the District's system. Loading docks, depressed areas, and areas servicing or fueling vehicles are specifically subject to these requirements. The District's policy governing said industrial site NPDES program requirements is available on the District's website at: www.fresnofloodcontrol.org or contact the District's Environmental Department for further information regarding these policies related to industrial site requirements.



SUBJECT: Conditions of Approval for **P23-03606**

DATE: May 3rd, 2024

TO: Brittany Martin, Planner II
Planning and Development Department

FROM: Braulio Flores, Engineer II
Public Works Department, Land Planning Section

ADDRESS: 121 West North Avenue

APN: 329-020-33

ATTENTION:

The items below require a separate process with additional fees and timelines, in addition to the development permit process. Submit the following items early to avoid delaying approval of building permits. Final approval of the site plan is contingent on receipt of all items checked below.

To be completed:	Point of Contact	Department and Contact Information
CFD Annexation Request Package (CFD 9; up to 4-month processing time) -AND/OR- Private Maintenance Covenant	Adrian Gonzalez	Public Works Department (559) 621-8693 Luis.Gonzalez@fresno.gov
Deeds (up to 2-month processing time) Deeds are required to provide easements to the City for required public improvements. They shall be prepared by the owner / developer's engineer. Contact Jason Camit for fees and processing requirements. Provide a copy of the recorded dedications to Traffic Planning prior to the issuance of building permits.	Jason Camit	Public Works Department (559) 621-8681 Jason.Camit@fresno.gov

ATTENTION:

Provide corrections as noted on Exhibit "A-1".

Prior to resubmitting the corrected exhibit, provide the following information and conditions of approval on the site plan:

A. GENERAL REQUIREMENTS

1. **Legal description:** Provide legal description.
2. **Easements:** Identify, revise and dimension existing and proposed easements.
3. **Scope of work:** Identify all items as existing, proposed, to remain, to be removed or future.
4. **Legend:** Provide/Revise line type and utility symbols.
5. **Vicinity Map:** Provide 4 major streets (1/2 square mile) with a north arrow.
6. **Required Notes:** Revise General Notes to include the required Public Works Department notes.
 - a. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
 - b. Repair all damaged and/or off-grade concrete street improvements as determined by the Construction Management Engineer, prior to occupancy.
 - c. Two working days before commencing excavation operations within the street right-of way and/or utility easements, all existing underground facilities shall have been located by UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
 - d. The performance of any work within the public street right-of-way requires a street work permit prior to commencement of work. All required street improvements must be completed and accepted by the City prior to occupancy. <https://www.fresno.gov/publicworks/traffic-engineering/#tab-6>
 - e. Deeds are required to provide easements to the city for required public improvements. They shall be prepared by the owner / developer's engineer. Executed copies shall be submitted to the city with verification of ownership prior to the issuance of building permits.
 - f. All existing driveway approaches which no longer provide access to approved vehicle parking areas shall be removed unless otherwise approved by the City Engineer. Such areas shall be reconstructed with curb, gutter, and sidewalk to match existing adjacent street improvements. This work shall be completed and accepted before a Permit of Occupancy is issued or the building is occupied per FMC 13-211.
 - g. Underground all existing overhead utilities within the limits of this application as per Fresno Municipal Code Section 15-2017 and Public Works Policy No. 260.01.
 - h. Submit street construction plans to the Public Works Department.

- i. Submit street lighting plans to the Public Works Department.
<https://www.fresno.gov/publicworks/traffic-engineering/#tab-4>
- j. Submit signing and striping plans to the public works department. Comply with the current Caltrans standards.
<https://www.fresno.gov/publicworks/traffic-engineering/#tab-4>
- k. Provide a 4' minimum path of travel along the public sidewalk directly in front of property, to meet current accessibility regulations. A pedestrian easement may be required if requirements are not met.
- l. Contact the Public Works Department, Traffic Engineering at 559-621-8800, 10 working days prior to any offsite concrete construction.
- m. All existing sidewalks in excess of 2% maximum cross slope must be brought into compliance prior to acceptance by Public Works.
- n. All development shall take place in accordance with all city laws and regulations.

B. OFFSITE INFORMATION:

- 1. **Public Street Improvements:**
 - a. **Street pavement**
 - b. **Concrete curb, gutter, and sidewalk**
 - c. **Sidewalk drains**
 - d. **Drive approaches**
 - e. **Streetlights**
 - f. **Street tree wells**
 - g. **Undergrounding of overhead utilities**
- 2. **Street furniture:** Identify utility poles, boxes, guy wires, signs, fire hydrants, bus stop benches, trash receptacles, etc.
- 3. **Accessibility:** Identify and dimension the required 4' minimum path of travel along the public sidewalk adjacent to the property. Provide pinch point dimensions. A pedestrian easement may be required if Title 24 requirements cannot be met.

C. ONSITE INFORMATION:

- 1. **Lot drainage:** Identify lot drainage conveyance to the right-of-way.
- 2. **State standard "STOP":** Identify and install a **30"** state standard "STOP" sign at the location shown. Signs shall be mounted on a **2"** galvanized post with the bottom of the lowest sign **7'** above ground, located behind curb and immediately behind a major street sidewalk.
- 3. **Gates:**
 - Commercial:**

- a. Provide a minimum of **20'** or length of largest vehicle to access site, measured from the gate to the back of walk/right-of-way/pedestrian easement or,
- b. Provide a gate operational statement on the site plan stating that all vehicle access gates shall be opened as the first order of operating business and shall remain open during operating hours. The public right-of-way shall remain unobstructed at all times.

PUBLIC IMPROVEMENT REQUIREMENTS

The following requirements are based on city records and the accuracy of the existing and proposed on-site and off-site conditions depicted on the exhibits submitted. Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed. Construct additional offsite improvements, including but not limited to, concrete curb, gutter, sidewalk, approaches, ramps, pavement, utility relocations, etc. in accordance with *City of Fresno's Public Works Standards, Specifications*, and the approved street plans. Street widening and transitions shall also include utility relocations and necessary dedications.

Repair all damaged and/or off grade off-site concrete street improvements as determined by the City of Fresno Public Works Department, Construction Management Division, (559) 621-5600. Pedestrian paths of travel must also meet current accessibility regulations.

All existing sidewalks and trails in excess of 2% maximum cross slope must be brought into compliance **prior** to acceptance by Public Works.

Underground all existing overhead utilities within the limits of this site/map as per **Fresno Municipal Code Section 15-2017** and **Public Works Policy No. 260.01**.

The construction of any private overhead, surface or sub-surface structures, and appurtenances in the public right of way is prohibited unless an **Encroachment Covenant** is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8693. **Encroachment Covenant** must be approved **prior** to issuance of building permits.

North Avenue: 2-Lane Arterial

(Provide the following as notes on the site plan.)

1. Dedication Requirements:

- a. Dedicate a **42'** easement, from section line, for public street purposes, within the limits of this application. Section line shall be established per West North Avenue "South Marks Avenue to South Elm Avenue" Official Plan Line.

2. Construction Requirements:

- a. Construct **20'** of permanent paving per *Public Works Standard P-50*, within the limits of this application and transition paving as necessary.
- b. Remove existing driveway approaches not identified for utilization as noted on **Exhibit "A-1"**, and install sidewalk, curb, gutter and paving per City of Fresno *Public Works Standards P-5 and P-48* to match existing or proposed street improvement line and grade per Fresno Municipal Code (FMC) 13-211.
- c. Construct driveway approach to *Public Works Standards P-1, P-2, and P-6*, as approved on the site plan. Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A-1"**.
- d. Construct concrete curb, gutter and sidewalk to *Public Works Standard P-5*. The curb shall be constructed to a **12'** commercial pattern. Construct tree wells per *Public Works Standard P-8*.
- e. Planting and Irrigation of street trees shall conform to the minimum spacing, guidelines, and requirements as stated in the *Model Water Efficiency Landscape Ordinance, Public Works Standards and Specifications, Section 25 and 26*.
- f. Construct an underground street lighting system to *Public Works Standard E-1* within the limits of this application. Spacing and design shall conform to *Public Works Standard E-7A* for Arterials. Streetlights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in **Section 3-3.17** of the *City Specifications and Public Works Standards E-15, E-17 and E-18* or as approved by the City Engineer.
- g. Provide a **12'** visibility triangle at all driveways, per Fresno Municipal Code (FMC) 15-2018B.

Public Improvement Plans are required and shall be approved by the City Engineer. Contact Scott Tyler at (559) 621-8654 or at Scott.Tyler@fresno.gov and submit Public Improvement Plans for all required work, in a single package, to Engineering Services Division. Dedications shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed for Collectors and **55 MPH** for Arterials. Utility poles, streetlights, signals, etc. shall be relocated as determined by the City Engineer. The performance of any work within the public right of way and/or easements (including street, bike, pedestrian, landscape, and utility easements) requires a **Street Work Permit prior** to commencement of work. Contact Public Works Department at (559) 621-8800, 10 working days prior to construction of any improvements in the public right-of-way and/or easements. All improvements shall be constructed in accordance with the City of Fresno, *Public Works Department Standard Drawings and Specifications*. Traffic Control Plans shall be required to ensure the sidewalk, or an approved accessible path remains open during construction. Contact Melessa Avakian at (559) 621-8812 or at Melessa.Avakian@fresno.gov and submit Traffic Control Plans to the Traffic Operations and Planning Division. All work shall be reviewed, approved, completed, and accepted **prior** to obtaining a certificate of occupancy.

Two working days before commencing excavation operations within the street right of way and/or utility easements, all existing underground facilities shall have been located by Underground Services Alert (USA) Call 811.

Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice Land Surveying in the State of California.

PRIVATE IMPROVEMENT REQUIREMENTS

Off-Street Parking Facilities and Geometrics:

Contact the Planning and Development Department for review and approval of onsite parking. The parking lot is required to meet the *City of Fresno's Parking Manual, Public Works Standards P-21, P-22, and P-23 and Specifications*. Parking must also comply with the *California Building Code's* accessibility requirements and the Fire and Solid Waste Department's minimum turning templates.

Driveway:

1. Construct a concrete or asphalt driveway to *Public Works Standard P-21, P-22, and P-23* at minimum.
2. Backing onto a major street is prohibited. Construct a circular or hammerhead driveway per **Exhibit "A-1"**.
3. Driveway and drive approach shall be constructed to the same width per **Exhibit "A-1"**.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees at the time of building permit. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the Master fee schedule.

Fresno Major Street Impact (FMSI) Fees: This entitlement is in the **New Growth Area**; therefore pay all applicable growth area fees and citywide regional street impact fees. Contact the Public Works Department, Frank Saburit at (559) 621-8797.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable RTMF fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to issuance of certificate of occupancy.

In order to obtain street or building permit approval from the Public Works Department, an approval stamp with a signature from Land Planning Section is required on the site plan and inserted in the building sets.

Questions relative to these conditions may be directed to Braulio Flores (559) 621-8806 Braulio.Flores@fresno.gov in the Public Works Department, Land Planning Section.

MAINTENANCE REQUIREMENTS OF PUBLIC IMPROVEMENTS

The Property Owner for commercial, industrial and multi-family developments shall be responsible for providing maintenance for certain required public improvements located within and adjacent to the public streets on the perimeter associated with their development and as approved by the Public Works Department.

1. The Property Owner's Maintenance Requirements:

The long-term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Commercial, Industrial and Multi-Family developments are the ultimate responsibility of the Property Owner. The property owner shall provide Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 9 ("CFD No. 9").

The following public improvements (existing and proposed) are eligible for Services by CFD No. 9 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within public street rights-of-way, required public trail easements, and landscape easements located between required sound walls and adjacent to public streets; including without limitation, median islands (1/2 if frontage is only on one side) and parkways. **(Major and Local Public Streets)**
- All amenities such as benches, drinking fountains, trash receptacles, City required fencing and low voltage lighting, as approved by the Public Works Department for officially designated and required public trails.
- Tree trimming only of required street trees within public street easements along **Major and Local Public Street frontages.**
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, median capping and maintenance bands (1/2 if frontage is only on one side), and traffic calming structures in the street rights-of-way. **(Major Public Streets)**
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, median island curbing and hardscape, street paving and street name signage. **(Local Public Streets)**
- All costs associated with the street lights (including repair and replacement) within public street rights-of-way. **(Major and Local Public Streets)**

2. The Property Owner may choose to do one or both of the following:

- A. The Property Owner may petition the City of Fresno to request annexation to CFD No. 9

by completing and submitting an Annexation Request Package to the Public Works Department, Land Planning & Subdivision Inspection Section for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Developer Doorway.

- **Proceedings to annex territory to CFD No. 9 SHALL NOT commence** unless this development is within the City limits and all construction plans (this includes Street, Street Light, Signal and Landscape and Irrigation plans as applicable) are considered technically correct.
- The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 9 are not subject to change after acceptance for processing.**
- The annexation process takes from three to four months and **SHALL** be completed prior to building permit approvals. The review and approval of Landscape and Irrigation Plans are required to be approved by the Public Works Department prior to the completion of the annexation process.
- Public improvements not listed above will require special approval by the Public Works Department Director or his designee.

-OR-

- B. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 9 for Services **SHALL** be included in a Private Maintenance Covenant for the required Services associated with this development or as approved by the City Engineer.

Any change to this development that would affect these conditions shall require a revision of this letter.

INCOMPLETE Community Facilities District ("CFD") Annexation Request submittals may cause delays to the annexation process and project approval. The annexation process takes from three to four months and **SHALL** be submitted for processing prior to Building Permit approval.

All applicable construction plans for this development are to be submitted to the Public Works Department for review and approval prior to the CFD process. The Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process.

For any questions regarding these conditions please contact Adrian Gonzalez at (559) 621-8693 / Luis.Gonzalez@fresno.gov

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with AB 1881.
2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Public Planting and Utility Easement.
 - a. Street tree inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
 - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
 - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.
 - d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city-controlled property is in conformance with the Specifications of the City of Fresno.
 - e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.
 - f. Choose appropriate trees from the list of Approved Street Trees.
<https://www.fresno.gov/publicworks/developer-doorway/#tab-5>

BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS

1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Homeowner's Association.
2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works Street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.

- a. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with AB1881, water efficient landscaping.
- b. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.
- c. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the sidewalk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.
- d. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.
- e. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.
- f. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

Submit all landscape and irrigation plans, to the scale of 1" = 20', to dpwplansubmittal@fresno.gov for plan review, prior to the installation of any landscaping within the right-of-way.

2511 LOGAN STREET Tel. (559) 891-8811
SELMA, CA 93662 Fax (559) 891-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-003



DATE SIGNED: 1/18/2024

Revisions:	Date:

SITE PLAN

CVEAS JOB #: 23063

DATE: 1/18/2024

PLANNING SUBMITTAL #:

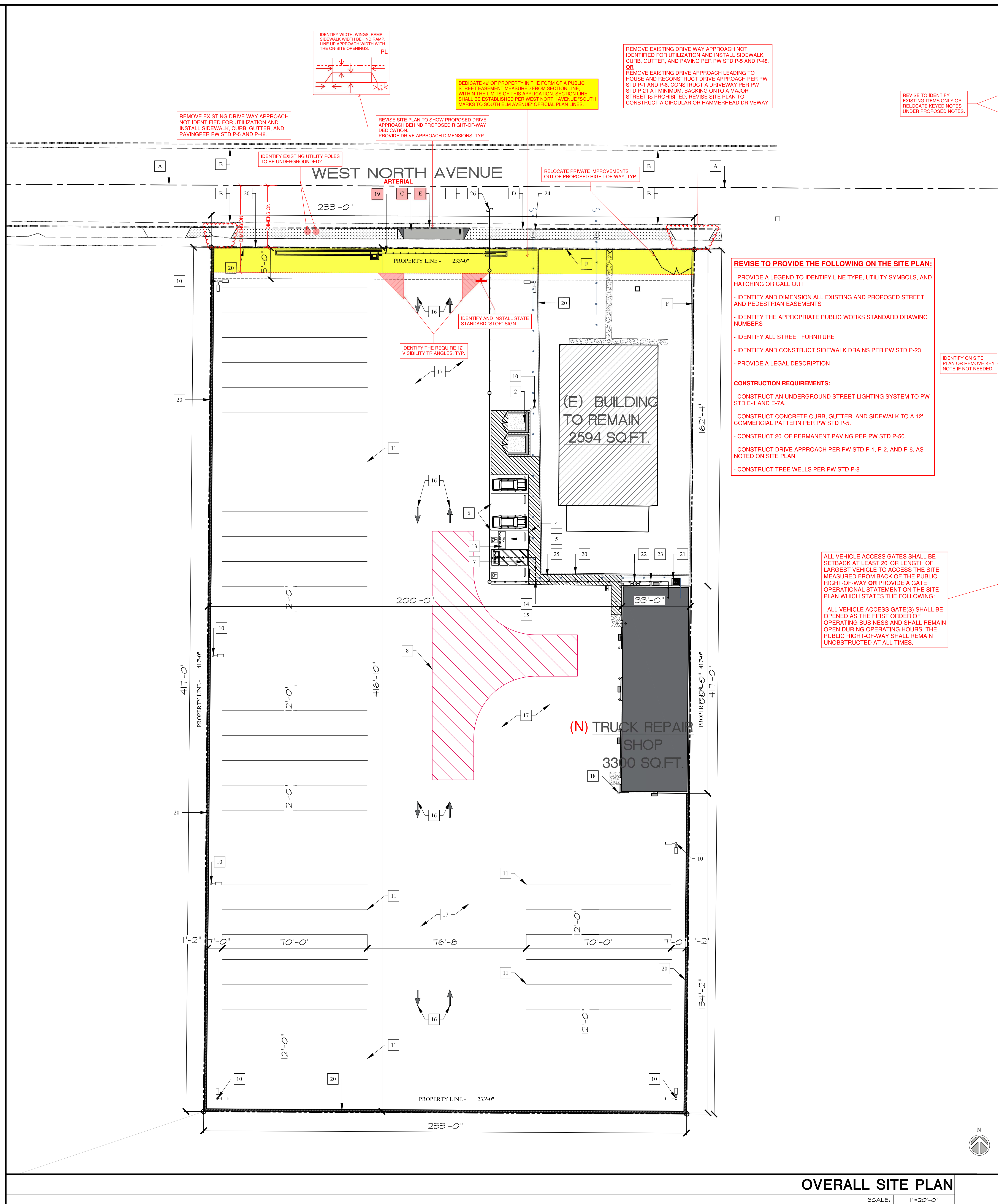
PLAN CHECK SUBMITTAL #:

DRAWN BY:

CHECKED BY:

SCALE:

A1.1



SITE PLAN KEYED NOTES (EX. ITEMS)	
X	DESCRIPTION
A	(E) INDICATES CENTERLINE OF ROAD , STREET SECTION LINE
B	(E) EDGE OF AC PAVING.
C	(E) START/UT OF EXISTING ROAD PAVING BEYOND THE EXISTING START/UT MATCH EXISTING IMPROVEMENT PERMIT REQUIRED
D	(E) 6" HIGH CONC. CURB AND GUTTER PER CITY STD.
E	(E) START-UT AND REMOVE EXISTING CURB AND GUTTER. CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STD. ST-7.
F	(E) 6'-0" HIGH WROUGHT IRON FENCE TO REMAIN.

SITE PLAN KEYED NOTES		
	X	DESCRIPTION
	1	(N) 35'-0" WIDE COMMERCIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO STANDARDS P-6. PW STD P-2 AND P-6.
	2	(N) TRASH ENCLOSURE AS PER CITY OF FRESNO STANDARDS P-33A
	3	(N) TOW-AWAY SIGN. REFER TO DETAIL 5/A1/3.
	4	(N) ACCESSIBILITY SIGN. REFER TO DETAIL 5 AND 6/A1/3.
	5	(N) ACCESSIBILITY PARKING STALL. REFER TO DETAIL 3/A1/3.
	6	(N) 4" WIDE PAINTED PARKING STRIPES.
	7	(N) 6" HIGH CONCRETE WHEEL STOP. REFER TO DETAIL 6/A1/3.
	8	(N) INDICATES HAMMERHEAD TURN-AROUND APPARATUS.
	9	(N) RECESSED CONCRETE TRUCK DOCK 15'-0" X 70'-6".
	10	(N) HOODED LIGHT.
	11	(N) 12' X 70' TRUCK PARKING.
	12	(N) 6'-0" HIGH CHAIN LINK FENCING WITH SLATS
	13	(N) 8'-0"(MIN.) WIDE ACCESSIBLE UNLOADING ZONE ADJACENT TO VAN STALL LOCATION.
	14	(N) ACCESSIBLE PATH OF TRAVEL
	15	(N) PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHIN 30" OF ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE W/ A SLIP RESISTANT SURFACE W/ A 5% MAX. SLOPE AND 1/4% MAX. CROSS SLOPE PASSING SPACES OF 60" X 60" MIN. ARE TO BE LOCATED NOT MORE THAN 200' APART. WALKS W/ CONT. GRADIENTS ARE TO HAVE A 60" IN LENGTH OF LEVEL AREAS NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80' MIN. ABOVE FINISHED FLOOR AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM THE WALL/VERTICAL SURFACE FROM 21" ABOVE THE FLOOR SURFACE TO 60" ABOVE THE FLOOR SURFACE. THERE IS TO BE NO DROP-OFF GREATER THAN 4" AT THE END OF ANY WALK OR RAMP UNLESS IDENTIFIED BY A GUARD, A HANDRAIL, OR A 6" HIGH MIN. WARNING CURB ABOVE THE WALK. ARCHITECT, CONTRACTOR, AND/OR SUB-CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
	16	(N) DIRECTIONAL ARROW - REFER TO DETAIL 7/A1/3
	17	(N) A/C DRIVE PER PW STD P-21 AT MIN.
	18	(N) BOLLARDS) - REFER TO DETAIL 1/A1/3
	19	(N) 7'-0" HIGH SLIDING AUGHTON IRON SATE W/LOCK.
	20	(N) 7'-0" HIGH CMU WALL
	21	(N) LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
	22	(N) LOCATION OF ELECTRICAL METER
	23	(N) LOCATION OF GAS METER
	24	(N) LOCATION OF WATER METER
	25	(N) SHORT/LONG TERM BIKE PARKING (W/M, (1) TWO-BIKE CAPACITY RACK SEE CAL-GREEN 5.106.41.2 & 5.106.41.5.
	26	(N) 6" SEWER SERVICE LATERAL WITH CLEAN OUT .

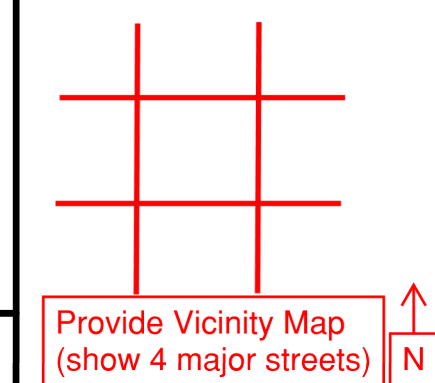
APPL. NO. P23-03606 EXHIBIT A-1 DATE 06/11/2024

BRAULIOF
PW LAND PLANNING SECTION
CP1 - REVIEWED REVISIONS REQ'D
BRAULIO.FLORES@FRESNO.GOV
2024.05.03 16:15:13-07'00"

CITY OF FRESNO DARM DEPT

PROVIDE THE FOLLOWING GENERAL NOTES (AS APPLICABLE):

1. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
2. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE COMMUNITY DEVELOPMENT DEPARTMENT OF THE CITY OF PALMDALE.
3. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY (UNDERGROUND SERVICES ALERT (USA), CALL 1-800-664-6444.
4. THE PERFORMANCE OF ANY WORK (WITHIN THE STREET RIGHT-OF-WAY) REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AS REQUIRED BY THE CITY PRIOR TO OCCUPANCY.
5. DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY MUST BE FILED PRIOR TO THE COMMENCEMENT OF WORK. ALL REQUIRED EASEMENTS MUST BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
6. ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREALS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITHIN THE CITY RIGHT-OF-WAY PRIOR TO THE START OF ANY EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING PERMIT IS ISSUED.
7. UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER PERSONAL COMMUNICATION WITH THE CITY OF PALMDALE.
8. SUBMIT STREET CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT.
9. SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT.
10. SUBMIT SIGNING AND STRIPING PLANS TO THE PUBLIC WORKS DEPARTMENT, COMPLY WITH THE CURRENT CALTRANS STANDARDS.
11. PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY. IT MUST MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
12. CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 669-421-8800, 10 WORKING DAYS PRIOR TO ANY PROJECT START DATE TO OBTAIN A STREET CLOSURE PERMIT.
13. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
14. ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS.



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE TO BE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF CVEAS. FIRM OR CORPORATION. ANY REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.

ABBREVIATIONS:			
A.B.	ANCHOR BOLT	H.R.	HANGER
ADJ.	ADJUSTABLE	H.R.	HEADER
ABV.	ABOVE	HT.	HEIGHT
A.C.I.	AMERICAN CONCRETE INSTITUTE	HORIZ.	HORIZONTAL
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	H.S.	HIGH SIDE
	AMERICAN SOCIETY FOR TESTING & MATERIALS	IN.	INCH
A.S.T.M	AMERICAN PLYWOOD ASSOCIATION	I.D.	INSIDE DIAMETER
	ARCHITECTURAL) (ARCHITECTURAL)	INT.	INTERIOR
ARCH.	ARCHITECTURAL)	JST.	JOIST
ANS	AMERICAN WELDING SOCIETY	K OR KIPS	1000 lbs
BD.	BOARD	LAM.	LAMINATED
BF	BRACED FRAME	LB OR LBS	POUNDS
BLK.	BLOCK	L.S.	LOW SIDE
BLK9.	BLOCKING	LT WT.	LIGHT WEIGHT
BOT.	BOTTOM	LLV	LONG LEG VERTICAL
BUILD.	BUILDING	M.B	MACHINE BOLT
BM.	BEAM	MASONRY	MASONRY
B.N	BOUNDARY NAILING	MAX.	MAXIMUM
C	CHANNEL	MF.	MOMENT FRAME
CLG.	CEILING	MTL.	METAL
CLR.	CLEAR	MIN.	MINIMUM
COL.	COLUMN	N.T.S.	NOT TO SCALE
C.M.U.	CONCRETE MASONRY UNIT	NO OR #	NUMBER
C.J.	CONCRETE JOINT	O.C.	ON CENTER
CONC.	CONCRETE	OPNS.	OPENING
CONN.	CONNECTION	OPF.	OPPOSITE
CONST.	CONSTRUCTION	O.A.	OUTSIDE DIA.
CONT.	CONTINUOUS	PL	PLATE
DA	DOUBLE ANGLE	PENNY (d)	NAILS
DEMO.	DEMOLISH	PLYWOOD	FOOT
DET.	DETAIL	P.S.F.	POUNDS PER SQUARE
DIAG.	DIAGONAL	P.S.I.	INCH
DIA(9)	DIAMETER	PRESS.	PRESSURE
DM.	DIMENSION	R.	RADIUS
DBL.	DOUBLE	REINF.	REINFORCING
DWS.	DRAWING	REQD.	REQUIRED
E	EACH	RM	ROOM
E.N.	EDGE NAILING	SCHED.	SCHEDULE
ELEV.	ELEVATION	SHTG.	SHEATHING
ENG.	ENGINEER OF RECORD	SHT.	SHEET
ENG.	ENGINEER	SHL.	SHIM
EQ.	EQUAL	SLV	SHORT LEG VERTICAL
EQUIP.	EQUIPMENT	SPEC.	SPECIFICATION
ES	EDGE SCREW OR EACH SIDE	STAGG.	STAGGER
EXIST (E)	EXISTING	STD.	STANDARD
EXP.	EXPANSION	STL.	STEEL
FIN.	FINISH	TE	TOP FLANGE
F.N.	FIELD NAILING	THK.	THICK
FM	FACE MOUNT	TB	TUBE STEEL
FLR.	FLOOR	UBC.	UNIFORM BUILDING CODE
FTF.	FLOOR TO FLOOR	UNO.	UNLESS NOTED OTHERWISE
FTS.	FOOTING	VERT.	VERTICAL
FDN.	FOUNDATION	W.	WIDTH
FRMG.	FRAMING	WT.	WEIGHT
GA.	GAUGE	W.F.	WELDED WIRE FABRIC
GALV.	GALVANIZED	W.M.	WELDED WIRE MESH
GF	GOOD FOR	W.F.	WIDE FLANGE
G.L.B.	GLUE LAM BEAM	W.	WIDTH
GRD	GRADE	WS	WOOD SCREW
H.D.	HOLDOWN		

GENERAL NOTES:	
1.	CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
2.	PROVIDE ILLUMINATED 12" HIGH ADDRESS POSTING (6" IF WITHIN 50 FEET OF THE STREET) WITH ILLUMINATED SITE NUMBER 4" HIGH WITH MINIMUM 1/2 " STROKE MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET.
3.	IF THE PLANS DO NOT ACCURATELY REFLECT THE JOB CONDITIONS OR THE CONSTRUCTION IS NOT PER PLANS, NO INSPECTIONS WILL OCCUR UNTIL AN ADDENDUM IS APPROVED BY THE CITY/COUNTY (S) OBTAINED.
4.	ANY CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE CITY/COUNTY FOR REVIEW AND APPROVAL.
5.	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND ALL OTHER CONDITIONS AND CORRELATE AT THE JOBSITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION PRIOR TO COMMENCING ANY WORK.
6.	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES.
7.	THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK AND/OR POSSIBLE ERRORS OR OMISSIONS SHOWN OR INFERRED ON THE DRAWINGS OR THE PROPER EXECUTION OF THE SAME.
8.	JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOBSITE.
9.	THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOBSITE DURING ANY INSPECTION ACTIVITY.
10.	ANY YARDS USED FOR ALLOWABLE AREA INCREASE SHALL BE PERMANENTLY MAINTAINED.
11.	PROVIDE A "WILL-SERVE" LETTER FROM AN APPROVED CONSTRUCTION DEBRIS RECYCLING/WASTE HAULER FOR THIS PROJECT. THIS LETTER IS TO BE PROVIDED BY AND SIGNED BY THE "WASTE/RECYCLING HAULER" PRIOR TO THE ISSUANCE OF ANY PERMIT.
12.	PROVIDE A CONSTRUCTION WASTE MANAGEMENT PLAN FOR THIS PROJECT THAT COMPLIES WITH 1 THRU 5 OF THE 2022 CAL-GREEN CODE, SEC. 4.409.2. REFER TO CONSTRUCTION WASTE MANAGEMENT PLAN REQUIREMENT SECTION ON SHEET C62.
13.	ALL SHRB(S) AND BUSHES SHALL BE TRIM DOWN TO 3' OR LOWER AND TREE LIMB(S) SHALL BE TRIM UP TO 1' OR HIGHER TO MAXIMIZE VISION AND TO ALLOW FOR CLEAR LINES OF VISIBILITY IN THE PARKING LOT AND PROPERTY.
14.	ACCORDANCE WITH UL325, GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200. ALL MANUAL GATES SHALL BE EQUIPPED WITH A KNOX-BOX CONTAINING A KEY TO THE GATE, OR AN APPROVED KNOX-PADLOCK.

TRUCK MAINTENANCE SHOP FOR DEEPAK KAUSHAL

121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-003

SITE COORDINATES		
LATITUDE	36.6919847	
LONGITUDE	-119.7935855	
SEISMIC ITEM	VALUE	CBC REFERENCE
SITE CLASS	D	
SOILS BEARING CAPACITY	1500 PSF	APPENDIX 106.1 TABLE 1804.2
SEISMIC IMPORTANCE FACTOR	1.0	CBC 1603.1.5.1
SITE COEFFICIENT, Fa	0.327	TABLE 1613.3.3 (1)
Se	0.629	FIGURE 1613.3 (1)
Sms	0.816	SECTION 1613.3.3 EGN. 16-37
Sds	0.544	TABLE 1613.3.5 (1)
SITE COEFFICIENT, Fv	NULL-SEE SECTION 11.4.8	TABLE 1613.3 (2)
Sl	0.234	TABLE 1613.3.1 (2)
Sml	NULL-SEE SECTION 11.4.8	SECTION 1613.3 EGN. 16-38
Sdl	NULL-SEE SECTION 11.4.8	TABLE 1613.3 (2)

HATCH LEGEND			
	STEEL		NATIVE SOIL
	MASONRY		ENGINEERED FILL
	AGGREGATE		AC PAVING
	DEDICATION		CONCRETE
	TRUNCATED DOMES		LANDSCAPE

APPLICABLE CODES	
2022	CALIFORNIA BUILDING CODE
2022	CALIFORNIA PLUMBING CODE
2022	CALIFORNIA ELECTRICAL CODE
2022	CALIFORNIA FIRE CODE
2022	CAL-GREEN
2022	TITLE 24 ENERGY
2022	NFPA 24
MUNICIPAL CODES CITY OF FRESNO	

DEFERRED SUBMITTALS	
1.	SOLAR SYSTEM DEFERRED AS SEPARATE SUBMITTAL.

SCOPE OF WORK	
SCOPE OF WORK:	
1.	CONSTRUCT NEW 100' X 49' METAL BUILDING TRUCK DOCK, & DEVELOP SITE TO BE USED AS A TRUCK REPAIR GARAGE.

SHEET INDEX	
SHEET	DESCRIPTION
	ARCHITECTURAL
A1.0	COVER SHEET
A1.1	SITE PLAN
A1.3	SITE DETAILS
A1.4	CITY STANDARD DRAWINGS
A2.0	PROPOSED FLOOR PLAN
A3.0	ELEVATIONS
A5.0	SECTIONS

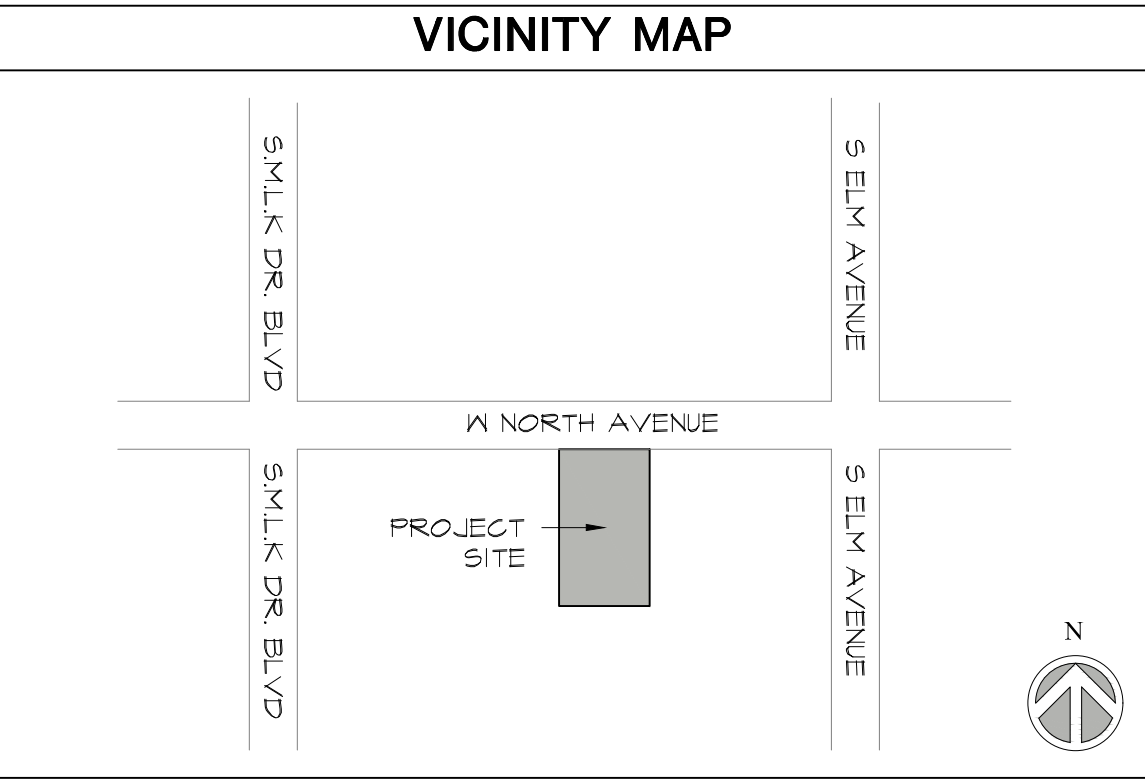
OWNER DATA	
MANDEEP KAUSHAL 121 W NORTH AVENUE FRESNO CA 93706-5518 PHONE: -- 554-445-8803 EMAIL: -- deepkaushal84@gmail.com	
CONTACT: DEEPAK KAUSHAL	

BUILDING DEPARTMENT	
CITY OF FRESNO 2600 FRESNO STREET, THIRD FLOOR, ROOM 3043 FRESNO, CA 93721 PHONE: 556-621-8277	

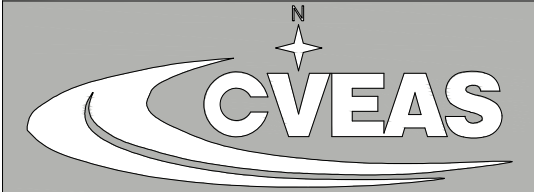
ENGINEER IN RECORD	
CVEAS, INC. - RICARDO LEAL - PE 2251 LOSAN STREET SELMA, CA 93662 PHONE: 554-891-8811 EMAIL: rleal@cveas.com	
CONTACT: RICARDO	

PROJECT DATA	
EX. USE:	EXISTING HOUSE (2594 SQ.FT.) REST OF THE SITE IS VACANT LAND
NEW USE:	TRUCK REPAIR SHOP
APN:	329-02-003
SITE ADDRESS:	121 W NORTH AVENUE, FRESNO CA 93706
ZONE:	BUSINESS PARK
CONSTRUCTION TYPE:	V-B - NON SPRINKLERED
OCCUPANCY:	B (BUSINESS) S-I (TRUCK MOTOR VEHICLE REPAIR GARAGE)
FIRE SPRINKLER SYSTEM:	NO
FIRE ALARM SYSTEM:	NO

PROJECT DATA				
PARCEL:	96109.2000000		2.22	
ALLOWABLE BUILDING AREA ANALYSIS	B	9000	X	2
				18,000 SF
TOTAL NEW GROSS BUILDING AREA				
				4,900.0 SF
OFFICE (B)				610.0 SF
VEHICLE REPAIR (S-I)				4,290.0 SF
EXISTING HOUSE				2,594.0 SF
TOTAL AREA:				7,494.0 SF
ACTUAL GROUND LOT COVERAGE:				
				12.9 %



APPL. NO. P23-03606	EXHIBIT A-1	DATE 1/31/2025
PLANNING REVIEW BY		DATE
TRAFFIC ENG.		DATE
COND. APPROVED BY		DATE
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT		



CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.

2511 LOSAN STREET Tel: (554) 891-8811
SELMA, CA 93662 Fax: (554) 891-8815
WWW.CVEAS.COM Email: info@cveas.com



PROJECT - PLANNING & DESIGN - COMMERCIAL & RESIDENTIAL BUILDING DESIGN - ARCHITECTURAL DRAFTING - STRUCTURAL DESIGN - CONSULTING - LAND SURVEYING - CIVIL ENGINEERING

TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-033

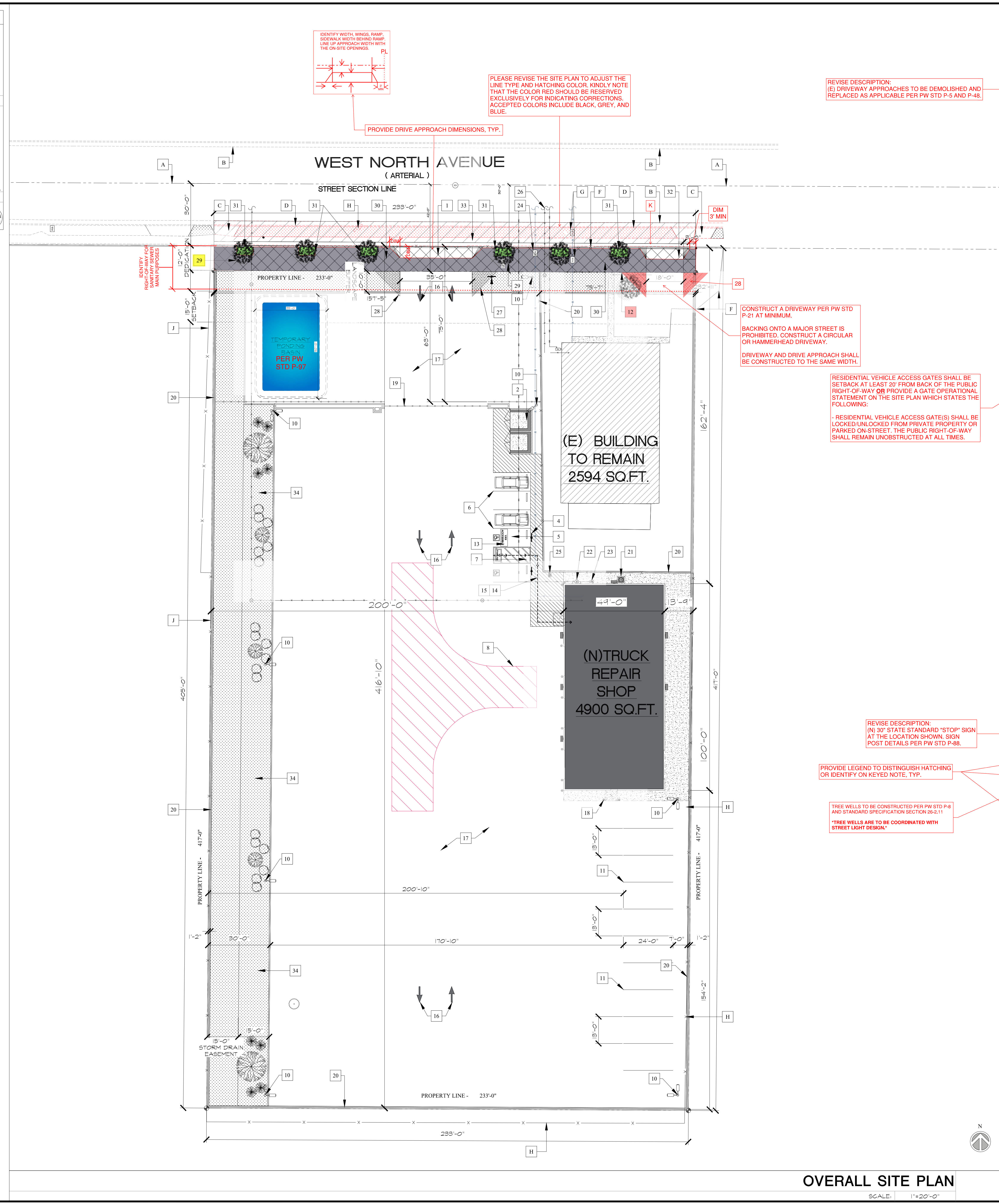
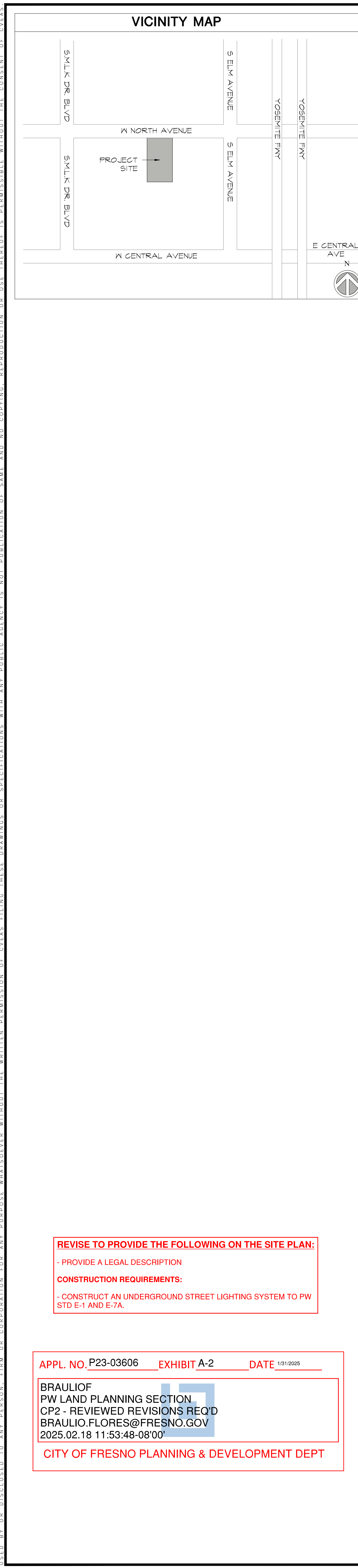


DATE SIGNED: 8/22/2024	
Revisions:	Date:

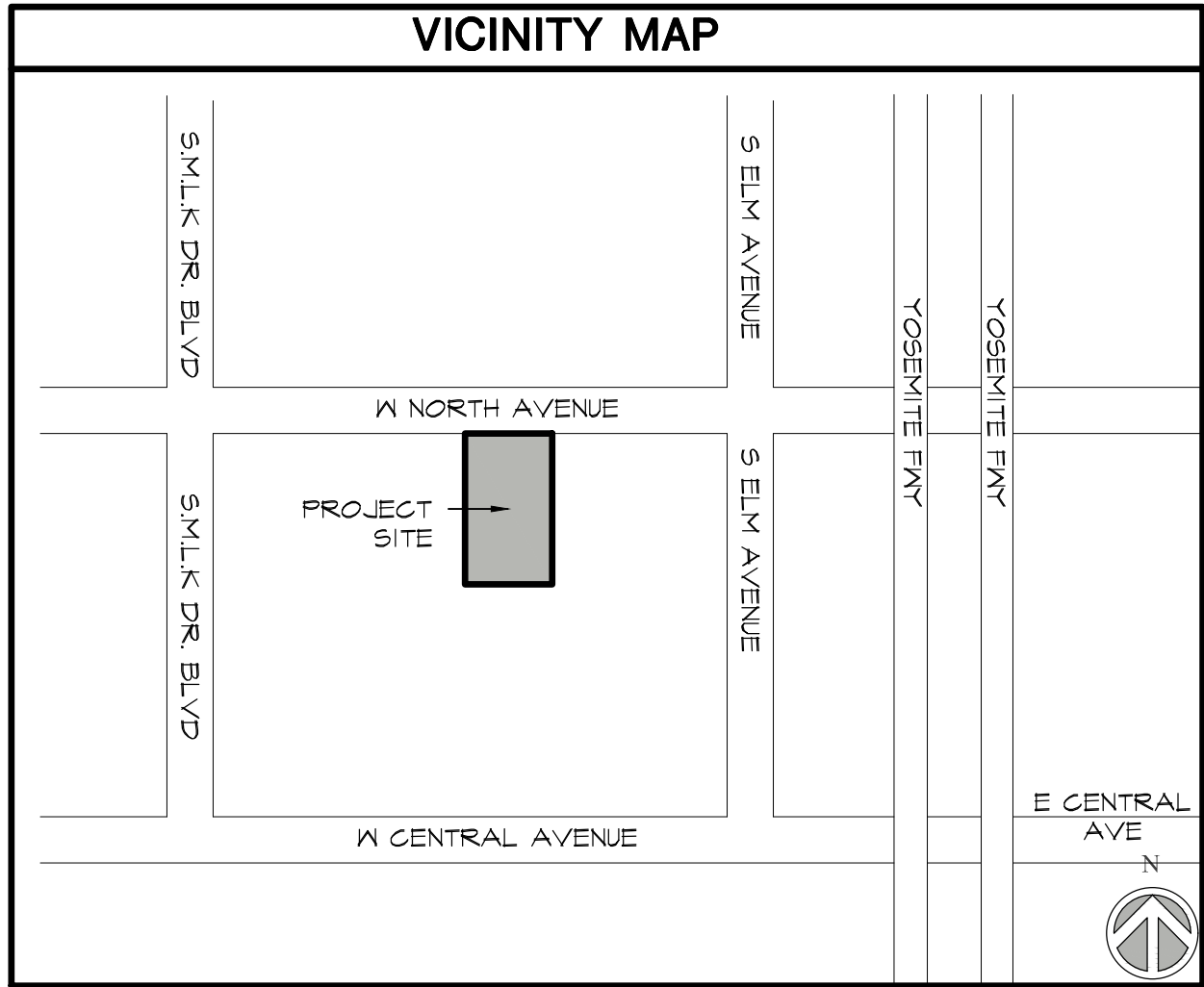
PROJECT AND OWNER
DATA, VICINITY MAP, AND
SHEET INDEX

CVEAS JOB #:	23063
DATE:	8/22/2024
PLANNING SUBMITTAL #:	
PLAN CHECK SUBMITTAL #:	
DRAWN BY:	
CHECKED BY:	
SCALE:	

A1.0



SITE PLAN KEYED NOTES (EX. ITEMS)		
X		DESCRIPTION
A	(E)	INDICATES STREET SECTION LINES
B	(E)	EDGE OF AC PAVING
C	(E)	DRIVEWAY TO DEMO AS PER NEW ROW LAYOUT
D	(E)	6" HIGH CONC. CURB AND GUTTER TO DEMO
F	(E)	6'-0" HIGH AWOUGHT IRON FENCE TO DEMO.
G	(E)	WATER METER TO RELOCATE TO NEW ROW
H	(E)	UTILITY POLE TO BE UNDERGROUND.
J	(E)	6'-0" CHAIN LINK FENCE TO DEMO.
K	(E)	14'-0" WIDE SIDEWALK TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
SITE PLAN KEYED NOTES		
X		DESCRIPTION
1	(N)	55'-0" WIDE COMMERCIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PA STANDARDS P-2 & P-6.
2	(N)	TRASH ENCLOSURE AS PER CITY OF FRESNO STANDARDS P-33A
3	(N)	TURN-ARAY SIGN. REFER TO DETAIL 5/A/13.
4	(N)	ACCESSIBILITY SIGN. REFER TO DETAIL 5 AND 6/A/13.
5	(N)	ACCESSIBILITY PARKING STALL. REFER TO DETAIL 5/A/13.
6	(N)	4" WIDE PAINTED PARKING STRIPES.
7	(N)	6" HIGH CONCRETE KNEEL STOP. REFER TO DETAIL 5/A/13.
8	(N)	INDICATES HAMMERHEAD TURN-AROUND APPARATUS.
9	(N)	RECESSED CONCRETE TRUCK DOCK 15'-0" X 10'-6".
10	(N)	HOODED LIGHT.
11	(N)	13" X 24" 80 TAIL TRUCK PARKING
12	(N)	6'-0" HIGH CHAIN LINK FENCING WITH SLATS
13	(N)	8'-0"(MIN) WIDE ACCESSIBLE UNLOADING ZONE ADJACENT TO VAN STALL LOCATION.
14	(N)	ACCESSIBLE PATH OF TRAVEL
15	(N)	PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1/2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE N/A SLIP RESISTANT SURFACE N/A 5% MAX. SLOPE AND 1/48 MAX. CROSS SLOPE. PASSING SPACES OF 60" X 60" MIN. ARE TO BE LOCATED NOT MORE THAN 200' APART. WALKS N/A CONT. GRADIENTS ARE TO HAVE A 60" IN LENGTH OF LEVEL AREAS NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. ABOVE FINISHED FLOOR AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM THE WALL/VERTICAL SURFACE FROM 21" ABOVE THE FLOOR SURFACE TO 80" ABOVE THE FLOOR SURFACE. THERE IS TO NO DROP-OFF GREATER THAN 4" AT THE EDGE OF WALK OR LANDING AREAS IDENTIFIED BY A GUARD A HANDRAIL OR A 6" HIGH MIN. WARNING CURB ABOVE THE WALK. ARCHITECT, CONTRACTOR, AND/OR SUB-CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
16	(N)	DIRECTIONAL ARROW - REFER TO DETAIL 7/A/13
17	(N)	A/C DRIVE PER PN STD P-21 AT MIN.
18	(N)	BOLLARD(S) - REFER TO DETAIL 1/A/13
19	(N)	7'-0" HIGH SLIDING AWOUGHT IRON GATE W/LOCK. ALL VEHICLE ACCESS GATE(S) SHALL BE OPENED AS THE FIRST ORDER OF OPERATING BUSINESS AND SHALL REMAIN OPEN DURING OPERATING HOURS THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBTURGED AT ALL TIMES.
20	(N)	7'-0" HIGH CMU WALL
21	(N)	LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
22	(N)	LOCATION OF ELECTRICAL METER
23	(N)	LOCATION OF GAS METER
24	(N)	LOCATION OF WATER METER TO BE INSTALLED BY CITY FORCES
25	(N)	SHORT-TERM TERM BIKE PARKING (MIN. 1) TWO-BIKE CAPACITY RACK. SEE CALL-GREEN 5.106.4.1.2 & 5.106.4.1.3
26	(N)	6" SENDER SERVICE LATERAL WITH CLEAN OUT PER CITY STD 5-1. 5-8 & 5-4
27	(N)	STOP SIGN AS PER CITY OF FRESNO IMPROVEMENT STANDARD T-9.
28	(N)	12' X 12' VISIBILITY TRIANGLE
29	(N)	HATCH INDICATES DEPECATION
30	(N)	CONSTRUCT CONCRETE CURB, GUTTER AND SIDEWALK TO A 12' COMMERCIAL PATTERN PER PN STD P-5
31	(N)	CONSTRUCT TIE WELLS PER PN STD P-8
32	(N)	18'-0" WIDE RESIDENTIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PA STANDARDS P-4 & P-6.
33	(N)	CONSTRUCT 20' OF PERMANENT PAVING PER PN STD P-50
34	(N)	15'-0" LANDSCAPE BUFFER
GENERAL NOTES: • ALL SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO FRAGTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. • REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENT AS REQUIRED BY THE CITY ENGINEER AND THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. • TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444. • THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. • ALL EXISTING STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY. • EASEMENTS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF A PERMIT. • ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTION WITH CURB/GUTTER AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED PER FIG 13-21. • UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER FRESNO MUNICIPAL CODE SECTION 15-2017 AND ALL EXISTING UTILITIES. • SUBMIT STREET CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT. • PROVIDE A MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 554-621-8800, 10 WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION. • ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS. • ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS.		
PROVIDE THE FOLLOWING GENERAL NOTES (AS APPLICABLE): 1. SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT. 2. SIGNING AND STRIPING PLANS TO THE PUBLIC WORKS DEPARTMENT, COMPLY WITH THE CURRENT CALTRANS STANDARDS.		



- GENERAL NOTES:
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
 - REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENT AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
 - TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
 - THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK.
 - REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
 - DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED PER FMC 15-211.
 - UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER FRESNO MUNICIPAL CODE SECTION 15-2011 AND PUBLIC WORKS POLICY NO. 260.01.
 - SUBMIT STREET CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT.
 - PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
 - CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 554-621-8800, 10 WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
 - ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
 - ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS.
 - SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT.
 - SUBMIT SIGNING AND STRIPING PLANS TO THE PUBLIC WORKS DEPARTMENT. COMPLY WITH THE CURRENT CALTRANS STANDARDS.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SUBMITTED IN THE CITY OF FRESNO, COUNTY OF FRESNO STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 65 OF CENTRAL CALIFORNIA COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE OF PLATS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 65 DISTANT 797 FEET WEST OF THE NORTHEAST CORNER THEREOF; THENCE SOUTH ON A LINE PARALLEL TO AND DISTANT 797 FEET WEST OF THE EAST LINE IF SAID LOT, 41 FEET; THENCE WEST A DISTANCE OF 233 FEET; THENCE NORTH 417 FEET TO THE NORTH LINE OF SAID LOT; THENCE ALONG SAID NORTH LINE EAST A DISTANCE OF 233 FEET TO THE POINT OF BEGINNING.

CONSTRUCTION REQUIREMENTS:

CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STD E-1 & E-2A

NOTE ON PLANS: REQUIRED FIRE APPARATUS ACCESS LANES SHALL BE PROVIDED YEAR-ROUND AND MAINTAINED WITH AN APPROVED ALL-WEATHER SURFACE CAPABLE OF SUPPORTING 80,000-POUND VEHICLES. THE FIRE APPARATUS ACCESS LANES SHALL BE A MINIMUM OF 4-INCH BASE ROCK OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERING PLANS WITH A MINIMUM OF 24 FEET OF CLEAR WIDTH OR OTHER APPROVED METHOD, WHICH WOULD PREVENT SHOULDER DEGRADATION. (FPD DEVELOPMENT POLICY 409.002)

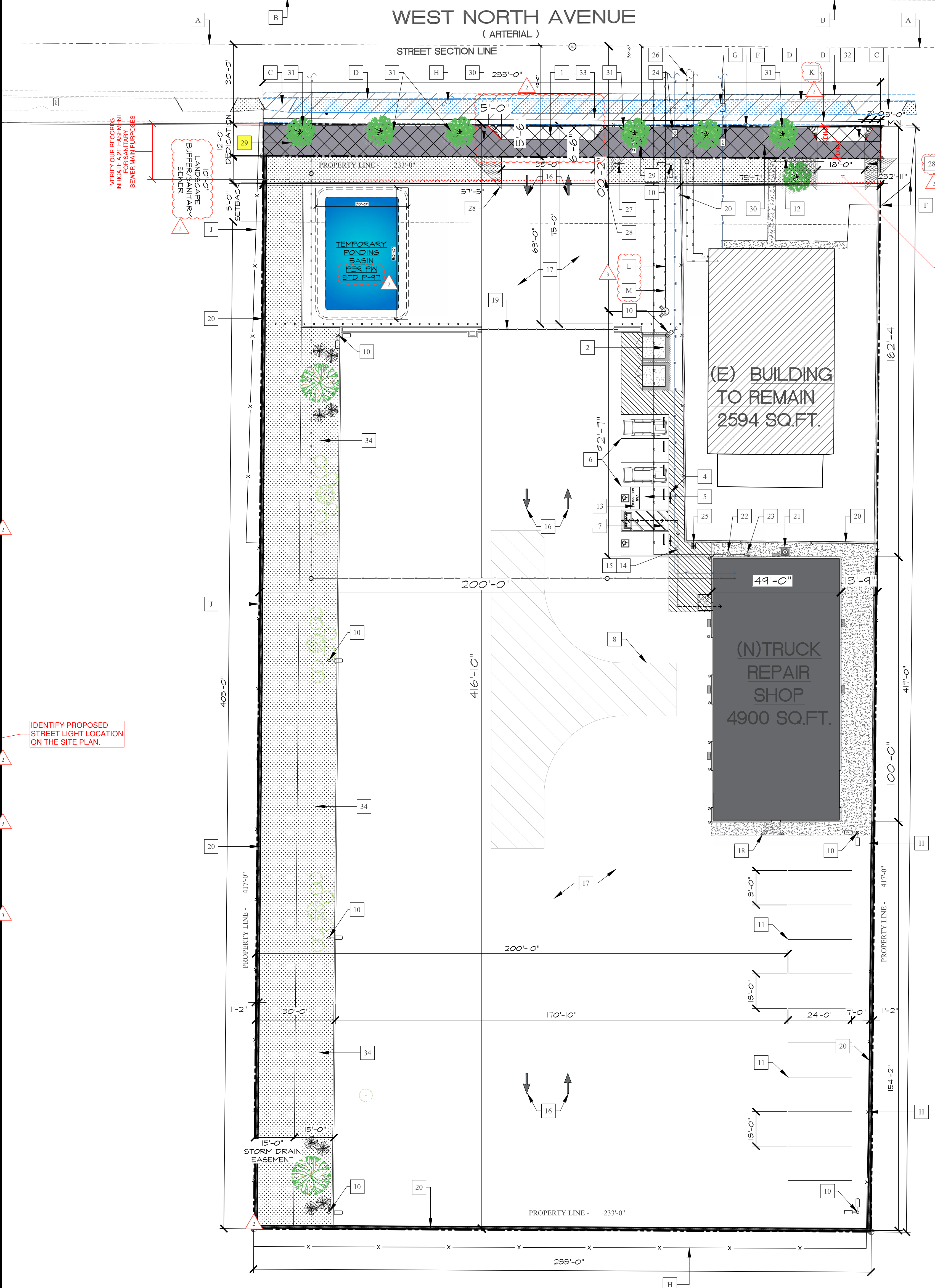
NOTE ON PLANS: PROVIDE APPROVED POLICE/FIRE BYPASS LOCK (BESTA PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL INTB2) ON DRIVE ACCESS GATE(S). ALL ELECTRIFIED GATES SHALL BE EQUIPPED WITH THE BEST ELECTRIC CYLINDER LOCK, INTB2. A KNOX PADLOCK MAY NOT BE USED IN PLACE OF THE BEST PADLOCK MODEL 218700. THESE LOCKS CAN BE PURCHASED ONLY THROUGH SIERRA LOCK & GLASS, 1560 N. PALM AVENUE, FRESNO, CA 93726.

APPL. NO. P23-03606 EXHIBIT A-1 DATE 3/25/2025

BRAULIO FLORES
PW LAND PLANNING SECTION
CP3 - REVIEWED REVISIONS REQ'D
BRAULIO.FLORES@FRESNO.GOV
2025.04.16 17:29:42-0700

CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

ATTENTION APPLICANT:
COMPLY WITH ALL REDLINES ISSUED ON CP1 THRU CP3.



- IDENTIFY AND CONSTRUCT SIDEWALK DRAINS PER PW STD P-23 (TO ALIGN WITH GRADING PLANS).
- IDENTIFY ON THE FOLLOWING ON THE SITE PLAN:
- CONSTRUCT A DRIVEWAY PER PW STD P-21 AT MINIMUM.
 - BACKING ONTO A MAJOR STREET IS PROHIBITED. CONSTRUCT A CIRCULAR OR HAMMERHEAD DRIVEWAY. IDENTIFY ON-SITE TURN AROUND.
 - DRIVEWAY AND DRIVE APPROACH SHALL BE CONSTRUCTED TO THE SAME WIDTH FOR THE FIRST 20' BEHIND THE RIGHT-OF-WAY LINE.

SITE PLAN KEYED NOTES (EX. ITEMS)	
N	DESCRIPTION
(E)	INDICATES STREET SECTION LINES
(E)	EDGE OF AC PAVING.
(E)	DRIVEWAY APPROACHES TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
(E)	6" HIGH CONC. CURB AND GUTTER TO DEMO.
(E)	6'-0" HIGH WROUGHT IRON FENCE TO DEMO.
(E)	WATER METER TO RELOCATE TO NEAR ROW.
(E)	UTILITY POLE TO BE UNDERGROUND.
(E)	6'-0" CHAIN LINK FENCE TO DEMO.
(E)	4' WIDE SIDEWALK TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
(E)	6" INCH FIRE LINE WITH 1800 GPM FIRE FLOW.
(N)	FIRE HYDRANT

SITE PLAN KEYED NOTES	
X	DESCRIPTION
1	(N) 35'-0" WIDE COMMERCIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PW STANDARDS P-2 & P-6.
2	(N) TRASH ENCLOSURE AS PER CITY OF FRESNO STANDARDS P-39A
3	(N) TOW-AWAY SIGN. REFER TO DETAIL 5/A/3.
4	(N) ACCESSIBILITY SIGN. REFER TO DETAIL 5 AND 6/A/3.
5	(N) ACCESSIBILITY PARKING STALL. REFER TO DETAIL 5/A/3.
6	(N) 4' WIDE PAINTED PARKING STRIPES.
7	(N) 6" HIGH CONCRETE WHEEL STOP. REFER TO DETAIL 5/A/3.
8	(N) INDICATES HAMMERHEAD TURN-AROUND APPARATUS.
9	(N) RECESSED CONCRETE TRUCK DOCK 15'-0" X 10'-6".
10	(N) HOODED LIGHT.
11	(N) 18' X 24' BO-TAIL TRUCK PARKING.
12	(N) 6'-0" HIGH CHAIN LINK FENCING WITH SLATS. RESIDENTIAL VEHICLE ACCESS GATE(S) SHALL BE LOCKED/UNLOCKED FROM PRIVATE PROPERTY OR PARKED ON-STREET. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
13	(N) 8'-0" (MIN) WIDE ACCESSIBLE UNLOADING ZONE ADJACENT TO VAN STALL LOCATION.
14	(N) ACCESSIBLE PATH OF TRAVEL
15	(N) PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAXIMUM SLOPE EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE (N) A SLIP RESISTANT SURFACE (N) A 5% MAX. SLOPE AND 1:48 MAX. CROSS SLOPE. PASSING SPACES OF 60" X 60" MIN. ARE TO BE LOCATED NOT MORE THAN 200' APART. WALKS (N) CONT. GRADIENTS ARE TO HAVE A 60" IN LENGTH OF LEVEL AREAS NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. ABOVE FINISHED FLOOR AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM THE WALL/VERTICAL SURFACE FROM 27" ABOVE THE FLOOR SURFACE TO 80" ABOVE THE FLOOR SURFACE. THERE IS TO BE NO DROP-OFF GREATER THAN 4" AT THE EDGE OF WALK OR LANDING UNLESS IDENTIFIED BY A GUARD, A HANDRAIL OR A 6" HIGH MIN. WARNING CURB ABOVE THE WALK. ARCHITECT, CONTRACTOR, AND/OR SUB-CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
16	(N) DIRECTIONAL ARROW - REFER TO DETAIL T/A/3
17	(N) A/C DRIVE PER PW STD P-21 AT MIN.
18	(N) BOLLARD(S) - REFER TO DETAIL 1/A/3
19	(N) 7'-0" HIGH SLIDING WROUGHT IRON GATE W/LOCK. ALL VEHICLE ACCESS GATE(S) SHALL BE OPENED AS THE FIRST ORDER OF OPERATING BUSINESS AND SHALL REMAIN OPEN DURING OPERATING HOURS. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
20	(N) 7'-0" HIGH CMU WALL
21	(N) LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
22	(N) LOCATION OF ELECTRICAL METER
23	(N) LOCATION OF GAS METER
24	(N) LOCATION OF WATER METER TO BE INSTALLED BY CITY FORCES
25	(N) SHORT/LONG TERM BIKE PARKING (N) 1) TWO-BIKE CAPACITY RACK. SEE CAL-GREEN 5.106.4.1.2 & 5.106.4.1.3
26	(N) 6" SEWER SERVICE LATERAL WITH CLEAN OUT PER CITY STD 5-1.5-B & 5-1
27	(N) 30" STATE STANDARD "STOP" SIGN AT THE LOCATION SHOWN. SIGN POST DETAILS PER PW STD P-58.
28	(N) 12' X 12' VISIBILITY TRIANGLE
29	(N) HATCH INDICATES DEDICATION
30	(N) CONSTRUCT CONCRETE CURB, GUTTER AND SIDEWALK TO A 12" COMMERCIAL PATTERN PER PW STD P-5
31	(N) TREE WELLS TO BE CONSTRUCTED PER PW STD P-8 AND STANDARD SPECIFICATION SECTION 26-2.11. *TREE WELLS ARE TO BE COORDINATED WITH STREET LIGHT DESIGN.*
32	(N) 18'-0" WIDE RESIDENTIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PW STANDARDS P-1 & P-6
33	(N) CONSTRUCT 20' OF PERMANENT PAVING PER PW STD P-50
34	(N) 15'-0" LANDSCAPE BUFFER

OVERALL SITE PLAN

SCALE: 1"=20'-0"

CVEAS

CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.

2511 LOSAN STREET Tel: (559) 841-8811
SELMA, CA 93662 Fax: (559) 841-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT

TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-020-33

DATE SIGNED: 2/25/2025

Revisions: _____ Date: _____

SITE PLAN

CVEAS JOB #: 23063

DATE: 2/25/2025

PLANNING SUBMITTAL #: _____

PLAN CHECK SUBMITTAL #: _____

DRAWN BY: _____

CHECKED BY: _____

SCALE: _____

CP3

A1.1



DEPARTMENT OF PUBLIC UTILITIES

MEMORANDUM

DATE: May 16, 2024

TO: BRITTANY MARTIN – Planner II
Planning & Development Department – Current Planning

FROM: DEJAN PAVIC, PE, Projects Administrator
Department of Public Utilities – Utilities Planning & Engineering

SUBJECT: DPU CONDITIONS OF APPROVAL FOR P23-03606 INDUSTRIAL TRUCK REPAIR FACILITY – APN 329-020-33

General Requirements

1. Engineered improvement plans, prepared by a Registered Civil Engineer, if necessary, shall be submitted for Department of Public Utilities review and approval.
2. All Department of Public Utilities facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.
3. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
4. A street work permit is required for any work in the Right-of-Way.
5. All underground utilities shall be installed prior to permanent street paving.
6. **Attached to these DPU Conditions of Approval is a preliminary review of the Site Plan for the Project (as such Site Plan was available on Accela as of the date of these Conditions of Approval). Final Site Plan review will be conducted after an update based on these and other conditions for the Project.**

Water Service Requirements

The nearest water main to serve the Project is a 12-inch water main located in West North Avenue. Water facilities are available to provide service to the Project subject to the following requirements:

1. On-site water facilities shall be/remain private.
2. Installation of a new water service(s) and meter(s) shall be required if the existing water service(s) and meters(s) at the property are not adequate and/or operational.
Note: see below for a description of the existing water services and meters.

3. The applicant shall be financially responsible for the abandonment of any unused water services previously installed to the property, if any.
4. Destroy any existing on-site well(s) in compliance with the State of California Well Standards, Bulletins 74-81 and 74-90, or current revisions, issued by California Department of Water Resources, Fresno County standards, and City of Fresno standards. The applicant shall comply with Fresno Municipal Code (FMC) Section 6-518, as may be amended from time to time.

Water Supply Requirements

The existing property is currently served with 1 (one) 1.0-inch water service meter, and 1 (one) 1.25-inch water service with 0.75-inch meter (to be confirmed, as some records indicate 2 (two) 1.0-inch water services and only 1 (one) 1.0-inch meter).

1. Water Capacity Fee charges for the installation of new water services and meters to serve the property.
 - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
 - b. If the total domestic, commercial, industrial, and irrigation water demands for the Project can be accommodated with the existing water service and meter, the applicant shall not be required to pay Water Capacity Fee charges.
 - c. If the total domestic, commercial, industrial, and irrigation water demands for the Project cannot be accommodated with the existing water service and meter, and an additional water meter or a larger water meter is required, the applicant shall be required to pay Water Capacity Fee charges.
 - d. If a larger water meter or fire service is required to accommodate the new, larger water demands, then the Water Capacity Fee charge shall be calculated by subtracting the Water Capacity Fee charge associated with the existing water service and meter from the Water Capacity Fee charge associated with the larger water meter size required for the Project.
 - e. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule (MFS).
 - f. The City reserves the right to require the applicant to increase or decrease the size of a water meter for the Project to ensure that it is properly sized to accommodate fire protection requirements and to allow for accurate volumetric flow measurements at low- and high-flow conditions.

- g. The Water Capacity Fee charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
2. The applicant shall be required to pay all other water-related fees and charges in accordance with the City's MFS and the FMC.

Sewer Requirements

The nearest sanitary sewer main to serve the Project is an 8-inch sewer main in West Nielsen Avenue. Sanitary sewer facilities are available to provide service to the Project subject to the following requirements:

1. Installation of a new sewer service branch(es) shall be required if the existing sewer branch(es)/sewer lateral(s) are not adequate/operational.
2. Connection to the 66-inch and 60-inch diameter sewer trunk lines located in West North Avenue shall not be permitted.
3. On-site sanitary sewer facilities shall be/remain private.
4. All existing on-site private septic systems (including septic tanks) shall be destroyed and abandoned in compliance with the State of California standards, Fresno County standards, and City of Fresno standards, as may be amended from time to time. All sewer connections and sewer main extensions shall comply with FMC Section 6-303(a), as may be amended from time to time.
5. The applicant shall be financially responsible for abandonment of any unused sewer services previously installed to the property.

Sanitary Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project (if not previously paid with the existing sewer service at the property):

1. Lateral Sewer Charge.
2. Oversize Sewer Charge: Area #31.
3. Wastewater Facility Sewer Charge (Non-Residential).
4. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility Charges per FMC Sections 6-304 and 6-305. Sewer Facility Charges consist of two components: A Wastewater Facilities Charge and Trunk Sewer Charge, where applicable.
5. Sewer Facility Charges are collected after occupancy on a monthly basis, based on metered usage (water or sewer effluent). The applicant may contact the Department

of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the Project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect at that time, per City of Fresno MFS. The applicant shall provide data regarding estimated sewer discharge rates (flow) and loading (BOD/TSS levels) required for calculating the estimated charges.

Solid Waste Requirements

The following are Solid Waste Requirements for the purpose of establishing City solid waste service policies for office/commercial space. These service requirements apply to all office/commercial complexes within the City of Fresno.

1. This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Mid Valley Disposal at (559) 237-9425.
2. All office/commercial complexes are required to subscribe for recycling services, per FMC 9-405.1. Recycling services may be provided by the City of Fresno or any private recycling service provider. Recycling services must include, at the minimum, cardboard, newspaper, paper, glass, plastics, beverage containers, and metal recycling.
3. All trash and recyclable material must be placed in approved containers, per FMC 9-404. At no time may trash and recyclable material be placed on the ground or pavement.
4. Bin enclosures, if provided on site, must be used exclusively for the storage of trash and recycling bins.
5. This location will require 1 (one) new 2-cell trash enclosures, designed to accommodate separate facilities containing 2 (two) – 4-cu. yd. bins, one for trash, one for recycling collection, to be constructed to current Public Works Standard Specifications (Solid Waste Standards) P-33-A through C and P-34; and P-93 and/or P-94 and/or P-95 to be serviced once a week.

Note: a part of these Solid Waste Requirements may (i.e. adding a third/forth compartment in the trash enclosure to accommodate a bin for green and/or organic/food waste) may need to be modified in the future to comply with SB 1383, as mandated by the State of California.

6. Service Route Permits and Location Permits are required for all private trash company services within the City of Fresno per FMC 9-408. All private company trash service arrangements must be pre-approved through Solid Waste Management Division.

DPU CONDITIONS OF APPROVAL FOR P23-03606 INDUSTRIAL TRUCK REPAIR
FACILITY - APN 329-020-33

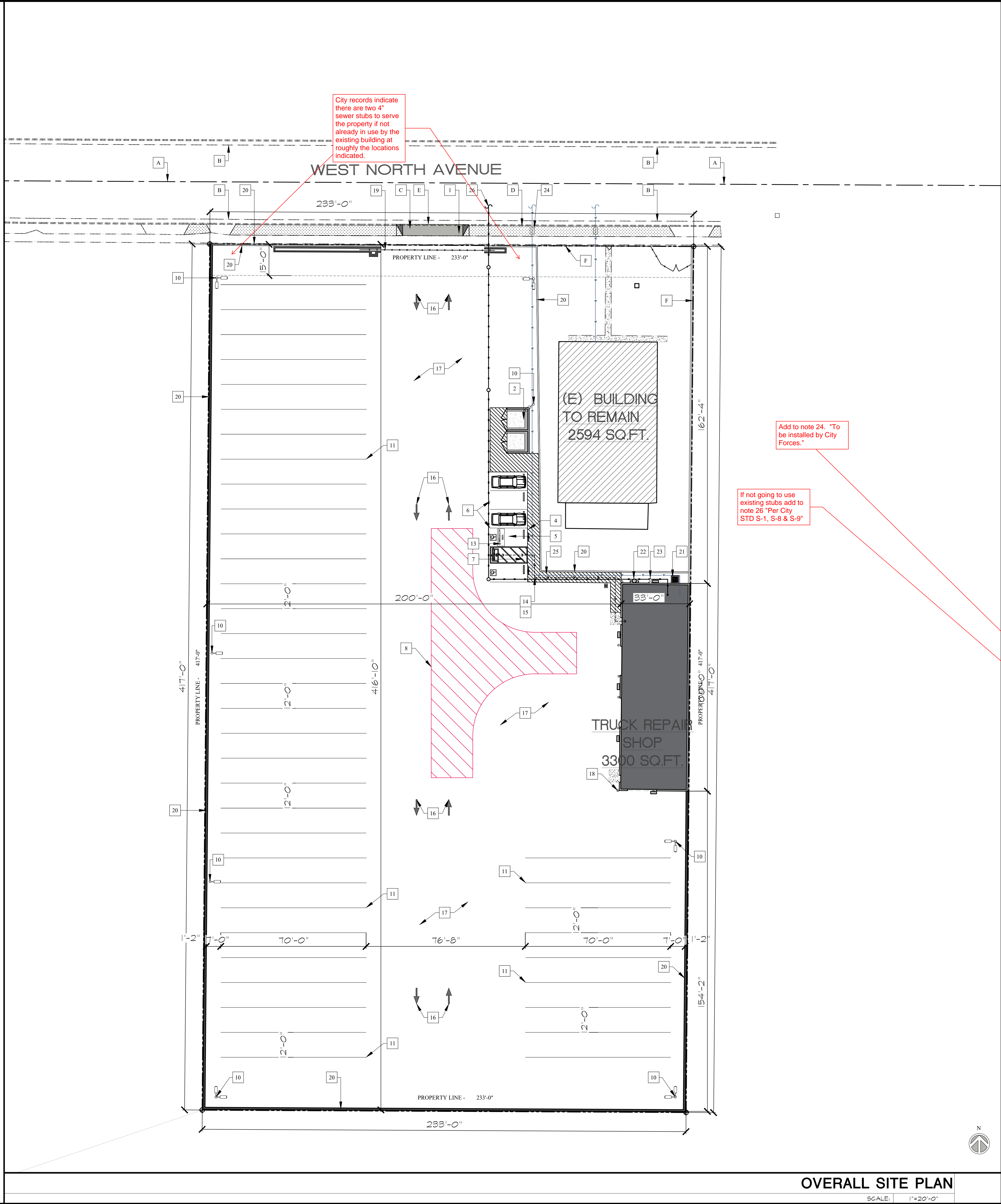
May 16, 2024

Page 5 of 5

7. The applicant will need to provide a 44-foot (centerline) turning radius at all corners and a T-turnaround (or hammerhead) area where the solid waste vehicle is to turn around.
8. Dimension offset of proposed trash enclosure from property line. The safe back up limit per a solid waste vehicle shall not exceed 45-feet.
9. Americans with Disability Act (ADA) requirement for office/commercial complexes (developments):

The applicant shall install (construct) a trash enclosure(s) for the Project that complies with the City's ADA requirements as defined in the City's Standard Drawings, Details and Specifications. The certificate of occupancy for the Project shall be withheld until the applicant installs (constructs) the trash enclosure(s) in accordance with the City's ADA requirements.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CVEAS OR CONSULTANTS. REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CVEAS OR CONSULTANTS.



SITE PLAN KEYED NOTES
(EX. ITEMS)

X	DESCRIPTION
A	(E) INDICATES CENTERLINE OF ROAD.
B	(E) EDGE OF AC PAVING.
C	(E) SAW-CUT 1" OF EXISTING ROAD PAVING BEYOND THE EXISTING GUTTER - MATCH EXISTING. ENCROACHMENT PERMIT REQUIRED.
D	(E) 6" HIGH CONC. CURB AND GUTTER PER CITY STD.
E	(E) SAW-CUT AND REMOVE EXISTING CURB AND GUTTER. CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STD ST-T.
F	(E) 6'-0" HIGH WROUGHT IRON FENCE TO REMAIN.

SITE PLAN KEYED NOTES

X	DESCRIPTION
1	(N) 35'-0" WIDE COMMERCIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO STANDARDS P-6.
2	(N) TRASH ENCLOSURE AS PER CITY OF FRESNO STANDARDS P-33A
3	(N) TON-AWAY SIGN. REFER TO DETAIL 5/A1.3.
4	(N) ACCESSIBILITY SIGN. REFER TO DETAIL 5 AND 6/A1.3.
5	(N) ACCESSIBILITY PARKING STALL. REFER TO DETAIL 5/A1.3.
6	(N) 4" WIDE PAINTED PARKING STRIPES.
7	(N) 6" HIGH CONCRETE WHEEL STOP. REFER TO DETAIL 5/A1.3.
8	(N) INDICATES HAMMERHEAD TURN-AROUND APPARATUS.
9	(N) RECESSED CONCRETE TRUCK DOCK 15'-0" X 7'-6".
10	(N) HOODED LIGHT.
11	(N) 12' X 70' TRUCK PARKING.
12	(N) 6'-0" HIGH CHAIN LINK FENCING WITH SLATS
13	(N) 8'-0"(MIN) WIDE ACCESSIBLE UNLOADING ZONE ADJACENT TO VAN STALL LOCATION.
14	(N) ACCESSIBLE PATH OF TRAVEL
15	(N) PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE W/ A SLIP RESISTANT SURFACE W/ A 5% MAX. SLOPE AND 1:40 MAX. CROSS SLOPE. PASSING SPACES OF 60" X 60" MIN. ARE TO BE LOCATED NOT MORE THAN 200' APART. WALKS W/ CONT. GRADIENTS ARE TO HAVE A 60" IN LENGTH OF LEVEL AREAS NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. ABOVE FINISHED FLOOR AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM THE WALL/VERTICAL SURFACE FROM 21" ABOVE THE FLOOR SURFACE TO 80" ABOVE THE FLOOR SURFACE. THERE IS TO BE NO DROP-OFF GREATER THAN 4" AT THE EDGE OF WALK OR LANDINGS UNLESS IDENTIFIED BY A GUARD, A HANDRAIL OR A 6" HIGH MIN. WARNING CURB ABOVE THE WALK. ARCHITECT, CONTRACTOR AND/OR SUB-CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
16	(N) DIRECTIONAL ARROW - REFER TO DETAIL T/A1.3
17	(N) A/C DRIVE
18	(N) BOLLARD(S) - REFER TO DETAIL 1/A1.3
19	(N) 7'-0" HIGH SLIDING WROUGHT IRON GATE W/LOCK.
20	(N) 7'-0" HIGH CMU WALL
21	(N) LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
22	(N) LOCATION OF ELECTRICAL METER
23	(N) LOCATION OF GAS METER
24	(N) LOCATION OF WATER METER
25	(N) SHORT/LONG TERM BIKE PARKING W/MIN. (1) TWO-BIKE CAPACITY RACK. SEE CAL-GREEN 5.106.4.1.2 & 5.106.4.1.3.
26	(N) 6" SEWER SERVICE LATERAL WITH CLEAN OUT.

APPL. NO. P23-03606 EXHIBIT A-1 DATE 04/11/2024

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

DPU1
5/14/24

CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.
2511 LOSAN STREET Tel: (554) 841-8811
SELMA, CA 93662 Fax: (554) 841-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT
TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-003

REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA
No. C 77825
Exp. 06-30-23

DATE SIGNED: 1/18/2024

SITE PLAN

CVEAS JOB #: 23063

DATE: 1/18/2024

PLANNING SUBMITTAL #:

PLAN CHECK SUBMITTAL #:

DRAWN BY:

CHECKED BY:

SCALE:

A1.1

CITY OF FRESNO

DEVELOPMENT AND IMPACT FEE ESTIMATE

The following estimates are based on preliminary conceptual information. The exact fee obligation will be computed at the time of development by Public Works Department, Land Division & Engineering. The fee rates in effect at the time of building permit issuance, as determined by the Master Fee Schedule, shall apply.

Proposed Development: Truck Maintenance Shop - 121 W. North Avenue

A.P.N. 329-020-33

Planned Land Use: Employment - Business Park

Current Zoning: BP

Site Area: +/- 2.22 acres

Building Area: +/- 3,300 sq. ft.

Entitlement: P23-03606

Estimate Date: April 24, 2024

WATER CONNECTION CHARGES						
	Service Area	Quantity	Units	Fee Rate	Amount Due	Notes
Water Service & Meter Charge	1"	1	EA.	\$2,241.00	...existing	
Frontage Charge		233	L.F.	\$6.50	previously satisfied	
Total Water Connection Charges					\$0.00	[1]

SEWER CONNECTION CHARGES						
	Service Area	Quantity	Units	Fee Rate	Amount Due	Notes
House Branch Sewer Charge		[2]	EA	\$0.00	[2]	[2]
Lateral Sewer Charge		23,300	Sq.Ft.	\$0.10	previously satisfied	
Oversized Sewer Charge		23,300	Sq.Ft.	\$0.05	previously satisfied	
Wastewater Facilities Charge		STEP		[3]	[3]	[4] [7]
Total Sewer Connection Charges					\$0.00	[3]

CITYWIDE/REGIONAL IMPACT FEES						
	Service Area	Quantity	Units	Fee Rate	Amount Due	Notes
Citywide Fire Facilities Impact Fee	Industrial	3,300	Sq.Ft.	\$350.19	\$1,155.63	[7]
Citywide Police Facilities Impact Fee	Industrial	3,300	Sq.Ft.	\$429.60	\$1,417.68	[7]
Citywide Regional Street Charge	Light Indust.	0.19	AC	\$4,813.10	\$914.49	[6]
New Growth Area Major Street Charge	Light Indust.	0.19	AC	\$15,673.13	n/a	
Traffic Signal Mitigation Impact Fee	Industrial	3,300	Sq.Ft.	\$407.20	\$1,343.76	[6]
Total Citywide/Regional Impact Fees					\$4,831.56	

Total Fees and Charges	\$4,831.56
-------------------------------	-------------------

CITY OF FRESNO

DEVELOPMENT AND IMPACT FEE ESTIMATE

NOTES:

Within the City of Fresno's sphere of influence there are other sewer and water utility providers. If the project is within one of those districts, the developer must provide confirmation from the representative Districts that all conditions for sewer and/or water connections and services have been satisfied, prior to issuance of a Building Permit.

Outside agencies developer impact fees: It is the developer's responsibility to contact those agencies for their fee estimates. These agencies include but are not limited to; Fresno County, Council of Fresno County Governments (FCOG), Fresno Metropolitan Flood Control District (FMFCD), various School Districts that serve the City of Fresno, etc.

NOTICE OF 90-DAY PROTEST PERIOD (GOVERNMENT CODE §66020(d)(1))

A protest filed pursuant to subdivision and/or development (a) shall be filed at the time of approval or conditional approval of the development or within 90 days after the date of the imposition of the fees, dedications, reservations, or other exactions to be imposed on a development project. Each local agency shall provide to the project applicant a notice in writing at the time of the approval of the project or at the time of the imposition of the fees, dedications, reservations, or other exactions, a statement of the amount of the fees or a description of the dedications, reservations, or other exactions, and notification that the 90-day approval period in which the applicant may protest has begun.

- The Board of Directors of the Fresno County Regional Transportation Mitigation Fee Agency approved Resolution No. 2009-01 requiring the payment of Regional Transportation Mitigation Fee. The effective date of this resolution is January 1, 2010. Please contact the Council of Fresno County Governments (FCOG) at (559) 233-4148 to determine this fee obligation. Confirmation by the FCOG is required before the City of Fresno can issue the Certificate of Occupancy.
- On December 8, 2016, Fresno City Council adopted Resolution No. 2016-258, effective July 1, 2018, administratively updating the impact fees adjusted by this resolution annually to the percentage change in the 20-City Construction Cost Index as reported in the Engineering News Record (ENR) for the 12-month period ending of May of the year of adjustment.
- Payment of Fresno Metropolitan Flood Control District (FMFCD) impact fees may be required. Please contact FMFCD at (559) 456-3292 to determine fee obligation.
- Payment of applicable school district fees is required prior to issuance of Building Permit. Please contact the respective school district to satisfy your fee obligation. Confirmation by the respective school district is required before the City of Fresno can issue building permits

[1] Fees for Water Service Connections and/or Meters, and Water Capacity due at time of development. Charges based on service and/or meter sizes, (Rates as established by the Master Fee Schedule), determined by the Developer.

[2] Sewer House branches to be installed by Developer at the Developer's cost.

[3] Upon occupancy of the project, the subdivider shall pay the appropriate sewer facility charge pursuant to the Simple Tiered Equity Program (STEP) as determined by the City of Fresno Department of Finance, Utilities Billing & Collection Division (559-621-6765).

[4] The Wastewater Facilities Charge (WWFC) is applicable to single family, duplex, and triplex developments. (FMC 6-302(i)); For Condominium conversions, WWFC may stay in the S.T.E.P. if the project continues to be master metered for water. If the condominiums are individually metered, the developer will pay the pro-rated portion of these fees.

[5] The Trunk Sewer Charge is applicable to single family, duplex, and triplex developments. (FMC 6-302(i)); For Condominium conversions, Trunk Sewer Charges may stay in the S.T.E.P. if the project continues to be master metered for water. If the condominiums are individually metered, the developer will pay the pro-rated portion of these fees.

[6] Due at Building Permit

[7] Due with Certificate of Occupancy

[8] Construction Fee Credits may be applicable. Contact the Public Works Engineering Services Division at (559) 621-8685 for more information.

[9] Parks fee applicable only to residential developments

[10] Fee not applicable on replacement or reconstruction of an existing structure that has been destroyed or demolished provided that the Building Permit for new construction is obtained within one year after the building is destroyed or demolished, and there is no change in the land use designation. (Res. Nos. 2005-428, 429)

[11] Subject to the acceptance date of the vesting tentative map, fee may not be applicable until 2-years after the date of Final Map recordation; when applicable, fee is due at Building Permit for all un-developed lots at the fee rate then in effect.

Prepared and Reviewed By: Frank Saburit

Date: April 24, 2024

(559) 621-8797

**City of Fresno Public Works Department
Land Division & Engineering**



June 10, 2024

Brittany Martin
City of Fresno
Planning and Development Department
2600 Fresno Street
Fresno, CA 93721

Project: Development Permit Application No. P23-03606, Truck Maintenance Shop

District CEQA Reference No: 20240459

Dear Ms. Martin:

The San Joaquin Valley Air Pollution Control District (District) has reviewed the Development Permit Application (DPA) from the City of Fresno (City) for the project mentioned above. Per the DPA, the project consists of a 4,900 square foot metal building to be used as a commercial truck repair garage with a parking lot containing 5 vehicle and 39 commercial truck parking spaces (Project). The Project is located 121 W. North Avenue in Fresno, Ca 93706. The Project lies within one of the communities in the state selected by the California Air Resources Board (CARB) for investment of additional air quality resources and attention under Assembly Bill (AB) 617 (Garcia) in an effort to reduce air pollution exposure in impacted disadvantaged communities.

The District offers the following comments at this time regarding the Project:

1) Assembly Bill 617

AB 617 requires CARB and air districts to develop and implement Community Emission Reduction Programs (CERPs) in an effort to reduce air pollution exposure in impacted disadvantaged communities, like those in which the Project is located. The South Central Fresno AB 617 community is one of the statewide communities selected by CARB for development and implementation of a CERP.

Following extensive community engagement and collaboration with the Community Steering Committee, the CERP for the South Central Fresno Community was adopted by the District's Governing Board in September 2019 and by CARB in February 2020. During the development of the CERP, the Community Steering Committee expressed concerns regarding the proximity of emission sources to

Samir Sheikh
Executive Director/Air Pollution Control Officer

Northern Region
4800 Enterprise Way
Modesto, CA 95356-8718
Tel: (209) 557-6400 FAX: (209) 557-6475

Central Region (Main Office)
1990 E. Gettysburg Avenue
Fresno, CA 93726-0244
Tel: (559) 230-6000 FAX: (559) 230-6061

Southern Region
34946 Flyover Court
Bakersfield, CA 93308-9725
Tel: (661) 392-5500 FAX: (661) 392-5585

nearby sensitive receptors like schools, homes, day care centers, and hospitals, and the potential future industrial development within the community that may exacerbate the cumulative exposure burden for community residents. The Community Steering Committee also expressed the desire for more meaningful avenues of engagement surrounding the land-use decisions in the area. As these issues can most effectively be addressed through strong partnerships between community members and local land-use agencies. Furthermore, the District recommends the City assess the emission reductions measures and strategies included in the CERP and address them in the environmental review, as appropriate, to align the City work with the air pollution and exposure reduction strategies and measures outlined in the CERP.

For more information regarding the CERP approved for South Central Fresno, please visit the District's website at:
<http://community.valleyair.org/selected-communities/south-central-fresno>

2) Project Related Emissions

At the federal level under the National Ambient Air Quality Standards (NAAQS), the District is designated as extreme nonattainment for the 8-hour ozone standards and serious nonattainment for the particulate matter less than 2.5 microns in size (PM_{2.5}) standards. At the state level under California Ambient Air Quality Standards (CAAQS), the District is designated as nonattainment for the 8-hour ozone, PM₁₀, and PM_{2.5} standards.

Based on information provided to the District, Project specific annual criteria pollutant emissions from construction and operation are not expected to exceed any of the significance thresholds as identified in the District's Guidance for Assessing and Mitigating Air Quality Impacts (GAMAQI):
<https://ww2.valleyair.org/media/g4nl3p0g/gamaqi.pdf>.

2a) Construction Emissions

The District recommends, to reduce impacts from construction-related diesel exhaust emissions, the Project should utilize the cleanest available off-road construction equipment.

3) Health Risk Screening/Assessment

The City should evaluate the risk associated with the Project for sensitive receptors (residences, businesses, hospitals, day-care facilities, health care facilities, etc.) in the area and mitigate any potentially significant risk to help limit exposure of sensitive receptors to emissions.

To determine potential health impacts on surrounding receptors (residences, businesses, hospitals, day-care facilities, health care facilities, etc.) a Prioritization and/or a Health Risk Assessment (HRA) should be performed for the Project. These health risk determinations should quantify and characterize potential Toxic Air Contaminants (TACs) identified by the Office of Environmental Health Hazard Assessment/California Air Resources Board (OEHHA/CARB) that pose a present or potential hazard to human health.

Health risk analyses should include all potential air emissions from the project, which include emissions from construction of the project, including multi-year construction, as well as ongoing operational activities of the project. Note, two common sources of TACs can be attributed to diesel exhaust emitted from heavy-duty off-road earth moving equipment during construction, and from ongoing operation of heavy-duty on-road trucks.

Prioritization (Screening Health Risk Assessment):

A "Prioritization" is the recommended method for a conservative screening-level health risk assessment. The Prioritization should be performed using the California Air Pollution Control Officers Association's (CAPCOA) methodology. Please contact the District for assistance with performing a Prioritization analysis.

The District recommends that a more refined analysis, in the form of an HRA, be performed for any project resulting in a Prioritization score of 10 or greater. This is because the prioritization results are a conservative health risk representation, while the detailed HRA provides a more accurate health risk evaluation.

Health Risk Assessment:

Prior to performing an HRA, it is strongly recommended that land use agencies/project proponents develop and submit for District review a health risk modeling protocol that outlines the sources and methodologies that will be used to perform the HRA.

A development project would be considered to have a potentially significant health risk if the HRA demonstrates that the health impacts would exceed the District's established risk thresholds, which can be found here:

<https://ww2.valleyair.org/permitting/ceqa/>.

A project with a significant health risk would trigger all feasible mitigation measures. The District strongly recommends that development projects that result in a significant health risk not be approved by the land use agency.

The District is available to review HRA protocols and analyses. For HRA submittals please provide the following information electronically to the District for review:

- HRA (AERMOD) modeling files
- HARP2 files
- Summary of emissions source locations, emissions rates, and emission factor calculations and methodologies.

For assistance, please contact the District's Technical Services Department by:

- E-Mailing inquiries to: hramodeler@valleyair.org
- Calling (559) 230-5900

Recommended Measure: Development projects resulting in TAC emissions should be located an adequate distance from residential areas and other sensitive receptors to prevent the creation of a significant health risk in accordance to CARB's Air Quality and Land Use Handbook: A Community Health Perspective located at <https://ww2.arb.ca.gov/our-work/programs/resource-center/strategy-development/land-use-resources>.

4) Ambient Air Quality Analysis

An Ambient Air Quality Analysis (AAQA) uses air dispersion modeling to determine if emissions increases from a project will cause or contribute to a violation of State or National Ambient Air Quality Standards. The District recommends an AAQA be performed for the Project if emissions exceed 100 pounds per day of any pollutant.

An AAQA uses air dispersion modeling to determine if emission increase from a project will cause or contribute to a violation of State or National Ambient Air Quality Standards. An acceptable analysis would include emissions from both project-specific permitted and non-permitted equipment and activities. The District recommends consultation with District staff to determine the appropriate model and input data to use in the analysis.

Specific information for assessing significance, including screening tools and modeling guidance, is available online at the District's website: <https://ww2.valleyair.org/permitting/ceqa/>.

5) Truck Routing

Truck routing involves the assessment of which roads Heavy Heavy-Duty (HHD) trucks take to and from their destination, and the emissions impact that the HHD trucks may have on residential communities and sensitive receptors. Since the Project consists of a truck repair shop, the Project has the potential to generate HHD truck trips.

The District recommends the City evaluate HHD truck routing patterns for the Project, with the aim of limiting exposure of residential communities and sensitive receptors to emissions. This evaluation would consider the current truck routes, the quantity and type of each truck (e.g., Medium Heavy-Duty, HHD, etc.), the destination and origin of each trip, traffic volume correlation with the time of day or the day of the week, overall Vehicle Miles Traveled (VMT), and associated exhaust emissions. The truck routing evaluation would also identify alternative truck routes and their impacts on VMT and air quality.

6) Reduce Idling of Heavy-Duty Trucks

The goal of this strategy is to limit the potential for localized PM_{2.5} and toxic air contaminant impacts associated with the idling of Heavy-Duty trucks. The diesel exhaust from idling has the potential to impose significant adverse health and environmental impacts.

Since the Project is expected to result in HHD truck trips, the District recommends the environmental review include measures to ensure compliance of the state anti-idling regulation (13 CCR § 2485 and 13 CCR § 2480) and discuss the importance of limiting the amount of idling, especially near sensitive receptors.

7) Vegetative Barriers and Urban Greening

There are residential units located east and west of the Project. The District suggests the City consider the feasibility of incorporating vegetative barriers and urban greening as a measure to further reduce air pollution exposure on sensitive receptors (e.g., residential units).

While various emission control techniques and programs exist to reduce air quality emissions from mobile and stationary sources, vegetative barriers have been shown to be an additional measure to potentially reduce a population's exposure to air pollution through the interception of airborne particles and the uptake of gaseous pollutants. Examples of vegetative barriers include, but are not limited to the following: trees, bushes, shrubs, or a mix of these. Generally, a higher and thicker vegetative barrier with full coverage will result in greater reductions in downwind pollutant concentrations. In the same manner, urban greening is also a way to help improve air quality and public health in addition to enhancing the overall beautification of a community with drought tolerant, low-maintenance greenery.

8) On-Site Solar Deployment

It is the policy of the State of California that renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers by December 31, 2045. While various emission control techniques and programs exist to reduce air quality emissions from mobile and stationary sources,

the production of solar energy is contributing to improving air quality and public health. The District suggests that the City consider incorporating solar power systems as an emission reduction strategy for the Project.

9) District Rules and Regulations

The District issues permits for many types of air pollution sources, and regulates some activities that do not require permits. A project subject to District rules and regulations would reduce its impacts on air quality through compliance with the District's regulatory framework. In general, a regulation is a collection of individual rules, each of which deals with a specific topic. As an example, Regulation II (Permits) includes District Rule 2010 (Permits Required), Rule 2201 (New and Modified Stationary Source Review), Rule 2520 (Federally Mandated Operating Permits), and several other rules pertaining to District permitting requirements and processes.

The list of rules below is neither exhaustive nor exclusive. Current District rules can be found online at: <https://ww2.valleyair.org/rules-and-planning/current-district-rules-and-regulations>. To identify other District rules or regulations that apply to future projects, or to obtain information about District permit requirements, the project proponents are strongly encouraged to contact the District's Small Business Assistance (SBA) Office at (559) 230-5888.

9a) District Rules 2010 and 2201 - Air Quality Permitting for Stationary Sources

Stationary Source emissions include any building, structure, facility, or installation which emits or may emit any affected pollutant directly or as a fugitive emission. District Rule 2010 (Permits Required) requires operators of emission sources to obtain an Authority to Construct (ATC) and Permit to Operate (PTO) from the District. District Rule 2201 (New and Modified Stationary Source Review) requires that new and modified stationary sources of emissions mitigate their emissions using Best Available Control Technology (BACT).

This Project may be subject to District Rule 2010 (Permits Required) and Rule 2201 (New and Modified Stationary Source Review) and may require District permits. Prior to construction, the Project proponent should submit to the District an application for an ATC. For further information or assistance, the project proponent may contact the District's SBA Office at (559) 230-5888.

9b) District Rule 9510 - Indirect Source Review (ISR)

The Project is subject to District Rule 9510 because it will receive a project-level discretionary approval from a public agency and will equal or exceed 2,000 square feet of commercial space.

The purpose of District Rule 9510 is to reduce the growth in both NO_x and PM emissions associated with development and transportation projects from mobile and area sources; specifically, the emissions associated with the construction and subsequent operation of development projects. The ISR Rule requires developers to mitigate their NO_x and PM emissions by incorporating clean air design elements into their projects. Should the proposed development project clean air design elements be insufficient to meet the required emission reductions, developers must pay a fee that ultimately funds incentive projects to achieve off-site emissions reductions.

Per Section 5.0 of the ISR Rule, an Air Impact Assessment (AIA) application is required to be submitted no later than applying for project-level approval from a public agency. As of the date of this letter, the District has not received an AIA application for this Project. Please inform the project proponent to immediately submit an AIA application to the District to comply with District Rule 9510 so that proper mitigation and clean air design under ISR can be incorporated into the Project's design.

Information about how to comply with District Rule 9510 can be found online at: <https://ww2.valleyair.org/permitting/indirect-source-review-rule-overview>

The AIA application form can be found online at: <https://ww2.valleyair.org/permitting/indirect-source-review-rule-overview/forms-and-applications/>

District staff is available to provide assistance and can be reached by phone at (559) 230-5900 or by email at ISR@valleyair.org.

9c) District Rule 4601 (Architectural Coatings)

The Project may be subject to District Rule 4601 since it may utilize architectural coatings. Architectural coatings are paints, varnishes, sealers, or stains that are applied to structures, portable buildings, pavements or curbs. The purpose of this rule is to limit VOC emissions from architectural coatings. In addition, this rule specifies architectural coatings storage, cleanup and labeling requirements. Additional information on how to comply with District Rule 4601 requirements can be found online at: <https://ww2.valleyair.org/media/tkgjeusd/rule-4601.pdf>

9d) District Regulation VIII (Fugitive PM10 Prohibitions)

The project proponent may be required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to commencing any earthmoving activities as described in Regulation VIII, specifically Rule 8021 – *Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities*.

Should the project result in at least 1-acre in size, the project proponent shall provide written notification to the District at least 48 hours prior to the project proponents intent to commence any earthmoving activities pursuant to District Rule 8021 (Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities). Also, should the project result in the disturbance of 5-acres or more, or will include moving, depositing, or relocating more than 2,500 cubic yards per day of bulk materials, the project proponent shall submit to the District a Dust Control Plan pursuant to District Rule 8021 (Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities). For additional information regarding the written notification or Dust Control Plan requirements, please contact District Compliance staff at (559) 230-5950.

The application for both the Construction Notification and Dust Control Plan can be found online at: <https://ww2.valleyair.org/media/fm3jrbsq/dcp-form.docx>

Information about District Regulation VIII can be found online at: <https://ww2.valleyair.org/dustcontrol>

9e) Other District Rules and Regulations

The Project may also be subject to the following District rules: Rule 4102 (Nuisance) and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations).

10) District Comment Letter

The District recommends that a copy of the District's comments be provided to the Project proponent.

If you have any questions or require further information, please contact Harout Sagherian by e-mail at Harout.Sagherian@valleyair.org or by phone at (559) 230-5860.

Sincerely,

Tom Jordan
Director of Policy and Government Affairs



For: Mark Montelongo
Program Manager



2907 S. Maple Avenue
Fresno, California 93725-2208
Telephone: (559) 233-7161
Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

May 3, 2024

Brittany Martin
City of Fresno
Development and Resource Management Department
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Development Permit Application P23-03606
S/W North and Elm avenues

Dear Ms. Martin:

The Fresno Irrigation District (FID) has reviewed the Development Review Committee Planning Application P23-03606 for which the applicant proposes to construct a new metal building to be used as a commercial truck repair garage with a parking lot containing 5 vehicle and 39 commercial truck parking spaces, 329-020-33. FID has the following comments:

1. FID does not own, operate, or maintain any facility located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, FID's North Central No. 26 runs westerly crosses Elm Avenue approximately 1,100 feet southeast of the subject property, and crosses Fig Avenue approximately 1,800 feet southwest of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Elm Avenue, Fig Avenue, or in the vicinity of this facility, FID requires it review and approve all plans.
3. For informational purposes, a privately owned pipeline know as North Central No. 26 runs northwesterly approximately 1,000 feet southeast of the subject property, as shown on the attached FID exhibit map. FID does not own, operate or maintain this private pipeline, FID's records indicate this pipeline is active and will need to be treated as such. Should this project include any street and/or utility improvements along Elm Avenue, or in the vicinity of this facility, FID recommends the applicant contact the owners to discuss any right-of-way issues that may affect said pipeline.
4. For informational purposes, a privately owned pipeline know as Elm Avenue No. 210 runs southerly approximately 1,200 feet southeast of the subject property, as shown on the attached FID exhibit map. FID does not own, operate or maintain this private pipeline, FID's records indicate this pipeline is active and will need to be treated as such. Should this project include any street and/or utility improvements along Elm Avenue, or in the vicinity of this facility, FID recommends the applicant contact the owners to discuss any right-of-way issues that may affect said pipeline.

G:\Agencies\FresnoCity\Development Permit Application\P23-03606\P23-03606 FID Comment.docx

BOARD OF DIRECTORS

President RYAN JACOBSEN Vice-President JERRY PRIETO, JR. CHRISTOPHER WOOLF
GEORGE PORTER GREGORY BEBERIAN General Manager BILL STRETCH

Brittany Martin
RE: P23-03606
May 3, 2024
Page 2 of 2

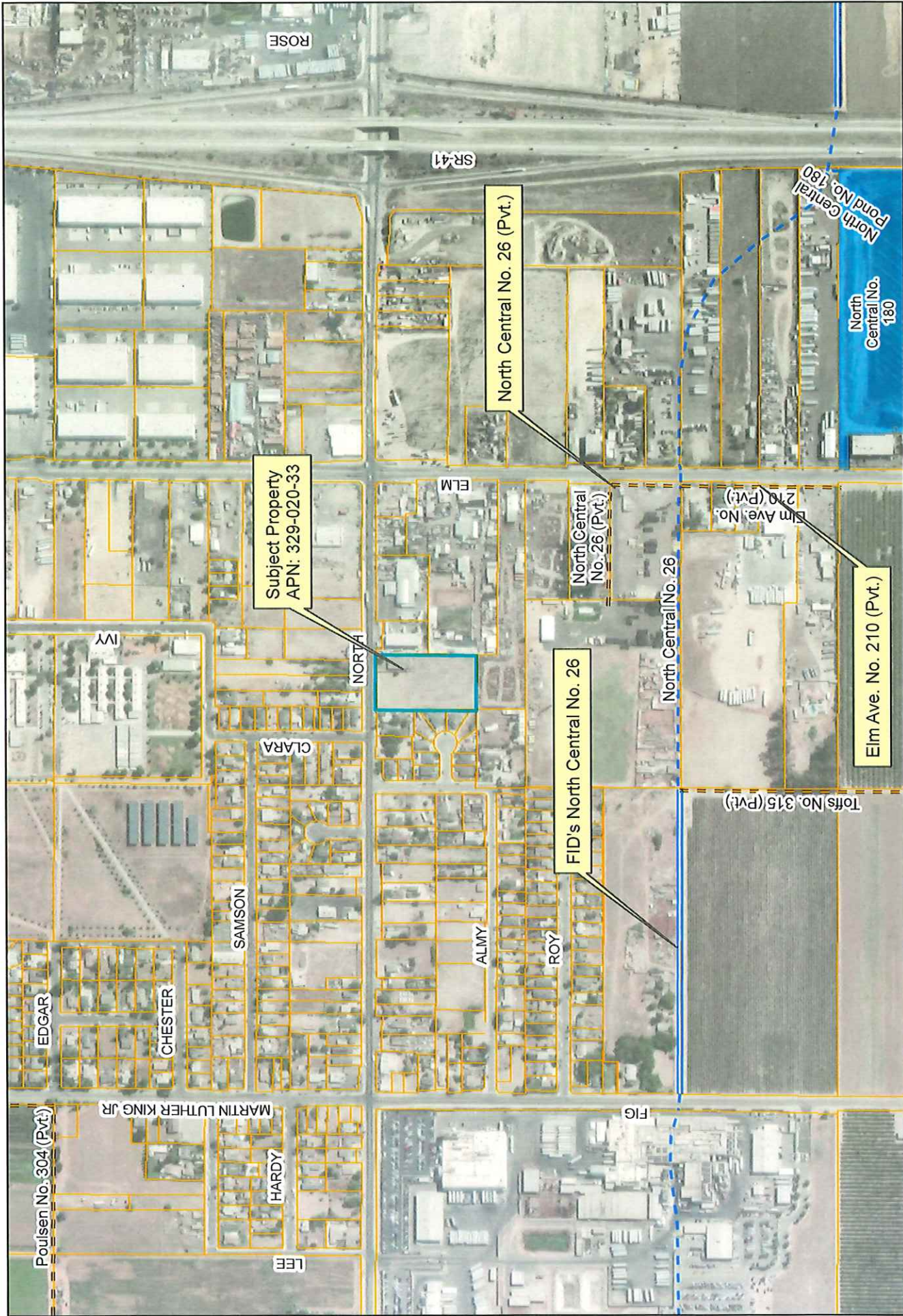
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or jlandrith@fresnoirrigation.com.


Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment





FRESNO IRRIGATION DISTRICT


This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

Path: G:\Figs\0240220 FID Master.mxd
Spatial Reference
Name: NAD 1983 StatePlane California IV FIPS 5404

Legend

	FID Canal		Stream Group
	Private Canal		Other-Creek/River
	Abandoned Canal		Other-Pipeline
	FID Pipeline		Railroad
	Private Pipeline		Streets & Hwys
	Abandoned Pipeline		Parcel
	FIMFCD Acquired Basins		FIMFCD Proposed Basins

0 270 540
Feet
1 inch = 533.17 feet



Christopher Lundeen

From: do_not_reply@fresno.gov
Sent: Thursday, April 11, 2024 10:30 AM
To: Engineering Review
Subject: Planning Application P23-03606 - Task Assigned

Follow Up Flag: Follow up
Flag Status: Flagged

A task associated with Planning Application P23-03606 has been assigned for your review. You can review details online.

Application Description: Development Permit Application No. P23-03606 was filed by Brenda Ramirez of Central Valley Engineering and Surveying, Inc and pertains to the ±2.23 acres located at 121 W North Ave. The applicant proposes a Development Permit to construct a new 100'x49' metal building to be used as a commercial truck repair garage with a parking lot containing 5 vehicle and 39 commercial truck parking spaces. The parcel is zoned BP.

Task Information: Irrigation District

Due 5/2

P23-03606

IND - Truck Main...
Development Per...

STATUS
> In Review
05/01/2024 b...

LOCATION
> 121 W NORTH...
FRESNO, CA 9...

CONTACT
> Brenda Ramir...

WORKFLOW
> 36 total Task

P23-03606 - IND - Truck Maintenance Shop

A notice was added to this record on 2023-10-23.
Condition: Severity: Notice
Total conditions: 1 (Notice: 1)
[View notice](#)

Menu

Help

File Date: 10/23/2023

Application Status: [In Review](#)

Application Type: [Development Permit](#)

Application Detail: [Detail](#)

Description of Work: [Development Permit Application No. P23-03606 was filed by Brenda Ramirez of Central Valley Engineering and Surveying, a BP.](#)

Application Name: [IND - Truck Maintenance Shop](#)

Address: [121 W NORTH AVE, FRESNO, CA 93706](#)

Owner Name: [ARREGUIN ALFREDO](#)

Owner Address: [121 W NORTH AVE, FRESNO, CA 93706](#)

Parcel No: [32902033](#)

Contact Info: Name	Organization Name	Contact Type	Status
Brenda Ramirez	Central Valley ...	Applicant	Active
Mandeeo Kaushal		Developer	Active
PGE Plan Review	PG&E	Applicant	Active

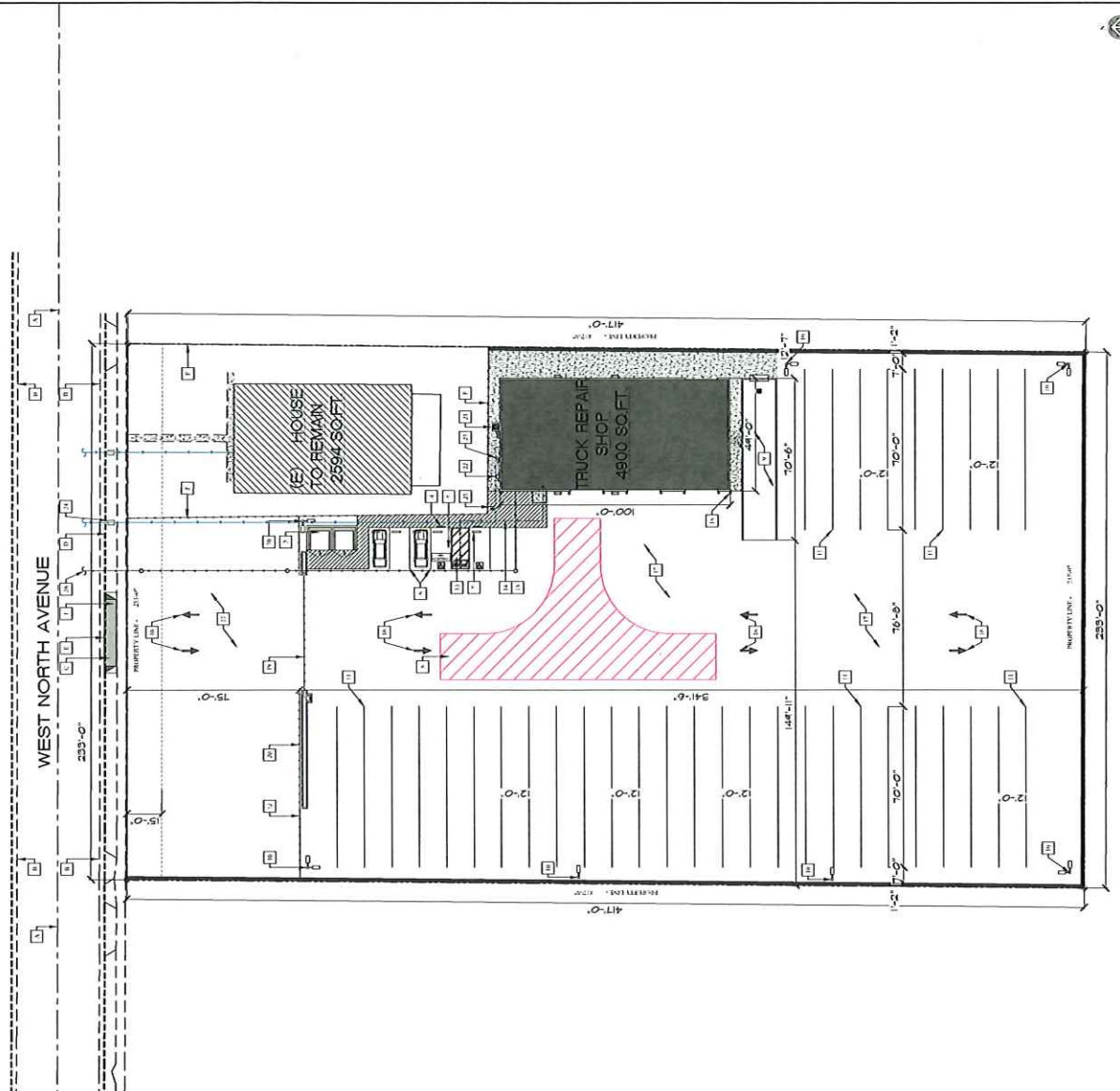


Permit	Date

SITE PLAN	
DATE	08/01/2008
DATE	08/01/2008
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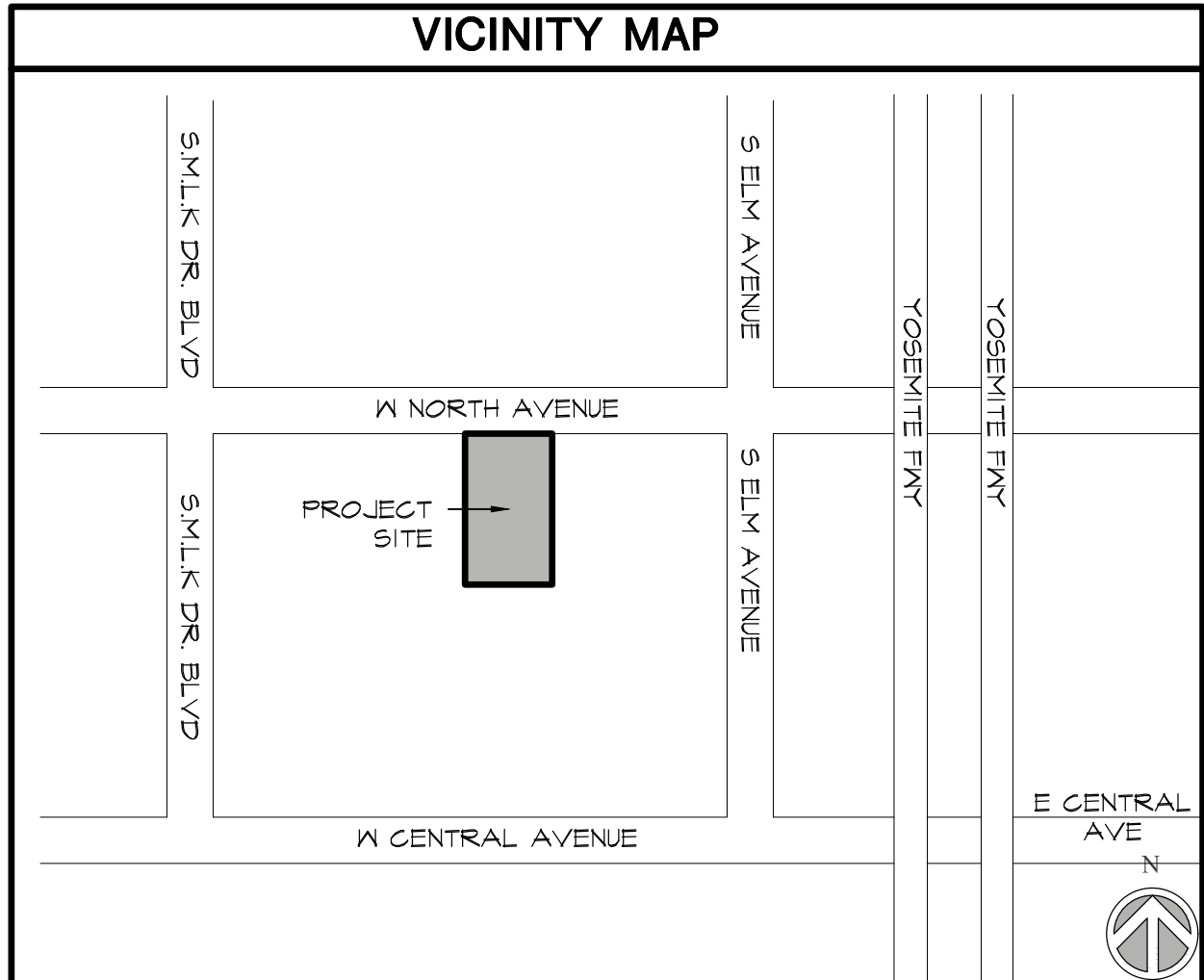
A1.1

SITE PLAN KEYED NOTES (EX. ITEMS)	
1	CONCRETE
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5	CONCRETE
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99	CONCRETE
100	CONCRETE



OVERALL SITE PLAN
SCALE: 1"=25'-0"

Address Plan: 121 West North Avenue



GENERAL NOTES:

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK.
- REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED PER FNC 15-211.
- UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER FRESNO MUNICIPAL CODE SECTION 15-2011 AND PUBLIC WORKS POLICY NO. 260.01.
- SUBMIT STREET CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT.
- PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY. TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
- CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 554-621-8800, TWO WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
- ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
- ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS.
- SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT.
- SUBMIT SIGNING AND STRIPING PLANS TO THE PUBLIC WORKS DEPARTMENT. COMPLY WITH THE CURRENT CALTRANS STANDARDS.

LEGAL DESCRIPTION:

- THE LAND REFERRED TO HEREIN BELOW IS SUBMITTED IN THE CITY OF FRESNO, COUNTY OF FRESNO STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
- THAT PORTION OF LOT 65 OF CENTRAL CALIFORNIA COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE OF PLATS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 65 DISTANT 197 FEET WEST OF THE NORTHEAST CORNER THEREOF; THENCE SOUTH ON A LINE PARALLEL TO AND DISTANT 197 FEET WEST OF THE EAST LINE OF SAID LOT 41 FEET; THENCE WEST A DISTANCE OF 293 FEET; THENCE NORTH 417 FEET TO THE NORTH LINE OF SAID LOT; THENCE ALONG SAID NORTH LINE EAST A DISTANCE OF 293 FEET TO THE POINT OF BEGINNING.

CONSTRUCTION REQUIREMENTS:

- CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STD E-1 & E-2A.

NOTE ON PLANS: REQUIRED FIRE APPARATUS ACCESS LANES SHALL BE PROVIDED YEAR-ROUND AND MAINTAINED WITH AN APPROVED ALL-WEATHER SURFACE CAPABLE OF SUPPORTING 80,000-POUND VEHICLES. THE FIRE APPARATUS ACCESS LANES SHALL BE A MINIMUM OF 4-INCH BASE ROCK OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERING PLANS WITH A MINIMUM OF 24 FEET OF CLEAR WIDTH OR OTHER APPROVED METHOD, WHICH WOULD PREVENT SHOULDER DEGRADATION. (FPD DEVELOPMENT POLICY 409.002)

NOTE ON PLANS: PROVIDE APPROVED POLICE/FIRE BYPASS LOCK (BESTA PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL (WTS2) ON DRIVE ACCESS GATE(S). ALL ELECTRIFIED GATES SHALL BE EQUIPPED WITH THE BEST ELECTRIC CYLINDER LOCK (WTS2). A KNOX PADLOCK MAY NOT BE USED IN PLACE OF THE BEST PADLOCK MODEL 218700. THESE LOCKS CAN BE PURCHASED ONLY THROUGH SIERRA LOCK & GLASS, 1560 N. PALM AVENUE, FRESNO, CA 93726.

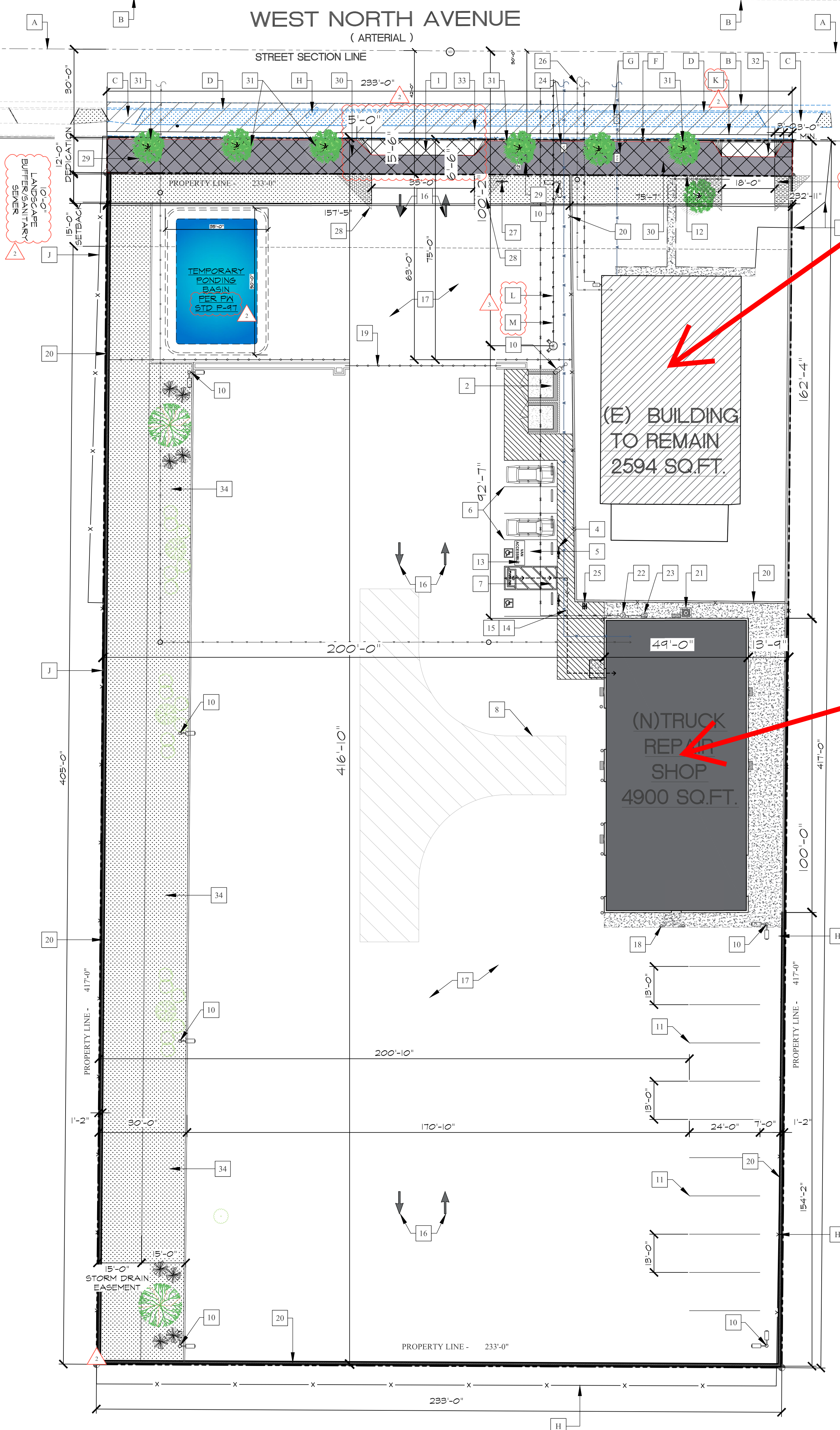
APPL. NO. P23-03606 EXHIBIT AP DATE 6/11/2025

PLANNING REVIEW BY **BRITTANYNM**

TRAFFIC ENG. **BRITTANYNM**

COND. APPROVED BY **BRITTANYNM**

CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



121 West North Avenue
Residence

135 West North Avenue
Truck Repair Shop

SITE PLAN KEYED NOTES (EX. ITEMS)	
N	DESCRIPTION
(E)	INDICATES STREET SECTION LINES
(E)	EDGE OF AC PAVING.
(E)	DRIVEWAY APPROACHES TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
(E)	6" HIGH CONC. CURB AND GUTTER TO DEMO.
(E)	6'-0" HIGH WROUGHT IRON FENCE TO DEMO.
(E)	WATER METER TO RELOCATE TO NEW ROW.
(E)	UTILITY POLE TO BE UNDERGROUND.
(E)	6'-0" CHAIN LINK FENCE TO DEMO.
(E)	4' WIDE SIDEWALK TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
(N)	8" INCH FIRE LINE WITH 1800 GPM FIRE FLOW.
(N)	FIRE HYDRANT

SITE PLAN KEYED NOTES	
X	DESCRIPTION
(N)	35'-0" WIDE COMMERCIAL DRIVEWAY APPROACH AS PER CITY STANDARDS P-2 & P-6.
(N)	REUR AS PER CITY OF FRESNO STANDARDS P-33A
(N)	REFER TO DETAIL 5/A/3.
(N)	SIGN. REFER TO DETAIL 5 AND 6/A/3.
(N)	PARKING STALL. REFER TO DETAIL 5/A/3.
(N)	4' WIDE PAINTED PARKING STRIPES.
(N)	6" HIGH CONCRETE WHEEL STOP. REFER TO DETAIL 5/A/3.
(N)	INDICATES HAMMERHEAD TURN-AROUND APPARATUS.
(N)	RECESSED CONCRETE TRUCK DOCK 15'-0" X TO 6'-0".
(N)	HOODED LIGHT.
(N)	18' X 24' BO TAIL TRUCK PARKING.
(N)	6'-0" HIGH CHAIN LINK FENCING WITH SLATS. RESIDENTIAL VEHICLE ACCESS GATE(S) SHALL BE LOCKED/UNLOCKED FROM PRIVATE PROPERTY OR PARKED ON-STREET. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
(N)	8'-0" (MIN) WIDE ACCESSIBLE UNLOADING ZONE ADJACENT TO VAN STALL LOCATION.
(N)	ACCESSIBLE PATH OF TRAVEL
(N)	PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1/2" MAXIMUM SLOPE EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE (N) A SLIP RESISTANT SURFACE (N) A 5% MAX. SLOPE AND 1:48 MAX. CROSS SLOPE. PASSING SPACES OF 60" X 60" MIN. ARE TO BE LOCATED NOT MORE THAN 200' APART. WALKS (N) CONT. GRADIENTS ARE TO HAVE A 60" IN LENGTH OF LEVEL AREAS NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. ABOVE FINISHED FLOOR AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM THE WALL/VERTICAL SURFACE FROM 27" ABOVE THE FLOOR SURFACE TO 80" ABOVE THE FLOOR SURFACE. THERE IS TO BE NO DROP-OFF GREATER THAN 4" AT THE EDGE OF WALK OR LANDINGS UNLESS IDENTIFIED BY A GUARD, A HANDRAIL OR A 6" HIGH MIN. WARNING CURB ABOVE THE WALK. ARCHITECT, CONTRACTOR, AND/OR OWNER SHALL VERIFY THAT ALL BARRIERS ON THE PATH OF TRAVEL HAVE BEEN REMOVED.
(N)	IRON - REFER TO DETAIL T/A/3
(N)	PW STD P-21 AT MIN.
(N)	REFER TO DETAIL 1/A/3
(N)	WROUGHT IRON GATE W/LOCK. ALL VEHICLE ACCESS SHALL BE OPENED AS THE FIRST ORDER OF OPERATING BUSINESS AND SHALL REMAIN OPEN DURING OPERATING HOURS. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
(N)	7'-0" HIGH CMU WALL
(N)	LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
(N)	LOCATION OF ELECTRICAL METER
(N)	LOCATION OF GAS METER
(N)	LOCATION OF WATER METER TO BE INSTALLED BY CITY FORCES
(N)	SHORT/LONG TERM BIKE PARKING (MIN. (1) TWO-BIKE CAPACITY RACK. SEE CAL-GREEN 5.106.4.1.2 & 5.106.4.1.3
(N)	6" SEWER SERVICE LATERAL WITH CLEAN OUT PER CITY STD 6-1.5-8 & 5-8
(N)	30" STATE STANDARD "STOP" SIGN AT THE LOCATION SHOWN. SIGN POST DETAILS PER PW STD P-58.
(N)	12' X 12' VISIBILITY TRIANGLE
(N)	HATCH INDICATES DEDICATION
(N)	CONSTRUCT CONCRETE CURB, GUTTER AND SIDEWALK TO A 12" COMMERCIAL PATTERN PER PW STD P-5
(N)	TREE WELLS TO BE CONSTRUCTED PER PW STD P-8 AND STANDARD SPECIFICATION SECTION 26-2.11. *TREE WELLS ARE TO BE COORDINATED WITH STREET LIGHT DESIGN.*
(N)	18'-0" WIDE RESIDENTIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PW STANDARDS P-1 & P-6
(N)	CONSTRUCT 20' OF PERMANENT PAVING PER PW STD P-50
(N)	15'-0" LANDSCAPE BUFFER

(N)	OPERATING BUSINESS AND SHALL REMAIN OPEN DURING OPERATING HOURS. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
(N)	7'-0" HIGH CMU WALL
(N)	LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
(N)	LOCATION OF ELECTRICAL METER
(N)	LOCATION OF GAS METER
(N)	LOCATION OF WATER METER TO BE INSTALLED BY CITY FORCES
(N)	SHORT/LONG TERM BIKE PARKING (MIN. (1) TWO-BIKE CAPACITY RACK. SEE CAL-GREEN 5.106.4.1.2 & 5.106.4.1.3
(N)	6" SEWER SERVICE LATERAL WITH CLEAN OUT PER CITY STD 6-1.5-8 & 5-8
(N)	30" STATE STANDARD "STOP" SIGN AT THE LOCATION SHOWN. SIGN POST DETAILS PER PW STD P-58.
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(N)	18'-0" WIDE RESIDENTIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PW STANDARDS P-1 & P-6
(N)	CONSTRUCT 20' OF PERMANENT PAVING PER PW STD P-50
(N)	15'-0" LANDSCAPE BUFFER

OVERALL SITE PLAN

SCALE: 1"=20'-0"

CVEAS
ENGINEERING & SURVEYING, INC.
2511 LOSAN STREET Tel: (559) 841-8811
SELMA, CA 93662 Fax: (559) 841-8815
WWW.CVEAS.COM Email: info@cveas.com

TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-020-33

DATE SIGNED: 2/25/2025

Revisions:	Date:

SITE PLAN

CVEAS JOB #:	23063
DATE:	2/25/2025
PLANNING SUBMITTAL #:	
PLAN CHECK SUBMITTAL #:	
DRAWN BY:	
CHECKED BY:	
SCALE:	

A1.1



May 1, 2024

Re: P23-03606
121 W North Avenue

Dear City of Fresno,

Thank you for providing PG&E the opportunity to review the proposed plans for P23-03606 dated 4/26/2024. Our review indicates the proposed improvements do not appear to directly interfere with existing PG&E facilities or impact our easement rights.

Please note this is our preliminary review and PG&E reserves the right for additional future review as needed. This letter shall not in any way alter, modify, or terminate any provision of any existing easement rights. If there are subsequent modifications made to the design, we ask that you resubmit the plans to the email address listed below.

If the project requires PG&E gas or electrical service in the future, please continue to work with PG&E's Service Planning department: <https://www.pge.com/cco/>.

As a reminder, before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work. This free and independent service will ensure that all existing underground utilities are identified and marked on-site.

If you have any questions regarding our response, please contact the PG&E Plan Review Team at pgeplanreview@pge.com.

Sincerely,

PG&E Plan Review Team
Land Management

City of Fresno Notes and Requirements for Entitlement Applications

(Note: Please only use the notes that apply to your project.)

GENERAL

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Citywide Development Code, and all Public Works Standards and Specifications. *This special permit is granted, and the conditions imposed, based upon the Operational Statement provided by the applicant. The Operational Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operational Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operational Statement.* Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Planning and Development Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.
2. Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
 - a) All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property.
 - b) All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
 - c) Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.
3. No land shall be used, and no structure shall be constructed, occupied, enlarged, altered, demolished, or moved in any zoning district, except in accordance with the provisions of this Code. Specific uses of land, buildings, and structures listed as prohibited in any zoning district are hereby declared to be detrimental to the public health, safety, and welfare.
4. Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department;
<https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/CityofFresnoStandardSpecifications2016January.pdf>

City of Fresno Notes and Requirements For Entitlement Applications

Page 2 of 11

5. Development shall take place in accordance with all city, county, state and federal laws and regulations.
6. Owners and persons having ownership interest in businesses operating in the City of Fresno are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form are available at the following website:
<http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/businessstaxapplicaiton.htm>
7. All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.
8. Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.
9. A permit granted under the Fresno Municipal Code shall automatically expire if it is not exercised or extended within three years of its issuance. Refer to Section 15-5013, Expiration of Planning Entitlements, for more information about the exercise of rights.

FENCES/WALLS, LANDSCAPING, PARKING

10. Nothing in this Development Code shall be deemed to prohibit the erection of temporary fencing around construction sites in compliance with the Building Code and other applicable provisions of the Fresno Municipal Code.
11. Future fences shall be reviewed and approved by the Planning and Development Department prior to installation.
12. Fences, hedges, and walls shall be maintained in good repair, including painting, if required, and shall be kept free of litter or advertising. Where hedges are used as screening, trimming or pruning shall be employed as necessary to maintain the maximum allowed height. Fences shall be maintained and shall stand upright and shall not lean.
13. All planting and other landscape elements shall be permanently maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning, fertilizing, and regular watering. Wherever necessary, plantings shall be replaced with other plant materials to insure continued compliance with applicable landscaping requirements. Yards shall be maintained free of refuse, debris, rubbish, or other accumulated matter and/or materials, and shall be maintained clean. Grass shall not exceed six inches in height.
14. New landscaping shall have an automatic irrigation system designed to provide adequate and efficient coverage of all plant material. Irrigation systems shall comply with the requirements of the California Green Building Standards Code and/or the

City of Fresno Notes and Requirements For Entitlement Applications

Page 3 of 11

California Model Water Efficient Landscape Ordinance and/or the California Plumbing Code as may be amended.

15. Trees shall be maintained by property owners to be free from physical damage or injuring arising from lack of water, chemical damage, accidents, vandalism, insects, and disease. Any tree showing such damage shall be replaced with another tree.
16. No tree for which a Tree Removal Permit is required shall be removed until all conditions of the permit have been satisfied and the decision has become final. In addition, tree(s) approved for removal in conjunction with a development application shall not be removed before the issuance of a Building Permit or unless all of the conditions of approval of the development applications are satisfied.
17. The review authority shall issue a Tree Removal Permit if any of the following general criteria is met: **a)** The tree(s) is irreparably diseased or presents a danger of falling that cannot be controlled or remedied through reasonable preservation and/or preventative procedures and practices so that the public health or safety requires its removal. **b)** The tree(s) can potentially cause substantial damage to existing or proposed main structure(s) (e.g. dwellings, other main structures, or public infrastructure) or interfere with utility services and cannot be controlled or remedied through reasonable relocation or modification of the structure or utility services. **c)** The retention of the tree(s) restricts the economic enjoyment of the property or creates an unusual hardship for the property owner by severely limiting the use of the property in a manner not typically experienced by owners of similarly zoned and situated properties, and the applicant has demonstrated to the satisfaction of the Review Authority that there are no reasonable alternatives to preserve the tree(s).
18. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Current Planning Division. **(Include this note on the landscape plan.)**
19. Future tenant improvements shall be reviewed and approved by the Planning and Development Department to ensure that adequate off-street parking is provided.
20. Trees required for parking lots are in addition to trees required elsewhere on the site as prescribed in other sections of the Fresno Municipal Code.
21. Parking lots, including landscaped areas, driveways, and loading areas, shall be maintained free of refuse, debris, or other accumulated matter and shall be kept in good repair at all times.
22. A minimum number of accessible parking stalls are required for the proposed project per State of California Building Code.

City of Fresno Notes and Requirements For Entitlement Applications

Page 4 of 11

23. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Fresno Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles. **(Include this note on the site plan.)**
24. Applicants are encouraged to provide shared vehicle and pedestrian access between adjacent properties for convenience, safety, and efficient circulation. A joint access covenant shall be required. **(Include this note on the site plan.)**
25. All general standards of Section 15-2015 of the Fresno Municipal Code shall apply when lighting is provided to illuminate parking, sales or display areas. **Depict all proposed lights on the site plan.**
26. Bicycle parking spaces shall be supplied according to Table 15-2429-D: Required On-Site Bicycle Parking Spaces of the Fresno Municipal Code. Each bicycle parking space shall be a minimum of 30 inches in width and eight feet in length and shall be accessible without moving another bicycle. At least 30 inches of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces to allow for the maneuvering of bikes. Overhead clearance shall be a minimum of seven feet. A minimum five foot aisle between each row of bicycle parking shall be provided for bicycle maneuvering beside or between each row, when multiple rows are proposed. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.
27. All general provisions of Section 15-2403 of the Fresno Municipal Code shall apply to all parking areas.
28. The parking lot is required to meet the *City of Fresno's Parking Manual, Public Works Standards (P-21, P-22, and P-23) and Specifications* (<https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/Parking-Manual.pdf>). Parking must also comply with the California Building Code's accessibility requirements and the Fire and Solid Waste Department's minimum turning templates. Contact the Planning and Development Department for Parking Manual questions.

SIGNAGE

29. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.
30. Signs, other than directional signs, if applicable, are not approved for installation as part of this special permit. **(Include this note on the site plan.)**

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31. All proposed signs shall conform to the current sign ordinance. The submittal checklist for signs is available online at <https://www.fresno.gov/darm/planning-development/applications-forms-fees/#tab-14>
32. Window signs limited to the hours of operation, address, occupancy, and emergency information, subject to the following standards: **a)** Operational windows signs shall not be mounted or placed on windows higher than the second story. **b)** The maximum area of exempt window signage shall not exceed three square feet in area.
33. Banners, streamers, moving signs, and inflatables (including air dancers, balloons, and similar objects) are allowed subject to Temporary Use Permit approval for establishments within Non-Residential Districts. Signs of this type do not count toward total maximum sign area. No sign per this section shall be displayed for more than 30 days, and a period of 30 days must lapse before displaying another sign. Signs shall not be displayed for more than 60 total days during a calendar year.
34. Every sign displayed within the city, including exempt signs, shall be maintained in good physical condition and shall comply with adopted regulations. All defective or broken parts shall be replaced. Exposed surfaces shall be kept clean, in good repair, and painted where paint is required.

MISCELLANEOUS

35. Noise levels shall not exceed the decibel levels described in Section 15-2506 of the FMC at anytime, measured at the nearest subject property line.
36. No vibration shall be produced that is transmitted through the ground and is discernible without the aid of instruments by a reasonable person at the lot lines of the site. Vibrations from temporary construction, demolition, and vehicles that enter and leave the subject parcel (e.g., construction equipment, trains, trucks, etc.) are exempt from this standard.
37. Lights shall be placed to deflect light away from adjacent properties and public streets, and to prevent adverse interference with the normal operation or enjoyment of surrounding properties. Direct or sky-reflected glare from floodlights shall not be directed into any other property or street. Except for public street lights and stadium lights, no light, combination of lights, or activity shall cast light onto a residentially zoned property, or any property containing residential uses, exceeding one-half foot-candle.
38. No use shall be operated such that significant, direct glare, incidental to the operation of the use is visible beyond the boundaries of the lot where the use is located. Windows shall not cause glare that may disrupt adjoining properties, traffic on adjacent streets, etc. Glare or heat reflected from building materials shall be mitigated so as to not disrupt surrounding properties.

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39. The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Planning and Development Department for 'Official Addresses'. **Only those addresses assigned by the City of Fresno will be recognized as 'Official Addresses'.** The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.
40. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, Fresno Municipal Code (FMC) Chapter 6, Article 7 (FMC Sections 6-701 *et seq.*)

When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior to** commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at (559) 445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet:

www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml.

Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, www.casqa.org

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at (559) 445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml,

The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities (www.casqa.org).

41. Screen all roof-mounted equipment from the view of public rights-of-way. **Depict all mechanical equipment on site plan and elevations.**
42. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately. **(Include this note on the site plan.)**

City of Fresno Notes and Requirements For Entitlement Applications

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43. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation. **(Include this note on the site plan.)**
44. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved. **(Include this note on the site plan.)**
45. Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply.
46. Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for alternative wastewater treatment facilities.
47. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8797.
48. Open street cuts are not permitted; all utility connections must be bored.
49. CROSS-CONNECTION CONTROL. A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621-5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.
50. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Planning and Development Department when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.
51. Open storage (outside an enclosed building) shall be limited to vehicles, boats, recreational vehicles, and trailers. Outdoor storages areas shall be screened from

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public view by building façades or solid fences. At the discretion of the Review Authority, the treatment of the ground surface of the open storage area may be gravel or other materials as prescribed by the San Joaquin Valley Air Pollution Control District, the Public Works Department, the Fire Department, and the Fresno Metropolitan Flood Control District. All open storage must be depicted on the site plan and described in operation. If it is not, it is not allowed on the site.

52. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

FEES

(Not all fees will be applicable to all projects. Please reach out to Frank Saburit at (559) 621-8797 for fee questions.)

53. NOTICE TO PROJECT APPLICANT: In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

54. CITYWIDE DEVELOPMENT IMPACT FEES

- a) Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the Master Fee Schedule. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit.
- b) Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)
- c) Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units)
- d) Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)

55. CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006)

- a) Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law.
- b) Street Impact Fees will be a condition on all development entitlements granted.

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56. FRESNO COUNTY FACILITY IMPACT FEE

Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits.

57. REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. The RTMF form shall be signed by a Building and Safety Services staff member prior to issuance of building permits. Proof of payment shall be provided prior to issuance of occupancy.

58. SCHOOL FEES

School fees must be paid, if required, prior to the issuance of building permits. Contact the applicable school district to obtain fee amount. Provide proof of payment (or no fee required) prior to the issuance of building permits.

59. FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES

- a) A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact the FMFCD at (559) 456-3292.
- b) FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of a new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Planning and Development Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.

60. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied.

- a) Lateral Sewer Charge (based on property frontage to a depth of 100')
- b) Oversize Sewer Charge (based on property frontage to a depth of 100')

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c) Wastewater Facilities Charge

d) Trunk Sewer Charge

Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Wastewater Division - Environmental Services Section at (559) 621-5153.

61. WATER CONNECTION CHARGES: (FMC Sections 6-501 to 6-507). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior to** issuance of building permits may also be applied.

a) Frontage Charge (based on property frontage)

b) Service Charges (based on service size required by applicant)

c) Meter Charges (based on service need)

d) Water Capacity fee (based on size of meter)

62. Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19.

PUBLIC WORKS DEPARTMENT GENERAL NOTES **(to be added to the site plan)**

63. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.

64. Repair all damaged and/or off-grade concrete street improvements as determined by the Construction Management Engineer, prior to occupancy.

65. Two working days before commencing excavation operations within the street right-of-way and/or utility easements, all existing under-ground facilities shall have been located by underground services.

66. The performance of any work within the public street right-of-way requires a street work permit prior to commencement of work. All required street improvements must be completed and accepted by the City prior to occupancy.

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67. Contact the Public Works Department, Traffic Engineering at (559) 621-8800, 10 working days prior to any offsite concrete construction.
68. For Standard Drawings visit <https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2016/09/CityofFresnoStandardDrawings2016Feb.pdf>
69. For Traffic Planning's website with useful links, additional notes, sample of legend, Parking Manual and Traffic Study Checklist visit <https://www.fresno.gov/publicworks/traffic-engineering/#tab-2>
70. Traffic Planning Checklist link: <https://www.fresno.gov/publicworks/wp-content/uploads/sites/17/2019/04/Traffic-Planning-Checklist-04-19.pdf>
71. For Traffic Study questions please contact Jill Gormley at (559) 621-8792 or via email at Jill.Gormley@fresno.gov.

Updated: 9/14/2020



PARKING MANUAL

Part I

ADOPTED APRIL 1, 1987



CITY OF FRESNO
DEPARTMENT OF PUBLIC WORKS
2600 FRESNO STREET
FRESNO, CA. 93721-3623

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PURPOSE

The purpose of this manual is to present the design standards to regulate the development of off-street parking facilities in the City of Fresno.

The design standards contained herein represent minimum requirements necessary for providing adequately developed parking facilities. For the greater part, these have been taken from the Zoning Ordinance and the Standard Specifications of the Public Works Department. In addition, standards have been developed for those special situations which have not been covered by the above two sources.

These standards deal with the method of parking vehicles in an off-street facility. In designing the parking for a given zoning or use, the Zoning Ordinance should be consulted to determine the number of parking spaces required. In addition, the developer is urged to conduct an independent parking study to determine whether these minimum standards are adequate to meet the parking demands of his specific development.

Subsection 5 of Section 12-306-I of the Fresno Municipal Code provides that the standards required in this manual shall be followed.

PARKING DESIGN STANDARDS

1. PARKING SPACE DIMENSIONS

A. Passenger Vehicle Parking Space

There are two basic passenger vehicle parking space dimensions. 9' x 19' standard painted stalls and 8-1/2' x 16-1/2' small car (compact) painted stalls. Any parking lot or structure may install these basic stalls in accordance with criteria defined on page 6, Section 3. Should a property owner wish to reduce the two basic stall sizes by designating exclusive employee parking areas or by constructing continuous concrete curbs, the two basic stall sizes may be reduced in size. The eight cases defined below reflect dimensions for standard and small car stalls, stalls with continuous concrete curbs, and stalls designated for exclusive employee parking areas.

<u>Case#</u>	<u>Length</u>	<u>Width</u>	<u>Requirements</u>
1	19'	9'	Standard painted stall.
2	18'	9'	Standard plus continuous concrete curbs.
3	19'	8-1/2'	Standard plus designated exclusive employee parking.
4	18'	8-1/2'	Standard plus continuous concrete curbs and designated exclusive employee parking.
5	16-1/2'	8-1/2'	Compact painted stall.
6	15-1/2'	8-1/2'	Compact plus continuous concrete curbs.
7	16-1/2'	8'	Compact plus designated exclusive employee parking.
8	15-1/2'	8'	Compact plus continuous concrete curbs and designated exclusive employee parking.

The conditions that must be met in order to define which basic stall size may be used are stated in Section 3 of this manual, page 6.

B. Truck Loading Spaces

A truck loading space shall be an accessible rectangle having a width of 12 feet and a length of 40 feet. Any overhead obstruction shall have a vertical clearance of 15 feet.

2. DESIGN CRITERIA

A. Driveway Approach Construction Standards

Driveway approaches to private property shall be constructed in conformance with the Standard Specifications of the Public Works Department, particularly Drawings **P-1**, **P-2**, **P-3**, and **P-4**, as each may apply. Special driveway approach designs not shown in the Standard Specifications may be approved by the Public Works Department for developments for which more than 200 parking spaces are provided.

Driveway approaches on public streets may not be used to furnish circulation from one row of parking to an adjacent row of parking. This traffic circulation must be provided on private property.

B. Backing onto Public Rights-of-Way

Backing a vehicle onto or from public rights-of-way (public alleys exempt) is prohibited in all areas except residential areas located on streets that are classified as a local street. Parking spaces shall be designed and arranged so that it is more convenient for the parking space user to accomplish the necessary backing movements on the private property than it is to back onto or from the public right of way, where backing is prohibited.

C. Access to Parking Spaces

All parking spaces must have convenient ingress and egress. Access lanes shall be clear and specifically delineated as necessary. (Except in lots with less than 10 parking stalls). All access to individual parking spaces shall be from access lanes (aisles) within the parking facility or from a public alley. Aisle widths are stated on pages 9 through 16 of this manual. Final approval of aisle widths that are designated as fire lanes shall be by the Fresno Fire Department.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way, and where opposing directions are each provided in separate bays (two W-1 bays, see pages 9 through 16) or an opposing aisle is at least 13 feet wide in addition to W-1.

The parking space shall be designed so that the total process of entering and leaving a parking space shall be accomplished in no more movements than two forward and one reverse. No backing maneuver from a parking stall shall conflict or block the public street driveway approach. All such stalls shall be no closer than 20' to the property line at the driveway approach. With the exception of parking facilities having attendant parking, designing of a parking space so as to require the movement of a vehicle to permit entry or exit from another parking space is not permitted.

All required parking spaces shall be available and accessible at all times for vehicular parking purposes.

D. Traffic Circulation Signing and Markings

Directional signs, arrows, and appropriate pavement marking shall be installed to control the direction of traffic flow, when deemed necessary by Public Works Department or the Director of the Development Department.

E. Surface Requirements

All parking areas shall be surfaced in accordance with the Standard Specifications of the Department of Public Works. Reference Public Works Standard **P-21**.

F. Delineation of Parking Spaces

All parking spaces shall be delineated by appropriate fixed curbing, painted lines (a minimum of 4" wide), or other fixed markers. Compact parking stalls or groups of parking stalls shall be individually signed or marked. Any curb painting used to indicate specific use or time limits of parking spaces shall conform to Chapter 10 of the Municipal Code of the City of Fresno.

G. Physical Barriers

Fixed physical barriers shall be installed to protect public and private property adjacent to the parking facility as well as buildings, landscaping, and appurtenances within the development which could be damaged by vehicles using the parking facility. These barriers shall be designed and constructed to facilitate easy cleaning of the parking surface.

A solid masonry wall shall be constructed when required by the zoning ordinance. When no masonry wall is required, wheel stops in the form of a 6" high concrete curb or other approved fixed barrier, placed a minimum distance of 3' from the property line, or the building to be protected, shall be installed. Landscaping shall be adequately protected to avoid damage by vehicles.

Generally, the fixed physical barrier will be placed 3 feet from the property line, or the building to be protected; however, this distance must be a minimum of 5 feet if the vehicles are permitted to back into the parking stalls.

H. Landscaping

Landscaping and irrigation systems shall be installed where required by the Zoning Ordinance or other condition to zoning. For those parking facilities where landscaping is not required, the developer is encouraged to install landscaping to improve the appearance of his premises and of the general neighborhood.

I. Lighting

A lighting system shall be installed on all off-street parking areas. This lighting system shall be designed to produce a minimum maintained average light level of one-half (1/2) foot candle on the entire parking facility's horizontal surface, including the parking spaces, the loading spaces and the vehicular and pedestrian circulation areas.

The system shall have a maximum brightness ratio of 6 to 1.

The lighting fixtures shall be hooded and so arranged and controlled as not to cause a nuisance either to highway traffic or adjacent properties. When the parking facility is open to the public during darkness, this lighting system shall be operating sufficiently to produce the required minimum of one-half (1/2) foot-candle.

All lighting designs are subject to review and approval by the City.

J. Maintenance of Parking Facilities and Equipment

All paving, directional devices and protective equipment, landscaping, and other equipment furnished or required on the parking facility shall be maintained to insure safe pedestrian movement, vehicular operation, adequate protection of adjoining properties, and to present a neat and attractive appearance of the facility.

K. Parking Lot Design

The design of parking lots shall conform to the minimum standards shown on pages 9 through 16.

3. CRITERIA TO DETERMINE BASIC STALL SIZE

- A. Any parking lot or structure may use **Case #1** stall dimensions for design.
- B. In order to use **Case #2** dimensions a 6" high continuous concrete curb must be used. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 3'.
- C. To use **Case #3** dimensions 90% of the parking area must be designated for the exclusive use of employees. The 10% of the parking area closest to the main building entrance must be reserved for customer/visitor parking. This 10% must be designed to **Case #1 or #2** standards.
- D. **Case #4** dimensions may be used as stated in **Case #3** if a 6" high continuous concrete curb is constructed. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 3'.

E. **Case #5** reflects the basic size for small car spaces in lots or structures. 8-1/2' x 16-1/2' is the basic dimension. Up to twenty-five percent (25%) of the parking spaces in any given parking lot in the commercial, industrial, manufacturing, school, or hospital zone districts may be designated for small cars. Other long term parking areas may also be considered by the director. Residential uses may not use small car standards **Cases #5 through #8**. Before any small car standards (**Cases #5 through #8**) are allowed 10 standard size stalls (**Cases #1 through #4**) must be provided. These 10 standard size stalls must be located on the site closest to the main building entrance. 50% of the standard size stalls excluding the required 10 minimum and the required handicap stalls must be located on the site closest to the main entrance (up to 25 spaces). On lots exceeding 70 stalls, 25 standard size and handicap stalls shall be located on the site closest to the main entrance.

F. **Case #6** dimensions may be used with the same criteria stated in Case #5 with the addition of a 6" high continuous concrete curb. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 2'.

G. **Case #7** dimensions may be used if 90% of the parking area is designed for the exclusive use of employees. The 10% of parking area closest to the main building entrance must be reserved for customer/visitor parking. This 10% must be designed to Case #1 or #2 standards.

H. **Case #8** dimensions may be used as stated in **Case #7** if a 6" high continuous concrete curb is constructed. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 2'.

Access to all spaces shall conform to the parameters outlined in Section 2-C of this manual. If a common space is to be provided serving both small cars and standard size cars, the minimum dimensions for standard cars shall apply.

4. **ACCESSIBLE PARKING STALLS**

Accessible Parking Stalls shall be provided as required in the zoning ordinance. Accessible parking for people with disabilities should be consistent with current State and Federal Guidelines.

For more information about California State requirements for accessible parking, you can visit the California Division of State Architect (DSA) website at:

<http://www.dsa.dgs.ca.gov/Access/default.htm>

You can view the DSA's California Access Compliance Reference Manual (revised June of 2006) at::

http://www.dsa.dgs.ca.gov/Access/ud_accessmanual.htm

checklist for accessible parking at:

http://www.documents.dgs.ca.gov/dsa/pubs/checklists_06-16-06.pdf

The ADA Standards for Accessible Design are available at the US Department of Justice Website:

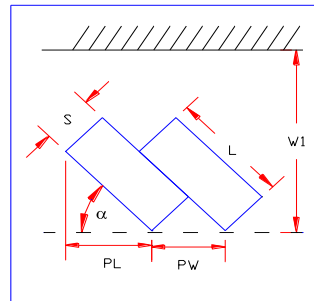
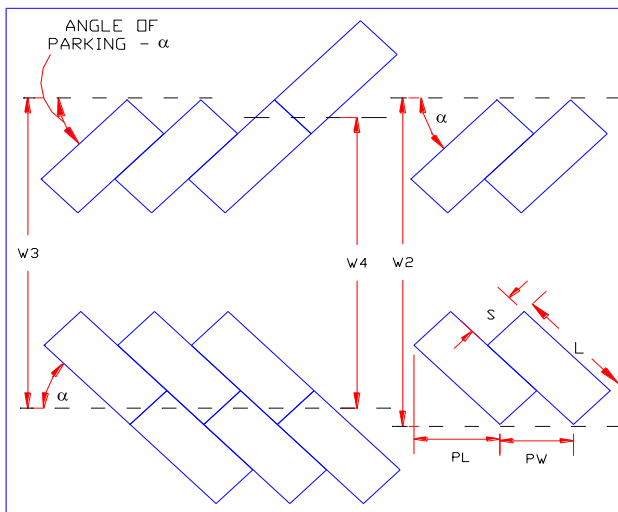
<http://www.ada.gov/stdspdf.htm>

5. **TABLE OF DESIGN DIMENSION FOR VARIOUS PARKING ANGLES**

(See pages 9-16)

TABLE OF DESIGN DIMENSION FOR VARIOUS PARKING ANGLES
CASE - 1

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W -4		P.L.	P.W.
30.0	29.5	46.5	42.5	39.0	12.0	29.9	18.0
35.0	30.5	48.5	45.0	41.0	12.0	26.1	15.7
40.0	31.0	50.0	47.0	43.5	12.0	22.8	14.0
45.0	32.0	51.5	48.5	45.0	12.0	19.8	12.7
50.0	33.5	53.5	51.0	48.0	13.0	17.1	11.8
55.0	33.5	54.5	52.0	49.5	13.0	14.5	11.0
60.0	35.0	56.0	53.5	51.5	14.0	12.1	10.4
65.0	37.0	58.0	56.0	54.0	16.0	9.8	9.9
70.0	39.0	60.0	58.5	57.0	18.0	7.6	9.6
75.0	40.5	61.5	60.0	59.0	20.0	5.5	9.3
80.0	43.5	63.5	63.0	62.0	23.0	3.6	9.1
85.0	44.5	64.5	64.0	63.5	25.0	1.7	9.0
90.0	47.0	65.0	65.0	65.0	27.0	0.0	9.0



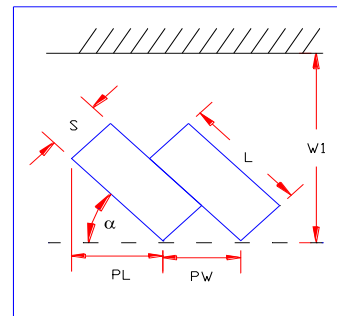
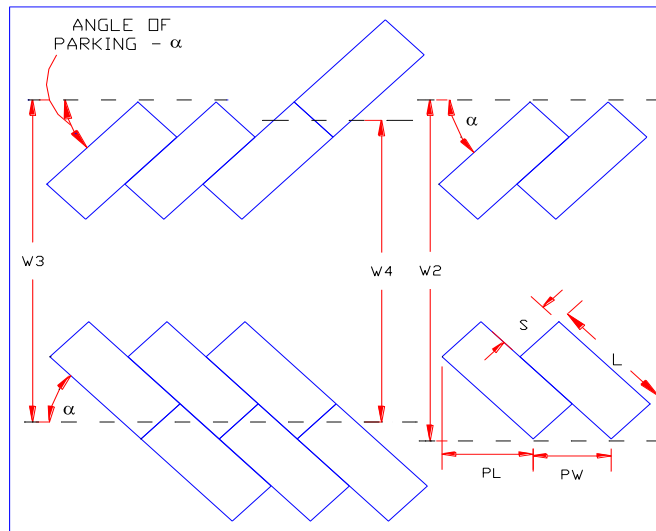
S = 9.0 ft.

L = 19.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 2

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	29.0	45.5	41.5	38.0	12.0	29.1	18.0
35.0	29.5	47.5	43.5	40.0	12.0	25.3	15.7
40.0	30.5	49.0	45.5	42.0	12.0	22.0	14.0
45.0	31.0	50.0	47.0	44.0	12.0	19.1	12.7
50.0	32.5	52.0	49.5	46.5	13.0	16.4	11.8
55.0	33.0	53.0	50.0	47.5	13.0	13.9	11.0
60.0	34.0	54.0	52.0	49.5	14.0	11.6	10.4
65.0	36.0	56.0	54.5	52.5	16.0	9.4	9.9
70.0	38.0	58.0	56.5	55.0	18.0	7.3	9.6
75.0	39.5	59.5	58.5	57.0	20.0	5.3	9.3
80.0	42.5	61.5	61.0	60.0	23.0	3.4	9.1
85.0	43.5	62.5	62.0	61.5	25.0	1.6	9.0
90.0	46.0	63.0	63.0	63.0	27.0	0.0	9.0



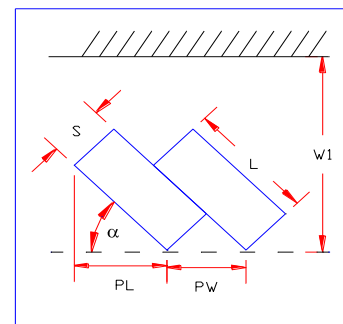
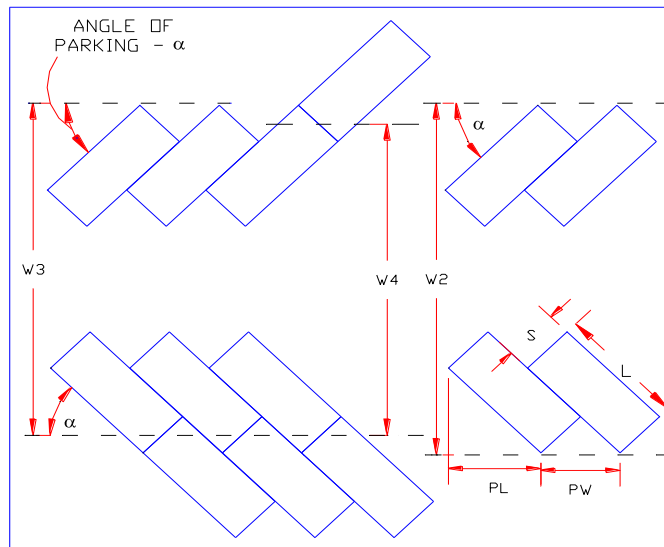
S = 9.0 ft.

L = 18.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE -3

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L	PW
30.0	29.0	45.5	42.0	38.5	12.0	29.2	17.0
35.0	30.0	47.5	44.0	41.0	12.0	25.5	14.8
40.0	30.5	49.5	46.0	43.0	12.0	22.3	13.2
45.0	31.5	51.0	48.0	45.0	12.0	19.5	12.0
50.0	33.0	53.0	50.5	47.5	13.0	16.8	11.1
55.0	33.5	54.0	51.5	49.0	13.0	14.3	10.4
60.0	34.5	55.5	53.5	51.0	14.0	12.0	9.8
65.0	37.0	57.5	56.0	54.0	16.0	9.7	9.4
70.0	39.0	59.5	58.0	56.5	18.0	7.6	9.1
75.0	40.5	61.0	60.0	59.0	20.0	5.5	8.8
80.0	43.0	63.5	62.5	62.0	23.0	3.6	8.6
85.0	44.5	64.5	64.0	63.5	25.0	1.7	8.5
90.0	47.0	65.0	65.0	65.0	27.0	0.0	8.5

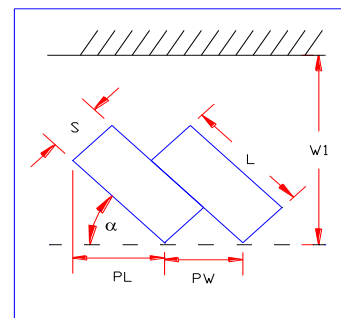
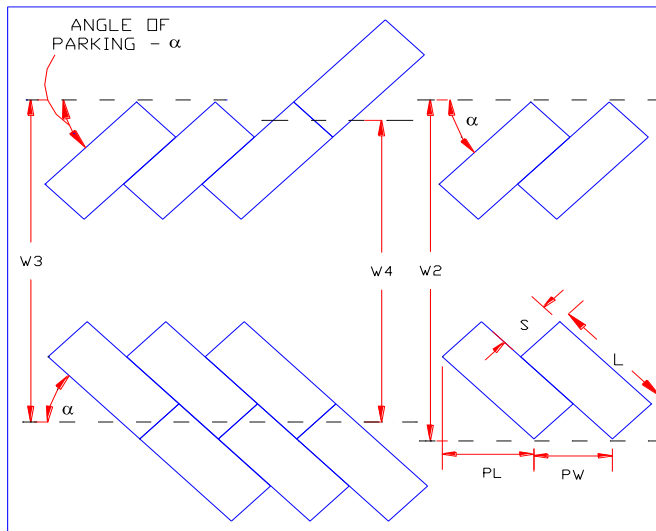


S = 8.5 ft.
L = 19.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 4

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	28.5	44.5	41.0	37.5	12.0	28.3	17.0
35.0	29.5	46.5	43.0	39.5	12.0	24.7	14.8
40.0	30.0	48.0	45.0	41.5	12.0	21.6	13.2
45.0	30.5	49.5	46.5	43.5	12.0	18.7	12.0
50.0	32.5	51.5	49.0	46.0	13.0	16.2	11.1
55.0	32.5	52.0	50.0	47.5	13.0	13.7	10.4
60.0	34.0	53.5	51.5	49.5	14.0	11.5	9.8
65.0	36.0	56.0	54.0	52.0	16.0	9.3	9.4
70.0	38.0	57.5	56.0	54.5	18.0	7.2	9.1
75.0	39.5	59.0	58.0	57.0	20.0	5.3	8.8
80.0	42.0	61.5	60.5	60.0	23.0	3.4	8.6
85.0	43.5	62.5	62.0	61.5	25.0	1.6	8.5
90.0	46.0	63.0	63.0	63.0	27.0	0.0	8.5



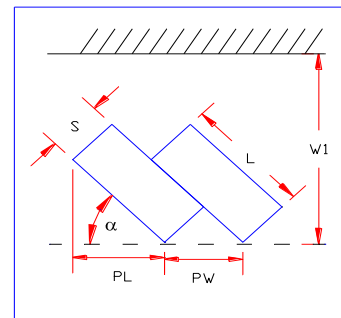
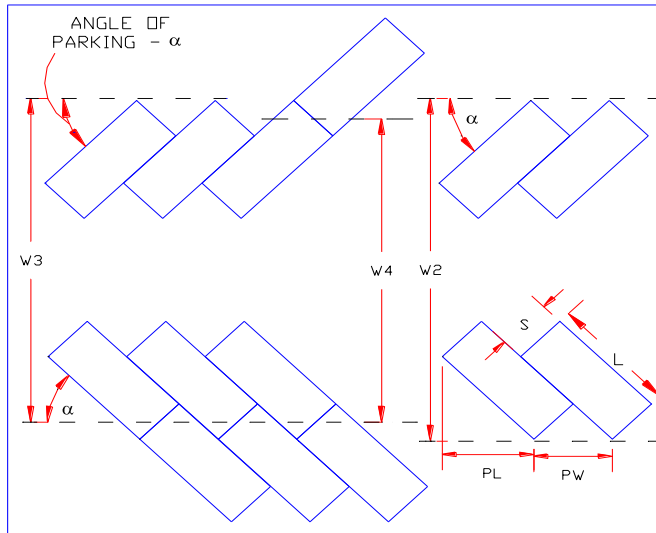
S = 8.5 ft.

L = 18.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE -5

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.5	43.0	39.5	36.0	12.0	27.0	17.0
35.0	28.5	45.0	41.5	38.0	12.0	23.5	14.8
40.0	29.0	46.0	43.0	39.5	12.0	20.4	13.2
45.0	29.5	47.5	44.5	41.5	12.0	17.7	12.0
50.0	31.0	49.0	46.5	43.5	13.0	15.2	11.1
55.0	31.5	50.0	47.5	45.0	13.0	12.9	10.4
60.0	32.5	51.0	49.0	47.0	14.0	10.7	9.8
65.0	34.5	53.0	51.5	49.5	16.0	8.7	9.4
70.0	36.5	55.0	53.5	52.0	18.0	6.7	9.1
75.0	38.0	56.5	55.0	54.0	20.0	4.9	8.8
80.0	40.5	58.5	57.5	57.0	23.0	3.1	8.6
85.0	42.0	59.5	59.0	58.5	25.0	1.5	8.5
90.0	44.5	60.0	60.0	60.0	27.0	0.0	8.5



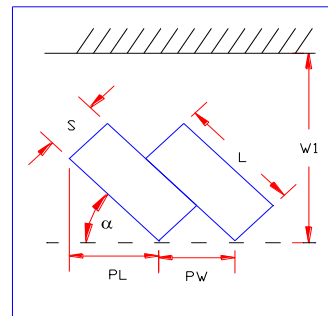
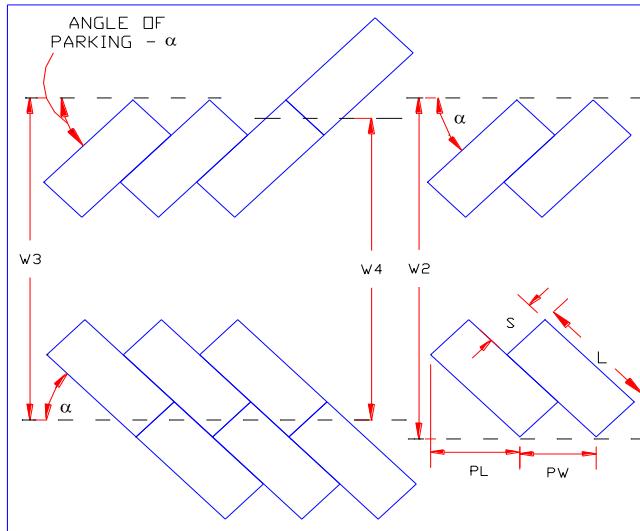
S = 8.5 ft.

L = 16.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 6

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.0	42.0	38.5	35.0	12.0	26.2	17.0
35.0	28.0	43.5	40.0	36.5	12.0	22.6	14.8
40.0	28.5	45.0	41.5	38.5	12.0	19.6	13.2
45.0	29.0	46.0	43.0	40.0	12.0	17.0	12.0
50.0	30.5	47.5	45.0	42.0	13.0	14.6	11.1
55.0	30.5	48.0	45.5	43.5	13.0	12.3	10.4
60.0	31.5	49.5	47.0	45.0	14.0	10.2	9.8
65.0	33.5	51.5	49.5	47.5	16.0	8.2	9.4
70.0	35.5	53.0	51.5	50.0	18.0	6.4	9.1
75.0	37.0	54.5	53.0	52.0	20.0	4.6	8.8
80.0	39.5	56.5	55.5	55.0	23.0	3.0	8.6
85.0	41.0	57.5	57.0	56.5	25.0	1.4	8.5
90.0	43.5	58.0	58.0	58.0	27.0	0.0	8.5



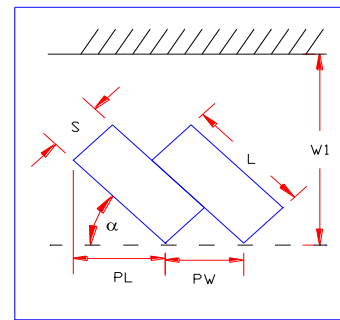
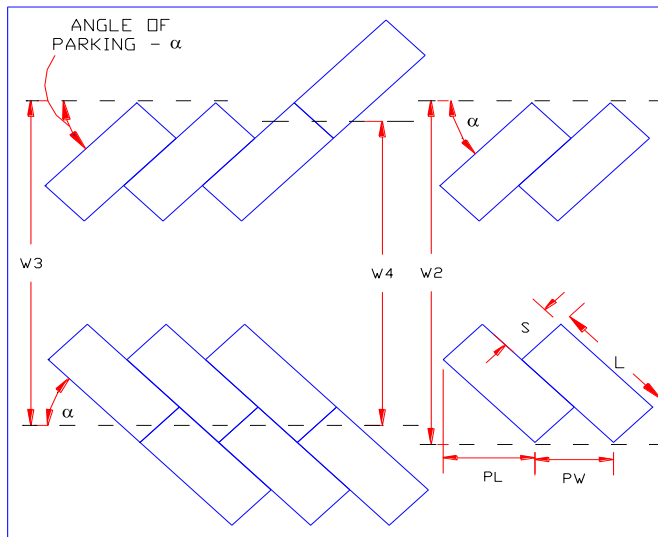
S = 8.5 ft.

L = 15.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 7

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.0	42.5	39.0	35.5	12.0	26.3	16.0
35.0	28.0	44.0	41.0	37.5	12.0	22.9	14.0
40.0	28.5	45.5	42.5	39.5	12.0	19.9	12.5
45.0	29.5	46.5	44.0	41.0	12.0	17.3	11.3
50.0	31.0	48.5	46.0	43.5	13.0	14.9	10.4
55.0	31.0	49.0	47.0	44.5	13.0	12.7	9.8
60.0	32.5	50.5	48.5	46.5	14.0	10.6	9.2
65.0	34.5	52.5	51.0	49.5	16.0	8.6	8.8
70.0	36.0	54.5	53.0	51.5	18.0	6.6	8.5
75.0	38.0	56.0	55.0	54.0	20.0	4.8	8.3
80.0	40.5	58.5	57.5	57.0	23.0	3.1	8.1
85.0	42.0	59.5	59.0	58.5	25.0	1.5	8.0
90.0	44.5	60.0	60.0	60.0	27.0	0.0	8.0



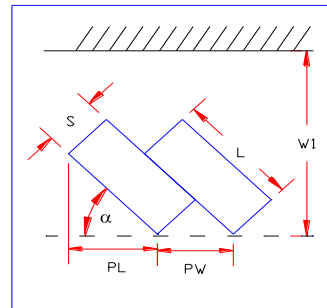
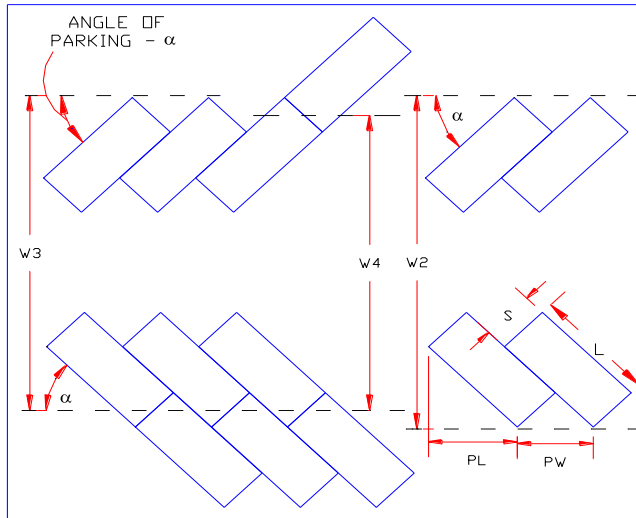
S = 8.0 ft.

L = 16.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 8

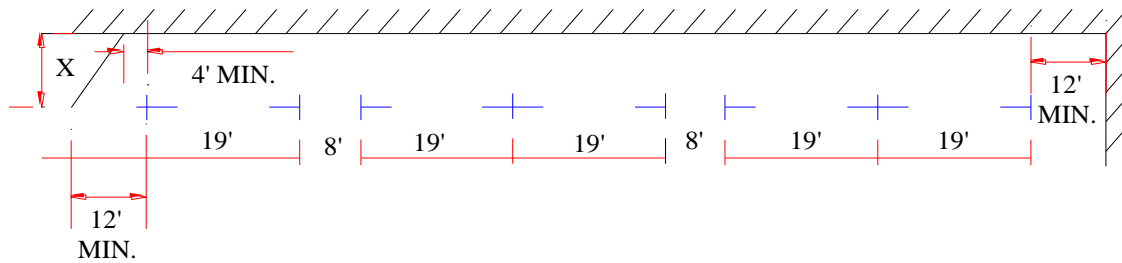
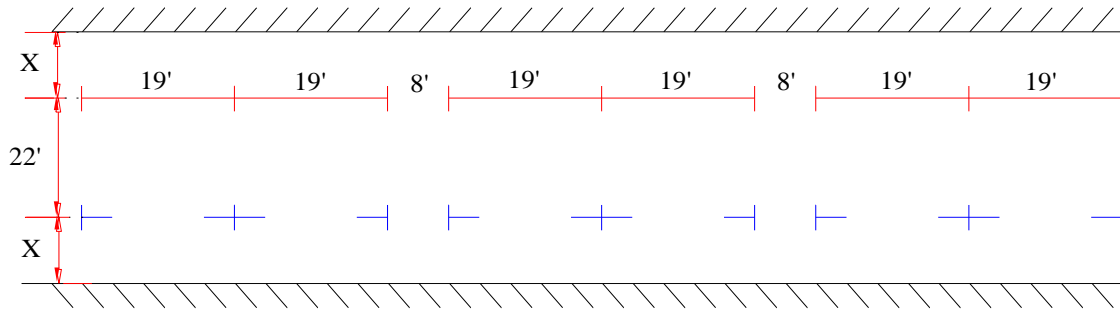
ANGLE OF PARKING	PARKING BY DIMENSION				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	26.5	41.5	38.0	34.5	12.0	25.4	16.0
35.0	27.5	43.0	39.5	36.5	12.0	22.1	14.0
40.0	28.0	44.0	41.0	38.0	12.0	19.2	12.5
45.0	28.5	45.0	42.5	39.5	12.0	16.6	11.3
50.0	30.0	47.0	44.5	42.0	13.0	14.3	10.4
55.0	30.5	47.5	45.5	43.0	13.0	12.1	9.8
60.0	31.5	49.0	47.0	45.0	14.0	10.1	9.2
65.0	33.5	51.0	49.0	47.5	16.0	8.1	8.8
70.0	35.5	52.5	51.0	50.0	18.0	6.3	8.5
75.0	37.0	54.0	53.0	52.0	20.0	4.6	8.3
80.0	39.5	56.5	55.5	55.0	23.0	2.9	8.1
85.0	41.0	57.5	57.0	56.5	25.0	1.4	8.0
90.0	43.5	58.0	58.0	58.0	27.0	0.0	8.0



S = 8.0 ft.
L = 15.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

6. PARALLEL PARKING DESIGN DIMENSIONS (STANDARD STALLS)

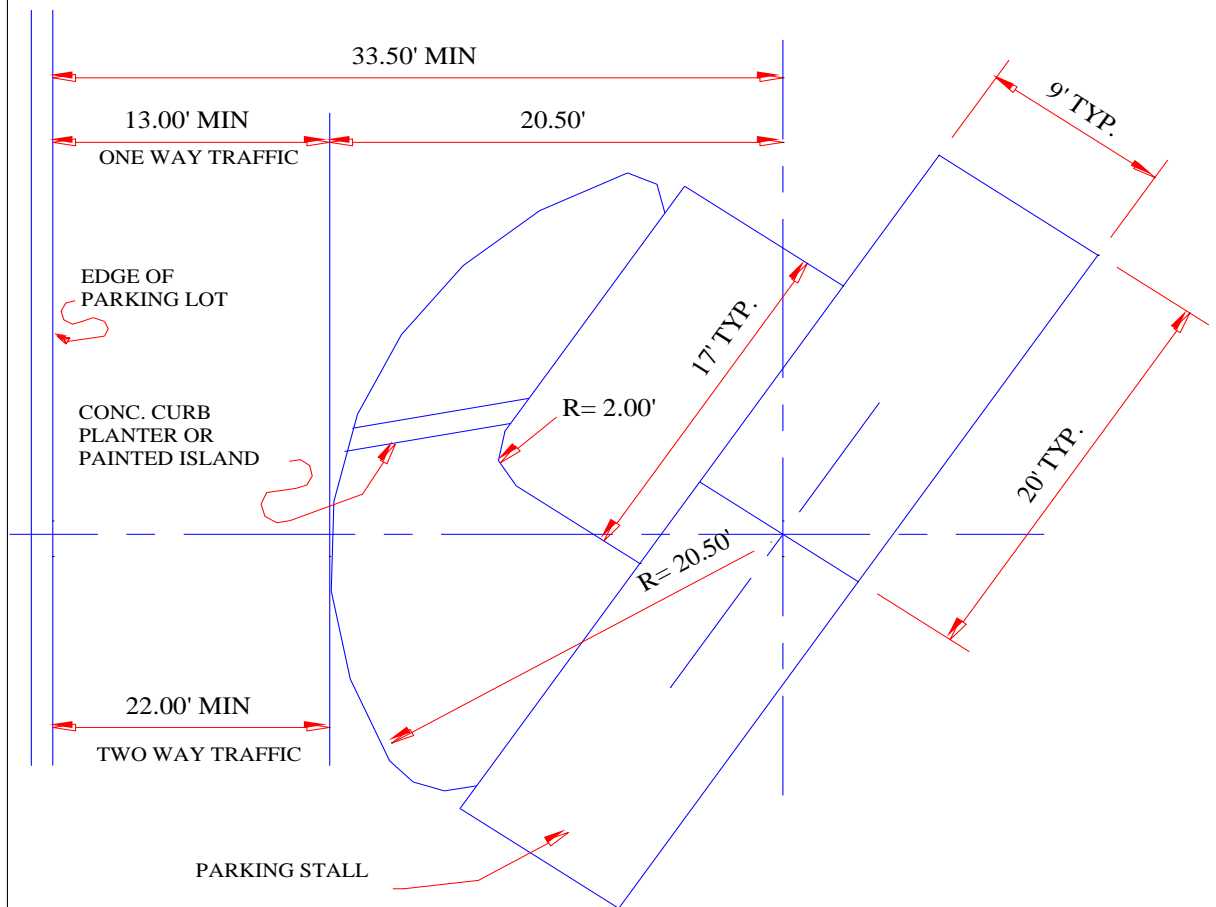


X = 10' IF ADJACENT TO AN OBSTRUCTION OVER 8" HIGH SUCH AS A WALL OR FENCE.

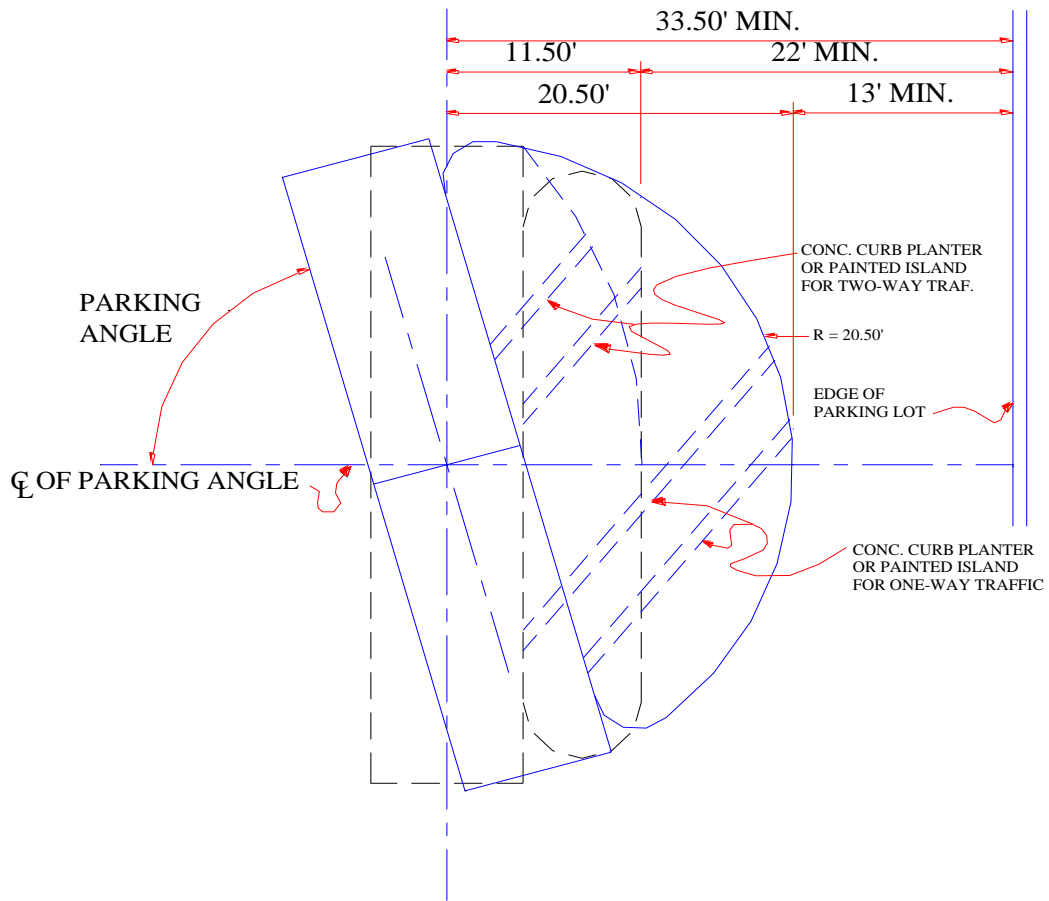
X = 8' IF ADJACENT TO A SIDEWALK OR SIMILAR BARRIER LESS THAN 8" HIGH AND AT LEAST 2' WIDE.

NOTE: MINIMUM ONE-WAY AISLE - 13'
MINIMUM TWO-WAY AISLE - 22'

7. FULL-TURN DETAIL FOR 65° PARKING ANGLE OR LESS



8. FULL-TURN DETAIL FOR MORE THAN 65° PARKING (STANDARD STALLS)



Parking Manual – Part I

Accessible parking for people with disabilities should be consistent with current State and Federal Guidelines.

For more information about California State requirements for accessible parking, you can visit the California Division of State Architect (DSA) website at: <http://www.dsa.dgs.ca.gov/Access/default.htm>. You can view the DSA's California Access Compliance Reference Manual (revised June of 2006) at http://www.dsa.dgs.ca.gov/Access/ud_accessmanual.htm, and a checklist for accessible parking at: http://www.documents.dgs.ca.gov/dsa/pubs/checklists_06-16-06.pdf.

The ADA Standards for Accessible Design are available at the US Department of Justice Website: <http://www.ada.gov/stdspdf.htm>.