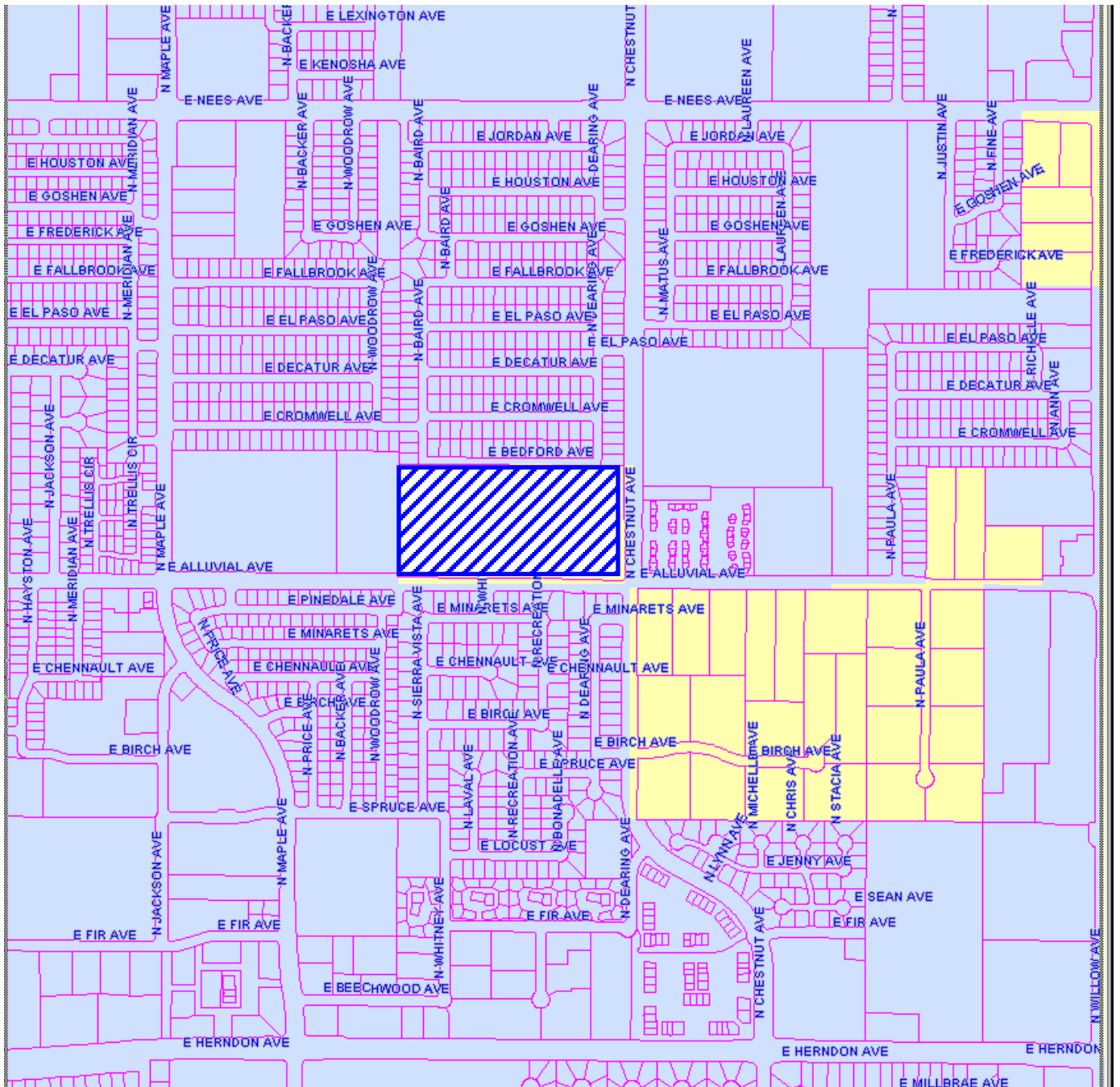


Exhibit "A"
Vicinity Map

VICINITY MAP



LEGEND



Subject Property

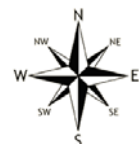


Exhibit "B"
Aerial Photograph

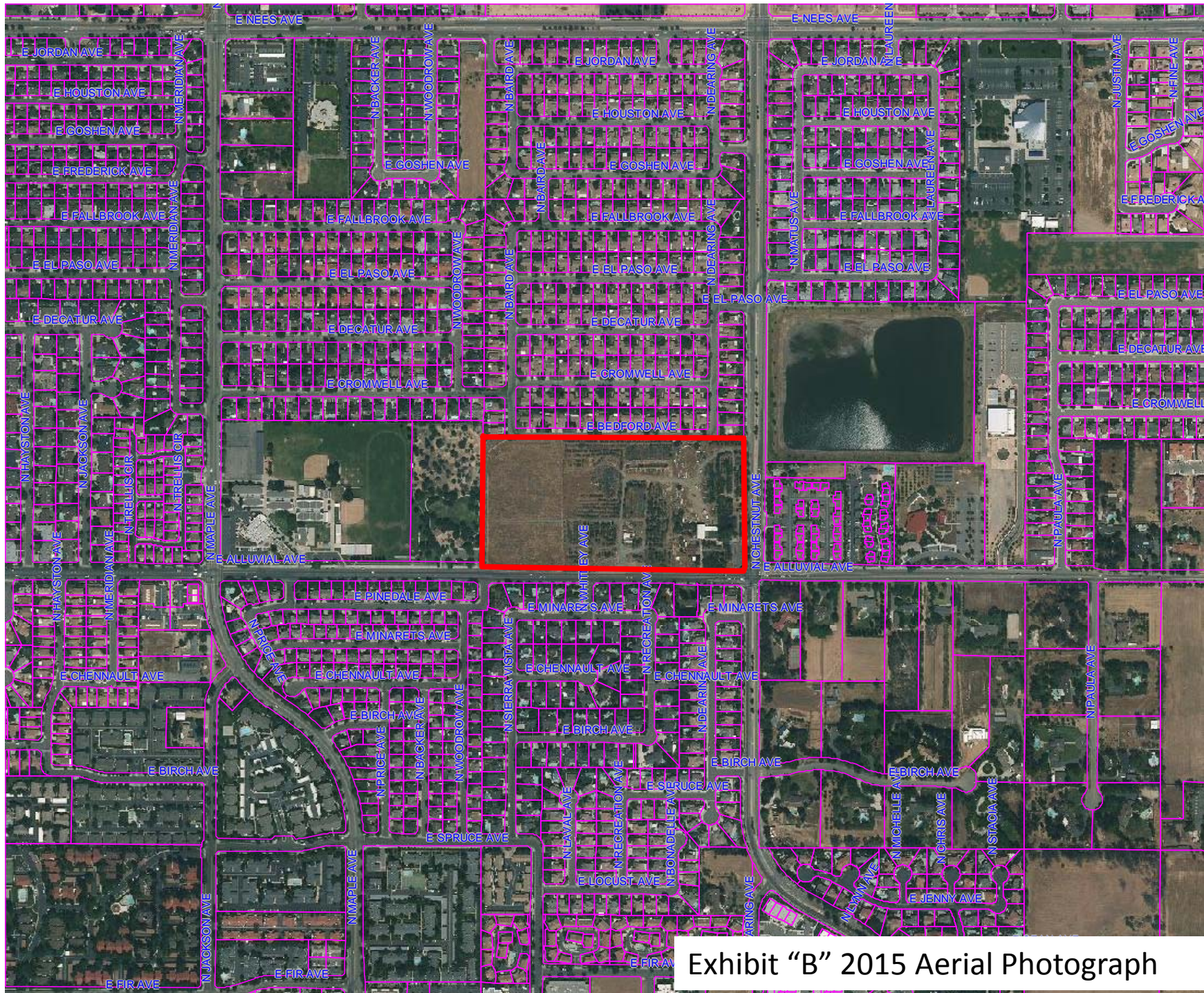
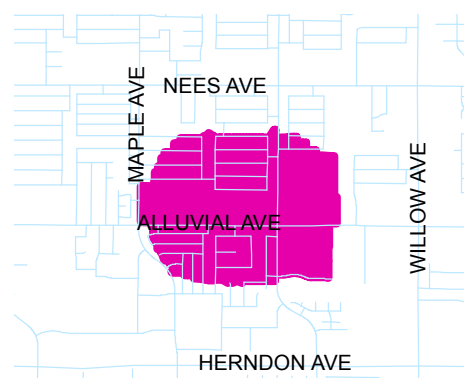


Exhibit "B" 2015 Aerial Photograph

Exhibit "C"
Public Hearing Notice Mailing List Vicinity Map



Address List Map, c:\gisdm6\automap\adrlist.mxd, Fri Sep 09 11:30:32 2016

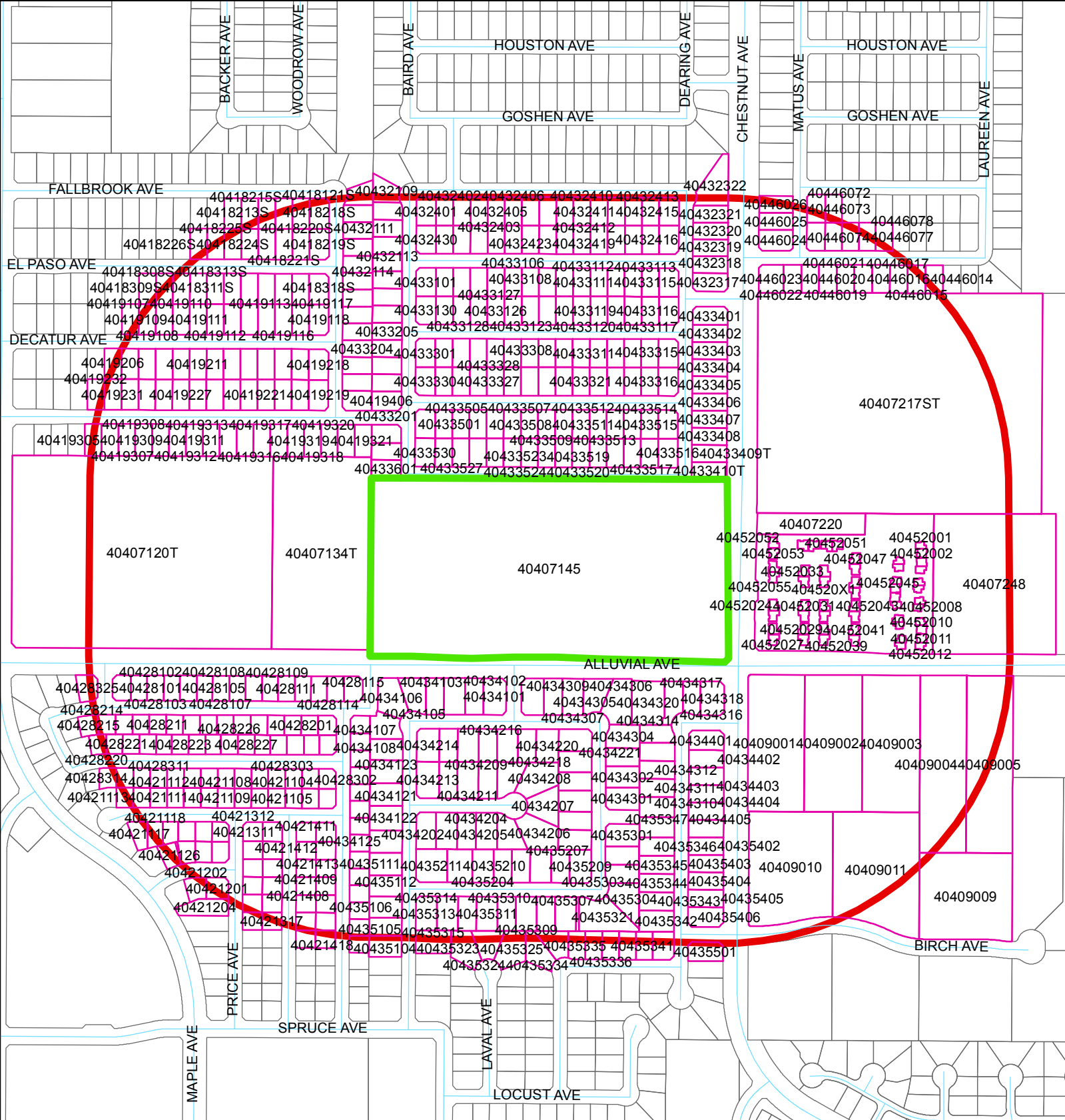


Exhibit "D"
Rezone Exhibit

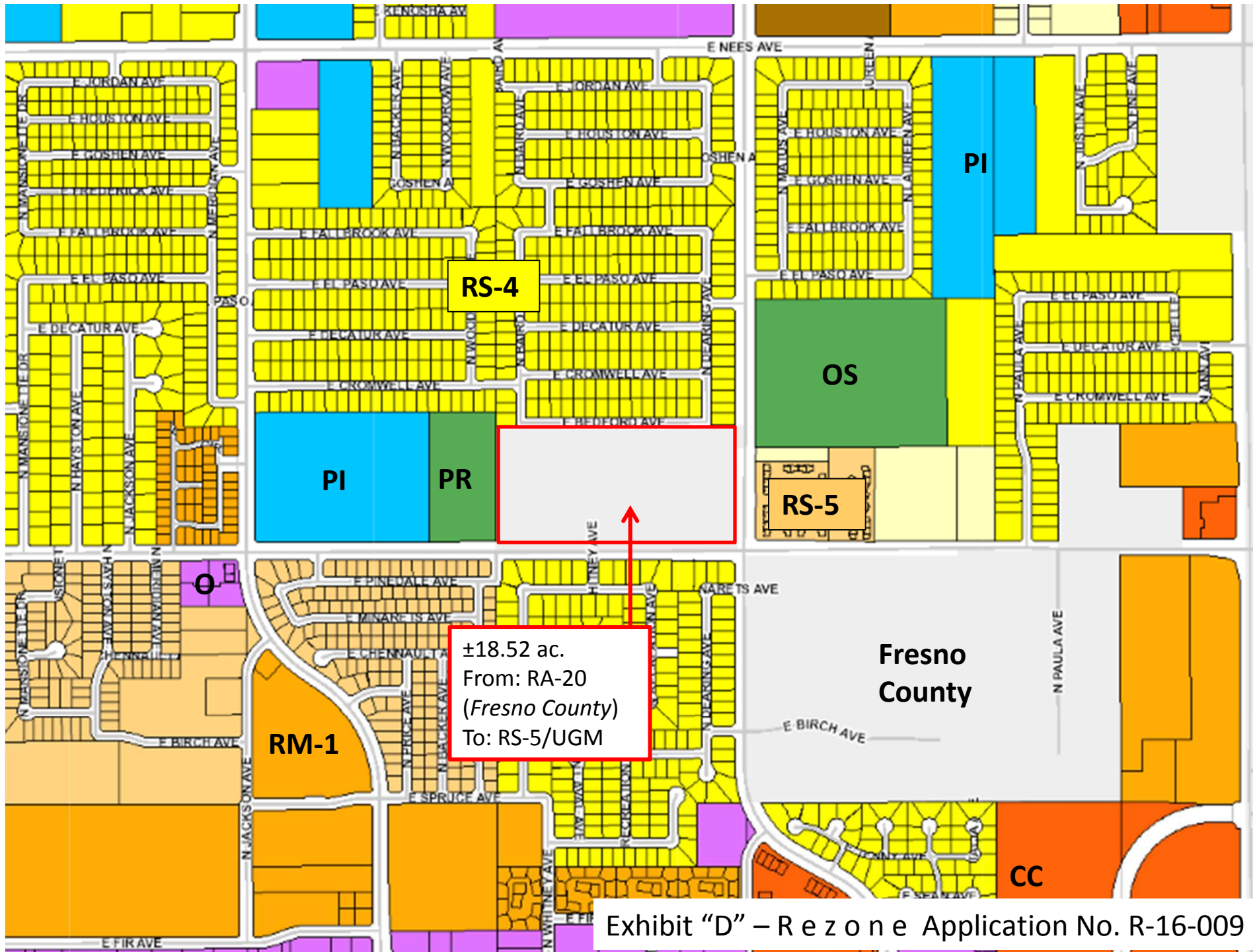


Exhibit "D" – R e z o n e Application No. R-16-009

Exhibit "E"
Rezone Findings

Rezone Findings

Based upon analysis of the application and subject to the applicant's compliance with all of the conditions of approval noted, staff concludes that the following required findings of Section 15-5812 of the FMC can be made.

FINDINGS PER FRESNO MUNICIPAL CODE SECTION 15-5812.	
<i>Finding A:</i>	The change is consistent with the General Plan goals and policies, any operative plan, or adopted policy;
a. As outlined in "Land Use Plans and Policies" discussion of the staff report, the application is consistent with the General Plan goals and policies, the Woodward Park Community Plan, and other adopted policies.	
<i>Finding B:</i>	The change is consistent with the purpose of the Development Code to promote growth of the city in orderly and sustainable manner, and to promote and protect the public health, safety, peace, comfort, and general welfare;
b. As outlined in "Land Use Plans and Policies" discussion of the staff report, the application is consistent with the purpose of the Development Code to promote growth in an orderly and sustainable manner, support infill development, and to promote and protect the public health, safety, peace, comfort, and general welfare;	
<i>Finding C:</i>	The change is necessary to achieve the balance of land uses desired by City and to provide sites for needed housing or employment-generated uses, consistent with the General Plan, any applicable operative plan, or adopted policy; and to increase the inventory of land within a given zone district to meet market demand.
c. The change in land use will achieve a balance of land uses desired by City to provide needed housing at a higher density, consistent with General Plan. This project provides an increase inventory of land within a higher density zone district to meet market demand for multi-family housing in a manner which supports the Complete Neighborhood Concepts included within the GP.	

Exhibit "F"
Annexation Boundary Exhibit

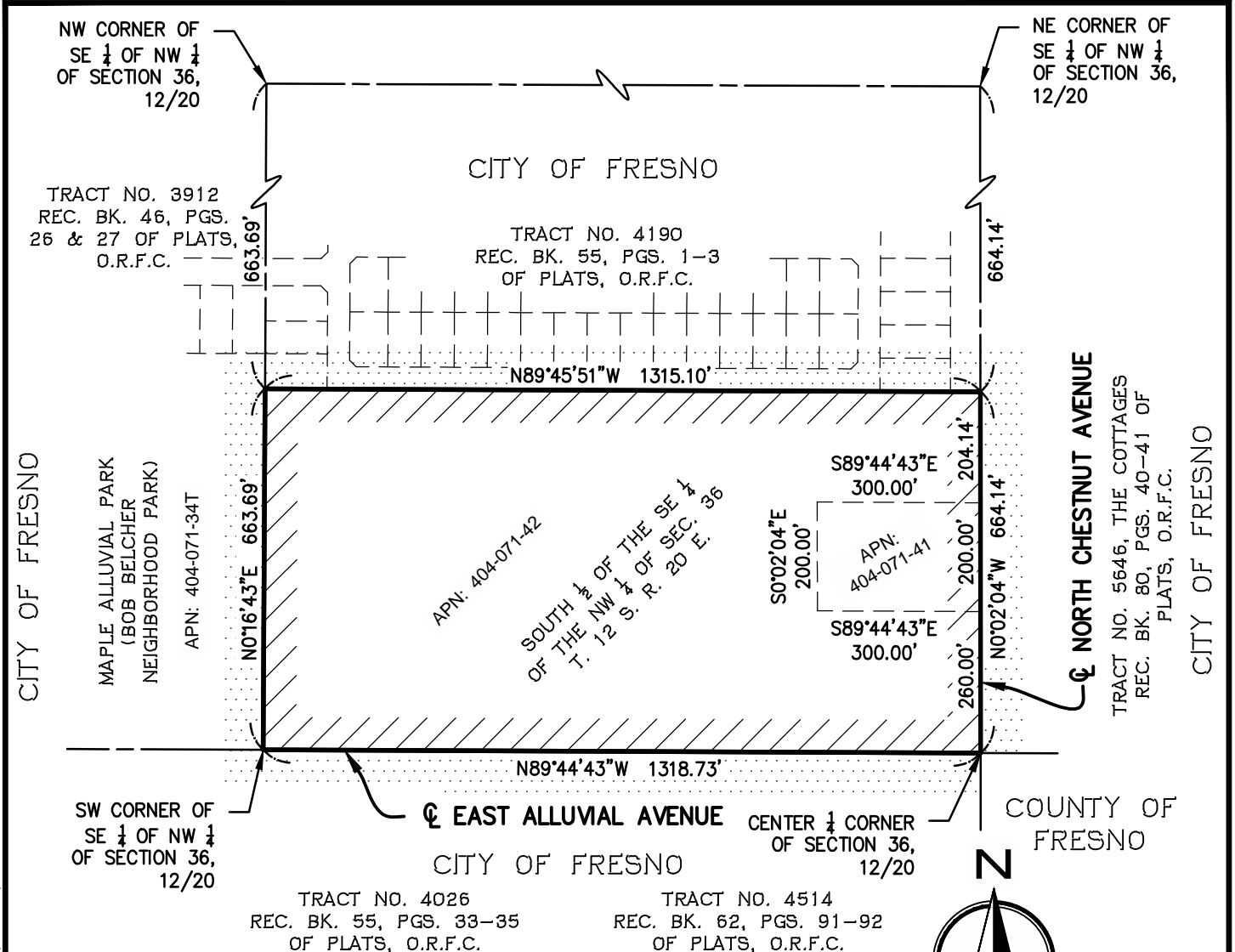
EXHIBIT "A"
CHESTNUT - ALLUVIAL REORGANIZATION

AREA TO BE DETACHED FROM THE NORTH CENTRAL FIRE PROTECTION DISTRICT AND THE KINGS RIVER CONSERVATION DISTRICT AND ANNEXED TO THE CITY OF FRESNO. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

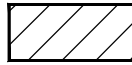
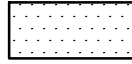
THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 12 SOUTH, RANGE 20 EAST, MOUNT DIABLO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL GOVERNMENT TOWNSHIP PLAT THEREOF.

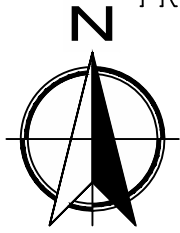
CONTAINING AN AREA OF 20.07 ACRES, MORE OR LESS.

10/3/2016 9:43 AM K:\GATEWAY PROJECTS\VINCENT COMPANY\16-038 VILLAGES APARTMENTS\SURVEY\16-038 - ANNEXATION MAP.DWG-VLADIMIR MIKULESKU



LEGEND

-  AREA TO BE DETACHED FROM THE FRESNO COUNTY FIRE PROTECTION DISTRICT, KINGS RIVER CONSERVATION DISTRICT, AND ANNEXED TO THE CITY OF FRESNO
-  EXISTING CITY LIMITS
- POB POINT OF BEGINNING
- FCR FRESNO COUNTY RECORDS



P. 559-320-0344 F. 559-320-0345 WWW.GEFRESNO.COM
5811 E. PRINCETON AVENUE, FRESNO, CA 93727-1377

RES. NO. _____ ADOPTED: _____							
<p>CHESTNUT - ALLUVIAL</p> <p>REORGANIZATION</p> <p>SOUTH 1/2 OF THE SE 1/4 OF THE NW 1/4 OF SEC. 36 T. 12 S., R. 20 E., M.D.B.&M</p> <p>TO BE ANNEXED TO THE CITY OF FRESNO AND DETACHED FROM THE NORTH CENTRAL FIRE PROTECTION DISTRICT AND THE KINGS RIVER CONSERVATION DISTRICT</p>	<p>FILE NO. _____</p> <p>ANNEX. NO. _____</p> <p>ACRES <u>20.07</u></p> <p>COUNCIL DISTRICT NO. _____</p>						
<p>ALLOCATED TO COUNCIL DISTRICT NO. _____ AS PER</p> <p>COUNCIL DISTRICT MAP _____</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DRAWN BY: VM</td> <td style="width: 50%;">REVISED:</td> </tr> <tr> <td>DATE: 10/03/16</td> <td></td> </tr> <tr> <td>SCALE: 1" = 300'</td> <td></td> </tr> </table>	DRAWN BY: VM	REVISED:	DATE: 10/03/16		SCALE: 1" = 300'	
DRAWN BY: VM	REVISED:						
DATE: 10/03/16							
SCALE: 1" = 300'							

Exhibit "G"
Exhibits for Conditional Use Permit C-16-046

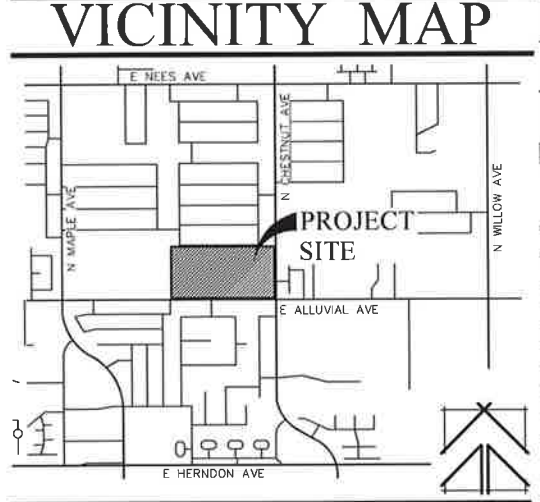
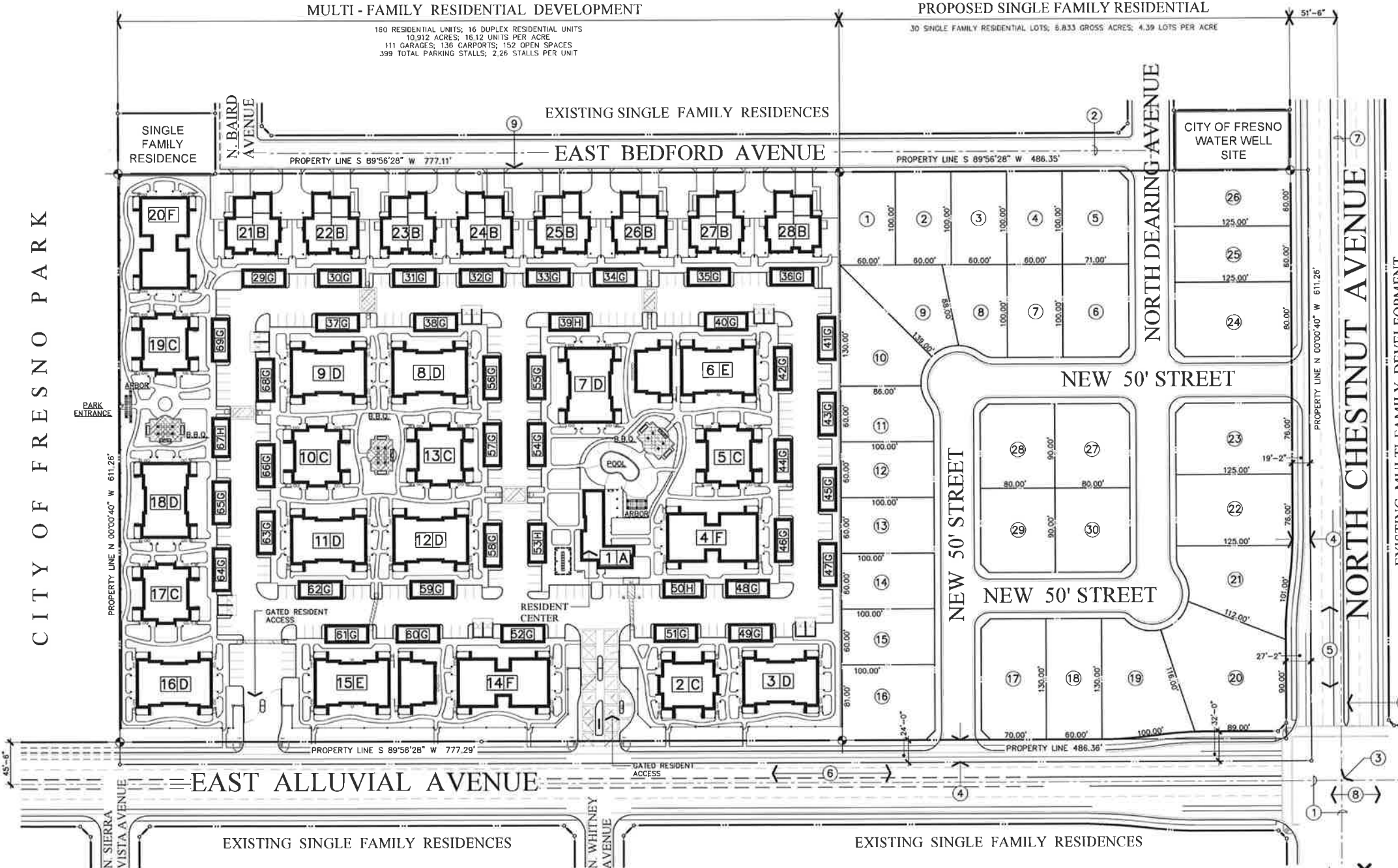
CITY OF FRESNO PARK

MULTI-FAMILY RESIDENTIAL DEVELOPMENT

PROPOSED SINGLE FAMILY RESIDENTIAL

160 RESIDENTIAL UNITS; 16 DUPLEX RESIDENTIAL UNITS
10,912 ACRES; 16.12 UNITS PER ACRE
111 GARAGES; 136 CARPORTS; 157 OPEN SPACES
399 TOTAL PARKING STALLS; 2.26 STALLS PER UNIT

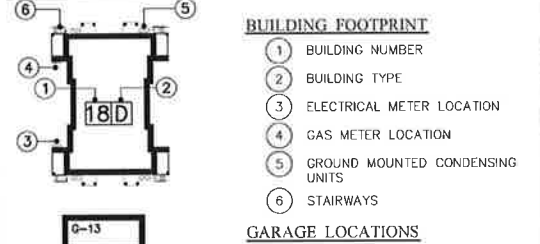
30 SINGLE FAMILY RESIDENTIAL LOTS; 6,833 GROSS ACRES; 4.39 LOTS PER ACRE



THE VINCENT COMPANY ARCHITECTS, INC.

1500 West Shaw, Ste. 30
Fresno, California 93711
Phone: 559.225.2602

SYMBOLS



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 12 SOUTH, RANGE 12 EAST, MOUNT DIABLO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.
EXCEPTING THEREFROM THAT PORTION DESCRIBED IN THE FINAL ORDER OF CONDEMNATION IN FAVOR OF THE CITY OF FRESNO, RECORDED FEBRUARY 22, 1994 AS DOCUMENT NO. 94028544 OF OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 36; THENCE SOUTH 89°56'28" WEST, ALONG THE SOUTH LINE OF SAID SOUTH HALF, A DISTANCE OF 73.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°56'28" WEST, CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 1245.47 FEET TO THE SOUTHWEST CORNER OF SAID SOUTH HALF; THENCE NORTH 0°00'40" WEST, ALONG THE WEST LINE OF SAID SOUTH HALF, A DISTANCE OF 30.00 FEET; THENCE NORTH 89°55'28" EAST PARALLEL WITH AND 30.00 FEET NORTH OF SAID SOUTH LINE, A DISTANCE OF 149.98 FEET; THENCE SOUTH 88°06'59" EAST, A DISTANCE OF 150.08 FEET; THENCE NORTH 89°56'28" EAST, PARALLEL WITH AND 25.00 FEET NORTH OF SAID SOUTH LINE, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°01'55" EAST, A DISTANCE OF 150.08 FEET; THENCE NORTH 89°56'28" EAST, PARALLEL WITH AND 25.00 FEET NORTH SAID SOUTH LINE A DISTANCE OF 150.00 FEET; THENCE SOUTH 88°43'44" EAST, A DISTANCE OF 450.18 FEET; THENCE SOUTH 44°57'12" WEST, A DISTANCE OF 20.58 FEET TO THE TRUE POINT OF BEGINNING.

NOTES

- REFER TO SHEET PA-2 FOR DETAILED SITE PLAN FOR THE PROPOSED MULTI-FAMILY RESIDENTIAL PORTION OF THE DEVELOPMENT
- REFER TO SHEET PA-3 FOR SITE NOTES AND REQUIREMENTS FOR PLANNING ENTITLEMENT APPLICATIONS

KEYNOTES

- SECTION LINE/ CENTER LINE OF STREET
- CENTERLINE OF STREET
- CENTER QUARTER CORNER OF SECTION 36, TOWNSHIP 12 SOUTH, RANGE 20 EAST, MOUNT DIABLO BASE AND MERIDIAN INDICATES LOCATIONS OF DEDICATIONS REQUIRED FOR STREET PURPOSES
- CONSTRUCT IMPROVEMENTS IN NORTH CHESTNUT AVENUE INCLUDING CURBS, OUTTERS, WALKS AND PAVING AS REQUIRED FOR ARTERIAL STREETS PER CITY OF FRESNO PUBLIC WORKS STANDARDS
- CONSTRUCT IMPROVEMENTS IN EAST ALLUVIAL AVENUE INCLUDING CURBS, OUTTERS, WALKS AND PAVING AS REQUIRED FOR COLLECTOR STREETS PER CITY OF FRESNO PUBLIC WORKS STANDARDS. EXISTING MEDIAN ISLAND TO REMAIN.
- RELOCATE / INSTALL TRAFFIC SIGNALS AT INTERSECTION AS REQUIRED BY CITY OF FRESNO PUBLIC WORKS STANDARDS
- CONSTRUCT IMPROVEMENTS ALONG WEST BEDFORD AVENUE INCLUDING CURBS, OUTTERS, WALKS AND PAVING AS REQUIRED FOR LOCAL STREETS PER CITY OF FRESNO PUBLIC WORKS STANDARDS.

Revisions

Revision	Date

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:

VILLAGES AT THE RANCH

THE RANCH

FRESNO, CALIFORNIA

Project Architect: SCOTT A. VINCENT REGISTERED ARCHITECT Exp. 12/31/17 No. C-15290 STATE OF CALIFORNIA

MASTER SITE PLAN

1" = 60'-0"

STATISTICS

PROJECT PROPOSAL		MULTI-FAMILY DEVELOPMENT STATISTICS	
PROJECT PROPOSAL	DEVELOPMENT OF 18.52 GROSS / 17.745 NET ACRES INTO A 30 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND 176 UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT	PROJECT COVERAGE	154,425 S.F. (33.7%)
PROJECT LOCATION	NWC CHESTNUT AND ALLUVIAL AVENUES FRESNO, CALIFORNIA	a. BUILDING AREA (INCLUDES GARAGES)	42,944 S.F. (3.1%)
ASSESSOR'S PARCEL(S)	404-071-45 &	b. PARKING/PAVED SURFACE AREA (EXCLUDES GARAGES)	93,168 S.F. (20.4%)
GENERAL PLAN DESIGNATION	MEDIUM DENSITY RESIDENTIAL (5 - 12 DU / ACRE)	c. LANDSCAPE AREA	210,082 S.F. (45.9%)
CURRENT ZONING	RA-20 (FRESNO COUNTY)	UNIT STATISTICS	
PROPOSED ZONING	RS-5/UGM	a. UNITS TYPE 1 (2 BR, 2 BA, 1,175 S.F.)	8 UNITS
SITE AREA(S)		b. UNITS TYPE 2 (2 / 3 BR, 2 BA 1,262 S.F.)	8 UNITS
a. SINGLE FAMILY RESIDENTIAL SUBDIVISION	315,289 S.F. (7.24 ACRES)	c. UNITS TYPE 3 (1 BR, 1 BA 814 S.F.)	48 UNITS
b. MULTI-FAMILY RESIDENTIAL DEVELOPMENT	457,675 S.F. (10.51 ACRES)	d. UNITS TYPE 4 (2 BR, 2 BA 1,040 S.F.)	88 UNITS
c. REQUIRED DEDICATIONS	33,758 S.F. (0.77 ACRES)	e. UNITS TYPE 5 (3 BR, 2 BA 1,279 S.F.)	24 UNITS
d. TOTAL SITE AREA	806,731 S.F. (18.52 ACRES)	f. TOTAL UNITS	176 UNITS
SITE DENSITY		BUILDING AREA CALCULATIONS	
a. SINGLE FAMILY RESIDENTIAL SUBDIVISION	414 UNITS PER ACRE (NET)	a. (8) BUILDING TYPE 'B' (3,597 S.F. / BUILDING)	28,776 S.F.
b. MULTI-FAMILY RESIDENTIAL DEVELOPMENT	16.75 UNITS PER ACRE (NET)	b. (6) BUILDING TYPE 'C' (8,016 S.F. / BUILDING)	48,096 S.F.
c. AVERAGE SITE DENSITY	11.61 UNITS PER ACRE (NET)	c. (9) BUILDING TYPE 'D' (9,648 S.F. / BUILDING)	86,832 S.F.
		d. (2) BUILDING TYPE 'E' (14,472 S.F. / BUILDING)	28,944 S.F.
		e. (2) BUILDING TYPE 'F' (11,840 S.F. / BUILDING)	23,280 S.F.
		f. TOTAL RESIDENTIAL BUILDINGS	215,928 S.F.
		g. NON-RESIDENTIAL BUILDINGS	42,944 S.F.
		1. GARAGES	3,517 S.F.
		2. COMMUNITY BUILDING	262,389 S.F.
		h. TOTAL BUILDING AREA	154,425 S.F.
		j. GROUND FLOOR AREA	
		REQUIRED PARKING	
		a. ONE BEDROOM UNITS (1.0 STALL / UNIT)	48 STALLS
		b. TWO BEDROOM UNITS (2.0 STALL / UNIT)	96 STALLS
		c. THREE BEDROOM UNITS (2.0 STALL / UNIT)	36 STALLS
		d. GUEST PARKING (1 STALL / 2 UNITS)	88 STALLS
		e. TOTAL STALLS REQUIRED	268 STALLS
		f. COVERED STALLS REQUIRED	176 STALLS
		g. ACCESSIBLE STALLS REQUIRED	
		1. GARAGES	4 STALLS
		2. OPEN STALLS	8 STALLS
		3. TOTAL ACCESSIBLE STALLS	12 STALLS
		PARKING PROVIDED	
		a. GARAGES	192 STALLS
		b. OPEN STALLS	160 STALLS
		c. TOTAL STALLS PROVIDED	352 STALLS
		d. ACCESSIBLE STALLS PROVIDED	
		1. GARAGES	4 STALLS
		2. OPEN STALLS	8 STALLS
		3. TOTAL ACCESSIBLE STALLS	12 STALLS

APPL. NO. C-16-046 EXHIBIT A-1 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

MAXIMUM DENSITY:
17.745 ACRES (NET) X 12 UPA = 212.94 UNITS
UNITS PROPOSED = 205 UNITS

Z:\2014\10616 - Alluvial & Chestnut\CD DESIGN\PROPOSAL\SPR 02 15 (RPA) - Site Plan_R01n.dwg 6/22/2016 2:48:51 PM andrew

KEYNOTES

1. INSTALL STREET TYPE DRIVE APPROACH PER CITY OF FRESNO PUBLIC WORKS STANDARDS.
2. INSTALL RIGHT-OF-WAY IMPROVEMENTS ALONG THE STREET FRONTAGE INCLUDING CONCRETE CURB, GUTTER, AND SIDEWALK, AND ASPHALTIC CONCRETE PAVING PER CITY OF FRESNO PUBLIC WORKS DEPARTMENT STANDARDS.
3. INDICATES LOCATION OF 6'-0" HIGH ORNAMENTAL WROUGHT IRON FENCE WITH CRIMP TOP PICKETS AND MASONRY PILASTERS AT 30'-0" ON-CENTER (MAXIMUM) TO BE INSTALLED AT STREET FRONTAGE AND AT PROPERTY LINE COMMON WITH THE ADJACENT CITY PARK/ TYPICAL.
4. INSTALL 3'-0" WIDE x 6'-0" HIGH WROUGHT IRON PEDESTRIAN GATE WITH LEVER TYPE HANDLE TO BE INSTALLED AT TENANT ENTRANCE DOORS.
5. INSTALL 6 INCH THICK COLORED CONCRETE ACCENT PAVING WITH TOOLED JOINT PATTERN AS INDICATED AT MAIN PROJECT ENTRANCE AND PEDESTRIAN CROSSINGS.
6. EXISTING ADJACENT CITY PARK TO REMAIN. COORDINATE PEDESTRIAN CONNECTION REQUIREMENTS WITH THE CITY OF FRESNO PARKS DEPARTMENT.
7. INDICATES THE LOCATION OF PROPOSED SINGLE FAMILY RESIDENTIAL SUBDIVISION. REFER TO THE MASTER SITE PLAN, SHEET PA-1 FOR ADDITIONAL INFORMATION.
8. EXISTING SINGLE FAMILY RESIDENCE DEVELOPMENT TO REMAIN.
9. INSTALL ASPHALTIC CONCRETE PAVING OVER CLASS II AGGREGATE BASE OVER NATIVE SOIL COMPACTED TO 90% PER CITY OF FRESNO PUBLIC WORKS STANDARDS (SHOWN SHADED)/ TYPICAL.
10. 6 INCH CONTINUOUS CONCRETE CURB/ TYPICAL.
11. 6 INCH CONTINUOUS CONCRETE CURB WITH INTEGRAL 4 INCH THICK CONCRETE WALK/ TYPICAL.
12. INDICATES LOCATION OF 6'-0" HIGH ORNAMENTAL WROUGHT IRON VEHICLE GATE(S) WITH AUTOMATIC OPERATORS. INSTALLATION SHALL COMPLY WITH CITY OF FRESNO PUBLIC WORKS AND FIRE DEPARTMENT REQUIREMENTS.
13. 4'-0" WIDE x 4 INCH THICK CONCRETE WALKS APPLIED OVER COMPACTED NATIVE SOIL (PROVIDE 7'-0" WIDE WALKS ADJACENT TO PARKING SPACES)/ TYPICAL.
14. INSTALL 3'-0" WIDE PAINTED CROSSWALK AT DRIVE WHERE THE ACCESSIBLE PATH-OF-TRAVEL OCCURS/ TYPICAL.
15. INDICATES THE LOCATION OF RETURNED CURB ACCESSIBLE RAMP WITH 3'-0" WIDE TRUNCATED DOME PATTERN AT JUNCTION WITH PAVING PER TITLE 24 CCR ACCESSIBILITY REQUIREMENTS.
16. EXISTING OFF-SITE CURB, GUTTER AND WALK INSTALLED PER CITY OF FRESNO PUBLIC WORKS STANDARDS TO REMAIN SHOWN DASHED/ TYPICAL.
17. INDICATES LOCATION(S) OF WOOD ARBOR / SHADE STRUCTURE WITH REINFORCED CONCRETE MASONRY SUPPORT COLUMNS WITH LEDGESTONE FINISH. COORDINATE THE WORK WITH SHEET PA-5/ TYPICAL.
18. INDICATES LOCATION OF SWIMMING POOL TO BE INSTALLED UNDER SEPARATE PERMIT.
19. COORDINATE INSTALLATION OF POOL DECKING TO BE INSTALLED UNDER SEPARATE PERMIT WITH POOL SUBCONTRACTOR.
20. INDICATES THE LOCATION OF 3'-0" WIDE x 5'-0" HIGH WROUGHT IRON PEDESTRIAN GATE. PROVIDE PANIC HARDWARE WITH LEVER TYPE EXTERIOR HANDLE PER TITLE 24 CCR ACCESSIBILITY REQUIREMENTS.
21. LANDSCAPE AREAS. COORDINATE WORK WITH LANDSCAPE PLANS/ TYPICAL.
22. INDICATES LOCATION OF 22'-0" WIDE x 10'-8" DEEP TRASH AND RECYCLING ENCLOSURE WITH REINFORCED CONCRETE MASONRY WALLS PER CITY OF FRESNO PUBLIC WORKS STANDARDS/ TYPICAL.
23. DASHED LINE INDICATES LOCATION(S) OF CURBS TO BE PAINTED RED AND MARKED "FIRE LANE - NO PARKING". LETTERS SHALL BE WHITE, 3 INCHES HIGH AND SPACED AT 50'-0" ON-CENTER PER CITY OF FRESNO FIRE DEPARTMENT STANDARDS/ TYPICAL.
24. INSTALL 30" STATE STANDARD "STOP" SIGN(S) ADJACENT TO THE PUBLIC WALK PER CITY OF FRESNO PUBLIC WORKS STANDARDS.
25. PROVIDE SIGN AT EACH SITE ENTRANCE THAT CLEARLY STATES: "1" HIGH LETTERING STATING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY CONTACTING THE CITY OF FRESNO POLICE DEPARTMENT.
26. INSTALL 4 INCH WIDE WHITE PAINTED STRIPING AT 9'-0" ON-CENTER PER CITY OF FRESNO PUBLIC WORKS STANDARDS/ TYPICAL AT PARKING STALLS.
27. INDICATES THE LOCATION OF DEPRESSED WALKWAY ACCESSIBLE CURB RAMP PER TITLE 24 CCR ACCESSIBILITY REQUIREMENTS/ TYPICAL.
28. INDICATES LOCATION OF PROJECT DIRECTORY AND VISITOR CALL BOX INSTALLATION SHALL COMPLY WITH CITY OF FRESNO PUBLIC WORKS AND FIRE DEPARTMENT REQUIREMENTS/ TYPICAL.
29. 6'-0" HIGH "SIGNAGE" WALLS WITH THIN SET LEDGESTONE FINISH AND PRE-CAST CONCRETE CAP INSTALLED OVER SOLID GROUTED REINFORCED CONCRETE MASONRY UNITS/ TYPICAL.
30. INDICATES THE LOCATION OF MONUMENT SIGN TO BE INSTALLED UNDER SEPARATE PERMIT.
31. INDICATES LOCATION OF COVERED TENANT MAIL CENTER. COORDINATE THE WORK WITH SHEET PA-5.
32. INDICATES THE LOCATION(S) OF ACCESSIBLE PARKING SPACES WITH A 6'-0" WIDE UNLOADING ZONE PER TITLE 24 CCR ACCESSIBILITY STANDARDS. PROVIDE PAINTED AND POLE MOUNTED SIGNAGE AS REQUIRED.
33. INDICATES CENTER LINE OF STREET.
34. INSTALL 6'-0" HIGH SOLID GROUTED REINFORCED CONCRETE MASONRY WALL AT PROPERTY LINE/ TYPICAL.
35. INSTALL RESIDENTIAL TYPE APPROACH AND CAST-IN-PLACE CONCRETE DRIVEWAY PER CITY OF FRESNO PUBLIC WORKS STANDARDS/ TYPICAL.
36. INSTALL 6'-0" HIGH WOOD FENCE AT PRIVATE YARDS OF DUPLEX UNITS/ TYPICAL.
37. INDICATES THE LOCATION OF PRIVATE YARDS AT DUPLEX UNITS/ TYPICAL.
38. INDICATES LOCATION(S) OF OUTDOOR ACTIVITY AREA WITH BUILT-IN BAR-B-QUE'S, GAS APPLIANCE FIREPLACES, AND WOOD ARBOR / SHADE STRUCTURES WITH REINFORCED CONCRETE MASONRY SUPPORT COLUMNS WITH LEDGESTONE FINISH. COORDINATE THE WORK WITH SHEET PA-4/ TYPICAL.
39. INDICATES LOCATION(S) WOOD ENTRANCE ARBOR WITH REINFORCED CONCRETE MASONRY SUPPORT COLUMNS WITH LEDGESTONE FINISH. COORDINATE THE WORK WITH SHEET PA-5/ TYPICAL.
40. INDICATES LOCATION OF 5'-0" HIGH ORNAMENTAL WROUGHT IRON FENCE WITH CRIMP TOP PICKETS TO BE INSTALLED AT SWIMMING POOL AREA ENCLOSURE/ TYPICAL.

THE VINCENT COMPANY ARCHITECTS, INC.

1500 West Shaw, Ste. 30
Fresno, California 93711
Phone: 559.225.2602

Revisions	Date

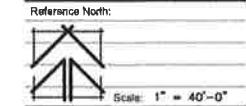
PROPOSED MIXED-USE DEVELOPMENT COMPLEX: VILLAGES AT THE RANCH THE RANCH

N.E.C. CHESTNUT AND ALLUVIAL AVENUES
FRESNO, CALIFORNIA



ISSUANCES:	Date:
● DESIGN REVIEW	05.20.18
○ PLAN CHECK	
○ BACK CHECK	
○ PERMITS	
○ CONSTRUCTION	
○ AS BUILT	

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

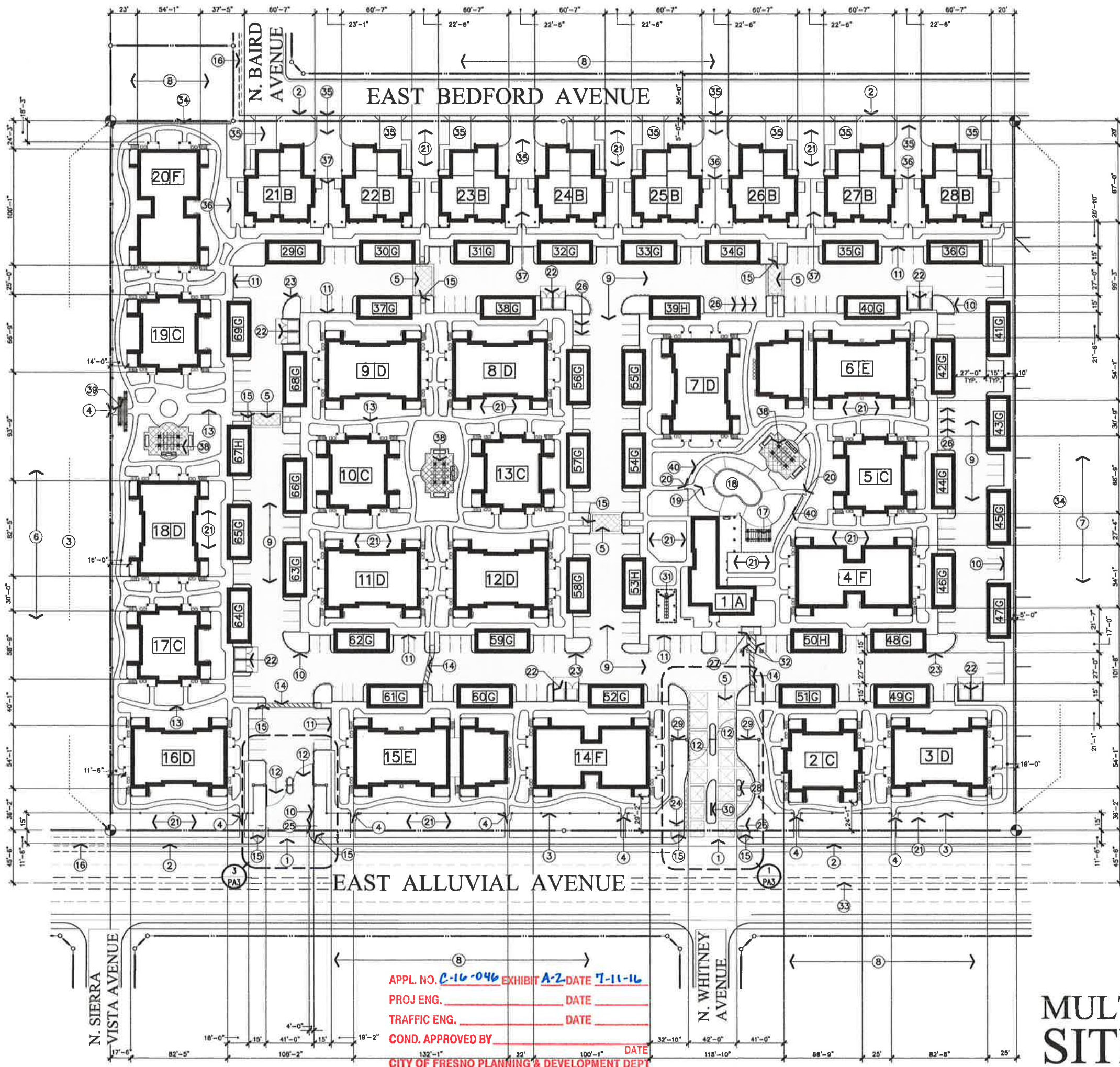
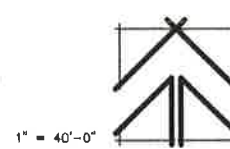


Reference North:
Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA
Project Number: 140818
Plot Date: 05.31.18
Sheet Number:

PA2

Of _____ Sheets

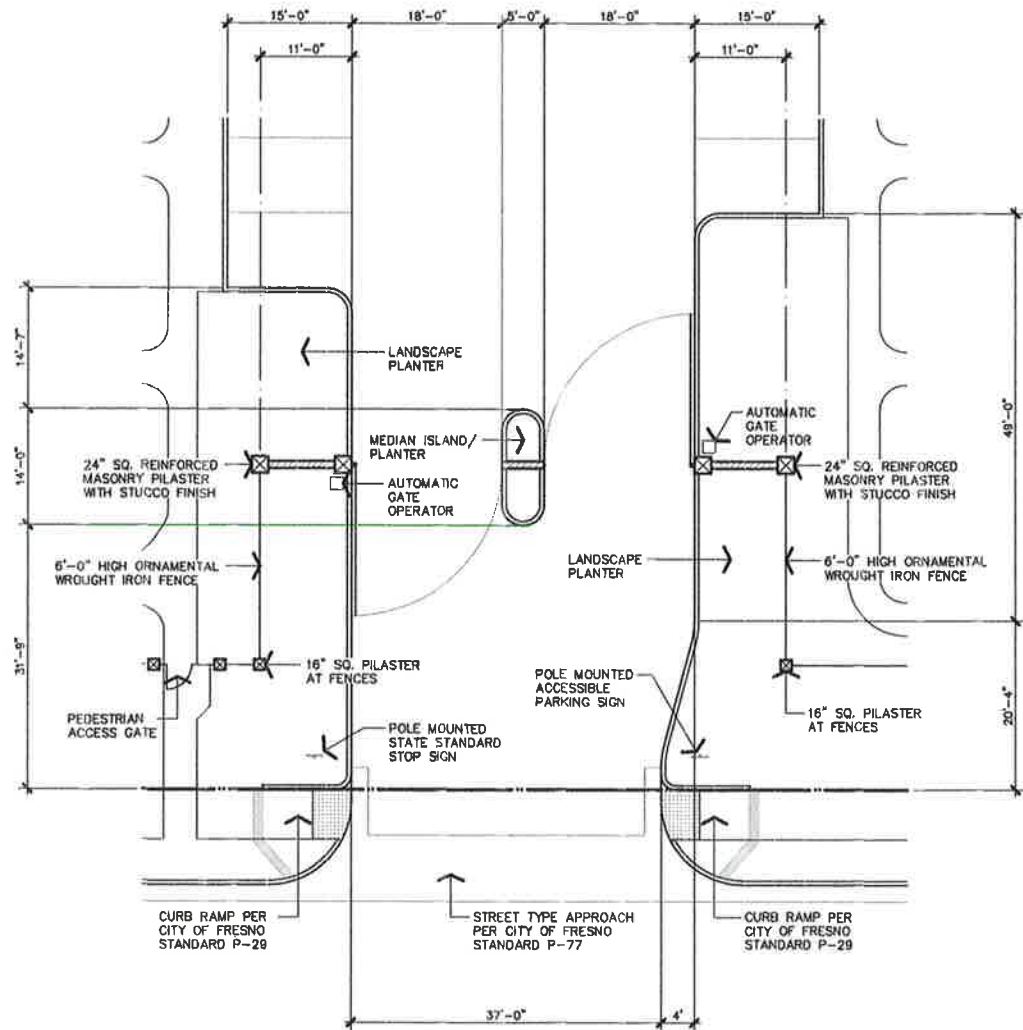
MULTI-FAMILY SITE PLAN



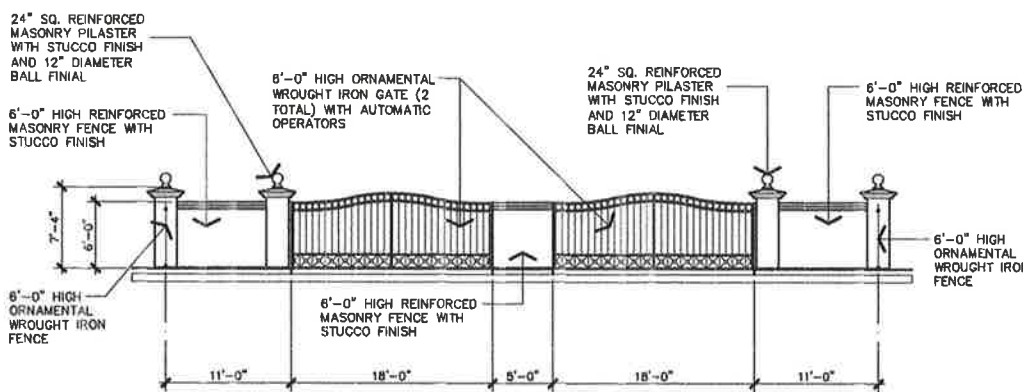
APPL. NO. C-16-046 EXHIBIT A-2 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

2:01:41/40818 - Alluvial & Chestnut_C Design PRODCASUSPR 03 15 18PAC - Site Plan.dwg, 02/22/2018 2:47:22 PM, andrew

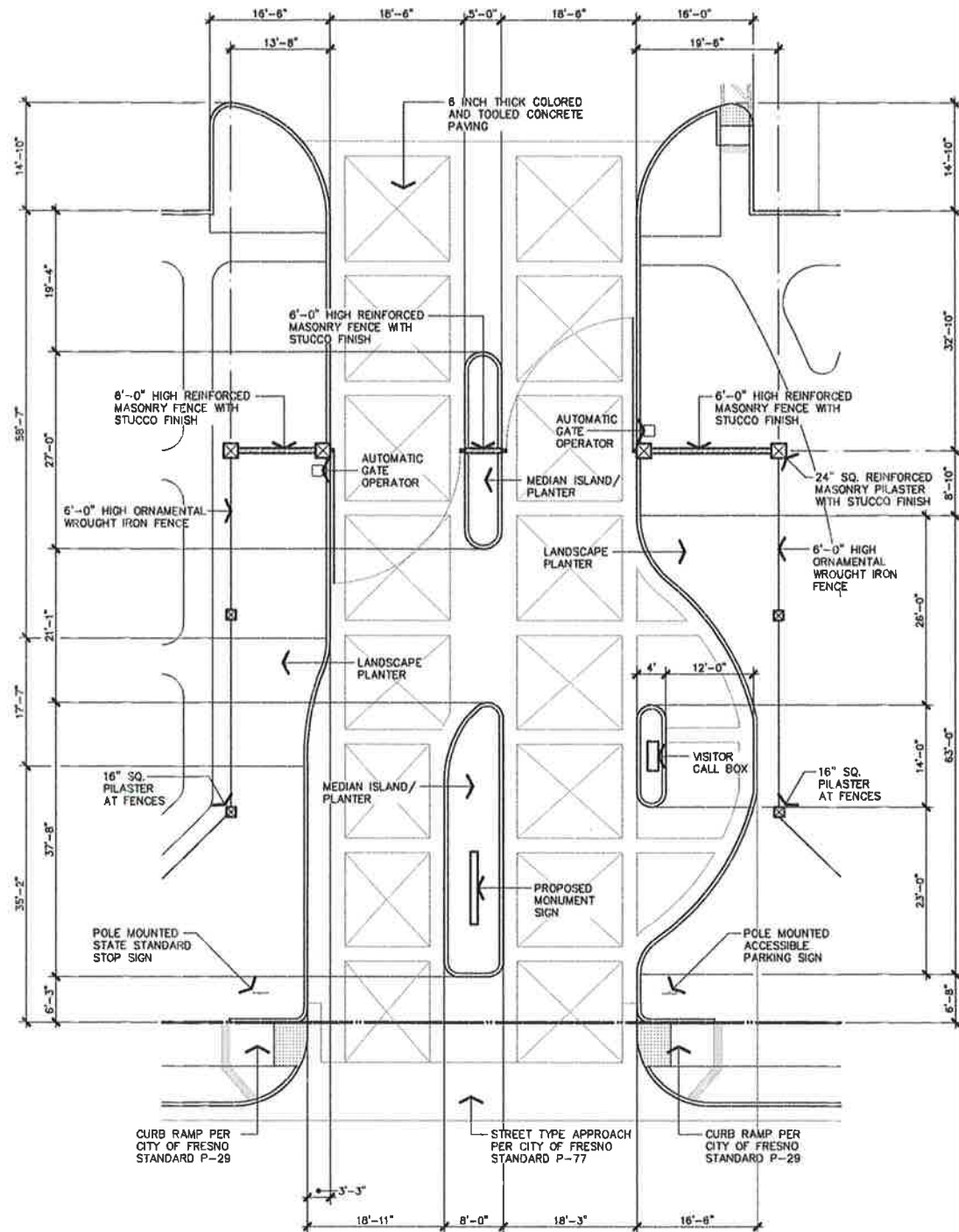
APPL. NO. C-16-046 EXHIBIT A-3 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



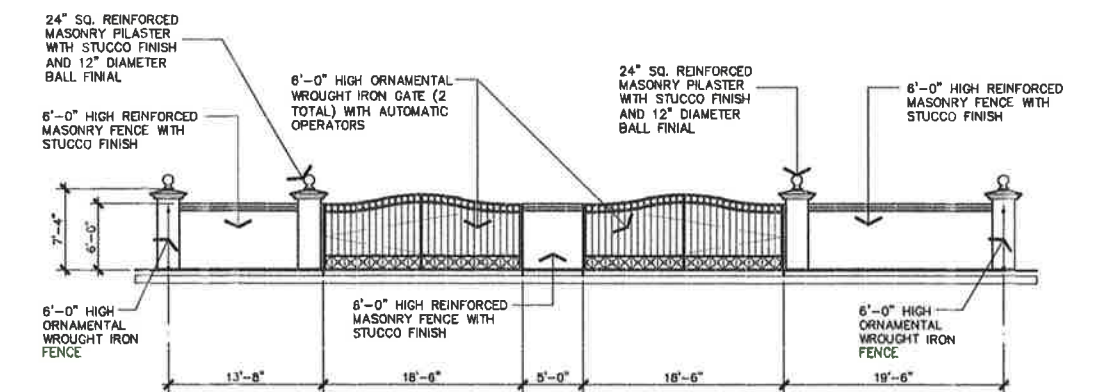
3 SITE TENANT ACCESS GATE-PLAN VIEW 3/32" = 1'-0"



4 SITE TENANT ACCESS GATE-ELEVATION 1/8" = 1'-0"



1 SITE PUBLIC ACCESS GATE-PLAN VIEW 3/32" = 1'-0"



2 SITE TENANT ACCESS GATE-ELEVATION 1/8" = 1'-0"

SITE NOTES

- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- REPAIR ALL DAMAGED AND/OR OFF-SITE CONCRETE IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT DIVISION PRIOR TO OCCUPANCY.
- ALL UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. CONTACT CITY TRAFFIC ENGINEER FOR INFORMATION REGARDING REIMBURSEMENTS RELATIVE TO RELOCATING TRAFFIC SIGNAL FACILITIES. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. THE DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION AT 498-1412 TO ARRANGE AND COORDINATE WORK.
- THERE SHALL BE NO ON-SITE WATER RETENTION, NOR SHALL THERE BE DRAINAGE ONTO ADJACENT PROPERTIES.
- ALL ON-SITE WATER SHALL BE DRAINED TO ON-SITE DRAINAGE INLETS, COLLECTED THERE AND CONVEYED UNDER SIDEWALK IN AN APPROPRIATE MANNER TO EXIT AT THE FACE-OF-CURB PER CITY OF FRESNO PUBLIC WORKS STANDARD P-36.
- TWO (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND UTILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-842-2444.
- TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
- FIRE HYDRANTS SHALL BE TESTED, PAINTED AND APPROVED AND ALL SURFACE ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. THE 4-1/2" OUTLET SHALL FACE THE ACCESS LANE.
- DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER / DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED AND IF DISTURBED, RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED TO BE INSTALLED ON THE WATER SERVICE TO PROTECT THE PUBLIC WATER SYSTEM. A PLUMBING PERMIT IS REQUIRED TO INSTALL THE DEVICE. CONTACT THE DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION (RON SIMONS, 621-5333) FOR DETERMINATION OF SIZE, TYPE, ACCEPTABLE MAKE/MODEL AND LOCATION. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE BY QUALIFIED JOURNEYMAN PLUMBER WHO HAS BEEN CERTIFIED AS COMPETENT FOR SUCH INSTALLATION BY THE WATER SYSTEMS MANAGER. BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE DIVISION PRIOR TO GRANTING BUILDING FINAL; THE DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION A MINIMUM OF 5-DAYS PRIOR TO REQUESTING FINAL BUILDING INSPECTION.
- APPROVAL OF THIS SPECIAL PERMIT MAY BE COME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THIS SPECIAL PERMIT IS GRANTED AND THE CONDITIONS IMPOSED, BASED UPON THE OPERATION STATEMENT PROVIDED BY THE APPLICANT. THE OPERATION STATEMENT IS MATERIAL TO THE ISSUANCE OF THIS SPECIAL PERMIT. UNLESS THE CONDITIONS OF APPROVAL SPECIFICALLY REQUIRE OPERATION INCONSISTENT WITH THE OPERATION STATEMENT, A NEW OR REVISED SPECIAL PERMIT IS REQUIRED IF THE OPERATION OF THIS ESTABLISHMENT CHANGES OR BECOMES INCONSISTENT WITH THE OPERATION STATEMENT. FAILURE TO COMPLY WITH THE CONDITIONS AND REQUIREMENTS IMPOSED MAY RESULT IN REVOCATION OF THE SPECIAL PERMIT OR ANY OTHER ENFORCEMENT REMEDY AVAILABLE UNDER THE LAW. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR DEFLECTIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND WOULD BE SUBJECT TO A NEW SPECIAL PERMIT.
- FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED-LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTSAGES OF THE BUILDINGS. ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR CONTRACTED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPARTMENT.
- FUTURE TENANT IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT TO ENSURE THE ADEQUATE OFF-STREET PARKING IS PROVIDED.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AS TO REFLECTED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- ALL FUTURE SIGNS SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE PROPOSED BUILDINGS. PROVIDE A SET OF DRAWINGS WITH DESCRIPTIVE INFORMATION, INCLUDING MATERIALS, DESIGN AND COLOR TO ALLOW FOR A PRELIMINARY ASSESSMENT OF THE FUTURE SIGNAGE. IT IS RECOMMENDED THAT YOU PROVIDE A COPY OF THE SIGNAGE EARLY IN THE PROJECT PROCESS TO ALLOW FOR STAFF COMMENT.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- SCREEN ALL ROOF-MOUNTED EQUIPMENT FROM THE VIEW OF PUBLIC RIGHTS-OF-WAY.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 651-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGICAL ASSESSMENT SPECIALISTS. AN ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED. ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THAT DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- IF VIDEO SURVEILLANCE CAMERAS ARE REQUIRED OR INSTALLED, PROVIDE SIGNS UNDER THE SURVEILLANCE CAMERAS WHICH NOTIFY THE PUBLIC THAT THE SUBJECT PROPERTY IS MONITORED BY VIDEO SURVEILLANCE.

THE VINCENT COMPANY
 ARCHITECTS, INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

Revisions	Date
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▲	
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issuance:	Date:
DESIGN REVIEW	05.20.18
PLAN CHECK	
BACK CHECK	
PERMITS	
CONSTRUCTION	
AS BUILT	

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

Reference North:

 Scale: AS NOTED
 Project Name: VILLAGES AT THE RANCH
 Project Number: 149818
 Plot Date: 05.24.16
 Sheet Number: **PA3**
 Of _____ Sheets

2025/11/05 10:19 AM - Alameda & Chabrea - Design - PROPOSED LAYOUT - 11.15.2025 - 10:19 AM - 11/05/2025 10:19 AM - Andrew

Revisions	Date
△	
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
N.E.C. CHESTNUT AND ALLUVIAL AVENUES
FRESNO, CALIFORNIA

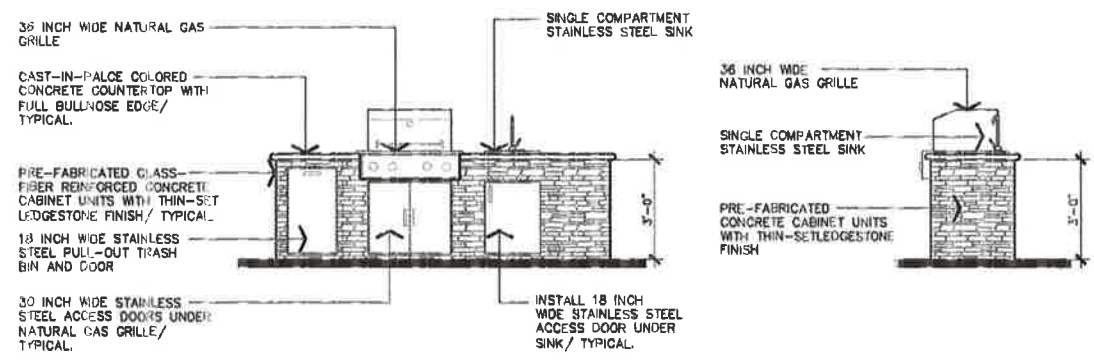


Issued For	Date
DESIGN REVIEW	05.20.18
PLAN CHECK	
BACK CHECK	
PERMITS	
CONSTRUCTION	
AS BUILT	

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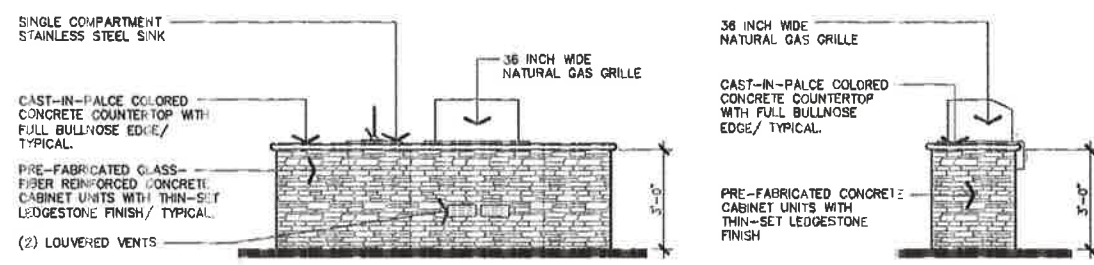
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Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA
Project Number: 140518
Plot Date: 05.23.18
Sheet Number:



(A) FRONT ELEVATION

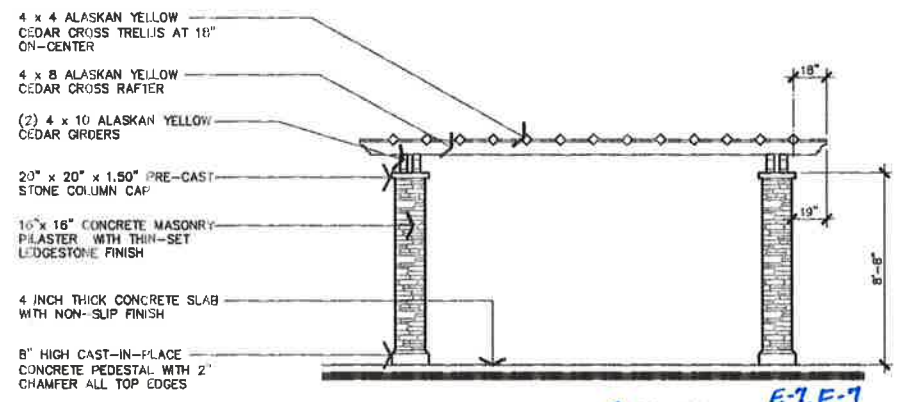
(C) RIGHT ELEVATION



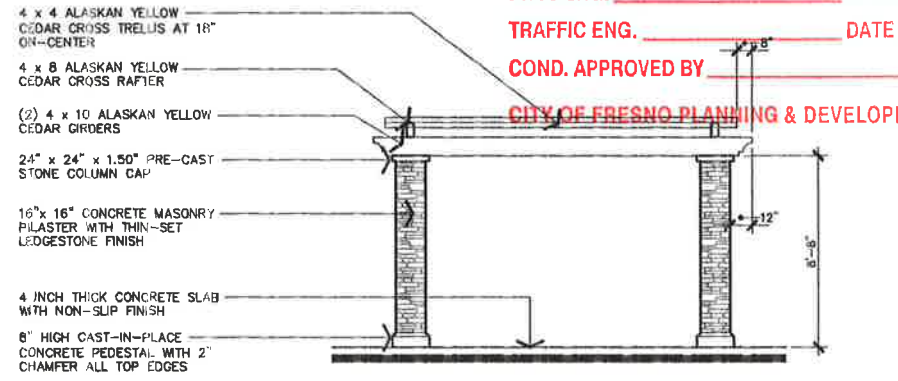
(B) REAR ELEVATION

(D) LEFT ELEVATION

BUILT-IN BAR-B-BUQUE CENTER ELEVATIONS 3/8" = 1'-0"



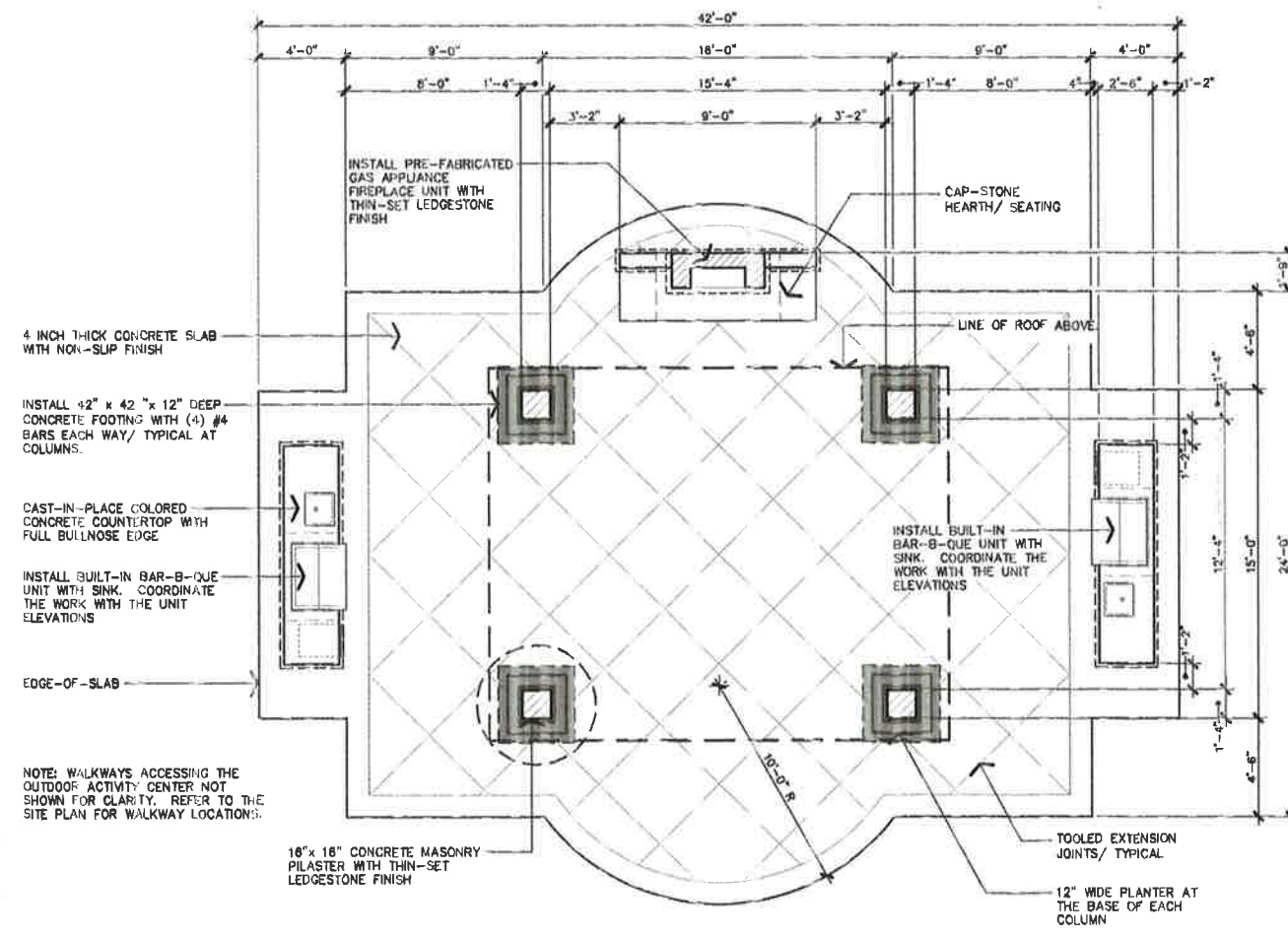
(A) FRONT/ REAR ELEVATION



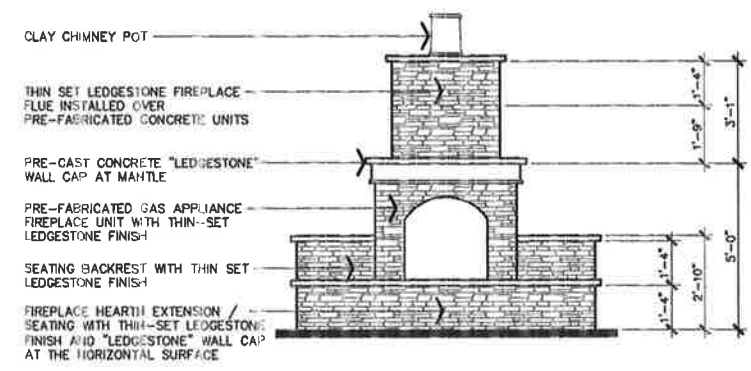
(B) SIDE ELEVATION

OUTDOOR ACTIVITY CENTER ARBOR ELEVATIONS 1/4" = 1'-0"

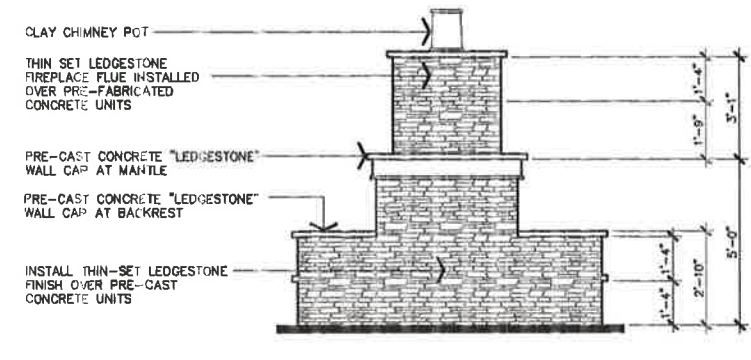
APPL. NO. C-16-046 EXHIBIT E-7, F-7 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



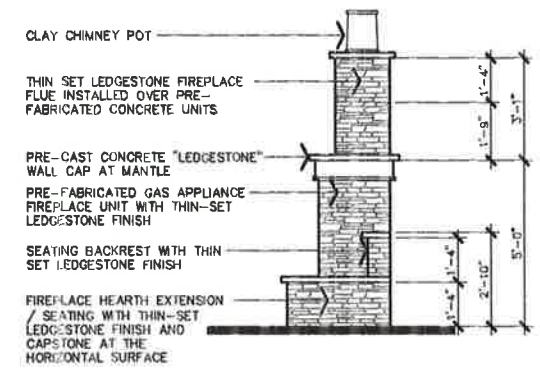
OUTDOOR ACTIVITY CENTER - FLOOR PLAN 1/4" = 1'-0"



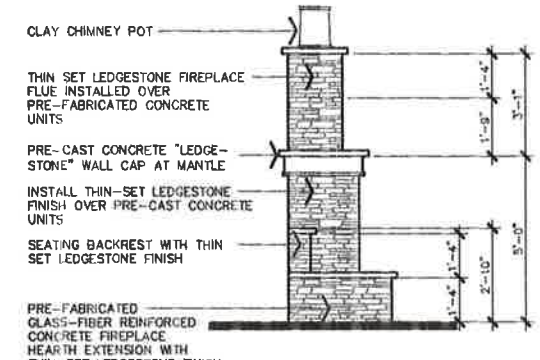
(A) FRONT ELEVATION



(B) REAR ELEVATION



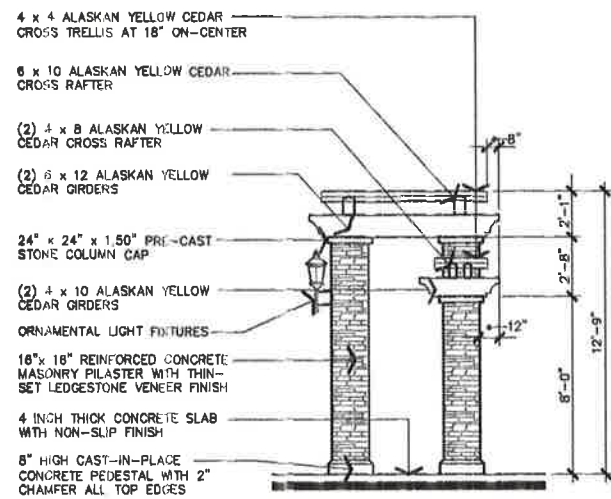
(C) RIGHT ELEVATION



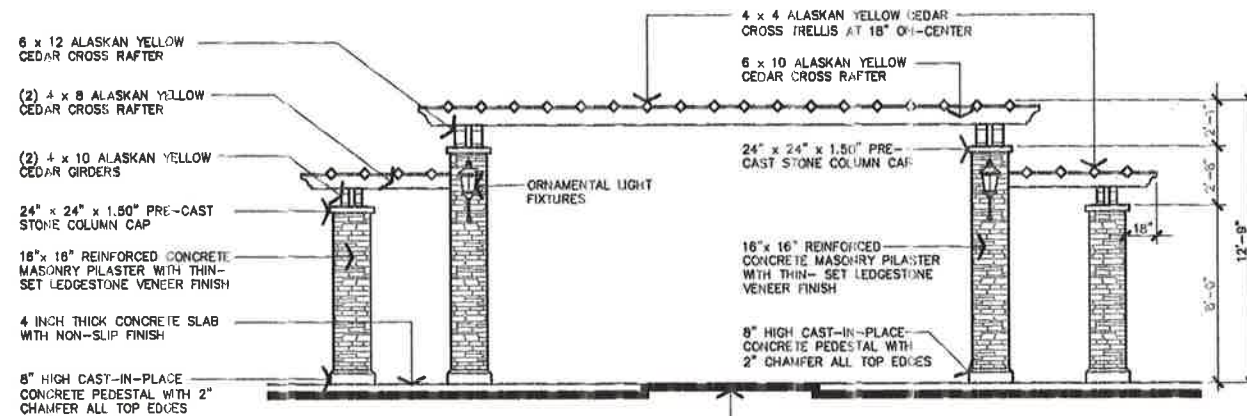
(D) LEFT ELEVATION

BUILT-IN FIREPLACE ELEVATIONS 3/8" = 1'-0"

2/20/14/08/18 - Alford & Chetani/UC DESIGN PROPOSALS/SR 03/15/18/PA4 - Site Details BBC.dwg, 3/27/2018 1:44:37 PM, andrew



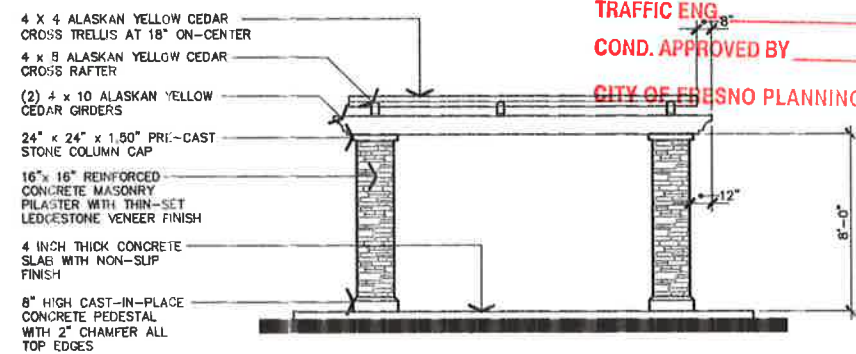
(A) END ELEVATION



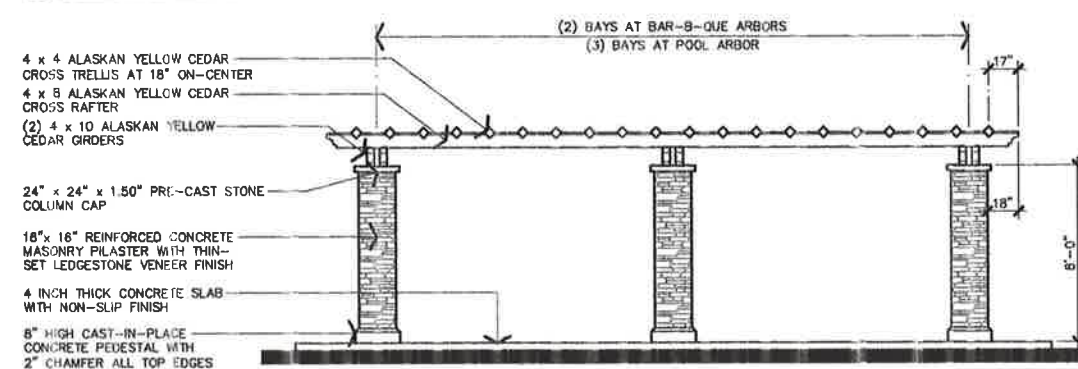
(B) FRONT ELEVATION

PARK ENTRY ARBOR ELEVATIONS

APPL. NO. C-16-046 EXHIBIT E-8, F-8 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

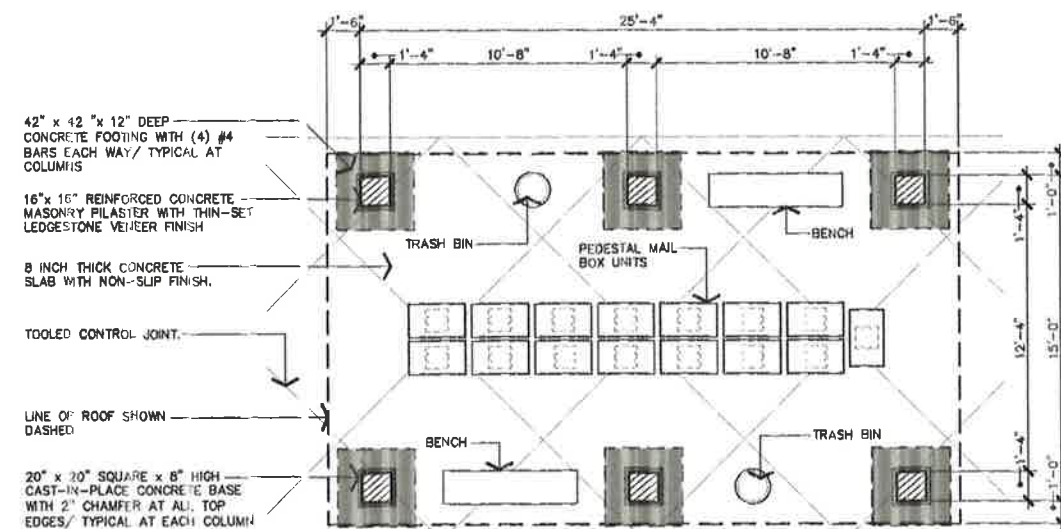


(A) END ELEVATION

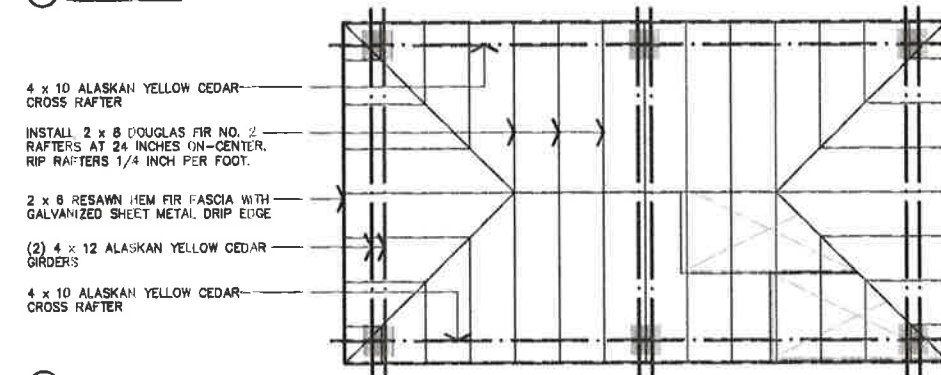


(B) FRONT ELEVATION

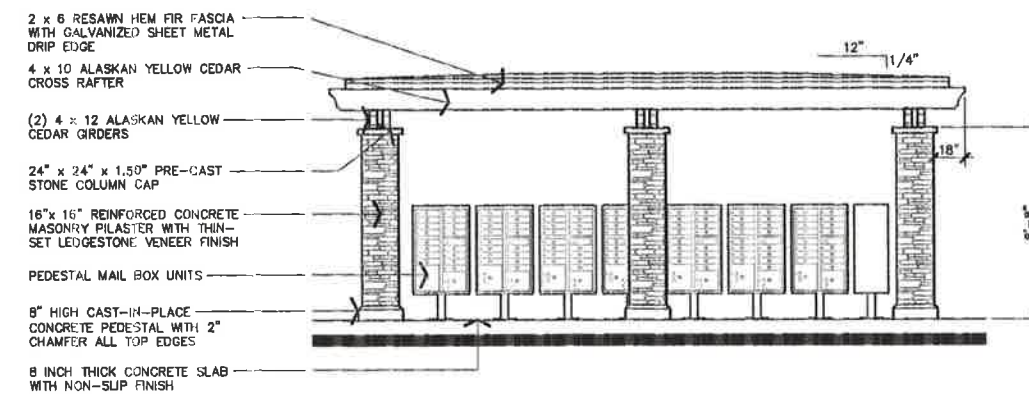
POOL AREA ARBOR ELEVATIONS 1/4" = 1'-0"



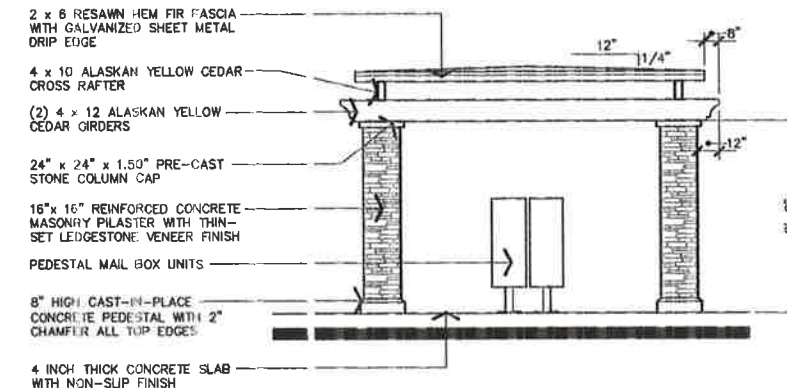
(A) PLAN VIEW



(B) FRAMING PLAN



(C) FRONT / REAR ELEVATION



(D) SIDE ELEVATION

RESIDENT MAIL CENTER DETAILS 1/4" = 1'-0"

THE VINCENT COMPANY

ARCHITECTS, INC.

1500 West Shaw, Ste. 304
 Fresno, California 93711

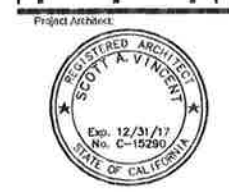
Phone: 559.225.2602

Revisions	Date

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:

VILLAGES AT THE RANCH

N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issuance:	Date:
<input checked="" type="radio"/> DESIGN REVIEW	05.20.16
<input type="radio"/> PLAN CHECK	
<input type="radio"/> BACK CHECK	
<input type="radio"/> PERMITS	
<input type="radio"/> CONSTRUCTION	
<input type="radio"/> AS BUILT	

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Reference North:

Scale: AS NOTED

Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA

Project Number: 140818
 Plot Date: 05.23.16

Sheet Number: _____

PA5

2:30:41.48916 - Alluvia & Chremu LLC DESIGN PROPOSAL/ISSUE 20.16.16/FINAL - Size Details.dwg: 5/11/2016 1:43:50 PM andrew

Revisions	Date

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



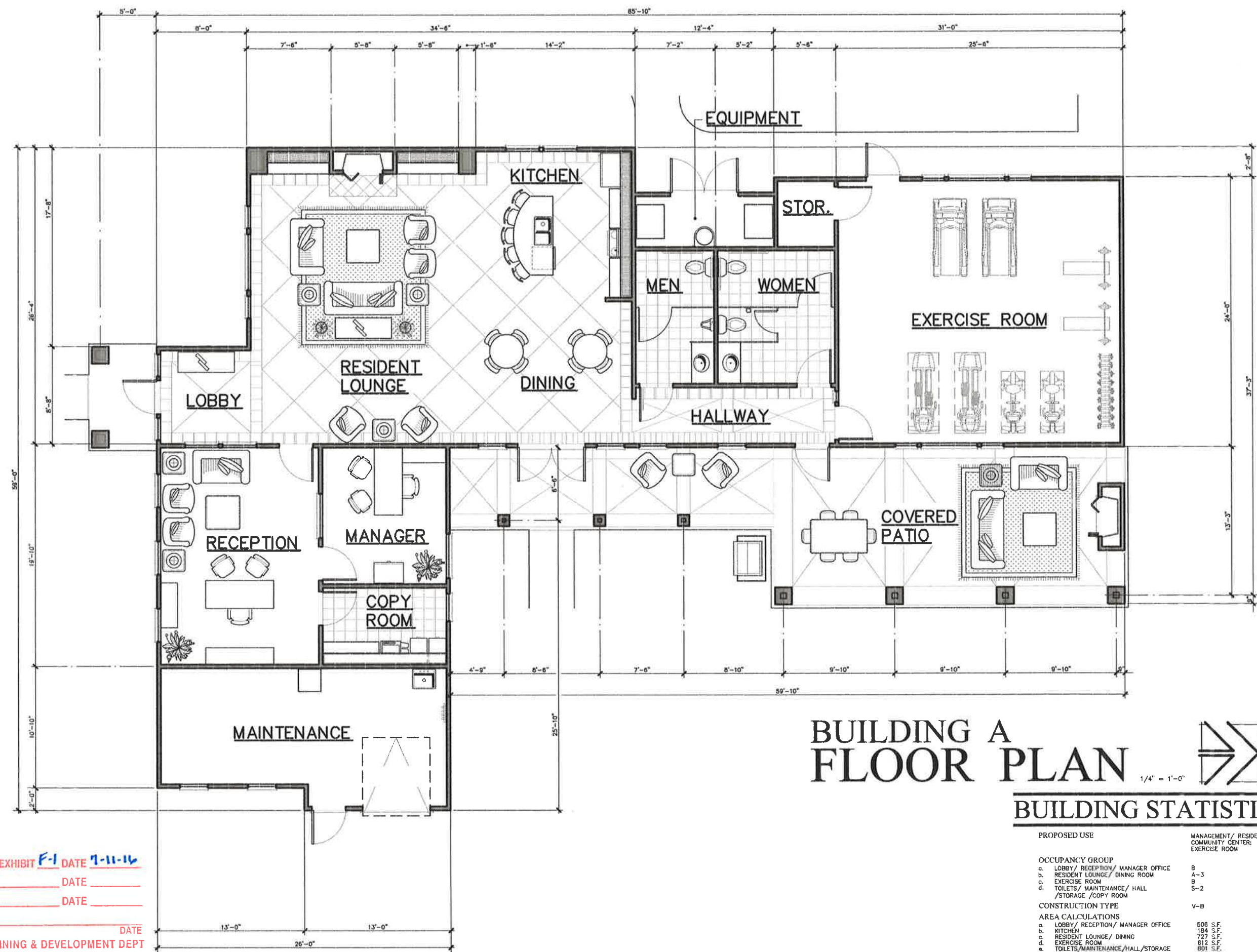
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<input type="radio"/> PLAN CHECK	
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<input type="radio"/> CONSTRUCTION	
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Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA
 Project Number: 149818
 Plot Date: 05-23-18
 Sheet Number:

PA6



BUILDING A FLOOR PLAN

1/4" = 1'-0"

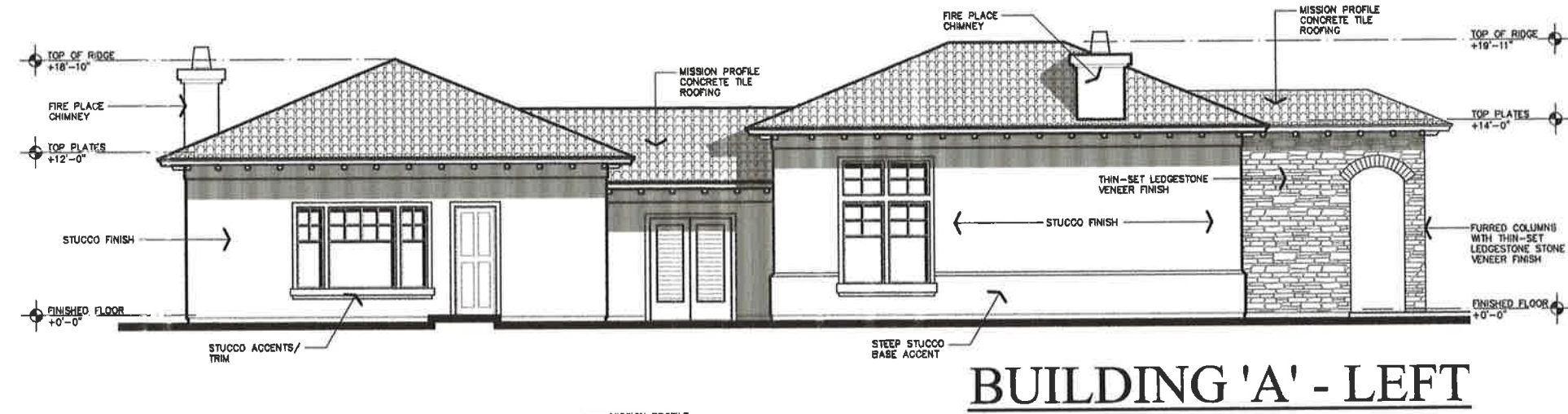
BUILDING STATISTICS

PROPOSED USE	MANAGEMENT/ RESIDENT COMMUNITY CENTER; EXERCISE ROOM
OCCUPANCY GROUP	B
a. LOBBY/ RECEPTION/ MANAGER OFFICE	A-3
b. RESIDENT LOUNGE/ DINING ROOM	B
c. EXERCISE ROOM	S-2
d. TOILETS/ MAINTENANCE/ HALL /STORAGE /COPY ROOM	
CONSTRUCTION TYPE	V-B
AREA CALCULATIONS	
a. LOBBY/ RECEPTION/ MANAGER OFFICE	506 S.F.
b. KITCHEN	184 S.F.
c. RESIDENT LOUNGE/ DINING	727 S.F.
d. EXERCISE ROOM	612 S.F.
e. TOILETS/MAINTENANCE/HALL/STORAGE	801 S.F.
f. COVERED PORCH/ PATIO	687 S.F.
g. TOTAL BUILDING AREA	3,517 S.F.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. INTERIOR BEARING WALLS	NON-RATED
c. INTERIOR NON-BEARING WALLS	NON-RATED
d. CEILING/ROOF ASSEMBLY	NON-RATED
e. EXTERIOR OPENINGS	NON-RATED
OCCUPANCY SEPARATION	
a. B TO S-2 OCCUPANCY GROUPS	NONE REQUIRED PER CBC SECTIONS 603.1.2 AND 608.3

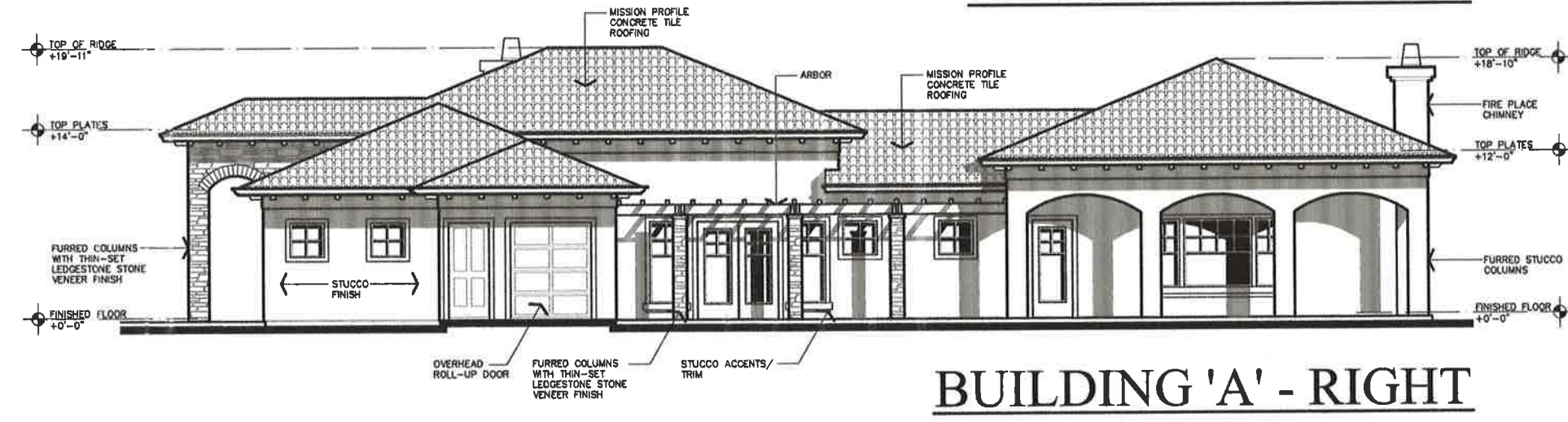
APPL. NO. C-16-046 EXHIBIT F-1 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

Z:\0014140818 - Alvarado & Chestnut - Design PROPOSALS\SPR 05 15 16\PA6 - Building A - Floor Plan.dwg, 5/27/2018 1:43:08 PM, andrew

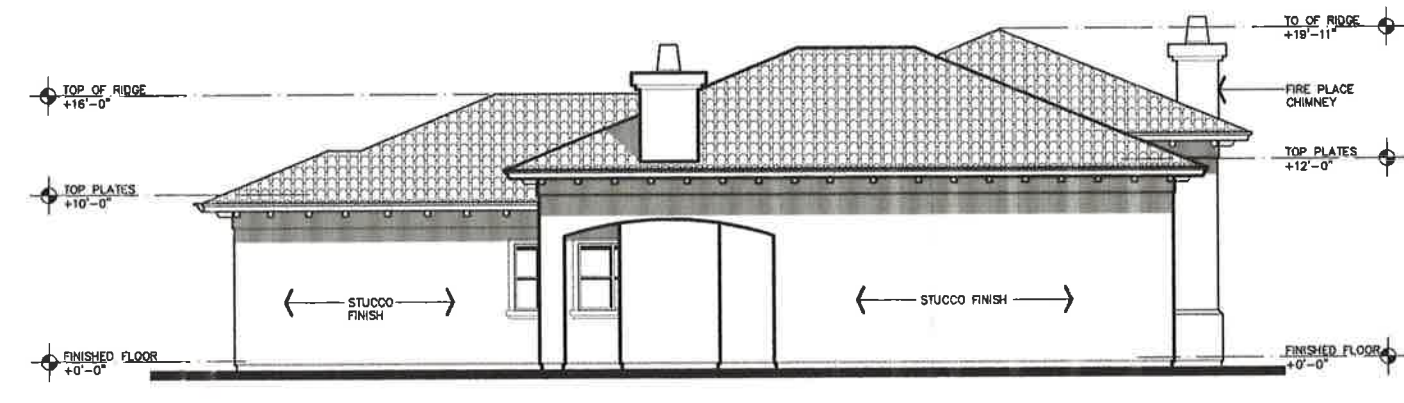
Revisions	Date



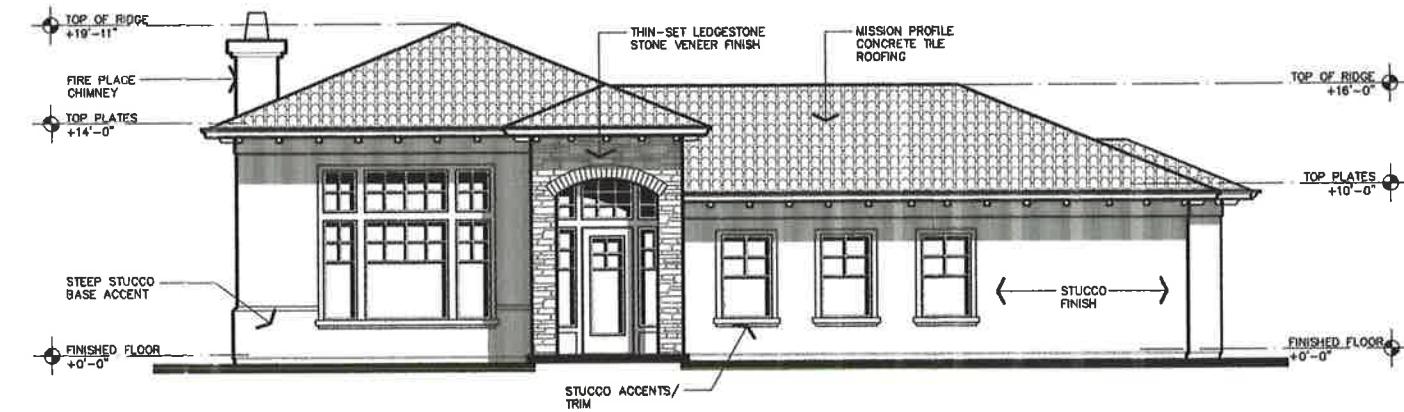
BUILDING 'A' - LEFT



BUILDING 'A' - RIGHT



BUILDING 'A' - REAR



BUILDING 'A' - FRONT

APPL NO. C-16-046 EXHIBIT E-1 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
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VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



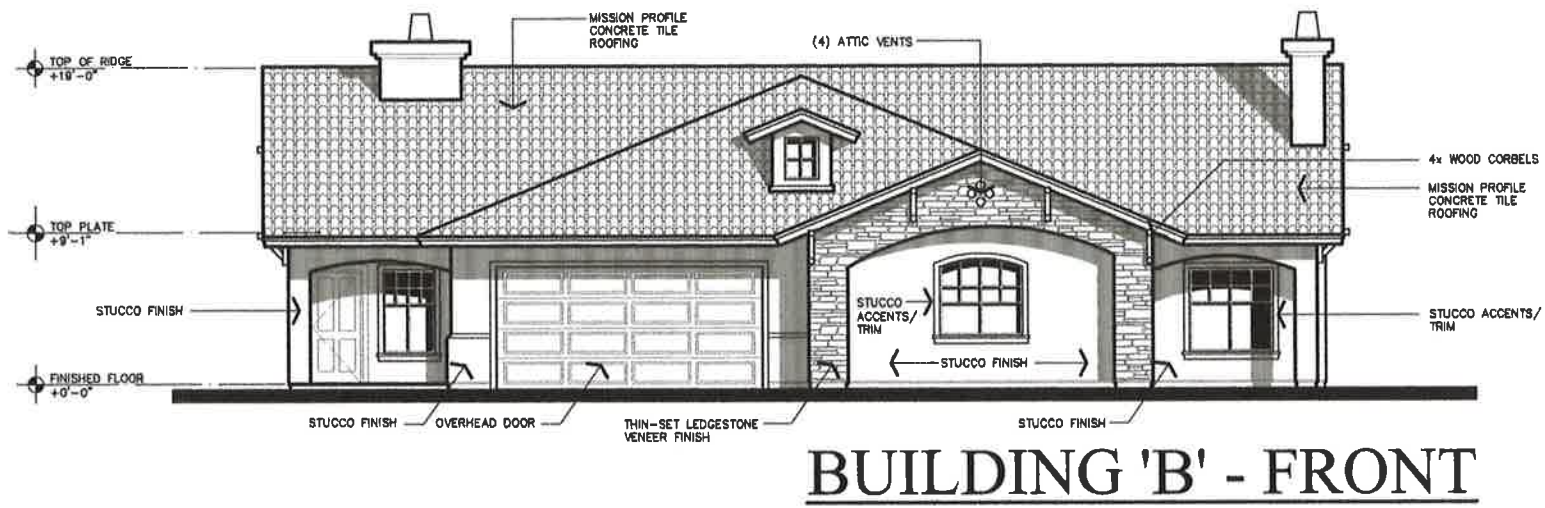
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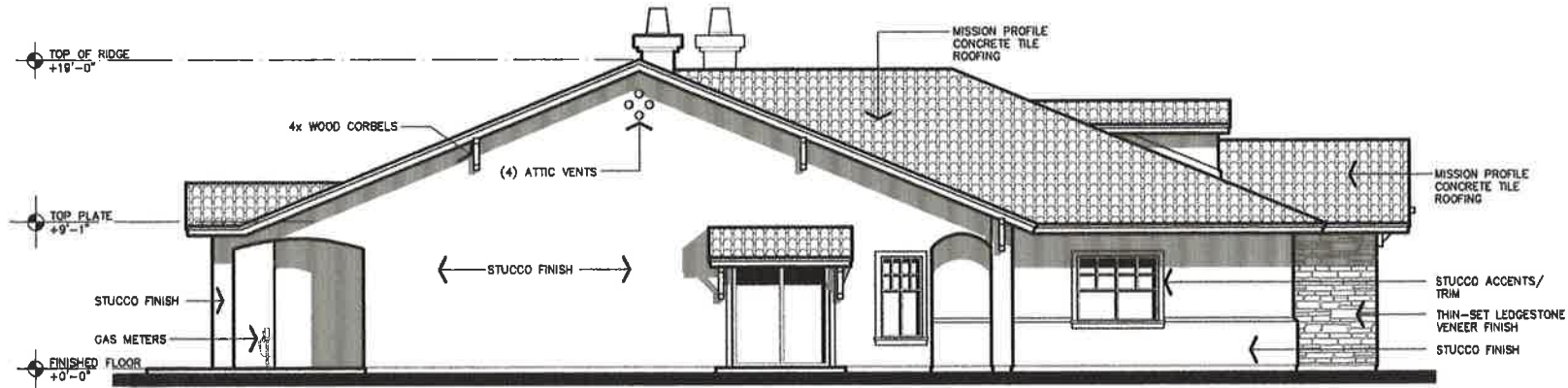
Reference North: 
 Scale: 3/16" = 1'-0"
 Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA
 Project Number: 140818
 Plot Date: 05 23 16
 Sheet Number:

EXTERIOR ELEVATIONS

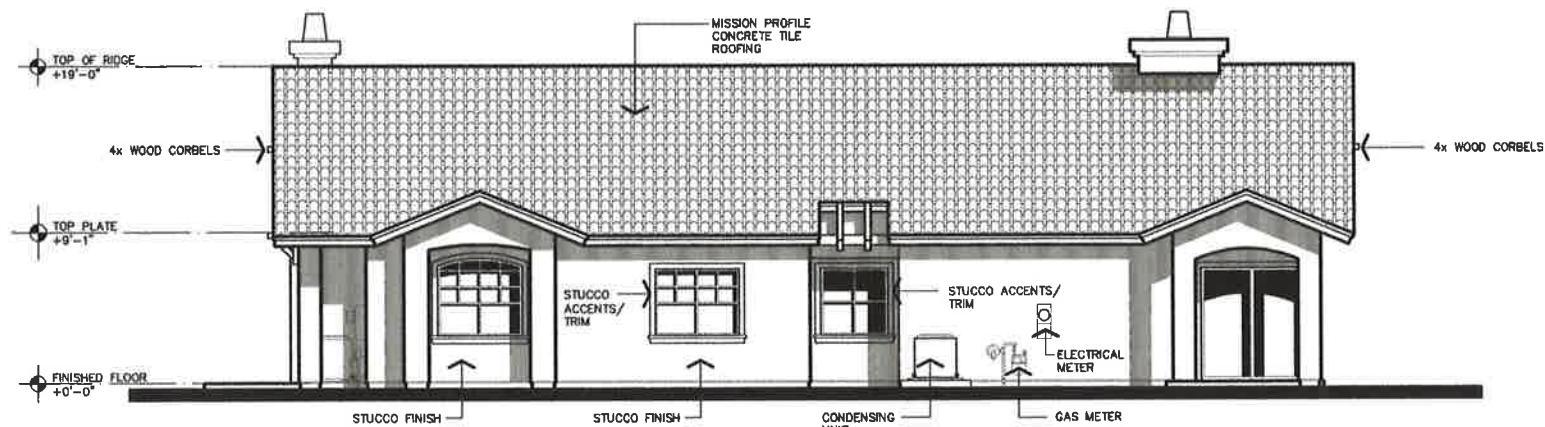
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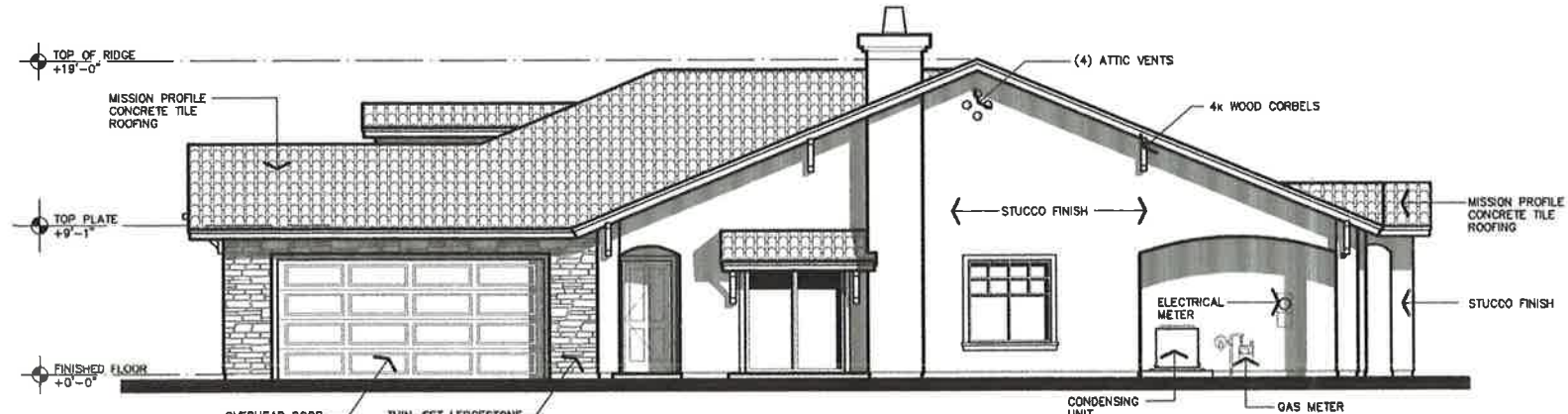
BUILDING 'B' - FRONT



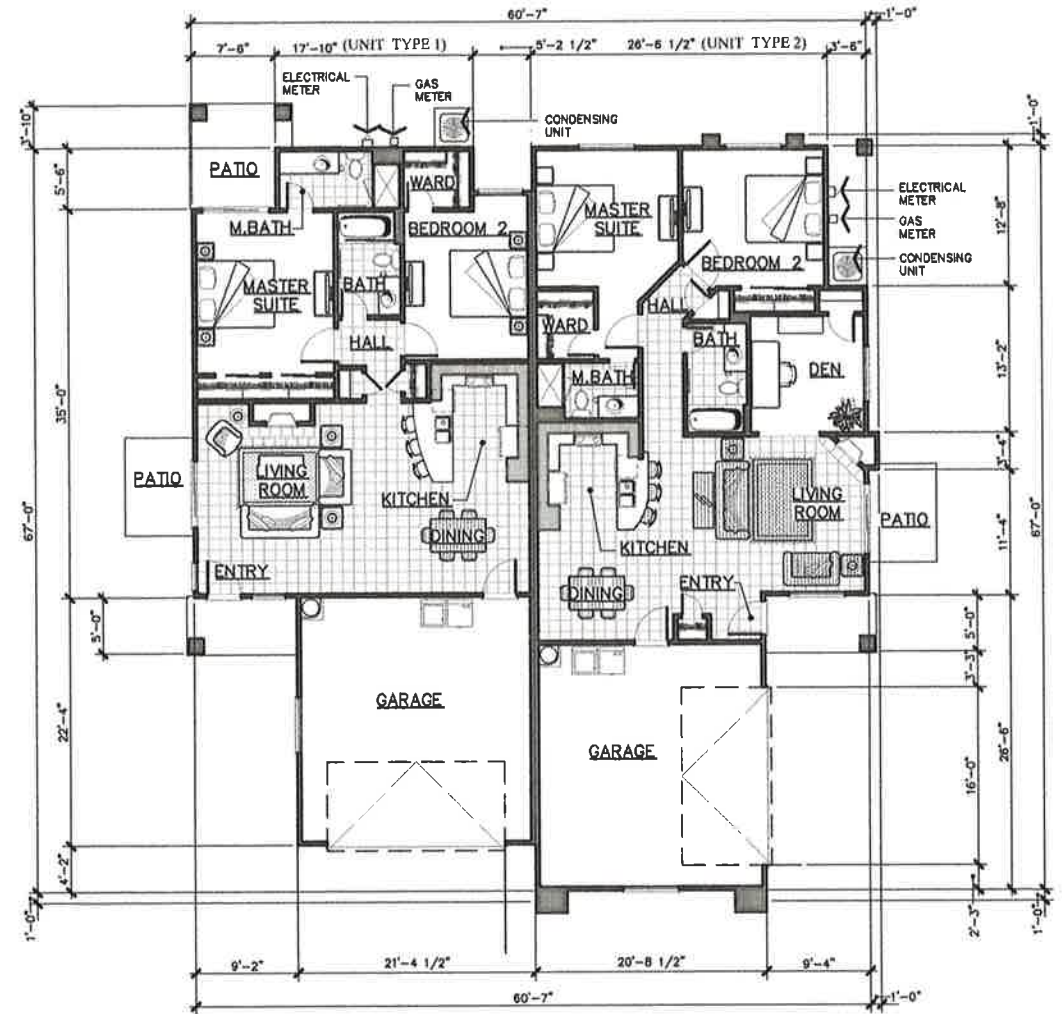
BUILDING 'B' - LEFT



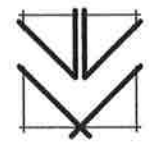
BUILDING 'B' - REAR



BUILDING 'B' - RIGHT



BUILDING 'B' FLOOR PLAN



BUILDING STATISTICS

BUILDING UNIT MIX	(1) UNIT TYPE "1" 2 BEDROOM 2 BATHROOM WALK-UP UNIT WITH GARAGE 1,175 SQ. FT./UNIT (1) UNIT TYPE "2" 2 BEDROOM 2 BATHROOM WITH DEN / BEDROOM WALK-UP UNIT WITH ATTACHED GARAGE 1,262 S.F. / UNIT
OCCUPANCY GROUP	R-3
CONSTRUCTION TYPE	V-8 WITH NFPA 13D AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. UNIT TYPE "1" FLOOR PLAN	
1. RESIDENTIAL UNITS	1,175 SQ. FT.
2. GARAGE	477 SQ. FT.
3. COVERED PORCH/ PATIOS	123 SQ. FT.
b. UNIT TYPE "2" FLOOR PLAN	
1. RESIDENTIAL UNITS	1,262 SQ. FT.
2. GARAGE	459 SQ. FT.
3. COVERED PORCH/ PATIOS	101 SQ. FT.
TOTAL BUILDING AREA	3,597 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. INTERIOR BEARING WALLS	NON-RATED
c. INTERIOR NON-BEARING WALLS	NON-RATED
d. CEILING/ROOF ASSEMBLY	NON-RATED
e. UNIT COMMON WALLS	ONE HOUR RATED (G.A. FILE NO. WP-3370)
f. SHAFT ENCLOSURES	NONE OCCUR
g. EXTERIOR OPENINGS	NON-RATED

APPL. NO. C-16-046, EXHIBIT E2, F-2, DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

EXTERIOR ELEVATIONS

3/16" = 1'-0"

THE VINCENT COMPANY
 ARCHITECTS, INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

Revisions	Date
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issues:	Date:
DESIGN REVIEW	05 20 18
PLAN CHECK	
BACK CHECK	
PERMITS	
CONSTRUCTION	
AS BUILT	

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Reference North:

 Scale: 3/16" = 1'-0"
 Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA
 Project Number: 140818
 Plot Date: 11.30.15
 Sheet Number:

PA8
 Sheet

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Revisions	Date
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issuance:	Date:
DESIGN REVIEW	05.20.16
PLAN CHECK	
BACK CHECK	
PERMITS	
CONSTRUCTION	
AS BUILT	

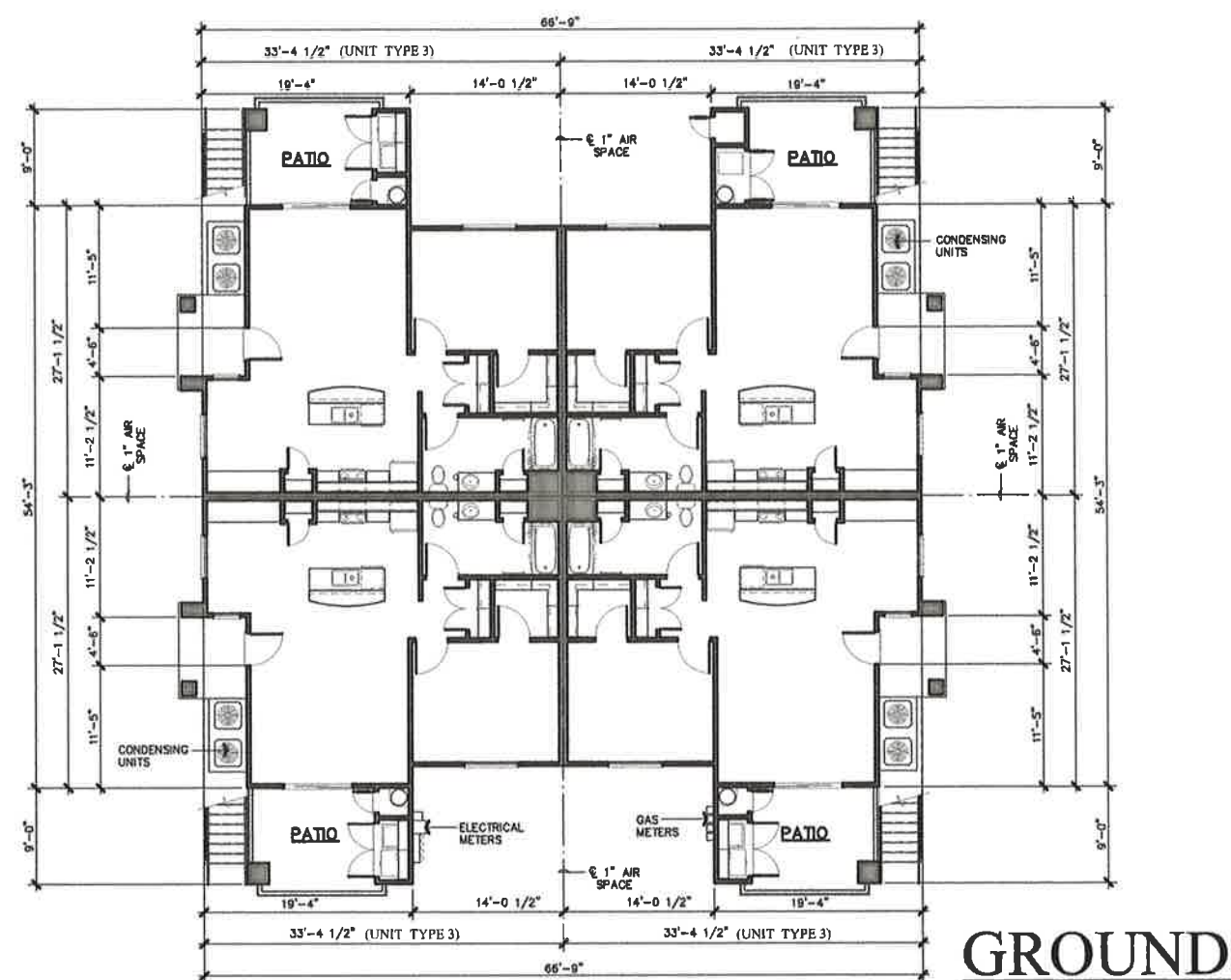
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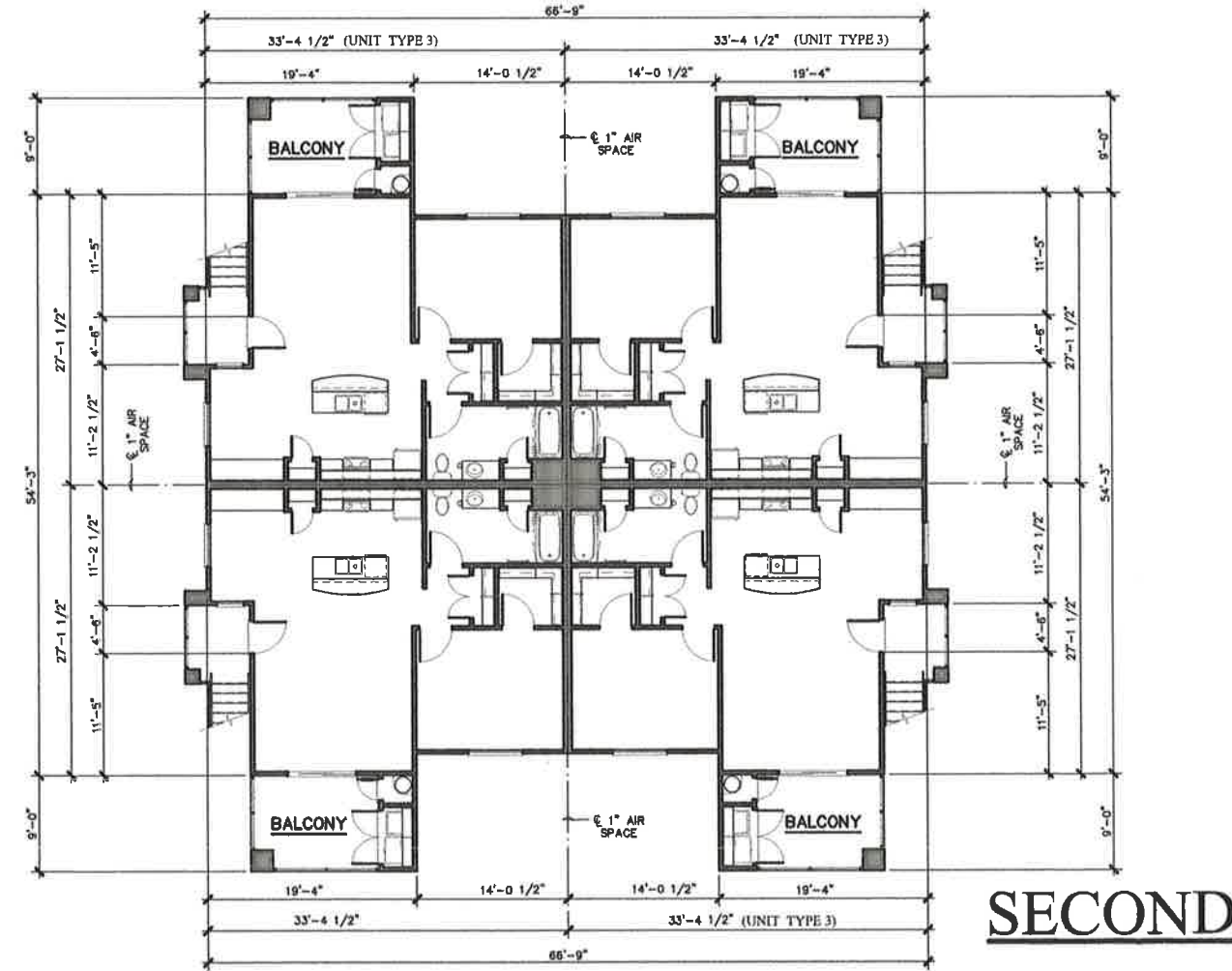
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Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA

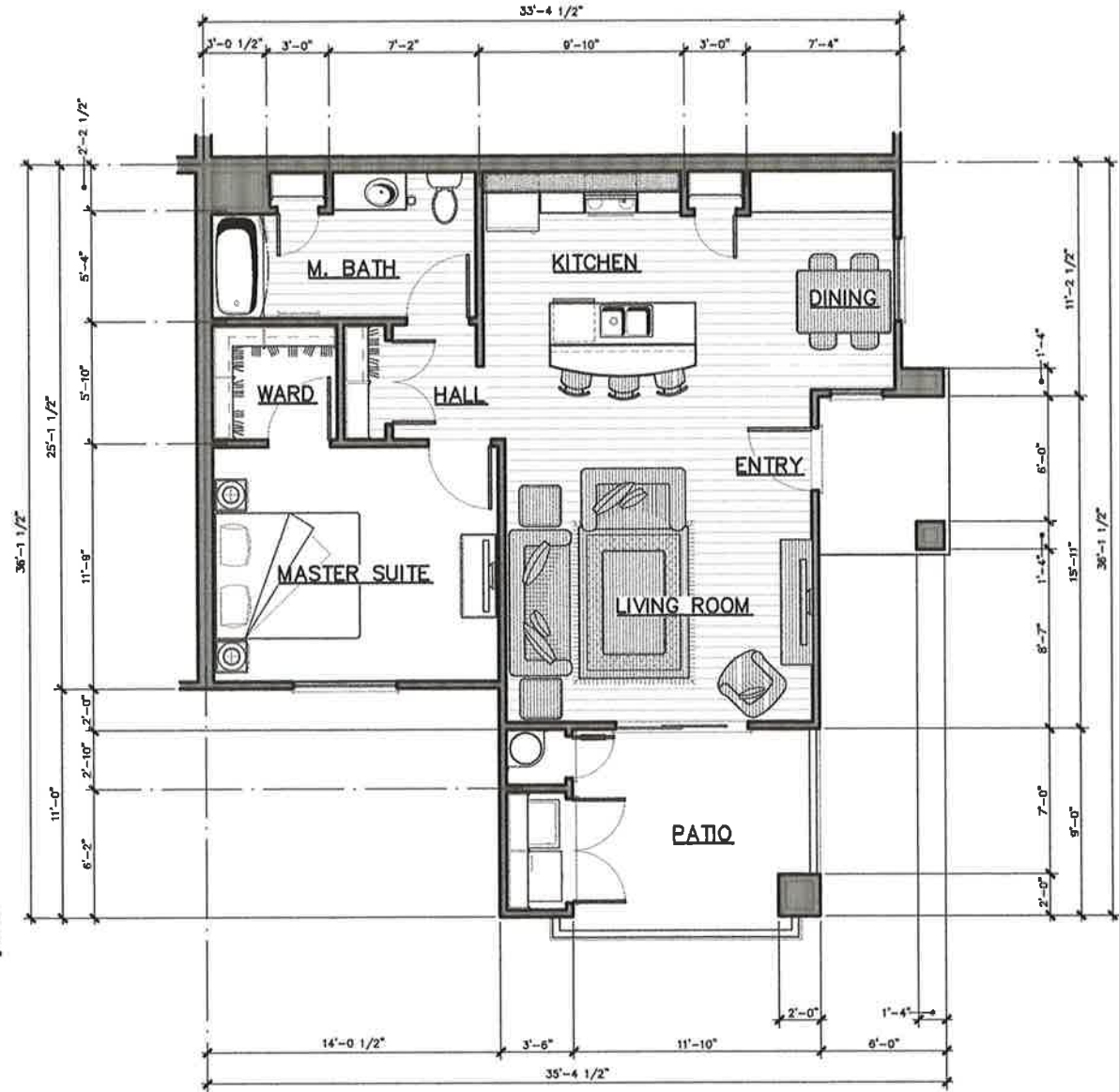
Project Number: 140818
 Plot Date: 05.23.16
 Sheet Number:



GROUND



SECOND



UNIT TYPE 3 FLOOR PLAN 1/4" = 1'-0"

APPL. NO. C-16-046 EXHIBIT F-3 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

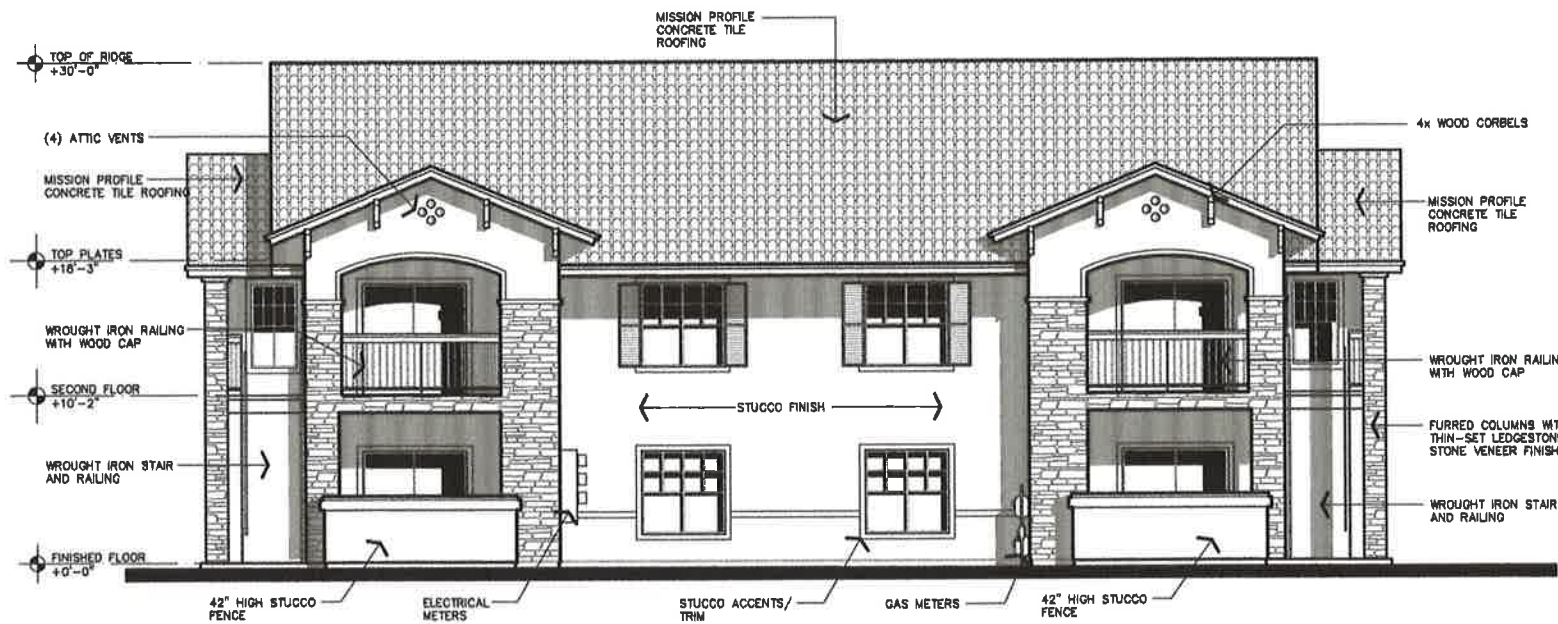
BUILDING STATISTICS

BUILDING UNIT MIX	(b) UNITS TYPE "3" 2 BEDROOMS 1 BATHROOMS WALK-UP UNIT 814 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	V-B WITH NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. GROUND FLOOR	
1. RESIDENTIAL UNITS	3,256 SQ. FT.
2. COVERED PORCH/ PATIOS	752 SQ. FT.
b. SECOND FLOOR	
1. RESIDENTIAL UNITS	3,256 SQ. FT.
2. COVERED PORCH/ PATIOS	752 SQ. FT.
TOTAL BUILDING AREA	8,016 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. INTERIOR BEARING WALLS	NON-RATED
c. INTERIOR NON-BEARING WALLS	NON-RATED
d. CEILING/ROOF ASSEMBLY	NON-RATED
e. FLOOR/CEILING ASSEMBLY	WJ-1.6 ONE HOUR RATED FLOOR/CEILING PER ASTM E 119/NFPA 251
f. UNIT COMMON WALLS	ONE HOUR RATED (G.A. FILE NO. WP-3370)
g. SHAFT ENCLOSURES	NONE OCCUR
h. EXTERIOR OPENINGS	NON-RATED

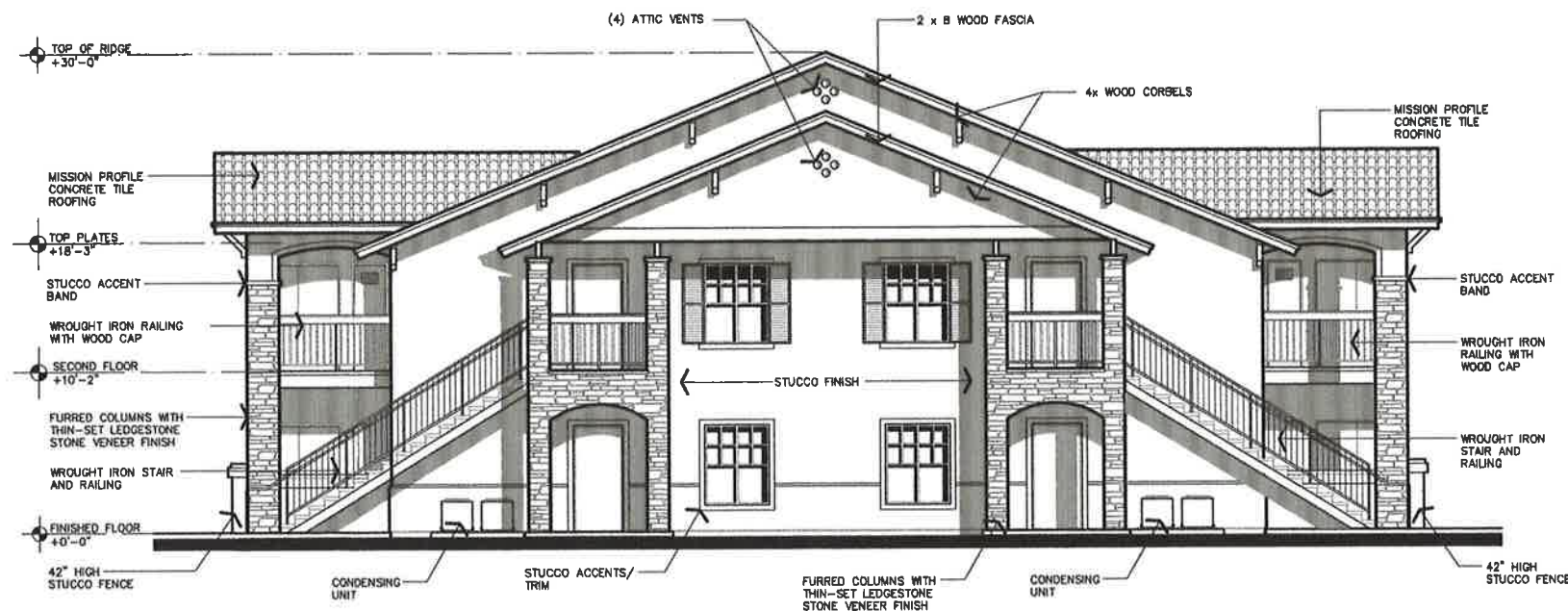
BUILDING C COMPOSITE PLAN 1/8" = 1'-0"

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BUILDING 'C' - FRONT / REAR

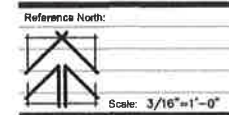


PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
**VILLAGES AT
THE RANCH**
N.E.C. CHESTNUT AND ALLUVIAL AVENUES
FRESNO, CALIFORNIA



Issuance:	Date:
<input checked="" type="radio"/> DESIGN REVIEW	05.20.16
<input type="radio"/> PLAN CHECK	
<input type="radio"/> BACK CHECK	
<input type="radio"/> PERMITS	
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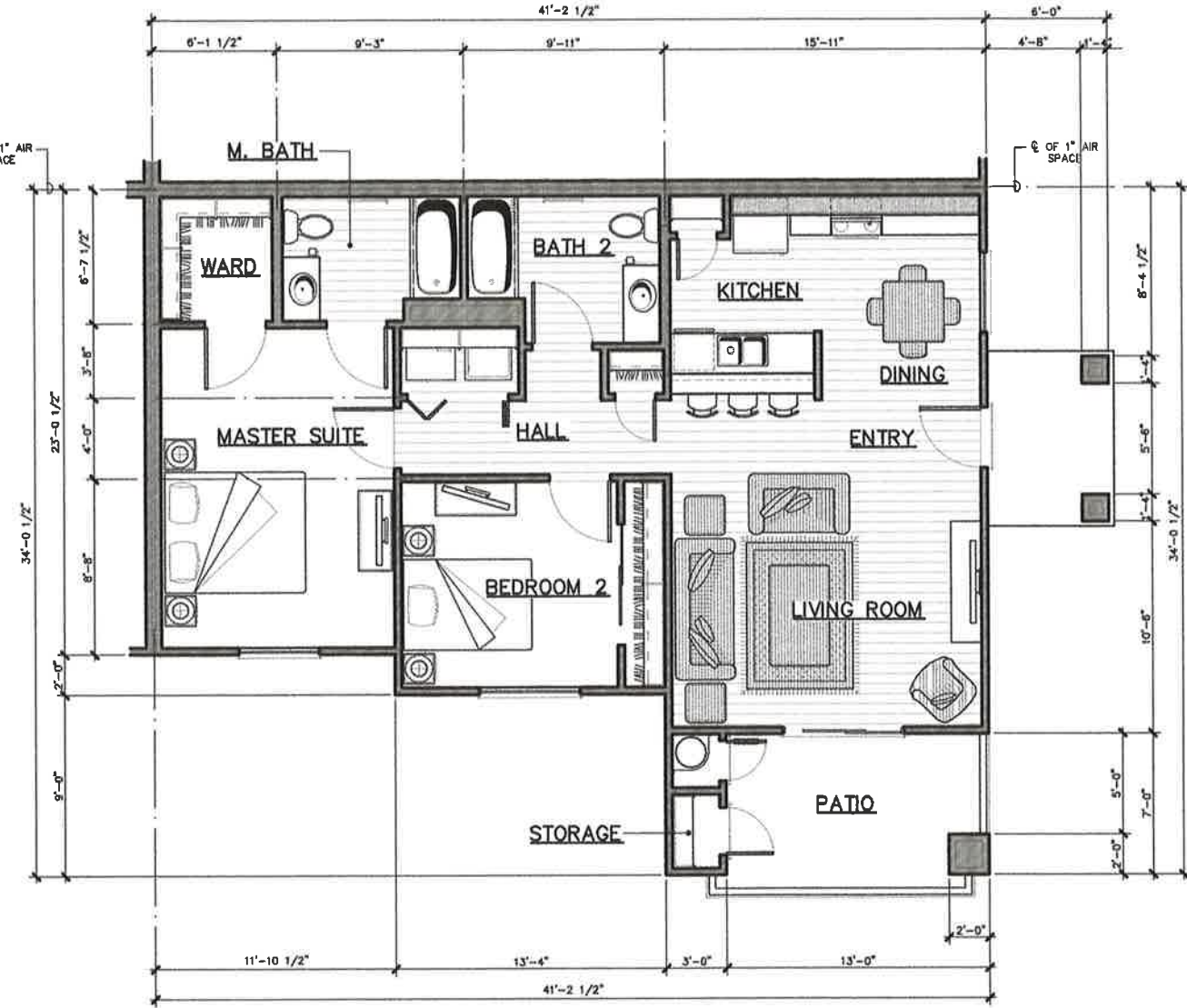
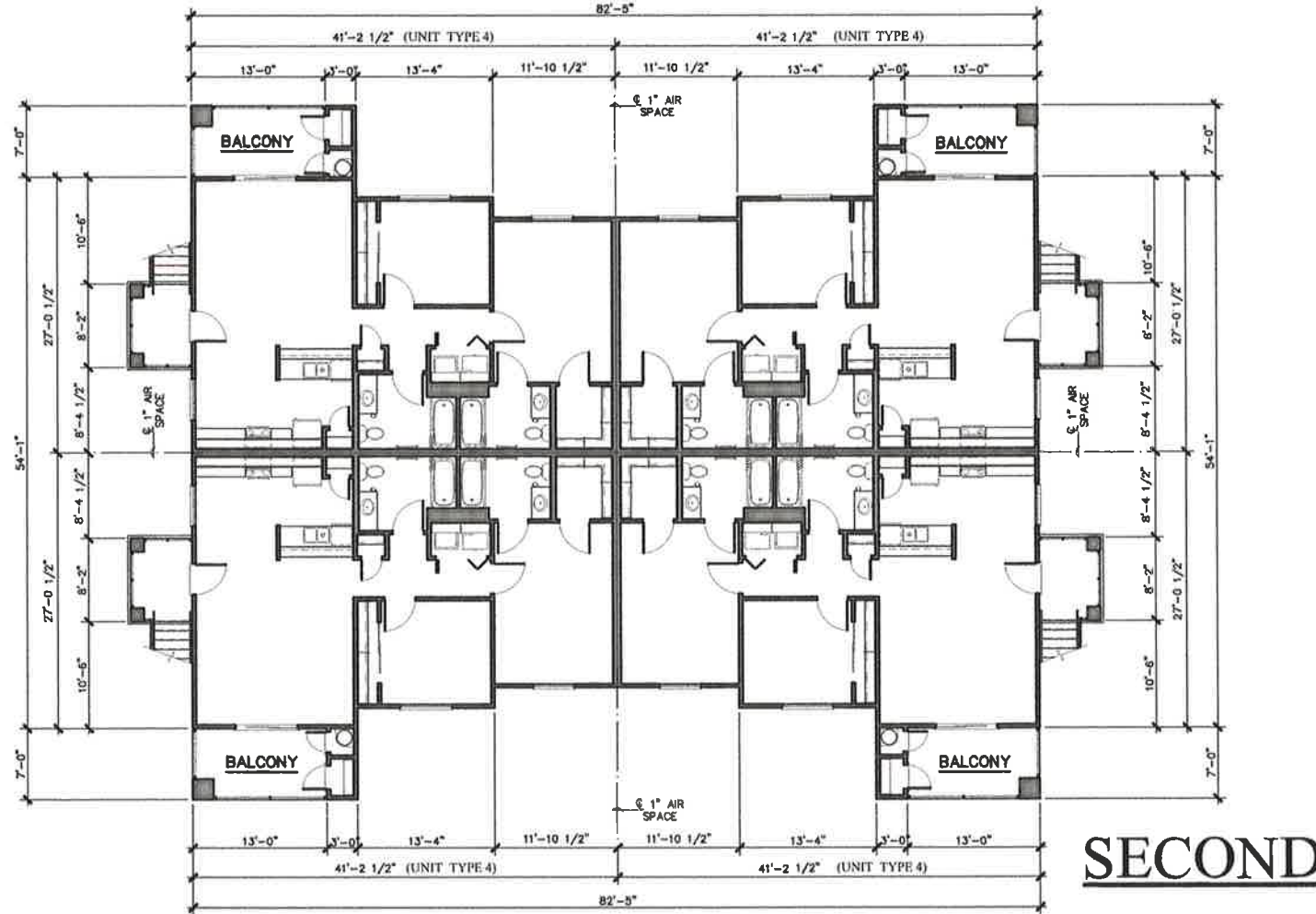
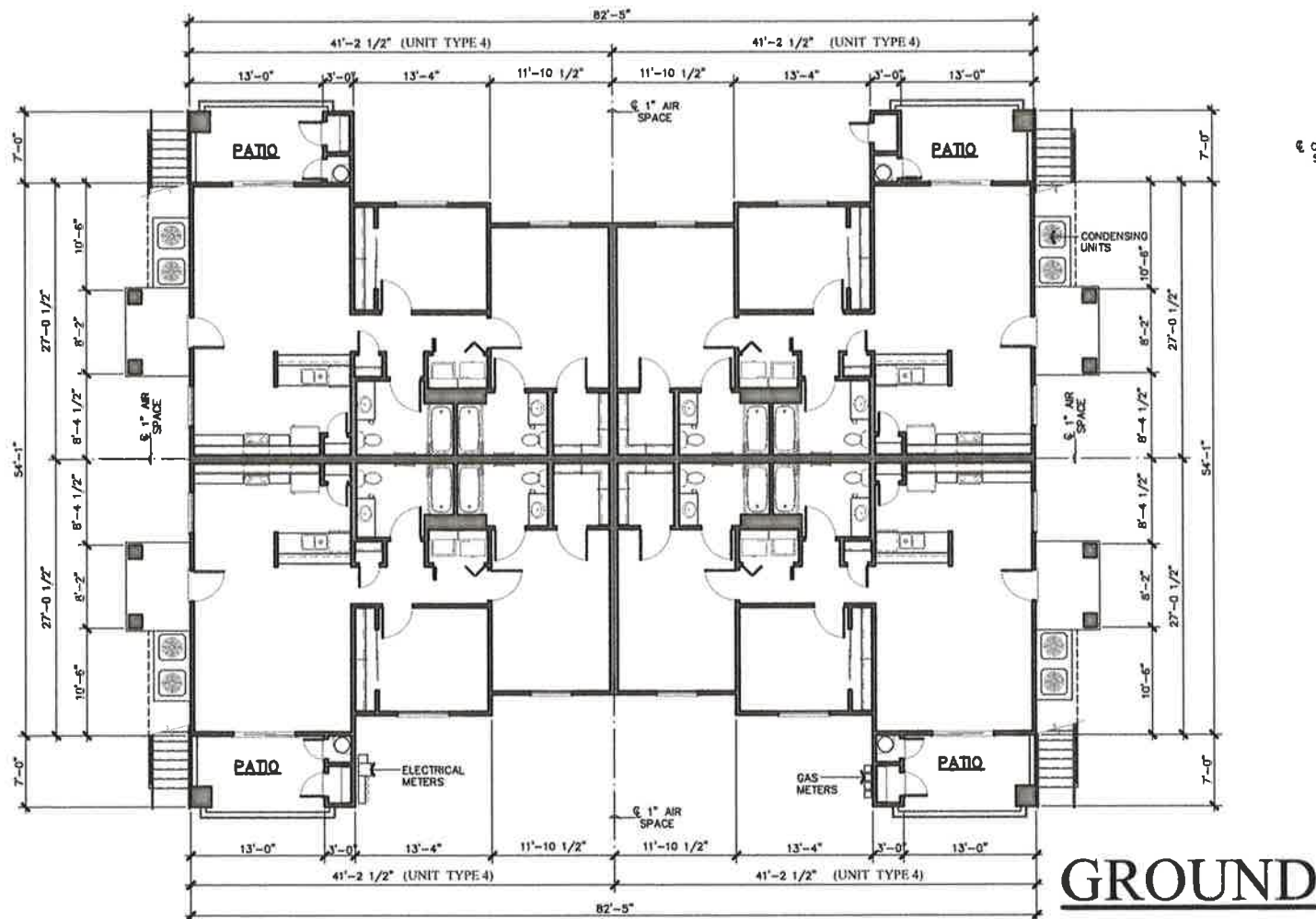
Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA
Project Number: 140818
Plot Date: 11.16.15
Sheet Number:

PA10
Of _____ Sheets _____

APPL. NO. C-16-046 EXHIBIT E-3 DATE 7-11-16
PROJ. ENG. _____ DATE _____
TRAFFIC ENG. _____ DATE _____
COND. APPROVED BY _____ DATE _____
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

**EXTERIOR
ELEVATIONS**

3/16" = 1'-0"



UNIT TYPE 4 FLOOR PLAN

1/4" = 1'-0"

BUILDING STATISTICS

BUILDING UNIT MIX	(8) UNITS TYPE "A" 2 BEDROOMS 2 BATHROOMS WALK-UP UNIT 1,040 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	V-B WITH NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. GROUND FLOOR	1,160 SQ. FT.
1. RESIDENTIAL UNITS	684 SQ. FT.
2. COVERED PORCH/PATIOS	476 SQ. FT.
b. SECOND FLOOR	4,180 SQ. FT.
1. RESIDENTIAL UNITS	564 SQ. FT.
2. COVERED PORCH/PATIOS	3,616 SQ. FT.
TOTAL BUILDING AREA	9,548 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. INTERIOR BEARING WALLS	NON-RATED
c. INTERIOR NON-BEARING WALLS	NON-RATED
d. CEILING/ROOF ASSEMBLY	NON-RATED
e. FLOOR/CEILING ASSEMBLY	1 1/2-HR ONE HOUR RATED FLOOR/CEILING PER ASTM E 119/NFPA 251
f. UNIT COMMON WALLS	ONE HOUR RATED (G.A. FILE NO. WP-3370)
g. SHAFT ENCLOSURES	NONE OCCUR
h. EXTERIOR OPENINGS	NON-RATED

APPL. NO. C-16-046 EXHIBIT F-4 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

BUILDING D COMPOSITE PLAN

1/8" = 1'-0"

THE VINCENT COMPANY
 ARCHITECTS, INC.
 1500 West Shaw, Ste. 304
 Fresno, California 93711
 Phone: 559.225.2602

Revisions	Date
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issues:	Date:
DESIGN REVIEW	05.20.16
PLAN CHECK	
BACK CHECK	
PERMITS	
CONSTRUCTION	
AS BUILT	

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Reference Note:

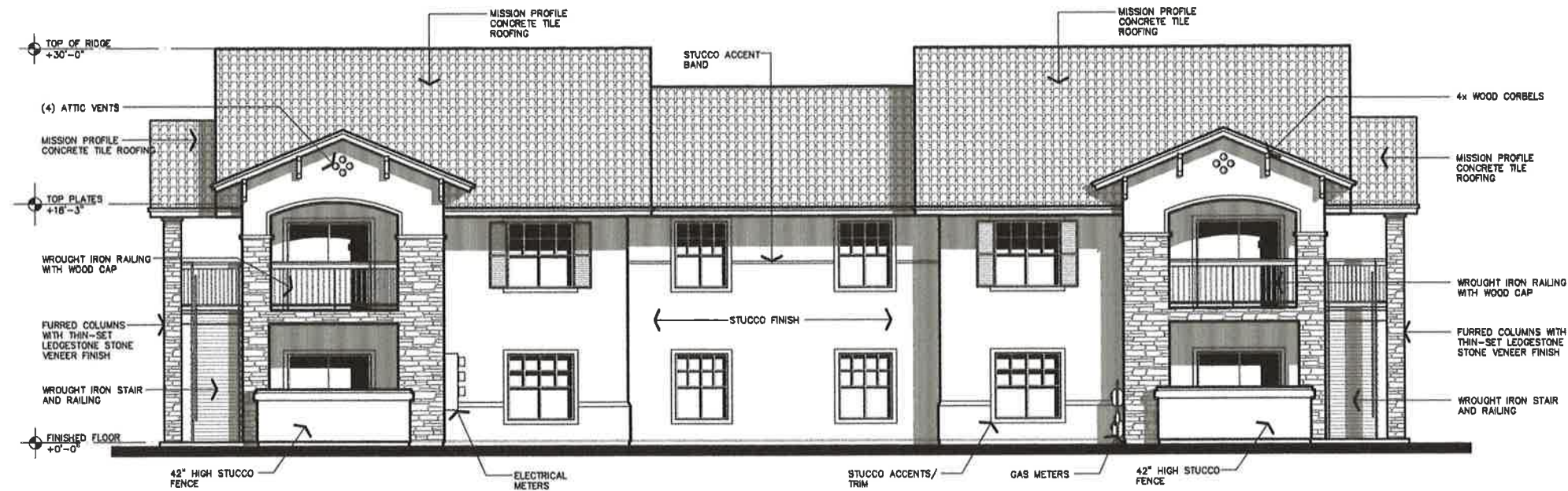
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Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA
 Project Number: 140818
 Plot Date: 05.23.16
 Sheet Number:

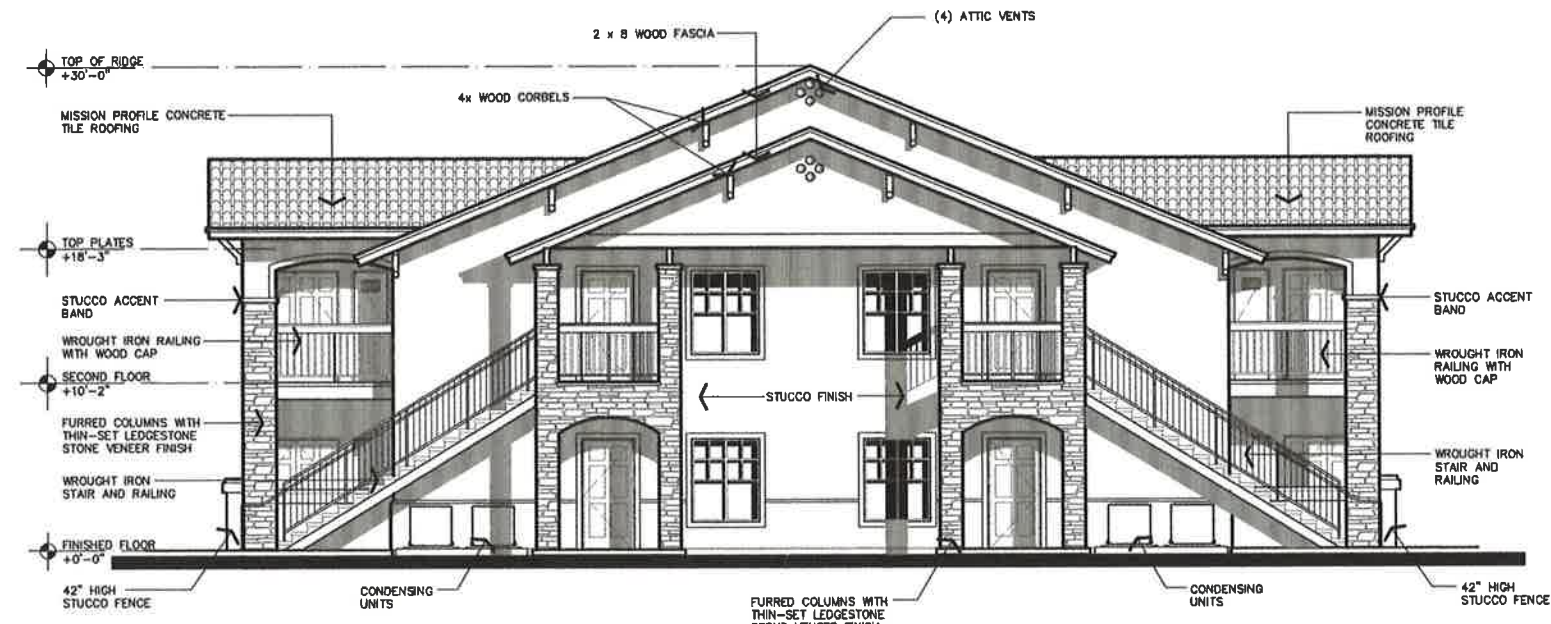
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Revisions	Date



BUILDING 'D' - FRONT / REAR



BUILDING 'D' - END

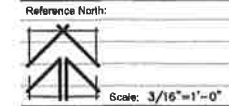
APPL. NO. C-16-046, EXHIBIT E-4 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issues:	Date:
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<input type="radio"/> CONSTRUCTION	
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Reference North:
 Scale: 3/16" = 1'-0"
 Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA
 Project Number: 140818
 Plot Date: 11-18-15
 Sheet Number:

**EXTERIOR
ELEVATIONS**

PA12

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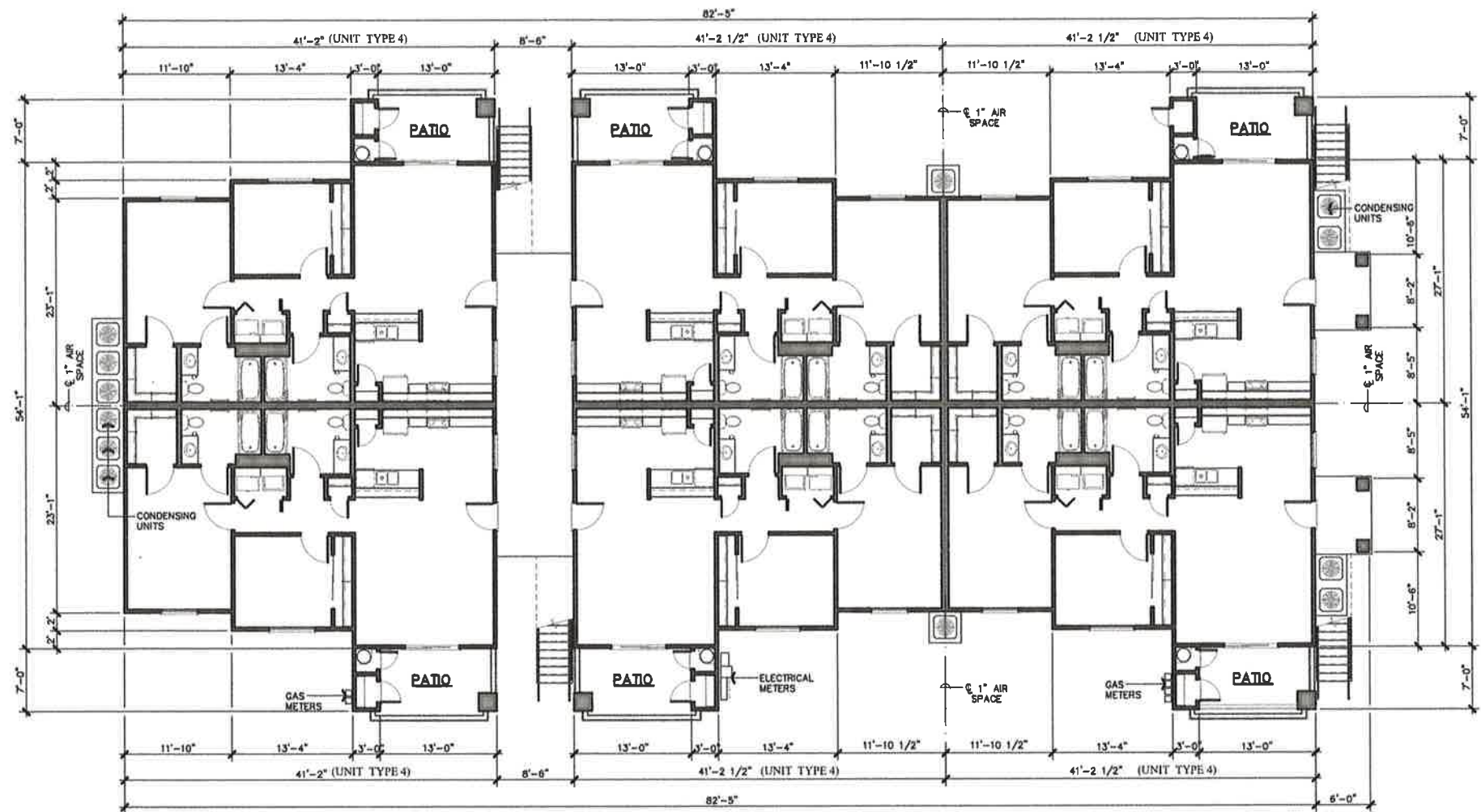
BUILDING STATISTICS

BUILDING UNIT MIX	(12) UNITS TYPE "4" 2 BEDROOMS 2 BATHROOMS WALK-UP UNIT 1,040 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	V-B WITH NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. GROUND FLOOR	6,240 SQ. FT.
1. RESIDENTIAL UNITS	996 SQ. FT.
2. COVERED PORCH/ PATIOS	
b. SECOND FLOOR	6,240 SQ. FT.
1. RESIDENTIAL UNITS	996 SQ. FT.
2. COVERED PORCH/ PATIOS	
TOTAL BUILDING AREA	14,472 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. INTERIOR BEARING WALLS	NON-RATED
c. INTERIOR NON-BEARING WALLS	NON-RATED
d. CEILING/ROOF ASSEMBLY	NON-RATED
e. FLOOR/CEILING ASSEMBLY	TSC/FCA 80-01 ONE HOUR RATED FLOOR/ CEILING PER ASTM E119/ NFPA 251
f. UNIT COMMON WALLS	ONE HOUR RATED (G.A. FILE NO. WP-3370)
g. SHAFT ENCLOSURES	NONE OCCUR
h. EXTERIOR OPENINGS	NON-RATED

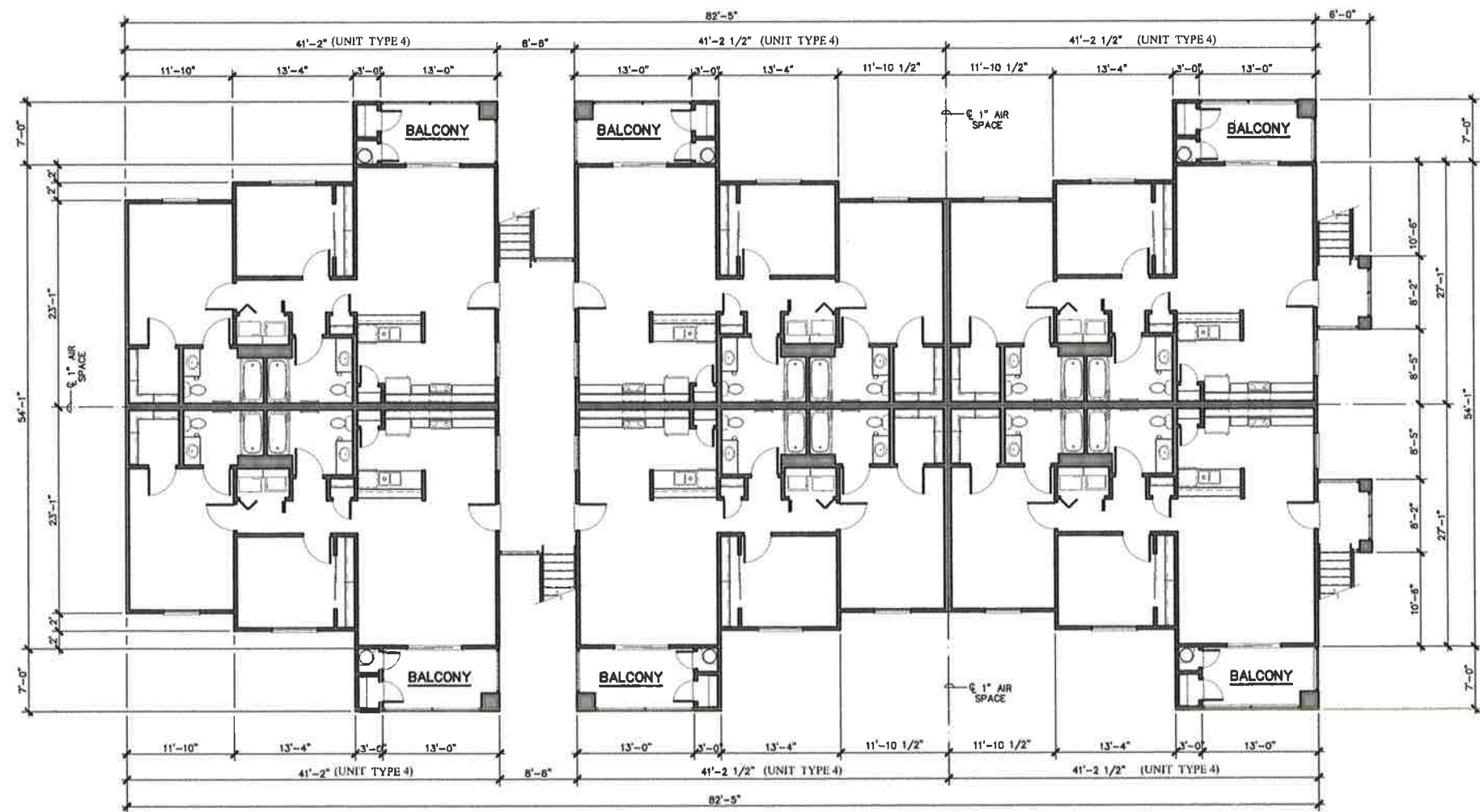
**T H E
VINCENT
COMPANY**
ARCHITECTS, INC.
1500 West Shaw, Ste. 304
Fresno, California 93711

Phone: 559.225.2602

Revisions	Date



GROUND



SECOND

BUILDING E COMPOSITE PLAN

1/8" = 1'-0"

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:

**VILLAGES AT
THE RANCH**

N.E.C. CHESTNUT AND ALLUVIAL AVENUES
FRESNO, CALIFORNIA



APPL. NO. C-16-046 EXHIBIT F-5 DATE 7-11-16
 APPL. NO. _____ EXHIBIT _____ DATE _____
 PROJ. ENG. _____ DATE _____
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

Issuance:	Date:
<input checked="" type="radio"/> DESIGN REVIEW	05.20.16
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Reference North:

Scale: 1/8" = 1'-0"

Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA

Project Number: 140818
Plot Date: 05.23.16
Sheet Number:

PA13

Of _____ Sheets _____

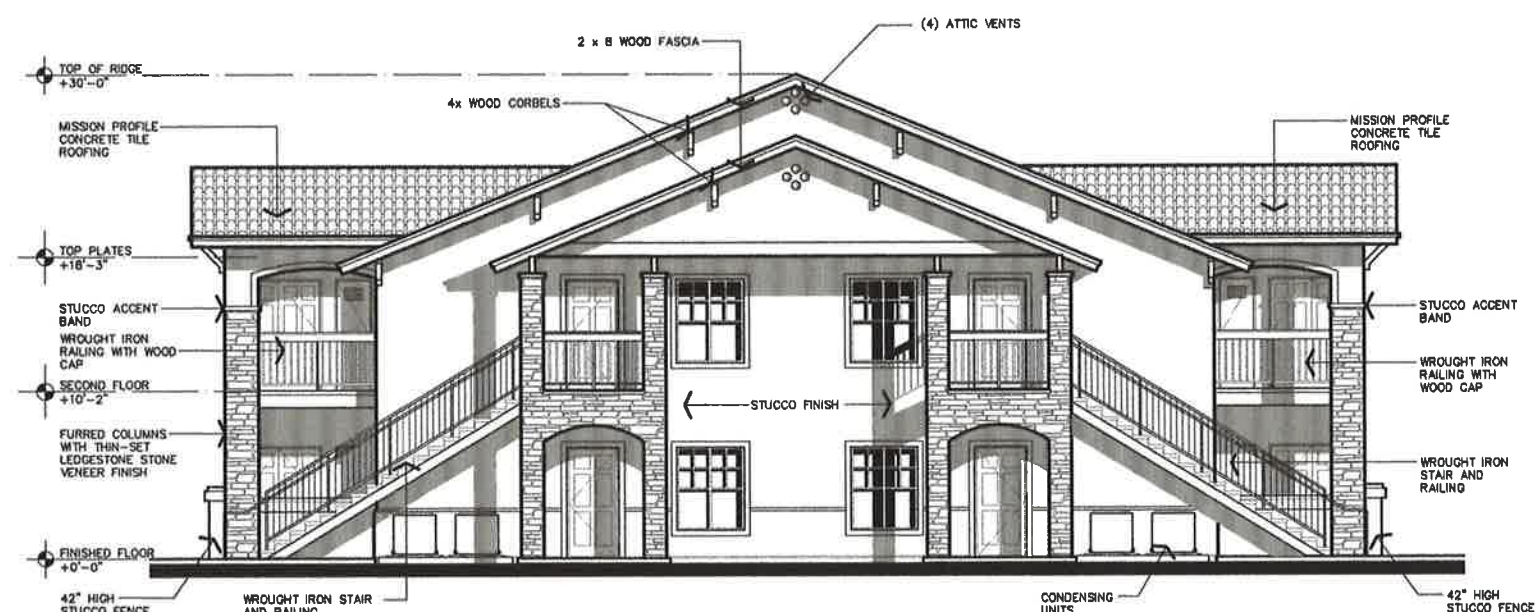
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Revisions	Date

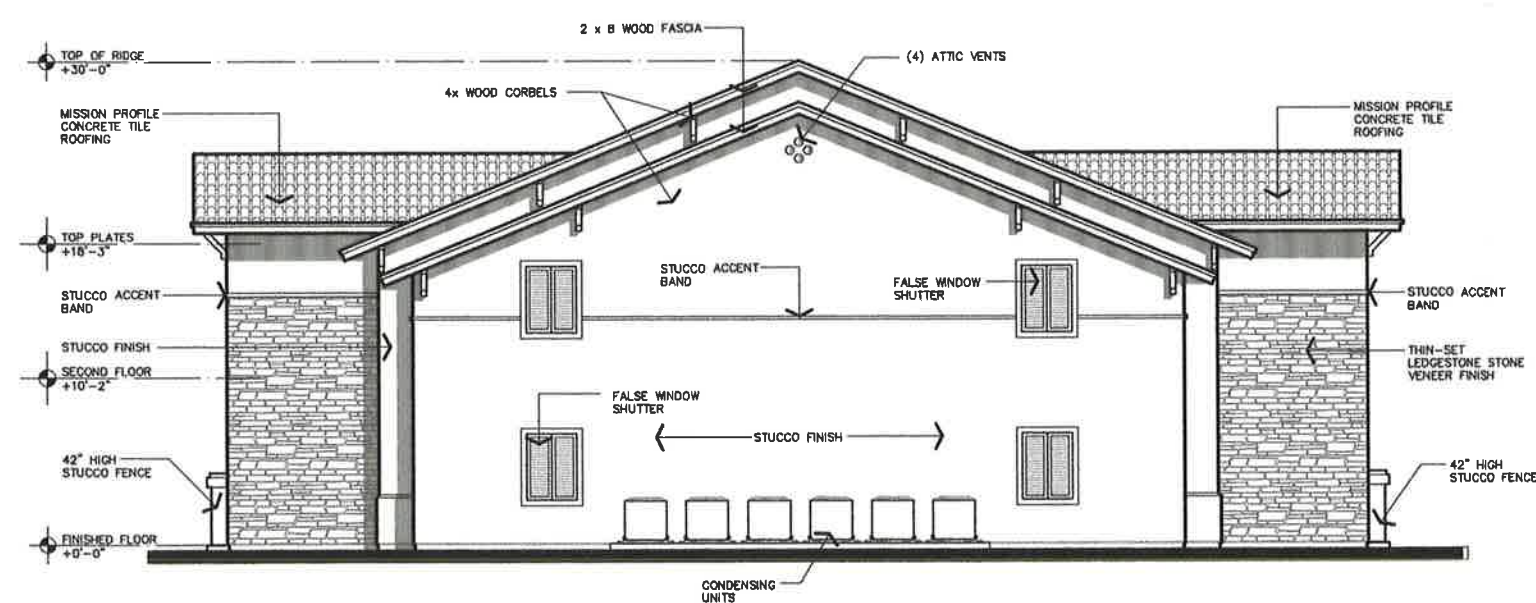
PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
**VILLAGES AT
THE RANCH**
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



BUILDING 'E' - FRONT / REAR



BUILDING 'E' - RIGHT



BUILDING 'E' - LEFT

APPL. NO. C-16-046 EXHIBIT E-5 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
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 Reference Note:

 Scale: 3/16" = 1'-0"
 Project Name: VILLAGES AT THE RANCH
 FRESNO, CALIFORNIA
 Project Number: 140818
 Plot Date: 05 23 16
 Sheet Number:

**EXTERIOR
ELEVATIONS**

PA14
Of _____ Sheets _____

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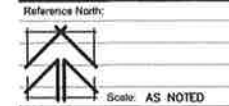
PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
N.E.C. CHESTNUT AND ALLUVIAL AVENUES
FRESNO, CALIFORNIA

Project Architect:



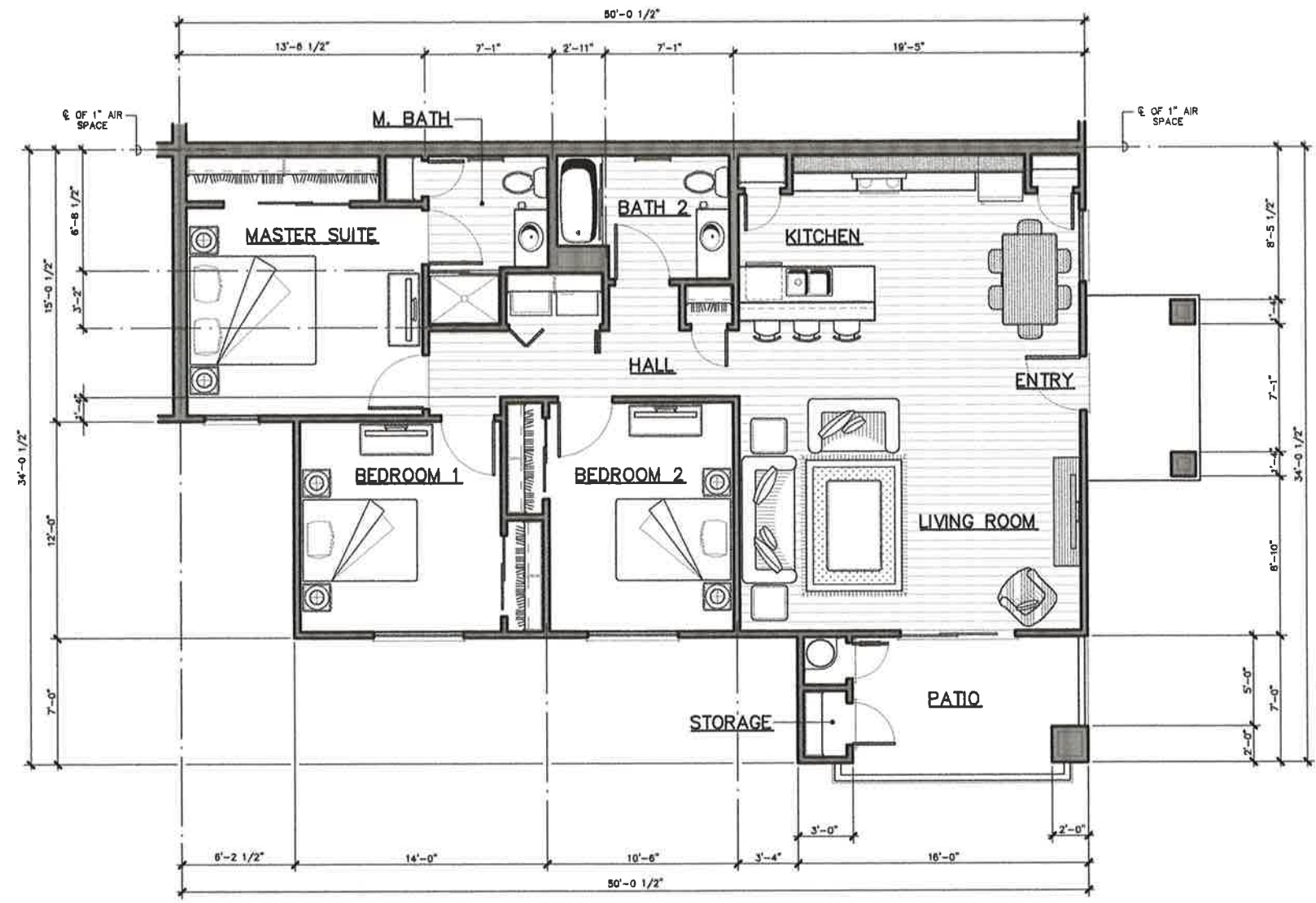
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○ PLAN CHECK	
○ BACK CHECK	
○ PERMITS	
○ CONSTRUCTION	
○ AS BUILT	

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Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA
Project Number: 140818
Plot Date: 05.23.16
Sheet Number:

PA15



APPL. NO. C-16-046 EXHIBIT F-10 DATE 7-11-16

PROJ. ENG. _____ DATE _____

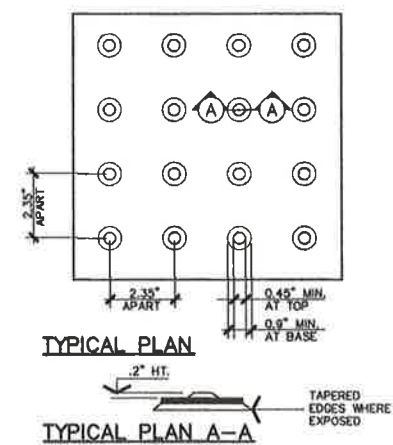
TRAFFIC ENG. _____ DATE _____

COND. APPROVED BY _____ DATE _____

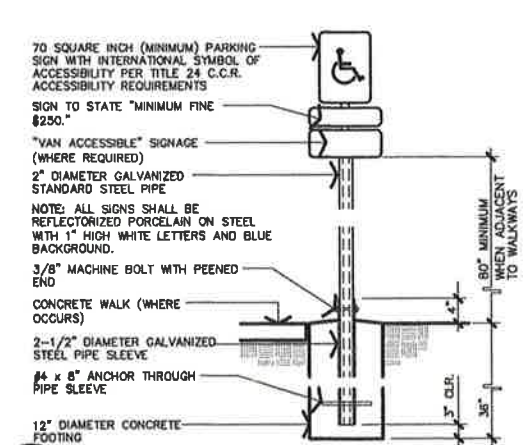
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

UNIT TYPE 5 FLOOR PLAN

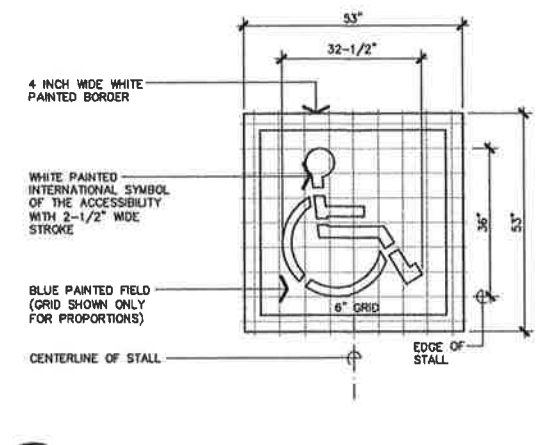
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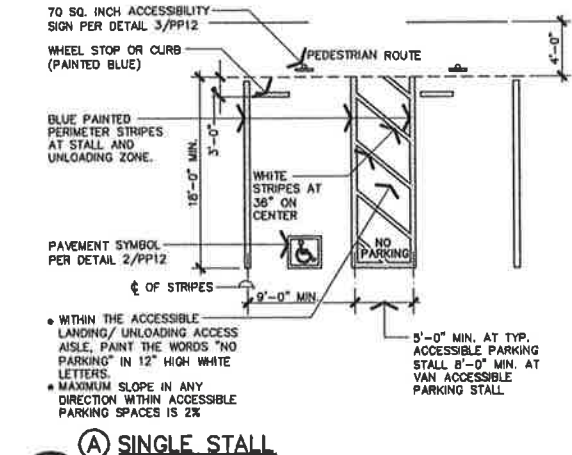
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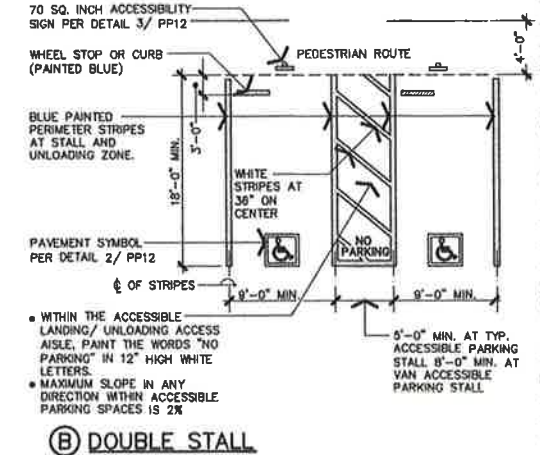
3 ACCESSIBLE STALL SIGNAGE



2 PAINTED STALL EMBLEM

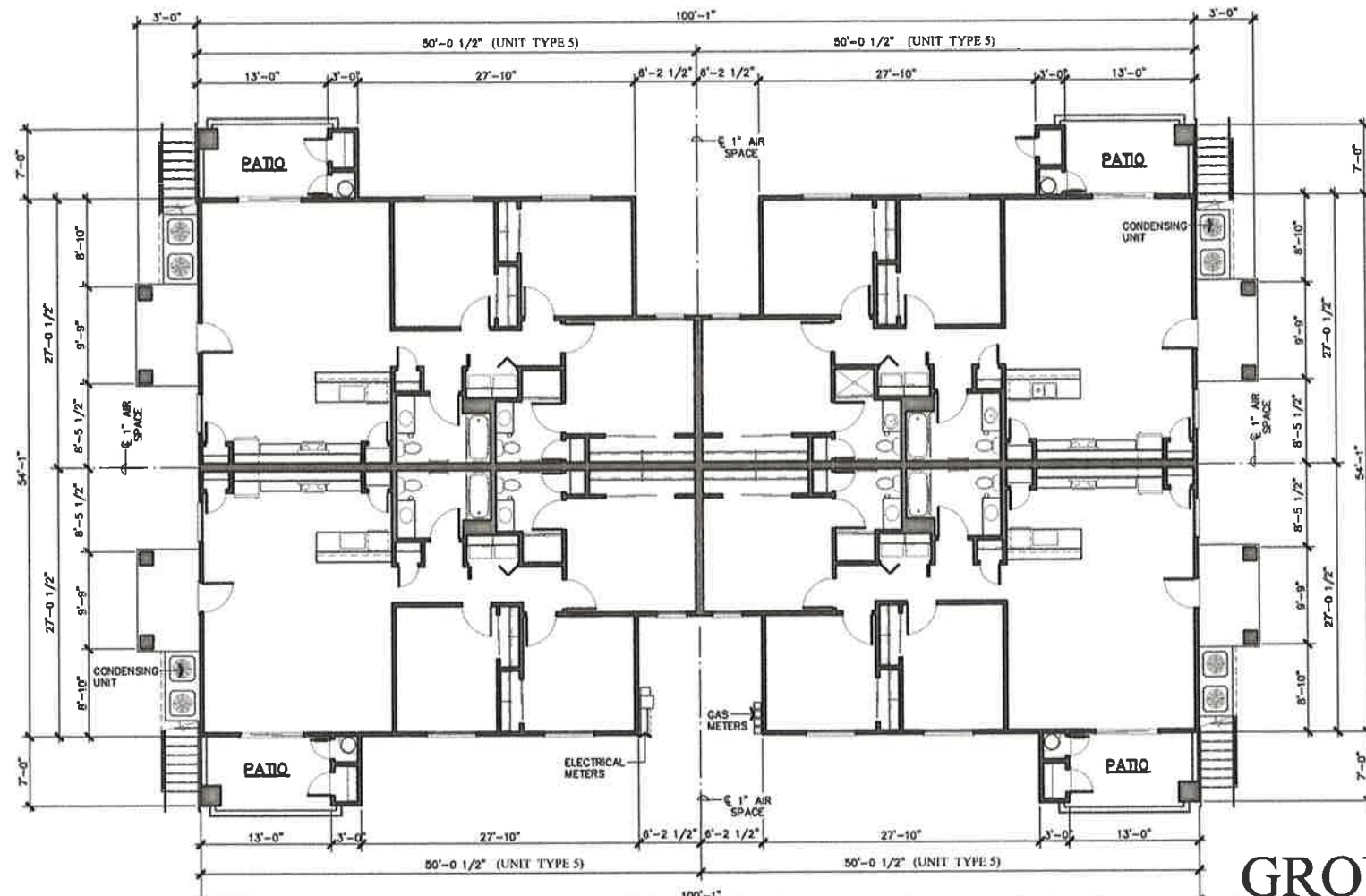


1 ACCESSIBLE PARKING STALL

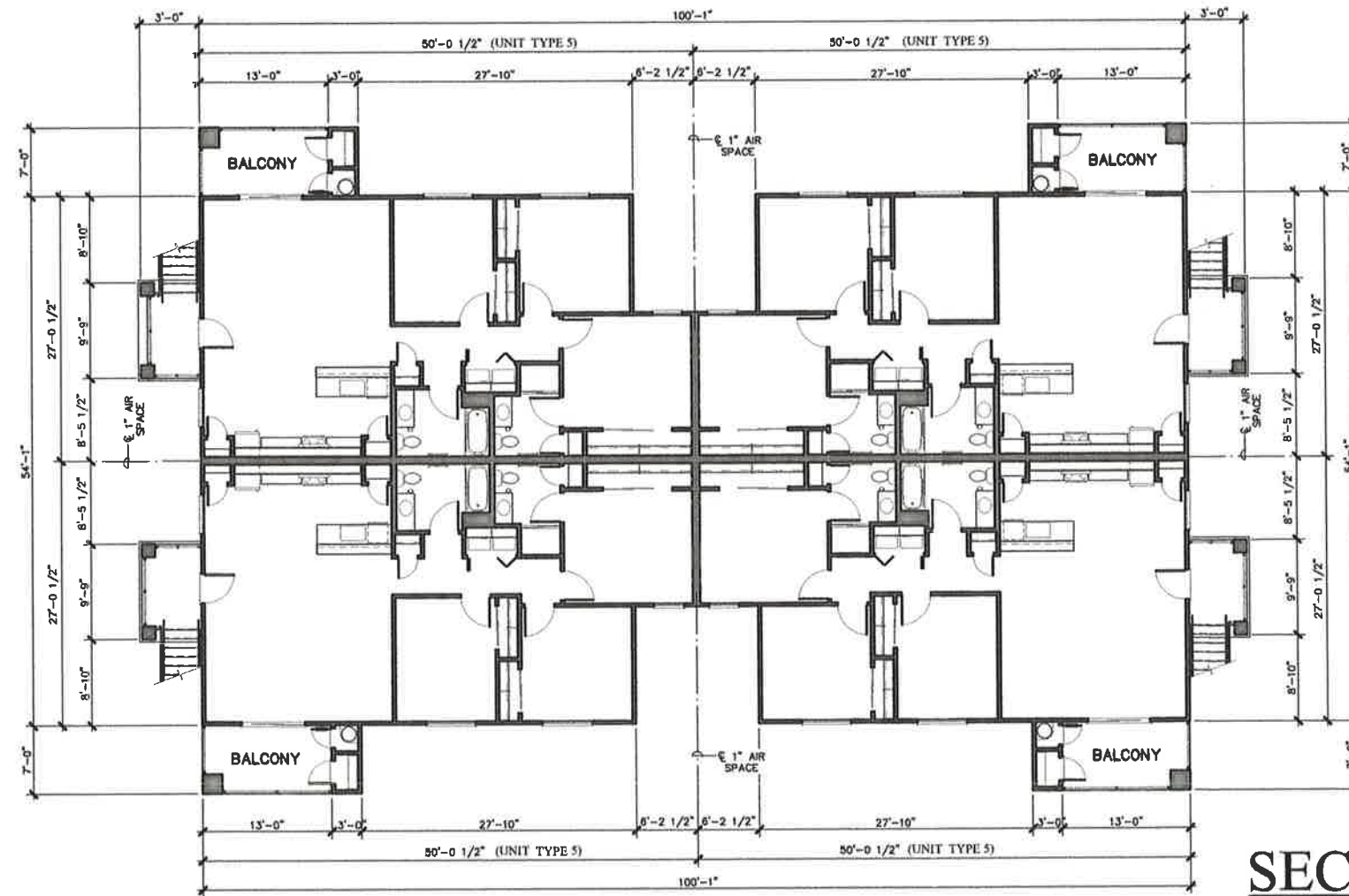


B DOUBLE STALL

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GROUND



SECOND

**BUILDING F
COMPOSITE PLAN**

1/8" = 1'-0"

BUILDING STATISTICS

BUILDING UNIT MIX	(8) UNITS TYPE "5" 3 BEDROOMS 2 BATHROOMS WALK-UP UNIT 1,279 SQ. FT./UNIT
OCCUPANCY GROUP	R-2
CONSTRUCTION TYPE	V-B WITH NFPA 13R AUTOMATIC FIRE SPRINKLER SYSTEM
BUILDING AREA	
a. GROUND FLOOR	5,116 SQ. FT.
1. RESIDENTIAL UNITS	704 SQ. FT.
2. COVERED PORCH/ PATIOS	
b. SECOND FLOOR	5,116 SQ. FT.
1. RESIDENTIAL UNITS	704 SQ. FT.
2. COVERED PORCH/ PATIOS	
TOTAL BUILDING AREA	11,640 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. INTERIOR BEARING WALLS	NON-RATED
c. INTERIOR NON-BEARING WALLS	NON-RATED
d. CEILING/ROOF ASSEMBLY	NON-RATED
e. FLOOR/CEILING ASSEMBLY	WJ-1.6 ONE HOUR RATED FLOOR/CEILING PER ASTM E 118/NFPA 251
f. UNIT COMMON WALLS	ONE HOUR RATED (G.A. FILE NO. WP-3370)
g. SHAFT ENCLOSURES	NONE OCCUR
h. EXTERIOR OPENINGS	NON-RATED

THE VINCENT COMPANY ARCHITECTS, INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

Revision	Date
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PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
N.E.C. CHESTNUT AND ALLUVIAL AVENUES
FRESNO, CALIFORNIA



APPL. NO. C-16-046 EXHIBIT F-6 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

Insurances:	Date:
<input checked="" type="checkbox"/> DESIGN REVIEW	05.20.16
<input type="checkbox"/> PLAN CHECK	
<input type="checkbox"/> BACK CHECK	
<input type="checkbox"/> PERMITS	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS BUILT	

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

Reference North:

Scale: AS NOTED

Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA

Project Number: 140818
Plot Date: 05.23.16
Sheet Number:

PA16

Of _____ Sheets

2:00:414818 - Alluvia & Chamaica DESIGN PROPOSALS/SPR 03.18.16/PANIS - Building F - Composite Plan (wp). 5/31/2016 1:28:15 PM, andrew

Revisions	Date

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
**VILLAGES AT
THE RANCH**
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issues:	Date:
<input checked="" type="radio"/> DESIGN REVIEW	05.20.16
<input type="radio"/> PLAN CHECK	
<input type="radio"/> BACK CHECK	
<input type="radio"/> PERMITS	
<input type="radio"/> CONSTRUCTION	
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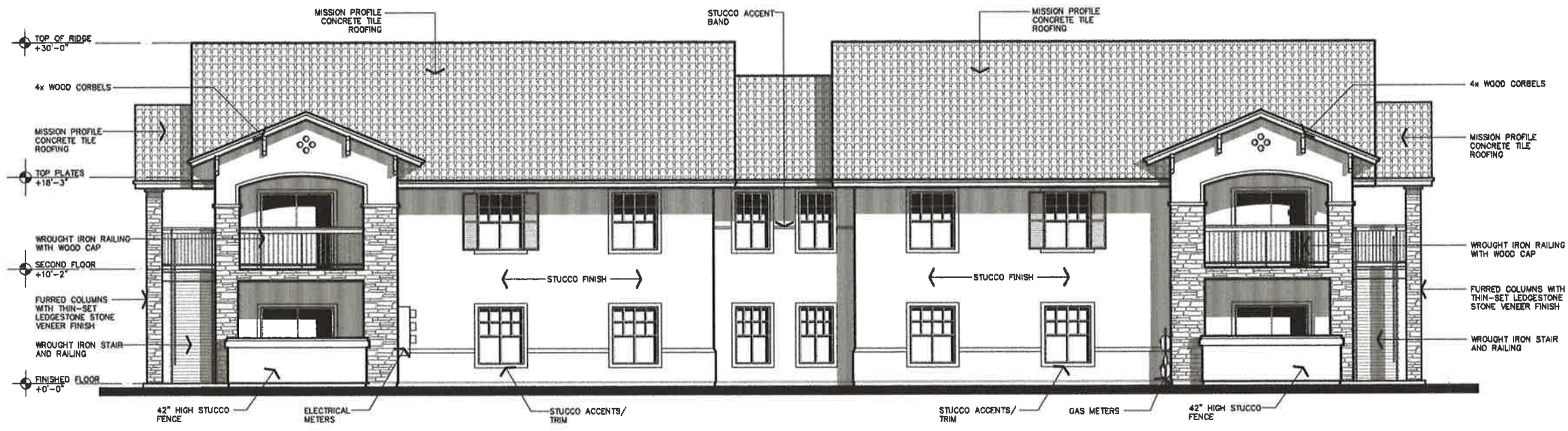
All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

Reference North:

Scale: 3/16"=1'-0"

Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA

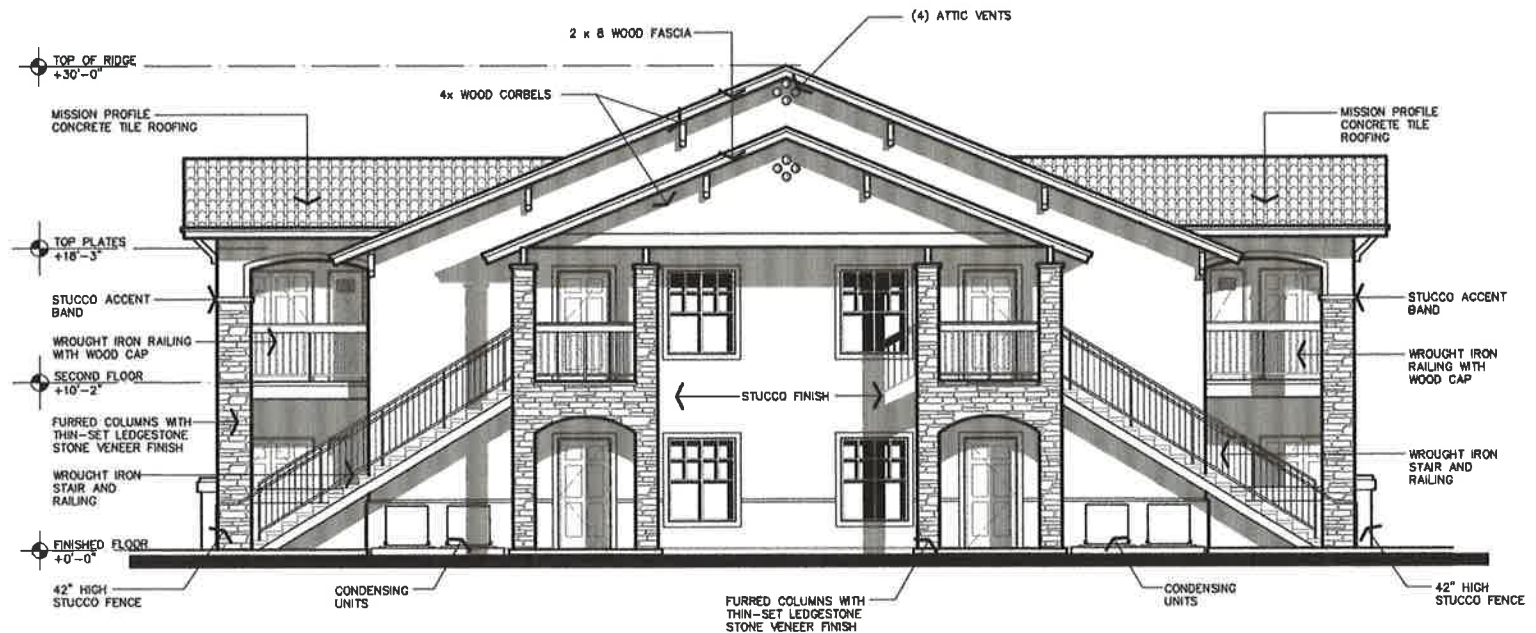
Project Number: 146818
Plot Date: 11.18.15
Sheet Number: **PA17**



BUILDING 'F' - FRONT / REAR

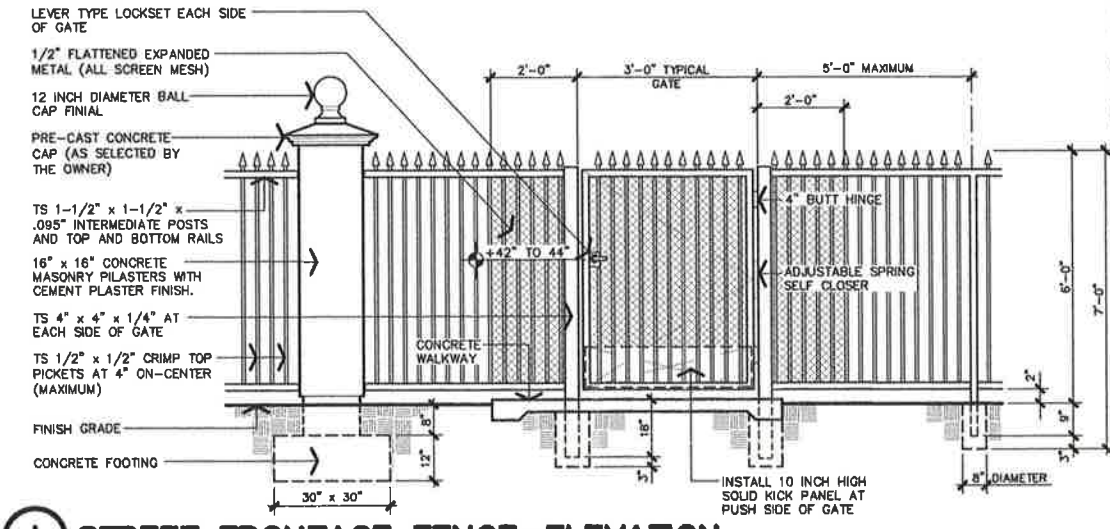
**EXTERIOR
ELEVATIONS**

3/16" = 1'-0"



BUILDING 'F' - END

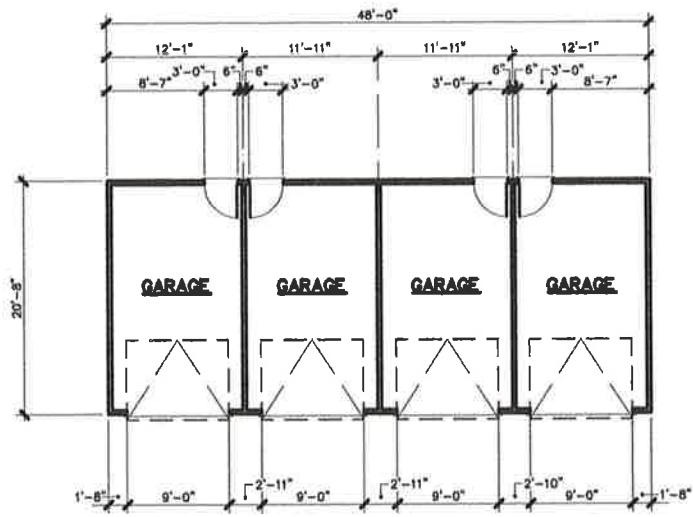
APPL. NO. C-16-046 EXHIBIT E-6 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



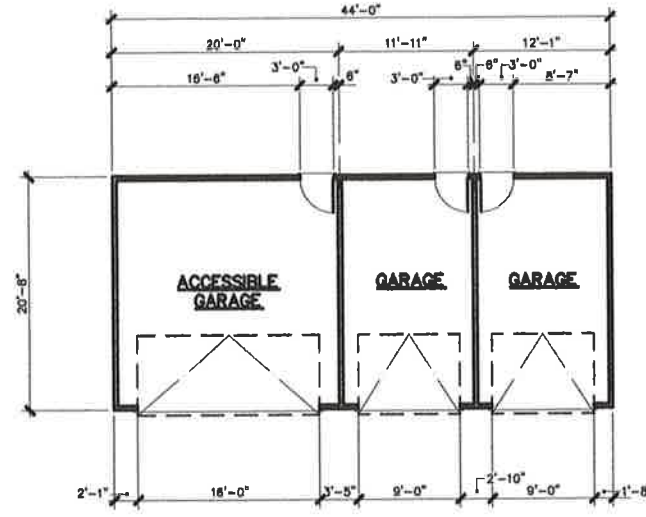
① STREET FRONTAGE FENCE-ELEVATION

Z:\2014\140818 - Alluvial & Chestnut\02 DESIGN PROPOSALS\SPR 03.18.16\PA17 - Building F - Exterior Elevations.dwg, 5/31/2016 12:43:34 PM, andrew

Z:\2014\1140818 - Alluvial & Chestnut2_DESIGN PROPOSALS\SPR 03.19.16\PA18 - Buildings G & H - Garage Plans.dwg, 5/31/2016 2:54:44 PM, CAD-3



BUILDING G FLOOR PLAN



BUILDING H FLOOR PLAN

BUILDING STATISTICS

BUILDING G	
BUILDING UNIT MIX	(4) SINGLE STALL GARAGES
OCCUPANCY GROUP	U-1
CONSTRUCTION TYPE	V-B
BUILDING AREA	1056 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. CEILING/ROOF ASSEMBLY	NON-RATED
c. INTERIOR WALLS	NON-RATED
d. EXTERIOR OPENINGS	NON-RATED

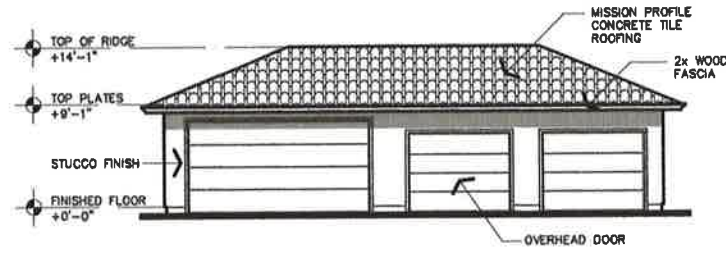
BUILDING H	
BUILDING UNIT MIX	(2) SINGLE STALL GARAGES (1) ACCESSIBLE STALL GARAGE
OCCUPANCY GROUP	U-1
CONSTRUCTION TYPE	V-B
BUILDING AREA	968 SQ. FT.
FIRE RESISTANCE REQUIREMENTS	
a. EXTERIOR WALLS	NON-RATED
b. CEILING/ROOF ASSEMBLY	NON-RATED
c. INTERIOR WALLS	NON-RATED
d. EXTERIOR OPENINGS	NON-RATED

THE VINCENT COMPANY
ARCHITECTS, INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

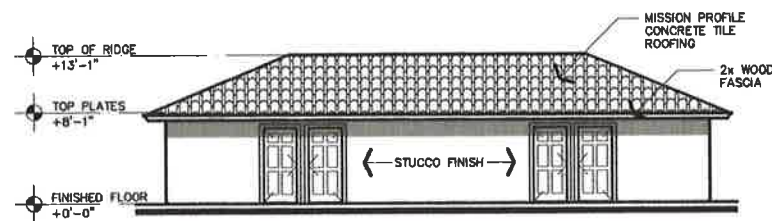
Revisions	Date



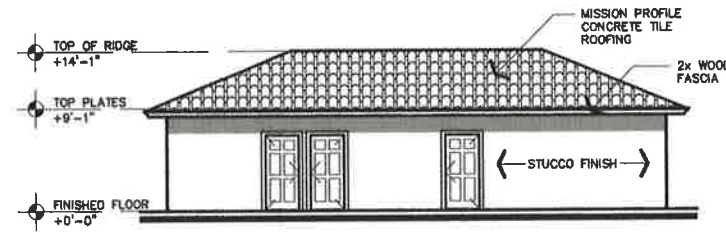
BUILDING G FRONT ELEVATION



BUILDING H FRONT ELEVATION

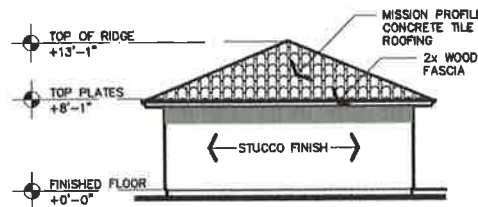


BUILDING G REAR ELEVATION

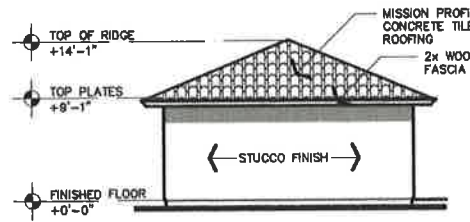


BUILDING H REAR ELEVATION

APPL. NO. C-16-046 EXHIBIT E-9, F-9 DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



BUILDING G END ELEVATION



BUILDING H END ELEVATION

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
VILLAGES AT THE RANCH
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issuances:	Date:
<input checked="" type="radio"/> DESIGN REVIEW	05 20 16
<input type="radio"/> PLAN CHECK	
<input type="radio"/> BACK CHECK	
<input type="radio"/> PERMITS	
<input type="radio"/> CONSTRUCTION	
<input type="radio"/> AS BUILT	

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Reference North:

Scale: 1/8" = 1'-0"

Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA

Project Number: 140818
Plot Date: 05 31 16
Sheet Number: _____

BUILDINGS G & H 1/8" = 1'-0"

PA18
Of _____ Sheets _____

Revisions	Date

PROPOSED MIXED-USE DEVELOPMENT COMPLEX:
**VILLAGES AT
THE RANCH**
 N.E.C. CHESTNUT AND ALLUVIAL AVENUES
 FRESNO, CALIFORNIA



Issuance:	Date:
<input checked="" type="radio"/> DESIGN REVIEW	05.20.16
<input type="radio"/> PLAN CHECK	
<input type="radio"/> BACK CHECK	
<input type="radio"/> PERMITS	
<input type="radio"/> CONSTRUCTION	
<input type="radio"/> AS BUILT	

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Reference North:

Scale: 1" = 40'-0"

Project Name: VILLAGES AT THE RANCH
FRESNO, CALIFORNIA

Project Number: 140618
Plot Date: 05.06.16

Sheet Number:

SYMBOLS

- STREET TREES**
SPECIES TO BE SELECTED BY THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT.
- LARGE TREES (30 - 35 FOOT CANOPY)**
SELECTED FROM THE LIST OF PROPOSED PLANT MATERIALS
- MEDIUM TREES (25 - 30 FOOT CANOPY)**
SELECTED FROM THE LIST OF PROPOSED PLANT MATERIALS
- SMALL TREES (20 - 25 FOOT CANOPY)**
SELECTED FROM THE LIST OF PROPOSED PLANT MATERIALS
- SHRUBS/ GROUND COVER / ANNUALS**
SELECTED FROM THE LIST OF PROPOSED PLANT MATERIALS
- LAWN**

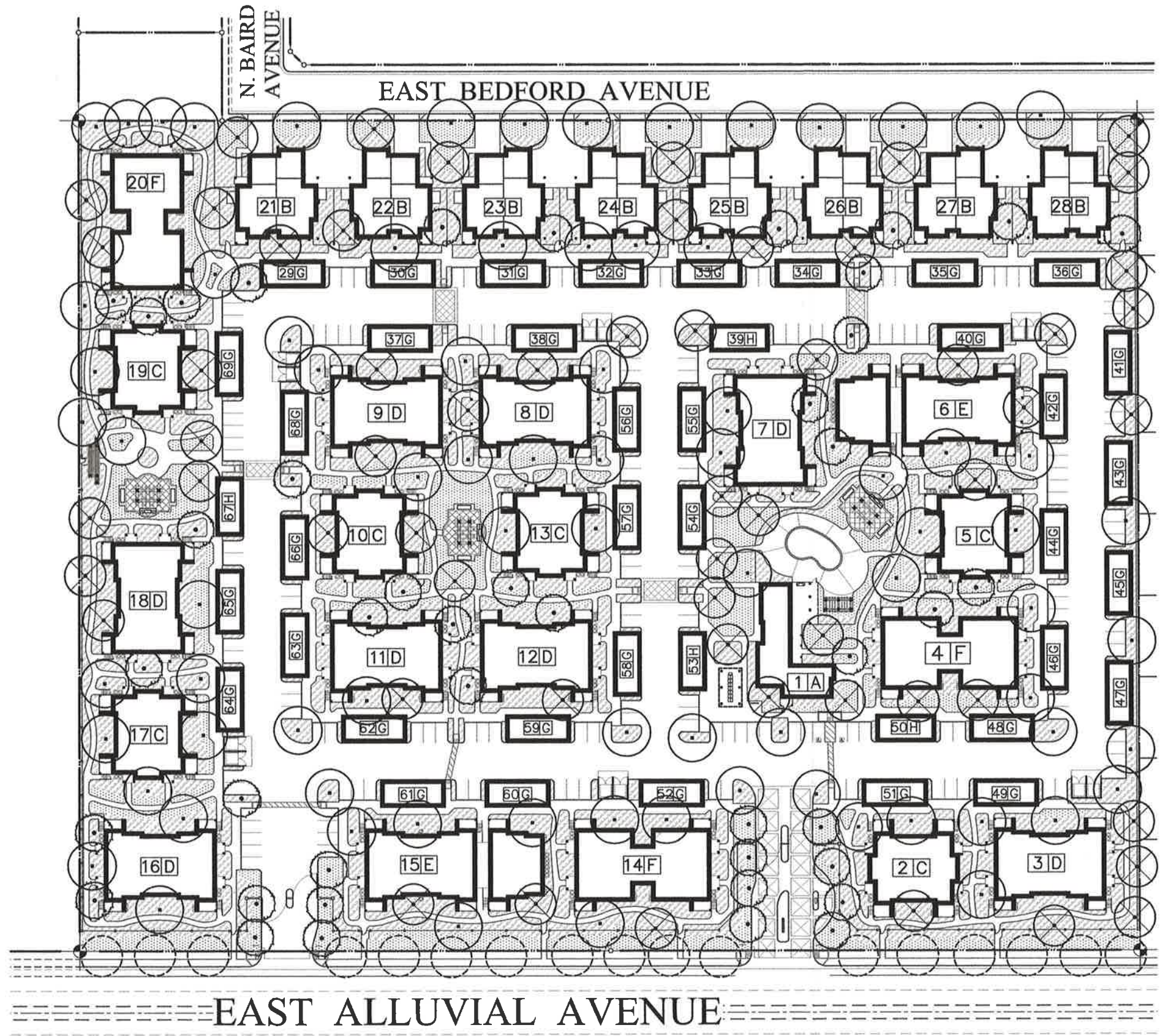
LANDSCAPE NOTES

- LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR SUBMISSION OF IRRIGATION PLANS TO THE ARCHITECT AND CITY OF FRESNO BUILDING AND INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE SYSTEM. PLANS SHALL INCLUDE LOCATION AND TYPE OF ALL HEADS; LOCATION, MATERIALS AND SIZE OF ALL WATER LINES AND CALCULATION VERIFYING ADEQUACY OF WATER SUPPLY.
- PLANTS SHALL BE NURSERY GROWN, TYPICAL OF THEIR SPECIES AND VARIETY, AND SHALL BE FREE FROM DEFECTS AND INJURIES. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1-1969 "AMERICAN STANDARD FOR NURSERY STOCK"
- LARGE TREES SHALL BE PLANTED FIRST. SHRUB PLANTING SHALL BE COMPLETED BEFORE GROUND COVER AND LAWN AREAS ARE PLANTED.
- ALL TREES, PLANTS AND GRASS PROVIDED UNDER THIS CONTRACT SHALL BE IN GOOD HEALTHY AND FLOURISHING CONDITION ONE GROWING YEAR FROM DATE OF ACCEPTANCE. EXCEPT FOR LOSS BEYOND CONTROL OF CONTRACTOR, REPLACEMENT OF TREES AND PLANTS OF COMPARABLE QUALITY AND SIZE SHALL BE MADE BY THE CONTRACTOR.
- ALL LANDSCAPING SHALL BE IN PLACE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE) ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPED AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS, ETC. ARE TO BE SHOWN ON THE SITE PLAN. THE BACKFLOW PREVENTION DEVICE SHALL BE SCREENED BY LANDSCAPING OR OTHER SUCH MEANS AS MAY BE APPROVED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY BE OTHERWISE APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPE AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPARTMENT.

PLANT MATERIALS

THE FOLLOWING IS A PROPOSED LIST OF PLANT MATERIALS TO BE UTILIZED ON THIS PROJECT. FINAL QUANTITIES AND PLACEMENT WILL BE PROVIDED WITH THE SUBMITTAL OF FINAL LANDSCAPE PLANS PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

- TREES**
- 15 GAL. 18" O.C. CERCIS OCCIDENTALIS (WESTERN ROSEBUD)
 - 15 GAL. 12" O.C. LAGERSTROEMIA INDICA (CREPE MYRTLE)
 - 15 GAL. 18" O.C. PINUS CANARIENSIS (CANARY ISLAND PINE)
 - 15 GAL. 30" O.C. PYRUS CALLERYANA (ARISTOCAT PEAR)
 - 15 GAL. 20" O.C. RHUS LANCEA (AFRICAN SUMAC TREE)
 - 15 GAL. 35" O.C. PISTACHE CHINENSIS (CHINESE PISTACHE)
 - 15 GAL. 30" O.C. QUERCUS VIRGINIANA (SOUTHERN OAK)
 - 15 GAL. 30" O.C. QUERCUS ILEX (HOLLY OAK TREE)
- SHRUBS**
- 1 GAL. 18" O.C. ACAPANTHUS AFRICANUS (LILY OF THE NILE)
 - 1 GAL. 18" O.C. ACHILLEA MOONSHIN (YARROW)
 - 1 GAL. 36" O.C. AZALEA SOUTHERN INDICA (SUN AZALEA)
 - 5 GAL. 36" O.C. GAMPPELIS CHRYSANTHENOIDES (NO COMMON NAME)
 - 5 GAL. 36" O.C. JUNIPERUS SABINA TAMARISCIFOLIA (JUNIPER TAM)
 - 5 GAL. 36" O.C. MAHONIA AQUIFOLIUM (CHINESE GRAPE)
 - 5 GAL. 36" O.C. NANDINA DOMESTICA (HEAVENLY BAMBOO)
 - 5 GAL. 72" O.C. PHOTENIA FRASERII (PHOTENIA)
 - 5 GAL. 72" O.C. PITTOSPORUM TOBIRA (TOBIRA)
 - 5 GAL. 36" O.C. RAPHIOLEPIS INDICA ROSEA (INDIAN HAWTHORNE)
 - 5 GAL. 36" O.C. ROSEMARY OFFICINALIS (ROSEMARY)
 - 1 GAL. 36" O.C. TULBAGHIA VIOLACEA (SOCIETY GARLIC)
 - 5 GAL. 72" O.C. XYLOSMA CONGESTUM (SHINEY XYLOSMA)
- GROUND COVERS / ANNUALS**
- FLATS 12" O.C. HYPERICUM CALYSINUM (AARONS BEARD)
 - FLATS 12" O.C. GAZANIA 'COPPER KING' (TRAILING GAZANIA)
 - FLATS 12" O.C. VINCA MINOR (DWARF PERIWINKLE)
 - FLATS 12" O.C. ANNUALS (PETUNIAS, MUMS AND DWARF MARIOLDS)
- LAWN**
- 100% HYBRID BERMUDA GRASS 500



APPL. NO. C-16-046 EXHIBIT L DATE 7-11-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

CONCEPT LANDSCAPE PLAN

1" = 40'-0"

2:00/14/0818 - Alluvial & Chestnut - Design PROPOSAL/SPR 03.15.16P.1 - Landscaping Site Plan.dwg, 5/31/2016 1:48:44 PM, andrew

Exhibit "H"
Conditions of Approval for Conditional Use Permit
No. C-16-046 dated September 21, 2016; including
memoranda from responsible or commenting agencies



Development and Resource Management Department

2600 Fresno Street, Third Floor
Fresno, California 93721-3604
(559) 621-8277 FAX (559) 498-1012

Jennifer K. Clark, Director

September 21, 2016

Please reply to:
Kira Noguera
(559) 621-8091

Scott A. Vincent
The Vincent Company Architects, Inc.
svincent.vincoarch@sbcglobal.net
Sent via email only

SUBJECT: CONDITIONAL USE PERMIT APPLICATION NO. C-16-046 FOR PROPERTY
LOCATED AT 7521 N. CHESTNUT AVENUE (APN: 404-071-45)

Dear Mr. Sassano:

CONDITIONAL USE PERMIT APPLICATION NO. C-16-046 has been filed, which proposes a
a 176-unit multiple family residential complex with amenities such as community building,
swimming pool, and garages on approximately 18.52 acres of property located on the
northwest corner of East Alluvial and North Chestnut Avenues.

The Development and Resource Management Department has evaluated the project in
compliance with the requirements of the California Environmental Quality Act (CEQA)
Guidelines. The initial study prepared for Environmental Assessment (EA) No.
ANX-16-003/R-16-009/C-16-046 dated September 2, 2016, resulted in a Finding of
Conformity to the Fresno General Plan Master Environmental Impact Report (MEIR NO.
2012111015). No additional environmental analysis is required beyond what was analyzed
by Environmental Assessment Application No. ANX-16-003/R-16-009/C-16-046. The
approval of this project is subject to compliance with the following Conditions of Approval:

CONDITIONS OF APPROVAL

PART A – ITEMS TO BE COMPLETED

The following items are required prior to issuance of building permits or occupancy:

Table with 2 columns: Planner to check when completed, and a list of conditions. Condition 1: The subject property shall be annexed to the City of Fresno and detached from the Fresno County Fire Protection District and Kings River Conservation District prior to issuance of building permits. These actions are under the jurisdiction of the Fresno Local Agency Formation Commission (LAFCO). The applicant, subdivider or developer is subject to and responsible for payment of any/all required fees for the entirety of the annexation pursuant to the policies of LAFCO and the City of

	<p>Fresno; including any cost incurred to the City of Fresno by the detachment of all of the annexation's property from the Fresno County Fire Protection District.</p>
<input type="checkbox"/>	<p>2. Transfer all red line notes, etc., shown on Exhibit (s) A1, A2, and A3 dated July 11, 2016, to corrected exhibits. Submit the corrected exhibits for further review and approval. Please also review other agency/department comments and revise site plan accordingly. Transfer all comments and conditions on the exhibits referenced herein and submit corrected exhibit(s) to planner at least 15 days prior to issuance of building permits.</p>
<input type="checkbox"/>	<p>3. The project developer shall obtain a building permit from the City of Fresno Building and Safety Services Division for the construction of a concrete block wall at a height of no less than six feet, but no more than seven feet along all shared property lines with abutting single family residential uses. Construction of the wall shall occur prior to commencement of grading operations or issuance of building permits for the balance of the property.</p>
<input type="checkbox"/>	<p>4. Submit a Geometric Approved Drawing (GAD) to the Public Works Department, Traffic and Engineering Services Division, for Alluvial Avenue and Chestnut Avenue. GAD drawings shall be reviewed and approved prior to issuance of building permits.</p> <p>Contact Scott Sehm at (559) 621-8712; or, via email at Scott.Sehm@fresno.gov</p> <p>See memorandum from the Public Works Department, Traffic and Engineering Services Division referenced herein below for further information.</p>
<input type="checkbox"/>	<p>5. All dedications required for the project shall be recorded prior to issuance of building permits.</p> <p>(Please note up to 2 month processing time.)</p> <p>1. For public dedications Contact Jeff Beck at (559) 621-8560; or, via email at Jeff.Beck@fresno.gov</p> <p>See memorandum from the Public Works Department, Traffic and Engineering Services Division referenced herein below for further information.</p> <p>2. Contact Laurence Kimura with the Fresno Irrigation District (FID) at (559) 233-7161 for dedication of FID easements.</p> <p>See memorandum from FID referenced herein below for further information.</p>

<input data-bbox="191 310 280 384" type="checkbox"/>	<p>6. Prior to issuance of building permits, submit a Community Facilities District Annexation Request to the Public Works Department.</p> <p>Contact Ann Lillie at (559) 621-8690; or, via email at Ann.Lillie@fresno.gov</p> <p>See memorandum from the Public Works Department, Traffic and Engineering Services Division referenced herein below for further information.</p>
<input data-bbox="191 527 280 600" type="checkbox"/>	<p>7. Prior to issuance of building permits, complete pool facility plans and specifications must be submitted to the California Department of Public Health.</p>
<input data-bbox="191 852 280 926" type="checkbox"/>	<p>8. Landscape and irrigation plans are required for review and approval prior to issuance of building permits (Per FMC Article 23).</p> <p>For on-site landscaping, submit three copies of detailed, final landscaping and irrigation plans prepared by a landscape professional, showing the number and types of trees (differentiate between species), to the Development Services Division. The type of landscaping is to be determined by the applicant and to conform to minimum City standards.</p> <p>For landscaping with public rights-of-way and/or landscape easements, submit landscape and irrigation designs (including MAWA & WUCOLS) to Hilary Kimber with the Public Works, Median Island Maintenance Division. Call (559) 621-1345 and/or see memorandum referenced herein below for further information.</p>
<input data-bbox="191 1314 280 1388" type="checkbox"/>	<p>9. Landscaping must be in place prior to issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division.</p> <p>Prior to final inspection, a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development and Resource Management Department (see form, attached).</p>
<input data-bbox="191 1587 280 1661" type="checkbox"/>	<p>10 Pay the required fees as stated in the memoranda from the Fresno Metropolitan Flood Control District (FMFCD) dated September 15, 2016. prior to issuance of building permits. Provide proof of payment.</p>
<input data-bbox="191 1707 280 1780" type="checkbox"/>	<p>11 Pay any applicable off-site mitigation fees to the San Joaquin Valley Air Pollution Control District (SJVAPCD) prior to issuance of building permits.</p> <p>See memorandum from the SJVAPCD referenced herein below for further information.</p>

	<p>12 Pay applicable development fees to the Clovis Unified School District prior to issuance of building permits.</p> <p>See memorandum from the Clovis Unified School District referenced herein below for further information.</p>
	<p>13 The project shall pay the Traffic Signal Mitigation Impact (TSMI) Fee of at the time of building permit.</p> <p>See memorandum from the Public Works Department, Traffic and Engineering Services Division Manager referenced herein below for further information.</p>
	<p>14 The project shall pay the Fresno Major Street Impact (FMSI) Fee, at the time of the building permit. (This FMSI fee is creditable towards major street roadway improvements included in the nexus study for the FMSI fee.)</p> <p>See memorandum from the Public Works Department, Traffic and Engineering Services Division Manger referenced herein below for further information.</p>
	<p>15 Provide proof of payment (or exemption based on vested rights) of the Regional Transportation Mitigation Fee (RTMF) prior to issuance of building permit.</p> <p>Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org.</p>

PART B – OTHER REQUIREMENTS

1) Planning/Zoning/Environmental Compliance Requirements

- a) Overall site development shall comply with the Conditions of Approval and Corrected Exhibit(s) A1, A2, A3, E1, E2, E3, E4, F4, F5, E7/F7, E8/F8, E9/F9, L and I, for Conditional Use Permit Application No. C-16-046.
 - i. A density transfer is approved hereby approved for purposes of the proposed project. Future subdivision and development of the single family residential phase of the proposed planned development shall occur in substantial conformance with the approved site plan for Conditional Use Permit Application No. C-16-046.
 - ii. Approval of a tentative tract map is required prior to subdivision and development of the single family residential phase of the proposed project. Contact the Development and Resource Management Department for further information.
- b) Property development standards and operational conditions are contained in Articles 13, 20, 23, 24 and 25 of the FMC. Any project revisions, development and operation must comply with these property development standards and operational conditions.

- c) Property development standards and the complete list of planning requirements/conditions for this project are contained in the "Project Comments from Planning" prepared for Conditional Use Permit Application No. C-16-046 and attached to this document for reference.
- d) Development shall take place in accordance with the attached "Notes and Requirements for Entitlement Applications" as applicable.
- e) Development shall take place in accordance with the policies of the Fresno General Plan and Woodward Park Community Plan.
- f) Development shall take place in accordance with the RS-5/UGM (*Residential Single Family, Medium Density/Urban Growth Management*) zone district.
- g) Comply with the operational statement for the proposed project dated May 24, 2016.
- h) Comply with the mitigation measures of Environmental Assessment Application No. ANX-16-003/R-16-009/C-16-046 dated September 2, 2016.

2) City and Other Services

- a) Development shall take place in accordance with the attached memoranda and letters from City of Fresno Departments and partner agencies:
 - a) Department of Public Works-Traffic and Engineering Services Division memorandum dated September 6, 2016;
 - b) Department of Public Works-Traffic Engineering Manager dated July 28, 2016
 - c) Department of Public Works-Median Island Maintenance dated August 4, 2016;
 - d) Department of Public Works – Traffic and Engineering Services Division memorandum regarding maintenance requirements dated September 16, 2016.
 - e) Department of Public Utilities, Planning and Engineering Division (Sewer) requirements dated August 8, 2016;
 - f) Department of Public Utilities- Water Division requirements dated July 19, 2016;
 - g) Department of Public Utilities-Solid Waste Management Division requirements dated July 28, 2016;
 - h) Fire Department dated August 2, 2016;
 - i) San Joaquin Valley Air Pollution Control District dated July 20, 2016;
 - j) Fresno Irrigation District dated July 26, 2016;
 - k) Fresno Metropolitan Flood Control District dated September 15, 2016;
 - l) Clovis Unified School District dated July 24, 2016.

3) Miscellaneous Requirements

- a) Plans and permits are required.
- b) Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and

the proposed development including, but not limited to, the following:

- i) All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;
 - ii) All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
 - iii) Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.
- c) Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.

APPEALS

Please be advised that this project may be subject to a variety of discretionary conditions of approval. These conditions are based on adopted City plans and policies, those determined through site plan review and environmental assessment essential to mitigate adverse effects on the health, safety, and welfare of the community, and recommended conditions for development that would on the whole enhance the project and its relationship to the neighborhood and environment.

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance. Discretionary conditions of approval will ultimately be deemed mandatory unless appealed verbally or in writing to the Fresno City Council at scheduled public hearings. Action by the Fresno City Council with respect to Conditional Use Permit No. C-16-046 is final.

BACKCHECK PROCESS

Please Note: To complete the back-check process for building permits relative to planning and zoning issues, submit four copies of this corrected, final site plan, together with three copies of the elevations, landscape, and irrigation plans, to Kira Noguera in the Development Services Division for final review and approval, **at least 15 days before applying for building permits.**

It may be necessary to resubmit these "corrected exhibits" a second time if not all the conditions have been complied with or are not shown on the exhibits. Once the "corrected exhibits" are approved by the Development Services Division, please place these exhibits in the plan check set and contact the Development Services Division, along with Traffic

Planning, to set up an appointment to signoff and stamp these exhibits. Please bring one additional copy of the site plan exhibit(s) to this appointment so that the Development Services Division has a final signed-off copy of the site plan.

Copies of the final approved site plan, elevations, and landscape plan stamped by the Development Services Division must be submitted for unstamped copies of the same in each of the sets of construction plans submitted for plan check prior to the issuance of building permits.

A permit granted under this Code shall automatically expire if it is not exercised or extended within three years of its issuance pursuant to Section 15-5013 of the FMC. All improvements must be installed prior to the operation of the proposed use.

If you have any questions regarding this letter, feel free to give me a call at the number listed above.

Sincerely,



Kira Noguera, Planner III
Development Services Division

Enclosures: Exhibits A1, A2, A3, E1, E2, E3, E4, F4, F5, E7/F7, E8/F8, E9/F9, dated July 11, 2016, Notes and Requirements, Landscape Certification Form, and Agency Comments

CC: Louis Brosi III (lbrosi@c-iiiconstruction.com)



2600 Fresno Street-Third Floor
 Fresno, California 93721-3604
 (559) 621-8277 FAX (559) 488-1026

Development and Resource Management Department
Jennifer K. Clark, Director

**Project Comments from the Development Services Division
 September 21, 2016**

PROJECT DESCRIPTION

Conditional Use Permit Application No. C-16-046 was submitted by The Vincent Company Architects, on behalf of Louis Brosi and pertains to approximately 18.52 acres of property located on the northwest corner of East Alluvial and North Chestnut Avenues. The applicant proposes a planned development that includes a 30-lot single family residential subdivision (tentative map to be submitted at a later date) and a 176-unit multiple family residential complex with a density transfer.

APN(s): 404-071045

ADDRESS: 7521 North Chestnut Avenue

GENERAL INFORMATION

ZONING	
Existing	RA-20 (<i>Fresno County</i>)
Requested	RS-5/UGM (<i>Residential Single Family, Medium Density/Urban Growth Management</i>)
Pending	RS-5/UGM (<i>Residential Single Family, Medium Density/Urban Growth Management</i>)
PLANS	
Community Plan	Woodward Park
Specific Plan	N/A
Redevelopment	N/A
PREVIOUS ACTIONS	
Applications	ANX-16-003; R-16-009, C-16-046
Covenants/ Easements	Fresno Irrigation District Teague Pipeline No. 119 (Document No. 93021499 recorded February 12, 1993)
Development Agreements	N/A
TRACT MAP or LOT SPLIT	(At future date)

PROPERTY DEVELOPMENT STANDARDS

Use the website below to access the Zoning Ordinance (Chapter 15) to find more information on zoning/property development standard requirements:

<http://www.fresno.gov/NR/rdonlyres/B8FCD661-4F6D-4B29-A1C2-6DF4E907D9A3/0/DevCodeSept2015CLEAN.pdf>

USE PERMITTED (Table 15-902: Land Use Regulations – Residential, Single-Family Districts)	
RS-5 - The purposes of the Residential Single-Family (RS) Districts are to:	
<ul style="list-style-type: none"> A. Provide for a variety of single-family residences built to urban or suburban standards to suit a spectrum of individual lifestyles and needs, and to ensure availability throughout the city of the range of housing types necessary for all segments of the community, consistent with the General Plan. B. Enhance the character of the city’s residential neighborhoods, while providing new opportunities for the development of a range of housing types throughout the city. C. Ensure that the scale and design of new development and alterations and additions to existing residences are compatible with the scale, mass, and character of their neighborhoods. D. Provide for appropriate densities within the ranges established in the General Plan. E. Protect the quality of the residential environment and secure the health, safety, and general welfare of the residents. F. Provide sites for neighborhood-serving uses such as parks, family day cares, libraries, and community facilities. G. Implement and provide appropriate regulations for General Plan classifications of “Low Density Residential,” “Medium Low Density Residential,” and “Medium Density Residential.” 	
Multi-Unit Residential is permitted after review and approval of a Conditional Use Permit” (CUP)	
Table 15-903-1: Lot and Intensity Standards – Residential, Single Family Districts	
Residential Density	
Required	A minimum of 5 units per acre and a maximum of 12 dwelling units per acre subject to a density transfer pursuant to Conditional Use Permit No. C-16-046.
Proposed	30-lot single family residential subdivision (tentative map to be submitted at a later date) and a 176-unit multiple family residential complex at a combined density of approximately 11.12 dwelling units per acre)
MAXIMUM Lot Coverage	
Permitted	50 (% of lot)
Proposed	33.7% (Multi-Unit Residential)
Table 15-1003-2: Building Form and Standards – Residential, Multi-Family Districts	
BUILDING HEIGHT	
Permitted	40 feet (maximum within 50 feet of an RS District) (Maximum within 40 feet of an RA District is limited to 30 feet.)

	Proposed	30 feet (max)		
YARDS				
	Required Building Setback		Proposed Building Setback	
	Front (Alluvial)	10/20'	Front (Cedar)	24' (authorized per PUD)
	Front (Bedford)	20' (within 50 feet of the RS District)	Front (Bedford)	20'
	Side (West)	10'	Side (west)	11'6"
	Side (East)	10'	Side (east)	5' to accessory structures (authorized per PUD)
	Required Landscaping Setback		Proposed Landscaping Setback	
	Front (Alluvial)	10/20	Front (Alluvial)	24' (authorized per PUD)
	Front (Bedford)	20'	Front (Bedford)	20'
	Side (West)	10'	Side (West)	11'6"
	Side (East)	10'	Side (East)	5' (authorized per PUD)

LANDSCAPING

Areas to be Landscaped: (Section 15-2305)

A. **Parking Areas.** Parking areas shall be landscaped in compliance with Article 24, Parking and Loading.

B. Required Setbacks.

- a. **All Districts.** For permitted paved areas, refer to the underlying Base District.
- b. **Residential Uses with Four or More Dwelling Units and Mixed-Use.** All required setbacks, except for areas used for exit and entry, shall be landscaped.
- c. **Lot Perimeters.** Landscape buffers shall be installed and maintained along side and rear lot lines between differing land uses, in accordance with the sections of this article and the following standards:
 1. Landscape buffer pursuant to Section 2305-C of the FMC (Also, Tables 2305-C-1 & 2) where adjacent to single family residential (RS Transition Standards).
- d. **Landscape Setback.** All areas between site perimeter walls/fencing and lot lines facing a street shall be landscaped. Landscaping shall be installed and maintained in accordance with the sections of this article and the following standards:
 1. Planting areas more than 10 feet in width shall be planted with medium and large trees and medium and large shrubs to span the entire length.
 2. Planting areas 10 feet or less in width shall at the very least be planted with small trees and small to medium size shrubs to span the entire length.
 3. Vines may be included for areas adjacent to concrete or masonry walls.
 4. The landscape design shall provide total wall/fence screening from top to bottom for the entire length within five years.
 5. Trees shall be planted so the canopies could touch for the entire length within fifteen years.
- e. **Screening.** When a multi-story building is proposed and the second story or above is located within 50 feet of the side or rear yard of a single-family lot, screening measures shall be applied to provide a reasonable degree of privacy.
 1. Screening measures include, but are not limited to, landscaping, alternate window and balcony placements, placing windows at least six feet from the floor of the interior of the unit, incorporating wing walls or louvers, using glass block or other translucent material, and other such methods.

C. Building Perimeters.

- a. All portions of a building that face a public street shall have one or more landscape planters installed along a minimum of 20 percent of that building face. This standard does not apply where a building is located within three feet of a public sidewalk, in which case the building perimeter shall be paved and treated in a manner similar to the adjacent sidewalk.
- b. The minimum width of the planter shall be three feet. Planters may be raised or at grade and may include potted plants.

SPACE BETWEEN BUILDINGS		
	Main Buildings	N/A
	Accessory Buildings	N/A
	Garages	N/A
FRONTAGE & CORNER FRONTAGE COVERAGE		
	Required	Minimum Frontage Coveage: 50%
	Proposed	(authorized per PUD)
On-Site Open Space		

<p>Required</p>	<p>20 (% of Lot Area)</p> <p>Minimum Open Space Required. The minimum amount of on-site open space required shall be based on the size of the lot, as shown in Table 15-1003. This requirement may be met through a combination of private open space, common open space, or public plazas as follows:</p> <p><i>Private Open Space Requirements.</i> Private open spaces are those which are attached to a dwelling unit and are available only for the private use of the residents of the dwelling unit, such as balconies, porches, and patios. No fewer than 50 percent of the dwelling units on a site shall have a private open space. The following standards shall apply to private open space:</p> <ul style="list-style-type: none"> i. The minimum dimension of any private open space shall be four feet. ii. The minimum area of any private open space shall be 32 square feet. iii. When located within 30 feet of a public street and located on the ground floor, private open spaces shall follow the requirements for Porches as put forth in Table 15-1005-F. iv. When located within 30 feet of a public street and located above the ground floor, private open spaces shall follow the requirements for Balconies as put forth in Table 15-1005-F. <p><i>Common Open Space Requirements.</i> Common open spaces are those which are available for active or passive use by all tenants, but use by the general public may be restricted. To the extent that common open space is provided, the following standards shall apply:</p> <ul style="list-style-type: none"> i. The minimum dimension of any common open space shall be 20 feet. ii. The minimum area of any common open space shall be 1,000 square feet. The calculation of the common open space area shall exclude structures which are unusable as open space, but shall include structures that enhance its usability, such as swimming pools, changing facilities, fountains, planters, benches, and landscaping. iii. Not less than 80 percent of common open space shall be unobstructed to the sky. Trellises, pergolas, and similar structures shall be considered open to the sky for the purposes of this measurement. iv. Common open space may be located at grade, on rooftops, on top of parking podiums, or any other such location that is accessible to tenants. Common open space may not be located within required setbacks or parking areas
<p>Proposed</p>	<p>45.9%</p>

FENCES, HEDGES, WALLS (Section 15-2006 Fences, Walls, and Hedges)	
Required	<p>Fences, walls, dense hedges, and similar structures, collectively referred to as “fences” for purposes of this section, shall comply with the following standards.</p> <p>Fences shall comply with setback requirements unless a greater setback is required by an operative plan, adopted policy, or condition of project approval.</p> <p>Parking Lot Entrances. Fence and gate locations may need to provide greater setbacks to allow for vehicle stacking.</p> <p>Height and Location for All Other Districts (CMX)</p> <p>Front Yard</p> <p>a. <u>Wrought Iron or Tubular Steel.</u> A fence up to four feet in height may be installed on the front property line. Fences must be open a minimum of 80 percent (e.g., no more than 20 percent opaque) to allow for the passage of light and air.</p> <p>Other Yards. Outside of the required front yard and street-side yards, the maximum height for fences is seven feet (regardless of location on the site as authorized per PUD).</p>
Proposed	N/A - No changes to existing fences/walls.
OFF-STREET PARKING	
Required	<p>Table 15-2408: Required On-Site Parking Spaces, Other Districts</p> <p>Required parking is based on Multi-Unit Residential Standards (2 or more units).</p>
Proposed	352 stalls (192 garage; 160 open)
ACCESS (Section 15-2418 Parking Access)	
Required	Vehicular access from a dedicated and improved street or alley to off-street parking and loading facilities on the property requiring off-street parking and loading. The design of said access to withstand industrial usage shall be approved by the Department of Public Works.
Proposed	Two points of access are proposed.
OUTDOOR ADVERTISING	
Permitted	Subject to the provisions in Article 26 Signs
Proposed	Site plan and operational statement does not include outdoor advertising.
LOADING SPACES	
Required	N/A
Proposed	N/A
TREES (Section 15-2308 Trees & Section 15-2422 Parking Lot Trees)	

<p>Required</p>	<p>A minimum of 50% parking lot shading is required.</p> <p>Multi-Family Residential and Mixed-Use Districts. A minimum of one tree per unit.</p> <p>176 units = 176 trees required.</p> <p>Parking Lot Trees: (Section 15-2422)</p> <p>1. Shading Required. Provide one tree for each two parking spaces, unless it can be demonstrated to the satisfaction of the Review Authority that less trees can be provided and 50 percent parking lot shading would still be met.</p> <p style="padding-left: 40px;">352 parking spaces = 176 parking lot trees requires.</p> <p>2. Shade may be provided by canopies, shade structures, trees, or other equivalent mechanism. If shade is provided by trees, the amount of required shading is to be reached within 15 years.</p> <p>3. Distribution. Trees shall be distributed relatively evenly throughout the parking area.</p> <p>4. Species. Required trees for parking lots shall be selected from a list maintained by the City.</p> <p>5. Size. All trees shall be a minimum 15-gallon size with a one-inch diameter as measured 48 inches above natural grade.</p> <p>176 + 176 = 352 total on-site trees required.</p>
<p>Proposed</p>	<p>Authorized per PUD. Submittal of final landscape design plans required to be submitted.</p>

SUMMARY AND OTHER COMMENTS /REQUIREMENTS

A. Miscellaneous

- (1) In accordance with §15-2011 of the FMC, all exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from major streets, highways, passenger railways, or abutting residential districts.
- (2) Comply with the provisions contained within §15-2015 of the FMC related to Outdoor Lighting and Illumination; and, §15-2508 of the FMC related to Lighting and Glare.
- (3) See the **attached** Notes and Requirements for Entitlement Applications for additional general notes and requirements.

Attachments: General Notes and Requirements for Entitlement Applications

City of Fresno Notes and Requirements for Entitlement Applications

(Note: Not all requirements will be applicable to all projects)

GENERAL

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. *This special permit is granted, and the conditions imposed, based upon the Operation Statement provided by the applicant. The Operation Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operation Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operation Statement.* Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.
2. No uses of land, buildings, or structures other than those specifically approved pursuant to this site plan shall be permitted.
3. Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department; <http://www.fresno.gov/Government/DepartmentDirectory/PublicWorks/DeveloperDoorway/Technical+Library/StandardSpecificationsandDrawings.htm>
4. Development shall take place in accordance with all city, county, state and federal laws and regulations.
5. Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property, or renting out four or more dwelling units) are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form is available at the following website: <http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/businessstaxapplicaiton.htm>
6. All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.
7. Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.

City of Fresno Notes and Requirements For Entitlement Applications

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8. For projects initiated in response to code enforcement action, the exercise of rights granted by this special permit must be commenced by six months. Completion of the project, including improvements, shall occur by 12 months.

FENCES/WALLS, LANDSCAPING, PARKING

9. Temporary fences to secure projects under construction are allowed. Any temporary fence shall be adequately secured and constructed to prevent overturning due to wind, vandalism, and/or casual contact by the general public. The construction shall be performed in such a manner as to minimize any potential safety hazard, which may occur as a result of improper fence installation or damage to the fence.
10. Future fences shall be reviewed and approved by the Development and Resource Management Department prior to installation.
11. No structures of any kind (*including signs and/or fences*) may be installed or maintained within the required-landscaped areas. No exposed utility boxes, transformers, meters, piping (excepting the backflow prevention device), etc., are allowed to be located in the landscape areas or setbacks or on the street frontages of the buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.
12. Provide shade calculations on the landscape plan for parking lot shading in accordance with the attached *Development Department, Performance Standards for Parking Lot Shading*, including tree species and tree counts.
13. Disperse trees over the parking lot area to provide 50 percent shading of the parking area surface within 15 years. (This requirement may be reduced to 40 percent for existing development if it is demonstrated that the constraints of an existing site would make it impossible to meet the normal standards.) Trees shall also be planted in the required landscaped area along the periphery of the development in order to shade and enhance adjacent property and public rights-of-way. Refer to the attached "Performance Standards for Parking Lot Shading," for the tree list and further details.
14. Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as may otherwise be approved by the Development and Resource Management Department.
15. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division. **(Include this note on the site and landscape plans.)**

City of Fresno Notes and Requirements For Entitlement Applications

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16. Prior to final inspection, a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development Department.
17. Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.
18. The parking lot design must accommodate the provision of trees in accordance with the attached Parking Lot Shading Policy.
19. A minimum number of accessible parking stalls are required for the proposed project per State of California Building Code, "Development Requirements for Handicapped Accessibility."
20. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles. **(Include this note on the site plan.)**
21. All accessible parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from accessible parking stalls and ramps. **(Include this note on the site plan.)**
22. Lighting where provided to illuminate parking, sales or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works. **Depict all proposed lights on the site plan.**
23. Bicycle parking spaces shall be supplied at a rate of 10% of the automobile spaces provided pursuant to Section 12-306-I-2.1c of the Fresno Municipal Code (FMC). Bicycle parking spaces shall each consist of one slot in a bike rack. They shall be grouped in racks which allow four feet of clearance on all sides. There shall be adequate space between rack slots to park, lock, and remove bicycles. Bicycle parking spaces and the required four-foot clearance shall be protected from motor vehicle encroachment by means of fixed barriers not less than six inches or more than three in height. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.
24. All general provisions of Section 12-306-I of the FMC shall apply to all parking areas. http://library.municode.com/HTML/14478/level3/MUCOFR_CH12LAUSPLZO_ART3GECOAPZO.html#MUCOFR_CH12LAUSPLZO_ART3GECOAPZO_S12-306PRDEST

City of Fresno Notes and Requirements For Entitlement Applications

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SIGNAGE

25. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.
26. Signs, *other than directional signs, if applicable*, are not approved for installation as part of this special permit. **(Include this note on the site plan.)**
27. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or online at <http://www.fresno.gov/Government/DepartmentDirectory/PlanningandDevelopment/Planning/SignsandBanners.htm>
28. Window signs are limited to four square feet in area, providing information about hours of operation and emergency, sale or rental information only. Exterior signage such as banners, flags and pennants are prohibited. However, special event banner signs are permitted for 30 days if approved by the Development and Resource Management Department, attached to the building, and not exceeding 32 square feet in area.
29. Permanent window signs over six square feet in area can be submitted for approval under a sign review application.

MISCELLANEOUS

30. Noise levels shall not exceed the decibel levels described in Section 10-102.b of the FMC at anytime, measured at the nearest subject property line. http://library.municode.com/HTML/14478/level3/MUCOFR_CH10REREPUNUREPCOUS_ART1NORE.html#MUCOFR_CH10REREPUNUREPCOUS_ART1NORE_S10-102DE
31. There shall be adequate vehicular access from a dedicated and improved street or alley to off-street parking and loading facilities on the property requiring off-street parking and loading. Vehicular and/or pedestrian access shall be provided and shall remain clear at all times.
32. The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Development and Resource Management Department for 'Official Addresses'. **Only those addresses assigned by the City of Fresno will be recognized as 'Official Addresses'**. The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to

City of Fresno Notes and Requirements For Entitlement Applications

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charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.

33. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, FMC Chapter 6, Article 7 (FMC Sections 6-701 *et seq.*)

When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior to** commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet:

www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml.

Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, www.casqa.org

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml,

The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities (www.casqa.org).

34. Screen all roof-mounted equipment from the view of public rights-of-way. **Depict all mechanical equipment on site plan and elevations.**
35. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately. **(Include this note on the site plan.)**
36. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation. **(Include this note on the site plan.)**

City of Fresno Notes and Requirements For Entitlement Applications

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37. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved. **(Include this note on the site plan.)**
38. Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply.
39. Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for alternative wastewater treatment facilities.
40. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8277.
41. Open street cuts are not permitted; all utility connections must be bored.
42. CROSS-CONNECTION CONTROL. A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621-5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.
43. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Development and Resource Management when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.
44. Outdoor storage of materials, including ISO containers, is prohibited. All materials shall be stored within a completely enclosed building, unless approved by the Development and Resource Management Department. **(Include this note on the site plan)**
45. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

FEES

(Not all fees will be applicable to all projects)

46. NOTICE TO PROJECT APPLICANT: In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.
47. CITYWIDE DEVELOPMENT IMPACT FEES
- a) Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit.
 - b) Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)
 - c) Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units)
 - d) Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)
48. CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006)
- a) Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law.
 - b) Street Impact Fees will be a condition on all development entitlements granted.
 - c) New construction on vacant parcels shall be calculated on a net acreage (adjusted acre basis) of the entire property subject to the development entitlement based upon planned land use. Notwithstanding, fees shall be based upon actual land use for developments in the C-M zone district and for development projects developed inconsistent with the plan land use.
 - d) New construction on property that is partially developed, Street Impact Fees will be applied to the incremental increase proportionate to the respective floor to area ratios (25% for commercial and 40% for industrial). In no case shall anyone pay more than the amount of the total net acreage of the parcel multiplied by the applicable fee rate.

City of Fresno Notes and Requirements For Entitlement Applications

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- e) Reuse being more intensive than the original use, the developer shall be required to pay the difference between the current amount of the Street Impact Fee obligation for the old use and the current amount of the Street impact Fee obligation for the new use.

49. FRESNO COUNTY FACILITY IMPACT FEE

Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits.

50. REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. Provide proof of payment or exemption prior to issuance of building permits.

51. SCHOOL FEES

School fees must be paid, if required, prior to the issuance of building permits. Contact Central Unified School District. Provide proof of payment (or no fee required) prior to the issuance of building permits.

52. FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES

- a) A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact Fresno Metropolitan Flood Control District at (559) 456-3292.
- b) FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of a new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Development and Resource Management Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.

53. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied.

- a) Lateral Sewer Charge (based on property frontage to a depth of 100')

City of Fresno Notes and Requirements For Entitlement Applications

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- b) Oversize Sewer Charge (based on property frontage to a depth of 100')

Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Administration Division at (559) 621-8600.

- 54. WATER CONNECTION CHARGES: (FMC Sections 6-507 to 6-513). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior to** issuance of building permits may also be applied.
 - a) Frontage Charge (based on property frontage)
 - b) Transmission Grid Main Charge (based on acreage)
 - c) Transmission Grid Main Bond Debt Services Charge (based on acreage)
 - d) UGM Water Supply Fee (based on living units, living unit equivalents or acreage)
 - e) Wellhead Treatment Fee (based on living units or living unit equivalents)
 - f) Recharge Fee (based on living units or living unit equivalents)
 - g) 1994 Bond Debt Service Charge (based on living units or living unit equivalents)
 - h) Service Charges (based on service size required by applicant)
 - i) Meter Charges (based on service need)
- 55. Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19.



DATE: September 6, 2016

TO: Kira Noguera
Development and Resource Management Department

FROM: Jairo Mata, Engineer II
Public Works Department, Traffic and Engineering Services Division

SUBJECT: Conditions of Approval for **C-16-046**

ADDRESS: **7521 North Chestnut Avenue & 2350 East Alluvial Avenue**

APN: **404-071-45**

ATTENTION:			
The items below require a separate process with additional fees and timelines, in addition to the CUP/SPR permit process. In order to avoid delays in obtaining a building permit, the following items shall be submitted to the contacts shown below.			
X	Maintenance Agreement / CFD	Ann Lillie	Public Works Department (559) 621-8690 ann.lillie@fresno.gov
X	Submit a Geometric Approved Drawing (GAD) to Public Works Traffic and Engineering for Alluvial Avenue and Chestnut Avenue.	Scott Sehm	Traffic and Engineering (559) 621-8712 Scott.sehm@fresno.gov
X	Deed (up to 2 month processing time) Deed documents for the required dedications must conform to the format specified by the city and shall be prepared by the applicant's engineer. The cost of deed document processing and recordation fee must be paid at the time of deed submittal and submitted with verification of ownership prior to the issuance of building permits.	Jeff Beck	Public Works Department (559) 621-8560 jeff.beck@fresno.gov
X	If a Parcel Map is not completed prior to building permits than full off-site improvements are required for the lot of record at the time of building permits. Remove all proposed street openings associated with the future single family development.		

PUBLIC IMPROVEMENT REQUIREMENTS

The following requirements are based on city records and the accuracy of the existing and proposed on-site and off-site conditions depicted on the exhibits submitted. Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed.

Repair all damaged and/or off grade off-site concrete street improvements as determined by the City of Fresno Public Works Department, Construction Management Division, (559) 621-5600. Pedestrian paths of travel must also meet current accessibility regulations.

Underground all existing off-site overhead utilities within the limits of this site/map as per FMC Section 12-1011 and Resolution No. 78-522/88-229.

The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment permit is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8693. Encroachment permits must be approved **prior** to issuance of building permits.

North Chestnut Avenue: Arterial

1. Dedication Requirements
 - a. Dedicate approximately **57'-69'** of property, from section line, for public street purposes, within the limits of this application, per Public Works Standard **P-52** (From east to west the ultimate cross section at the intersection is as follows: 10 sidewalk-10 bus bay-5 bike lane-12 through-12 through-5 median-11 left turn-12 through-12 through-5 bike lane-10 right turn-12 sidewalk) (Midblock cross section is as follows: 10 sidewalk-7 bike lane-12 through-12 through-16 median-12 through-12 through-7 bike lane-12 sidewalk). **Provide a detailed site plan providing the proposed dedication.**
 - b. Dedicate a corner cut for public street purposes at the intersection of North Chestnut and East Alluvial Avenues based on a **30'** radius.
2. Construction Requirements:
 - a. Construct **20'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - b. Provide a **10'** visibility triangle at all driveways.
 - c. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **12'** residential pattern. Construct a **6'** residential sidewalk.
 - d. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-7** for Arterials.
 - e. Construct a standard curb ramp per Public Works Standard **P-28**, based on a **30'** radius at the corner of Chestnut and Alluvial.

East Alluvial Avenue: Collector

1. Dedication Requirements
 - a. Dedicate **44'-46'** of property, from section line, for public street purposes, within the limits of this application, per modified Public Works Standard **P-54**.
2. Construction Requirements:
 - a. Construct **20'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - b. Site Plan approval of a street type approach (**P-77**) is a tentative approval until such time that a qualified Civil Engineer prepares street plans that provide the sufficient cross drainage approved by the City Engineer in accordance with Public Works Standard **P-10**. If grades are not sufficient, construct to Public Works Standards **P-2**, and **P-6**.

- c. Provide a **10'** visibility triangle at all driveways.
- d. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **12'** residential pattern. Construct a **6'** residential sidewalk. Side walk shall transition from the existing 10' pattern to the west to the required 12' pattern.
- e. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-8** for Collectors.
- f. Construct an **80'** bus bay curb and gutter at the north west corner of Chestnut and Alluvial Avenues to Public Works Standard **P-73**, complete with a **12'** monolithic sidewalk.

East Bedford Avenue: 50' Local

- 1. Dedication Requirement
 - a. Dedicate **25'** of property, from center line, for public street purposes, within the limits of this application, per Public Works Standard **P-56**.
 - b. Dedicate **1'** of property for pedestrian purposes behind all driveway approaches.
- 2. Construction Requirements:
 - a. Construct **18'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - b. Construct **twelve (12' wide to serve one unit & 24' wide to serve two units)** driveway approaches to Public Works Standard(s) **P-4**, and **P-6**. Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**. Asphalt concrete paving per City of Fresno Public Works Standard Drawing **P-21** may be substituted for concrete.
 - c. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **7'** residential pattern.

Street Construction Plans are required and shall be approved by the City Engineer.

All improvements shall be constructed in accordance with the City of Fresno, Public Works Department Standard Drawings and Specifications. The performance of any work within the public street right of way (including pedestrian and utility easements) requires a **STREET WORK PERMIT prior** to commencement of work. When preparing Street Plans and/or Traffic Control Plans, contact (Randy Schrey) at (559) 621-8807, **10 working days** in advance, to make sure that sidewalks or an approved accessible path remain open during construction. Submit construction plans for all required work, in a single package, to the City of Fresno's, Traffic and Engineering Services Division. All work shall be reviewed, approved, completed, and accepted **prior** to obtaining a certificate of occupancy. Utility poles, street lights, signals, etc. shall be relocated as determined by the City Engineer. Dedication(s) shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed for Collectors and **55 MPH** for Arterials.

Two working days before commencing excavation operations within the street right of way and/or utility easements, all existing underground facilities shall have been located by Underground Services Alert (USA) Call 811.

All survey monuments within the area of construction shall be preserved or reset by a person licensed to practice Land Surveying in the State of California.

PRIVATE IMPROVEMENT REQUIREMENTS

Off-Street Parking Facilities and Geometrics

1. Off-Street parking facilities and geometrics shall conform to the City of Fresno Public Works Department, Parking Manual and Standard Drawing(s) **P-21, P-22, P-23**.
2. Install **30"** state standard "STOP" sign(s) at location(s) shown. Sign(s) shall be mounted on a **2"** galvanized post with the bottom of the lowest sign **7'** above ground, located behind curb and immediately behind a major street sidewalk.
3. Provide parking space needs, circulation, access, directional signs (e.g. "Entrance," "Exit," "Right Turn Only," "One Way" signs, etc.) as noted on **Exhibit "A"**.

Irrigation / Canal Requirements: The developer shall enter into an agreement with the Fresno Irrigation District providing for piping the canal(s) and submit an executed copy of the agreement or commitment letter from FID to the Planning and Development Department. All piping shall be located outside of the proposed street right of way. Any piping across city streets shall be rubber gasketed reinforced concrete pipe (RGRCP) constructed perpendicular to the street. Submit engineered plans to Public Works Department, Engineering Division for review and approval. **Identify the proposed easement or cross section on the site plan.**

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees **at the time of building permit**. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual.

A traffic impact study was required and has been submitted. Comply with the mitigated measures as shown on the attached letter from the Traffic Engineer for TIS 16 -012 dated July 28, 2016.

Trip Generation: This development will generate the following Average Daily Trips (A.D.T.), as shown on the attached document:

TSMI fee is credited against traffic signal and Intelligent Transportation System (ITS) improvements, provided that the improvements are; constructed at ultimate locations, contained within the build out of the 2025 General Plan circulation element and are included in the latest Nexus Analysis for TSMI fee. Project specific impacts that are not consistent with the *2025 General Plan, Public Works Standard Drawings* or not incorporated in the TSMI fee infrastructure costs, are not reimbursable unless the City Engineer and City Traffic Engineer include the new traffic signal and/or ITS improvements in the next update; upon the inclusion of the added infrastructure, the applicant shall agree to pay the newly calculated TSMI fee that includes the new infrastructure. Failure to pay this fee or construct improvements that are credited / reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited / reimbursable with this fee, they should work with the Department of Public Works and identify, with a Professional Engineer's estimate, the costs associated with the improvements, prior to paying the TSMI fee at time of building permit.

TSMI Requirements:

1. See TIS 16-012 for signal conditions.

Fresno Major Street Impact (FMSI) Fees: This entitlement is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees. Contact the Public Works Department, Frank Saburit at (559) 621-8797.

North Chestnut Avenue: 4-Lane Arterial

1. If not existing dedicate and construct (west side) one 12' number one lane and one 17' number two lane **within the limits of this application**. If not existing, an additional 8' dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate arterial standard and any other grading or transitions as necessary based on a **55 MPH** design speed.

East Alluvial Avenue: 2 -Lane Collector

1. If not existing dedicate and construct (north side) one 17' number 1 lane and a 2-way left turn lane **within the limits of this application**. Stripe 200' left turn pockets at all major intersections. If not existing, an additional 8' dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to issuance of certificate of occupancy.

Prior to resubmitting a corrected exhibit, provide the following information on the site plan:

A. General Requirements

1. **Property Lines and Easements:** Accurately show identify and dimension.
2. **Scope of work:** All items shall be listed as existing or proposed.

B. Offsite Information:

1. **Section and Center Lines:** Accurately show and identify.
2. **Street Improvements and Furniture:** Identify existing and proposed sidewalks (provide width), accessibility ramps (provide radius), street lights, traffic signals, utility poles, boxes, guy wires, signs, fire hydrants, etc.
3. **Accessibility:** Identify the required 4' minimum path of travel along the public sidewalk adjacent to property, as required by the California Administration Code (Title 24). A pedestrian easement may be required if Title 24 requirements cannot be met.
4. **Intersections:** If the proposed project is on street corner, provide the entire intersection on the site plan. If located on a major intersection also provide existing striping. Additional dedications and engineered plans may be required to resolve intersections that do not line up.

C. Onsite Information:

1. **Buildings:** Identify and label all existing buildings to be removed. Provide square footage.

2. **Parking Lot:**

- a. **Circulation Aisles:** provide widths
- b. **Directional flow of traffic:** Identify existing and proposed directional arrows at beginning and end of aisles.
- c. **Lighting / Accessibility signage:** not to be within the 3' vehicular overhang
- d. **Planters:** provide planter dimensions and radii

Questions relative to these conditions may be directed to Jairo Mata at 559 621-8714 Jairo.Mata@fresno.gov , in the Public Works Department, Traffic and Engineering Services Division.

City Hall
2600 Fresno Street, 4th Floor
Fresno, California 93721
Ph. (559) 621-8800
www.fresno.gov

Scott L. Mozier, P.E.
Public Works Director

July 28, 2016

Kira Noguera, Planner III
Development and Resources Management Department
2600 Fresno Street, 3rd Floor
Fresno, CA 93721

SUBJECT: REVIEW OF THE TRAFFIC IMPACT STUDY (TIS) DATED JULY 8, 2016 FOR THE PROPOSED VILLAGES AT THE RANCH, LOCATED ON THE NORTHWEST CORNER OF ALLUVIAL AND CHESTNUT AVENUES TIS 16-012, ANX-16-003, R-16-009, C-16-046

PROJECT OVERVIEW

We have reviewed the Traffic Impact Study (TIS) prepared by Peters Engineering Group for the proposed Villages at the Ranch, "project", which plans to construct approximately 160 multi-family units, 16 duplex units and 30 single family dwelling units on approximately 18.52 acres on the northwest corner of the intersection of Alluvial and Chestnut Avenues.

The TIS evaluated the impacts of the project by analyzing three (3) intersections in the vicinity of the project during the AM and PM peak hours. Daily traffic counts were also collected for two (2) local roadways in the vicinity of the project. Vehicle trips projected to be generated by the project were calculated using the ITE Trip Generation Manual, 9th Edition. The following table includes the daily (ADT), AM and PM peak hour trips projected to be generated by the project as shown in the TIS:

Land Use	Size	Weekday						
		ADT	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Single Family Detached Housing (ITE Code 210)	30 DU	286	6	17	23	19	11	30
Low-Rise Apartments	176 DU	1,160	17	64	81	67	36	103
Total		1,446	23	81	104	86	47	133

DU = dwelling units

Based on the analyses included in the TIS, the intersection of Alluvial and Chestnut Avenues is currently operating below the Traffic Impact Zone (TIZ) III level of service (LOS) standard of LOS D during the AM and PM peak hours.

With the addition of the project and the improvements at the intersection of Alluvial and Chestnut Avenues, the study intersections are all projected to operate at or above the TIZ III LOS D standard. The Near Term and Cumulative Year 2036 analyses included in the TIS showed all intersections are projected to operate at or above the TIZ III LOS D standard.

GENERAL COMMENTS and CONDITIONS

1. This project shall pay its Traffic Signal Mitigation Impact (TSMI) Fee of \$47.12 per ADT, per the Master Fee Schedule, at the time of building permit. Based on the weekday total ADT of 1,446 for the proposed project, the fee would be \$68,135.52 payable at the time of the building permit.

The TSMI fee facilitates project impact mitigation to the City of Fresno Traffic Signal infrastructure so that costs are applied to each new project/building based on the generated ADT. The TSMI fee is credited against traffic signal installation/modifications and/or Intelligent Transportation System (ITS) improvements (constructed at their ultimate location) that plan to build out the 2035 General Plan circulation element and are included in the Nexus Study for the TSMI fee. The TSMI fee is regularly updated as new traffic signals are added, new grant funds offset developer improvement costs, and/or construction costs increase/decrease. If the project is conditioned with traffic signal improvements in excess of their TSMI fee amount, the applicant may apply for fee credits (security/bonding and/or developer agreement required) and/or reimbursement for work in excess of their fee as long as the infrastructure is in place at the ultimate location. The applicant should work with the Public Works Department and identify, with a Professional Engineers estimate, the costs associated with the improvements prior to paying the TSMI fee to determine any applicable fee credits and/or reimbursements.

For project specific impacts that are not consistent with the 2035 General Plan, Public Works Standards, and/or are not incorporated into the TSMI fees, the infrastructure costs will not be eligible for reimbursement unless the City Engineer and City Traffic Engineer include the new traffic signal and/or ITS infrastructure in the next TSMI fee update and the applicant agrees to pay the new TSMI fee that includes the new infrastructure. Failure to pay this fee or construct improvements that are credited/reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence.

2. This project shall pay its Fresno Major Street Impact (FMSI) Fee, which will be determined at time of building permit. This FMSI fee is creditable towards major street roadway improvements included in the nexus study for the FMSI fee.
3. The project shall pay the Regional Transportation Mitigation Fee (RTMF). Pay the RTMF fee to the Joint Powers Agency located at 2036 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. Provide proof of payment or exemption, based on vesting rights, prior to issuance of building permits.

4. The proposed project shall pay the \$288 Traffic Impact Study review fee for review of the document. Proof of payment shall be provided to the Traffic & Engineering Services Division.
5. The proposed project shall make the following improvements at the intersection of Alluvial and Chestnut Avenues:
 - Restripe/widen the southbound approach, north leg, from one (1) left-turn lane and a shared through-right lane to one (1) left-turn lane, two (2) through lanes and one (1) right-turn lane
 - Restripe/widen the westbound approach, east leg, from a shared left-through lane and one (1) right-turn lane to one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
 - Restripe/widen the eastbound approach, west leg, from a shared left-through lane and one (1) right-turn lane to one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
 - Modification of the traffic signal to include left-turn phasing on all approaches
6. The proposed project shall make necessary improvements and right-of-way and public easement dedications along adjacent public street(s) and within the site boundaries per City of Fresno standards/requirements.
7. The proposed site plan shall be reviewed and approved by the City of Fresno Traffic & Engineering Services Division, Traffic Planning Section.

If you have any further questions regarding this matter, please contact me at (559) 621-8792 or jill.gormley@fresno.gov.

Sincerely,



for

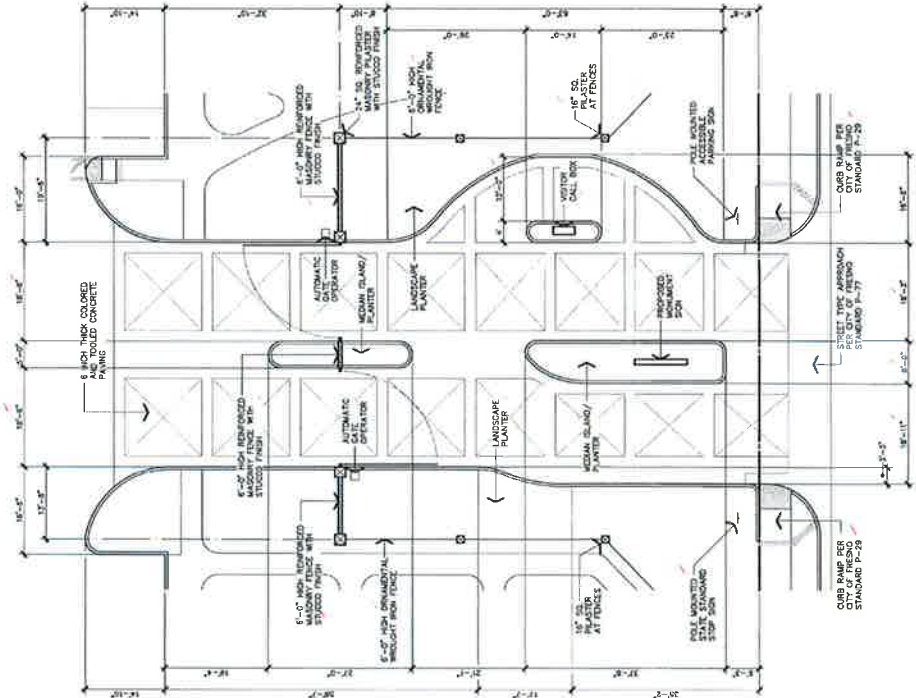
Jill Gormley, TE
City Traffic Engineer / Traffic Engineering Manager
Public Works Department, Traffic & Engineering Services

C: Copy filed with Traffic Impact Study
Louise Gilo, Traffic Planning Supervisor
John Rowland, Peters Engineering Group

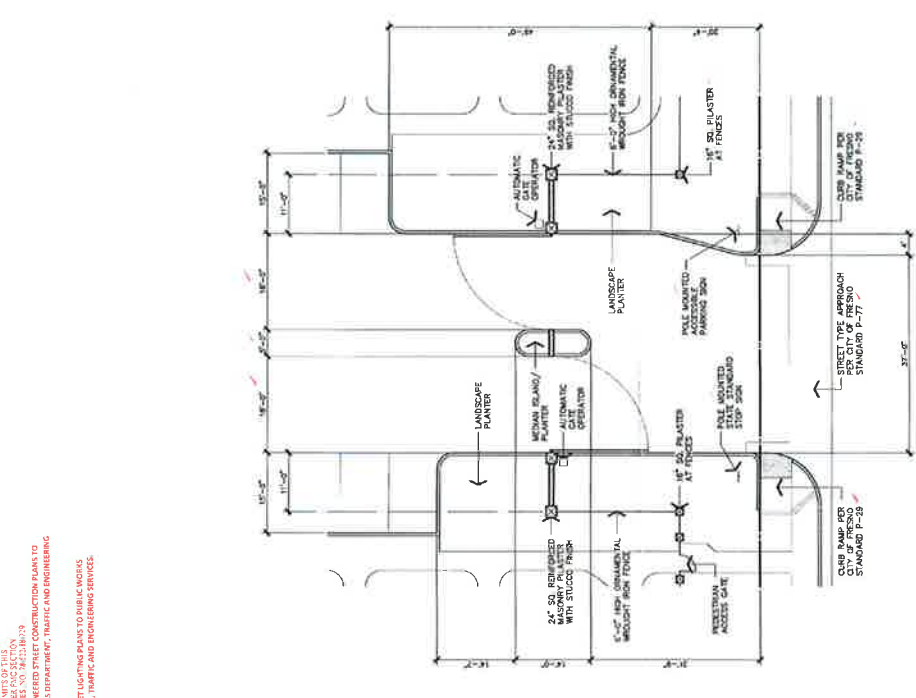


SITE NOTES

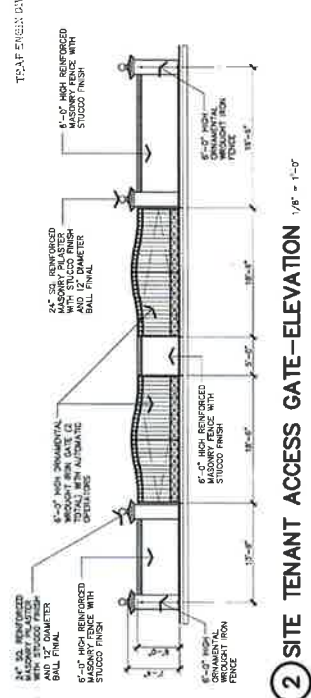
1. ALL NOTES AND SPECIFICATIONS TO THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF CONTRACT AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FRESNO AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.
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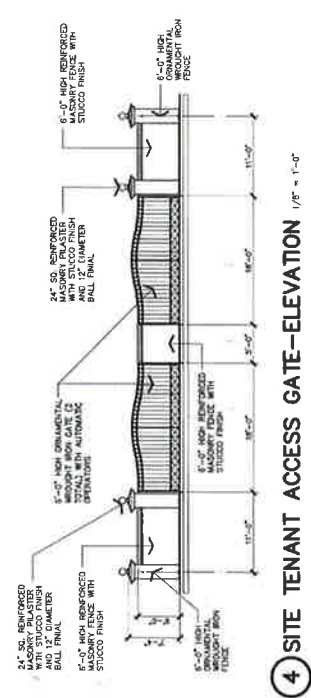
1 SITE PUBLIC ACCESS GATE—PLAN VIEW 3/32" = 1'-0"



2 SITE TENANT ACCESS GATE—ELEVATION 1/8" = 1'-0"



3 SITE TENANT ACCESS GATE—ELEVATION 1/8" = 1'-0"



4 SITE TENANT ACCESS GATE—ELEVATION 1/8" = 1'-0"

1. ALL NOTES AND SPECIFICATIONS TO THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF CONTRACT AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS APPLICABLE TO THIS PROJECT.

DEPARTMENT OF PUBLIC WORKS

TO: **Kira Noguera, Planner III**
Development Services/Planning

FROM: **Hilary Kimber, Parks Supervisor II (559-621-1345)**
Public Works, Median Island Maintenance

DATE: August 4, 2016

SUBJECT: SITE PLAN REVIEW NO. C-16-046

The Department of Public Works offers the following comments regarding 7521 North Chestnut Avenue/2350 East Alluvial Avenue (APN:404-071-45) located on the northwest corner of East Alluvia and North Chestnut Avenues:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and trail landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 60' of street frontage by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with FMC 12-306-23, Water Efficient Landscape Standards.
2. There are approximately 780 lineal feet of street frontage along E. Alluvial Ave. resulting in the requirement of thirteen (13) street trees. The landscape designs submitted by The Vincent Company dated May 6, 2016 show seventeen (17) trees to be planted which exceeds the Public Works requirements for this street.
3. The designate street trees for E. Alluvial Ave. are:

Fraxinus a. 'Autumn Applause	Autumn Applause Ash <u>and/or</u>
Fraxinus a. 'Autumn Purple'	Autumn Purple Ash
5. Public Works requires a landscape and irrigation design (including MAWA & WUCOLS) to the scale of 1"=20' to be submitted prior to installation.



DATE: September 16, 2016

TO: Kira Noguera, Development Services/Planning
Development and Resource Management Department

FROM: Ann Lillie, Senior Engineering Technician
Public Works Department, Traffic and Engineering Services Division

SUBJECT: CONDITIONS OF CONDITIONAL USE PERMIT APPLICATION NO. 2016-046
FOR MAINTENANCE REQUIREMENTS

ADDRESS: 7521 North Chestnut Avenue & 2350 East Alluvial Avenue
APN: 404-071-45

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this development as a condition of approval by the Public Works Department. These requirements are based on City records, standards and the proposed improvements depicted for this development on the exhibits submitted.

ATTENTION:			
The item (s) below requires a separate process with additional costs and timelines. In order to avoid delays with the approval of this development, the following item (s) shall be submitted for processing to the Public Works Department, Traffic and Engineering Services Division prior to Building Permit approval.			
X	Private Maintenance Covenant	Ann Lillie	(559) 621-8690 ann.lillie@fresno.gov
X	CFD Annexation Request Package		

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

Any change affecting the items in these conditions requires revision of this letter.

INCOMPLETE Community Facilities District (“CFD”) Annexation Request submittals may cause delays to the annexation process and project approval. The annexation process takes from three to four months and SHALL be completed prior to Building Permit approval.

All applicable construction plans for this development are to be submitted to the Traffic and Engineering Services Division for review and approval prior to the CFD process. The Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process.

1. The Property Owner's Maintenance Requirements

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Commercial, Industrial and Multi-Family developments are the ultimate responsibility of the Property Owner. The property owner shall provide Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 9 ("CFD No. 9").

The following public improvements (existing and proposed) are eligible for Services by CFD No. 9 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within public street rights-of-way, required public trail easements, and landscape easements located between required sound walls and adjacent to public streets; including without limitation, median islands (1/2 if frontage is only on one side) and parkways. **(East Alluvial, North Chestnut and East Bedford Avenues)**
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, median capping and maintenance bands (1/2 if frontage is only on one side), and traffic calming structures in the street rights-of-way. **(East Alluvial and North Chestnut Avenues)**
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, median island curbing and hardscape, street paving and street name signage. **(East Bedford Avenues)**
- All costs associated with the street lights (including repair and replacement) within public street rights-of-way. **(East Alluvial, North Chestnut and East Bedford Avenues)**

2. The Property Owner may choose to do one or both of the following:

- I. The Property Owner may petition the City of Fresno to request annexation to CFD No. 9 by completing and submitting an Annexation Request Package to the Public Works Department, Traffic and Engineering Services Division for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Developer Doorway.
 - **Proceedings to annex territory to CFD No. 9 SHALL NOT commence** unless this development is within the City limits and all construction plans (this includes Street, Street Light, Signal and Landscape and Irrigation plans as applicable) are considered technically correct.
 - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 9 are not subject to change after acceptance for processing.**
 - The annexation process takes from three to four months and **SHALL** be completed

prior to building permit approvals. The review and approval of Landscape and Irrigation Plans are required to be approved by the Public Works Department prior to the completion of the annexation process.

- Public improvements not listed above will require special approval by the Public Works Department Director or his designee.

-OR-

- II. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 9 for Services **SHALL** be included in a Private Maintenance Covenant.

Any change to this development that would affect these conditions shall require a revision of this letter.

For any questions regarding these conditions please contact me at (559) 621-8690 / ann.lillie@fresno.gov



**DEPARTMENT OF PUBLIC UTILITIES
ADMINISTRATION DIVISION
MEMORANDUM**



Providing Life's Essential Services

Date: August 8, 2016

To: KIRA NOGUERA, Planner III
Planning and Development

From: KEVIN GRAY, Supervising Engineering Technician
Department of Public Utilities, Planning and Engineering Division

Subject: SEWER REQUIREMENTS FOR CONDITIONAL USE PERMIT No. C-16-046,
ANNEXATION No. ANX-16-003 AND REZONE APPLICATION No. R-16-009

General

Annexation Application No. ANX-16-003, Rezone Application No. R-16-009, and Conditional Use Permit Application No. C-16-046 were filed by Scott Vincent of The Vincent Company Architects, on behalf of Louis Brosi, and pertains to ±18.52 acres of property located on the northwest corner of East Alluvial and North Chestnut Avenues, 7521 North Chestnut Avenue / 2350 East Alluvial Avenue & APN: 404-071-45. The applicant proposes a planned development that includes a 30-lot single family residential subdivision and 176-unit multiple family residential complex with a density transfer (tentative map for subdivision of the single family residential component to be submitted at a later date); rezoning the property from Fresno County RA-20 (Residential Agricultural, 20 acres) zone district to the City of Fresno RS-5/UGM (Residential Single Family, Medium Density/Urban Growth Management) zone district; and detachment from the Fresno County Fire Protection District and the Kings River Conservation District and annexation to the City of Fresno. The proposed reorganization is located within the City of Fresno's Sphere of Influence Boundary and is contiguous to the City on all four sides of the property.

Sewer Requirements

The nearest sanitary sewer main to serve the proposed project is an 8-inch sewer main located in East Alluvial Avenue, an 18-inch sewer main located in North Chestnut Avenue, and a 6-inch located in East Bedford Avenue. Sewer facilities are available to provide service to the site subject to the following requirements:

1. Abandon any existing on-site private septic systems.
2. On-site sanitary sewer facilities shall be private.
3. Installation of sewer house branch(s) shall be required.
4. Separate sewer house branches are required for each lot.
5. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed additions



A Nationally Accredited Public Utility Agency

- to the City Sewer System.
6. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.
 7. All sanitary sewer mains shall be extended within the proposed tract to provide service to each lot.
 8. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
 9. All underground utilities shall be installed prior to permanent street paving.

Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Sewer Lateral Charge
2. Sewer Oversize Service: 1
3. Trunk Sewer Charge: Herndon
4. Herndon Trunk Enhancement Fee.
5. Sewer Facility Charge (Multi-Residential).
6. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility charges per Fresno Municipal Code Section 6-304 and 6-305. Sewer Facility Charges consist of two components, a Wastewater Facilities Charge and Trunk Sewer Charge where applicable.
7. Sewer Facility Charges are collected after occupancy on a monthly basis over time based on metered (water or sewer effluent) usage. The developer may contact the Department of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect, at that time, per Fresno's Master Fee Resolution. The developer shall provide data regarding estimated sewer discharge rates [flow] and loading [BOD/TSS levels] required for calculating the estimated charges.



Department of Public Utilities – Water Division



DATE: July 19, 2016

TO: KIRA NOGUERA, Planner III
Development Department/Current Planning

THROUGH: MICHAEL CARBAJAL, Division Manager
Department of Public Utilities, Water Division

FROM: ROBERT A. DIAZ, Senior Engineering Technician *R.A.D.*
Department of Public Utilities, Water Division

SUBJECT: WATER REQUIREMENTS FOR CONDITIONAL USE PERMIT C-16-046,
REZONE R-16-009 AND ANNEXATION ANX-16-003

General

Annexation Application No. ANX-16-003, Rezone Application No. R-16-009, and Conditional Use Permit Application No. C-16-046 were filed by Scott Vincent of The Vincent Company Architects, on behalf of Louis Brosi, and pertain to ±18.52 acres of property located on the northwest corner of East Alluvial and North Chestnut Avenues, 7521 North Chestnut Avenue / 2350 East Alluvial Avenue & APN: 404-071-45. The applicant proposes a planned development that includes a 30-lot single family residential subdivision and 176-unit multiple family residential complex with a density transfer (tentative map for subdivision of the single family residential component to be submitted at a later date); rezoning the property from Fresno County RA-20 (Residential Agricultural, 20 acres) zone district to the City of Fresno RS-5/UGM (Residential Single Family, Medium Density/Urban Growth Management) zone district; and detachment from the Fresno County Fire Protection District and the Kings River Conservation District and annexation to the City of Fresno. The proposed reorganization is located within the City of Fresno’s Sphere of Influence Boundary and is contiguous to the City on all four sides of the property.

Water Requirements

The nearest water mains to serve the proposed project are an 8-inch main located in East Bedford Avenue, a 14-inch main located in North Chestnut Avenue and a 14-inch main located in East Alluvial Avenue. Water service is available to the site, subject to the following requirements:

- 1. On-site water facilities shall remain private within the proposed Multi-Family subdivision.




2. Water mains (including installation of City fire hydrants) shall be extended within the proposed Single-Family tract to provide service to each lot.
3. Separate water services with meter boxes shall be provided to each lot created.
4. No water connections shall be allowed to the existing 36-inch Transmission Grid Main located in North Chestnut Avenue.
5. Destruct any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-81 and 74-90 or current revisions issued by California Department of Water Resources and City of Fresno standards.
6. Engineered improvement plans prepared by a Registered Civil Engineer are required for proposed additions to the City Water System.
7. All Public water facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.



DEPARTMENT OF PUBLIC UTILITIES

Date: July 28, 2016

To: KIRA NOGUERA, Planner III
Development and Resource Management Department , Current Planning

From: MIKEAL CHICO, Management Analyst II 
Solid Waste Management Division

Subject: Annexation Application No. ANX-16-003, Rezone Application No. R-16-009, and Conditional Use Permit Application No. C-16-046 were filed by Scott Vincent of The Vincent Company Architects, on behalf of Louis Brosi, and pertain to ±18.52 acres of property located on the northwest corner of East Alluvial and North Chestnut Avenues, 7521 North Chestnut Avenue / 2350 East Alluvial Avenue & APN: 404-071-45. The applicant proposes a planned development that includes a 30-lot single family residential subdivision and 176-unit multiple family residential complex with a density transfer (tentative map for subdivision of the single family residential component to be submitted at a later date); pre-zoning the property from Fresno County RA-20 (Residential Agricultural, 20 acres) zone district to the City of Fresno RS-5/UGM (Residential Single Family, Medium Density/Urban Growth Management) zone district; and detachment from the Fresno County Fire Protection District and the Kings River Conservation District and annexation to the City of Fresno. The proposed reorganization is located within the City of Fresno's Sphere of Influence Boundary and is contiguous to the City on all four sides of the property.

General

This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Allied Waste at 559-275-1551 or 800-493-4285.

Does Project Affect Your Agency/Jurisdiction

Yes - Project has or will be required to provide a trash enclosure.

Suggestions to Reduce Impacts/Address Concerns

The design of any new, substantially remodeled, or expanded building or other facility shall provide for proper storage or handling which will accommodate the solid waste loading anticipated and which will allow for safe and efficient waste removal.

Provide 44' (centerline) turning radius.

Minimum width of 16' for truck path.

Gated entrances require 16' of clearance.

Trash enclosures are for storage of refuse and recycling bins only; no other equipment, piping, faucets or structures are to be constructed or placed within the enclosure.

Recommended Conditions of Approval

Enclosure shall be built in accordance with current City of Fresno Standards P-33 and P-34.

2-cell trash enclosure required.

Recent additional development codes for the multi-residential projects require two additional changes to the standard trash/recycling enclosure. The applicant is required to provide a solid roof over the enclosure to prevent contaminated rainwater from flowing into the local drainage basin. The Fire Department has requested metal material be used for the roof. The applicant will have to provide tenant accessibility to all six enclosures. A separate access is to allow the disabled access without having to use the large gates. The city does not have detail design standards for the tenant accessible entrance or the solid roof requirement.

Additional Information

Location of all six enclosures is acceptable.

Revise plans to address concerns stated above and resubmit for approval.


Provide a detail sheet (overhead view and elevation) showing the enclosure roof and tenant accessible entrance.



FIRE DEPARTMENT

DATE: August 3, 2016

TO: KIRA NOGUERA, Planner III
Development and Resource Management Department

FROM: LAURIE SAWHILL, Senior Fire Prevention Inspector 
Fire Department, Community Risk Reduction Unit

SUBJECT: 7521 N CHESTNUT/2350 E ALLUVIAL
ANX-16-003, R-16-009 AND C-16-046

The Fire Department's conditions of approval include the following. Provide all notes included below on site plan.

Required fire apparatus access lanes shall be provided year round and maintained with an approved all-weather surface, capable of supporting 80,000-pound vehicles. The fire apparatus access lanes shall be a minimum of 4-inch base rock over compacted or undisturbed native soil or per approved engineering plans with a minimum of 24 feet of clear width or other approved method, which would prevent shoulder degradation. (FFD Development Policy 403.002)

All surface access roads shall be installed and maintained in a serviceable condition prior to and during all phases of construction. (FFD Development Policy 403.002)

All types of vehicle access shall maintain a minimum of 13 feet, 6 inch vertical clearance over the entire width of the access. Coordinate landscape plan to insure fire access not blocked by future growth. (FFD Development Policy 403.002)

All private streets and driveways that are provided for common access and are required for Fire Department access shall be constructed to a minimum unobstructed width of 20 feet. For drives separated by a median, 16 foot minimum lanes are required.

Provide approved police/fire bypass lock ("Best" padlock model 21B700 series or electric cylinder switch model 1W7B2) on drive access gate(s). All electrified gates shall be equipped with the Best electric cylinder lock 1W7B2 and "Click to Enter" system. A Knox

padlock may not be used in place of the Best padlock model 21B700. These locks can be purchased only through Sierra Lock & Glass, 1560 N. Palm Avenue, Fresno, CA 93728.

All gated residential developments require a "Click to Enter" system. When required, provide an approved visual recognition/feature sign at the "click to Enter" gate locations.

Electric gates shall be provided with battery back-up.

Access shall be maintained with a minimum clear drive width of at least 20 feet. Additional clear widths may be required and shall be approved by the Fire Marshal (or designee). (FFD Development Policy 403.002)

Provide note on site plan: Provide sign(s) (17 "x22" minimum) at all public entrance drives to the property which state "Warning – Vehicles stopped, parked or left standing in fire lanes will be immediately removed at owner's expense – 22658(a) California Vehicle Code – Fresno Police Department 621-2300."

Install on site hydrants with a minimum 8 inch main and a fire flow of 2500 GPM. See plan for approximate locations. Public and private hydrants for multi-family dwellings are spaced a maximum of 450 feet apart.

Note on plan: Fire hydrants and access roads shall be installed, tested and approved and shall be maintained serviceable prior to and during all phases of development. The 4 ½ inch outlet shall face the access lane.

Access roadways shall be constructed within 10 feet of the fire hydrant.

Fire hose pull and equipment access is an unobstructed walkway which provides continuous access connecting vehicular access to all building openings and exterior storage areas. The walkway requires unobstructed 36 inch horizontal clearance around openings and continuous 7 foot vertical clearance. (FFD Development Policy 403.002)

Required walking access shall be designed to prevent sharp turns and obstacles which would hinder the carrying of hoses, ground ladders and other hand held equipment. All gates across fire hose and equipment access points shall be a minimum of 4 foot clear width.

All buildings will be fire sprinklered. Duplex units can install NFPA13D systems. All multi-family units must install NFPA 13R systems. Show proposed locations of fire risers and FDC's (Fire Department Connections).

This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

July 20, 2016

Kira Noguera
City of Fresno
Development & Resource Management
Development Services/Planning Division
2600 Fresno Street, Third Floor
Fresno, CA 93721

Agency Project: Annexation Application No. ANX-16-003, Rezone Application No. R-16-009, and Conditional Use Permit Application No. C-16-046 For Louis Brosi III – The Villages at the Ranch

District CEQA Reference No: 20160434

Dear Ms. Noguera:

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the above referenced project. Per the Project Referral, the project consists of a planned development that includes a 30-lot single family residential development and 176-unit multiple family residential development and rezoning the property from the Fresno County RA-20 zone district to the City of Fresno RS-5/UGM zone district. The project is expected to be constructed in two phases:

- Phase 1 the multi-family residential development;
- Phase 2 the single family residential development (tentative map for subdivision of the single family residential component to be submitted at a later date).

The approximately 18.5-acre project site is located on the northwest corner of East Alluvial Avenue and North Chestnut Avenue (7521 North Chestnut Avenue / 2350 East Alluvial Avenue), in Fresno, CA. (APN: 404-071-45) The District offers the following comments:

1. Based on information provided to the District, project specific emissions of criteria pollutants are not expected to exceed District significance thresholds of 10 tons/year NOX, 10 tons/year ROG, and 15 tons/year PM10. Therefore, the District concludes

Seyed Sadredin

Executive Director/Air Pollution Control Officer

Northern Region
4800 Enterprise Way
Modesto, CA 95356-8718
Tel: (209) 557-6400 FAX: (209) 557-6475

Central Region (Main Office)
1990 E. Gettysburg Avenue
Fresno, CA 93726-0244
Tel: (559) 230-6000 FAX: (559) 230-6061

Southern Region
34946 Flyover Court
Bakersfield, CA 93308-9725
Tel: 661-392-5500 FAX: 661-392-5585

that project specific criteria pollutant emissions would have no significant adverse impact on air quality.

2. Based on information provided to the District, at full build-out the proposed project would be equal to or greater than 50 residential dwelling units. Therefore, the District concludes that the proposed project would be subject to District Rule 9510 (Indirect Source Review).

An approved Air Impact Assessment (AIA) application (ISR Project Number C-20160138) has been submitted for the Villages at the Ranch project.

3. The proposed project may be subject to the following District rules: Regulation VIII (Fugitive PM10 Prohibitions), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations).

In the event that any portion of an existing building will be renovated, partially demolished or removed, the project may be subject to District Rule 4002 (National Emission Standards for Hazardous Air Pollutants). The Asbestos Program covers most renovations and all demolition projects in the San Joaquin Valley air basin. Elements of the Program include Survey and Notification Requirements prior to beginning a project. If you have any questions concerning asbestos related requirements, please contact the District's Compliance Division at (559) 230-6000.

The above list of rules is neither exhaustive nor exclusive. More information regarding compliance with District rules and regulation can be obtained by:

- Visiting the District's website at <http://www.valleyair.org/rules/1ruleslist.htm> for a complete listing of all current District rules and regulation, or
- Visiting the District's website at http://www.valleyair.org/busind/comply/PM10/compliance_PM10.htm for information on controlling fugitive dust emissions, or
- The District's Asbestos Requirements Bulletin can be found online at <http://www.valleyair.org/busind/comply/asbestosbultn.htm>.

4. The District recommends that a copy of the District's comments be provided to the project proponent.

If you have any questions or require further information, please contact Georgia Stewart at (559) 230-5937.

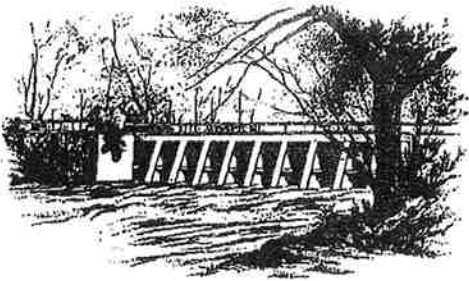
Sincerely,

Arnaud Marjollet
Director of Permit Services

A handwritten signature in blue ink that reads "Georgia Stewart". The signature is written in a cursive style with a large initial 'G'.

For: Brian Clements
Program Manager

AM: gs



YOUR MOST VALUABLE RESOURCE - WATER

July 26, 2016

OFFICE OF
FRESNO
IRRIGATION DISTRICT

TELEPHONE (559) 233-7161
FAX (559) 233-8227
2907 S. MAPLE AVENUE
FRESNO, CALIFORNIA 93726-2208

Kira Noguera
Development and Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Conditional Use Permit Application No. C-16-046, Rezone Application No. R-16-009, & Annexation Application No. ANX-16-003
N/W Alluvial and Chestnut avenues
FID's Teague Pipeline No. 119

Dear Ms. Noguera:

The Fresno Irrigation District (FID) has reviewed the Conditional Use Permit Application No. C-16-046, Rezone Application No. R-16-009, and Annexation Application No. ANX-16-003 for which the applicant proposes a planned development that includes a 30-lot single family residential subdivision and 176-unit multiple family residential complex, APN: 404-071-45. FID has the following comments and conditions:

Area of Concern

1. FID's active Teague Pipeline No. 119 runs southerly along the west side of the subject property in and exclusive 15' easement recorded on February 12, 1993 as Document No. 93021499, Official Records of Fresno County, and may be impacted by the proposed development as shown on the attached FID exhibit map. This easement currently does not meet FID's standards for 24" pipe; FID will require an additional minimum of 5' be granted for a total pipeline easement of 20'. Should this project include any street and or utility improvements along Alluvial Avenue or in the vicinity of this pipeline, FID requires it review and approve all plans.
2. FID's records indicate this section of pipeline was installed in 1994 (22 years old) as 24" Rubber Gasketed Reinforced Concrete Pipe (RGRCP) which currently meets FID's standards for (commercial, residential, industrial) parcels or urban areas.

General Comments

1. For informational purposes, FID's active Maupin - W. Br. Pipeline No. 374 runs southerly and crosses Alluvial Avenue approximately 1,400 feet east of the subject property as shown on the attached FID exhibit map. Should this project include any street and or utility improvements along Alluvial Avenue or in the vicinity of this pipeline, FID requires it review and approve all plans.

G:\Agencies\FresnoCity\Conditional Use Permit\C-16-046.doc

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.
CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

2. FID does not allow permanent structures to encroach into its easement. FID requires it review and approve all private facilities that propose to encroach into FID's easement.
3. FID requires its easements be shown on all future maps and plans with proper recording information, and that FID be made a party to signing the final map.
4. FID requires it review, approve and be made a party to signing all improvement plans which affect its property/easements and canal/pipeline facilities including, but not limited to, Sewer and Water, FMFCD, Street, Landscaping, Dry Utilities, and all other utilities.
5. If grading will be done, FID requires the applicant submit a grading and drainage plan for FID approval which shows that the proposed development will not endanger the structural integrity of the canal/pipeline, or result in drainage patterns that will adversely affect FID or the applicant.
6. The proposed development may negatively impact local groundwater supplies. The area is currently open land/rural residential with little to no water demand. Under current circumstances the overall area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in an increase water demand or a conversion from imported surface water to groundwater, this deficit will increase. FID suggests the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft.
7. The above comments are not to be construed as the only requests FID will have regarding this project. FID will make additional comments and requests as necessary as the project progresses and more detail becomes available.

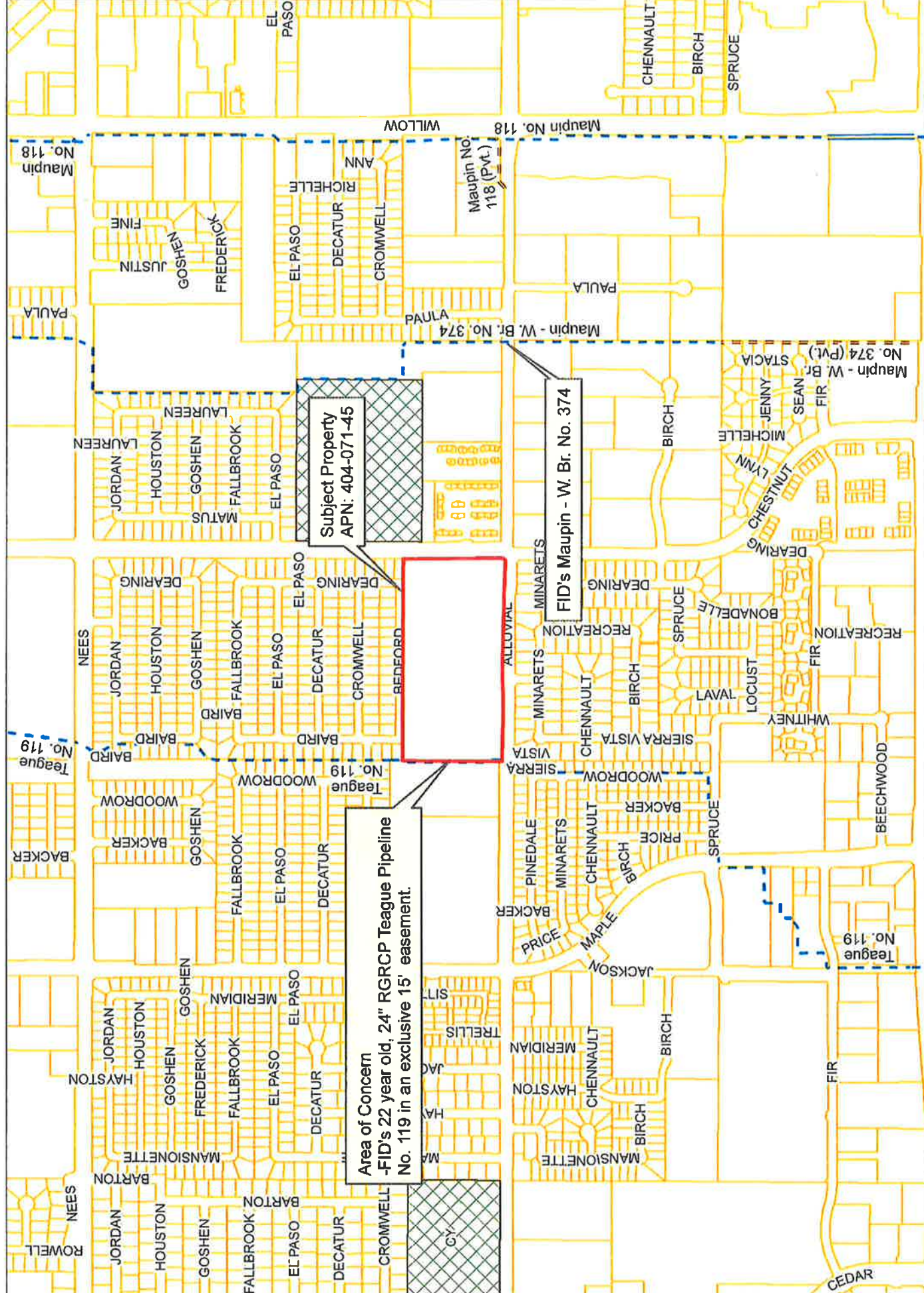
Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



Subject Property
APN: 404-071-45

FID's Maupin - W. Br. No. 374

Area of Concern
-FID's 22 year old, 24" RGRCP Teague Pipeline
No. 119 in an exclusive 15' easement.

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.



Legend

- Stream Group
- Other-Creek/River
- Other-Pipeline
- Abandoned Canal
- FID Pipeline
- Private Pipeline
- Abandoned Pipeline
- FID Canal
- Private Canal
- Stream Group
- Other-Creek/River
- Other-Pipeline
- Abandoned Canal
- FID Boundary
- Railroad
- Streets & Hwys
- Parcel
- FIMCD Acquired Basins
- FIMCD Proposed Basins

0 385 770 Feet
 1 inch = 768.06 feet
 S292016
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**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

File No. 210.413

Page 1 of 5

PUBLIC AGENCY

KIRA NOGUERA
DEVELOPMENT AND RESOURCE MANAGEMENT
CITY OF FRESNO
2600 FRESNO ST., THIRD FLOOR
FRESNO, CA 93721-3604

DEVELOPER

LOUIS BROSI III
PO BOX 25124
FRESNO, CA 93729

PROJECT NO: **2016-046**

ADDRESS: **NWC ALLUVIAL AND CHESTNUT AVE.**

APN: **404-071-45**

SENT:

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
CY	\$66,740.00	NOR Review	\$693.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$3,526.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review		For amount of fee, refer to www.fresnofloodcontrol.org for form to fill out and submit with first storm drainplan submittal (blank copy attached).
Total Drainage Fee: \$66,740.00		Total Service Charge: \$4,219.00		

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/17 based on the site plan submitted to the District on 7/15/16 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

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FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

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Approval of this development shall be conditioned upon compliance with these District Requirements.

1. a. Drainage from the site shall BE DIRECTED TO
 b. Grading and drainage patterns shall be as identified on Exhibit No. 1
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
 Developer shall construct facilities as shown on Exhibit No. 1 as "MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER".
 None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
 Grading Plan
 Street Plan
 Storm Drain Plan
 Water & Sewer Plan
 Final Map
 Drainage Report (to be submitted with tentative map)
 Other
 None Required

4. Availability of drainage facilities:
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
 d. See Exhibit No. 2.

5. The proposed development:
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
 Does not appear to be located within a flood prone area.

6. The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

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FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
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7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.

Peter Sanchez
District Engineer

Michael Maxwell
Project Engineer

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

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CC:

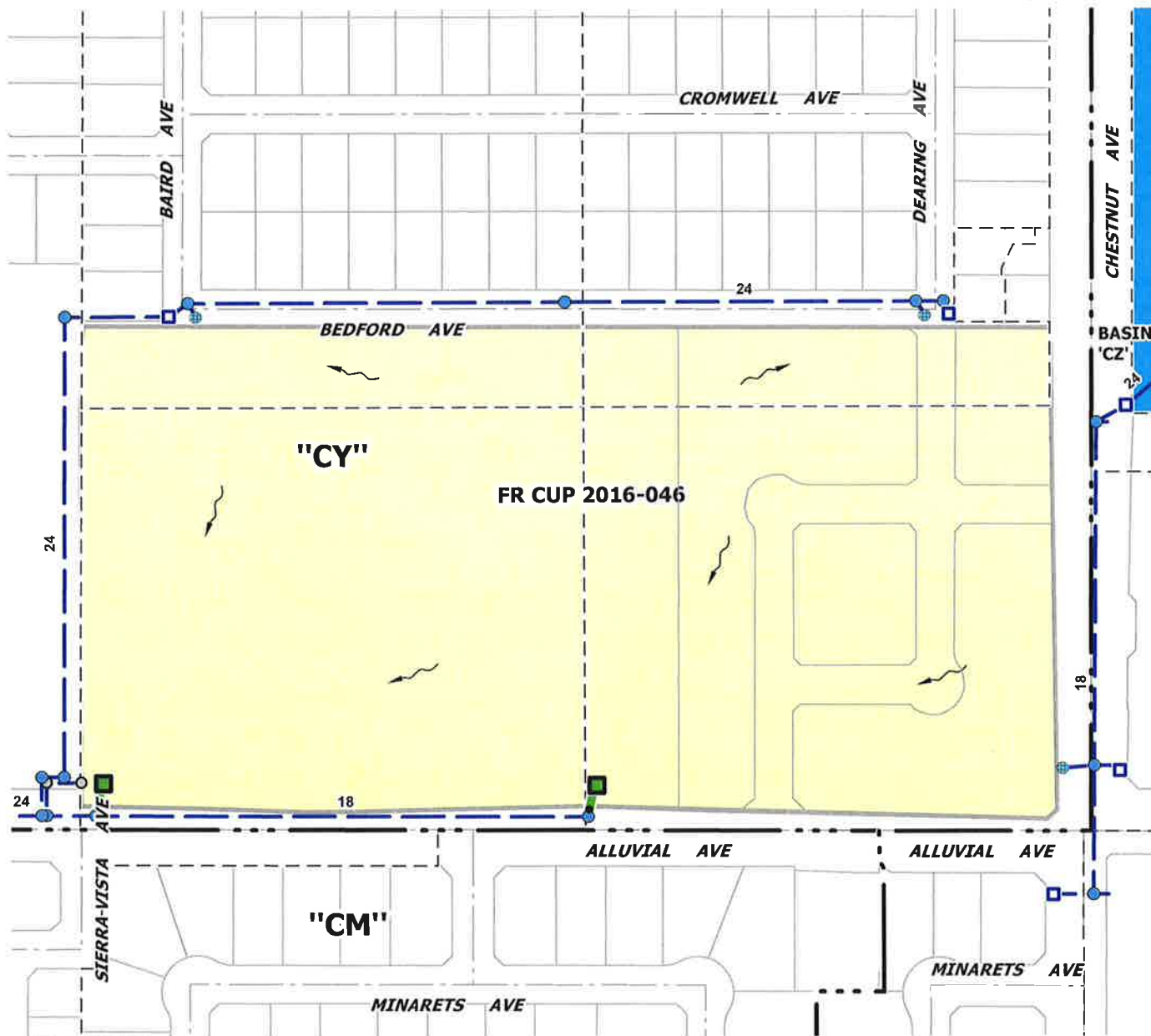
SCOTT A. VINCENT

1500 W. SHAW AVE., SUITE 304

FRESNO, CA 93720

FR CUP No. 2016-046

NOTE: THIS MAP IS SCHEMATIC. DISTANCES, AMOUNT OF CREDITABLE FACILITIES, AND LOCATION OF INLET BOUNDARIES ARE APPROXIMATE.



LEGEND

- Creditable Facilities (Master Plan Facilities To Be Constructed By Developer)-Pipeline (Size Shown) & Inlet.
- Existing Master Plan Facilities
- Inlet Boundary
- Drainage Area Boundary
- Direction of Drainage
- Existing Temporary Inlet To Be Removed By Developer (Not Eligible For Fee Credit)
- Limits of FR CUP 2016-046



1" = 200'

FR CUP 2016-046
DRAINAGE AREA "CY"

EXHIBIT NO. 1

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT



OTHER REQUIREMENTS
EXHIBIT NO. 2

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

The District's existing Master Plan drainage system is designed to serve medium density residential uses and the existing Master Plan storm drainage facilities may not have capacity to serve the proposed medium-high density residential type land use proposed for the west side of the development. The developer shall be required to mitigate the impacts of the increased runoff from the proposed medium-high density residential type land use proposed for the west side of the development to a rate that would be expected if developed to medium density residential. The developer may either make improvements to the existing pipeline system to provide additional capacity or may use some type of permanent peak reducing facility in order to eliminate adverse impacts on the existing system. Should the developer choose to construct a permanent peak-reducing facility, such a system would be required to reduce runoff from a ten-year storm produced by a medium-high density residential land use development, to a two-year discharge, which would be produced by the property if developed medium density residential. Implementation of the mitigation measures may be deferred until the time of development.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. If the lot coverage indicates a density higher than Master Planned, mitigation may be required. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation.

Development No. CUP 2016-046



July 24, 2016

SUBJECT: Annexation, Rezone, Northwest corner of N Chestnut and E Alluvial
7521 North Chesnut Avenue/2350 East Alluvial Avenue
APN 404-071-45

Dear Mrs. Zuniga:

The purpose of this letter is to provide school district information relative to the above-referenced subdivision and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the subdivider/owner and the State Department of Real Estate.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Mountain View Elementary*
Address: *2002 E Alluvial Ave, Fresno, CA 93720*
Telephone: *(559) 327-7500*
Capacity: *768*
Enrollment: *730*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

2. Intermediate School Information:

School Name: *Granite Ridge*
Address: *2770 E International Ave Fresno, CA 93730*
Telephone: *(559) 327-5000*
Capacity: *1600*
Enrollment: *1349*

Governing Board

Sandra A. Bengel
Christopher Casado
Brian D. Heryford
Ginny L. Hovsepian
Richard Lake, C.P.A.
Elizabeth J. Sandoval
Jim Van Volkinburg, D.D.S.

Administration

Janet L. Young, Ed.D.
Superintendent
Carlo Prandini, Ph.D.
Deputy Superintendent
Norm Anderson
Associate Superintendent
Barry S. Jager, Jr.
Associate Superintendent
Michael Johnston
Associate Superintendent

3. High School Information:

School Name: *Clovis North High School*
Address: *2770 E International Ave Fresno, CA 93730*
Telephone: *(559) 327-5000*
Capacity: *3100*
Enrollment: *2495*

3. Bus transportation is currently provided for grades K-6 students residing further than one mile from school and for grades 7-12 students residing further than two and one-half miles from school. Transportation will be available for students attending the above-identified elementary, intermediate and high schools in accordance with District standards in effect at the time of enrollment.
4. The District currently levies a school facilities fee of \$4.15 per square foot (\$4.22 as of July 6, 2016) for residential development. The fee is adjusted periodically in accordance with law. New development on the subject property will be subject to the fee in place at the time fee certificates are obtained.

The District hereby requests that the information in this letter be provided by the owner/subdivider to all prospective purchasers of property within the project.

Thank you for the opportunity to comment on the project. Please contact me if you have any questions regarding this letter.

Sincerely,



Michael Johnston
Associate Superintendent
Administrative Services

Exhibit "I"
Conditional Use Permit Findings

Conditional Use Permit Findings

Based upon analysis of the application and subject to the applicant's compliance with all of the conditions of approval noted, staff concludes that the following required findings of Section 15-5306 of the FMC can be made.

FINDINGS PER FRESNO MUNICIPAL CODE SECTION 15-5306.	
<i>Finding A:</i>	The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this Code and all other chapters of the Municipal Code;
a. Pursuant to Table 15-902 of the Fresno Municipal Code, development of Multi-Unit (multiple family) Residential in the RS-5 (<i>Residential Single Family, Medium Density</i>) zone district is permitted, subject to obtaining a conditional use permit. The proposed project complies with all requirements and provision of the Fresno Municipal Code subject to compliance with the project conditions of approval.	
<i>Finding B:</i>	The proposed use is consistent with the General Plan and any other applicable plan and design guideline the City has adopted;
b. As outlined in "Land Use Plans and Policies" discussion above, the application is consistent with the General Plan goals and policies, the Woodward Park Community Plan, and other adopted policies. The application is consistent with the purpose of the Development Code to promote growth in an orderly and sustainable manner, support infill development, and to promote and protect the public health, safety, peace, comfort, and general welfare;	
<i>Finding C:</i>	The proposed use will not be substantially adverse to the public health, safety, or general welfare of the community, nor be detrimental to surrounding properties or improvements;
c. The proposed project has been evaluated for potential environmental impacts and will not result in significant effects as outlined within the attached Finding of Conformity to the Fresno General Plan Master Environmental Impact Report (MEIR NO. 2012111015) dated September 2, 2016.	
<i>Finding D:</i>	The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and reasonably foreseeable future land uses in the vicinity; and
d. The proposed project is located on an infill site completely surrounded by urban uses at an intensity and scale consistent with the designated land use of the Fresno General Plan. The proposed project has been designed with interface performance standards and design incorporated and in compliance with the transition standards of the Fresno Municipal Code.	
<i>Finding E:</i>	The site is physically suitable for the type, density, and intensity of use being proposed, including access, emergency access, utilities, and services required.
e. The proposed project is consistent with the intensity and scale designated by the Fresno General Plan and Woodward Park Community Plan. Adequate access, infrastructure and service facilities are provided and available.	