

CONSTRUCTION NOTES

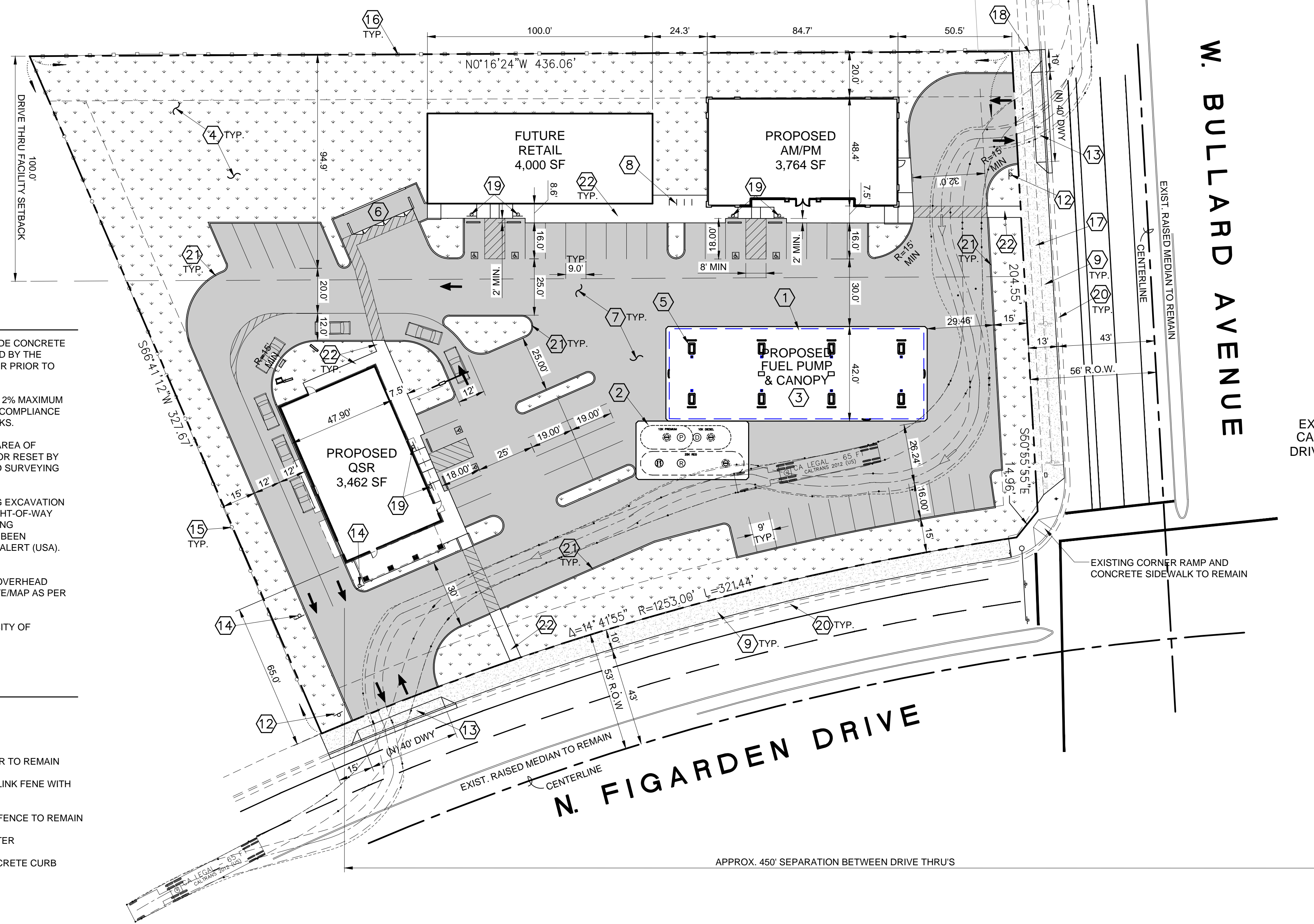
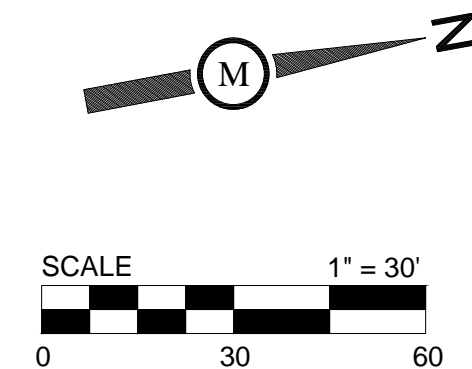
- ① NEW 40' X 113' FUELING ISLAND CANOPY
- ② NEW UNDERGROUND FUEL STORAGE TANK
- ③ NEW 42' X 115' FUELING ISLAND CONCRETE SLAB
- ④ PROPOSED LANDSCAPING
- ⑤ NEW MULTI-PRODUCT DISPENSER (MPD) W/ GUARD POST (TYPICAL OF 8)
- ⑥ NEW TRASH ENCLOSURE
- ⑦ PROPOSED PAVED AREA TO PW STDS P-21, P-22, & P-23
- ⑧ PROPOSED BIKE RACK
- ⑨ CONSTRUCT A 10' CONCRETE SIDEWALK TO PW STD P-5, WHERE MISSING
- ⑩ NOT USED.
- ⑪ CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STDS E-1 & E-7
- ⑫ INSTALL 30" STATE STD "STOP" SIGN(S) AT LOCATION(S) SHOWN. SIGN SHALL BE MOUNTED ON A 2" GALVANIZED POST WITH THE BOTTOM OF THE SIGN 7" ABOVE GROUND; LOCATED BEHIND CURB AND IMMEDIATELY BEHIND MAJOR STREET SIDEWALK. WHERE "RIGHT TURN ONLY" SIGN ALSO REQUIRED AT SAME LOCATION, INSTALL 30"x36" STATE STANDARD SIGN IMMEDIATELY BELOW THE STOP SIGN ON SAME POST.
- ⑬ CONSTRUCT A DRIVEWAY APPROACH TO STDS P-6 & P-2
- ⑭ INSTALL "DO NOT ENTER EXIT ONLY" SIGN
- ⑮ EXISTING 6' HIGH CHAIN-LINK FENCE WITH SLATS TO REMAIN
- ⑯ EXISTING 6' HIGH WOOD TO REMAIN
- ⑰ REMOVE EXISTING CONCRETE SIDEWALK AND REPLACE WITH NEW SIDEWALK PER PW STD P-5
- ⑱ REMOVE EXISTING TEMPORARY DRIVEWAY & REPLACE WITH CURB, SUTTER, & SW PER PW STD P-5
- ⑲ ACCESSIBILITY SIGNAGE PER ADA STDS.
- ⑳ EXISTING CURB & GUTTER TO REMAIN
- ㉑ PROPOSED 6" HIGH CURB
- ㉒ PROPOSED CONCRETE WALK

SITE NOTES

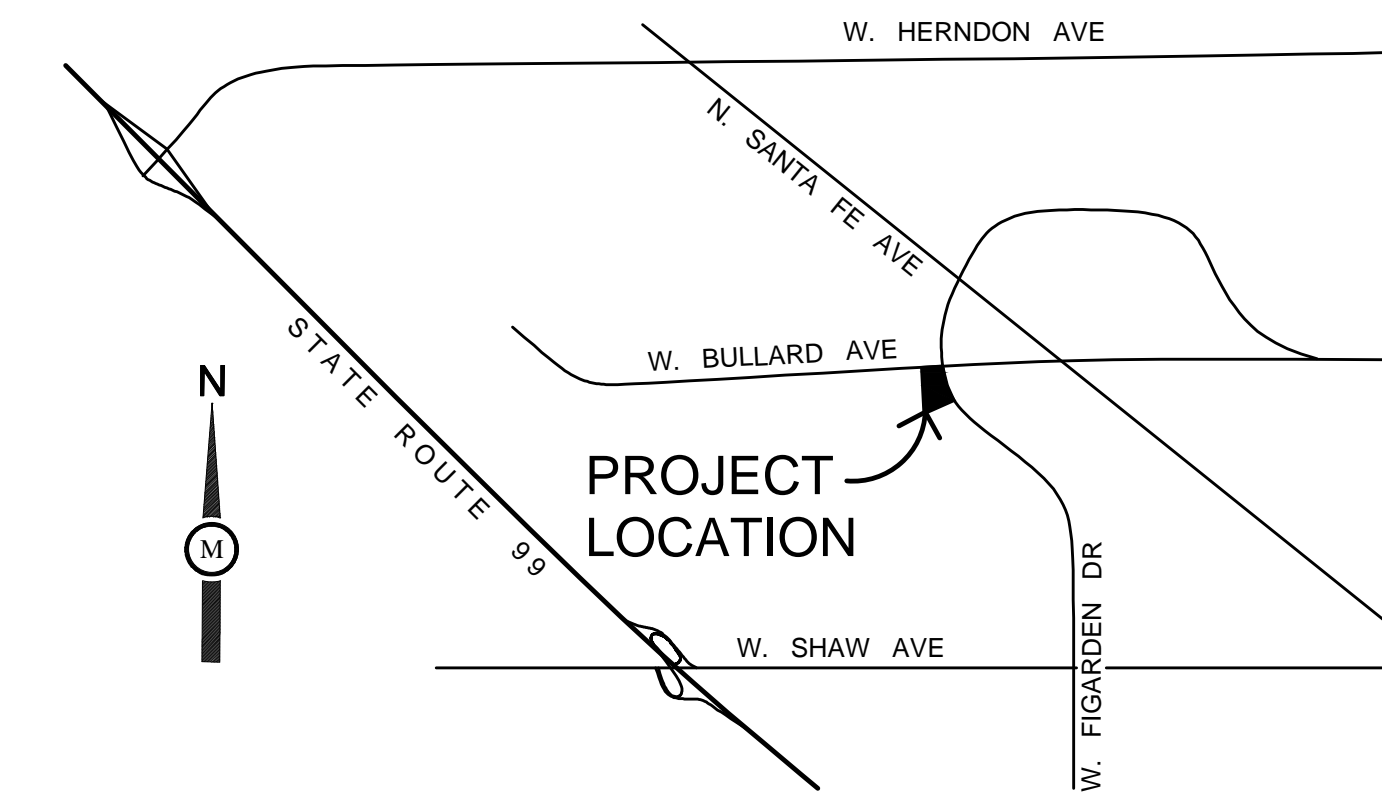
1. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
2. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
3. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
4. 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-624-2444
5. UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE MAP AS PER FMC SECTION 15-4114.
6. PROPOSED PARKING LOT STRIPING TO CITY OF FRESNO PARKING MANUAL STDS.

LEGEND

- PROPERTY LINE
- CENTERLINE
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING 6' HIGH CHAIN-LINK FENCE WITH SLATS TO REMAIN
- EXISTING 6' HIGH WOOD FENCE TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED 6" HIGH CONCRETE CURB
- PROPOSED CONCRETE
- PROPOSED PARKING LOT PAVING
- PROPOSED LANDSCAPED AREAS



SITE PLAN



VICINITY MAP
NOT TO SCALE

LOT DATA:

A.P.N.:	509-290-07
TOTAL ACREAGE:	104,980 SF (2.41 AC)
EXISTING PARCELS:	1
PROPOSED PARCELS:	1
EXISTING ZONE:	CC - COMMUNITY COMMERCIAL
PROPOSED ZONE:	CC - COMMUNITY COMMERCIAL
EXISTING USE:	VACANT
PROPOSED USE:	CONVENIENCE STORE, GASOLINE SALES, RETAIL, AND RESTAURANT WITH DRIVE-THRU
LOT COVERAGE:	10.7% (11,226 SF)

PARKING DATA:

REQUIRED:	
C-STORE (3764/250 SF):	15 SPACES
RETAIL (4000/450 SF):	9 SPACES
RESTAURANT (3462/150 SF):	23 SPACES
REQUIRED:	47 SPACES
PROVIDED:	
STANDARD SPACE (9'x18')	42 SPACES
ACCESSIBLE SPACE (9'x18')	6 SPACES
PROVIDED:	48 SPACES

PROPERTY DESCRIPTION

PARCEL "A" OF LOT LINE ADJUSTMENT 2007-09, RECORDED JANUARY 13, 2009 AS DOCUMENT NO. 2009-0003803 OF OFFICIAL RECORDS. LOCATED IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA.

APN: 509-290-07

SITE UTILITIES:
SEWAGE DISPOSAL:
WATER SUPPLY:
DRAINAGE:

PROVIDED BY:
CITY
CITY
CITY

APPLICANT

FIGARDEN PETROLEUM, INC.
CONTACT: SURINA MANN
2190 MERIDIAN PARK BLVD, STE. G
CONCORD, CA 94520
PHONE: (925) 446-6806

DESIGN FIRM

MILESTONE ASSOCIATES
CONTACT: JULIO TINAJERO
1000 LINCOLN ROAD, STE. H202
YUBA CITY, CA 95991
PHONE: (530) 755-4700

APPL NO. C-17-013 EXHIBIT DATE 6/22/17
 PROJ ENG. DATE
 TRAFFIC ENG. DATE
 COND. APPROVED BY DATE
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

Milestone Associates
Imaging
1000 LINCOLN ROAD, STE. H202, YUBA CITY, CA 95991
TEL (530) 755-4700 FAX (530) 755-4587

REGISTERED PROFESSIONAL ENGINEER
CHRISTOPHER LLOYD DAY
No. C 64309
exp. 6/30/19
CIVIL
STATE OF CALIFORNIA

ISSUES / REVISIONS

DATE	DESCRIPTION
06-19-17	REVISED SITE PLAN
02-10-17	REVISED SITE PLAN
10-14-16	CLIP SUBMITTAL

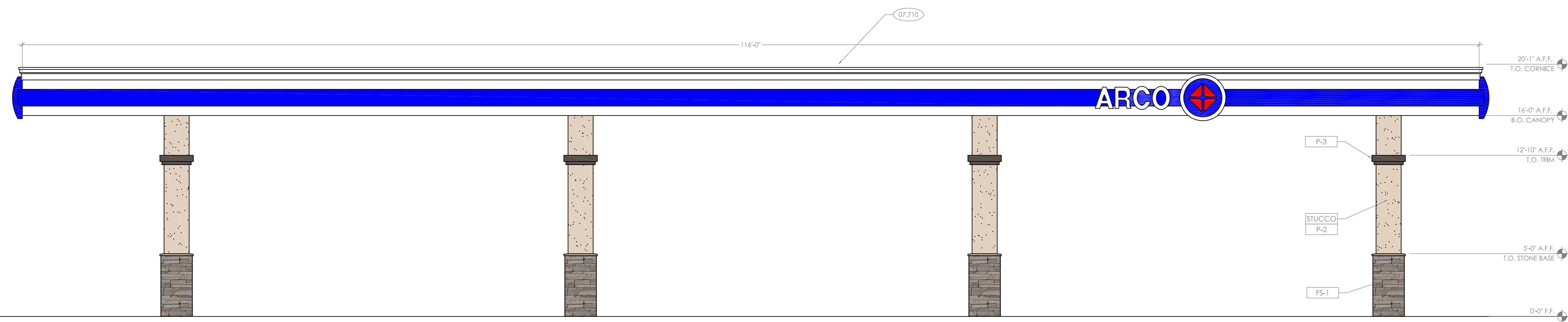
DRAWN BY: STAFF
CHK'D BY: J. TINAJERO

ARCO / QSR / RETAIL CENTER
FIGARDEN PETROLEUM, INC.
5647 N. FIGARDEN DRIVE
FRESNO, CALIFORNIA
A.P.N. 509-290-07

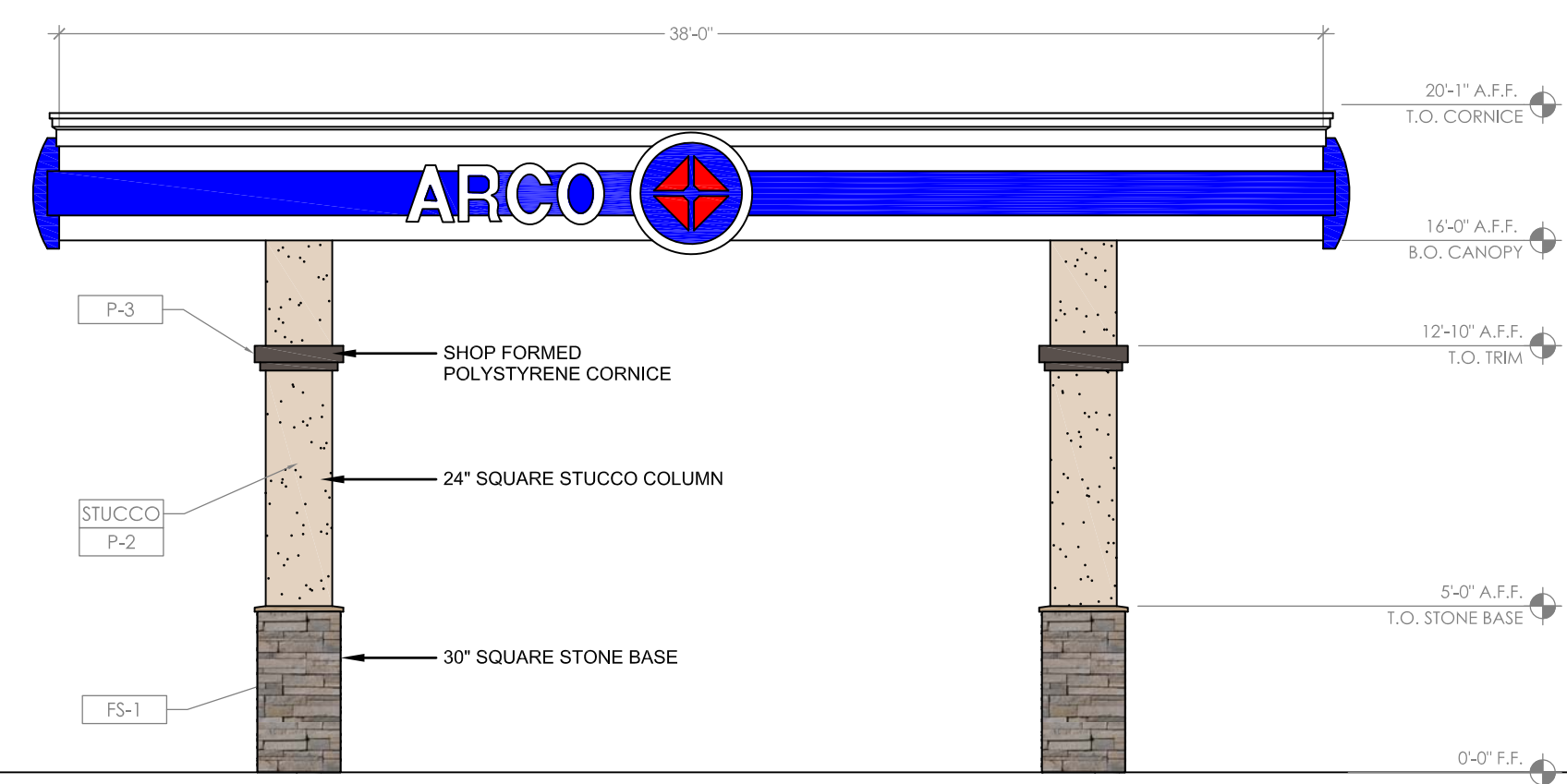


SHEET TITLE
SITE PLAN
PROJECT NO: 16-946

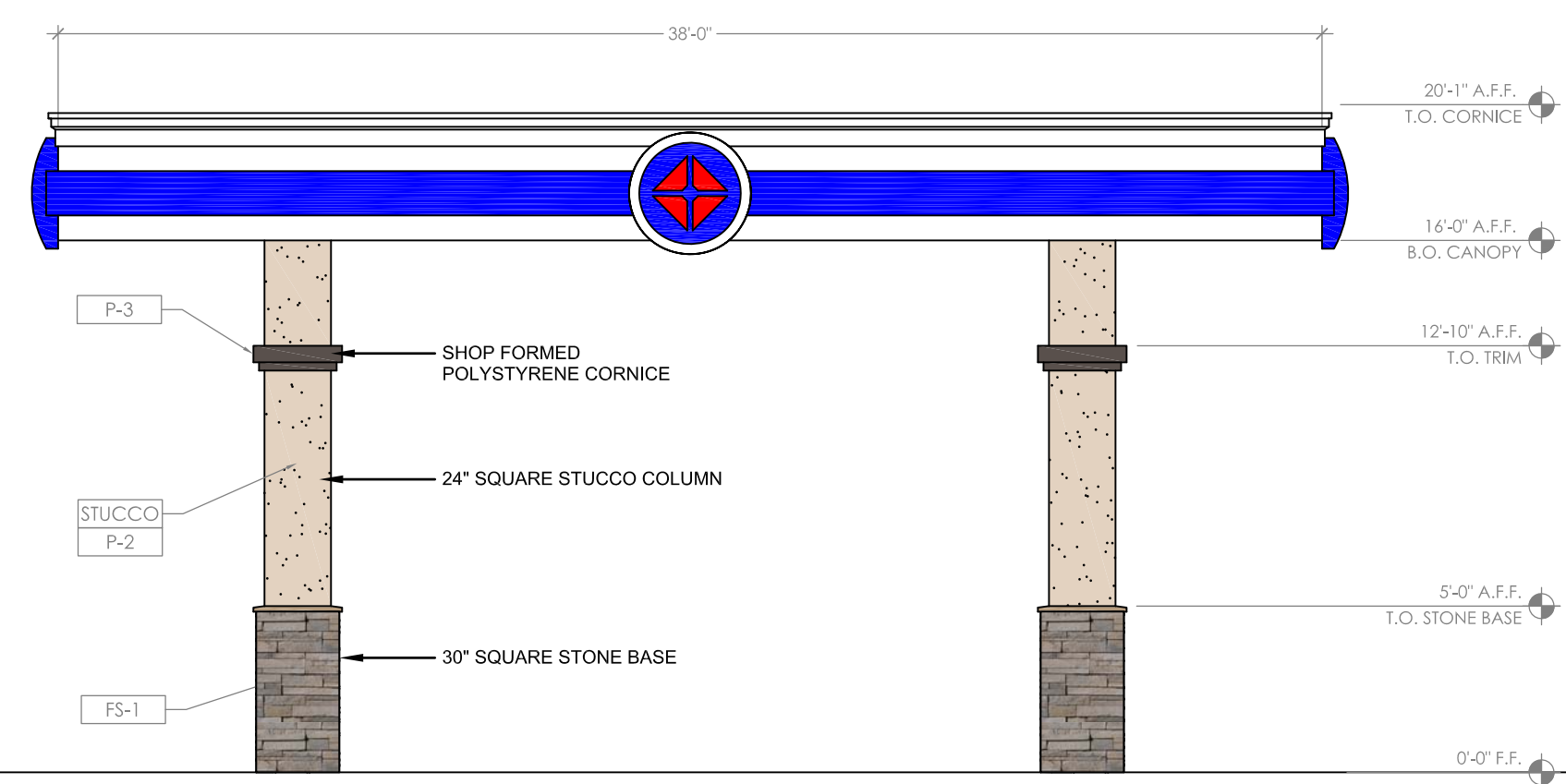
DD1



1 EAST ELEVATION
3/16" = 1'-0"



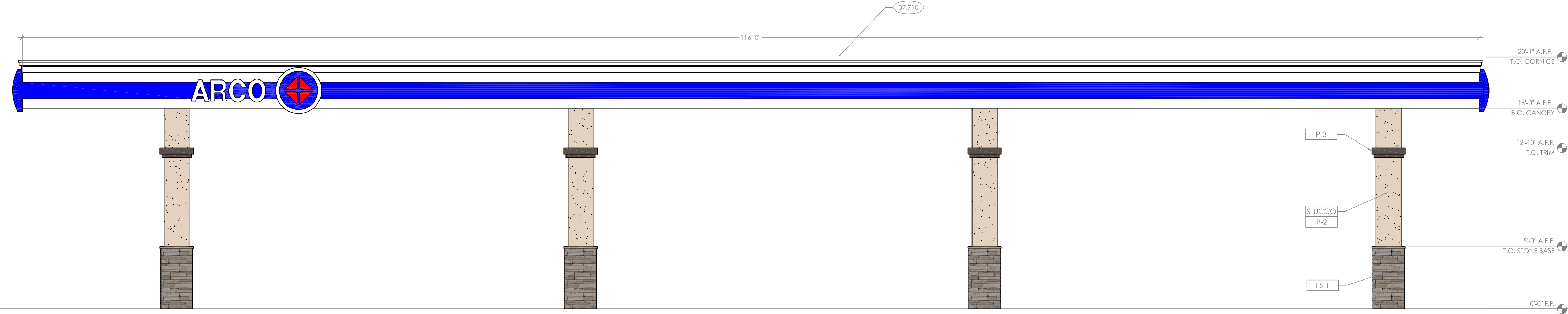
2 NORTH ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"

COLOR LEGEND

- P-2 DUNN EDWARDS DE6128, "SAND DUNE"
- P-3 DUNN EDWARDS DEC756, "WEATHERED BROWN", HIGH GLOSS
- FS-1 MANUFACTURED STONE VENEER MFG: CULTURED STONE PRODUCT: PRO-FIT LEDGESTONE COLOR: "SHALE"



4 WEST ELEVATION
3/16" = 1'-0"

APPL NO. C-17-013 EXHIBIT DATE 6/22/17
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 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

Milestone Associates
 J. M. Associates
 1000 LINCOLN ROAD, SUITE 100, FRESNO, CALIFORNIA 93701
 TEL: (530) 755-4704 FAX: (530) 755-4877



ISSUES / REVISIONS

DATE	DESCRIPTION
06-09-17	REVISED SITE PLAN
02-10-17	REVISED SITE PLAN
10-14-16	CLIP SUBMITTAL

DRAWN BY: STAFF
 CHK'D BY: J. TINAJERO

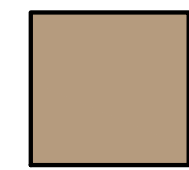
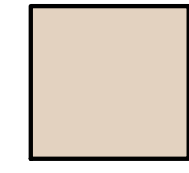


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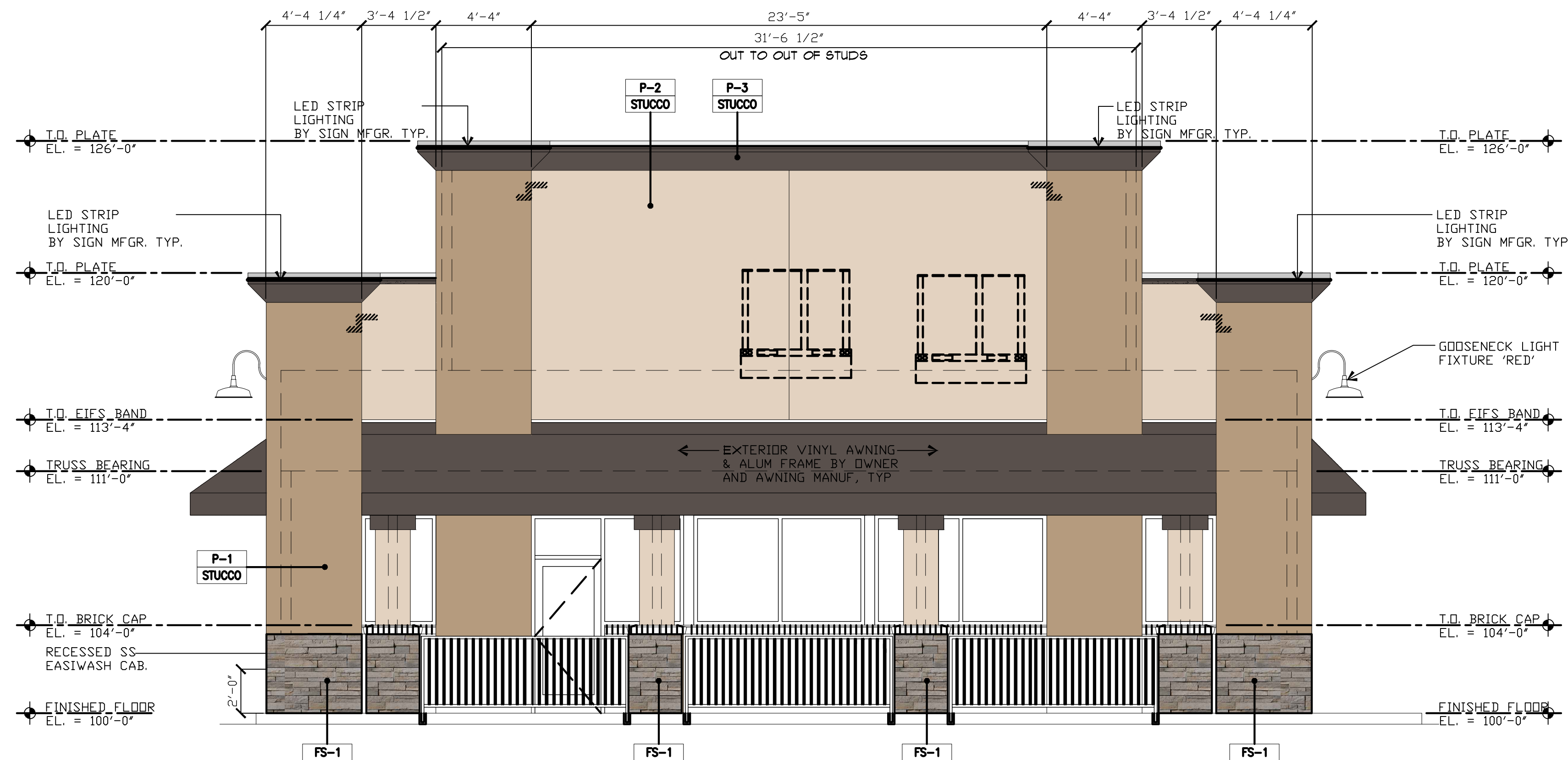


SHEET TITLE
 FUEL CANOPY ELEVATIONS

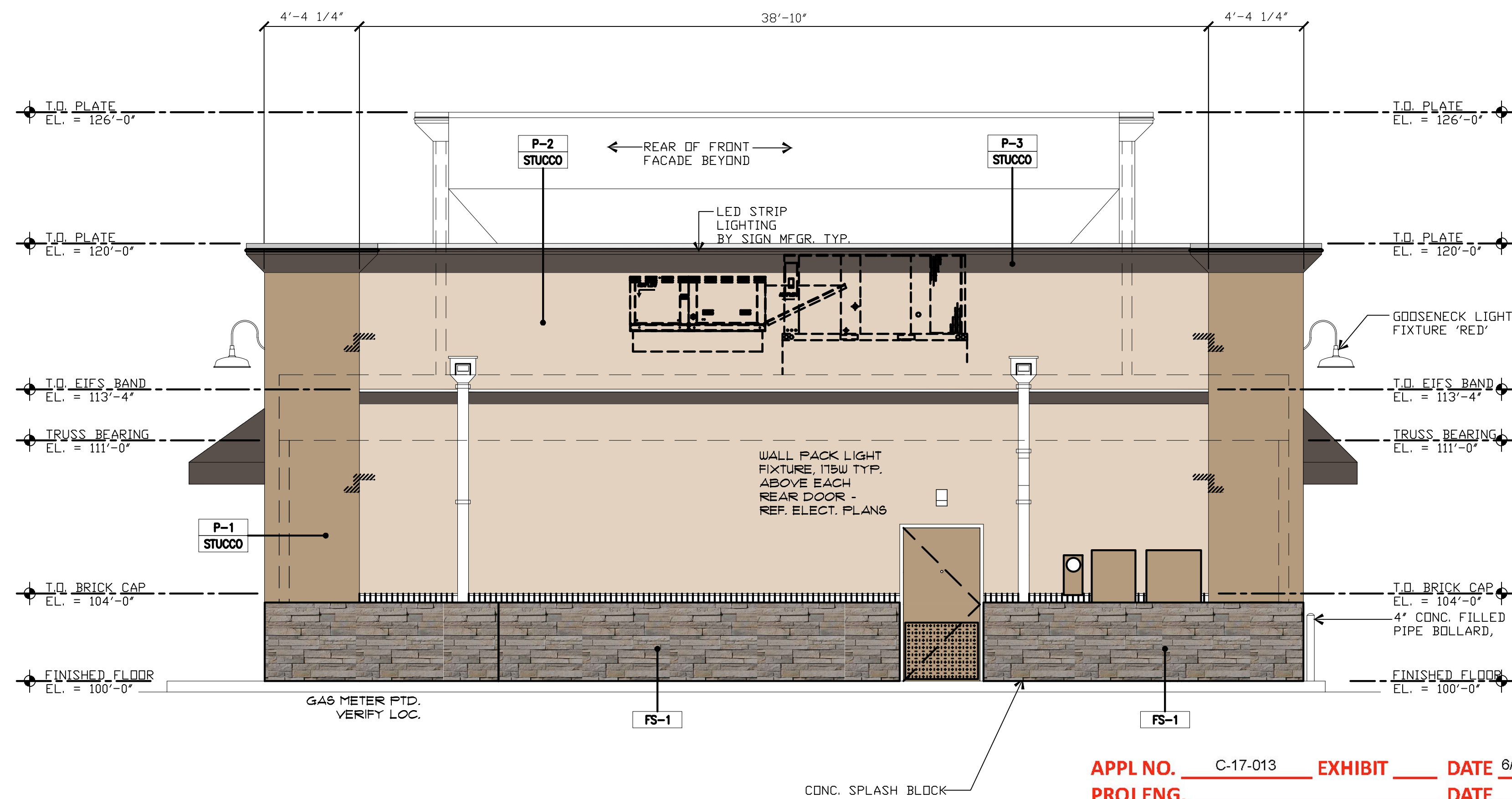
PROJECT NO: 16-946

COLOR LEGEND

	P-1 DUNN EDWARDS, DE6130, "WOODED ACRE"
	P-2 DUNN EDWARDS DE6128, "SAND DUNE"
	P-3 DUNN EDWARDS DEC756, "WEATHERED BROWN", HIGH GLOSS
	FS-1 MANUFACTURED STONE VENEER MFG: CULTURED STONE PRODUCT: PRO-FIT LEDGESTONE COLOR: "SHALE"

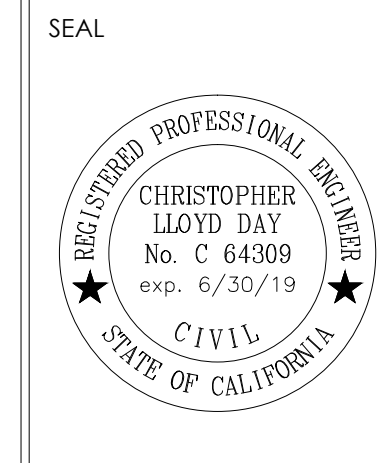
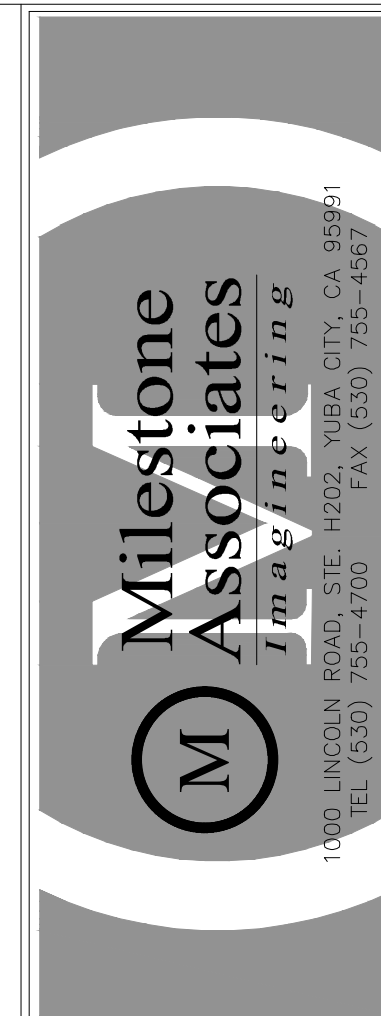


A EAST ELEVATION
1/4" = 1'-0"



B WEST ELEVATION
1/4" = 1'-0"

APPL NO. C-17-013 EXHIBIT DATE 6/22/17
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 COND. APPROVED BY
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



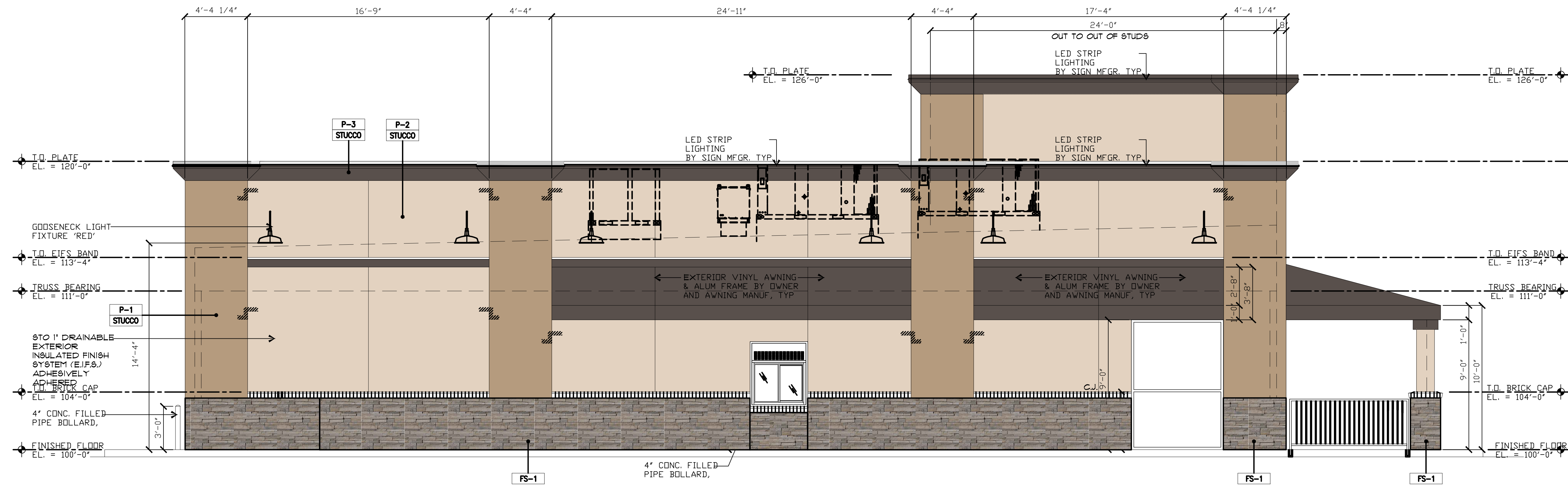
QUICK SERVE RESTAURANT
 4371 W. BULLARD AVENUE
 FRESNO, CALIFORNIA

EXTERIOR ELEVATIONS

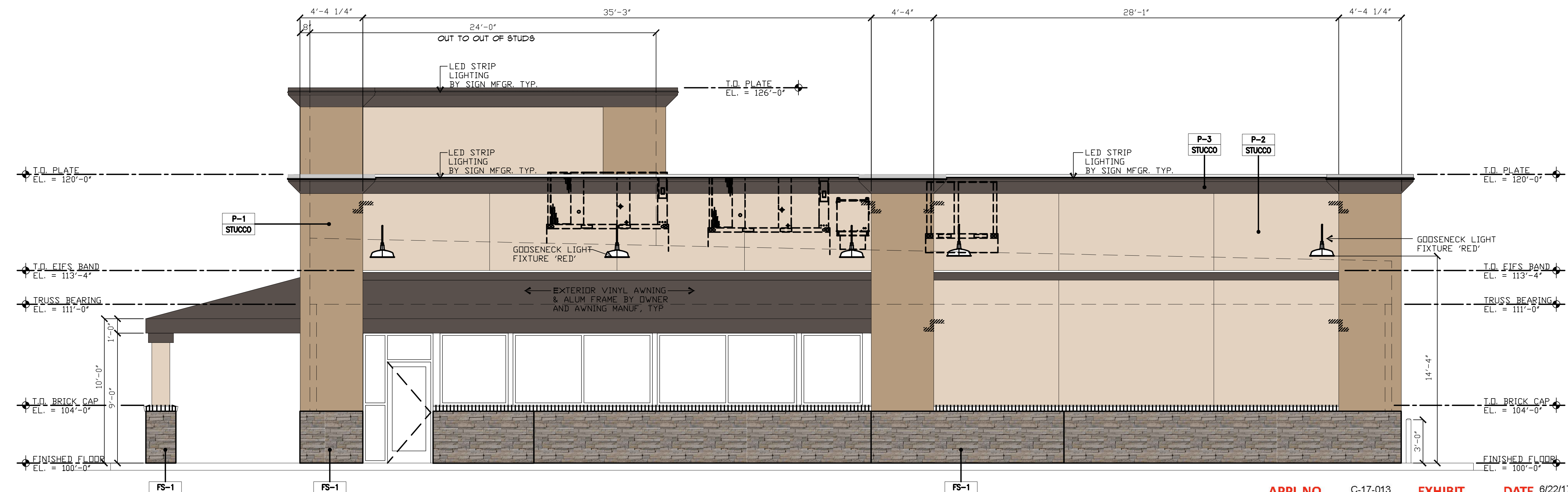
DATE
6/8/17

DRAWN BY:
STAFF
 CHECKED BY:
J. TINAJERO

SHEET NO.
DD2.1



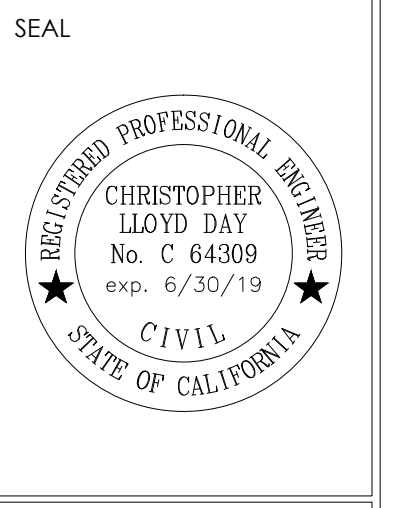
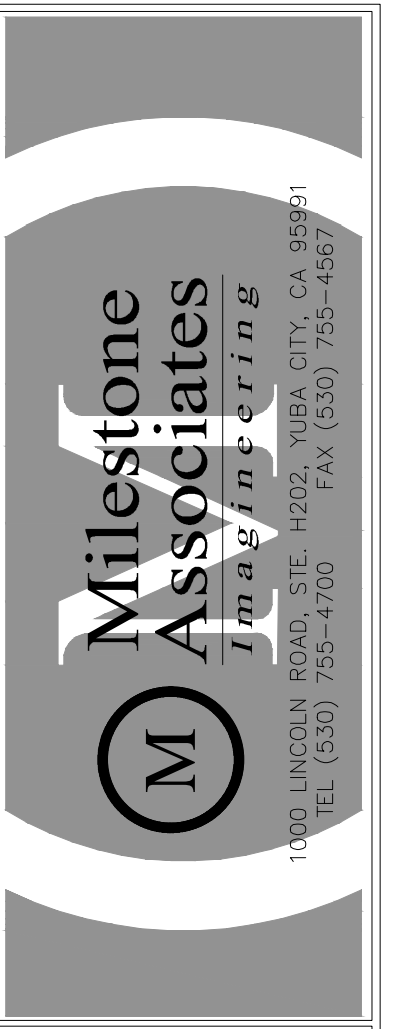
A SOUTH ELEVATION
1/4" = 1'-0"



B NORTH ELEVATION
1/4" = 1'-0"

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 PROJ ENG. DATE
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CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



QUICK SERVE RESTAURANT
 4371 W. BULLARD AVENUE
 FRESNO, CALIFORNIA

EXTERIOR ELEVATIONS	
DATE	6/8/17
DRAWN BY:	STAFF
CHECKED BY:	J. TINAJERO
SHEET NO.	DD2.2

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
06-19-17		REVISED SITE PLAN
02-10-17		REVISED SITE PLAN
10-14-16		CLIP SUBMITTAL
		DATE
		DESCRIPTION
DRAWN BY: STAFF		
CHK'D BY: J. TINAJERO		

ARCO / QSR / RETAIL CENTER
FIGARDEN PETROLEUM, INC.
 5647 N. FIGARDEN DRIVE
 FRESNO, CALIFORNIA
 A.P.N. 509-290-07



SHEET TITLE
COLOR ELEVATIONS

PROJECT NO: 16-946

DD3.1

GENERAL NOTES

REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.3 & SPECIFICATION.
- 2 STEEL AWNING ROD AND CLEVIS
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND

MATERIAL LEGEND

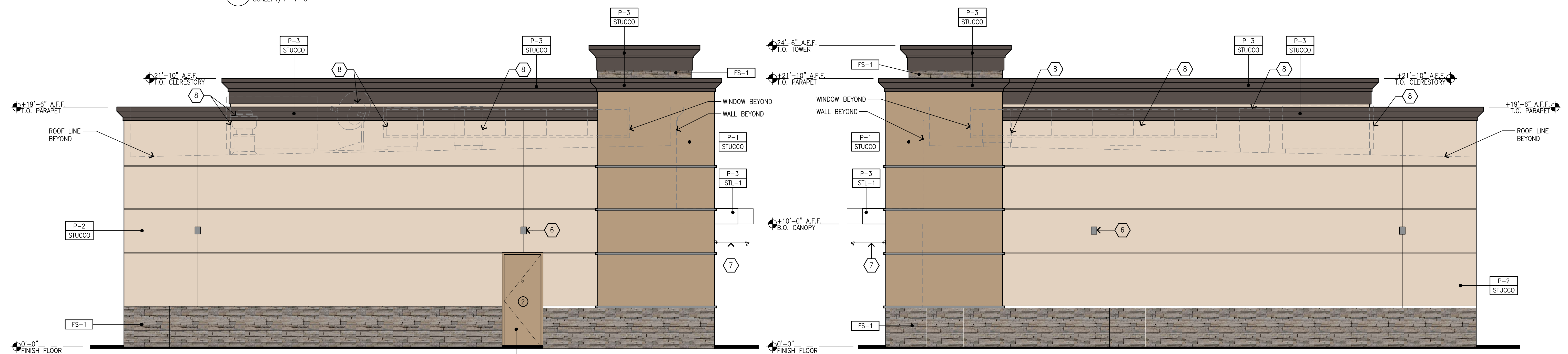
- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- S-FLEX STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER; INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STEEL AWNING
- FS-1 MANUFACTURED STONE VENEER MFG: CULTURED STONE PRODUCT: PRO-FIT LEDGESTONE COLOR: "SHALE"

COLOR LEGEND

- P-1 DUNN EDWARDS, DE6130, "WOODED ACRE"
- P-2 DUNN EDWARDS DE6128, "SAND DUNE"
- P-3 DUNN EDWARDS DEC756, "WEATHERED BROWN", HIGH GLOSS
- FS-1 MANUFACTURED STONE VENEER MFG: CULTURED STONE PRODUCT: PRO-FIT LEDGESTONE COLOR: "SHALE"

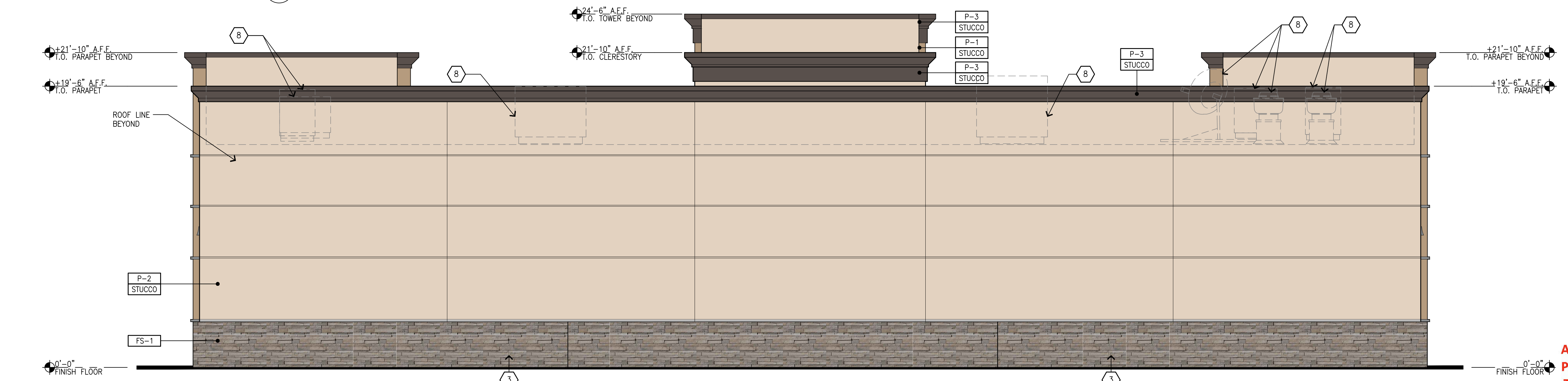


01 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



02 LEFT ELEVATION
 SCALE: 1/4"=1'-0"

03 RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



04 REAR ELEVATION
 SCALE: 1/4"=1'-0"

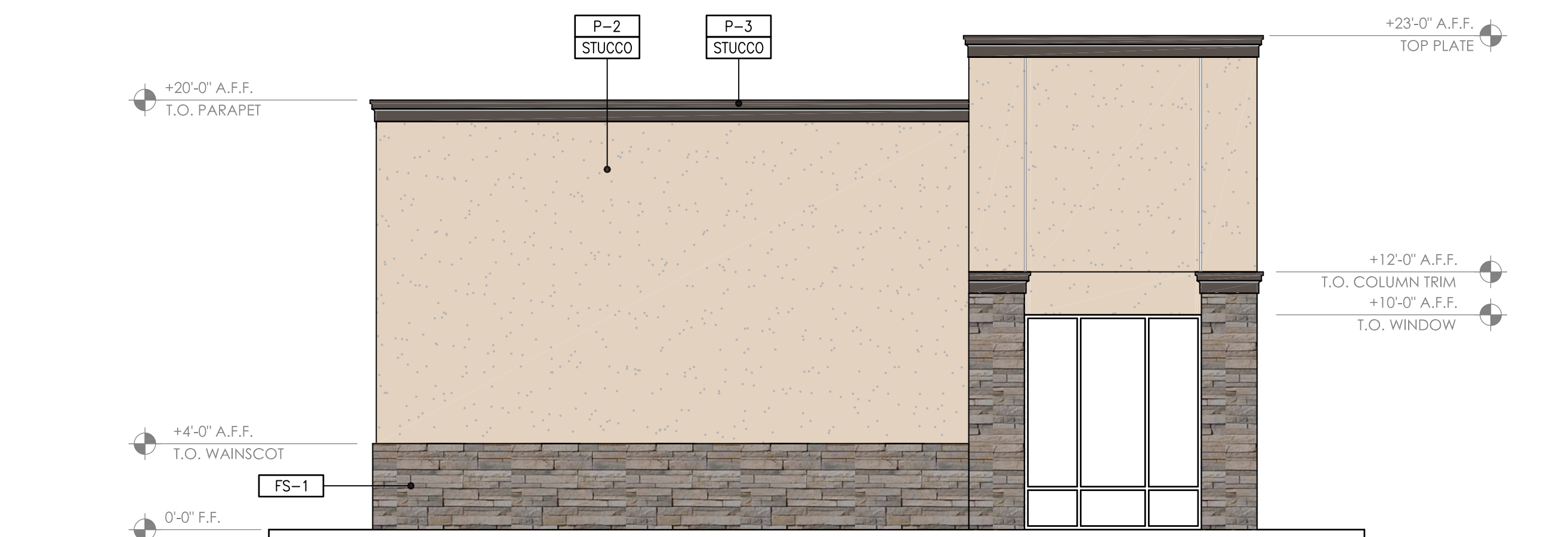
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COLOR LEGEND

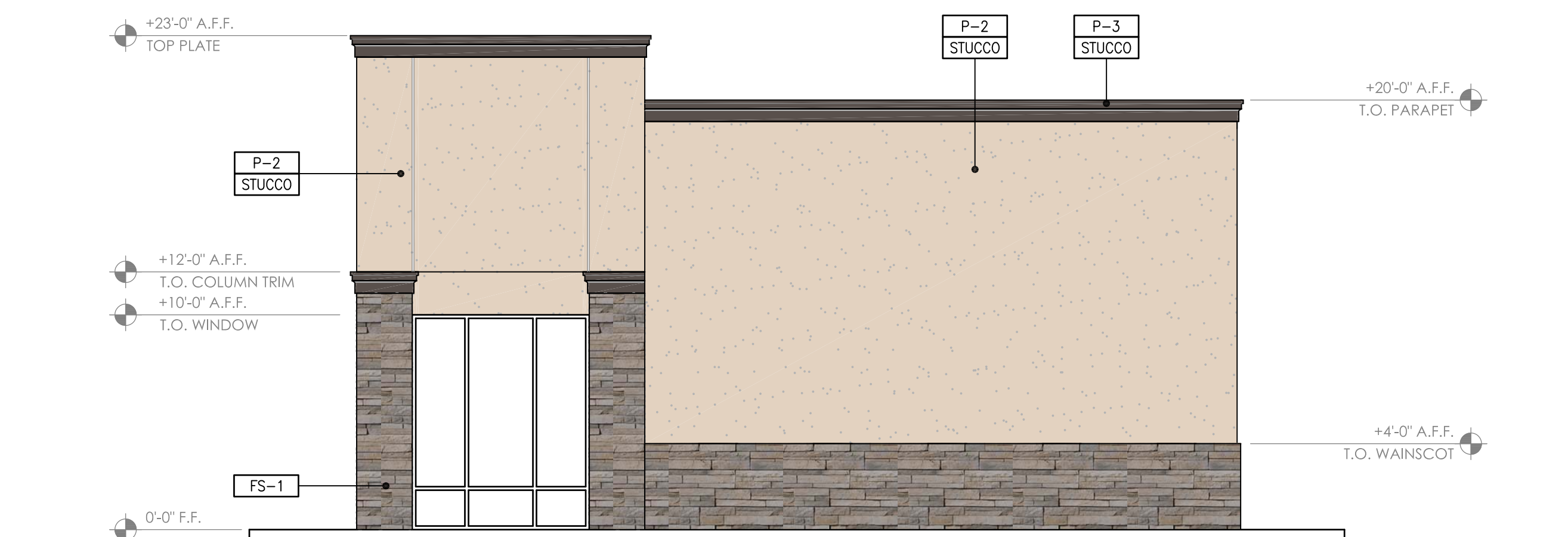
- P-1 DUNN EDWARDS, DE6130, "WOODED ACRE"
- P-2 DUNN EDWARDS DE6128, "SAND DUNE"
- P-3 DUNN EDWARDS DEC756, "WEATHERED BROWN", HIGH GLOSS
- FS-1 MANUFACTURED STONE VENEER
MFG: CULTURED STONE
PRODUCT: PRO-FIT LEDGESTONE
COLOR: "SHALE"



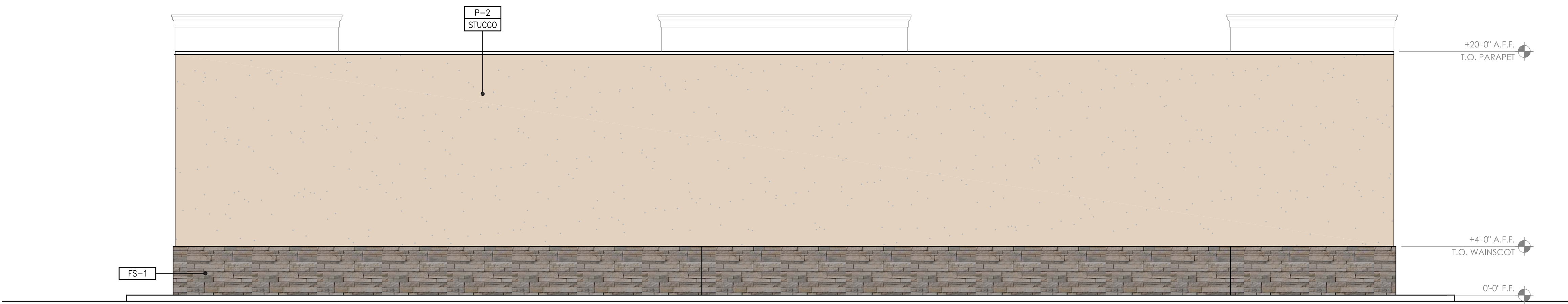
1 FRONT ELEVATION (EAST)
3/16"=1'-0"



2 LEFT ELEVATION (SOUTH)
3/16"=1'-0"



3 RIGHT ELEVATION (NORTH)
3/16"=1'-0"



4 REAR ELEVATION (WEST)
3/16"=1'-0"

SEAL

DATE	DESCRIPTION
06-19-17	REVISED SITE PLAN
02-10-17	REVISED SITE PLAN
10-14-16	CLIP SUBMITTAL

DRAWN BY: STAFF
CHK'D BY: J. TINAJERO

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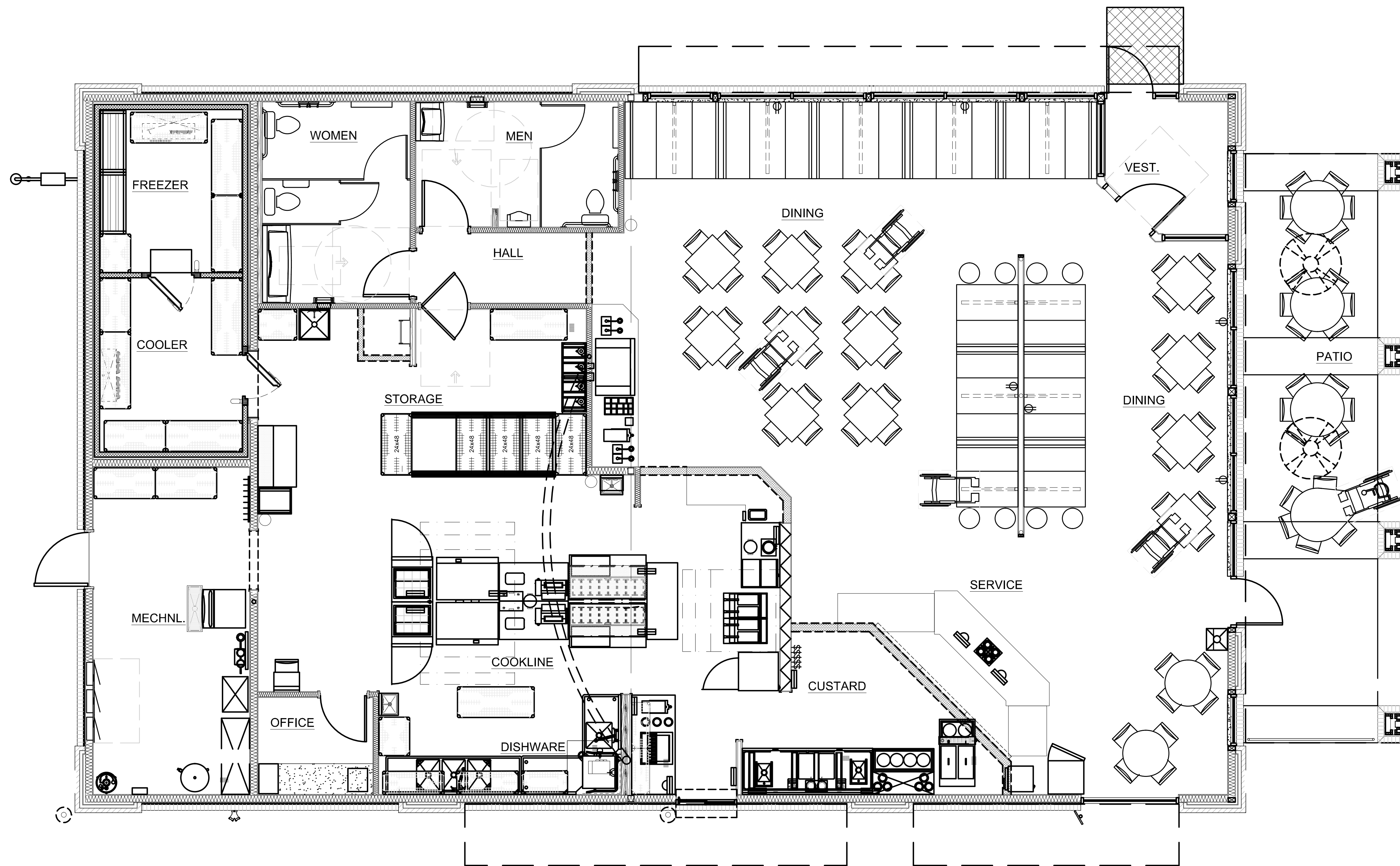


SHEET TITLE
EXTERIOR ELEVATIONS
RETAIL BUILDING

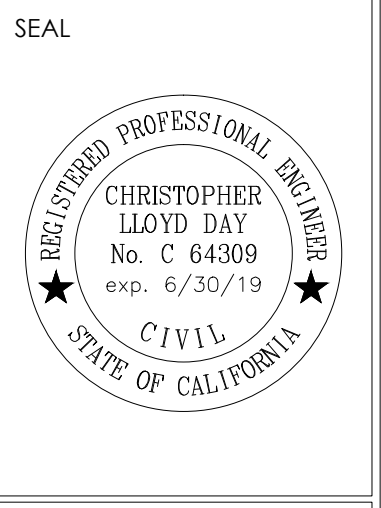
PROJECT NO: 16-946

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PROJ ENG. DATE
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COND. APPROVED BY
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DD4



A ARCHITECTURAL FLOOR PLAN 
 1/4" = 1'-0"



QUICK SERVE RESTAURANT
 4371 W. BULLARD AVENUE
 FRESNO, CALIFORNIA

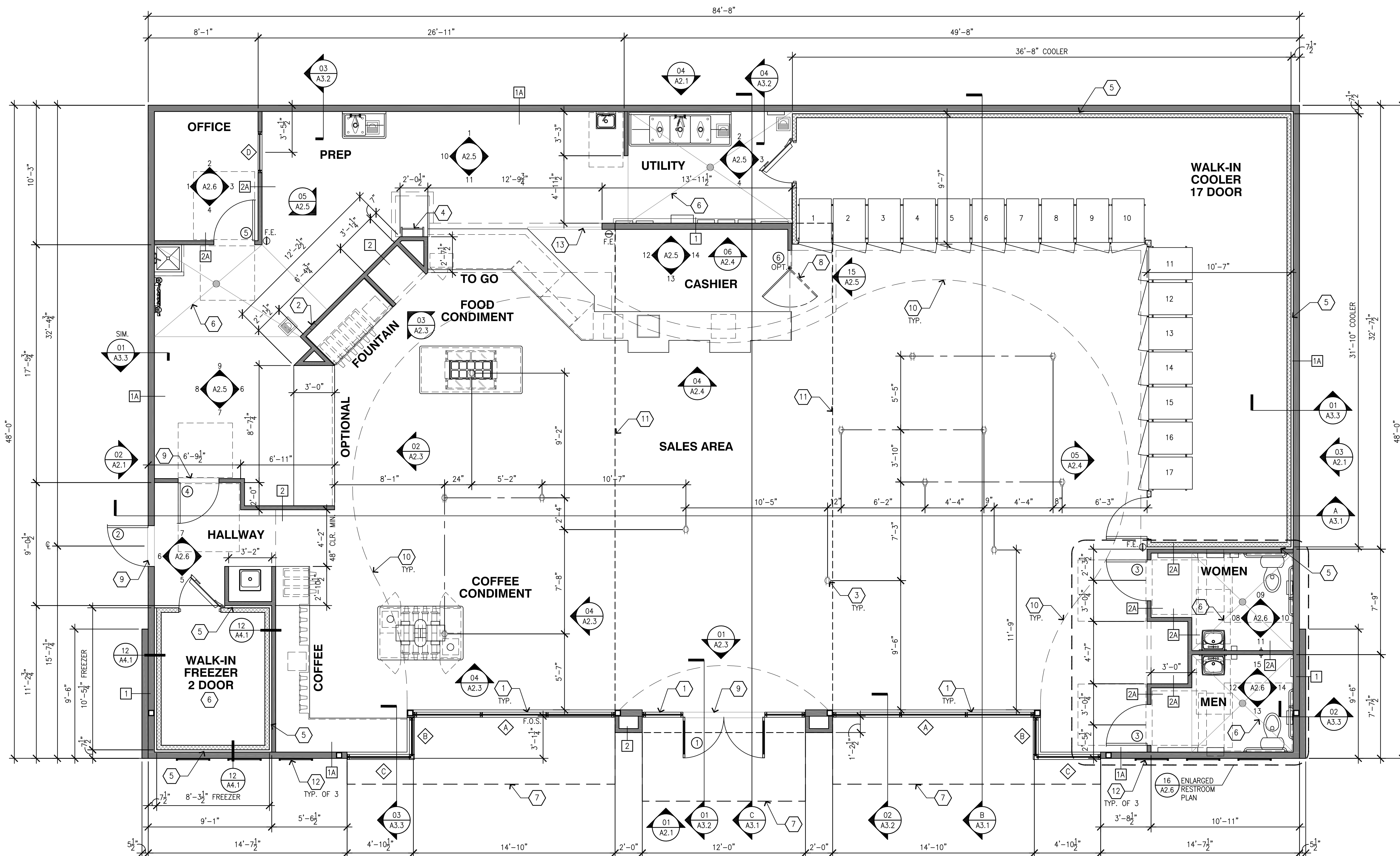
ARCHITECTURAL FLOOR PLAN

DATE
 6/8/17

DRAWN BY:
 STAFF
 CHECKED BY:
 J. TINAJERO

SHEET NO.
DD2.0

APPL NO. C-17-013 EXHIBIT DATE 6/22/17
 PROJ ENG. DATE
 TRAFFIC ENG. DATE
 COND. APPROVED BY DATE
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



01 CONSTRUCTION FLOOR PLAN
SCALE: 1/4"=1'-0"

ROOM FINISH SCHEDULE

INTERIOR FINISHES	SALES	CASHIER	HALLWAY	RESTROOMS	OFFICE	PREP/UTILITY	WALK-IN
FLOOR	GLAZED PORCELAIN TILE REFER TO FINISH CALLOUT ON A1.2.				COLORLED CONCRETE SEALER REFER TO FINISH CALLOUT ON A1.2.		CLEAR CONCRETE SEALER REFER TO FINISH CALLOUT ON A1.2.
BASE	CERAMIC SANITARY COVE BASE REFER TO FINISH CALLOUT ON A1.2.				CERAMIC TOP SET THIN LIP COVE BASE. REFER TO FINISH CALLOUT ON A1.2.		INTEGRAL METAL COVE BASE BY COOLER MFR. REFER TO SPECIFICATION ON Q1.2.
WALLS	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON SHEET A2.3 - A2.6.			WALL TILE OVER 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A2.6.	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON SHEET A2.6.	WALL TILE AND FRP OVER 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A2.5.	STUCCO-GALVALUM. BY COOLER MFR. REFER TO SPECIFICATION ON Q1.2.
FASCIA/SOFFIT	FASCIA PAINTED SMOOTH FINISH 1/2" GYPSUM BOARD. REFER TO CALLOUT ON A2.3 & A2.4. SOFFIT PAINTED SMOOTH FINISH 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A1.3.		NOT APPLICABLE				
CEILING	PAINTED PLYWOOD AND OPEN WEB TRUSSES. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	WASHABLE SUSPENDED WHITE CEILING TILE REFER TO CALLOUT ON A1.3.		STUCCO-GALVALUM. BY COOLER MFR. REFER TO CALLOUT ON Q1.2 AND A1.3.

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DENOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALL ARE 2x6, INTERIOR WALLS 2x4 U.N.O., SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS.
- SEE PLUMBING PLANS FOR DIMENSIONS TO PLUMBING FIXTURES
- REFER TO SHEET Q1.1 FOR EQUIPMENT PLAN.
- REFER TO SHEET Q2.1 FOR EQUIPMENT SCHEDULE.
- ALL EQUIPMENT SHALL MEET ACCESSIBILITY REACH RANGE REQUIREMENTS.
- PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0".
- ALL COUNTERTOPS SHALL BE MAX. 34" A.F.F. WITH A 3'-FOOT WIDE TRANSACTION AREA AT CASHIER. CONTRACTOR SHALL COORDINATE WORK WITH CABINET INSTALLER FOR CABINET INSTALLATION. CONTRACTOR TO ROUTE UTILITIES THROUGH CABINETS. CONTACT CABINET INSTALLER FOR SITE SPECIFIC CABINET SHOP DRAWINGS.
- 4" HIGH BACKSPLASH AT ALL COUNTERTOPS THAT TERMINATE AT WALL. BACKSPLASH TO MATCH COUNTERTOP MATERIAL.
- THE CONTRACTOR SHALL ASSIST STORE PERSONNEL BY ASSEMBLING MERCHANDISE GONDOLAS AND SHELVING AS SHOWN ON Q1.1.
- ALL EQUIPMENT AND CABINETS SHALL BE FREE OF SHARP EDGES. CONTACT MANUFACTURER OR PREP EDGES FOR SAFETY.
- CONTRACTOR SHALL ROUTE ALL CONDENSATE DRAIN LINES TO FLOOR SINKS.
- CONTRACTOR SHALL INSTALL NEW PARTITIONS/WALLS WITH GYPSUM WALL BOARD AND FINISHES AS NOTED ON FINISH SCHEDULE AND INTERIOR ELEVATIONS ON SHEET A2.3 THRU A2.6. ALL PARTITIONS/WALLS SHALL BE BRACED FOR LATERAL FORCES, PER BUILDING CODE REQUIREMENTS.
- FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- FIRE EXTINGUISHERS (2A:10B:C) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM, OFFICE, & FUEL CANOPY LOCATIONS IF NOT SHOWN ELSEWHERE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS. CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.
- CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PREPARE A DELIVERY STAGING AREA. COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING DAMAGES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE A CLEAN, SMOOTH SURFACE FOR GRAPHICS INSTALLATION.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO WALL ERECTION. DISCREPANCIES SHALL BE DIRECTED TO OWNER.
- WATER HEATERS SHALL BE CAPABLE OF DELIVERING MIN. 120" WATER TO ALL SINKS.
- ALL FLOOR/WALL TILE AND COVE BASE SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- ALL DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE AND MUST HAVE A SWEEP PERIOD OF 3 SECONDS TO CLOSE FROM 70" OPEN TO 3" FROM THE LATCH.
- CARBONATOR BACK-FLOW PREVENTOR DRAIN LINE OUTLET SHALL BE TO NEW FLOOR SINK PROVIDED FOR THIS AREA.

KEYED NOTES

- ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.1 & SPECIFICATION.
- INSTALL 6" PVC CHASE FOR FOUNTAIN SYRUP LINES.
- FLOOR RECEPTACLES, REFER TO ELECTRICAL PLANS.
- ROOF LADDER PER DETAIL 7/A4.1
- 1" MINIMUM AIR GAP AT PREFABRICATED COOLER/FREEZER
- DEPRESSED SLAB, REFER TO SLAB PLAN.
- LINE OF CANOPY ABOVE
- DOUBLE SWING METAL GATE PROVIDED BY SHOPCO
- THRESHOLD, REFER TO DOOR SCHEDULE ON SHEET AS.1
- LINE OF SOFFIT ABOVE
- LINE OF CLERESTORY CEILING OPENING
- WALL SIGNS
- TRANSITION STRIP

WALL LEGEND

- WOOD FRAMED WALL
- PREFABRICATED COOLER/FREEZER WALL
- 1 2x6 STUDS @ 16"o.c.
- 1A 2x6 STUDS @ 16"o.c. W/ THERMAL INSULATION
- 2 2x4 STUDS @ 16"o.c.
- 2A 2x4 STUDS @ 16"o.c. W/ SOUND BATT INSULATION

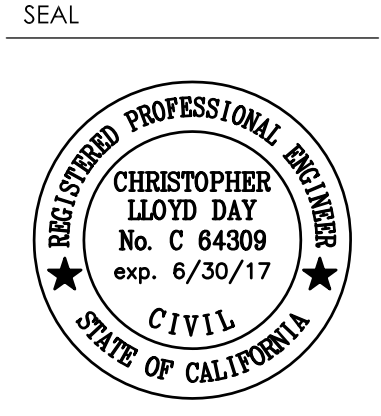
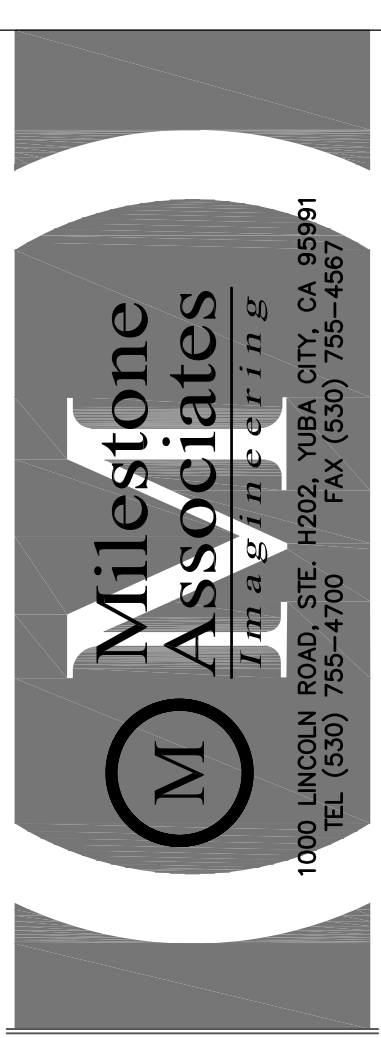
APPL NO. C-17-013 EXHIBIT DATE 6/22/17
 PROJ. ENG. DATE
 TRAFFIC ENG. DATE
 COND. APPROVED BY DATE
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

OCCUPANCY LOAD

SALES - 2,171 S.F. (2171/30)	= 72
CASHIER - 130 S.F. (130/100)	= 2
OFFICE - 72 S.F. (72/100)	= 1
RESTROOMS - 136 S.F. (EXEMPT)	= 0
PREP/UTILITY - 553 S.F. (553/200)	= 3
COOLER/FREEZER - 622 S.F. (*EXEMPT)	= 0
TOTAL (NET): 3,684 S.F.	= 78 OCCUPANTS
TOTAL (GROSS): 3,799 S.F.	

*COOLER IS A NON OCCUPIABLE SPACE PER SECTION 202 DEFINITION OF AN OCCUPIABLE SPACE.

EXITS REQUIRED: 2
EXITS PROVIDED: 2



ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
06-09-17		REVISED SITE PLAN
02-10-17		REVISED SITE PLAN
10-14-16		CLIP SUBMITTAL
DATE		DESCRIPTION

DRAWN BY: STAFF
CHKD BY: J. TINAJERO

ARCO / QSR / RETAIL CENTER
 FIGARDEN PETROLEUM, INC.
 5647 N. FIGARDEN DRIVE
 FRESNO, CALIFORNIA
 A.P.N. 509-290-07



SHEET TITLE

FLOOR PLAN

PROJECT NO: 16-946

DD3.0