



CITY FACILITY CONDITION ASSESSMENT

PUBLIC WORKS DEPARTMENT
Facilities Management Division
April 2016

Facility Assessment Scope of Work

EMG Corporation was retained to prepare a Facility Condition Assessment of 7 City Buildings. These buildings include:

- City Hall
- City Hall Annex
- Police Department Headquarters
- Convention Center and New Exhibit Hall
- Selland Arena
- Saroyan Theater
- Valdez Hall

Facility Assessment Scope of Work

The reports identify for each building:

- **Immediate Repairs needed**
- **Deferred Maintenance**
- **Capital Renewal (based on useful life expectancy)**
- **ADA Compliance**

The report represents the Consultant's expert opinion. Each repair project would be thoroughly evaluated with value engineering before funding the project and proceeding with the work.

Facility Assessment Site Improvements

- Utilities
- Parking Areas
- Drainage
- Topography
- General Site Improvements



Facility Assessment Building Evaluations

- Foundations
- Roofing
- Exterior and interior walls
- Superstructures
- Stairs
- Doors and Windows
- Patios



Facility Assessment

Mechanical & Plumbing Systems

- Plumbing
- Heating
- Air Conditioning
- Venting
- Gas Distribution
- Electrical
- Elevators
- Fire Protection
- Security



City Hall

- Built in 1991
- Gross Floor Area of 201,750 SF
- The assessment identifies \$751,100 in immediate repairs



City Hall

- **Recommended immediate repairs include:**
 - ADA Improvements to restrooms
 - Repairs to roofing panels
 - Replace cooling tower pumps & piping
 - Modernize elevator controller and signals
- **Estimated cost: \$751,100**

City Hall

- **Recommended repair items 2017 – 2021**
 - Curtain wall
 - Batten repair
 - Paint & patch interior walls
 - Replace vinyl tile
 - Replace Boiler Burner
 - Overhaul centrifugal chillers and air handlers
 - Replace mainframe switchgear
- **2017 – 2021 Cost Estimate: \$867,000**

City Hall Annex

- Built in 1939 with a subsequent addition in 1941
- Gross floor area of 54,028 SF
- The assessment identifies \$911,000 in immediate repairs



City Hall Annex

- **Recommended immediate repairs include:**
 - HVAC System Study
 - Replacement of Air Handlers
 - Replacement of Exhaust fan
 - Upgrade interior lighting fixtures to LED
 - Parking lot resurfacing (construction underway)
- **Estimated Cost: \$911,000**

City Hall Annex

- **Recommended repair items 2017 – 2021**
 - Replace upper floor windows
 - Refinish wood doors
 - Paint interior walls
 - Replace carpet
 - Upgrade plumbing system
 - Replace building/main switchgear
 - Upgrade fire alarm system
- **2017 – 2021 Cost Estimate: \$1,467,800**

Police Dept. Headquarters

- Built in 1960
- Gross floor area of 46,560 SF
- The assessment identifies \$345,800 in immediate repairs



Police Dept. Headquarters

- **Recommended immediate repairs include:**
 - Replace domestic water boiler
 - Replace diesel generator
 - Replace multi-zone air handler
 - Replace lighting fixtures
 - Parking lot resurfacing (construction underway)
- **Estimated Cost: \$345,800**

Police Dept. Headquarters

- **Recommended repair items 2017 – 2021**
 - Replace windows and storefront
 - Replace exterior steel doors
 - Replace vinyl tile and carpet
 - Overhaul cooling tower
 - Overhaul air cooled centrifugal chillers
 - Renovate hydraulic elevators
- **2017 – 2021 Cost Estimate = \$993,200**

Convention Center & Exhibit Hall

- Built in 1999
- Gross floor area of 157,345 SF with a leasable floor area of 109,666 SF
- The assessment identifies \$691,200 in immediate repairs



Convention Center & Exhibit Hall

- **Recommended immediate repairs include:**
 - Interior carpet replacement (in progress)
 - Replace/rebuild Variable Frequency Drive motors
 - Sealant replacement at exterior walls joints
 - Replace/rebuild plumbing booster pumps
 - Replace sliding gate motors
- **Estimated Cost: \$691,200**

Convention Center & Exhibit Hall

- **Recommended repair items 2017 – 2021**
 - Roof repair
 - Epoxy coating on interior floors
 - Replace roof mounted exhaust fans
 - Replace/rebuild circulation pumps
 - Replace/rebuild heat pumps (recently rebuilt)
 - Replace 160 gallon water heater (recently replaced)
 - Replace fire alarm equipment
 - Replace commercial kitchen equipment
- **2017 – 2021 Cost Estimate: \$1,441,700**

Selland Arena

- Built in 1966 and expanded in 1984
- Gross floor area of 66,885 SF with a leasable floor area of 44,600 SF
- The assessment identifies \$512,400 in immediate repairs



Selland Arena

- **Recommended immediate repairs include:**
 - Various ADA improvements
 - Exterior Cor-ten wall siding
 - Exterior sidewalk repair
 - HVAC condenser
 - Condensing Units/Heat Pumps, Split System
- **Estimated Cost: \$512,400**

Selland Arena

- **Recommended repair items 2017 – 2021**
 - Replace exterior light pole fixtures
 - Replace vinyl tile
 - Replace evaporative cooler
 - Replace gas furnace
 - Replace air handling unit
 - Replace direct digital controls
 - Replace/rebuild various motors
 - Replace walk-in freezer
- **2017 – 2021 Cost Estimate: \$511,600**

Saroyan Theater

- Built in 1966
- Gross floor area of 50,848 SF
- The assessment identifies \$505,500 in immediate repairs



Saroyan Theater

- **Recommended immediate repairs include:**
 - Replace built-up roof
 - Replace Cor-ten steel siding
 - Repaint exterior walls
 - Replace single zone air handler
 - Replace/rebuild heat pump
- **Estimated Cost: \$505,500**



Saroyan Theater

- Recommended repair items 2017 – 2021
 - Repaint interior walls
 - Replace carpet
 - Replace air handler
 - Replace galvanized piping with copper
- 2017 – 2021 Cost Estimate: \$872,600

Valdez Hall

- Was built in 1966
- Gross floor area of 57,400 SF with a leasable floor area of 32,000 SF
- Contains the central mechanical and electrical equipment for Selland Arena, Saroyan Theater and Valdez Hall
- The assessment identifies approximately \$2.8 million in immediate repairs, including the central plant needs



Valdez Hall

- **Recommended immediate repairs include:**
 - Various ADA improvements
 - Replace/repair Cor-ten steel siding
 - Various interior floor, wall and ceiling finishes
 - Various HVAC pumps, air handlers, exhaust fans
 - Building/main electrical switchgear
 - Replace diesel generator
 - Replace kitchen appliances/equipment

Valdez Hall

- **Recommended repair items 2017 – 2021**
 - Replace/rebuild sump pump
 - Replace air handler
 - Replace exhaust fans
 - Renovate hydraulic elevators
 - Replace kitchen appliances/equipment
- **2017 – 2021 Cost Estimate = \$283,700**

Assessment Summary

- The buildings studied vary in age from 17 to 77 years old and range from fair to good condition, overall.
- The assessments have identified nearly \$46 million in needs over the next 20 years, with an immediate repair list of approximately \$6.5 million.
- Averaged over 20 years, approximately \$2.3 million would be required to fund the required repairs and asset replacements each year.

Assessment Summary (continued)

- The largest component of these costs comes from the central plant in Valdez Hall, which serves three buildings.
- Most of the equipment in the 7 buildings is at or near the end of its life cycle.

Assessment Summary (continued)

Building	Immediate Needs	Annual Investment Needed (20-year avg.)
City Hall	\$751,100	\$157,600
City Hall Annex	\$911,000	\$198,500
Police HQ	\$345,800	\$246,800
Convention Center (New Exhibit Hall)	\$691,200	\$475,900
Selland Arena	\$512,400	\$438,000
Saroyan Theater	\$505,500	\$244,000
Valdez Hall	\$2,800,000	\$532,400
TOTAL	\$6,517,000	\$2,293,200

Assessment Summary (continued)

Grand Total – All 7 Facilities	Estimated Cost
Immediate Repair Needs	\$6,517,000
2017-21 Five-Year Needs	\$6,437,600
Annual Needs – 20 Year Average	\$2,293,200

Questions / Discussion

