

ALL CONSTRUCTION SHALL COMPLY WITH THE ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY, CITY OF SELMA, AND THE LATEST ADOPTED EDITIONS OF THE FOLLOWING:

- CALIFORNIA BUILDING CODE (CBC) 2019
- CALIFORNIA PLUMBING CODE (CPC) 2019
- CALIFORNIA MECHANICAL CODE (CMC) 2019
- CALIFORNIA FIRE CODE (CFC) 2019
- CALIFORNIA ELECTRICAL CODE (CEC) 2019
- STATE OF CALIFORNIA, TITLE-24 2019

# 1105 FULTON STREET

APN: 466 - 212 - 04

**FIRE DEPARTMENT NOTE:**  
 BUILDINGS FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH AT LEAST ONE STANDPIPE WHEN THE PROGRESS OF THE CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST FIRE DEPARTMENT ACCESS. STANDPIPES SHALL BE PROVIDED WITH HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRS. STANDPIPES SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING. 2014 CFC, SECTION 3313.

## SCOPE OF WORK

- EXISTING FIRST FLOOR TO REMAIN AS RETAIL, REMAINING 2ND THRU 10TH FLOORS TO BE CHANGED FROM OFFICE USE TO OFFICES WITH LIVING SPACES
- EXISTING ROOFTOP TO REMAIN WITH NO ALTERATIONS
- EXISTING 2ND THRU 10TH FLOOR ELEVATION TO REMAIN WITH NO ALTERATIONS

REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.

2-WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENT, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA).  
 CALL 1-800-442-2444



1. SIGNS, OTHER THAN DIRECTIONAL, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SUBMIT FOR REVIEW APPLICATION, APPLICATIONS AND REQUIREMENTS FOR SUBMITTAL ARE AVAILABLE AT THE PLANNING DIVISION PUBLIC FRONT COUNTER. CONTACT PUBLIC SERVICES FOR INFORMATION (559) 421-8211, ROOM 3043.
2. IF ARCHEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATION OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
3. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PH: 442-453-0982) SHALL BE IMMEDIATELY CONTACTED AND THE CALIFORNIA ARCHEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PH: 805-444-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
4. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGIST. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

## LEGAL DESCRIPTION

THE LAND DESCRIBED HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF FRESNO, CITY OF FRESNO, AND IS DESCRIBED AS FOLLOWS:

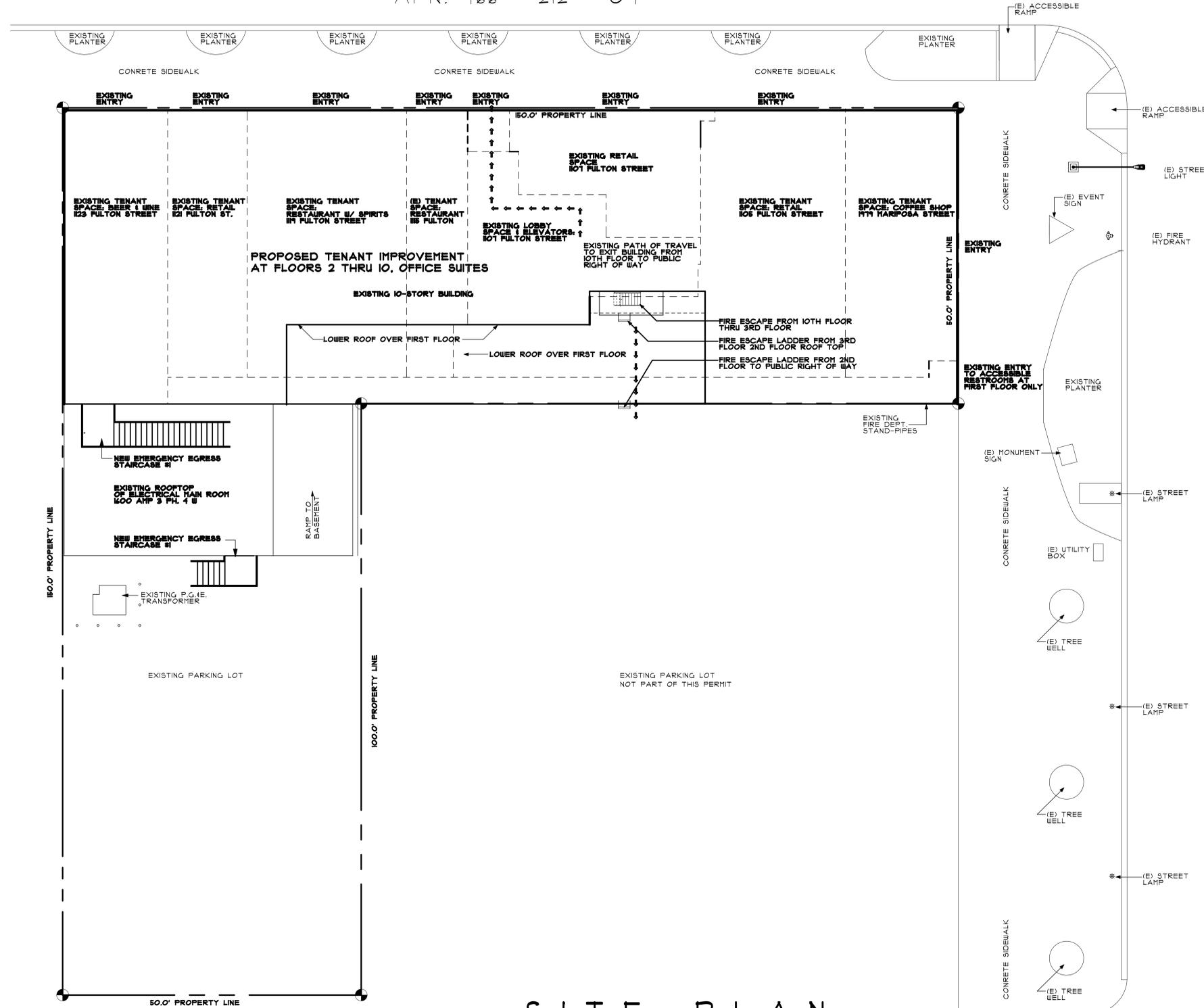
LOTS 11 AND 12 AND THE NORTHEASTERLY 50 FEET OF LOTS 13, 14, 15 AND 16 IN BLOCK 11, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 2 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CORNER FORMED BY THE INTERSECTION OF THE SOUTHWESTERLY LINE OF 'J' STREET (NOW FULTON STREET), WITH THE NORTHWESTERLY LINE OF MARIPOSA STREET, THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF 'J' STREET (NOW FULTON STREET) 150 FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY, 150 FEET TO AN ALLEY WAY, THENCE AT A RIGHT ANGLE SOUTHEASTERLY ALONG SAID ALLEY WAY, 50 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 100 FEET; THENCE AT A RIGHT ANGLE SOUTHEASTERLY 100 FEET TO THE NORTHWESTERLY LINE OF MARIPOSA STREET, THENCE NORTHEASTERLY ALONG SAID LAST NAMED LINE 50 FEET TO THE POINT OF BEGINNING.

A.P.N. 466-212-04

## SHEET INDEX

- SP SITE PLAN
- A1 EXISTING 1ST FLOOR PLAN
- A2 EXISTING 2ND FLOOR PLAN
- A3 (E) 3RD THRU 6TH FLOOR PLAN
- A4 (E) 7TH THRU 9TH FLOOR PLAN
- A5 EXISTING 10TH FLOOR PLAN
- A6 EXISTING ROOF TOP PLAN
- A7 PROPOSED 2ND FLOOR PLAN
- A8 (P) 3RD THRU 10TH FLOOR PLAN
- A11 EXISTING BUILDING ELEVATIONS



# S I T E P L A N

SCALE: 1/8" = 1'-0"

EXISTING A.C. PAVED 20' ALLEY

HISTORIC PRESERVATION: #148  
 PLANNING APPLICATION: P18-01480  
 DOORS SWINGING ONTO PUBLIC RIGHT OF WAY  
 PLANNING APPLICATION: P19-01993  
 OUTDOOR SEATING AT SIDEWALK, P.R.W.  
 PERMIT #: B19-06061  
 ADD RESTROOM 1 FIRST FLOOR ONLY  
 FACADE RENOVATION  
 D.R.C. REVIEW APPLICATION: P20-02256  
 BUILDING DEPARTMENT "SCHEMATIC REVIEW":  
 1105 FULTON; CHBC 2019, DATED: MARCH 19, 2021

### FLOOR AREA:

BASEMENT:	8841 SQUARE FEET	PROPERTY ZONING:	DTC- DOWNTOWN CORE
FIRST FLOOR:	7581 S.F.		
SECOND FLOOR:	4590 S.F.		
THIRD FLOOR:	4431 S.F.		
FOURTH FLOOR:	4431 S.F.		
FIFTH FLOOR:	4431 S.F.		
SIXTH FLOOR:	4431 S.F.		
SEVENTH FLOOR:	4431 S.F.		
EIGHTH FLOOR:	4431 S.F.		
NINTH FLOOR:	4431 S.F.		
TENTH FLOOR:	4431 S.F.		
TOTAL FLOOR AREA:	48,071 S.F.	TOTAL AREA OF RENOVATION:	51,449 SQ. FT.

APPL. NO. P22-01922 EXHIBIT A DATE 06/29/2022  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO DARM DEPT

DESIGNED DRAFTING  
 5100 N. 6TH SUITE 112 FRESNO, CA 93710  
 Office: (559) 497-5153 Cell: (559) 903-4238  
 \* VINCENT PALACIOS \*  
 VINCENTPALACIOS49ERS@YAHOO.COM

PROPOSED ADA RESTROOMS BY OWNER FOR:  
**THE HELM BUILDING**  
 PROPERTY OWNER: SEVAK KHATCHADOURIAN (310) 540-1488  
 SITE ADDRESS:  
 1105 FULTON STREET FRESNO, CA 93721

DRAWN BY: VINCENT PALACIOS  
 DATE: APRIL 2022  
 SCALE: 1" = 10'-0"  
 REVISION DATE: \_\_\_\_\_  
 SHEET NUMBER: SP