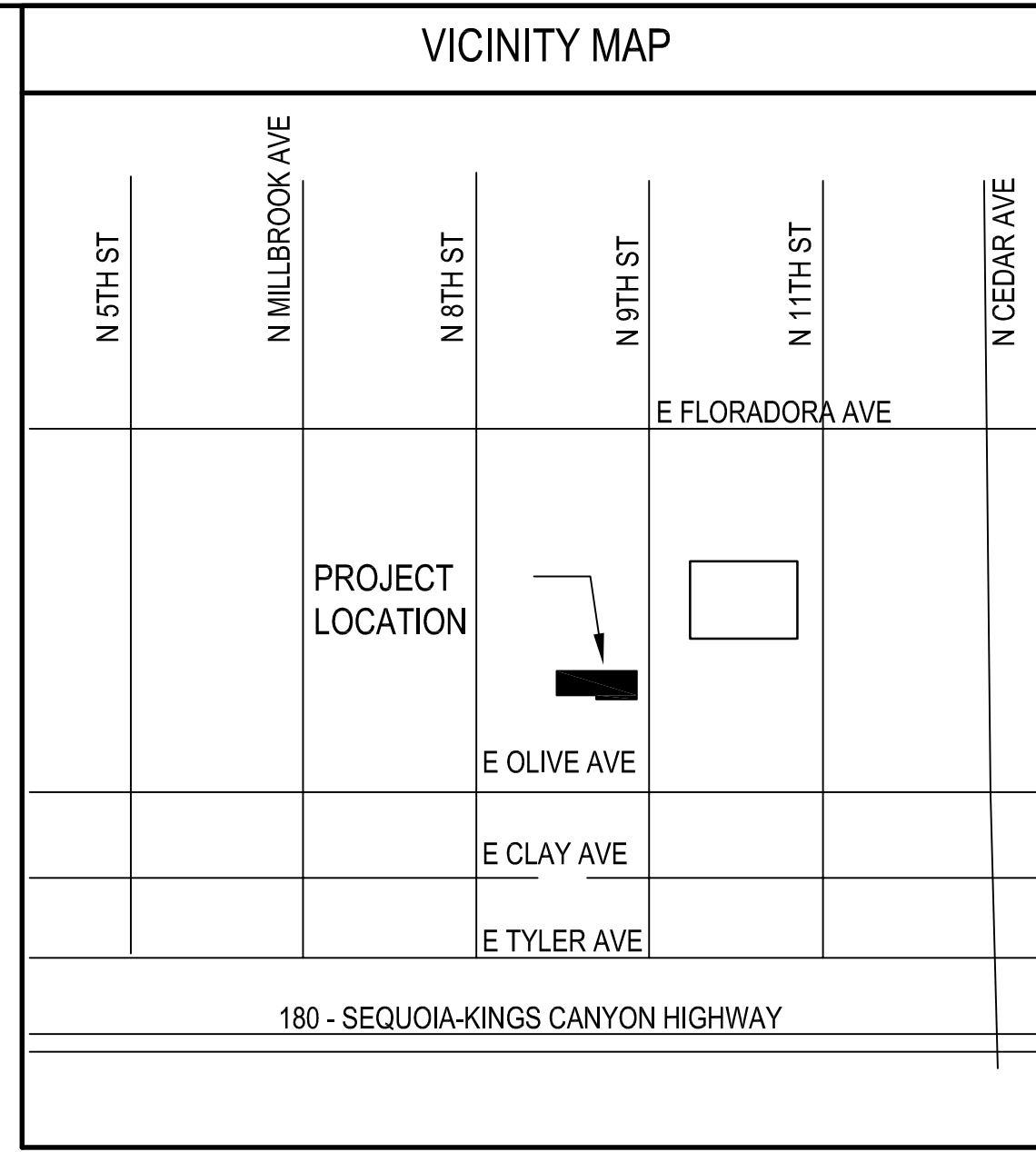
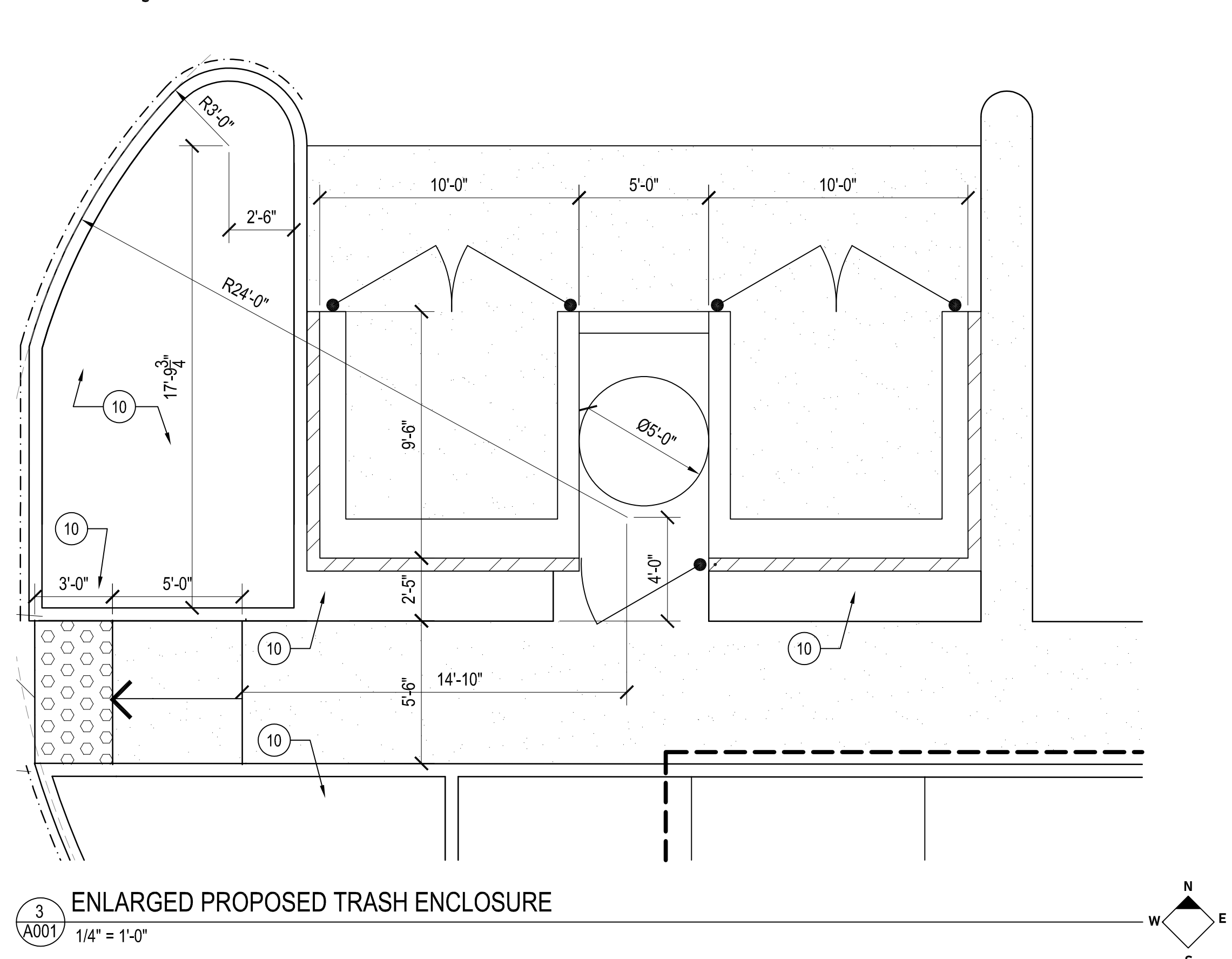
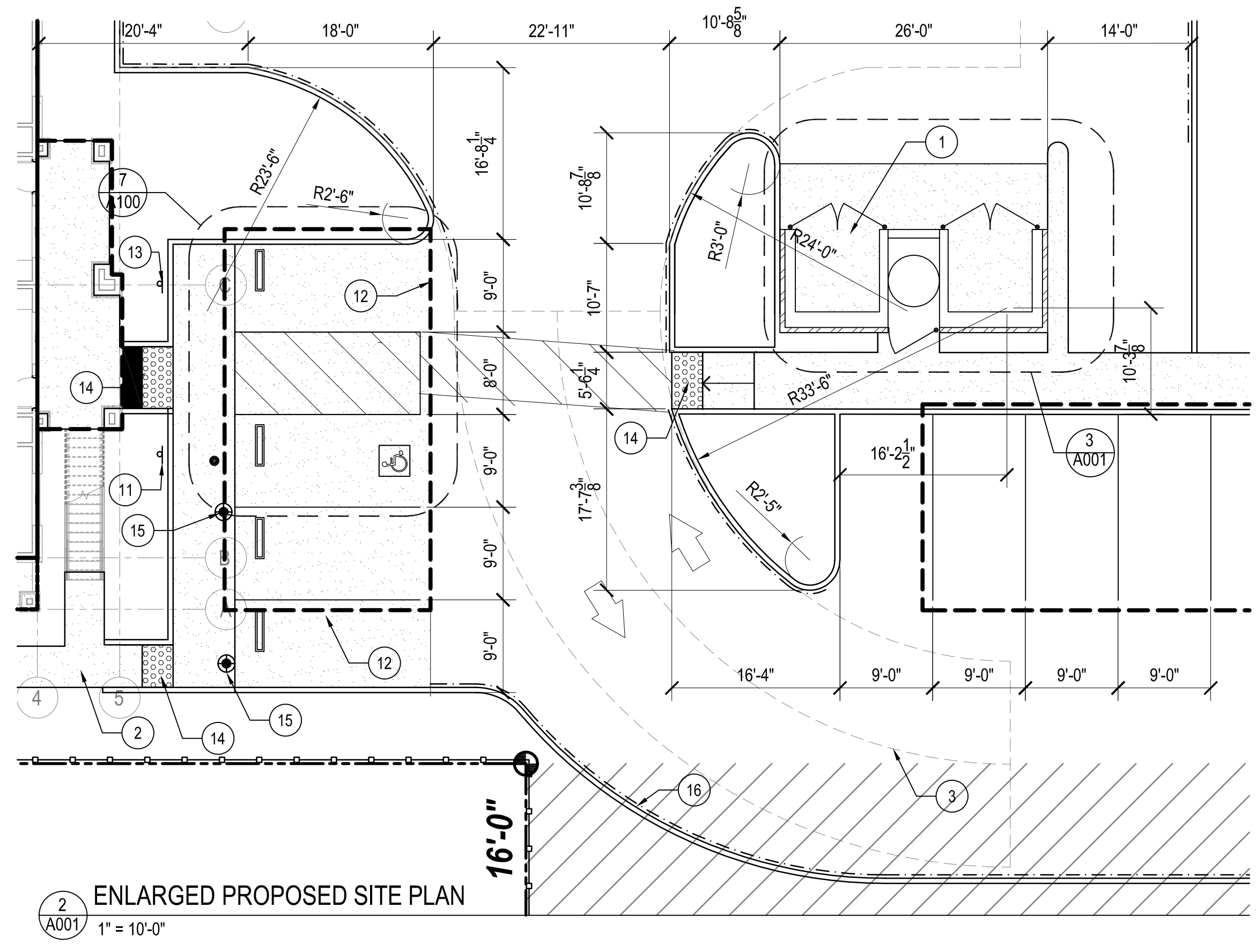
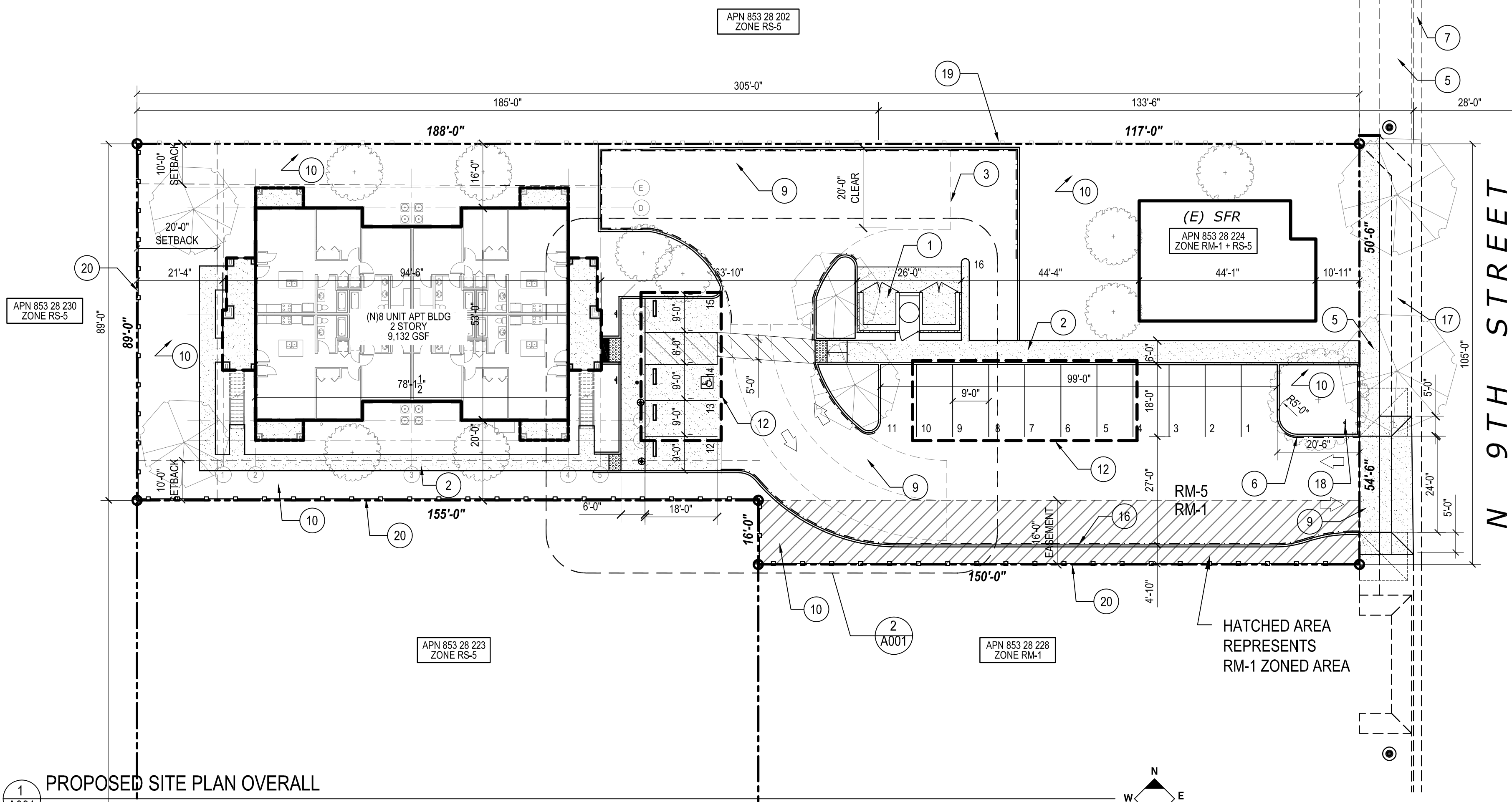


## Exhibit A

APPL. NO. P23-03676 EXHIBIT A-1 DATE 05/23/2024  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
**CITY OF FRESNO DARM DEPT**



Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.  
 Repair all damaged and/or off-grade concrete street improvements, as determined by the Construction Management Engineer, prior to occupancy.  
 2 working days before commencing excavation operations within the street right-of-way and/or utility easements, all existing underground facilities shall have been located by UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444

**SITE DATA:**

OPEN SPACE REQUIRED: 5,909  
 OPEN SPACE PROVIDED: 7,010 SF

BUILDING COVERAGE: 7,703 SF  
 PROJECT SITE AREA: 29,545 SF

COVERED PARKING REQUIRED: 9  
 COVERED PARKING PROVIDED: 9  
 VISITOR (UNCOVERED) PARKING REQUIRED: 5  
 VISITOR (UNCOVERED) PARKING PROVIDED: 5

KEYNOTES	
SYM	DESCRIPTION
①	(N) TRASH AND RECYCLING ENCLOSURE
②	(N) SIDEWALK
③	(N) FIRE TRUCK TURNING RADIUS
④	(N) CONCRETE SIDEWALK
⑤	(E) SIDEWALK TO REMAIN
⑥	(E) PLANTING STRIP
⑦	(E) GUTTER CURB TO REMAIN
⑧	(N) PARKING STALL STRIPING
⑨	(N) A/C PAVEMENT. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
⑩	(N) LANDSCAPE PLANTER AREA. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
⑪	(N) VAN ACCESSIBLE PARKING STALL SIGN
⑫	(N) CARPORT
⑬	(N) ACCESSIBLE PARKING STALL SIGN
⑭	(N) ACCESSIBLE CURB RAMP. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
⑮	(N) EV READY CHARGING RECEPTACLE
⑯	(N) 6" CONCRETE CURB. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION
⑰	DEMOLISH EXISTING CITY SIDEWALK AND REPLACE WITH NEW SIDEWALK AND PLANTING STRIP PER CITY STANDARDS.
⑱	(N) ACCESSIBLE PARKING TOW-AWAY SIGN
⑲	(E) FENCE TO REMAIN. 6' TALL CHAIN LINK.
⑳	(N) 6' TALL CHAIN LINK FENCE WITH PRIVACY SLATS.

SITE LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CURB/GUTTER
---	STREET CENTERLINE
---	PROPERTY LINE
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED HARDSCAPE SURFACE
---	BUILDING FOOTPRINT
---	CMU WALL
---	SETBACK
---	CURB/GUTTER
---	PATH OF TRAVEL
---	MARKED FIRE LANE

PROJECT DATA	
PROJECT DESCRIPTION: NEW 8 UNIT APARTMENT BUILDING, PARKING, CARPORTS AND LANDSCAPING. EXISTING SINGLE UNIT HOUSE TO REMAIN.	
SITE ADDRESS:	1261 N NINTH STREET Fresno, CA 93703
APN:	453-282-24
CURRENT ZONING:	RM-1 + RS-5
PLANNED LAND USE:	MULTI
BUILDING DATA:	
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	VB
FIRE SPINKLERS:	YES
NUMBER OF STORIES:	2



PROJECT  
**9TH STREET APARTMENTS**

1261 N 9TH ST.  
 FRESNO, CA 93703

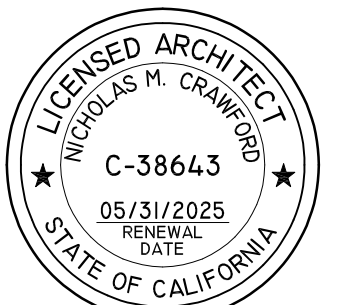
THE INFORMATION DEPICTED ON THIS DOCUMENT IS PROPRIETARY AND THE SOLE PROPERTY OF CRAWFORD ARCHITECT INCORPORATED. ANY USE OR DISCLOSURE OF THIS INFORMATION IS EXPRESSLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CRAWFORD ARCHITECT INCORPORATED. COPYRIGHT © 2023 CRAWFORD ARCHITECT INCORPORATED.



ISSUE DATE 12/14/23  
 PROJECT NO. 23012  
 REVISION DATE  
 5/23/24

**SITE PLAN**

**A001**



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

**Parking Lot Shade Calculations**

COVERED PARKING PROVIDE 100% SHADING

35' DIA. TREES - (1) @ 962 sf = 962 sf  
COVERED PARKING SHADING = 1,895 SF

TOTAL SHADE PROVIDED: 2,821 sf  
TOTAL PARKING LOT AREA: 3,023 sf  
PERCENT SHADE PROVIDED: 93%

**Tree Legend**

Symbol	Size	Botanical Name	Common Name
	15 GAL	Tilia Cordata	Pry
	15 GAL	Nyssa Sylvatica	Tupelo

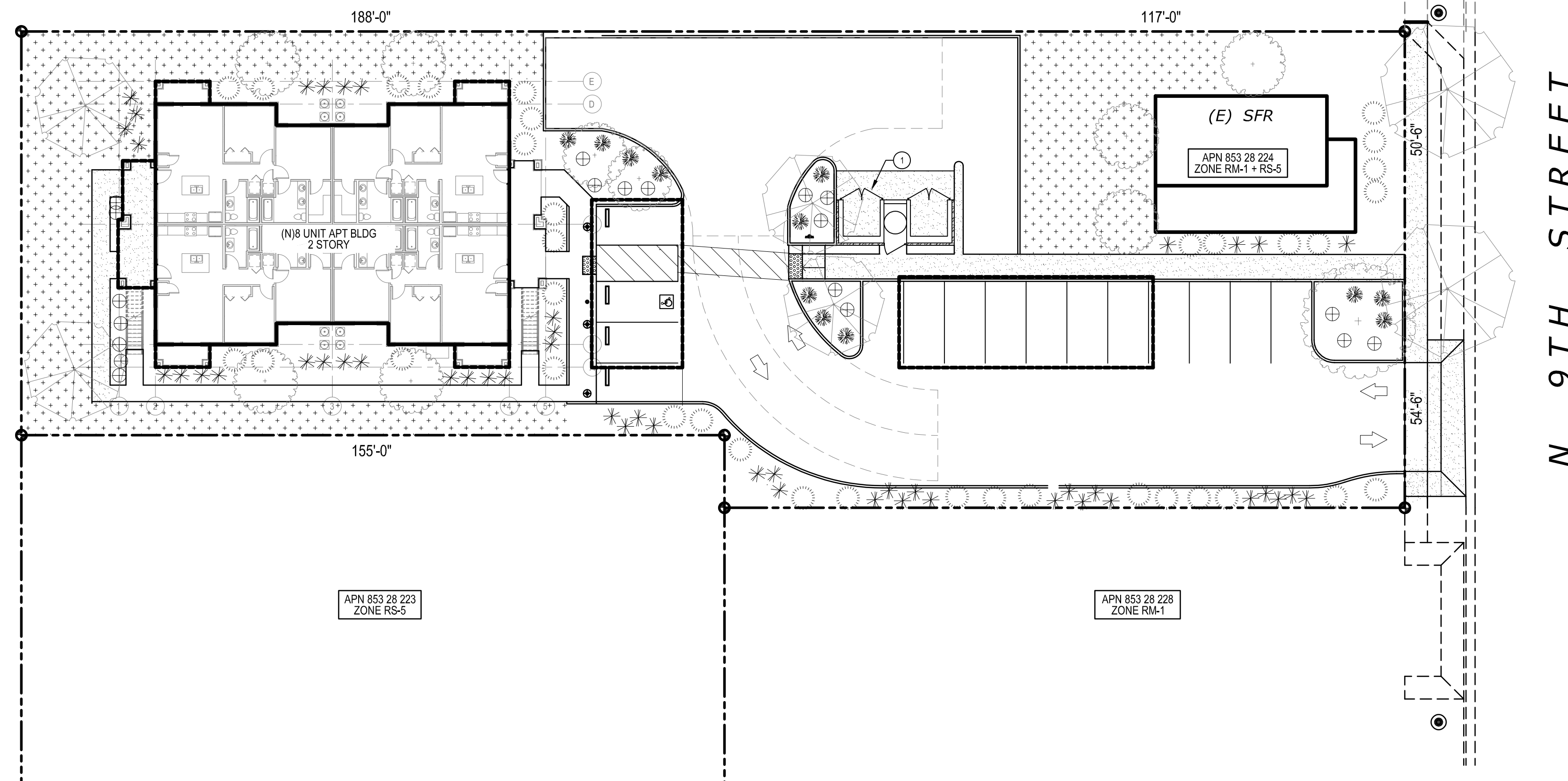
**Shrub Legend**

Symbol	Size	Botanical Name	Common Name
	1 GAL	Muhlenbergia 'Pink Muhly'	Pink Muhly Grass
	1 GAL	Olea 'Little Ollie'	Little Ollie Dwarf Olive
	1 GAL	Pennisetum secaceum	Fountain Grass
	5 GAL	Rosa 'Iceberg'	Iceberg Rose
	TURF	Festuca arundinacea	Tall Fescue

**WELO Water Budget**

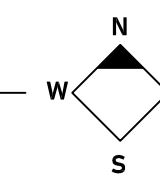
Maximum Applied Water Allowance (MAWA)	Project Type	ETo	ETAF	Special Landscape Area (SLA)	Total Landscape Area including SLA	MAWA (gallyr)	MAWA = (ETo) * (0.62) * (ETAF * LA) + ((1-ETAF) * SLA)
	Residential	51.4	0.55	3,472	7,542	181,982	
Estimated Total Water Use (ETWU)		ETo	(SF * PF) / IE	SLA	ETWU (gallyr)	ETWU = (ETo) * (0.62) * (PF * SF / IE) + SLA	
		51.4	795	3,472	135,994	Difference between MAWA and ETWU: 45,988 <b>Project meets water budget.</b>	
ETWU Calculation (Regular landscape areas)	Zone #	Description	Select Irrigation	Square Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
Add Hydrozone	1	STREET	Drip	540	0.03	0.81	20
	2	FRONT	Drip	1,596	0.03	0.81	59
	3	TURF	Spray	0	0.80	0.75	0
	4	APT	Drip	1,934	0.30	0.81	716
Landscape area (not including SLA)				4,070			795
ETWU Calculation Special Landscape Areas (SLA)	Description	Square Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE			
	Edible planting area	0	1.0	-			
	Multi-use and sports field turf area	3,472	1.0	3,472			
	Area irrigated with recycled water	0	1.0	-			
	Pool	0	1.0	-			
	Total SLA	3,472		3,472			
Total Landscape Area (including SLA) from ETWU Calculation				7,542			

APPL. NO. P23-03676 EXHIBIT A-2 DATE 03/07/2024  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO DARM DEPT



PROPOSED LANDSCAPE PLAN

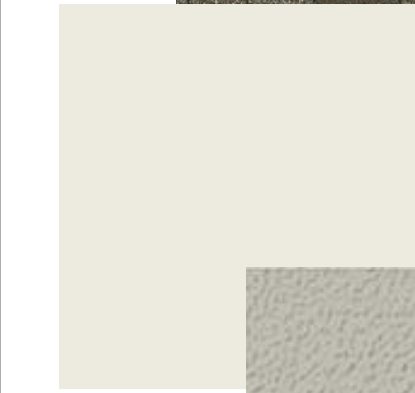
1" = 20'-0"



COLOR & MATERIAL LEGEND



ROOF SHINGLES:  
OWEN'S CORNING  
DURATION COOL PLUS  
CLIFFSIDE GRAY

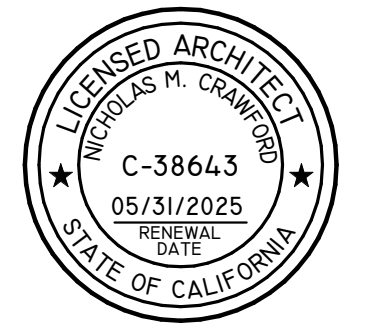


TRIM COLOR:  
SHERWIN-WILLIAMS  
ALABASTER, SW 7008



BUILDING MAIN COLOR:  
OMEGA STUCCO FINISH  
COLORTEK - SMOOTH - 245  
SHORELINE

BUILDING ACCENT COLOR:  
OMEGA STUCCO FINISH  
COLORTEK - SMOOTH - 249  
MORNING FOG

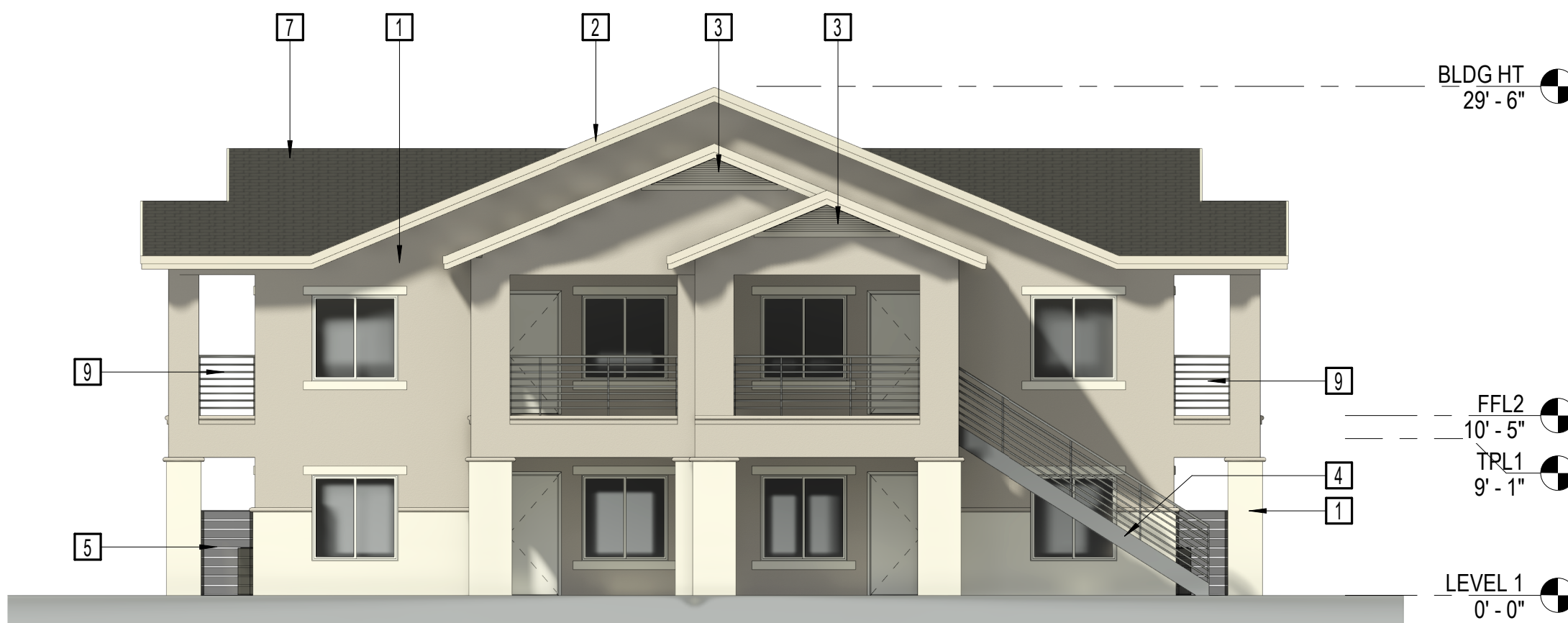


PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION



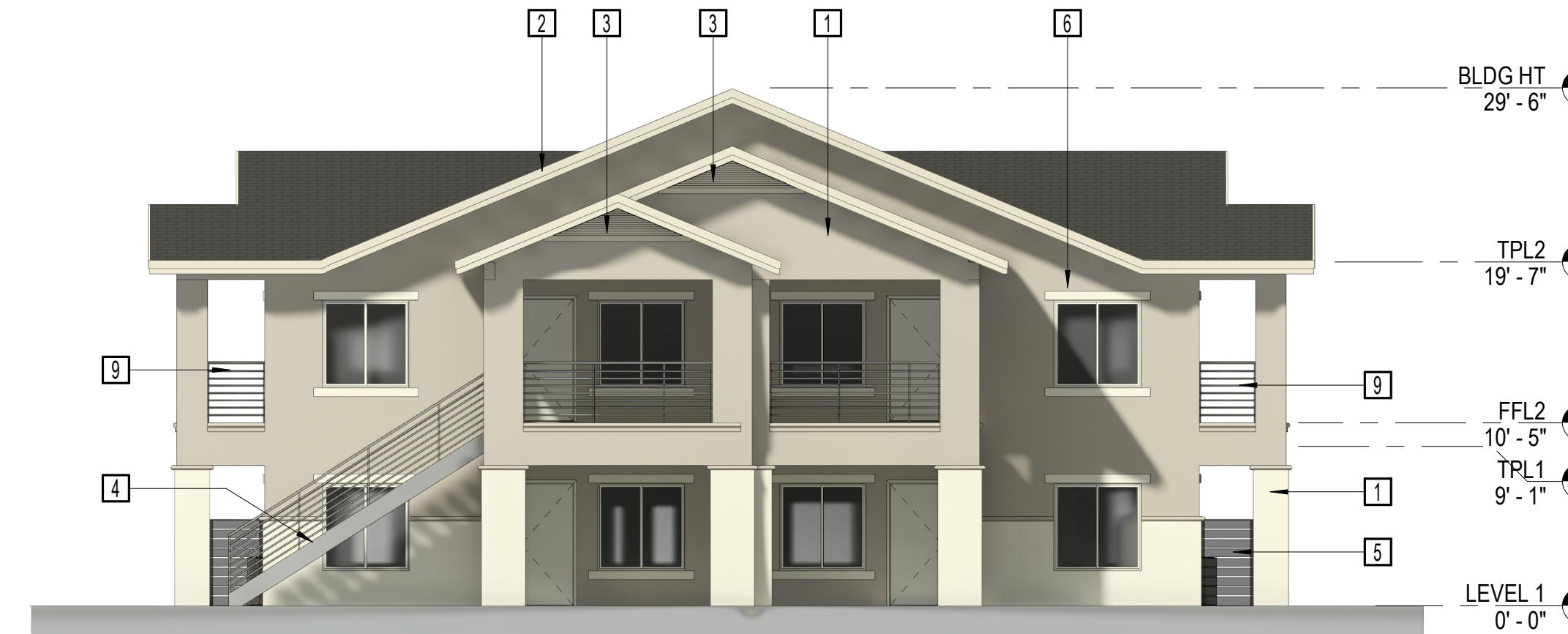
SOUTH ELEVATION - COLOR

1/8" = 1'-0"



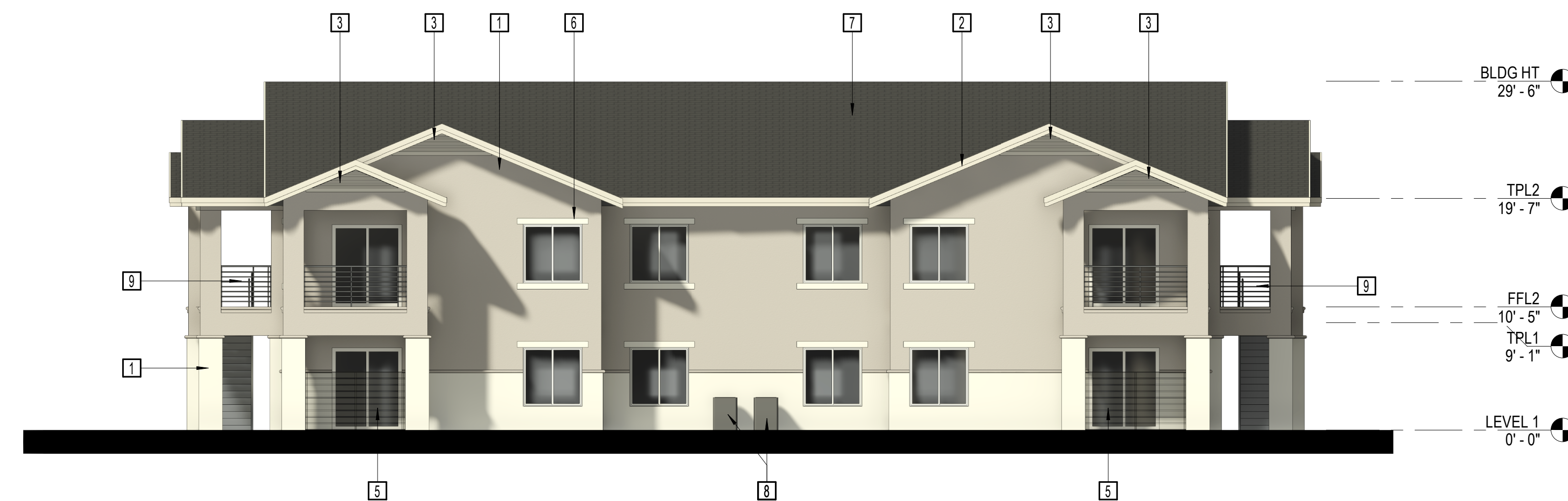
WEST ELEVATION - COLOR

1/8" = 1'-0"



EAST ELEVATION - COLOR

1/8" = 1'-0"



NORTH ELEVATION - COLOR

1/8" = 1'-0"

KEYNOTES

- 1 STUCCO EXTERIOR FINISH.
- 2 2X12 STEPPED FASCIA TRIM BOARD
- 3 DECORATIVE GABLE END VENT.
- 4 STEEL STAIR ASSEMBLY, GUARDRAILS, HANDRAILS, AND CONCRETE TREADS. POWDERCOAT FINISH.
- 5 WOOD PRIVACY FENCE. PAINT FINISH.
- 6 FOAM TRIM, STUCCO FINISH.
- 7 ASPHALT SHINGLE ROOF ASSEMBLY. REFER TO ARCHITECTURAL ROOF PLAN FOR ADDITIONAL INFORMATION.
- 8 GROUND MOUNT A/C UNIT, TYP. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 9 STEEL GUARDRAIL. POWDERCOAT FINISH.

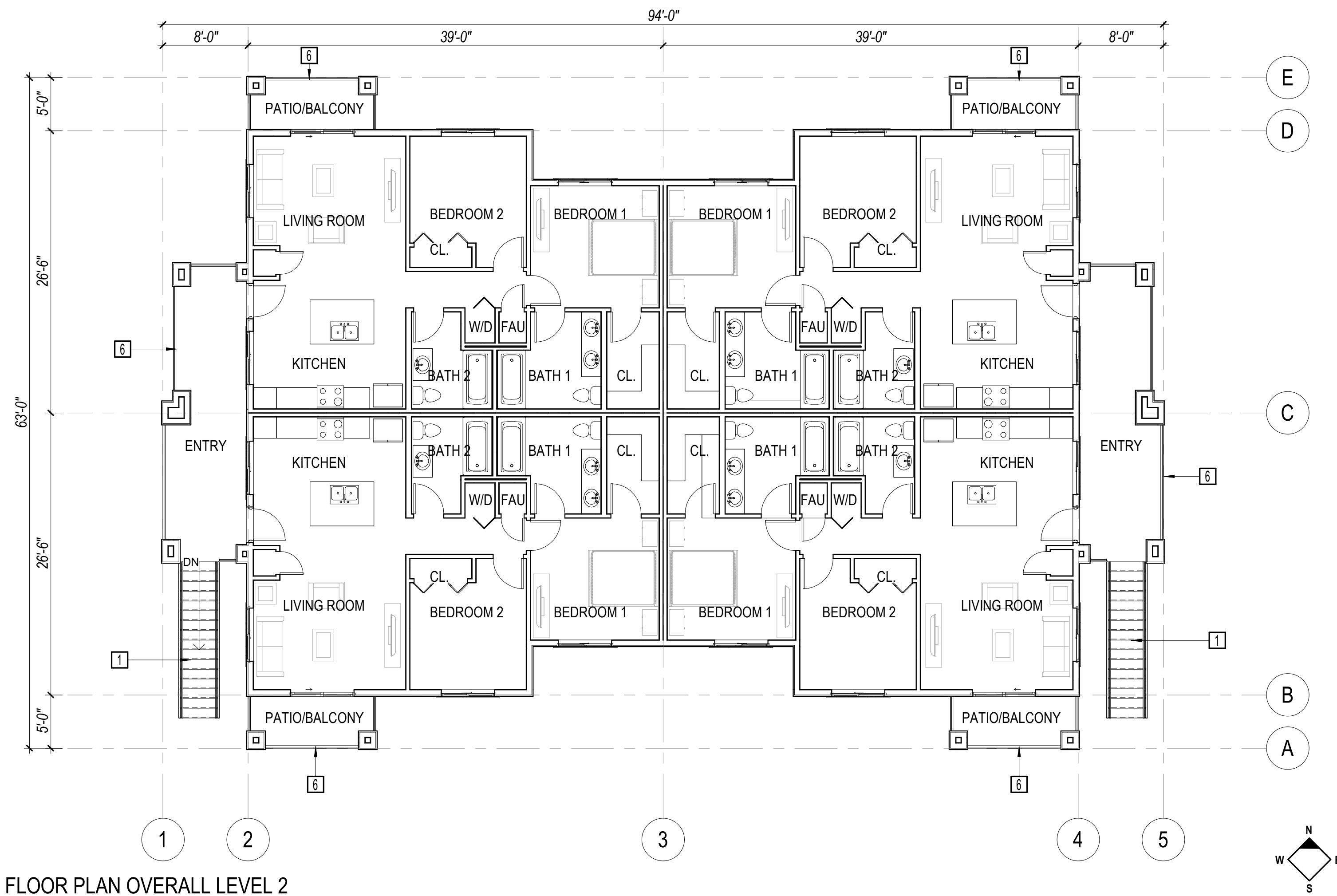
APPL. NO. P23-03676 EXHIBIT E-1 DATE 03/07/2024  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF FRESNO DARM DEPT

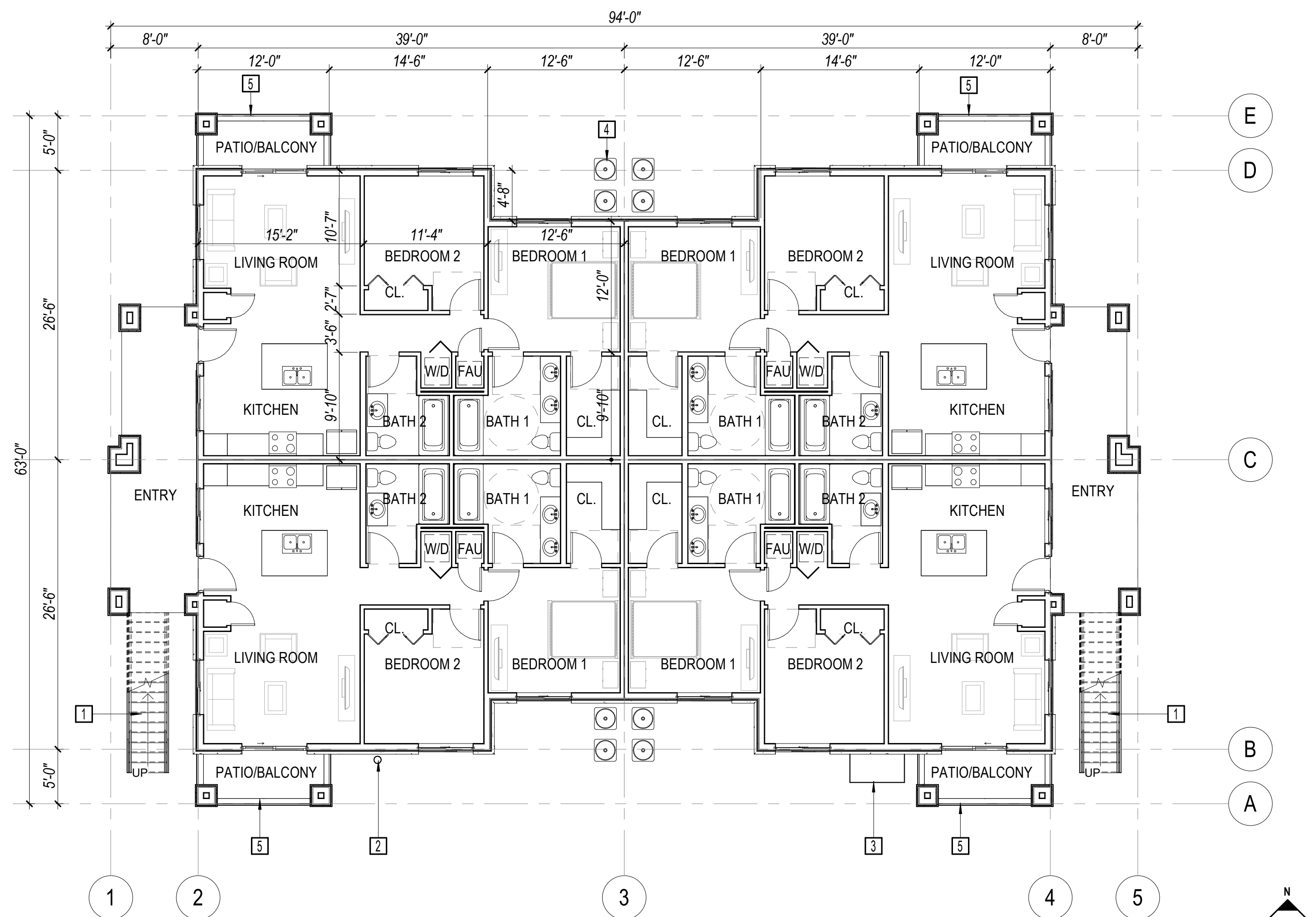
ISSUE DATE 10/20/23  
 PROJECT NO. 23012  
 REVISION DATE

EXTERIOR  
ELEVATIONS  
APARTMENT  
BUILDING

A210



FLOOR PLAN OVERALL LEVEL 2  
1/8" = 1'-0"



FLOOR PLAN OVERALL LEVEL 1  
1/8" = 1'-0"

KEYNOTES	
1	STEEL STAIR ASSEMBLY, GUARDRAILS, HANDRAILS, AND CONCRETE TREADS. POWDERCOAT FINISH.
2	FIRE SPRINKLER RISER. REFER TO PLUMBING PLANS AND FIRE SPRINKLER SYSTEM PLANS FOR ADDITIONAL INFORMATION.
3	BUILDING ELECTRICAL MAIN. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
4	GROUND MONUT A/C UNIT, TYP. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
5	WOOD PRIVACY FENCE. PAINT FINISH.
6	STEEL GUARDRAIL. POWDERCOAT FINISH.

BUILDING AREAS			
DESCRIPTION	AREA	QTY.	TOTALS
APARTMENT UNIT LIVING AREA:	976 SF	8	7,808 SF
PATIO/BALCONY AREA:	60 SF	8	480 SF
TYPICAL ENTRY AREA:	211 SF	4	844 SF
TOTAL LIVING AREA:			7,808 SF
LEVEL 2 GROSS AREA:			4,566 SF
LEVEL 2 GROSS AREA:			4,566 SF
GROSS BUILDING AREA:			9,132 SF



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

ISSUE DATE	10/20/23
PROJECT NO.	23012
REVISION	DATE

FLOOR PLANS -  
LEVEL 1 AND 2  
OVERALL

APPL. NO. P23-03676 EXHIBIT F-1 DATE 03/07/2024

PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF FRESNO DARM DEPT