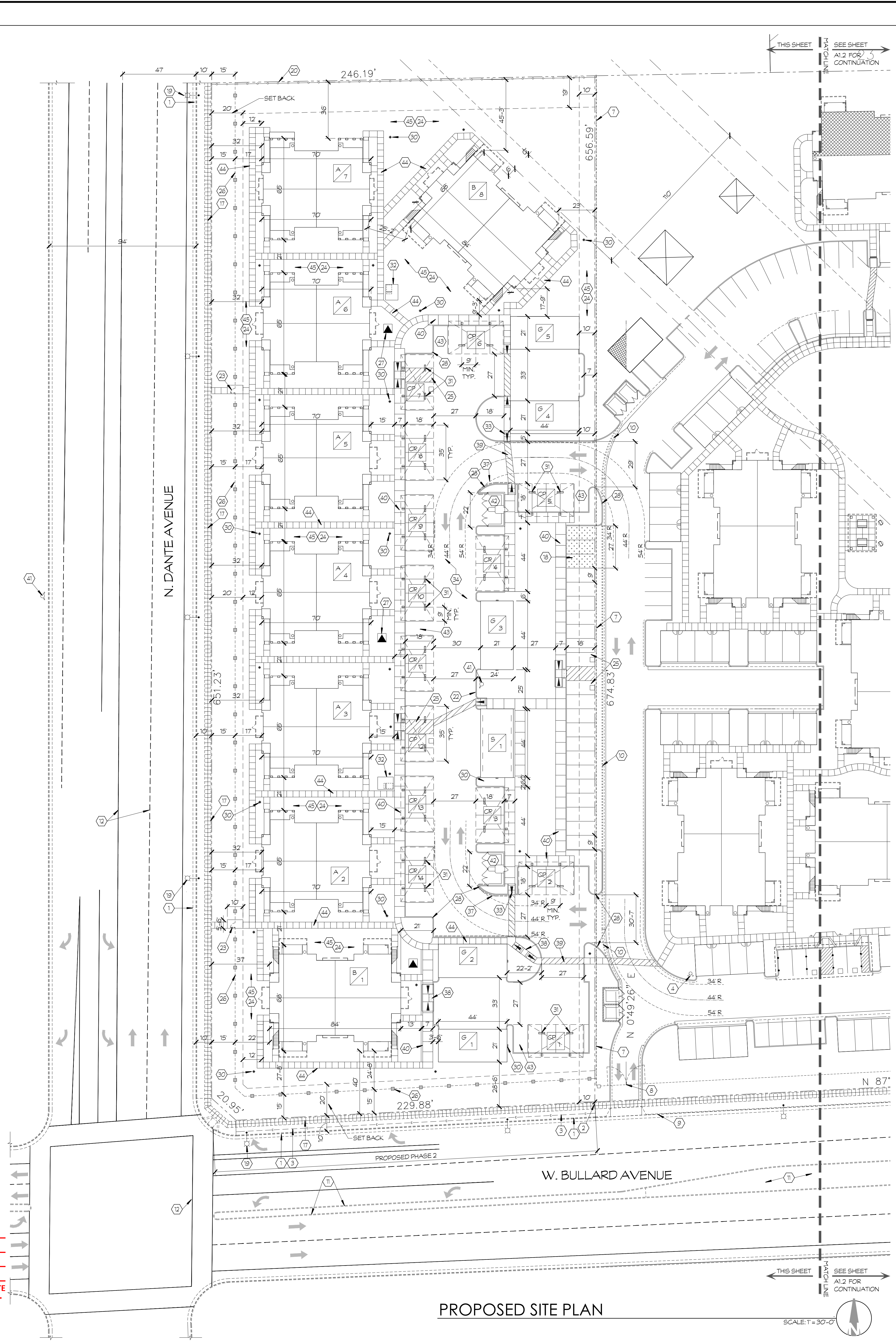


GENERAL NOTES: DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE CONDITIONS OF APPROVAL FOR SITE PLAN REVIEW, ZONING, AND AMENDMENT APPLICATIONS, S-15-15, R-15-03(AND) A-15-04, RESPECTIVELY AND ALL APPLICABLE ATTACHMENTS, THERE TO.

- 1. ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL BUILDING AUTHORITIES... 2. DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS GOVERN. 3. CONTRACTOR IS TO VERIFY ALL EXISTING FIELD DIMENSIONS, CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK. 4. PROVIDE A MINIMUM OF 28.50' SETBACK FROM BUILDINGS FOR A DISTANCE OF 5'-0". 5. NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY. 6. ALL CURBS AND GUTTERS TO BE CONSTRUCTED PER CITY OF FRESNO STDS. ALL CURBS AND GUTTERS TO BE CONSTRUCTED PRIOR TO PLACEMENT OF A.C. PAVING. 7. THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF A.C. PAVING. 8. CONTRACTOR TO PROVIDE THE BUILDING DEPT. WITH SOLID CONSTRUCTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY FOR ALL FILL AREAS ON SITE. 9. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR MARKED BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. 10. REPAIR ALL DAMAGED AND/OR OFF-GRADE OFF-SITE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT... 11. CONTACT SOLID WASTE DIVISION AT 621-1811 FOR APPOINTMENT TO ESTABLISH ACCESS AND IMPROVEMENTS REQUIRED AS CONDITIONS OF PROVIDING DISPOSAL SERVICE. 12. WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND OR UTILITY EASEMENTS ALL EXISTING UNDERGROUND FACILITIES SHALL BE IDENTIFIED AND LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-645-2444. 13. NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED. 14. TREES SHALL BE MAINTAINED IN GOOD HEALTH... 15. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY... 16. PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL... 17. NO STRUCTURES OF ANY KIND... 18. ON-SITE PAVING AND MARKINGS TO BE PER CITY OF FRESNO PUBLIC WORKS STANDARDS... 19. SIGNS, OTHER THAN DIRECTIONAL SIGNS... 20. WINDOW SIGNS ARE LIMITED TO 4.0 SQ. FEET... 21. ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIALS ENCOUNTERED DURING PROJECT SURVEYING... 22. IF THERE ARE SUSPECTED HUMAN REMAINS... 23. IF ANIMAL FOSSILS ARE UNCOVERED... 24. ALL ACCESSIBLE STAIRS SHALL COMPLY WITH CALIFORNIA TITLE 24... 25. OPEN STREET CUTS ARE NOT PERMITTED... 26. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS... 27. WALKWAYS CONNECTING ACCESSIBLE ENTRANCES... 28. CONNECTION TO THE CITY OF FRESNO WATER AND SEWER SYSTEM IS REQUIRED. 29. ALL GROUND FLOOR EXTERIOR DOORS SHALL HAVE LEVEL LANDINGS... 30. FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION... 31. A MINIMUM OF TEN BICYCLE PARKING SPACES SHALL BE PROVIDED... 32. SCREEN ALL ROOF-MOUNTED EQUIPMENT... 33. STREET IMPROVEMENT PLANS PREPARED BY A REGISTERED CIVIL ENGINEER... 34. ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER... 35. THE CONSTRUCTION OF ANY OVERHEAD SURFACE OR SUBSURFACE STRUCTURES... 36. INSTALL STREET LIGHTS ON ALL FRONTAGES... 37. LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING SHALL BE HODGED AND SO ARRANGED... 38. ALL CONSTRUCTION WORK ON THE PROJECT IS SUBJECT TO INTERRUPTION... 39. UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES... 40. WALKWAYS SHALL BE PROVIDED WITH A LEVEL AREA... 41. CONTACT PUBLIC WORKS DEPARTMENT... 42. TWO MEANS OF INGRESS/EGRESS MUST BE PROVIDED... 43. ALL CONSTRUCTION WORK ON THE PROJECT IS SUBJECT TO INTERRUPTION... 44. STREETS HIGHLIGHTED ON THE PLAN SHALL BE IDENTIFIED AS FUTURE LANES... 45. PROVIDE SIGNS... 46. ALL GATES ON COMMON ACCESS DRIVES... 47. APPROVAL OF THIS SPECIAL PERMIT... 48. FUTURE FENCES SHALL BE REVIEWED... 49. ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMP OR IN STRATEGIC AREAS... 50. DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S)... 51. PROVIDE SIGNS UNDER THE SURVEILLANCE CAMERAS... 52. TEMPORARY FENCES TO SECURE PROJECTS... 53. WALKWAYS CONNECTING ACCESSIBLE ENTRANCES... 54. APPROVED CENTRAL STATION MONITORING OF THE FIRE SPRINKLER SYSTEM IS REQUIRED.

CITY OF FRESNO STANDARD SYMBOLS table with columns for symbol and description: PROPERTY & RIGHT OF WAY, SECTION & CENTER LINE, EXISTING CURBS, EXISTING CURBS & GUTTER, PROPOSED CURBS & GUTTER, SIGN, FIRE HYDRANT.

APPL NO. P19-02013 EXHIBIT A1 DATE 5/13/19
PROJ. ENG. DATE
TRAFFIC ENG. DATE
COND. APPROVED BY DATE
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



PROPOSED SITE PLAN

SCALE: 1" = 30'-0"

KEYED NOTES:

- (1) CONCRETE CURB AND GUTTER TO REMAIN.
(2) CONCRETE CURB, GUTTER AND SIDEWALK TO REMAIN.
(3) CONCRETE SIDEWALK TO TRANSITION TO EXISTING.
(4) UTILITY POLES AND SERVICES TO BE UNDERGROUND.
(5) PRE-HYDRANT TO REMAIN.
(6) DIRECTIONAL SIGN, MODIFY TO SHOW EXPANSION AREA.
(7) MAIN VEHICULAR ENTRY/EGRESS WITH SECURITY GATES PER CITY STDS.
(8) 6'-0" WOOD FENCE TO BE REMOVED.
(9) MANUALLY OPERATED EMERGENCY VEHICLE ACCESS GATES SHALL HAVE FIRE POLICE PADLOCK OR APPROVED LOCK BOX.
(10) STORM DRAIN INLET TO REMAIN.
(11) SIGNAGE TO BE PROVIDED FOR NEW PARKING AND DRIVEWAY AND (B) VALLEY GUTTER TO REMAIN.
(12) BASED MEDIAN WITH CONCRETE CURB AND (E) CONCRETE INLET TO REMAIN.
(13) PAINTED LINES - STREET MARKINGS.
(14) CONCRETE CURB, BUTTER, PLANT STRIP, AND SIDEWALK PER PW STD P-5. SIDEWALK TO BE 4'-0" WIDE.
(15) PROPOSED FUTURE LOCATIONS OF EV CHARGING STATIONS PER 2019 CDEC.
(16) CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STD P-6 AND P-10 AT 12'-0".
(17) 6'-0" HT. WOOD FENCE AT NORTH PROPERTY LINE.
(18) ACCESSIBILITY SIGN MOUNTED ON POLE AT SITE ENTRY WITH EMERGENCY ACCESS SIGN MOUNTED ON SEPARATE POLE.
(19) 6' HT. CONCRETE CURB BETWEEN GARAGES.
(20) PEDESTRIAN GATES THAT ARE LOCKED AND ARE REQUIRED FOR BUILDING ACCESS SHALL HAVE A FIRE POLICE PADLOCK OR APPROVED LOCK BOX.
(21) PRE-MANUFACTURED TRANSFORMER LOCATION.
(22) 6' HT. CONCRETE CURB.
(23) ON-SITE LIGHTING APPROXIMATE LOCATIONS OF E BUILDINGS MOUNTED LIGHTING AND POLE MOUNTED LIGHTING.
(24) 18 x 36 CARPORT WITH SURFACE MOUNTED LIGHT FIXTURES AT BOTTOM SIDE OF ROOF.
(25) BICYCLE PARKING TO BE MOUNTED ON CONCRETE PAD.
(26) RETURNED CURB RAMP 1:12 MAX. SLOPE.
(27) ASPHALT PAVING PER CITY OF FRESNO PW STD P-21.
(28) ACCESSIBLE PARKING STALLS WITH STRIPED LOADING ZONE W/ NO PARKING INDICATED.
(29) ACCESSIBILITY PARKING SIGN, TYP. AT ACCESSIBLE PARKING STALLS.
(30) DASHED LINES AT PORTIONS OF CURBS ON SITE PLAN INDICATES CURBS TO BE PAINTED RED WITH THE WORDS FIRE LANE - NO PARKING PAINTED IN WHITE ON THE FACE OF THE CURB.
(31) DOUBLE RAMP AT CONCRETE WALK.
(32) ACCESSIBLE CROSSWALK WITH BLUE STRIPES ON PAVEMENT.
(33) 7'-0" CONCRETE WALK AT PARKING.
(34) PRE-HYDRANT PER CITY STD W-3.
(35) TRASH ENCLOSURE WITH CONCRETE APRON PER CITY STDS P-33, P-34 & P-39.
(36) OPEN PARKING STALL 9' x 18' PER CITY STD.
(37) 4'-0" WIDE CONCRETE WALKWAY.
(38) LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS.

SITE KEY PLAN

HATCHED AREA INDICATES EXTENT OF SITE SHOWN ON THIS SHEET. SCALE: N.T.S.

PROJECT DATA

PROPOSED 2 STORY FLAT APARTMENT COMMUNITY EXPANSION WITH PHASE 2
SITE ADDRESS: 6052 N. DANTE AVENUE (NEC BULLARD & DANTE AVENUES)
A.P.N.: 506-130-36 S
OWNER: WRIGHT EQUITIES, INC. (ORCHARDS L.L.C.)
EXISTING ZONING: RM-2(UM)
PROPOSED ZONING: RM-2(UM) - NO CHANGE
BUILDING DATA: OCCUPANCY USE, OCCUPANCY, NUMBER OF STORES, DWELLING UNITS, GARAGES & CARPORTS.

PARKING:

Parking table with columns: 1BR & 2BR, GUEST, OPEN, COVERED, TOTAL STALLS REQUIRED.

PROVIDED PARKING:

Provided Parking table with columns: OPEN, COVERED, TOTAL STALLS PROVIDED.

SITE AREA AND COVERAGE:

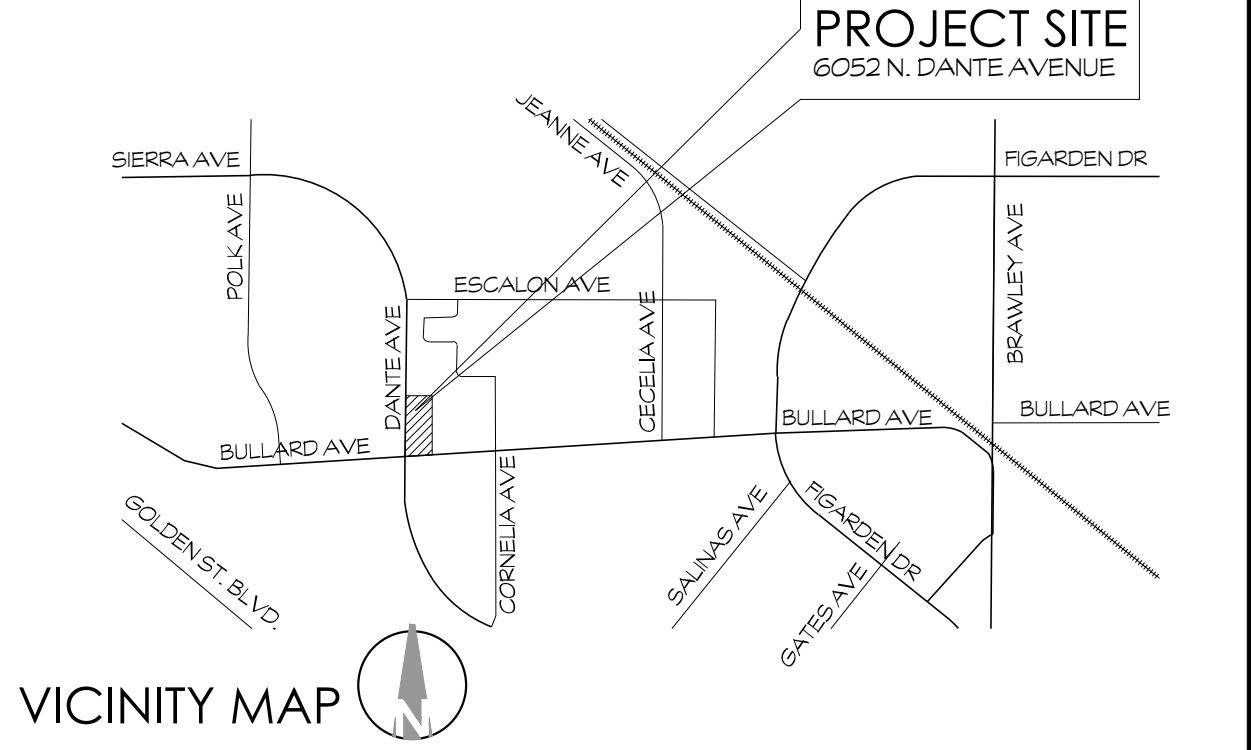
SITE AREA: 3.73 ACRES (162,478 S.F.)
SITE COVERAGE: 29.1%

OPEN SPACE:

Open Space table with columns: SITE AREA, TOTAL OPEN SPACE REQUIRED, PROPOSED OPEN SPACE.

PROPOSED BUILDING AREA:

Proposed Building Area table with columns: BUILDING TYPE, AREA, SUB-TOTAL OF TYPE B BUILDINGS, TOTAL GROSS RESIDENTIAL, DWELLING UNITS (RESIDENTIAL AREA), GARAGES & CARPORTS (U-1 AREA).



THE ORCHARDS APARTMENTS - PHASE 2
PHASE 2 IS LOCATED ON NEC OF DANTE AVE & BULLARD AVE
6052 N. DANTE AVE, FRESNO, CA 93722
No. DATE DESCRIPTION
04.29.19 PLANNING SUBMITTAL
04.30.19 REV PER 04.30.19 LTR

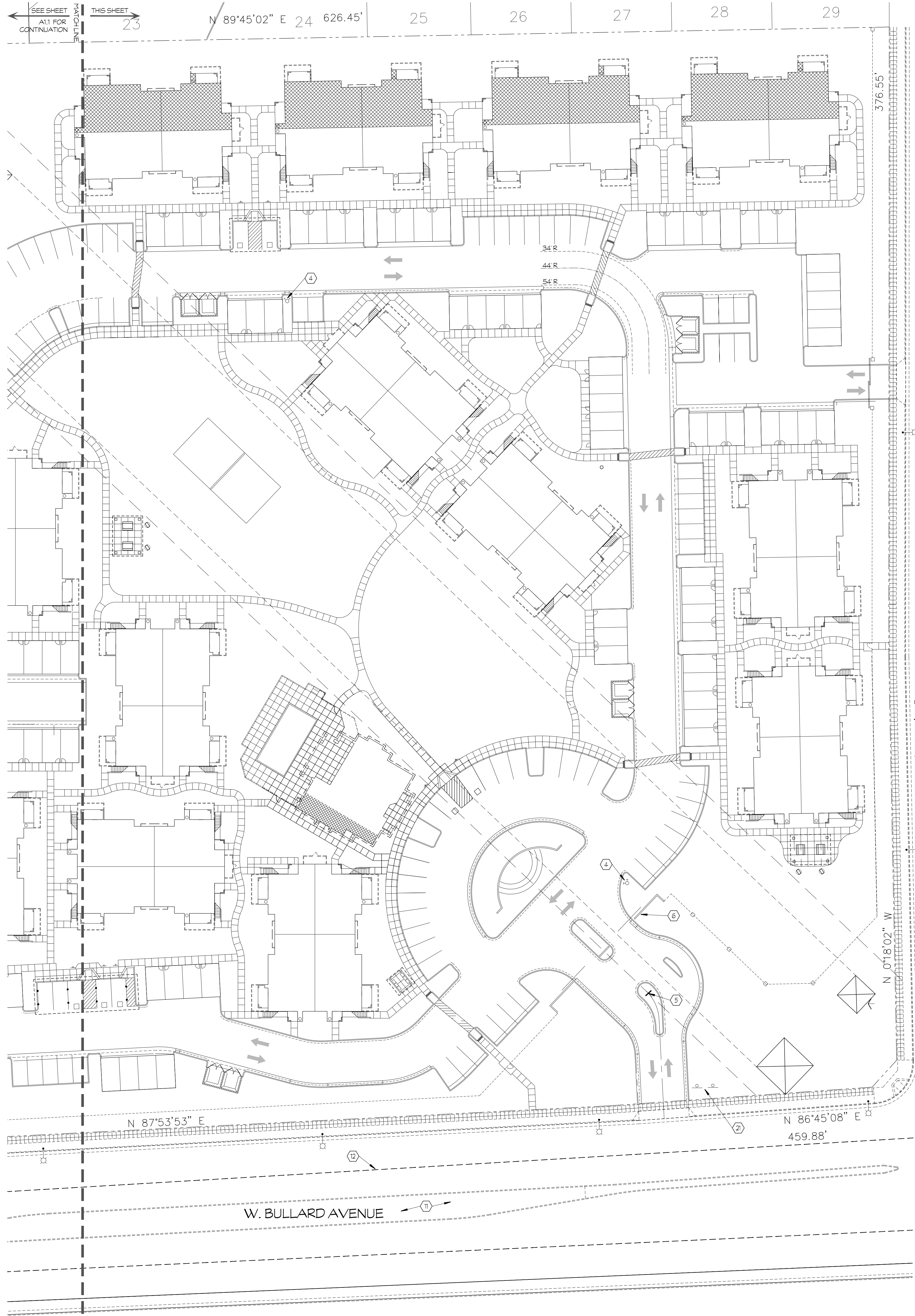
SITE PLAN

SCALE: N.T.S.



CITY OF FRESNO STANDARD SYMBOLS

- PROPERTY & RIGHT OF WAY
- SECTION & CENTERLINE
- - - - - EXISTING CURB
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- SIGN
- FIRE HYDRANT



PROPOSED SITE PLAN

SCALE: 1" = 30'-0"

KEYED NOTES:

- (1) (E) CONCRETE CURB AND GUTTER TO REMAIN.
- (2) (E) CONCRETE CURB, GUTTER AND SEWALK TO REMAIN. (N) CONCRETE SIDEWALK TO TRANSITION TO EXISTING.
- (3) (E) UTILITY POLES AND SERVICES TO BE UNDERGROUND.
- (4) (E) FIRE HYDRANT TO REMAIN.
- (5) (E) DIRECTORY SIGN. MODIFY TO SHOW EXPANSION AREA.
- (6) (E) MAIN VEHICULAR ENTRY/EGRESS WITH SECURITY GATES PER CITY STDS. MOTORIZED ROLLING GATE EQUIPMENT SHALL COMPLY WITH PRESET REQUIREMENTS (MOTION SENSOR & REMOTE ACTIVATED ENTRY / KEY PAD & REMOTE ACTIVATED ENTRY). UPDATE AND MODIFY GATE HARDWARE AS NECESSARY.
- (7) (E) 6'-0" WOOD FENCE TO BE REMOVED.
- (8) (E) MANUALLY OPERATED EMERGENCY VEHICLE ACCESS GATES SHALL HAVE FIRE POLICE PADLOCK OR APPROVED LOCK BOX.
- (9) (E) STORM DRAIN INLET TO REMAIN.
- (10) (E) CONC. CURB TO BE REMOVED FOR NEW PARKING AND DRIVEWAY, AND (E) VALLEY GUTTER TO REMAIN.
- (11) (E) BASECOURSE MEDIAN WITH CONCRETE CURB AND (E) CONCRETE INFILL TO REMAIN.
- (12) (E) PAINTED LINES - STREET MARKINGS.
- (13) ---
- (14) ---
- (15) ---
- (16) (N) CONCRETE CURB, GUTTER, PLANT STRIP, AND SIDEWALK PER PW STD P-5. SIDEWALK TO BE 4'-0" WIDE. SEE CIVIL DRAWINGS PW STD P-5. SIDEWALK TO BE 4'-0" WIDE. SEE CIVIL DRAWINGS.
- (18) PROPOSED FUTURE LOCATIONS OF EV CHARGING STATIONS PER 2013 CGS&C. SEE ELECTRICAL DRAWINGS FOR NECESSARY ELECTRICAL EQUIPMENT, CHARGING PEDESTALS, SIGNAGE, AND PAVEMENT MARKINGS TO BE INSTALLED IN FUTURE. 7-5 STALLS.
- (19) CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STDS. S-2 AND S-11 TO S-12.
- (20) (N) 6'-0" HT WOOD FENCE AT NORTH PROPERTY LINE.
- (21) (N) ACCESSIBILITY SIGN MOUNTED ON POLE AT SITE ENTRY WITH EMERGENCY ACCESS SIGN MOUNTED ON SEPARATE POLE.
- (22) (N) 6' HT. CONCRETE CURB BETWEEN GARAGES.
- (23) (N) PEDESTRIAN GATES THAT ARE LOCKED AND ARE REQUIRED FOR BUILDING ACCESS SHALL HAVE A FIRE POLICE PADLOCK OR APPROVED LOCK BOX, PANIC HARDWARE TO BE PROVIDED ON INTERIOR SIDE OF GATE.
- (24) (N) OPEN SPACE.
- (25) (N) ACCESSIBLE PARKING STALLS WITH STRIPPED LOADING ZONE W/ NO PARKING INDICATED, MODIFIED CURB RAMP, AND ISA SYMBOL ON PAVEMENT. SEE DETAIL 3/A1/5.
- (26) ---
- (27) (N) PRELIMINARY TRANSFER LOCATIONS. FINAL LOCATIONS TO BE VERIFIED WITH P&E AND SITE UTILITY DESIGNER.
- (28) (N) 6' HT. CONCRETE CURB.
- (29) ---
- (30) (N) ON-SITE LIGHTING. APPROXIMATE LOCATIONS OF BUILDING MOUNTED LIGHTING AND POLE MOUNTED LIGHTING. FINAL LOCATIONS TO BE VERIFIED BY ELECTRICAL ENGINEER FOR PROPER LIGHTING COVERAGE.
- (31) (N) 18' x 36' CARPORT WITH SURFACE MOUNTED LIGHT FIXTURES AT BOTTOM EDGE OF ROOF.
- (32) (N) BICYCLE PARKING TO BE MOUNTED ON CONCRETE PAD. TENANTS/BIKE OWNERS ARE TO PROVIDE THEIR OWN LOCKS AND CHAINS (TYP. OF LOCATIONS PER PHASE).
- (33) (N) RETURNED CURB RAMP. 1:12 MAX. SLOPE.
- (34) (N) ASPHALT PAVING PER CITY OF FRESNO PW STDS P-21, P-22 & P-23.
- (35) (N) ACCESSIBLE PARKING STALLS WITH STRIPPED LOADING ZONE W/ NO PARKING INDICATED, MODIFIED CURB RAMP, AND ISA SYMBOL ON PAVEMENT.
- (36) (N) ACCESSIBILITY PARKING SIGN. TYP. AT ACCESSIBLE PARKING STALLS. NOT TO BE INSTALLED WITHIN 3'
- (37) DASHED LINES AT PORTIONS OF CURBS ON SITE PLAN INDICATES CURBS TO BE PAINTED RED WITH THE WORDS 'FREE LANE - NO PARKING' PAINTED IN WHITE ON THE FACE OF THE CURB, PER FIRE DEPT REQUIREMENTS. SEE DETAIL 4-5/A1/6.
- (38) (N) DOUBLE RAMP AT CONCRETE WALK. SEE DETAIL 3/A1/6.
- (39) (N) ACCESSIBLE CROSSWALK WITH BLUE STRIPES ON PAVEMENT.
- (40) (N) 7'-0" CONCRETE WALK AT PARKING. SEE DETAIL 2/A1/6.
- (41) (N) FIRE HYDRANT PER CITY STD W-3. SEE FIRE DEPT NOTES AND PW STD FOR ADDITIONAL REQUIREMENTS.
- (42) (N) TRASH ENCLOSURE WITH CONCRETE APRON PER CITY STDS P-33, P-34, & P-35. ENCLOSURE TO BE CONSTRUCTED AS REQUIRED BY DEPT OF SOLID WASTE. SEE DETAIL 20/A1/5.
- (43) (N) OPEN PARKING STALL. 9' x 18' PER CITY STD.
- (44) (N) 4'-0" WIDE CONCRETE WALKWAY. SEE DETAIL 16 - 3/A1/5.
- (45) (N) LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.

PROJECT DATA

PROPOSED 2 STORY FLAT APARTMENT COMMUNITY EXPANSION WITH PHASE 2  
 SITE ADDRESS: 6052 N. DANTE AVENUE (NEC BULLARD & DANTE AVENUES)  
 FRESNO, CA 93722  
 A.P.N.: 506-130-36 S  
 OWNER: WRIGHT EQUITIES, INC. (ORCHARDS II, LLC)  
 ATTN: BRIAN WRIGHT  
 1543 N. INGRAM AVENUE  
 FRESNO, CA 93711  
 TEL: (559) 277-8002  
 EXISTING ZONING: RM-2 URM/2  
 EX. GEN. PLAN DESIG.: R/U - RESIDENTIAL URBAN NEIGHBORHOOD  
 PROPOSED ZONING: RM-2 URM/2 - NO CHANGE  
 PROPOSED DENSITY: 17.25 D.U./AC.  
 ALLOWABLE DENSITY: 16 - 30 D.U./AC.  
 PROPOSED GEN. PLAN DESIG.: RMH - RESIDENTIAL MEDIUM HIGH DENSITY

BUILDING DATA:

OCCUPANCY USE	OCCUPANCY	NUMBER OF STORES
DWELLING UNITS	R-2	TWO STORY
GARAGES & CARPORTS	U-1	SINGLE STORY
CONSTRUCTION TYPE	DWELLING UNITS, GARAGES & CARPORTS 5B	

PARKING:

REQUIRED PARKING: 1.0 STALLS / D.U. FOR 1-BR & 2-BR (1 STALL/D.U. TO BE COVERED)  
 1.0 STALLS / 2-D.U. FOR GUEST PARKING

	OPEN	COVERED
1BR & 2 BR	= 64 UNITS x 1.0/D.U. = 64 STALLS	= 64 STALLS
GUEST	= 64 UNITS / 2/D.U. = 32 STALLS	= 32 STALLS
TOTAL STALLS REQUIRED	= 32 STALLS + 64 STALLS	= 96 STALLS

PROVIDED PARKING:

OPEN STALLS	COVERED
CARPORT STALLS (14 CARPORTS) = 54 STALLS	54 STALLS
GARAGE STALLS (5 GARAGES) = 19 STALLS	19 STALLS
TOTAL STALLS PROVIDED	32 STALLS + 72 STALLS = 104 STALLS (152 STALLS/D.U.)

SITE AREA AND COVERAGE:

SITE AREA: ± 3.73 ACRES (± 162,478 S.F.)  
 SITE COVERAGE: ± 29.1 %

OPEN SPACE:

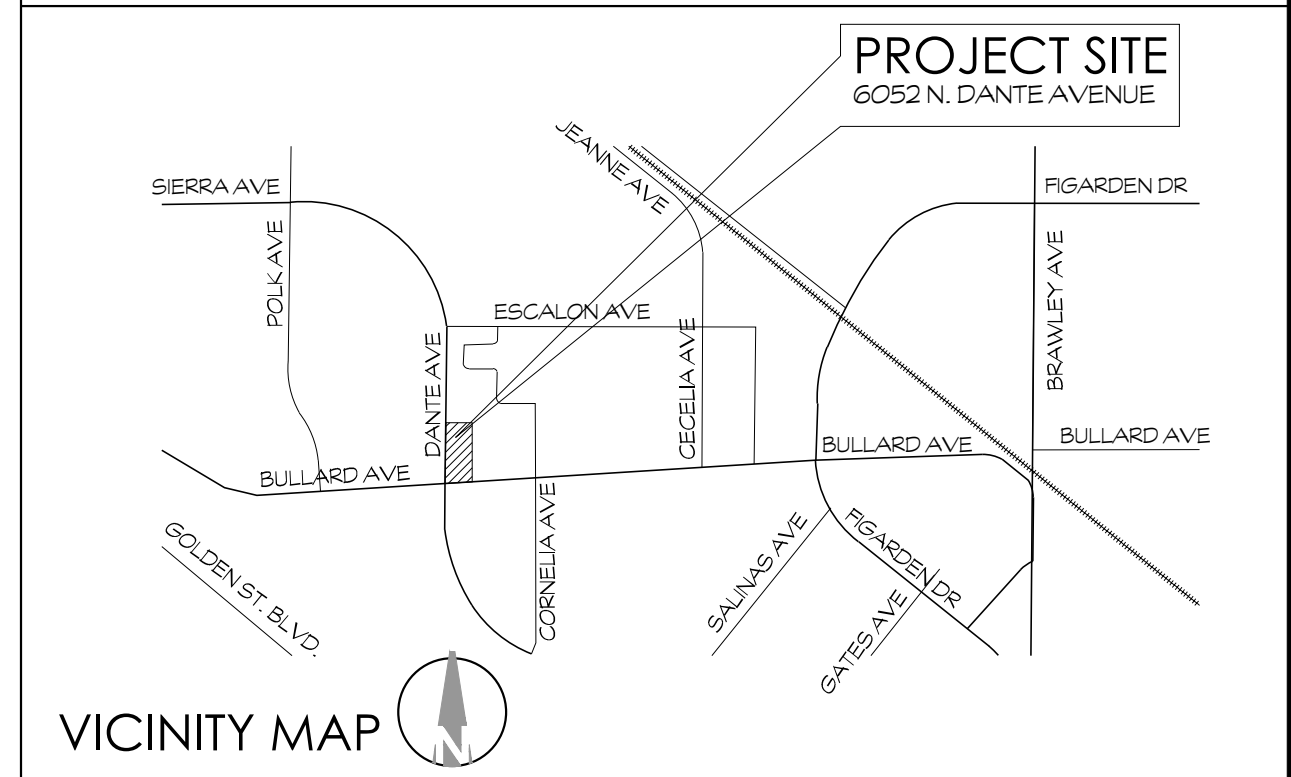
REQUIRED OPEN SPACE (15% REQMT) = 24,372 S.F.  
 SITE AREA OF 162,478 S.F. x 15% = 24,372 S.F.  
 80% OF REQUIRED OPEN SPACE TO BE OPEN TO THE SKY (24,372 x 80% = 19,497 S.F.)  
 TOTAL OPEN SPACE REQUIRED = 24,372 S.F.

PROPOSED OPEN SPACE

GROUND FLOOR BUILDING AREA	AREA
SITE AREA	= 162,478 S.F.
GROUND FLOOR BUILDING AREA (LIVING AREA, HVAC PADS, STAIRS, GARAGES, STORAGE BUILDINGS)	= (43,320 S.F.)
PAVED AREA (DRIVE AISLES, PARKING, TRASH ENCLOSURE, FRINGE PLANTERS)	= (36,328 S.F.)
REQUIRED YARD AREA (BULLARD AVE. & DANTE AVE. FRONTAGE)	= (17,258 S.F.)
AREA BEHIND & BETWEEN GARAGES (ADD'L MISC AREAS WITH LESS THAN A 20'-0" MIN DIMENSION)	= (12,429 S.F.)
COMMON PUBLIC OPEN SPACE SUB-TOTAL	53,169 S.F.
DWELLING BLDG PRIVATE OPEN SPACE (PORCHES, PATIOS, & BALCONIES - 1ST & 2ND FLOORS)	= 7,572 S.F.
TOTAL PUBLIC & PRIVATE OPEN SPACE	= 60,741 S.F.
PERCENTAGE OF OPEN SPACE	= 60,741 S.F. / ± 162,478 S.F. = ± 37.3 %

PROPOSED BUILDING AREA:

BUILDING TYPE 'A'	ASSESSABLE AREA FOR SCHOOL FEES: (4x802) + (4x814) = 6,464 SF*
BUILDING TYPE 'A' IS COMPRISED OF 8 TYPE 'A' 1BR DWELLING UNITS WITH 4 UNITS AT THE FIRST FLOOR AND 4 UNITS AT THE SECOND FLOOR.	
1st FLOOR W/ PORCH & PATIO: 4 x (802 + 128) S.F.	= 3,720 S.F.
2nd FLOOR W/ PORCH & BALCONY: 4 x (814 + 128) S.F.	= 3,768 S.F.
BUILDING 'A' 1st & 2nd FLOOR	= 7,488 S.F. **
SUB-TOTAL OF 6 TYPE 'A' BUILDINGS	48 DWELLING UNITS = 44,928 S.F.
BUILDING TYPE 'B' <th>ASSESSABLE AREA FOR SCHOOL FEES: (4x1,032) + (4x1,032) = 8,208 SF*</th>	ASSESSABLE AREA FOR SCHOOL FEES: (4x1,032) + (4x1,032) = 8,208 SF*
BUILDING TYPE 'B' IS COMPRISED OF 8 TYPE 'B' 2 BR DWELLING UNITS WITH 4 UNITS AT THE FIRST FLOOR AND 4 UNITS AT THE SECOND FLOOR.	
1st FLOOR W/ PORCH & PATIO: 4 x (1,032 + 135) S.F.	= 4,630 S.F.
2nd FLOOR W/ PORCH & BALCONY: 4 x (1,032 + 135) S.F.	= 4,668 S.F.
BUILDING 'B' 1st & 2nd FLOOR	= 9,298 S.F. **
SUB-TOTAL OF 2 TYPE 'B' BUILDINGS	16 DWELLING UNITS = 18,576 S.F.
TOTAL GROSS RESIDENTIAL	64 DWELLING UNITS = 63,504 S.F. **
DWELLING UNITS (RESIDENTIAL AREA): LIVING AREA ONLY	= 55,200 S.F. *
GARAGES & CARPORTS (U-1 AREA):	
TYP. 4-STALL GARAGE BLDG (6 AT 924 S.F. EACH)	= 3,696 S.F.
TYP. 3-STALL ACCESSIBLE GARAGE BLDG (1 AT 924 EA)	= 924 S.F.
TYP. 4-STALL CARPORT (32 AT 735 S.F. EACH)	= 10,290 S.F.
TOTAL GARAGE/STORAGE BLDG/CARPORT AREA	= 15,834 S.F.
TOTAL GROSS BUILDING AREA	= 79,338 S.F.
(TOTAL GROSS BUILDING FOOTPRINT AREA)	= 47,384 S.F.



7780 N PALM AVE. FRESNO, CALIFORNIA 93711  
 T559.448.8400 F559.448.8407 www.simpbk.com  
 LICENSED ARCHITECT  
 STATE OF CALIFORNIA  
 C 15885  
 9-30-19  
 PROJECT NAME: THE ORCHARDS APARTMENTS - PHASE 2  
 PHASE 2 IS LOCATED ON NEC OF DANTE AVE & BULLARD AVE  
 6052 N. DANTE AVE, FRESNO CA, 93722

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
04.29.19		PLANNING SUBMITTAL			
04.30.19		REV PER 04.30.19 LTR			

SHEET NUMBER: SITE PLAN  
 SHEET NUMBER: A1.2



SITE KEY PLAN SCALE: NTS

PROJECT ARCHITECT: JOHN SMITH  
 PROJECT NUMBER: 18-521  
 DRAWN BY: AS NOTED  
 SCALE: AS NOTED  
 CHECKED BY: DATE: 04.29.19

APPL NO. P19-02013 EXHIBIT A2 DATE 5/13/19  
 PROJ ENG. DATE  
 TRAFFIC ENG. DATE  
 COND. APPROVED BY  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT