

Regular Council Meeting

July 17, 2025

FRESNO CITY COUNCIL



Supplement Packet

ITEM(S)

9:10 A.M. (ID 25-860)

HEARING to Consider Plan Amendment Application No. P20-00213; Rezone Application No. P20-00213; Development Permit Application No. P22-03749; Planned Development Permit Application No. P23-03173; and related Environmental Assessment No. P20-00213/P22-03749/P23-03173 for approximately 3.78 acres of property located on the west side of North Chestnut Avenue, between East Behymer and East International Avenues. (Council District 6)

[TITLE TRUNCATED FOR SUPPLEMENTAL PACKET COVER PAGE]

Contents of Supplement: Applicant Submitted – Project Exhibits – Color Rendering

Item(s)

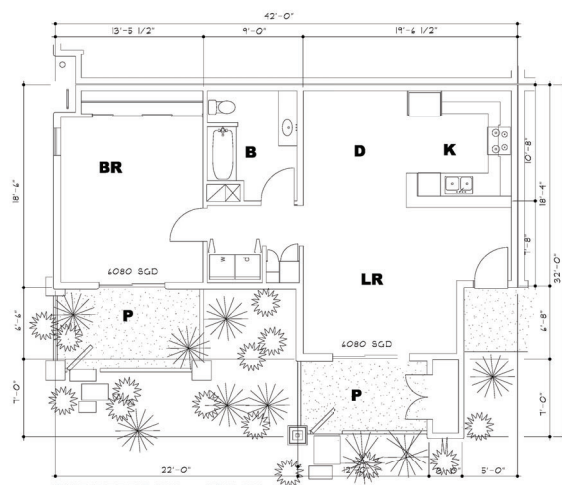
Supplemental Information:

Any agenda related public documents received and distributed to a majority of the City Council after the Agenda Packet is printed are included in Supplemental Packets. Supplemental Packets are produced as needed. The Supplemental Packet is available for public inspection in the City Clerk's Office, 2600 Fresno Street, during normal business hours (main location pursuant to the Brown Act, G.C. 54957.5(2)). In addition, Supplemental Packets are available for public review at the City Council meeting in the City Council Chambers, 2600 Fresno Street. Supplemental Packets are also available on-line on the City Clerk's website.

Americans with Disabilities Act (ADA):

The meeting room is accessible to the physically disabled, and the services of a translator can be made available. Requests for additional accommodations for the disabled, sign language interpreters, assistive listening devices, or translators should be made one week prior to the meeting. Please call City Clerk's Office at 621-7650. Please keep the doorways,

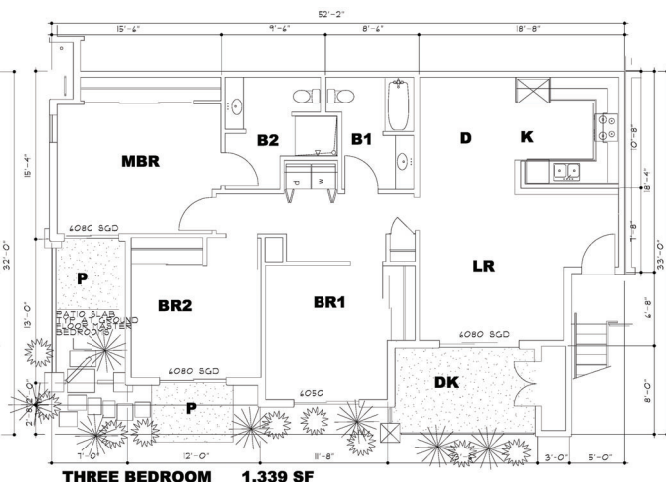
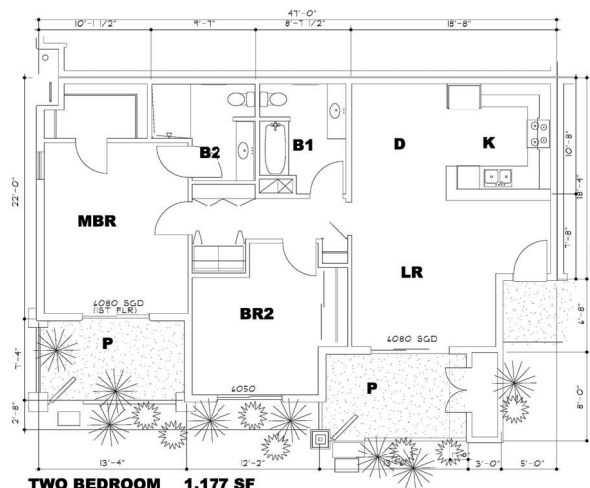
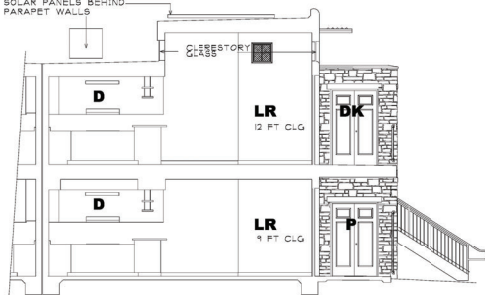
aisles and wheelchair seating areas open and accessible. If you need assistance with seating because of a disability, please see Security.



FLOOR PLANS

3/16" = 1'-0"

MECHANICAL EQ. AND SOLAR PANELS BEHIND PARAPET WALLS



SECTION THRU DINING, LIVING RM AND DECK

TYPICAL SIDE ELEVATION



TYPICAL FRONT ELEVATION

COLOR SCHEME:
3 BROWN TONES VARIED
THROUGHOUT MAJOR WALL
AREAS WITH ACCENT COLORS
OF TURQUOISE, YELLOW, RED,
LT BLUE, & LT GREEN.

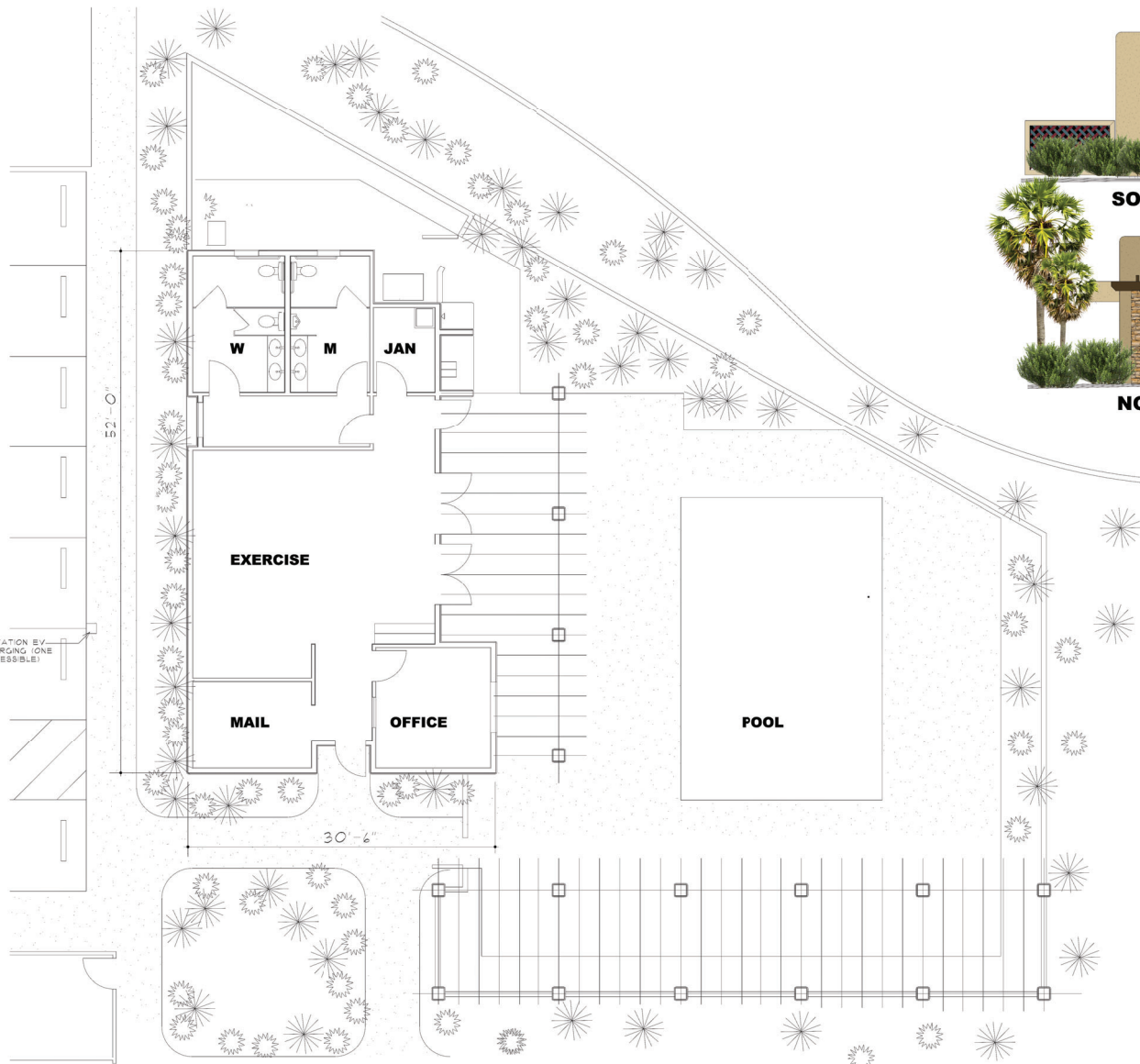
NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	10/20/2021
2	REVISION	
3		
4		
5		
6		
7		
8		
9		
10		

**"LOS PUEBLOS"
MULTI-FAMILY RESIDENTIAL DEVELOPMENT**
N CHESTNUT AVE
PUEBLO, CO

**VIGEN
INCORPORATE**
ARCHITECTURE
1000 N. CHESTNUT AVE
PUEBLO, CO 81001
(719) 544-1111
www.vigenarchitect.com

DATE: 10/20/2021
BY: J. VIGEN
CHECKED: J. VIGEN
DATE: 10/20/2021
BY: J. VIGEN
CHECKED: J. VIGEN

SHEET NO.
A2.0
1/1 ELEV WEC

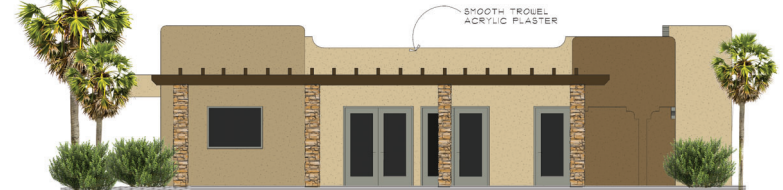


CLUB HOUSE / OFFICE FLOOR PLAN

3/16" = 1'-0"



SOUTH



NORTH



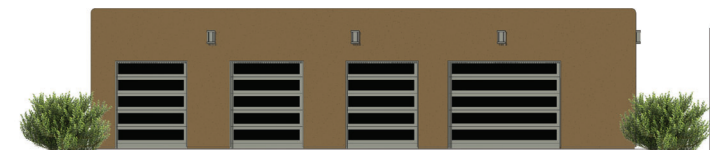
WEST



**EAST
CLUBHOUSE EXTERIOR ELEVATIONS**



END



**FRONT
TYPICAL GARAGE**

NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	2 MAY 25
2		
3		
4		
5		
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9		
10		



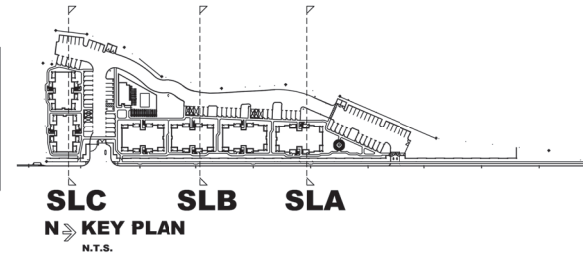
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(719) 544-1111
www.vigeninc.com

DATE: 2 MAY 25
PROJECT: 2 MAY 25

A2.1
FRONT ELEVATION

PROPOSED 6FT CMU SCREEN WALL AND DENSE PERIMETER "KEITH DAVEY" CHINESE PISTACHE TREES ARE INTENDED TO SCREEN SLIGHT LINES INTO ADJACENT NEIGHBOR'S PROPERTY.

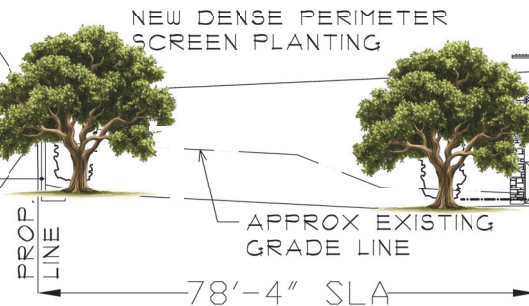


EXISTING RES. WOOD FENCE

ADJACENT ONE AND TWO STORY RESIDENTIAL

20 FEET MINIMUM. (TYPICAL 25 FEET OR GREATER)

MIN. 6FT CMU SCREEN WALL MEASURED FROM HIGHEST ADJACENT GRADE. ROUGHLY 2" FROM EXIST. RES. FENCE

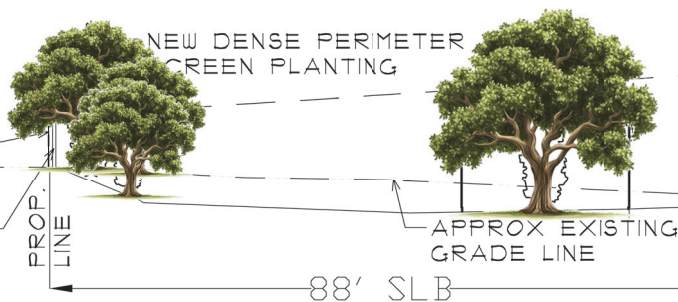


SITE PROFILE SECTION "SLA"

ADJACENT ONE AND TWO STORY RESIDENTIAL

EXISTING RES. WOOD FENCE

MIN. 6FT CMU SCREEN WALL MEASURED FROM HIGHEST ADJACENT GRADE. ROUGHLY 2" FROM EXIST. RES. FENCE



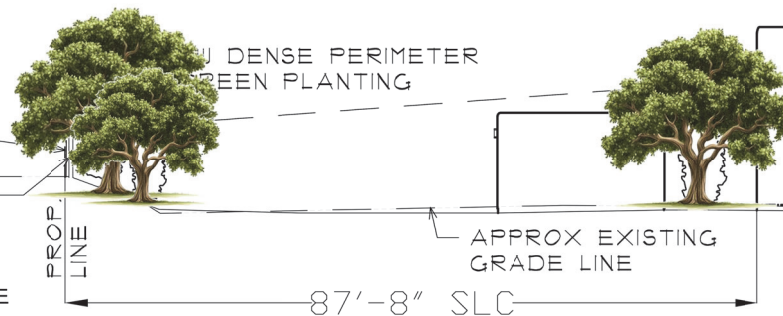
SITE PROFILE SECTION "SLB"

SEE SITE PLAN SHEET A1.0 AND A1.1 FOR DIMENSION LOCATIONS, TYP.

ADJACENT ONE AND TWO STORY RESIDENTIAL

EXISTING RES. WOOD FENCE

MIN. 6FT CMU SCREEN WALL MEASURED FROM HIGHEST ADJACENT GRADE. ROUGHLY 2" FROM EXIST. RES. FENCE



SITE PROFILE SECTION "SLC"



PROJECT OWNER
"LOS PUEBLOS" MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 N CHESTNUT AVE
 FRESNO, CA

VIGEN INCORPORATE
 ARCHITECT
 1000 N CHESTNUT AVE
 FRESNO, CA 93701
 TEL: 559-233-1111
 FAX: 559-233-1112
 WWW.VIGENARCHITECT.COM

DATE: 10.10.2020
 PROJECT: 2.0000
 REVISION: 01

SHEET NO.
SL
 BOOTH LINES