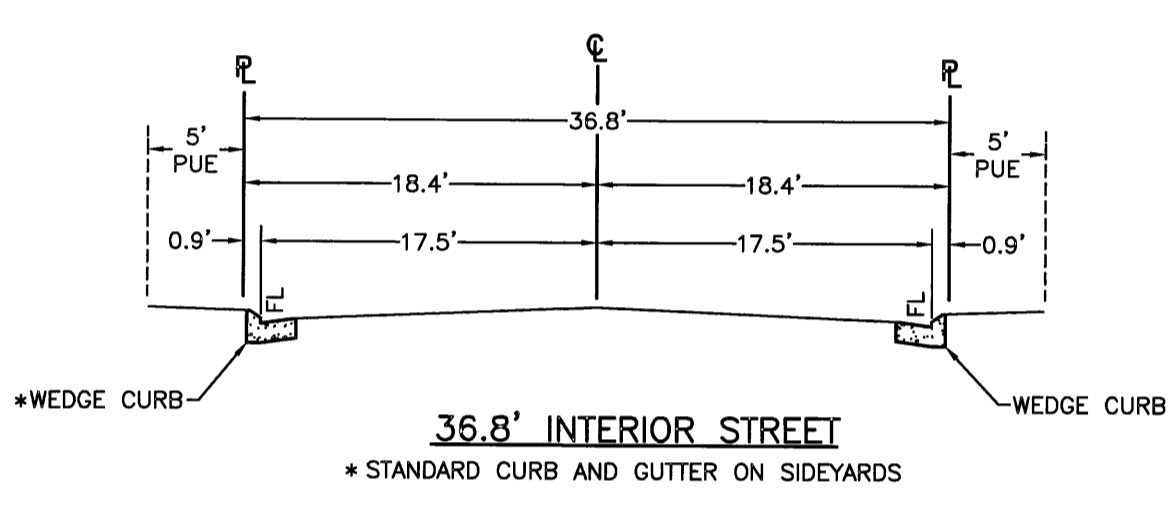
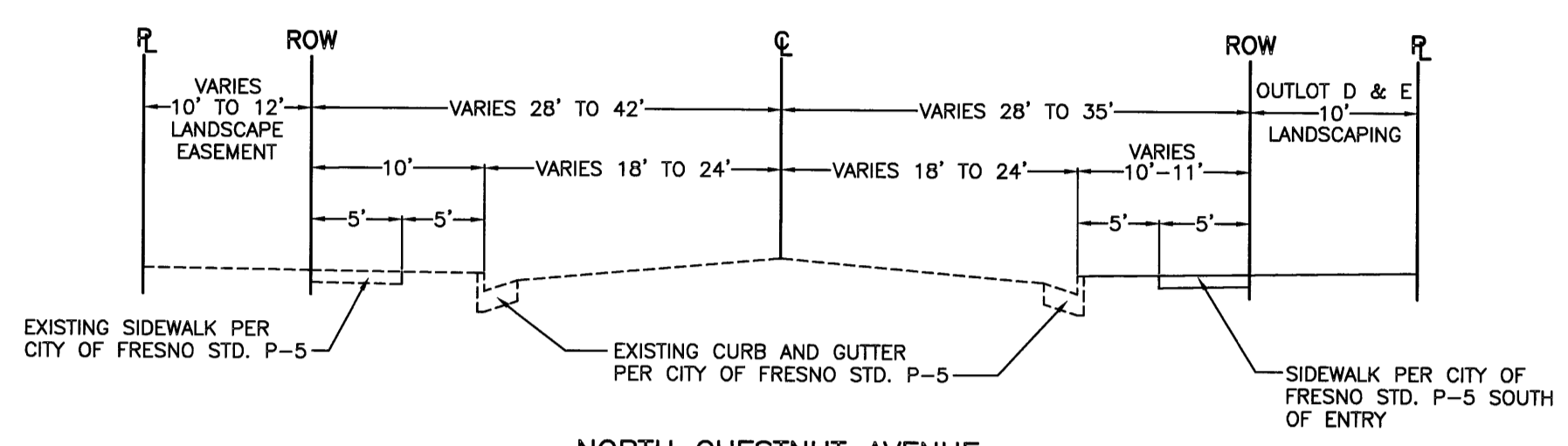
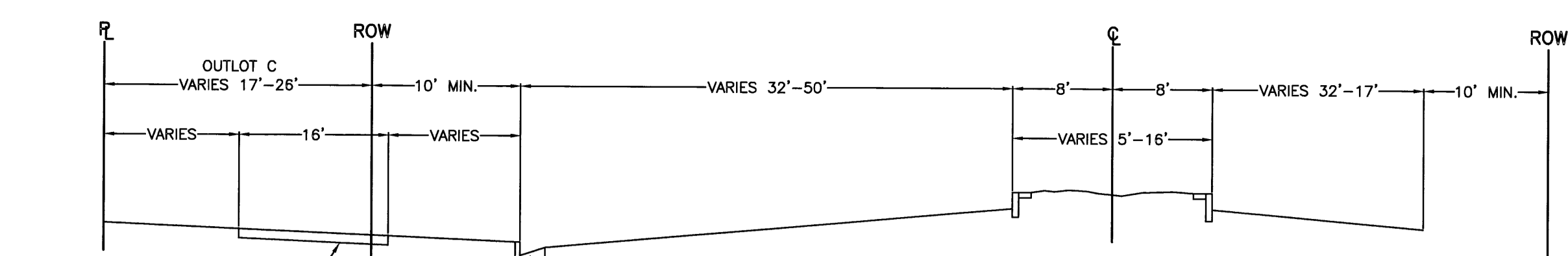


Exhibit A
September 28, 2018

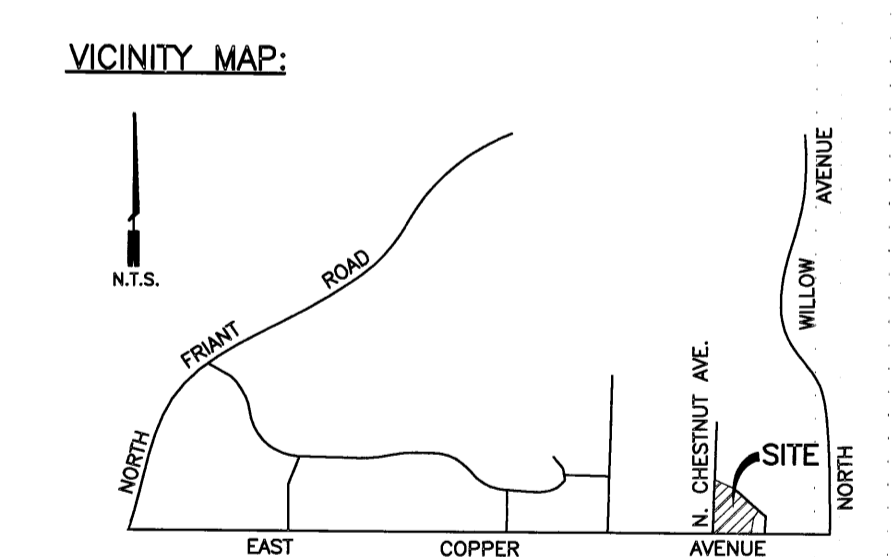
TENTATIVE TRACT NO. 6135
 PARCEL 4
 PARCEL MAP NO. 5431
 BOOK 35, PAGE 87 OF
 PARCEL MAPS, F.C.R.
 RS-5

TENTATIVE SUBDIVISION MAP
TRACT No. 6106
 A VESTING MAP
 A PHASED MAP
 A PLANNED UNIT DEVELOPMENT
 GROSS AREA = 17.63 ACRES
 NET AREA = 16.26 ACRES

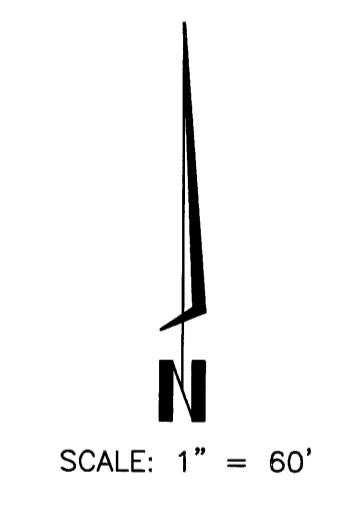


- IMPROVEMENTS TO BE INSTALLED:**
- STREETS - PRIVATE
 - SEWER - PRIVATE
 - WATER - CITY OF FRESNO STANDARDS (PUBLIC)
 - CURB & GUTTER - CITY OF FRESNO ALTERNATE DESIGN
 - WITHIN INTERIOR STREETS
 - SIDEWALK - CITY OF FRESNO STANDARDS
 - STREET LIGHTS - CITY OF FRESNO STANDARDS
 - DRAINAGE - FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
 - GAS & ELECTRICITY - PACIFIC GAS & ELECTRIC
 - TELEPHONE - A.T.&T
 - CABLE TELEVISION - COMCAST
 - TRAIL - CITY OF FRESNO STANDARDS

- NOTES:**
- EXISTING ZONING - RS-5/UGM/cz (MEDIUM RESIDENTIAL)
 - EXISTING USE - VACANT
 - THERE ARE NO WELLS, CESSPOOLS, SEWER, CULVERTS, DUMPSITES OR OTHER UNDERGROUND STRUCTURES WITHIN THIS SUBDIVISION.
 - THERE ARE NO EXISTING AREAS WITHIN THIS SUBDIVISION THAT ARE SUBJECT TO INUNDATION OR STORM WATER OVERFLOW.
 - THE SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR PASSIVE NATURAL HEATING OR COOLING OPPORTUNITIES BY MAXIMIZING NORTH-SOUTH FACING BUILDINGS. (15 LOTS)
 - THERE IS LESS THAN A 6" DIFFERENCE BETWEEN THIS TRACT AND ADJACENT PROPERTIES.
 - THERE ARE NO EXISTING TREES WITHIN THIS PROPERTY.
 - THERE ARE TWO PG&E TOWERS TO REMAIN WITHIN THE LIMITS OF THIS SUBDIVISION.
 - OUTLOT A IS FOR PRIVATE STREETS, STREETSCAPES AND PUBLIC UTILITIES.
 - OUTLOT B IS FOR STORM DRAIN CHANNEL.
 - OUTLOT C IS FOR OPEN SPACE AND PUBLIC TRAIL PURPOSES
 - OUTLOT D & E IS FOR OPEN SPACE AND PUBLIC UTILITIES.
 - OUTLOT F IS FOR FUTURE EVA CONNECTION.
 - ▲▲▲▲ - INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS.
 - △△△△ - INDICATES RELINQUISHMENT OF VEHICULAR ACCESS RIGHTS.
 - OPEN SPACE AREA = 38,830 SQUARE FEET.



- LEGEND:**
- PROPOSED BLOCK WALL
 - CENTERLINE
 - PROPOSED CURB AND GUTTER
 - EXISTING CURB AND GUTTER
 - EXISTING PROPERTY LINE
 - EXISTING SIDEWALK
 - EXISTING RIGHT-OF-WAY LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED SIDEWALK/TRAIL
 - SITE BOUNDARY LINE



RECORD OWNERS:
 COPPER AND CHESTNUT DEVELOPMENT, INC.
 1396 W. HERNDON AVE. STE 101
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SUBDIVIDER:
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