

Exhibit H

DEPARTMENT OF PUBLIC WORKS

TO: Chris Lang, Supervising Planner
Planning & Development Department

FROM: Adrian Gonzalez, Senior Engineering Technician
Public Works, Traffic Operations and Planning Division

DATE: January 31, 2023

SUBJECT: P21-05573; Tract 6388 (APN: 512-021-26) located on the west side of North Grantland Avenue and West Ashlan Avenue. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street rights-of-way, landscape easements, outlots and median islands:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with AB 1881.
2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Public Planting and Utility Easement.
 - a. Street tree inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
 - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
 - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.
 - d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city-controlled property is in conformance with the Specifications of the City of Fresno.
 - e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.
 - f. There are no designated street trees for any of the streets on this project. Please choose appropriate trees from the list of Approved Street Trees.

BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS

1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Home Owner's Association.
2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to a Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.
 - a. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with AB1881, water efficient landscaping.
 - b. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.
 - c. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the side walk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.
 - d. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.
 - e. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.
 - f. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

MEDIAN ISLAND LANDSCAPE REQUIREMENTS

1. When median islands front onto the proposed development project, applicants shall submit Plans to the Public Works/Engineering Services showing the location and configuration of all median islands fronting the proposed project.
2. The Public Works Department will review and evaluate existing median island(s) for a determination of all required improvements prior to approval of Final Map.
3. Landscape and irrigation is required on all new construction of median islands and shall be applied in accordance with the City of Fresno, Public Works Department Standards & Specifications and AB 1881. The Public Works Department requires all proposed median islands to be constructed with a one foot wide colored concrete strips, flush along curb edge, in a 12 inch by 12 inch brick slate pattern.

4. Trees shall not be planted in sections which are less than eight (8) feet wide unless approved by the Public Works Department. Sections less than eight (8) feet shall be capped with concrete as an integral part of the off site improvements, whether the median is landscaped or not.

OUTLOTS

1. Outlots which are utilized for water well purposes **will not** be included in the CFD. The Water Division Department in Public Utilities will provide the maintenance of all plant material on the well site.

TRAIL REQUIREMENTS

1. The trail shall be constructed in accordance with the "Master Trails Manual" and the Public Works Department standards. The subdivider is responsible for the trail construction. The subdivider is responsible for all landscape and irrigation improvements for and within the trail. Construction plans shall be submitted and shall include landscaping and automatic drip irrigation design. Trail cross-sections will be required with submittal of Street Plans and Landscaping/Irrigation Plans for review and approval. These plans shall be in compliance with current City standards and approved by the Department of Public Works. Landscaping within the regional/multipurpose trail shall include large, medium and low-growing shrubs planted from 3 to 6 feet apart depending on variety, and trees spaced approximately 25 to 45 feet apart to provide 50% shade coverage onto the planting area and pathway. Landscaping adjacent to walls or fences shall comply with "Landscaped Buffer Development Standards." All planting areas shall be irrigated with an automatic system.

Please submit all landscape and irrigation plans to: dpwplansubmittal@fresno.gov for plan review to the scale of 1" =20' prior to the installation of any landscaping within the right-of-way.



DATE: October 12, 2023

TO: Chris Lang, Supervising Planner
Planning and Development Department

THROUGH: Harmanjit Dhaliwal, PE, Licensed Engineer Manager, Land Planning & Subdivision
Inspection Section
Public Works Department, Traffic & Engineering Services Division

FROM: Andreina Aguilar, Chief Engineering Technician
Public Works Department, Traffic & Engineering Services Division

SUBJECT: Public Works Conditions of Approval
T-6388 / P21-05573 a 66-lot single family subdivision
4445 North Grantland Avenue
Granville Homes / Giannetta

The Public Works Department, Traffic Operations and Planning Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

General Conditions:

1. Street Dedications: Provide corner cut dedications at all intersections for accessibility ramps.
2. Right of way: All right-of-way "outside" of the subdivision border shall either be acquired prior to recordation of Final Map, or a deposit equal to the value of the right-of-way and an estimate of the City staff time necessary to acquire the right-of-way shall be submitted prior to recordation of the Final Map.
3. Plan Submittal: Submit the following plans, as applicable, in a single package, to the Public Works Department for review and approval prior to recordation of the Final Map. Street: construction, signing, striping, traffic signal and streetlight and Trail: construction, grading, lighting, striping, signing, landscape, and irrigation.
4. Sidewalks shall not exceed a 5% longitudinal slope.
5. Local to Collector Street Intersections: The intersection of two local continuous streets shall have a minimum of **160'** offset measured from centerline to centerline.
6. Outlots: If the subdivider seeks to dedicate to the City, in fee, an outlet for open space purposes, subdivider shall prove to the City that the outlet is free of toxic or hazardous materials pursuant to the requirements of *City Administrative Order 8-1*, including, but not limited to, performing a Phase I Soils Investigation. The soils Investigation report shall be submitted to the Public Works Department for review and approval. The subdivider must obtain Public Works approval of the soils investigation report and complete any mitigation work identified by the soils investigation prior to subdivider's

submittal of the Final Map to the Public Works Department. Any and all costs associated of the soils investigation and any required mitigation work shall be performed at the sole expense of the subdivider.

7. Encroachment Covenants: The construction of any private overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment covenant is approved by the City of Fresno Public Works Department, Engineering Services Division, **(559) 621-8681**. Encroachment covenants must be approved prior to issuance of building permits.
8. Street widening and transitions shall also include utility relocations and necessary dedications.
9. Overhead Utilities: Underground all existing overhead utilities with the limits of this map in accordance with *Fresno Municipal Code Section 15-4114*.
10. Backing onto a major street: Backing onto a major street is prohibited.
11. The first order of work shall include a minimum of two points of vehicular access to the major streets for **any** phase of this development.
12. Intersection Visibility: Maintain visibility at all intersections as described in the *Fresno Municipal Code Section 15-2018*.
13. Driveway Approaches: The throat of the driveway approaches shall be the same width as the driveway. Approach widths shall be built to *Public Works Standard P-6*.
14. FAX: When a bus shelter is required by the Transportation Department, FAX Division, a thicker sidewalk will be required. Contact Jeff Long at 559 621-1436. Coordinate all conditions of approval between Public Works and FAX.
15. When permanent facilities are not available from the Fresno Metropolitan Flood Control District, the applicant shall identify a temporary onsite storm water basin per *Public Works Standard P-97* for review and approval from Public Works.

Frontage Improvement Requirements:

Public Major Streets:

Ashlan Avenue: 2-Lane Collector

1. Dedication Requirements:
 - a. Dedicate a **36'** of street easement within the limits of this application, per *Public Works modified Standard P-54*.
 - b. Dedicate a corner cut for public street purposes, as needed, at the intersection of Ashlan Avenue and North "E" Avenue.
 - c. Relinquish direct access rights to Ashlan Avenue from all residential lots within this subdivision.
2. Construction Requirements:
 - a. Construct concrete curb, gutter and a **6'** minimum sidewalk to *Public Works Standard P-5*. The curb shall be constructed to a **12'** residential pattern (**5.5' - 6' - .5'**).
 - b. Construct standard curb ramps per *Public Works Standard* at all intersections.
 - c. Construct **20'** of permanent paving per *Public Works Standard P-50* (measured from face of curb) within the limits of this subdivision and transition paving as necessary.
 - d. Construct an underground street lighting system to *Public Works Standard E-1 and E-7A, E-7B, E-8*, within the limits of this subdivision. Streetlights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in

Section 3-3.17 of the *City Specifications and Standard Drawings E-15, E-17 and/or E-18* or as approved by the City Engineer.

Parc West Drive: modified divided 2-Lane Collector

1. Dedication Requirements:
 - a. If not existing, dedicate a corner cut for public street purposes at the intersection of Parc West Drive and West “C” Avenue.
 - b. Relinquish direct access rights to Parc West Drive from all residential lots within this subdivision.
2. Construction Requirements:
 - a. If not existing, construct concrete curb, gutter, and a **6’** sidewalk to *Public Works Standard P-5*. The curb shall be constructed to a modified **16.5’** residential pattern (**5.5’ - 6’ - 5’**) within the limits of this map.
 - b. If not existing, construct standard curb ramps per *Public Works Standard* at all intersections.
 - c. If not existing, construct **20’** of permanent paving per *Public Works Standard P-50* (measured from face of curb) within the limits of this subdivision and transition paving, as necessary.
 - d. If not existing, construct an underground street lighting system to *Public Works Standard E-1 and E-7A, E-7B, E-8*, within the limits of this subdivision. Streetlights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in *Section 3-3.17* of the *City Specifications and Standard Drawings E-15, E-17 and/or E-18* or as approved by the City Engineer.

Interior Streets:

1. North “E” Avenue (Entry Street): Construct the entry street at North “E” Street and Ashlan Avenue to *Public Works Standard* and as shown on the street cross sections.
2. Dedicate, design, and construct all driveways, ramps, curb, gutter, sidewalk, permanent paving, cul-de-sacs, easements, and underground street lighting systems on all interior local streets to *Public Works Standards P-5, P-18, P-28, P-50, P-56B, E-1, E-9A, E-9B, E-11 and as shown on the street cross sections*.
3. All streets and pedestrian ways shall connect to other streets and pedestrian ways to form a continuous vehicular and pedestrian network with connections within the subdivision and to adjacent development. Pedestrian paths of travel must meet current accessibility regulations. Sidewalks are recommended on both sides of the street. Identify ramps within the proposed subdivision wherever sidewalks are provided.
4. Garages: Garage or carport setbacks are recommended to be a minimum of **18’** from the back of walk or curb, whichever is greater.
5. Provide a **12’** visibility triangle at all driveways.
6. Design local streets with a minimum of **250’** radius.

Specific Mitigation Requirements:

Note: Conditions of approval for projects within Parc West have been identified and analyzed as part of the Parc West EIR (Traffic Impact Analysis Dated November 27, 2019, P19-00417, City of Fresno Ordinance 2021-003). Conditions have been phased based on the number of building

units for each component of the Parc West Project. **T-6388** is the seventh entitled project (**T-6212, T-6350, T-6276, T-6378, T-6387, T-6362**) to conditions of approval as described in the October 23, 2020, conditions letter from Traffic Operations & Planning Division. This project (**T-6388**) will construct **66** units which will bring the total number of units entitled in Parc West to **718** units and shall comply with all requirements of the Traffic Operations and Planning Manager and City Traffic Engineer dated October 23, 2020, to meet the City's response to the Parc West EIR (TIS 20-010, P19-00417).

Within the subdivision border

1. Relinquish direct vehicular access rights to:
 - a. the west property line of lot **1** and **45**.
2. Relinquish direct access rights to:
 - a. the east property line of lot **6, 39** and **46**.
 - b. the west property line of lot **7**.
 - c. the south property line of lot **38**.
3. Outlot C:
 - a. Dedicate a **26'** Outlot for connector trail purposes.
 - b. Construct a **12'** wide Bike and Pedestrian **Class I Trail**, complete with lighting, signing, striping, and landscaping, per the *Fresno General Plan*, the *Public Works Standard P-59, P-60, P-61* and the *Caltrans Highway Design Manual*. Identify route on the map complete with a cross section.

Outside of the subdivision border-

West "C" Avenue (Entry Street): Local

1. Dedication Requirements: both sides
 - a. Dedicate **37.5'** a street easement from street centerline per *Public Works Standards* and as shown on the street cross sections.
 - b. Dedicate a corner cut for public street purposes at both easterly street intersections.
2. Construction Requirements:
 - a. Construct **36'** of permanent paving (from curb to curb) per *Public Works Standard P-50* and transition paving as necessary.
 - b. Construct standard curb ramps per *Public Works Standard* at both easterly intersections.
 - c. Construct concrete curb and gutter to *Public Works Standard P-5* on both sides of the street. The curb shall be constructed to a **15.5'** pattern (**5.5' from face of curb to walk - 5' sidewalk - 5' planter**). Construct a **5'** sidewalk per *Public Works Standard P-5* on the easterly side of the street.
 - d. Planting and irrigation of street trees shall conform to the minimum spacing guidelines as stated in the *Standard Specification, Section 26-2.11(C)*.
3. The intersection of Parc West Drive and West "C" Avenue shall be limited to right-in and right-out turns.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees **at the time of building permit**. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the Master Fee schedule. In some cases, traffic signals may be

conditioned on multiple maps. If the signal is existing at the time of the final map, the applicant would not be required to construct the signal but would be required to pay the applicable fee.

TSMI fee is credited against traffic signal and Intelligent Transportation System (ITS) improvements, provided that the improvements are constructed at ultimate locations, contained within the build out of the *General Plan* circulation element and are included in the latest Nexus Analysis for TSMI fee. Project specific impacts that are not consistent with the *General Plan*, *Public Works Standard Drawings* or not incorporated in the TSMI fee infrastructure costs, are not reimbursable. Failure to pay this fee or construct improvements that are credited / reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited / reimbursable with this fee, they should work with the Department of Public Works and identify, with a Professional Engineer's estimate, the costs associated with the improvements, prior to paying the TSMI fee at time of building permit.

1. Ashlan Avenue, Collector: If not existing, install a signal pole with a **150-watt** equivalent LED safety light and an oversize street sign to *Public Works Standard* at the northwest corner of Ashlan Avenue and Parc West Drive.
2. Veteran's Boulevard: Modification of Shaw Avenue and Veteran's Boulevard Traffic Signal to accommodate south leg of intersection. Plans shall be submitted and approved prior to the approval of the Final Map.

Fresno Major Street Impact (FMSI) Fee: This Map is in the **New Growth Area**; therefore, pay all applicable growth area fees and City-wide regional street impact fees. In some cases, center section improvements or bridges may be conditioned on multiple maps. If the improvements are existing at the time of the final map, the applicant would not be required to construct them, but would be required to pay the applicable fee.

Fresno Major Street Impact (FMSI) Requirements:

Ashlan Avenue: modified 2-Lane Collector (New Growth Area)

1. Dedicate and construct (1) center two-way left turn lane, (1) westbound travel lane, (1) eastbound travel lanes and **5'** shoulder with asphalt dike within the limits of this subdivision. If not existing, an additional **8'** dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed.
2. Frontage Improvements required beyond the limit of development: If not existing, dedicate and construct Ashlan Avenue per approved street plans from Parc West Drive to Grantland Avenue. If not existing, an additional **8'** dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed.

Parc West Drive: Divided 2-Lane (modified) Collector (New Growth Area)

1. Dedication Requirements:
 - a. If not existing, dedicate **78.5'** of property for public street purposes from Grantland to Ashlan per *Public Works Standards and as approved on the street plans*.

- b. If not existing, dedicate corner cuts as needed for public street purposes at all intersections.
- 2. Construction Requirements:
 - a. If not existing, construct concrete curb and gutter per *Public Works Standard P-5* from Grantland to Ashlan Avenues.
 - b. If not existing, construct **19'** of permanent paving on each sides and a **14'** concrete median, per *Public Works Standard P-50* measured from face of curb from Grantland to Ashlan Avenues transition paving as necessary.

Veteran's Boulevard: 6-Lane Super Arterial (Regional)

- 1. Dedicate and construct (1) 12' northbound travel lane, (1) 5' northbound shoulder, (1) 12' southbound travel lane, (1) 5' southbound shoulder, and a 16' to 26' wide median island from Parc West Drive to Shaw Avenue. If not existing, an additional 8' dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a 55 MPH design speed.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to certificate of occupancy.



DEPARTMENT OF PUBLIC UTILITIES

MEMORANDUM

DATE: December 16, 2022

TO: MINDI MARIBOHO – Development Services Coordinator
Planning & Development Department – Current Planning

FROM: DEJAN PAVIC, PE, Projects Administrator
Department of Public Utilities – Utilities Planning & Engineering

**SUBJECT: DPU CONDITIONS OF APPROVAL FOR P21-05573 TENTATIVE
TRACT MAP 6388 Portion of APN 512-021-26**

General Requirements

1. Engineered improvement plans, prepared by a Registered Civil Engineer, if necessary, shall be submitted for Department of Public Utilities review and approval.
2. All Department of Public Utilities facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.
3. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
4. Street work permit is required for any work in the Right-of-Way.
5. All underground utilities shall be installed prior to permanent street paving.

Water Service Requirements

The nearest water main to serve the proposed Project is a 14-inch water main located in North Grantland Avenue. See **Note 1** below for the reference to the **Development Agreement** for the Parc West Project Area. Water facilities are available to provide service to the site subject to the following requirements:

Note 1: The Development Agreement (“DA”) between the City of Fresno and Parc West Development, Inc., executed on July 5, 2022, stipulates several entitlements, conditions, and other development rights and obligations for the development of approximately 160 acres of land commonly known as the ‘Parc West Project Area.’ Pursuant to said DA, several requirements listed below (including, but not limited to, the Water Service Requirements 1, 2, 3, 6, and 7) pertain to a wider area of the Parc West Project Area and not only to Tentative Tract Map 6388.

1. Installation of a 16-inch water main (including City fire hydrants) in West Ashlan Avenue from North Grantland Avenue west to North Garfield Avenue.

2. Installation of a 16-inch water main (including City fire hydrants) in North Park West Drive from North Grantland Avenue west to West Indianapolis Avenue.
3. Installation of a 12-inch water main (including City fire hydrants) in North Park West Drive from West Indianapolis Avenue south to West Ashlan Avenue.
4. Water mains (including installation of City fire hydrants) shall be extended within the proposed tract to provide service to each lot.
5. Separate water services with meter boxes shall be provided to each lot.
6. Construct a water supply well(s) on a site(s) dedicated to the City of Fresno. The well(s) shall be capable of producing a flow amount to meet a total demand of 1,875 gallons per minute, sufficient to serve peak water demand for the proposed Project and for fire suppression purposes, or an alternative flow amount that is acceptable to the Department of Public Utilities Director and Fire Department Chief (or their designees). The well site(s) shall be a minimum 12,000 s.f. (100'x120') and at a location(s) acceptable to the Department of Public Utilities Director or designee.
7. Water well construction shall include wellhead treatment facilities, if required and provided there are sufficient funds available in the Water Capacity Fee Fund of the area. The cost of constructing wellhead treatment facilities shall be reimbursed from the Water Capacity Fee fund, in accordance with established City policies.

Note 2: for the timing (threshold) of the water well construction and dedication, refer to Section 5.5 of DA (“...**prior to the issuance of more than 200 building permits** for development...”).

8. Two independent sources of water, meeting Federal and State Drinking Water Act Standards, are required to serve the tract including any subsequent phases thereof. The two-source requirement may be accomplished through any combination of water main extensions, construction of supply wells, or other acceptable sources of water supply approved by the Department of Public Utilities Director (or designee).
9. Destruction of existing on-site wells: Destroy any existing on-site well(s) in compliance with the State of California Well Standards, Bulletins 74-81 and 74-90, or current revisions, issued by California Department of Water Resources, Fresno County standards, and City of Fresno standards. Applicant shall comply with Fresno Municipal Code (FMC) Section 6-518, as may be amended from time to time.
10. The developer shall be financially responsible for abandonment of all unused water services previously installed to the property (if any).

Water Supply Requirements

1. The project applicant shall be required to pay Water Capacity Fee charges for the installation of new water services and meters to serve the property.
 - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
 - b. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule (MFS).
 - c. The City reserves the right to require an applicant to increase or decrease the size of a water meter for a project or a property to ensure that the meter is properly sized to accommodate fire protection requirements, and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
 - d. The Water Capacity Fee Charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
2. The project applicant shall be required to pay all other water-related fees and charges in accordance with the City's MFS and FMC.

Sewer Requirements

The nearest sanitary sewer main to serve the proposed Project is a 10-inch sewer main located in West Ashlan Avenue. Sanitary sewer facilities are available to provide service to the site subject to the following requirements:

1. Construct a 10-inch sanitary sewer main (including sewer house branches to adjacent properties) in West Ashlan Avenue from the existing 10-inch sewer main in West Ashlan Avenue located east of the proposed Project to the west property line of said Project.
2. All sanitary sewer mains shall be extended within the proposed tract to provide service to each lot.
3. A preliminary sewer design layout shall be prepared by the applicant's/developer's engineer and submitted to the Department of Public Utilities for review and conceptual approval prior to submittal for City review or acceptance of the final map(s) and engineered plan and profile improvement drawing(s).
4. Installation of sewer house branch(es) shall be required.
5. Separate sewer house branches are required for each lot.

6. House branch (sewer lateral) larger than 6-inch shall require a manhole connection.
7. Destruction of existing on-site private septic systems: All existing on-site private septic systems (including septic tanks) shall be destroyed and abandoned in compliance with the State of California standards, Fresno County standards, and City of Fresno standards, as may be amended from time to time. All sewer connections and sewer main extensions shall comply with FMC Section 6-303(a), as may be amended from time to time.
8. The developer shall be financially responsible for abandonment of all unused sewer services previously installed to the property (if any).

Sanitary Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Lateral Sewer Charge.
2. Oversize Sewer Charge Area #39.
3. Wastewater Facility Sewer Charge (Residential).
4. Trunk Sewer Charge: Grantland Service Area

Solid Waste Requirements

This location (Tract Map 6388) will be serviced as a Single-Family Residential property with Basic Container Service. Each lot will receive 3 containers to be used as follows: 1 (one) Gray container for solid waste, 1 (one) Green container for green waste, and 1 (one) Blue container for recyclable material.

Fire Department

December 18, 2022

Byron Beagles

Comments:

1. The street pattern in this submittal is nearly identical to the pre-application; total number of lots has been reduced from 70 to 66 to accommodate neighborhood parks.
2. This tract is within the primary service area of Fire Station 18 and there are no fire response development restrictions on the project.
3. This is public street sub-division with wedged curbs and 35 foot street width per Public Works Standards as measured to the flow line. There are no on street parking restriction with the exception of the entry street from W. Ashland which is median split to 18 foot lanes. Curbs along those lanes shall be painted red or provided with tow-away no parking signs per Public Works Standards.
4. Each lot is subject to the city wide fire service impact fee.
5. Provide fire hydrants with a minimum of two points of connection per Public Utilities and Fire Dept. requirements for single family home development.
6. Fire hydrants as well as approved all weather access must be in service before delivery of combustible material to the job site.
7. The N. Parc West Drive loop road is currently under construction from Grantland at north end of the overall development area to the corner of Ashlan and Grantland and this road must be in service before construction commences. Additonally, W. Ashan must be completed west of Parc West Drive at least as far west as the N. "E" Ave entrance (see #8 for access option).
8. West "C" Ave. must be in service if the adjacent Tract 6387 infrastructure has not been completed prior to construction commencing on Tract 6388 (see #8 for access option).
9. In lieu of completion of the street connection indicated in #6 and #7, temporary access points through Outlot D and Outlot C would be acceptable.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

File No. 210.45

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PUBLIC AGENCY

CHRIS LANG
DEVELOPMENT SERVICES/PLANNING
CITY OF FRESNO
2600 FRESNO STREET, THIRD FLOOR
FRESNO, CA 93721

DEVELOPER

BRET GIANNETTA, GIANNETTA ENGINEERING
1119 S STREET
FRESNO, CA 93721

PROJECT NO: **6388**

ADDRESS: **4445 N. GRANTLAND AVE.**

APN: **512-021-26**

SENT: **December 23, 2022**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
CD	\$231,399.00	NOR Review	\$599.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$1,670.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review	For amount of fee, refer to www.fresnofloodcontrol.org for form to fill out and submit with first storm drain plan submittal (blank copy attached).	
Total Drainage Fee: \$231,399.00		Total Service Charge:	\$2,269.00	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/24 based on the site plan submitted to the District on 11/22/22 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Creditable storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Creditable drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Creditable facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR
TRACT
No. 6388**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 2 of 4

**FR
TRACT No. 6388**

Approval of this development shall be conditioned upon compliance with these District Requirements.

1. ☐ a. Drainage from the site shall
☒ b. Grading and drainage patterns shall be as identified on Exhibit No. 1
☐ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
☒ Developer shall construct facilities as shown on Exhibit No. 1 as MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.
☐ None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:

☒ Grading Plan
☒ Street Plan
☒ Storm Drain Plan
☒ Water & Sewer Plan
☒ Final Map
☒ Drainage Report (to be submitted with tentative map)
☐ Other
☐ None Required

4. Availability of drainage facilities:

☐ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
☐ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
☐ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
☒ d. See Exhibit No. 2.

5. The proposed development:

☐ Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
☒ Does not appear to be located within a flood prone area.

6. ☐ The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 3 of 4

**FR
TRACT No. 6388**

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Brent Sunamoto
District Engineer, RCE

Digitally signed by Brent Sunamoto Date: 12/23/2022 10:38:53 AM



Rick Lyons
Engineering Tech III

Digitally signed by Rick Lyons Date: 12/22/2022 1:35:14 PM

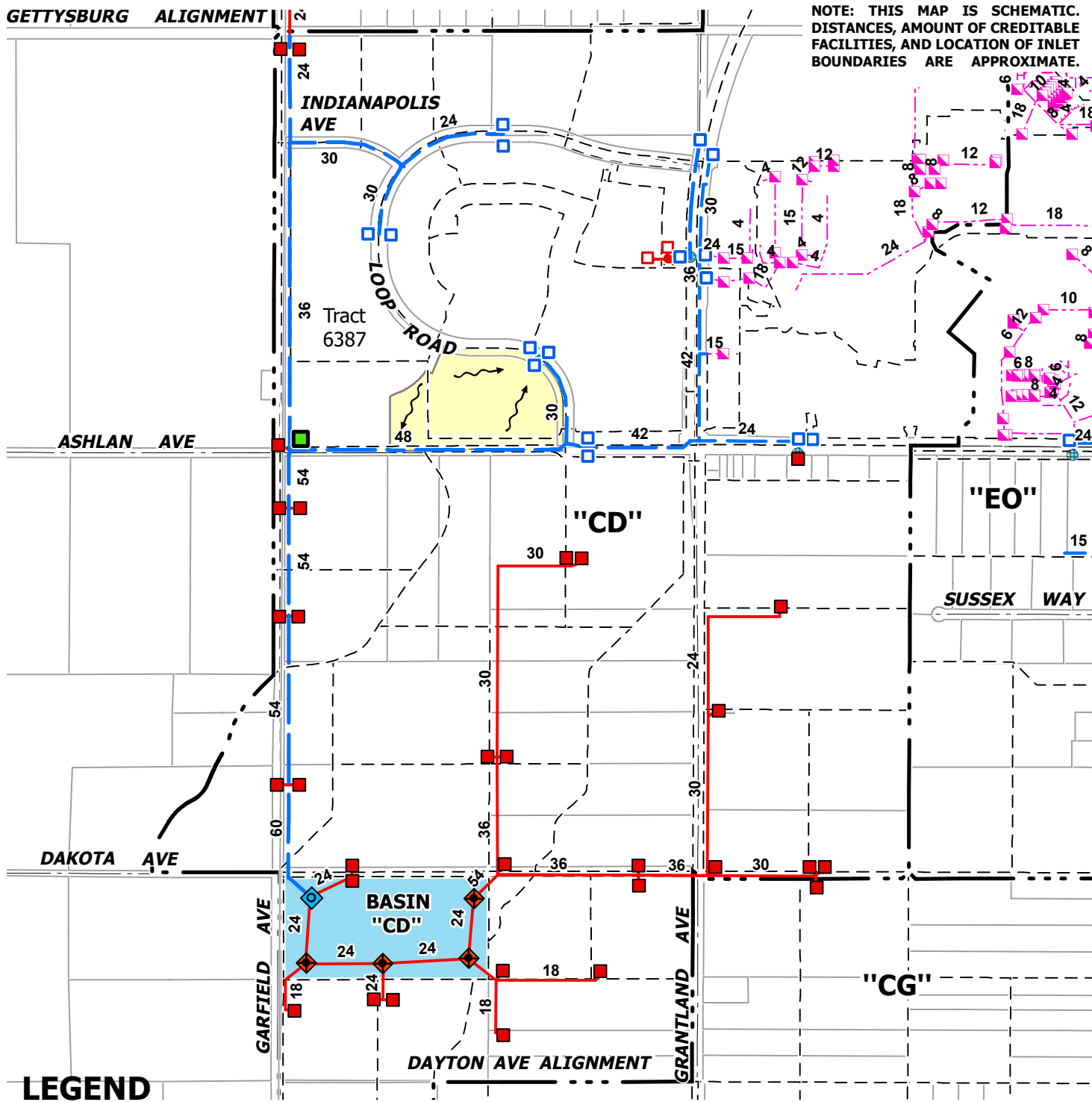
CC:

MADELYN CUELLAR, GRANTLAND HOLDINGS NO. 1 AND NO. 2
LLC

1368 W. HERNDON, #101

FRESNO, CA 93711

NOTE: THIS MAP IS SCHEMATIC.
DISTANCES, AMOUNT OF CREDITABLE
FACILITIES, AND LOCATION OF INLET
BOUNDARIES ARE APPROXIMATE.



LEGEND

- Creditable Facilities (Master Plan Facilities To Be Constructed By Developer) Also Required To Be Constructed By The Developer Of Tract 6387 - Inlet
- ◻ ◆ Existing Master Plan Facilities
- ◻ ◆ Future Non-Master Plan Facilities
- Existing Temporary Inlet
- ◻ ◆ Future Master Plan Facilities
- Private Facilities
- Drainage Area Boundary
- Inlet Boundary
- Direction Of Drainage
- Limits Of Tract 6388



1" = 900'

TRACT 6388
DRAINAGE AREA "CD"

EXHIBIT NO. 1

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT



OTHER REQUIREMENTS

EXHIBIT NO. 2

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City or District.

The portions of the tract draining to Master Plan facilities located within roads currently not dedicated for street purposes (i.e. the Loop Road) must either be dedicated with the final map or storm drain easements provided.

Tract 6388 has two inlet boundary areas that need to be maintained as shown on Exhibit No. 1. Per the Master Plan, 10.1 acres shall drain to the Loop Road, 3.0 acres shall drain to the southwest and Ashlan Avenue.

The construction of the Creditable Facilities shown on Exhibit No. 1 will provide permanent drainage service to Tract 6388 provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlets and that there is sufficient storage in Basin "CD" to provide service.

The construction of the Creditable Facilities, as shown on Exhibit No. 1, have also been required of the developer of Tract 6387 as indicated on Exhibit No. 1. If these facilities are completed prior to the development of this site, the construction requirement will be dropped.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. If the lot coverage indicates a density higher than Master Planned, mitigation may be required. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.



2907 S. Maple Avenue
Fresno, California 93725-2208
Telephone: (559) 233-7161
Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

December 19, 2022

Chris Lang
Development & Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Tentative Tract Map Application No. P21-05573, Tract 6388
S/W Gettysburg and Grantland avenues
FID's Silvia No. 47 and Minor-Thornton No. 459

Dear Mr. Lang:

The Fresno Irrigation District (FID) has reviewed Tentative Tract Map Application No. P21-05573, Tract 6388 for which the applicant proposes the development of a 66-lot single-family residential subdivision in the Parc West project, APN: 512-021-26. FID has the following comments:

Summary of Requirements

- Revision of Tentative Map to include all FID existing easements with proper recording information
 - Grant of additional Easement along Garfield Avenue before approval of Tentative Map
 - Review and Approve all Plans.
 - No Encroachments
 - Remove Existing Encroachments
 - Review Fees
1. FID's active Silvia No. 47 and Minor-Thornton No. 459 runs southwesterly and traverse the north and west sides of the Parc West project and will be impacted by this development, FID requires it review and approve all plans. FID records indicate these sections of the Silvia and Minor-Thornton were constructed in 2019 (2 years old) as a combination of 48-inch and 36-inch Rubber Gasket Reinforced Concrete Pipe (RGRCP), which meets FID current standards and will not be required to be replaced.

2. However, FID only has a 26-foot wide easement along Garfield Avenue. FID requires a 40-foot wide easement for pipelines greater than 36-inches in diameter and 30-foot wide for pipelines less than or equal to 36-inch. FID will require the applicant grant an additional 14-feet of easement along the 48-inch pipeline sections and 4-feet along the sections of 36-inch pipeline.
3. FID requires the applicant show all FID easements with proper recording information on the Tentative Map and provide the additional easement required before FID will approve the Tentative Map. Existing FID easement documents will be provided to the applicant upon request.
4. FID will not approve any Tentative Maps and other documents which propose its pipelines and easements to be in the backyards of developments/lots. The developers and their engineers have been informed and notified for almost 10 years the FID will not allow its pipelines and easements to be located within backyards of developments.

General Comments

1. FID requires the applicant and/or the applicant's engineer contact FID at their earliest convenience to discuss specific requirements.
2. FID requires its easements be shown on all maps/plans with proper recording information, and that FID be made a party to signing the final map.
3. FID does not allow FID owned property or easements to be in common use with road right-of-way or public utility easements, but will in certain instances allow for its property to be in common use with landscape easements and trails if the City of Fresno enters into the appropriate agreement.
4. FID requires the applicant to submit for FID's approval a grading and drainage plan which shows that the proposed development will not endanger the structural integrity of the Pipeline or result in drainage patterns that could adversely affect FID.
5. FID requires its review and approval of all improvement plans which affect its property/easements and canal/pipeline facilities including but not limited to Sewer, Water, Fresno Metropolitan Flood Control District (FMFCD), Street, Landscaping, Dry Utilities, and all other utilities.
6. Footings of retaining walls shall not encroach onto FID property/easement areas.
7. FID requires its review and approval of all Private and Public facilities that encroach into FID's property/easement. If FID allows the encroachment, the Public or Private party will be required to enter into the appropriate agreement which will be determined by FID.

8. FID is concerned that the proposed development may negatively impact local groundwater supplies. The area was historically open land little to no use of water. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. FID recommends the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.
9. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Fresno are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Fresno should consider the impacts of the development on the City's ability to comply with requirements of SGMA.
10. As with most developer projects, there will be considerable time and effort required of FID's staff to plan, coordinate, engineer, review plans, prepare agreements, and inspect the project. FID's cost for associated plan review will vary and will be determined at the time of the plan review.
11. The above comments are not to be construed as the only requests FID will have regarding this project. FID will make additional comments and requests as necessary as the project progresses.

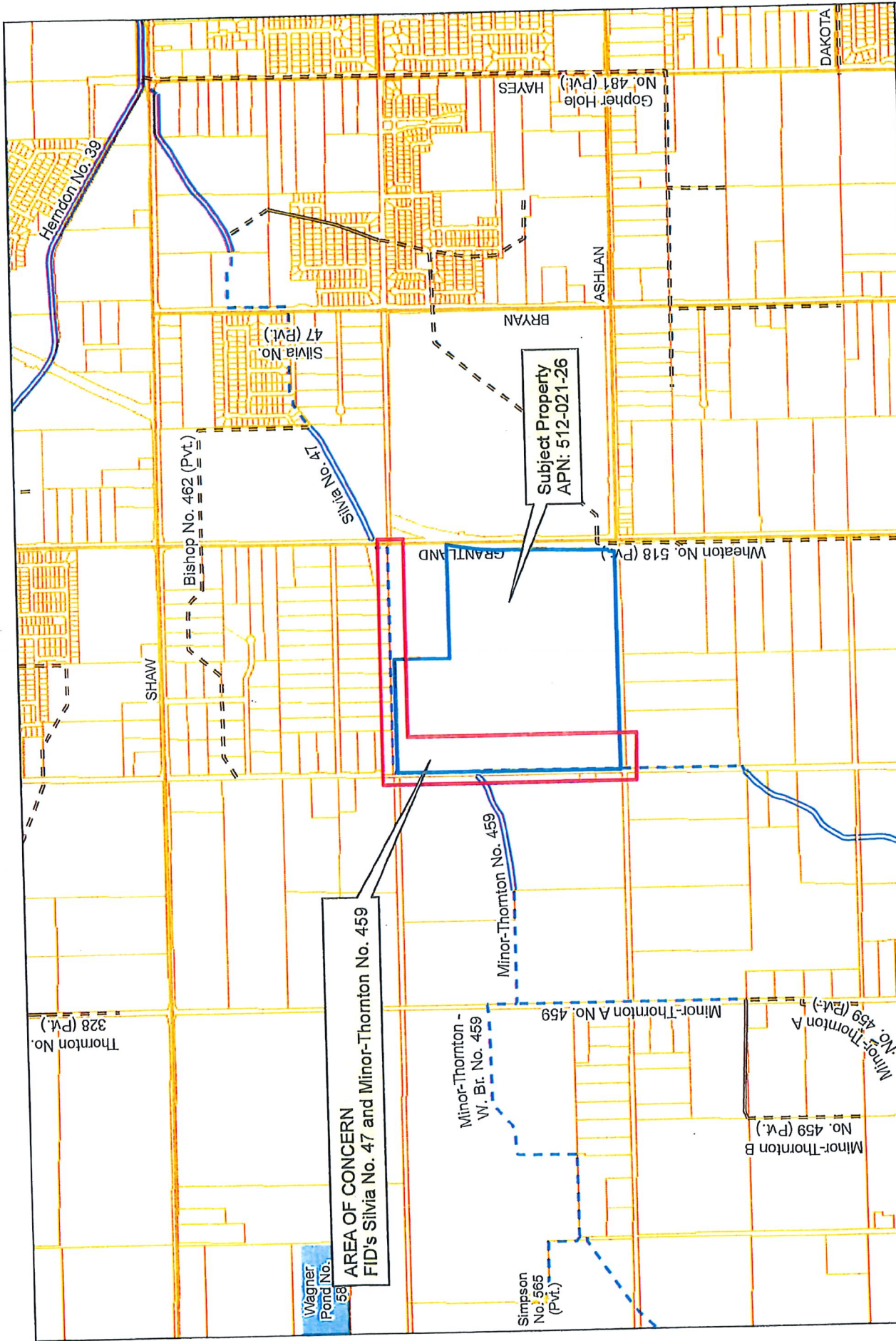
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



AREA OF CONCERN
FID's Silvia No. 47 and Minor-Thornton No. 459

Subject Property
APN: 512-021-26

Legend

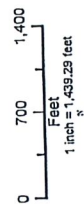
- FID Canal
- Private Canal
- Abandoned Canal
- FID Pipeline
- Private Pipeline
- Abandoned Pipeline
- Stream Group
- Other-Creek/River
- Other-Pipeline
- FID Boundary
- Railroad
- Streets & Hwys
- Parcel
- FIMCD Acquired Basins
- FIMCD Proposed Basins



FRESNO IRRIGATION DISTRICT

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location subject to the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

Spatial Reference
 Name: NAD 1983 StatePlane California IV FIPS 9404
 Path: G:\IT\GIS\2021\0727 FID Master.mxd





DATE: January 31, 2023

TO: Chris Lang, Supervising Planner
Planning and Development Department

FROM: Adrian Gonzalez, Senior Engineering Technician
Public Works Department, Traffic Operations and Planning Division

SUBJECT: PUBLIC WORKS CONDITIONS OF APPROVAL FOR VESTING TENTATIVE TRACT MAP NO. 6388 REGARDING MAINTENANCE REQUIREMENTS (P21-05573)

LOCATION: 4445 North Grantland Avenue
APN: 512-021-26

The Public Works Department, Traffic Operations and Planning Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the exhibits submitted for this development.

ATTENTION:

The item below requires a separate process with additional costs and timelines. In order to avoid delays with the final map approval, the following item shall be submitted for separate processing to the Public Works Department, Traffic Operations and Planning Division **prior** to final map approval.

X	CFD Annexation Request Packages (CFD 11 and 18)	Adrian Gonzalez	(559) 621-8693 Luis.Gonzalez@fresno.gov
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The Community Facilities District annexation process takes from three to four months and SHALL be completed prior to final map approval. INCOMPLETE Community Facilities District ("CFD") Annexation Request submittals may cause delays to the annexation process and final map approval.

All applicable construction plans for this development shall be submitted to the appropriate City Department for review and approval **prior** to the CFD process.

- a. Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process and the approval of the final map.
- b. **Proposed park amenities shall be reviewed and approved by the Building & Safety Services Division or as approved in writing by the City Engineer at time of submittal for the CFD process and prior to final map approval.**

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

Any change affecting the items in these conditions shall require a revision of this letter.

1. The Property Owner's Maintenance Requirements

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Single-Family developments are the ultimate responsibility of the Developer. The Developer shall provide these Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 11 ("CFD No. 11").

The following public improvements (Existing and Proposed) are eligible for Services by CFD No. 11 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within the street rights-of-way and landscape easements; including without limitation, the median island (1/2, if fronting only one side of median), parkways, buffers, street entry medians and sides **(10' wide minimum landscaped areas allowed)** in **all Local and Major Streets**.
- All landscaping, trees, irrigation systems, hardscaping and amenities within Outlots having the purpose for open spaces and trails.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, median island concrete maintenance band and cap (1/2, if fronting only one side of median), and street lights in **all Major Streets**.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, and street entry and interior median island curbing and hardscape, street paving, street name signage and street lights in **all Local Streets**.

***All end lots, side yards, and front yards are the responsibility of the property owner and are not eligible for Services for maintenance by the CFD.**

2. The Property Owner's Services Requirements

The recurring expenditures related to Public Safety Services, police and fire safety/protection/suppression ("Services"), provided by the City that are associated with all new Single-Family developments are the ultimate responsibility of the Developer. The Developer shall provide these Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 18 ("CFD No. 18").

The following public safety services will be furnished by CFD No. 18 as associated with this development:

- The services to be funded, in whole or in part, by the District include all direct and incidental costs related to providing for the funding of public safety services within the area of the District.
- The services shall include, but not be limited to, police and fire safety/protection/suppression services.
- The District may fund any of the following related to the services described in the preceding sentence: obtaining, constructing, furnishing, operating and maintaining equipment, apparatus or facilities related to providing the services and/ or equipment, apparatus, facilities or fixtures in areas to be maintained, paying the salaries and benefits of personnel necessary or convenient to provide the services, payment of insurance costs and other related expenses and the provision of reserves for repairs and replacements and for the future provision of services.
- The administrative expenses to be funded by the District include the direct and indirect expenses incurred by the City in carrying out its duties with respect to the District (including, but not limited to, the levy and collection of the special taxes) including the fees and expenses of attorneys, any fees of the City related to the District or the collection of special taxes, an allocable share of the salaries of the City staff directly

related thereto and a proportionate amount of the City's general administrative overhead related thereto, any amounts paid by the City from its general fund with respect to the District or the services authorized to be financed by the District, and expenses incurred by the City in undertaking action to foreclose on properties for which the payment of special taxes is delinquent, and all other costs and expenses of the City in any way related to the District.

- The incidental expenses that may be funded by the District include, in addition to the administrative expenses identified above, the payment or reimbursement to the City of all costs associated with the establishment and administration of the District.

The Property Owner may choose to do one or both of the following:

- a. The Property Owner may petition the City of Fresno to request annexation to CFD No. 11 by completing and submitting an Annexation Request Package to the Public Works Department, Traffic Operations and Planning Division for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Land Development.
 - **Proceedings to annex the final map to CFD No. 11 SHALL NOT commence** unless the final map is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.
 - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 11 are not subject to change and after acceptance for processing.**
 - Public improvements not listed above will require written approval by the Public Works Department Director or his designee.
 - All areas not within the dedicated street rights-of-way and approved for Services by CFD No. 11 shall be dedicated as a public easement for maintenance purposes. Outlots purposed for required public open space or City trails shall be dedicated in fee to the City of Fresno or as approved by the Public Works Department City Engineer.
- b. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 11 for Services **SHALL** be included in the DCC&Rs or some other City approved mechanism for the required Services associated with this development. Contact the Planner in the Development and Resource Management Department for more details.
- c. The Property Owner may petition the City of Fresno to request annexation to CFD No. 18 by completing and submitting an Annexation Request Package to the Public Works Department, Traffic Operations and Planning Division for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Land Development.
 - **Proceedings to annex the final map to CFD No. 18 SHALL NOT commence** unless the final map is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.
 - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and**

quantities to be maintained by CFD No. 18 are not subject to change and after acceptance for processing.

For questions regarding these conditions please contact Adrian Gonzalez at (559) 621-8693 or Luis.Gonzalez@fresno.gov