

Exhibit I



DATE: October 22, 2025

TO: John George, Planner III
Planning and Development Department

THROUGH: Jairo Mata, Public Works Traffic Planning and Land Planning Manager
Public Works Department

FROM: Angela Reis, Chief Engineering Technician
Public Works Department, Traffic Planning Section

SUBJECT: Public Works Conditions of Approval
T-6443 / P23-01987 an 11-lot single family subdivision / public unit
development
512-032-13
G&B Estates, LLC / R.W. Greenwood and Associates, Inc

The Public Works Department, Traffic Operations and Planning Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

General Conditions:

1. Street Dedications: Provide corner cut dedications at all intersections for accessibility ramps.
2. Right of way: All right-of-way "outside" of the subdivision border shall either be acquired **prior** to recordation of Final Map, or a deposit equal to the value of the right-of-way and an estimate of the City staff time necessary to acquire the right-of-way shall be submitted **prior** to recordation of the Final Map.
3. Plan Submittal: Submit the following plans, as applicable, in a single package, to the Public Works Department for review and approval **prior** to recordation of the Final Map. Street: construction, signing, striping, traffic signal and streetlight, grading, lighting, striping, signing, landscape and irrigation.
4. Sidewalks shall not exceed a 5% longitudinal slope. All existing sidewalks and trails in excess of 2% maximum cross slope must be brought into compliance prior to acceptance by Public Works.
5. Local to Collector Street Intersections: The intersection of two local continuous streets shall have a minimum of **160'** offset measured from centerline to centerline.
6. Traffic Calming: Traffic calming shall be provided for local street lengths exceeding **800'** and four-way intersections. Design to be approved on the street plans.
7. Outlots: If the subdivider seeks to dedicate to the City, in fee, an outlot for open space purposes, subdivider shall prove to the City that the outlot is free of toxic or hazardous materials pursuant to the requirements of *City Administrative Order 8-1*, including, but not limited to, performing a Phase I Soils Investigation. The soils Investigation report

shall be submitted to the Public Works Department for review and approval. The subdivider must obtain Public Works approval of the soils investigation report and complete any mitigation work identified by the soils investigation prior to subdivider's submittal of the Final Map to the Public Works Department. Any and all costs associated of the soils investigation and any required mitigation work shall be performed at the sole expense of the subdivider.

8. Encroachment Covenants: The construction of any private overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment covenant is approved by the City of Fresno Public Works Department, Engineering Services Division, **(559) 621-8681**. Encroachment covenants must be approved prior to issuance of building permits.
9. Street widening and transitions shall also include utility relocations and necessary dedications.
10. Overhead Utilities: Underground all existing overhead utilities with the limits of this map in accordance with *Fresno Municipal Code Section 15-4114*.
11. Intelligent Transportation Systems (ITS): Street work on major streets shall be designed to include ITS in accordance with the *Public Works ITS Specifications*, where not existing.
12. Irrigation /Canal Requirements: The developer shall enter into an agreement with the Fresno Irrigation District (FID) providing for piping the canal(s) and submit an executed copy of the agreement or commitment letter from FID to the Public Works Department. All piping shall be located outside of the proposed street right of way. Any piping across city streets shall be rubber gasketed reinforced concrete pipe (RGRCP) constructed perpendicular to the street. Submit engineered plans to Public Works Department, Engineering Services Division for review and approval. Identify the proposed easement and provide a final cross-sectional detail on the map, **if applicable**.
13. Private Irrigation Pipe: If not abandoned, all piping shall be located outside of the proposed street right of way. Any piping across city streets shall be rubber gasketed reinforced concrete pipe (RGRCP) constructed perpendicular to the street. Submit engineered plans to Public Works Department, Engineering Services Division for review and approval and provide an encroachment covenant for all crossings, **if applicable**.
14. Backing onto a major street: Backing onto a major street is prohibited.
15. Intersection Visibility: Maintain visibility at all intersections as described in the *Fresno Municipal Code Section 15-2018*.
16. Driveway Approaches: The throat of the driveway approaches shall be the same width as the driveway. Approach widths shall be built to *Public Works Standard P-6*.
17. Verify that the border is correct. Incorrect boundaries could result in extending timelines due to the need for separate processes, timelines and fees.
18. When permanent facilities are not available from the Fresno Metropolitan Flood Control District, the applicant shall identify a temporary onsite storm water basin per *Public Works Standard P-97* for review and approval from Public Works, **if applicable**.

19. Identify all easements on the map.

- Local Streets: If constructed **42'** or **50'**, a **1'** pedestrian easement is required on streets with driveway approaches.

Frontage Improvement Requirements:

Public Streets:

Hayes Avenue: Modified Collector 1 southbound- 2 northbound

1. Dedication Requirements:

- a. Dedicate **36'** of property, from section line, for public street purposes, within the limits of this application, per *Public Works Standard P-54*.
- b. Dedicate a corner cut for public street purposes at the intersection of Hayes and Santa Ana.
- c. Additional right of way may be required for grading and drainage purposes.
- d. Relinquish direct access rights to Hayes Avenue from all lots within this subdivision.

2. Construction Requirements:

- a. Construct concrete curb, gutter and a **6'** sidewalk to *Public Works Standard P-5*. The curb shall be constructed to a **12'** residential pattern (**5.5' - 6.0' - 0.5'**).
- b. Planting and Irrigation of street trees shall conform to the minimum spacing, guidelines, and requirements as stated in the *Model Water Efficiency Landscape Ordinance, Public Works Standards and Specifications, Section 25 and 26*.
- c. Construct standard curb ramps per *Public Works Standard* at all intersections per Public Works Standards **P-28** and **P-32** and **R=20'**.
- d. Construct **20'** of permanent paving per *Public Works Standard P-50* (measured from face of curb) within the limits of this subdivision and transition paving, as necessary.
- e. Construct an underground street lighting system to *Public Works Standard E-1 and E-7A, E-7B*, within the limits of this subdivision. Streetlights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in *Section 3-3.17* of the *City Specifications and Standard Drawings E-15, E-17 and/or E-18* or as approved by the City Engineer.

Trail: Outlot A to be dedicated to the City of Fresno:

1. Construct a **12'** wide Bike and Pedestrian Trail per the Fresno *General Plan*, the City of Fresno *Public Works Standards P-58, P-60, P-61*, and the *Caltrans Highway Design Manual* Chapter 1000 for Class I Bikeways (Bike Paths). Construction shall be complete with lighting, signing, striping, landscaping, and irrigation. Identify the route and cross section on the site plan. Above ground utilities shall not be constructed within this easement. Additional right of way may be required for grading and drainage purposes.

Interior Street: Public Street

West Santa Ana: 56' Local (Connector) Street

1. Dedication requirements
 - a. South Side:
 - i. Dedicate 28' of property for street purposes, within the limits of this application, per public works standard **P-56A**.
 - b. North side:
 - i. Dedicate 14' of property for street purposes. within the limits of this application, per public works standard **P-56A**.
2. Construction Requirements:
 - a. South side:
 - i. Construct **18'** permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - ii. Construct standard curb ramps per Public Works Standard **P-28**, per Public Works Standards.
 - iii. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**.The curb shall be constructed to a **10'** residential pattern. (**5.5' – 4'min. sidewalk - 0.5'**).
 - iv. Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, Section **26-2.11(C)**.
 - v. Construct an underground street lighting system to Public Works Standard **E-2** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-9, E-11** for Locals.
 - vi. Construct driveway approaches to Public Works Standards **P-1** and **P-6**. Construct a concrete pedestrian walkway behind all driveway approaches.
 - b. North side (no parking) :
 - i. Construct **13'** of permanent paving with a **.5'** asphalt concrete dike, per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
3. Dedicate, design and construct all driveways, ramps, curb, gutter, sidewalk, permanent paving, cul-de-sacs, easements and underground street lighting systems on all interior local streets to *Public Works Standards P-1, P-3, P-4, P-5, P-6, P-18, P-28, P-50, P-56A, E-1 and E-9A, E-9B*. Pedestrian easements are required behind driveways with sidewalk patterns less than **10'**.
4. All streets and pedestrian ways shall connect to other streets and pedestrian ways to form a continuous vehicular and pedestrian network with connections within the subdivision and to adjacent development. Pedestrian paths of travel must meet current accessibility regulations. Sidewalks are recommended on both sides of the street. Identify ramps within the proposed subdivision wherever sidewalks are provided.
5. Garages: Garage or carport setbacks to be a minimum of 18' from the back of walk or curb, whichever is greater.
6. Provide a 12' visibility triangle at all driveways.
7. Design local streets with a minimum of 250' radius.
8. **Stub Streets:** Provide a temporary turn around covenant and construct a temporary cul-de-sac with a 40' minimum radius with a 6" asphalt concrete dike on the adjacent remainder parcel.

Specific Mitigation Requirements:

Within the subdivision border-

1. Relinquish direct vehicular access rights to:
 - a. the east property line of lot 1.
 - b. Any lots abutting an outlot.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees **at the time of building permit**. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the Master Fee schedule. In some cases, traffic signals may be conditioned on multiple maps. If the signal is existing at the time of the final map, the applicant would not be required to construct the signal but would be required to pay the applicable fee.

Fresno Major Street Impact (FMSI) Fee: This Map is in the **New Growth Area**; therefore, pay all applicable growth area fees and City-wide regional street impact fees. In some cases, center section improvements or bridges may be conditioned on multiple maps. If the improvements are existing at the time of the final map, the applicant would not be required to construct them but would be required to pay the applicable fee.

Fresno Major Street Impact (FMSI) Requirements:

Hayes Avenue: 2-Lane Collector (New Growth Area)

1. Dedicate and construct a **12'** center continuous two-way left turn lane, (1) **11'** southbound center section travel lane and **7'** bike lane within the limits of this subdivision. If applicable Stripe **200'** left turn pockets at all major intersections. If not existing, an additional **8'** dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to certificate of occupancy.



DATE: October 22, 2025

TO: John George, Planner III
Planning and Development Department

FROM: Adrian Gonzalez, Supervising Engineering Technician
Public Works Department, Land Planning & Subdivision Inspection Section

SUBJECT: PUBLIC WORKS CONDITIONS OF APPROVAL FOR VESTING TENTATIVE TRACT MAP
NO. 6443 REGARDING MAINTENANCE REQUIREMENTS (P23-01987)

LOCATION: 4705 North Hayes Avenue

APN: 512-032-13

The Public Works Department, Land Planning & Subdivision Inspection Section, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the exhibits submitted for this development.

ATTENTION:			
The item below requires a separate process with additional costs and timelines. In order to avoid delays with the final map approval, the following item shall be submitted for separate processing to the Public Works Department, Land Planning Section prior to final map approval.			
X	CFD Annexation Request Package	Adrian Gonzalez	(559) 621-8693 Luis.Gonzalez@fresno.gov

The Community Facilities District annexation process takes from three to four months and SHALL be completed prior to final map approval. INCOMPLETE Community Facilities District (“CFD”) Annexation Request submittals may cause delays to the annexation process and final map approval.

All applicable construction plans for this development shall be submitted to the appropriate City Department for review and approval **prior** to the CFD process.

- a. Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process and the approval of the final map.

- b. **Proposed park amenities shall be reviewed and approved by the Building & Safety Services Division or as approved in writing by the City Engineer at time of submittal for the CFD process and prior to final map approval.**

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

Any change affecting the items in these conditions shall require a revision of this letter.

The Property Owner's Maintenance Requirements

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Single-Family developments are the ultimate responsibility of the Developer. The Developer shall provide these Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 11 ("CFD No. 11").

The following public improvements (Existing and Proposed) are eligible for Services by CFD No. 11 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within the street rights-of-way and landscape easements; including without limitation, the median island (1/2, if fronting only one side of median), parkways, buffers, street entry medians and sides **(10' wide minimum landscaped areas allowed)** in **all Local and Major Streets**.
- All landscaping, trees, irrigation systems, hardscaping and amenities within Outlots having the purpose for open spaces and trails.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, median island concrete maintenance band and cap (1/2, if fronting only one side of median), and street lights in **all Major Streets**.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, and street entry and interior median island curbing and hardscape, street paving, street name signage and street lights in **all Local Streets**.

***All end lots, side yards, and front yards are the responsibility of the property owner and are not eligible for Services for maintenance by the CFD.**

The Property Owner may choose to do one or both of the following:

- a. The Property Owner may petition the City of Fresno to request annexation to CFD No. 11 by completing and submitting an Annexation Request Package to the Public Works Department, Land Planning Section for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Land Development.
- **Proceedings to annex the final map to CFD No. 11 SHALL NOT commence** unless the final map is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.
 - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 11 are not subject to change and after acceptance for processing.**
 - Public improvements not listed above will require written approval by the Public Works Department Director or his designee.
 - All areas not within the dedicated street rights-of-way and approved for Services by CFD No. 11 shall be dedicated as a public easement for maintenance purposes. Outlots purposed for required public open space or City trails shall be dedicated in fee to the City of Fresno or as approved by the Public Works Department City Engineer.
- b. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 11 for Services **SHALL** be included in the DCC&Rs or some other City approved mechanism for the required Services associated with this development. Contact the Planner in the Planning and Development Department for more details.

For questions regarding these conditions please contact Adrian Gonzalez at (559) 621-8693 or Luis.Gonzalez@fresno.gov

DEPARTMENT OF PUBLIC WORKS

TO: John George, Planner III
Planning & Development Department

FROM: Adrian Gonzalez, Supervising Engineering Technician
Public Works, Land Planning & Subdivision Inspection Section

DATE: October 22, 2025

SUBJECT: P23-01987; Tract 6443 (APN: 512-032-13) located on the southwest corner of North Hayes Avenue and West Santa Ana Avenue. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street rights-of-way, landscape easements, outlots and median islands:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with AB 1881.
2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Public Planting and Utility Easement.
 - a. Street tree inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
 - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
 - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.

- d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city-controlled property is in conformance with the Specifications of the City of Fresno.
- e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.
- f. Choose appropriate trees from the list of Approved Street Trees.
<https://www.fresno.gov/publicworks/developer-doorway/#tab-5>

BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS

- 1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Homeowner's Association.
- 2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works Street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.
 - a. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with AB1881, water efficient landscaping.
 - b. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.
 - c. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the sidewalk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.
 - d. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.

- e. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.
- f. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

MEDIAN ISLAND LANDSCAPE REQUIREMENTS

1. When median islands front onto the proposed development project, applicants shall submit Plans to the Public Works/Engineering Services showing the location and configuration of all median islands fronting the proposed project.
2. The Public Works Department will review and evaluate existing median island(s) for a determination of all required improvements prior to approval of Final Map.
3. Landscape and irrigation is required on all new construction of median islands and shall be applied in accordance with the City of Fresno, Public Works Department Standards & Specifications and AB 1881. The Public Works Department requires all proposed median islands to be constructed with a one-foot-wide colored concrete strips, flush along curb edge, in a 12 inch by 12 inch brick slate pattern.
4. Trees shall not be planted in sections which are less than eight (8) feet wide unless approved by the Public Works Department. Sections less than eight (8) feet shall be capped with concrete as an integral part of the off-site improvements, whether the median is landscaped or not.

OUTLOTS

1. Outlots which are utilized for water well purposes **will not** be included in the CFD. The Water Division Department in Public Utilities will provide the maintenance of all plant material on the well site.

TRAIL REQUIREMENTS

1. The trail shall be constructed in accordance with the "Master Trails Manual" and the Public Works Department standards. The subdivider is responsible for the trail construction. The subdivider is responsible for all landscape and irrigation improvements for and within the trail. Construction plans shall be submitted and shall include landscaping and automatic drip irrigation design. Trail cross-sections will be required with submittal of Street Plans and Landscaping/Irrigation Plans for review and approval. These plans shall be in compliance with current City standards and approved by the Department of Public Works. Landscaping within the regional/multipurpose trail shall include large, medium and low-growing shrubs planted from 3 to 6 feet apart depending on variety, and trees spaced approximately 25 to 45 feet apart to provide 50% shade coverage onto the planting area and pathway. Landscaping adjacent to walls or fences shall comply with "Landscaped Buffer Development Standards." All planting areas shall be irrigated with an automatic system.

Submit all landscape and irrigation plans, to the scale of 1" = 20', to dpwplansubmittal@fresno.gov for plan review, prior to the installation of any landscaping within the right-of-way.



DEPARTMENT OF PUBLIC UTILITIES

MEMORANDUM

DATE: October 23 2025

TO: JOHN GEORGE – Planner III
Planning & Development Department – Current Planning

FROM: JOHN MARTIN, Engineer II
Department of Public Utilities – Utilities Planning & Engineering

SUBJECT: DPU STANDARDS FOR P23-01987 – TTM 6443 – APN 512-032-13

CONDITIONS OF APPROVAL

1. **Water Main Extension.** Install an 8" water main (including the installation of City fire hydrants, if applicable) along proposed West Santa Ana Avenue from the intersection of existing North Hayes Avenue. Improvements shall comply with FMC 6-514.
2. **Existing Wells.** The applicant shall destroy existing on-site well(s), in compliance with the State of California Well Standards, Bulletins 74-81 and 74-90, or current revisions, issued by the California Department of Water Resources, and City of Fresno Public Works Standard Drawing **W-45** and Standard Specifications Section **32**. The applicant shall comply with Fresno Municipal Code (FMC) Chapter 6, Article 4.

The applicant shall submit a well destruction package to dpu.eng@fresno.gov which includes the following:

- a. Well/Boring Submittal Intake Form,
 - b. Well Permit Application,
 - c. Site Map,
 - d. Well Video Inspection
3. **Existing Sewer Facilities.** All existing on-site private septic systems (including septic tanks) shall be destroyed and abandoned in compliance with the State of California standards, Fresno County standards, and City of Fresno standards. All sewer connections and sewer main extensions shall comply with the FMC Section 6-303(a).
4. **Public Sewer Main Extension.** Install an 8" sewer main along proposed West Santa Ana Avenue from the intersection of existing North Hayes Avenue. Improvements shall comply with FMC 6-308.
5. **Solid Waste Service.** This Project shall be serviced as a Single-Family Residential property with Basic Container Service, with 3 containers to be used as follows: 1 (one)

Gray container for solid waste, 1 (one) Green container for green waste, and 1 (one) Blue container for recyclable material.

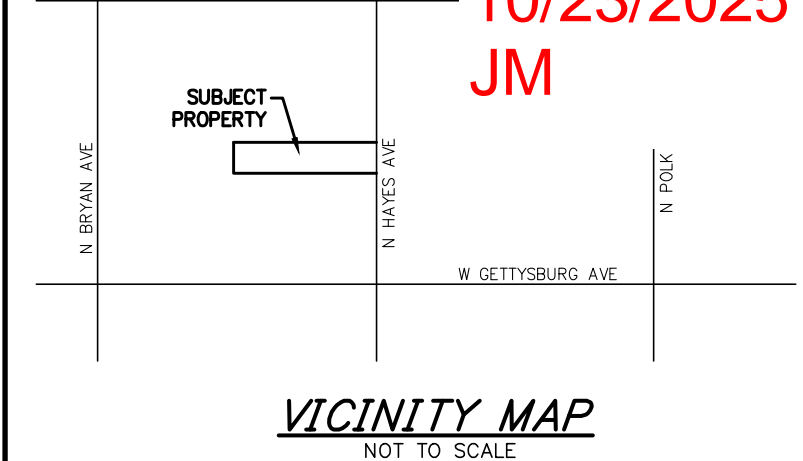
6. **Vehicular Access Easement.** Provide turnaround easement that facilitates a minimum 44' turning radius for solid waste vehicles.
7. **Street Work Permit.** A street work permit is required for any work in the Right-of-Way. Contact the Department of Public works at DPWPermits@fresno.gov or (559) 621-8800 for an encroachment/street work permit. The applicant shall construct all public utilities per the approved utility improvement plans. All underground utilities shall be installed prior to permanent street paving.
8. **Project Phasing.** If the project is to phased or part of a phased project, indicate phase boundaries and provide a sequence of phasing for the project.
9. **Utility Design Plans.** All engineered improvement plans submitted to Department of Public Utilities (DPU) for review and approval shall be prepared by a Registered Civil Engineer. The improvement plans shall indicate the pipe material and size of the existing water, recycled water and sewer main(s). The plans shall show the nearest existing fire hydrant and the two nearest existing water main line gate valves near the project area. The plans shall show water and sewer service connections, meter and backflow configurations to scale and per City Standards. The plans shall provide the profile section details for utilities crossing water, sewer, or recycled water mains to ensure a 12" minimum vertical clearance is maintained. As-built drawings for utilities in the right-of-way may be requested by submitting a filled-out Information Request Intake Form to dpu.plan@fresno.gov.
10. **Separate Services.** Applicant shall submit plans showing proposed water, recycled water, sanitary sewer, and fire services connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water and recycled water use (domestic, irrigation, fire, industrial) shall be served by separate water services, each separately tapped at the water main. Approved backflow prevention device(s) are required on all potable water services.
11. **City Standard Improvements.** All DPU facilities shall be constructed in accordance with the Department of Public Works and the Department of Public Utilities standards, specifications, and policies.
12. **City Standard Meters and Backflow Devices.** All proposed meters and backflows for all water services shall meet the current City Standard Details. Plans shall show meter and backflow configurations to scale. All Reduced Pressure Principle Backflow Prevention Assembly (i.e. RP devices) shall be tested and approved by a certified AWWA or ABPA tester within five days of installation. Occupancy will not be granted until all the RP devices are tested, approved and documented by the City of Fresno Water Division. A list of certified testers can be obtained by calling (559) 621-5335.

13. **Water Service and Meter Sizing.** The final water service and meter sizing shall be determined by DPU at the time of plan check to ensure that it is properly sized to accommodate water demands and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
14. **Irrigation Service.** All irrigation water shall be provided through a separate City Standard water service, meter, and backflow prevention device. These improvements are to be of the same size (inside diameter of pipe) unless otherwise approved by the Director of Public Utilities.
15. **Easements.** The applicant shall provide a dedicated utility easement around any public utilities that will not be located within the public right of way. Easements shall be a minimum of 30 feet wide unless otherwise approved by the Director of Public Utilities. The applicant shall show existing and proposed easements on site plans and utility improvement plans and submit all necessary easement documents for City review and processing. Utility Improvement plans will not be approved prior to the recordation of any needed easements and/or deeds. No easements will be accepted for utility improvements without the prior approval of the utility alignment by the Department of Public Utilities.
16. **City Standard Fees.** The applicant shall pay all applicable utility-related fees and charges such as the Water Capacity Fee, in accordance with the City's MFS and the FMC.
17. **Record Drawings.** Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the public utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Public Utilities.

APPL. NO. P23-01987 EXHIBIT A DATE 10/02/2025
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT

DPU

10/23/2025
JM



LEGEND

- +300.0 EXISTING GROUND ELEVATION
- +TC=300.00 EXISTING TOP OF CURB ELEVATION
- +G=300.00 EXISTING GUTTER ELEVATION
- +C=300.00 EXISTING CONCRETE ELEVATION
- +P=300.00 EXISTING PAVEMENT ELEVATION
- +EP=300.00 EXISTING EDGE OF PAVEMENT ELEVATION
- +BW=300.00 EXISTING BACK OF WALK ELEVATION
- +TW=300.00 EXISTING TOP OF WALL ELEVATION
- +FTG=300.00 EXISTING FOOTING ELEVATION
- +FL=300.00 EXISTING FLOW-LINE ELEVATION
- +FF=300.00 EXISTING FINISH FLOOR ELEVATION
- +CR=300.00 EXISTING CROWN OF STREET ELEVATION
- WV EXISTING WATER VALVE
- BP EXISTING BACKFLOW PREVENTION DEVICE
- CS EXISTING SEWER CLEANOUT
- FH EXISTING FIRE HYDRANT
- INDICATES LEGAL DESCRIPTION BOUNDARY
- INDICATES SECTION LINE
- INDICATES EXISTING LOT LINES
- INDICATES PROPOSED LOT LINES
- INDICATES FUTURE LOT LINES
- MONUMENTS FOUND, AS NOTED.
- INDICATES CONTROL POINT. (SURVEYOR'S USE)
- EX. PP/PT EXISTING POWER POLE OR TELEPHONE POLE
- FDC EXISTING FIRE DEPARTMENT CONNECTION
- HPV EXISTING FIRE DEPARTMENT POST INDICATOR VALVE
- EMH EXISTING ELECTRICAL MANHOLE
- TMH EXISTING TELEPHONE MANHOLE
- VT EXISTING ABOVE GROUND VENT PIPE
- MB EXISTING MAIL BOX LOCATIONS
- STLT EXISTING STREET LIGHT
- SD EXISTING STORMDRAIN, SIZE SHOWN.
- IRR EXISTING IRRIGATION PIPE, SIZE SHOWN.
- S EXISTING SEWER PIPE, SIZE SHOWN.
- SD EXISTING UNDERGROUND CONDUIT
- G EXISTING GAS LINE
- FO EXISTING FIBER OPTIC LINE
- OH EXISTING OVERHEAD UTILITY WIRES
- SM EXISTING SEWER MANHOLE
- STM EXISTING STORMDRAIN MANHOLE
- SI EXISTING STORMDRAIN INLET
- PROPOSED LANDSCAPING (NOT TO EXCEED 10 FEET IN HEIGHT AT MATURITY) NO PLANTING IS TO OCCUR WITHIN THE FOOTPRINT OF THE TOWER LEGS.
- BPLE INDICATES DIRECTION OF STORM WATER FLOW
- INDICATES PROPOSED 20' WIDE BIKE, PEDESTRIAN, & LANDSCAPE EASEMENT
- INDICATES FUTURE LOT PATTERN FOR REMAINDER PARCEL

NOTES:

- ALL IMPROVEMENTS ARE TO BE INSTALLED PER CITY STANDARDS.
- ALL WELLS (1 EXISTING AG WELL, & 1 EXISTING DOMESTIC WELL) AND SEPTIC SYSTEMS WILL BE REMOVED/ABANDONED PER CITY OF FRESNO STANDARDS.
- NO GRADE DIFFERENTIAL GREATER THAN 6" AT SUBDIVISION BOUNDARY LINE.
- SOLAR WILL BE CONSTRUCTED AT TIME OF DEVELOPMENT.
- ALL EXISTING STRUCTURES, TREES AND VEGETATION SHALL BE REMOVED. MULBERRY: 5, SAGO PALM: 5, FRUIT TREE: 2.
- OUTLOT "A" IS TO BE DEDICATED TO THE CITY OF FRESNO, IN FEE, FOR PUBLIC OPEN SPACE, BICYCLE, PEDESTRIAN AND TRAIL PURPOSES.
- TO THE EXTENT FEASIBLE FOR PASSIVE COOLING OPPORTUNITIES, THE LOTS HAVE BEEN ORIENTED IN A NORTH-SOUTH ALIGNMENT TO TAKE ADVANTAGE OF PREVAILING BREEZES AND SHADE FROM LANDSCAPING.
- STREET WIDTHS:
WEST SANTA ANNA AVENUE IS PROPOSED TO BE A TOTAL 56' WIDE STREET PER CITY OF FRESNO STANDARD P-56A. THIS SUBDIVISION WILL INSTALL A PROPOSED 42' OF THE STREET, AND A FUTURE 14' OF SANTA ANNA WILL BE ON THE PROPERTY TO THE NORTH WHEN IT IS DEVELOPED.
NORTH HAYES AVENUE IS PROPOSED TO BE A TOTAL 83' WIDE STREET, THERE IS AN EXISTING 47' OF THE SECTION LINE, AND 30' WEST OF THE SECTION LINE. THIS SUBDIVISION WILL DEVELOP AN ADDITIONAL 6' OF PROPOSED WIDTH FOR A TOTAL OF 36' WEST OF SECTION LINE, PLACING THE EXISTING 14" WATER MAIN 3± FROM THE FACE OF CURB.

VESTING
TENTATIVE SUBDIVISION MAP
No. 6443

IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA

PREPARED FOR

G & B ESTATES, LLC

R. W. Greenwood Associates, Inc.
CIVIL ENGINEERING - LAND SURVEYING

2558 EAST OLIVE AVENUE, FRESNO, CALIFORNIA 93701, PH. (559) 268-7831

DATE: SEPT. 15, 2021
JOB No.: D-20042
DRAWN BY: MGG
DWG No.: -E

EXISTING ZONING: RM-3
EXISTING LAND USE: VACANT

EXISTING ZONING: RM-2
EXISTING LAND USE: RURAL RESIDENTIAL

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EXISTING LAND USE: RURAL RESIDENTIAL

LEGAL DESCRIPTION:

THE NORTH HALF OF THE FOLLOWING DESCRIBED LAND:
THE NORTH HALF OF THE NORTH HALF OF SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 13 SOUTH, RANGE 19 EAST, MOUNT DIABLO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.
APN: 512-032-13

DEED REFERENCE: 2021-0077120, 05/10/2021.

OWNER/SUBDIVIDER:

G & B ESTATES, LLC
2541 WEST LAKE VAN NESS CIRCLE
FRESNO, CA 93711

PREPARED BY

R. W. GREENWOOD ASSOCIATES, INC.
2558 EAST OLIVE AVENUE
P.O. BOX 6407, FRESNO, CALIFORNIA 93703
FRESNO, CALIFORNIA 93701
Ph. (559) 268-7831

SITE ADDRESS:

4705 NORTH HAYES AVENUE
FRESNO, CALIFORNIA 93723

SITE ACREAGE:

5.00± ACRES (GROSS)
0.84± ACRES (STREET AREA)
0.31± ACRES (OUTLOT "A")
2.53± ACRES (REMAINDER)
1.32± ACRES (NET)

EXISTING ZONING:

RESIDENTIAL SINGLE-FAMILY RS-5
MINIMUM LOT SIZE = 4,000 S.F.
MAXIMUM LOT SIZE = 6,500 S.F.

PROPOSED ZONING:

RESIDENTIAL SINGLE-FAMILY RS-5
MINIMUM LOT SIZE = 4,000 S.F.
MAXIMUM LOT SIZE = 6,500 S.F.

EXISTING LAND USE:

EXISTING SINGLE FAMILY RESIDENCE

FRESNO GENERAL PLAN:

MEDIUM DENSITY RESIDENTIAL

SOURCE OF WATER:

CITY OF FRESNO

SOURCE OF SEWERAGE/SEWAGE DISPOSAL:

CITY OF FRESNO

SOURCE OF MAP DATA:

THE MAP DATA IS BASED ON A FIELD SURVEY PERFORMED AUGUST 17, 2021 OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 13 SOUTH, RANGE 19 EAST, MOUNT DIABLO BASE & MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.

BASIS OF BEARING

THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 13 SOUTH, RANGE 19 EAST, MOUNT DIABLO BASE & MERIDIAN WAS TAKEN TO BEAR NORTH 00°06'26" WEST AS SHOWN ON PARCEL MAP NO. 2691, RECORDED IN BOOK 20 OF PARCEL MAPS AT PAGE 65, FRESNO COUNTY RECORDS.

TRACT No. 6443

APN: 512-032-11

SCALE: 1" = 60'

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SCALE IN FEET



2600 Fresno Street
Fresno, California 93721-3604

Fire Department Comments:

Carl E. Torrence

10/14/2025

Comments

Approved as submitted with the following conditions, not noted on plans. Approval of this plan does not authorize or approve any omission or deviation from applicable adopted codes and adopted standards. Final approval is subject to field inspection.

This is an 11-lot proposed subdivision with an updated (11/24) 56-foot public street. There are no relevant Public Works Standards for these streets shown on the map and these should be required to be placed on the map prior to any final map approval. FFD staff are unable to determine if there will be any on street parking restrictions.

All weather fire access must be provided, inspected and in service (approved) prior to the delivery of combustible material to the location. All weather fire access must be maintained throughout the project without interruption. FFD Policy #403.002.

Install a Public Works approved "NO OUTLET" sign at the intersection of W. Santa Ana and N. Hayes (on Santa Ana facing Hayes) for the proposed cul-de-sac.

Public fire hydrants must be installed per Public Works and Public Utilities requirements for residential subdivisions with a minimum fire flow of 1500 gpm at a residual pressure of 20 psi with fire hydrants spaced no more than 600 feet apart with two points of connection.

Fire hydrants must be inspected and in service (approved) prior to the delivery of combustible material to the location.

Fire hydrants shall be in service, and all-weather access must be provided and maintained during all stages of construction.

Single family dwellings require an NFPA 13D residential fire sprinkler system supplied from the domestic water supply to each duplex or unit.

It is the permit applicant's obligation to confirm and comply with all fire & life safety provisions and FFD policies per '22 CFC §106.2.3

This project was reviewed by the Fire Department only for requirements related to water

supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Planning & Development Department when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

2600 Fresno Street
Fresno, California 93721-3604

Fresno County Environmental Health:

Public Health

05/31/2024

Comments

Recommended Conditions of Approval:

- The proposed project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to the City of Fresno Municipal Code.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.
- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

The following comments pertain to the demolition of any existing structure(s):

- Should the structure(s) have an active rodent or insect infestation, the infestation should be abated prior to demolition of the structure(s) in order to prevent the spread of vectors to adjacent properties.
- In the process of demolishing the existing structure(s), the contractor may encounter asbestos containing construction materials and materials coated with lead-based paints.
- If asbestos containing materials are encountered, contact the San Joaquin Valley Air Pollution Control District at (559) 230-6000 for more information.
- If the structure(s) were constructed prior to 1979 or if lead-based paint is suspected to have been used in the structure, then prior to remodel/demolishing work the contractor should contact the following agencies for current regulations and requirements:
 - California Department of Public Health, Childhood Lead Poisoning Prevention Branch, at (560) 620-5600.

- United States Environmental Protection Agency, Region 9, at (415) 947-8000.
- State of California, Industrial Relations Department, Division of Occupational Safety and Health, Consultation Service (CAL-OSHA) at (559) 454-5302

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

File No. 210.45

Page 1 of 4

PUBLIC AGENCY

JOHN GEORGE
PLANNING & DEVELOPMENT DEPARTMENT
CITY OF FRESNO
2600 FRESNO STREET, THIRD FLOOR
FRESNO, CA 93721-3604

DEVELOPER

MARK GREENWOOD, GREENWOOD & ASSOC.
PO BOX 6407
FRESNO, CA 93703

PROJECT NO: **6443**

ADDRESS: **4705 N. HAYES AVE.**

APN: **512-032-13**

SENT: **October 28, 2025**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
AI	\$30,136.00	NOR Review	\$106.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$295.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review	For amount of fee, refer to www.fresnofloodcontrol.org for form to fill out and submit with first storm drain plan submittal (blank copy attached).	
Total Drainage Fee: \$30,136.00		Total Service Charge:	\$401.00	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/26 based on the site plan submitted to the District on 10/22/25 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Creditable storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Creditable drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Creditable facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR
TRACT
No. 6443
v.1**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 2 of 4

FR TRACT No. 6443 v.1

Approval of this development shall be conditioned upon compliance with these District Requirements.

1. ☐ a. Drainage from the site shall
☒ b. Grading and drainage patterns shall be as identified on Exhibit No. 1.
☐ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Non Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
☒ Developer shall construct facilities as shown on Exhibit No. 1 as NON-MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.
☐ None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
☒ Grading Plan
☒ Street Plan
☒ Storm Drain Plan
☒ Water & Sewer Plan
☒ Final Map
☒ Drainage Report (to be submitted with tentative map)
☐ Other
☐ None Required

4. Availability of drainage facilities:
☐ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
☒ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
☐ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
☐ d. See Exhibit No. 2.

5. The proposed development:
☐ Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
☒ Does not appear to be located within a flood prone area.

6. ☐ The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 3 of 4

FR TRACT No. 6443 v.1

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Debbie Campbell
Design Engineer, RCE

Digitally signed by Debbie Campbell Date: 10/28/2025 4:19:36 PM



Shauna L. Espinoza Mendoza
Engineer III, RCE

Digitally signed by Shauna L. Espinoza Mendoza Date: 10/28/2025 2:31:19 PM

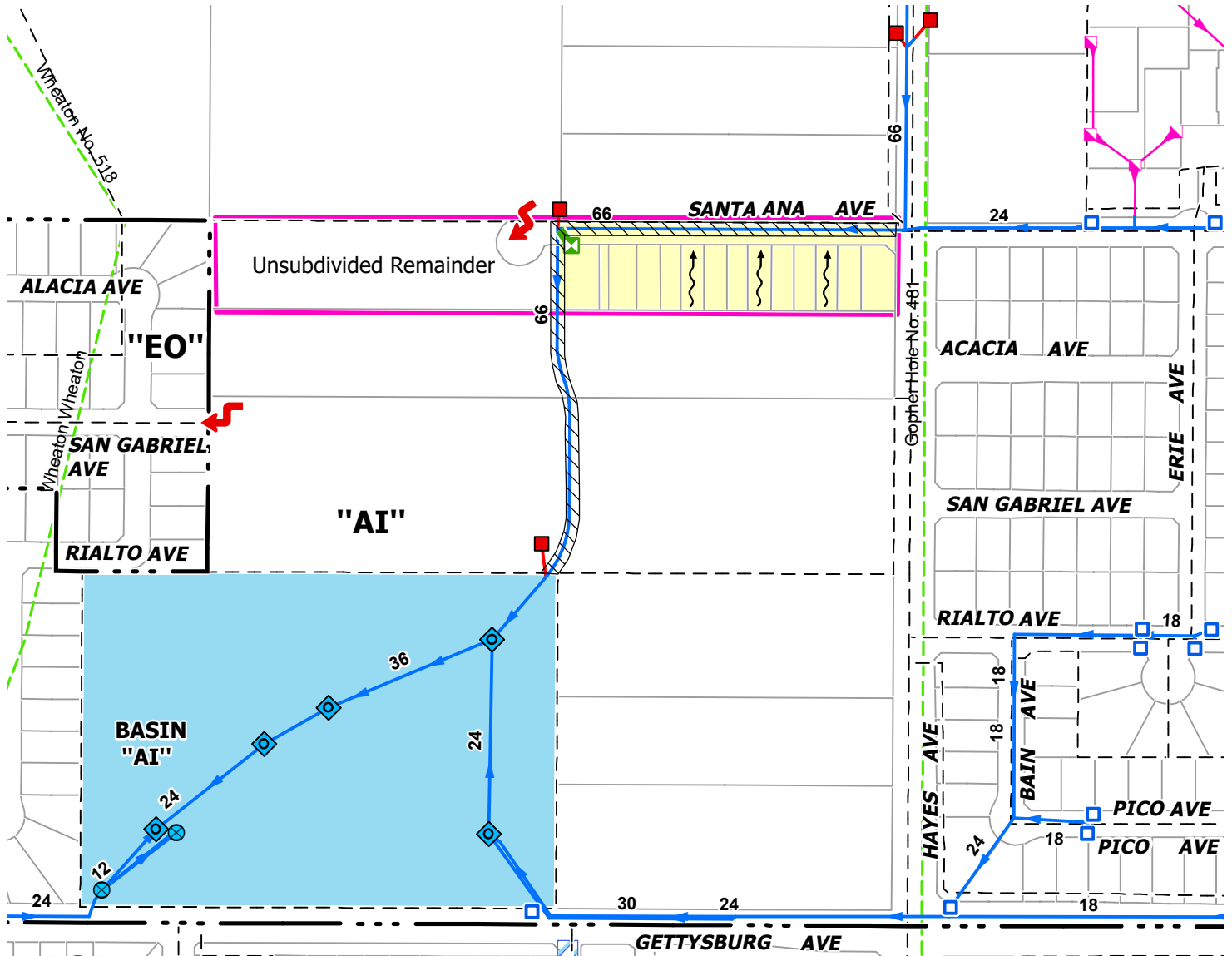
CC:

GURPAL BAINS, G & B ESTATES LLC

2541 W. LAKE VAN NESS

FRESNO, CA 93711

NOTE: THIS MAP IS SCHEMATIC.
DISTANCES, AMOUNT OF CREDITABLE
FACILITIES, AND LOCATION OF INLET
BOUNDARIES ARE APPROXIMATE.



LEGEND

- | | | | |
|--|---|--|--|
| | Non-Master Plan Facilities To Be Constructed By Developer (Not Eligible For Fee Credit) | | Direction Of Drainage |
| | Existing Master Plan Facilities | | Existing FID Facilities |
| | Future Master Plan Facilities | | Major Storm Breakover |
| | Private Facilities | | Existing 25' Wide Storm Drain Easement |
| | Inlet Boundary | | Limits Of APN: 512-032-13 |
| | Drainage Area Boundary | | Limits Of Tract 6443v.1 |



1" = 300'

TRACT 6443v.1
DRAINAGE AREA "AI"



EXHIBIT NO. 1 FRESNO METROPOLITAN FLOOD CONTROL DISTRICT

Prepared by: alexm
Date: 10/28/2025
Path: K:\Autocad\DWGS\0EXHIBIT\TRACTS\6443v.1.mxd

OTHER REQUIREMENTS

EXHIBIT NO. 2

The minimum finish floor elevation shall be 290.99 (U.S.G.S. Datum).

There is an existing twenty-five foot (25') wide storm drain easement along the north property line of Tract 6443v.1 as shown on Exhibit No. 1. No encroachments into the easement shall be permitted including, but not limited to, foundations, roof overhangs, swimming pools, and trees.

Our records indicate that there may not be continuous existing curb and gutter along Hayes Avenue to convey runoff from Hayes Avenue to the Master Plan inlet located on Gettysburg Avenue. The developer shall be required to provide documentation and/or improvements satisfactory to the City of Fresno to allow for conveyance of storm water to the inlet location.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.



2907 S. Maple Avenue
Fresno, California 93725-2208
Telephone: (559) 233-7161
Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

June 14, 2024

John George
Development & Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Planning Application No. P23-01987, Tract 6443
S/W Shaw and Hayes avenues

Dear Mr. George:

The Fresno Irrigation District (FID) has reviewed Planning Application No. P23-01987, Tract 6443 for which the applicant proposes a tentative Subdivision map 6443, APN: 512-032-13. FID has the following comments:

Area of Concern

1. FID does not own, operate or maintain any facilities located on the subject property, as shown on the attached FID exhibit map.
2. For informational purposes, FID's Silvia No. 47 runs southwesterly, crosses Shaw Avenue approximately 1,300 feet northeast of the subject property, and crosses Bryan Avenue approximately 1,200 feet southwest of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Shaw Avenue, Bryan Avenue, or within the vicinity of this pipeline/canal, FID requires it review and approve all plans.
3. For informational purposes, FID's Herndon No. 39 runs westerly approximately 1,400 feet north of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Shaw Avenue or in the vicinity of this Canal, FID requires it review and approve all plans.
4. For informational purposes, FID's Teague School No. 46 runs southerly and crosses Shaw Avenue approximately 2,200 feet northeast of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Shaw Avenue or in the vicinity of this Canal, FID requires it review and approve all plans.

\\fids01\Eng\Agencies\FresnoCity\Tract Map\P23-01987, TM6443\P23-01987, TM6443.doc

BOARD OF DIRECTORS

President RYAN JACOBSEN Vice-President JERRY PRIETO, JR. CHRISTOPHER WOOLF
GEORGE PORTER GREGORY BEBERIAN General Manager BILL STRETCH

5. For informational purposes, a privately owned facility known as the Gopher Hole No. 481 runs southerly along the east side of Hayes Avenue, crosses Shaw Avenue approximately 1,300 feet northeast of the subject property, and crosses Gettysburg Avenue approximately 1,000 feet southeast of the subject property, as shown the attached FID exhibit map. FID does not own, operate or maintain this private facility. FID records indicate this facility is active and will need to be treated as such.
6. For informational purposes, a privately owned facility known as the Wheaton No. 518 runs southerly, and crosses Gettysburg Avenue approximately 1,200 feet southwest of the subject property, as shown the attached FID exhibit map. FID does not own, operate or maintain this private facility. FID records indicate this facility is active and will need to be treated as such.
7. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area was historically native or rural residential with minimal to no water use. Under current circumstances, the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a significant increase in dependence on groundwater, this deficit will increase. FID recommends the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.
8. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Fresno are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Fresno should consider the impacts of the development on the City's ability to comply with the requirements of SGMA.

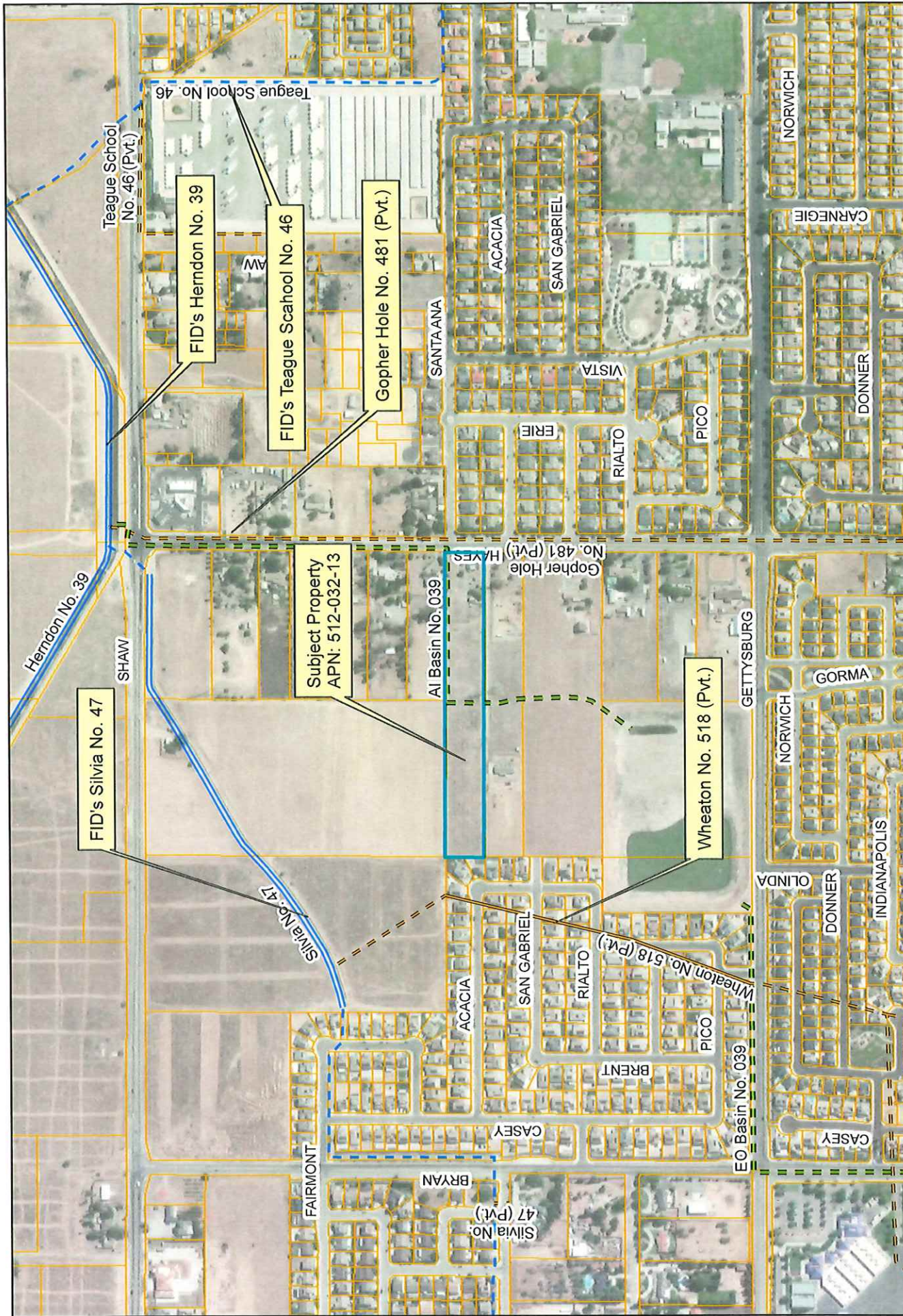
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Jeremy Landrith at (559) 233-7161 extension 7407 or jlandrith@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are not guaranteed. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

Spatial Reference
Name: NAD 1983 StatePlane California IV FIPS 5004
Path: G:\Figs\2024\0220 FID Master.mxd

- Legend**
- FID Canal
 - Private Canal
 - Abandoned Canal
 - FID Pipeline
 - Private Pipeline
 - Abandoned Pipeline
 - Stream Group
 - Other-Creek/River
 - Other-Pipeline
 - FID Boundary
 - Railroad
 - Streets & Hwys
 - Parcel
 - FMFCD Acquired Basins
 - FMFCD Proposed Basins



2600 Fresno Street
Fresno, California 93721-3604

Central Unified School District:

Txia Yang

05/30/24

Comments

This is in response to the Planned Development Application No. P23-01987 where the applicant is requesting to create Tract 6443 consisting of 11 single family homes and 1 out lot located at Hayes and Santa Ana.

The District has reviewed the request regarding the above referenced development and has no intention of pursuing this property for a school site in our Facilities Master Plan.

The proposed development will produce 11 single-family dwelling units. The current accumulated student generation rate for Central Unified School District is approximately 0.568. The breakdown for grade level is as follows:

Grade Level Units Generation Rate Students Generated School of Attendance

TK - 6 11 0.343 3.773 Harvest Elementary

7-8 11 0.088 0.968 Glacier Point Middle School

9-12 11 0.137 1.507 Central High School

Justin Garza High School

The 11 single family homes, in conjunction with the District's 0.642 current student generation rate, will produce approximately 6 students. Of those 6 students, 4 will be in TK-6 grade level, 1 will be in the 7-8 grade level, and 2 will be in the 9-12 grade level. With the districts current attendance area boundaries, students from this development will be attending Harvest Elementary, Glacier Point Middle School, and Central High School. Attendance area boundaries are utilized to balance enrollment and are therefore subject to change.

The District is requesting crosswalks and bike routes to be implemented to allow for safe paths of travel. Impacts from the proposed development may also result in the need for additional classroom(s). The District's current Developer Fee Rates fall under Level I at \$4.79 per square foot and \$0.78 per square foot for commercial developments. Developer fees are assessed annually and are therefore subject to change based on factors that impact growth within the District.

Should you need further information or have any questions, please contact me at (559) 274-4700 ext. 12101 or tyang@centralunified.org



June 11, 2024

John George
City of Fresno

Re: P23-01987 - Tentative Subdivision Map 6443
4705 North Hayes Avenue, Fresno, CA 93723 – APN: 512-032-13 in Fresno County

Dear City of Fresno,

Thank you for giving us the opportunity to review the subject plans. The proposed Tentative Subdivision Map 6443 is within the same vicinity of PG&E's existing electric transmission facilities that impact this property.

PG&E holds an easement for the transmission and distribution of electric energy across APN: 512-032-13. The tentative map shows open space underneath the tower line and may contain landscaping. Vegetation may be allowed, subject to review of plans. On overhead electric transmission easements, trees and shrubs are limited to those varieties that do not exceed 10 feet in height at maturity. PG&E must have access to its facilities at all times, including access by heavy equipment. No planting is to occur within the footprint of the tower legs. Additionally, attached are PG&E's construction guidelines and restrictions when working within proximity to electric transmission facilities. The developer must adhere to these guidelines and restrictions during the course of development.

Please contact the Building and Renovation Center (BRSC) for facility map requests by calling 1-877-743-7782 and PG&E's Service Planning department at www.pge.com/cco for any modification or relocation requests, or for any additional services you may require.

As a reminder, before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work. This free and independent service will ensure that all existing underground utilities are identified and marked on-site.

Sincerely,

Vince Fazzi
Land Agent
Land Management Dept.

(916) 217-1057



2600 Fresno Street
Fresno, California 93721-3604

Fresno Area Express:

FAX

06/282024

Comments

FAX requires a minimum 9' by 42' solid sidewalk along Hayes, extending south from the intersection. The sidewalk shall be constructed to FAX-1 standard and the curb and gutter shall conform to FAX-4.