

City of Fresno Notes

1. NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
2. NO STRUCTURES OF ANY KIND INCLUDING FREE STANDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED LANDSCAPED AREAS, NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
3. TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPT.
4. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR THE PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
5. PRIOR TO THE FINAL INSPECTION, SIGNED BY THE LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT AND RESOURCE MANAGEMENT.
6. FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT, PRIOR TO INSTALLATION.
7. ALL HANDICAPPED STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN FOOT POLES.
8. ROOF MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BAFFLED TO PREVENT THE NOISE LEVEL RATING FOR THE EQUIPMENT FROM EXCEEDING 55 LBN MEASURED AT THE NEAREST PROPERTY LINE.
9. IF ARCHEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
10. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: 805-603-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: 805-644-2280) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
11. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BEZREKLEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
12. VERIFY LOCATION OF UTILITY AND WASTEWATER LINES WITH UTILITY DEPARTMENT.
13. ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY WATER DIVISION TO ARRANGE AND COORDINATE WORK.
14. DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MINIMUM SLOPE OF TWELVE PERCENT, WHEN APPROVED BY THE DIRECTOR. THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR SPECIAL CIRCUMSTANCES.
15. ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. GRASS AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED PER FRESNO MUNICIPAL CODE (CMC) 11-5209.
16. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED ENGINEERED RETAINING WALL.
17. INSTALL 30" STATE STANDARD "STOP" SIGNS AT LOCATIONS(S) SHOWN. SIGN SHALL BE MOUNTED ON A 2" GALVANIZED POST WITH THE BOTTOM OF THE SIGN 5' ABOVE GROUND, LOCATED BEHIND CURB AND IMMEDIATELY BEHIND MAJOR STREET SIDEWALK. LOCATE ON PRIVATE PROPERTY.

City of Fresno Fire Dept. Notes

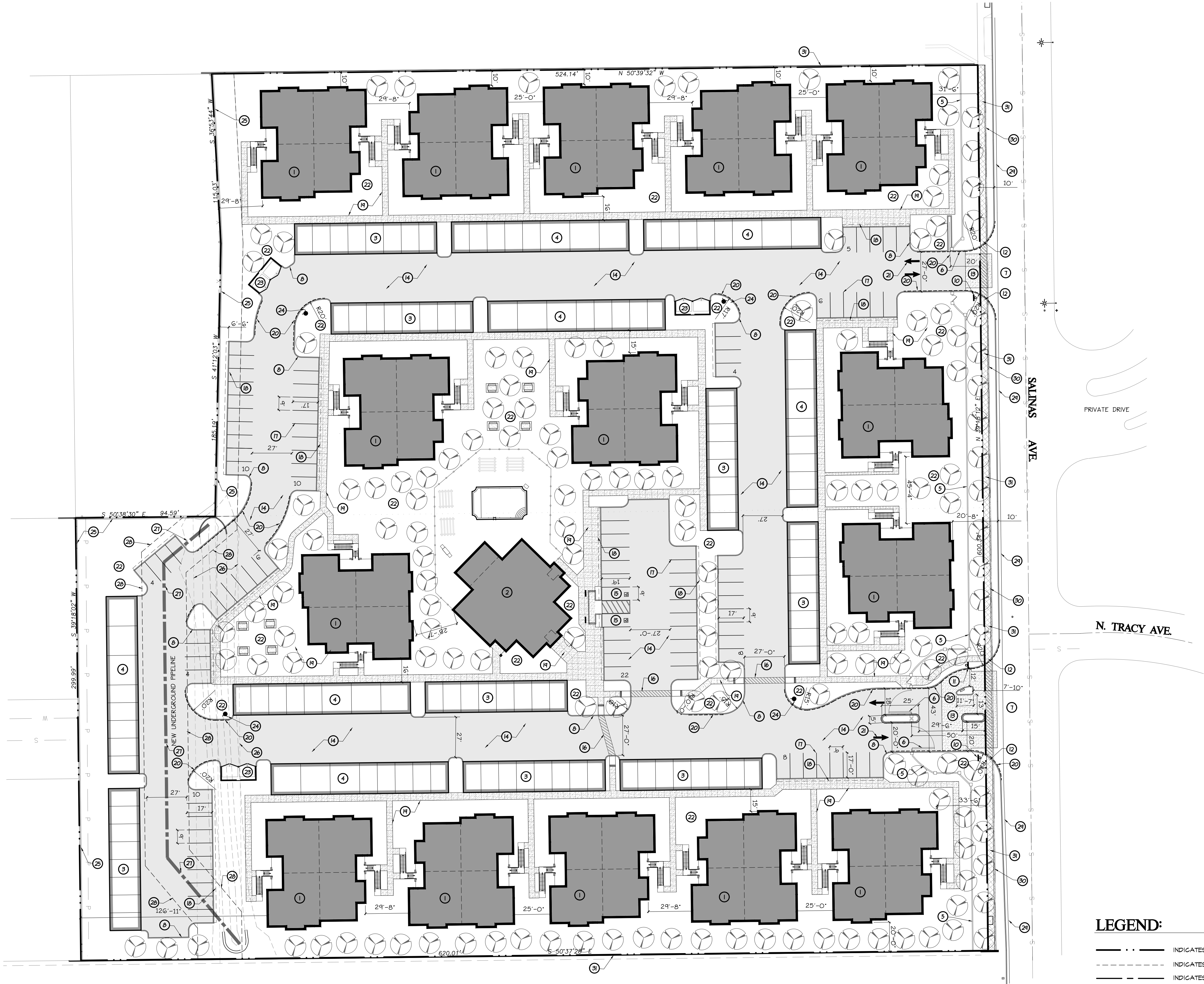
1. HYDRANTS ARE NOTED ON PLANS. PROVIDE FIRE HYDRANT FLOW OF 1500 GPM WITH A MIN. 8" WATER MAIN.
2. THE NEW FIRE HYDRANTS SHOWN SHALL PROVIDED HYDRANT FLOW OF 1500 GPM WITH A MIN. 8" WATER MAIN.
3. TWO MEANS OF INGRESS/EGRESS MUST BE PROVIDED. THIS ACCESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES. ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED ALL WEATHER SURFACE CAPABLE OF SUPPORTING 80000 LB. VEHICLES ON A 4" BASE ROCK OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERED PLANS) YEAR ROUND AND WITH 24 FOOT MIN. WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
4. STREETS DESIGNATED ON THE PLAN SHALL BE IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1. DESIGNATE HIGHLIGHTED CURBS AS FIRE LANES (RED CURB WITH "FIRE LANE" IN 3" LETTERS EVERY 50 FEET).
5. FIRE LANES ARE REPRESENTED AS  ON THE PLANS.
6. PROVIDE SIGNS (17"x22" MINIMUM) AT ALL PUBLIC ACCESS DRIVES TO THE PROPERTY. WARNING: VEHICLES STOPPED, PARKED, OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE-22658 CALIFORNIA VEHICLE CODE-FRESNO POLICE DEPARTMENT 621-2300.
7. PROVIDE A COVENANT FOR SHARED FIRE FIGHTING ACCESS AND WATER SUPPLY.

Site Plan Notes

1. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
2. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
3. TWO (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444
4. THE REQUIRED 4' MINIMUM PATH OF TRAVEL SHALL BE PROVIDED ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 24). A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
5. ALL GATES OR COMMON ACCESS DRIVES SHALL BE EQUIPPED WITH APPROVED POLICE/FIRE BYPASS LOCKS (BEST LOCKS: PADLOCK 218700 SERIES OR CYLINDER LOCK 1W782).
6. PROVIDE DESIGNATED PARKING FOR ANY COMBINATION LOW-EMITTING, FUEL EFFICIENT AND CAR POOL/VAN POOL VEHICLES AS REQUIRED BY 2013 CAL GREEN BUILDING STANDARDS CODE TABLE 5.106.6.2.
7. PROVIDE BICYCLE PARKING AS REQUIRED BY 2013 CAL GREEN BUILDING STANDARDS CODE SECTION 5.106.4.
8. HYDRANTS ARE NOTED ON PLANS. PROVIDE FIRE HYDRANT FLOW OF 1500 GPM WITH A MIN. 8" WATER MAIN.
9. PROVIDE SIGNS (17"x22" MINIMUM) AT ALL PUBLIC ACCESS DRIVES TO THE PROPERTY. WARNING: VEHICLES STOPPED, PARKED, OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE-22658 CALIFORNIA VEHICLE CODE-TULARE POLICE DEPARTMENT 734-8116.
10. STREETS DESIGNATED ON THE PLAN SHALL BE IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1. DESIGNATE HIGHLIGHTED CURBS AS FIRE LANES (RED CURB WITH "FIRE LANE" IN 3" LETTERS EVERY 50 FEET).
11. FIRE LANES ARE REPRESENTED AS  ON THE PLANS.
12. EXTERIOR ACCESSIBLE ROUTES OVER 200 FEET IN LENGTH WITH A CLEAR WIDTH OF LESS THAN 60 INCHES, SHALL PROVIDE PASSING SPACES AT INTERVALS OF 200 FEET MAXIMUM. PASSING SPACES SHALL BE EITHER: A SPACE 60 INCHES MINIMUM BY 60 INCHES MINIMUM, OR AN INTERSECTION OF TWO WALKING SURFACES PROVIDING A "T" SHAPE SPACE.
13. ALL GARAGES TO BE PRE-WIRED FOR SOLAR PANELS
14. DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PER MAY 11, 1917, IN BOOK B PAGE 25 OF PLATS, FRESNO COUNTY RECORDS.

Legal Description

REAL PROPERTY IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOTS 999 AND 1000 OF BULLARD LANDS IRRIGATED SUBDIVISION NO. 6, AS PER MAP RECORDED MAY 11, 1917, IN BOOK B PAGE 25 OF PLATS, FRESNO COUNTY RECORDS.
EXCEPT THEREFROM THAT PART OF LOT 999 LYING SOUTHEASTERLY OF THE CENTERLINE OF THE IRRIGATION CANAL.



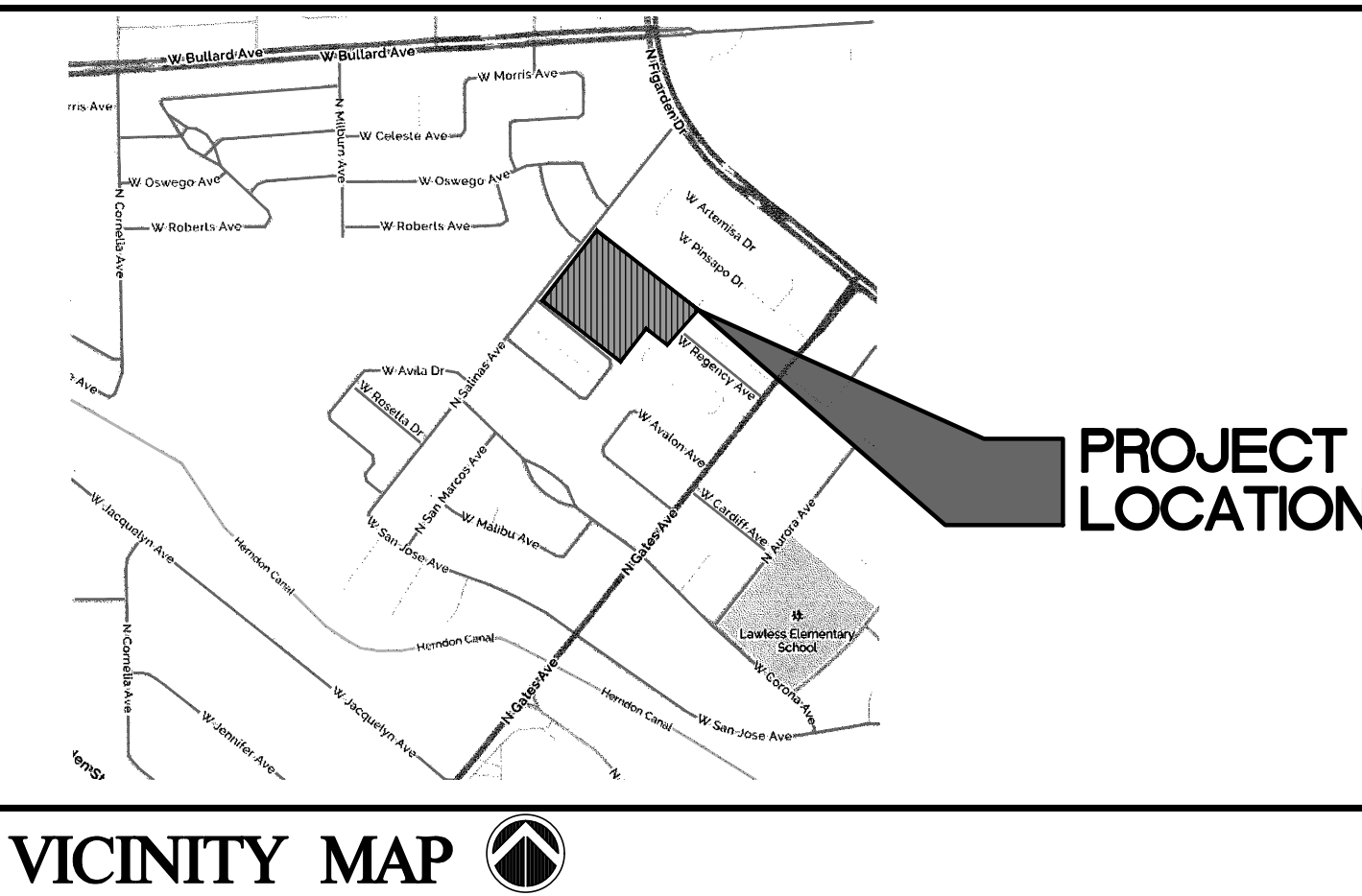
- LEGEND:**
-  INDICATES PROPERTY LINES
 -  INDICATES EASEMENTS
 -  INDICATES CENTER LINE
 -  10' WIDE DEDICATION FOR STREET EASEMENT VACATION.

Keyed Notes

- 1 NEW 9488 Sq.Ft. 2-STORY APARTMENT BUILDING - (4744 Sq.Ft. FOOTPRINT INCLUDING LIVING AREA, PATIOS & COVERED ENTRY)
- 2 NEW 1-STORY CLUBHOUSE BUILDING NO. 1 TYPE 11" - (4750 Sq.Ft. FOOTPRINT INCLUDES COVERED PATIO)
- 3 NEW 2,022 Sq.Ft. 1-STORY 8 CAR GARAGE BUILDING TYPE "G-1"
- 4 NEW 2,524 Sq.Ft. 1-STORY 11 CAR GARAGE BUILDING TYPE "G-2"
- 5 NEW 6' HIGH ORNAMENTAL FENCING
- 6 NEW SECURITY GATE w/KEYPAD + KNOX BOX
- 7 NEW COMMERCIAL DRIVEWAY APPROACH PER CITY STD. P-2 AND P-6 PROVIDE 10' OF RED PAINTED CURB ON BOTH SIDES.
- 8 NEW CONCRETE CURB PER CITY OF FRESNO
- 9 NEW CONC. CURB & GUTTER PER CITY OF FRESNO STD. P-5.
- 10 NEW "STOP" SIGN - SEE CITY OF FRESNO NOTES #17.
- 11 NEW SITE ENTRANCE SIGN (REGARDING UNAUTHORIZED VEHICLE PARKING) PER CBC DIV. 2 SITE ACCESSIBILITY STANDARDS (SEC. 1127B.4).
- 12 NEW CURB RAMP PER CITY OF FRESNO P.W. STD. P-29.
- 13 NEW CONCRETE DRIVE APPROACH: OWNER TO SELECT TEXTURE AND COLOR.
- 14 NEW A.C. PAVING PER SOLS REPORT AND/OR CITY OF FRESNO P.W. STDs. (P-21, P-22 + P-23.) WHICH EVER IS MOST STRINGENT.
- 15 NEW ACCESSIBLE PARKING STALL WITH DESIGNATED UNLOADING ZONE AND ACCESSIBLE RAMP WITH SIGNAGE PER CBC DIV. 2 SITE ACCESSIBILITY STANDARDS (SEC. 1127B. 1128B + 1129B).
- 16 NEW 4' WIDE CROSSWALK WITH 4' WIDE STRIPES AT 36" OC
- 17 NEW WHITE PAINT PARKING STRIPING TYP.
- 18 NEW DASHED LINE INDICATES LOCATION OF 3 FT. VEHICLE OVERHANG WITH NO OBSTRUCTIONS WITHIN THE 3 FT. OVERHANG. GROUND COVER IS ALLOWABLE). WHERE WALKWAYS ARE ADJACENT TO PARKING THE WALK SHALL BE 7' WIDE.
- 19 NEW CONCRETE WALK WITH TOOLED CONTROL JOINTS, EXPANSION JOINTS + BROOM FINISH. (7'-0" MIN. WALK WHEN ADJ. TO PARKING TYP).
- 20 NEW RED-PAINTED CURB w/ WHITE LETTERING READING "FIRE LANES" IN 3" LETTERS EVERY 50' OR APPROVED SIGNS) EVERY 50'.
- 21 NEW WHITE PAINTED DIRECTIONAL ARROWS AT BEGINNING AND END OF AISLES, TYPICAL
- 22 NEW LANDSCAPE AREA.
- 23 NEW TRASH ENCLOSURE PER P.W. STANDARDS P-33, P-34 + P-35.
- 24 NEW FIRE HYDRANT.
- 25 NEW 6' HIGH CHU WALL - PER P.W. STANDARDS. (P-93, P-94, P-95 + P-96.)
- 26 EXISTING IRRIGATION DITCH AND EASEMENT TO BE RELOCATED.
- 27 NEW LOCATION OF IRRIGATION DITCH TO BE UNDERGROUNDED PIPELINE.
- 28 NEW LINE OF PROPOSED IRRIGATION (UNDERGROUND PIPELINE) EASEMENT.
- 29 EXISTING CURB & GUTTER TO REMAIN + COMPLY w/ PUBLIC WORKS STD. P-5
- 30 NEW DEDICATION (DEDICATION TO MATCH EXISTING ADJACENT PARCELS). PER PW STD. P-56.
- 31 EXISTING CHU. WALL TO REMAIN.
- 32 NEW 4' WIDE CONCRETE SIDEWALK PER R.W. STD. P-5.

Site Area Breakdown

DESCRIPTION	AREA / NO.
GENERAL PLAN LAND USE/ZONING	
SITE	7,868 Ac. or 342,740 Sq.Ft.
BUILDING -15 APT., 15 GAR., 1 CLUB	104,601 Sq.Ft. or 30.51%
LANDSCAPE ON-SITE	144,894 Sq.Ft. or 42.27%
LANDSCAPE OFF-SITE	Sq.Ft. or --%
AC PAVING ON-SITE	73,412 Sq.Ft. or 21.40%
HARDSCAPE (WALKS & S.O.G.) ON-SITE	19,833 Sq.Ft. or 5.78%
HARDSCAPE (WALKS & PATIO) OFF-SITE	Sq.Ft. or --%
UNITS	120
GARAGE PARKING	141 Spaces
COVERED PARKING	-- Spaces
OPEN PARKING	97 Spaces
TOTAL PARKING	238 Spaces.



JEFF CAZALY ARCHITECT
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FRESNO, CA 93711
COMERCIAL AND INDUSTRIAL DESIGN
Tel: (559) 291-1889
Fax: (559) 291-1882
jeff@cazalyconsulting.com

PROJECT :

NEW DEVELOPMENT FOR:
THE VINTAGE APARTMENTS
N. SALINAS AVE.

CITY OF FRESNO **APN. 509-020-15**

CALIFORNIA

CONSULTANTS:

SHEET CONTENTS :

ARCHITECTURAL
SITE PLAN

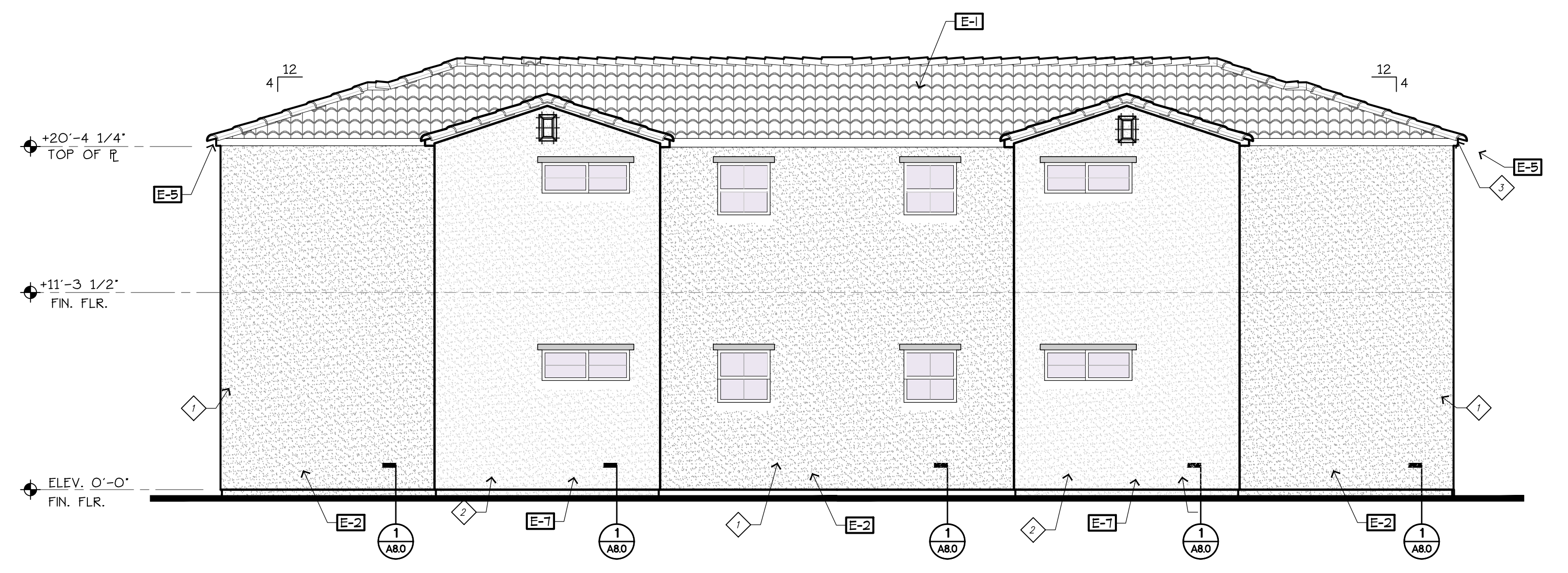
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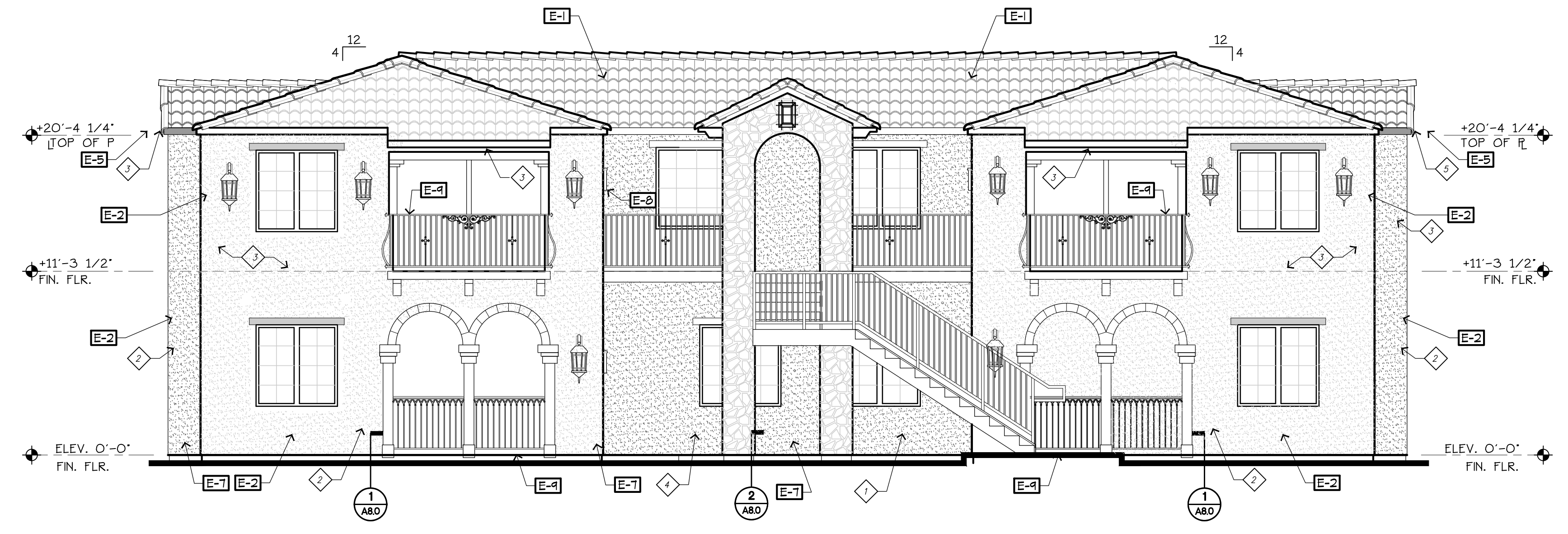
JOB NUMBER : **2016_011**

REGISTERED ARCHITECT
JEFF A. CAZALY
No. C-24480
RENEWAL DATE:
8-31-17
STATE OF CALIFORNIA

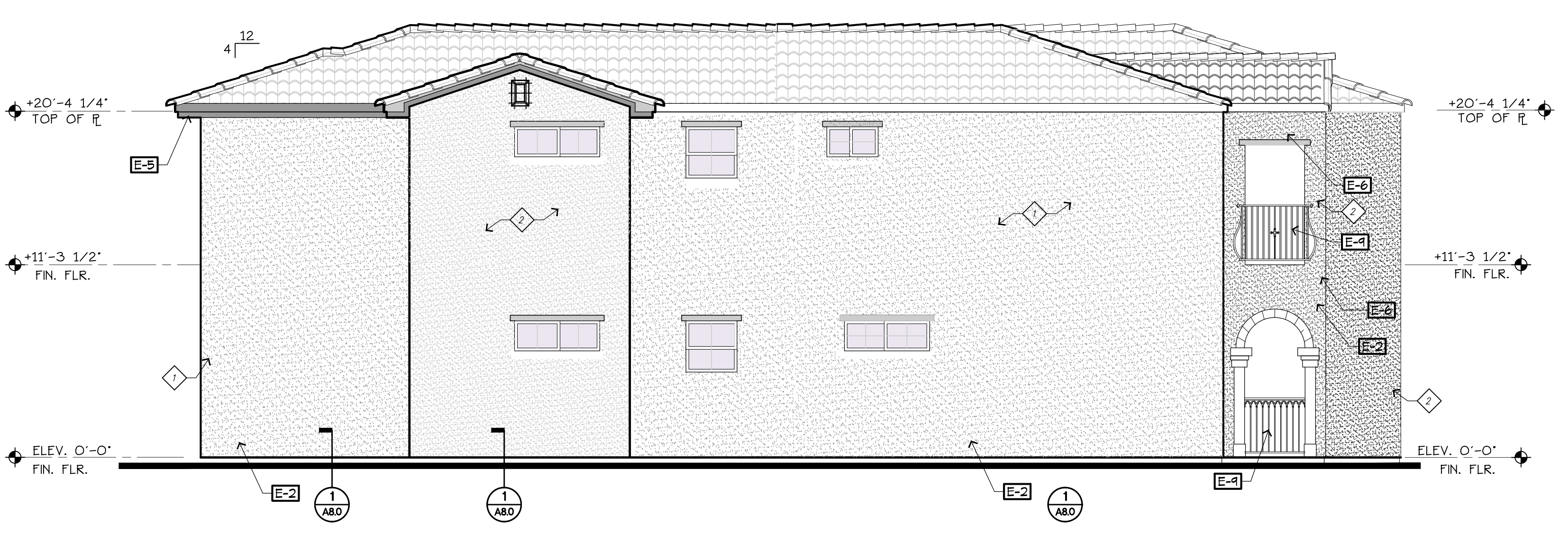
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Checked By: **JAC**
Reviewed By: **JAC**
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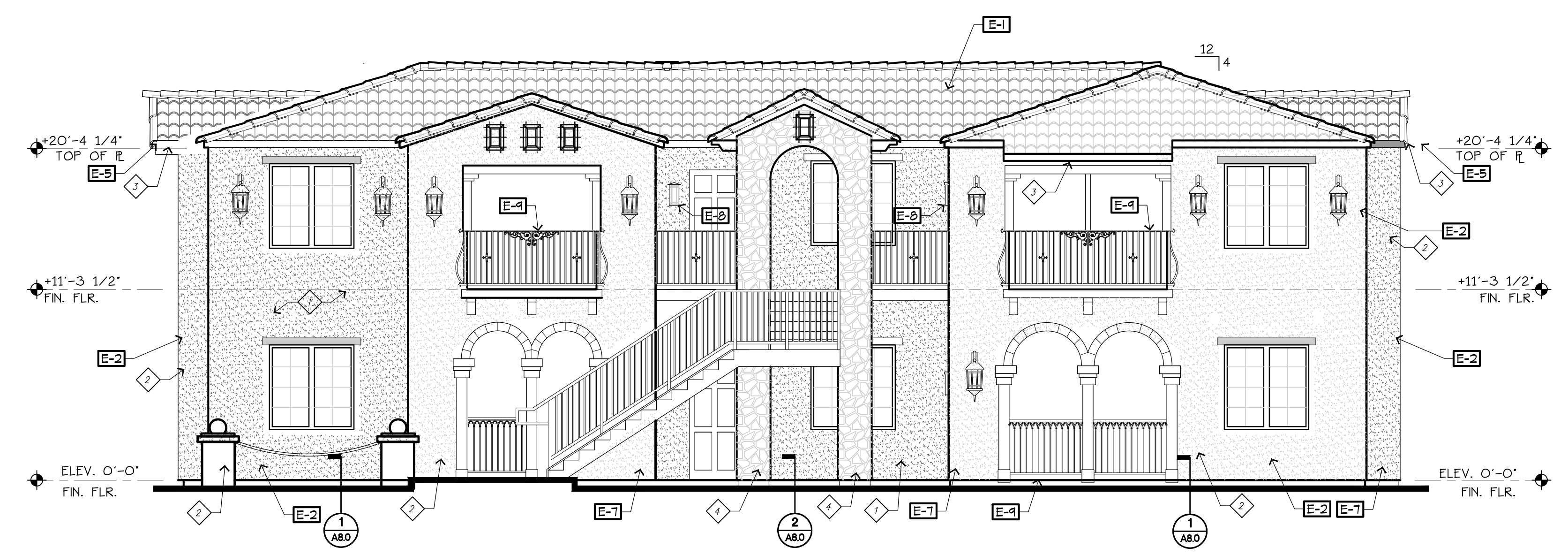
UNIT C EXTERIOR ELEVATIONS



UNIT C & B EXTERIOR ELEVATIONS



UNIT A & B EXTERIOR ELEVATIONS



UNIT A & C EXTERIOR ELEVATIONS

BUILDING TYPE 1 EXTERIOR ELEVATIONS
SCALE: 3/16"=1'-0"

EXTERIOR COLOR KEYNOTES

- ◇ Main Body: Sherwin Williams # SWTO22 Alpaca
- ◇ Accent Wall: Sherwin Williams # SWTO23 Requisite Gray
- ◇ Trim: Sherwin Williams # SWTO21 Simple White
- ◇ Tejas Textured Stone- Veneerstone
Style-Stack Stone, Color-Silver

EXTERIOR ELEVATIONS KEYNOTES

- E-1 TILE ROOF (OWNER TO SELECT) OVER 30# FELT UNDERLAYMENT OVER FLYINGOOD ROOF SHEATHING. INSTALL ROOF PER MANUF. SPECIFICATIONS.
- E-2 1/8" THK. CEMENT PLASTER FINISH O/ WIRE MTL. LATH O/ W/P. BUILDING PAPER (PER CBC SECTION 25(2.1) (PROVIDED 3.4# HIGH RIB MTL. LATH AT BOTTOM OF SOFFITS.) SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
- E-3 CONTROL JOINT (TYP. AS SHOWN) - SEE DETAIL.
- E-4 GABLE VENT
- E-5 BUILT-UP PLASTER TRIM
- E-6 DECORATIVE FOAM TRIM
- E-7 STONE VENEER - OWNER TO SELECT
- E-8 DECORATIVE LIGHT FIXTURE - OWNER TO SELECT.
- E-4 TYP. PLASTER NEEP SCREED - SEE DETAIL 1/A80

PROJECT :

NEW DEVELOPMENT FOR:
THE VINTAGE APARTMENTS
N. SALINAS AVE.

CALIFORNIA

APN. 509-020-15

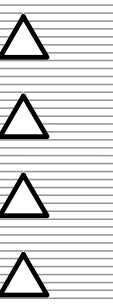
CITY OF FRESNO

CONSULTANTS

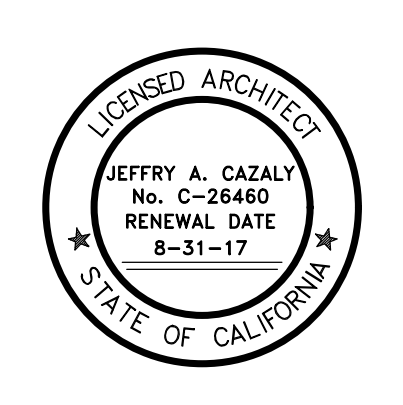
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**CLUBHOUSE
EXTERIOR
ELEVATIONS**

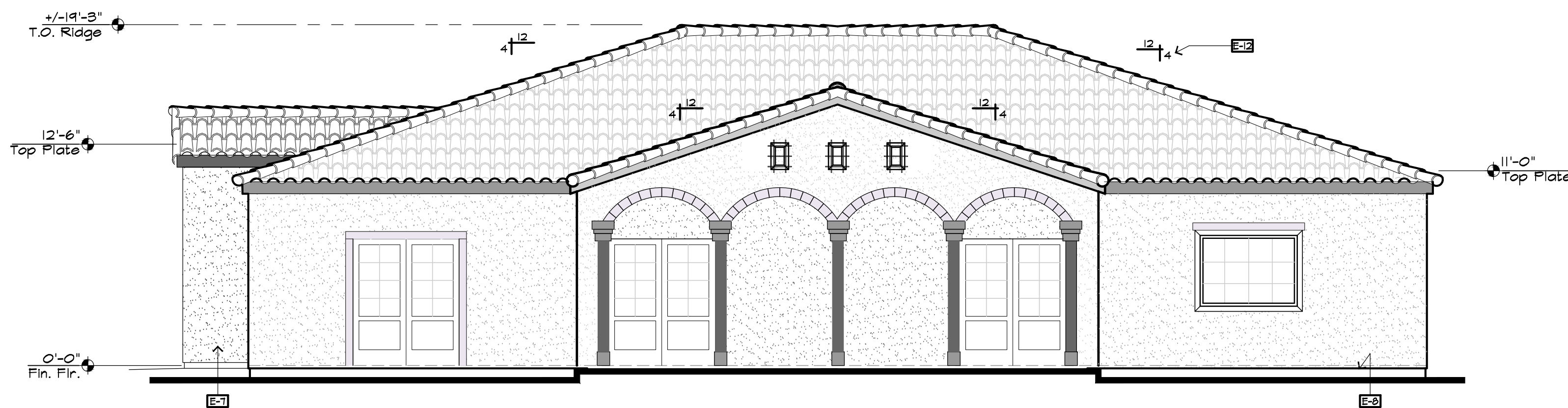
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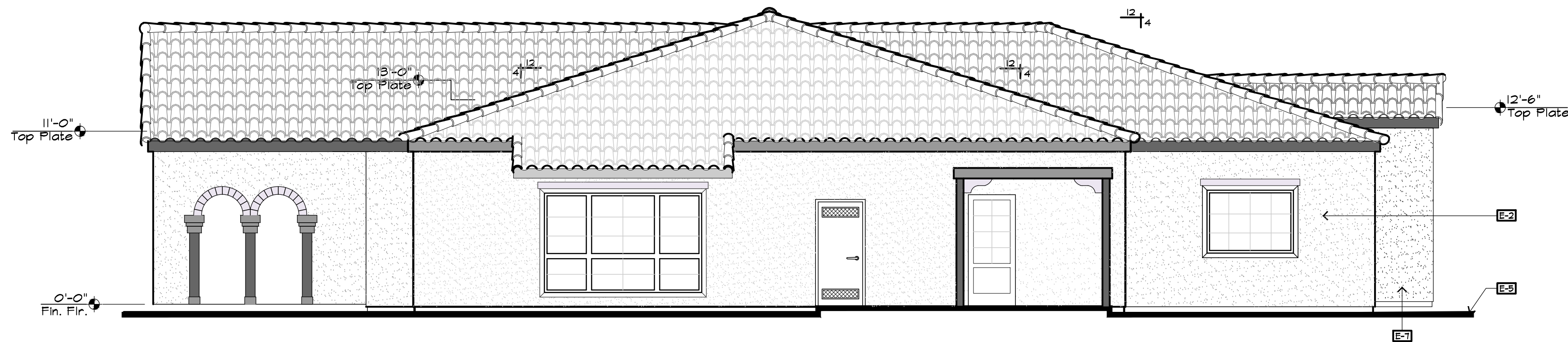
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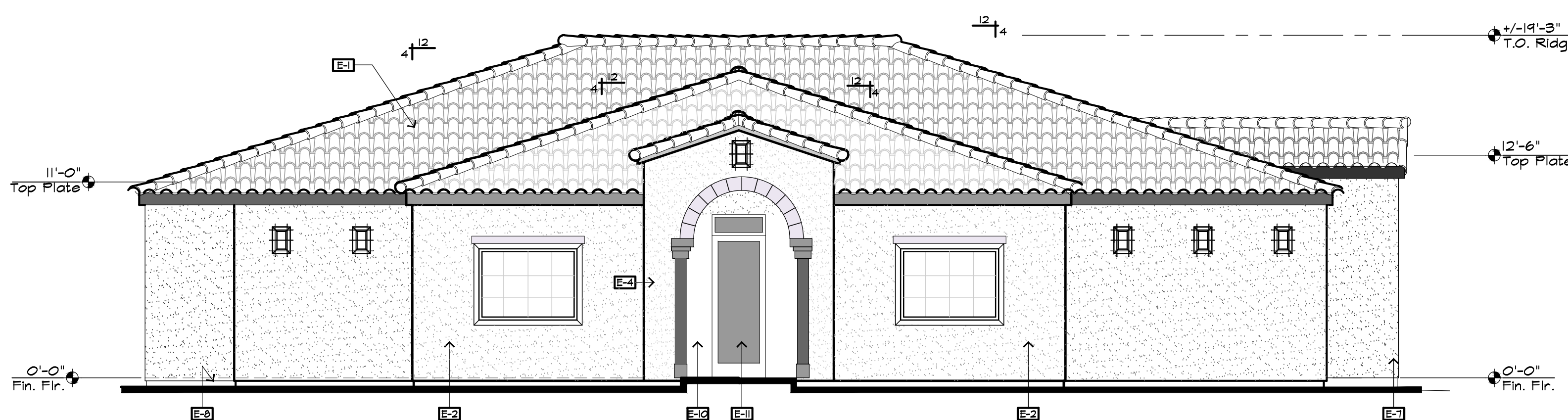
Designed By :
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Scale : As noted
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UNIT C EXTERIOR ELEVATIONS



UNIT C EXTERIOR ELEVATIONS



UNIT A & C EXTERIOR ELEVATIONS



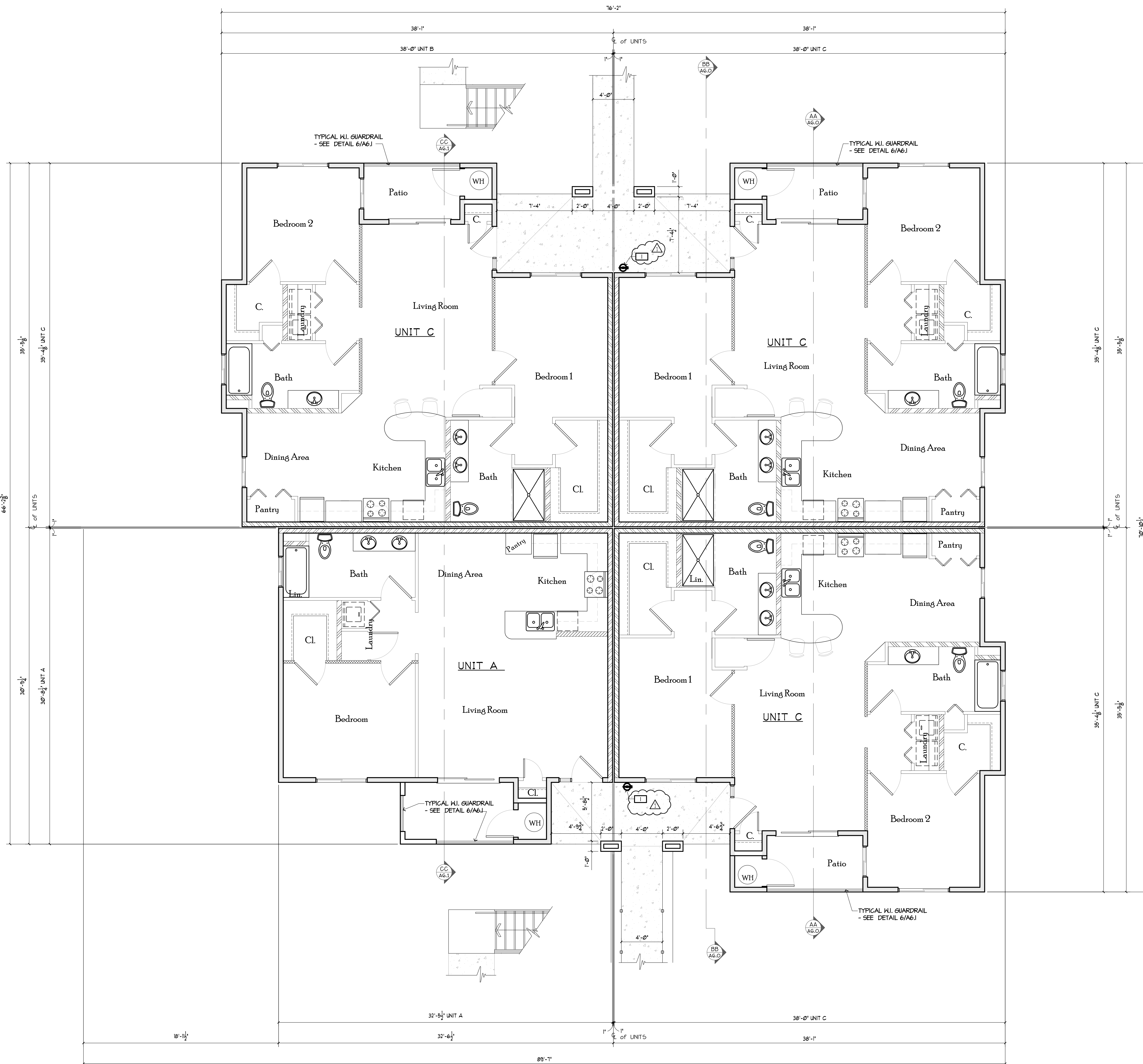
UNIT A & C EXTERIOR ELEVATIONS

CLUBHOUSE EXTERIOR ELEVATIONS

SCALE: 3/16"=1'-0"

EXTERIOR ELEVATIONS KEYNOTES

- E-1 SPANISH TILE ROOF (OWNER TO SELECT) OVER 30# FELT UNDERLAYMENT OVER PLYWOOD ROOF SHEATHING. INSTALL ROOF PER MANUF. SPECIFICATIONS.
- E-2 1/8" THK. CEMENT PLASTER FINISH O/ WIRE MTL. LATH O/ K.P. BUILDING PAPER (PER CBC SECTION 2912.1) (PROVIDED 3/4" HIGH RIB MTL. LATH AT BOTTOM OF SOFFITS) SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL.
- E-3 CONTROL JOINT (TYP. AS SHOWN)
- E-4 INDICATES LOCATION OF PER-CAST CONCRETE COLUMN.
- E-5 INDICATES FINISHED GRADE - SEE CIVIL DRAWINGS FOR ELEVATION HEIGHTS
- E-6 NOT USED
- E-7 INDICATES SIMULATED STONE VENEER.
- E-8 INDICATES CONT. KEEP SCREED
- E-9 2 x FASCIA BOARD
- E-10 INDICATES GLAZING SYSTEM - SEE UNIT PLANS AND WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
- E-11 INDICATES DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- E-12 INDICATES ROOF PITCH - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- E-13 INDICATES FOAM TRIM SEE WINDOW SCHEDULE



PLAN KEYNOTES

INDICATES LOCATION OF TYPE 2A/10B-C WALL MOUNTED FIRE EXTINGUISHER (48" FROM FLOOR TO TOP OF FIRE EXTINGUISHER)

BUILDING PLAN NOTES

- NOTES:
- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS, AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 1138A.4 (CONTROLS AND OPERATING MECHANISMS).
 - CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE GRF.
 - OPERATION - OPERATING CONTROLS AND MECHANISMS SHALL OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRIPPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
 - WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50. SECTION 1207.2 + 1207.3.
 - AN ACCESSIBLE ROUTE SHALL BE PROVIDED THROUGH ALL ROOMS AND SPACES OF THE DWELLING UNIT. ACCESS DOORS TO ALL ROOMS SHALL BE 32" CLEAR OPENING.
 - ALL GROUND- FLOOR DWELLING UNITS IN NON ELEVATOR BUILDINGS SHALL BE ADAPTABLE.
 - OPEN RISERS ARE NOT PERMITTED ON EXTERIOR STAIRS.
 - EXTERIOR STAIRS SERVING BUILDINGS ON A SITE CONTAINING MULTIFAMILY DWELLINGS SHALL HAVE THE UPPER APPROACH AND ALL THREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST.
 - GUARDRAILS SHALL BE DESIGNED TO RESIST A LINEAR LOAD OF 50 POUND PER LINEAR FOOT AND ALSO BE DESIGNED TO RESIST A CONCENTRATED FORCE OF 200 POUNDS.
 - GUARDRAILS SHALL BE 42" MINIMUM IN HEIGHT AND SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

FIRE PREVENTION NOTES

- OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION COVER THE COUNTER) FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS WITH 20 OR MORE SPRINKLER HEADS-2013 CFC, SECTION 903.4. INSTALLATIONS MUST ALSO COMPLY WITH FFD POLICY SECTIONS 405 + 407. FFD POLICIES CAN BE FOUND ON THE FIRE DEPT. WEBSITE UNDER COMMUNITY AND PROFESSIONAL SERVICES. FIRE DEPT. POLICIES.
- THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF 'CRICKETS' (WHERE APPLICABLE).
- APPROVAL OF FIRE SPRINKLER RISER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION. ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- PROVIDE A MINIMUM 18 IN. X 24 IN. ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL APARTMENT BUILDINGS.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5' OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED INDICATING CONTROL VALVE

BUILDING TYPE 1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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jeff@cazalyconsulting.com

COMMERCIAL AND INDUSTRIAL DESIGN

PROJECT :

NEW APARTMENT BUILDING FOR:
THE VINTAGE APARTMENTS
5490 N. SALINAS AVE

CITY OF FRESNO **APN. 509-020-15** **CALIFORNIA**

CONSULTANTS:

SHEET CONTENTS :

BUILDING
TYPE 1
FIRST FLOOR
PLAN

REVISED :

△ CITY OF FRESNO P.G. #1
BY RGS, 2/8/17

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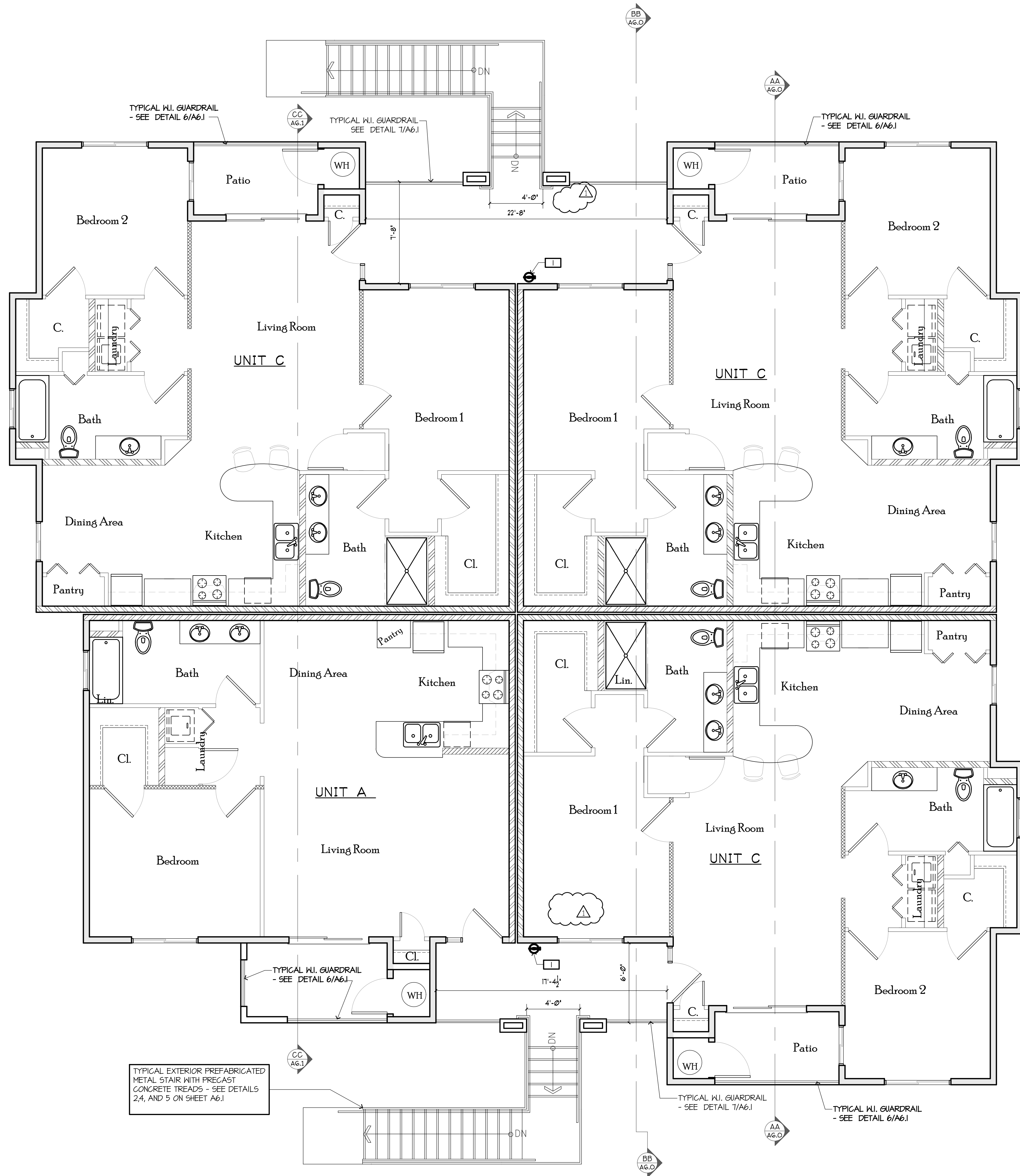
JOB NUMBER :

2016_011

REGISTERED ARCHITECT
JEFF A. CAZALY
No. C-24480
RENEWAL DATE:
8-31-17
STATE OF CALIFORNIA

Designed By :	Scale: As noted
Drawn By :	KCS
Checked By :	
Reviewed By :	JAC
Date :	

A3.0



BUILDING PLAN NOTES

NOTES:

- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS, AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 1138A.4 (CONTROLS AND OPERATING MECHANISMS).
1.1. CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE GRIP.
1.2. OPERATION - OPERATING CONTROLS AND MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRIPPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
- WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50. SECTION 1207.2 + 1207.3.
- AN ACCESSIBLE ROUTE SHALL BE PROVIDED THROUGH ALL ROOMS AND SPACES OF THE DWELLING UNIT. ACCESS DOORS TO ALL ROOMS SHALL BE 32\"/>

FIRE PREVENTION NOTES

- OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION COVER THE COUNTERS FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS WITH 20 OR MORE SPRINKLER HEADS-2013 CFC, SECTION 903.4. INSTALLATIONS MUST ALSO COMPLY WITH FPD POLICY SECTIONS 405 + 407. FPD POLICIES CAN BE FOUND ON THE FIRE DEPT. WEBSITE UNDER COMMUNITY AND PROFESSIONAL SERVICES. FIRE DEPT. POLICIES.
- THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF "CRICKETS" (WHERE APPLICABLE)
- APPROVAL OF FIRE SPRINKLER RISER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION. ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- PROVIDE A MINIMUM 18 IN. X 24 IN. ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL APARTMENT BUILDINGS.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5' OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED INDICATING CONTROL VALVE

BUILDING TYPE 1 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

PROJECT:

NEW APARTMENT BUILDING FOR:
THE VINTAGE APARTMENTS
5490 N. SALINAS AVE.

CALIFORNIA

APN: 509-020-15

CITY OF FRESNO

CONSULTANTS:

SHEET CONTENTS:

BUILDING
TYPE 1
SECOND FLOOR
PLAN

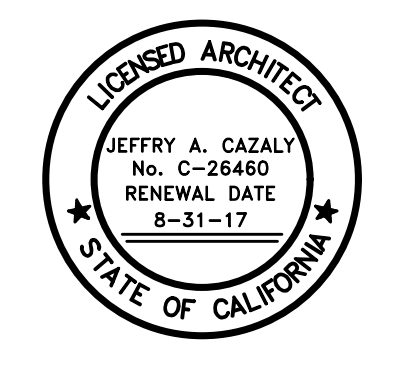
REVISED:

BY: RGS, 2/8/17



JOB NUMBER:

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Designed By: Scale: As noted

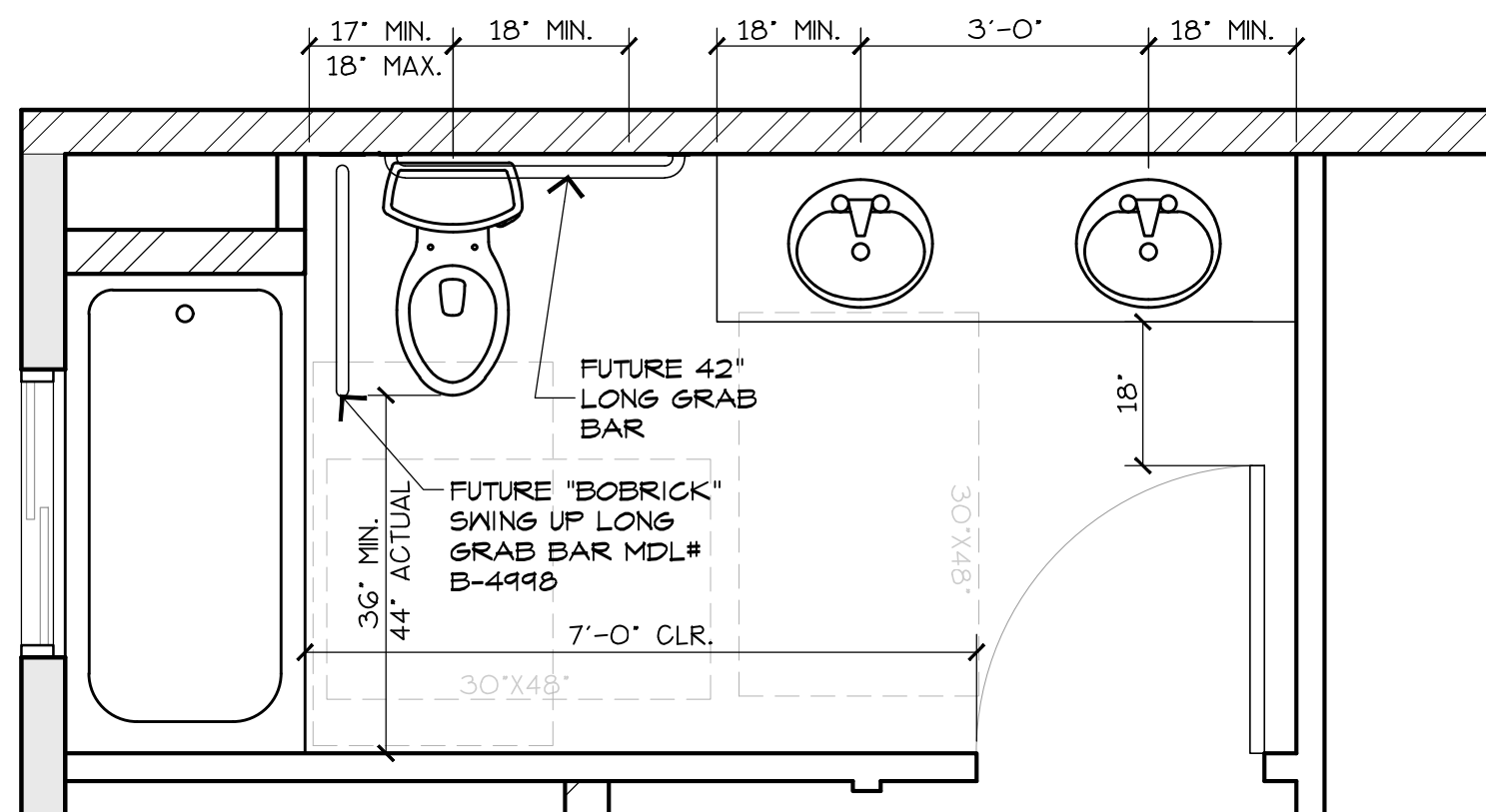
Drawn By: KCS

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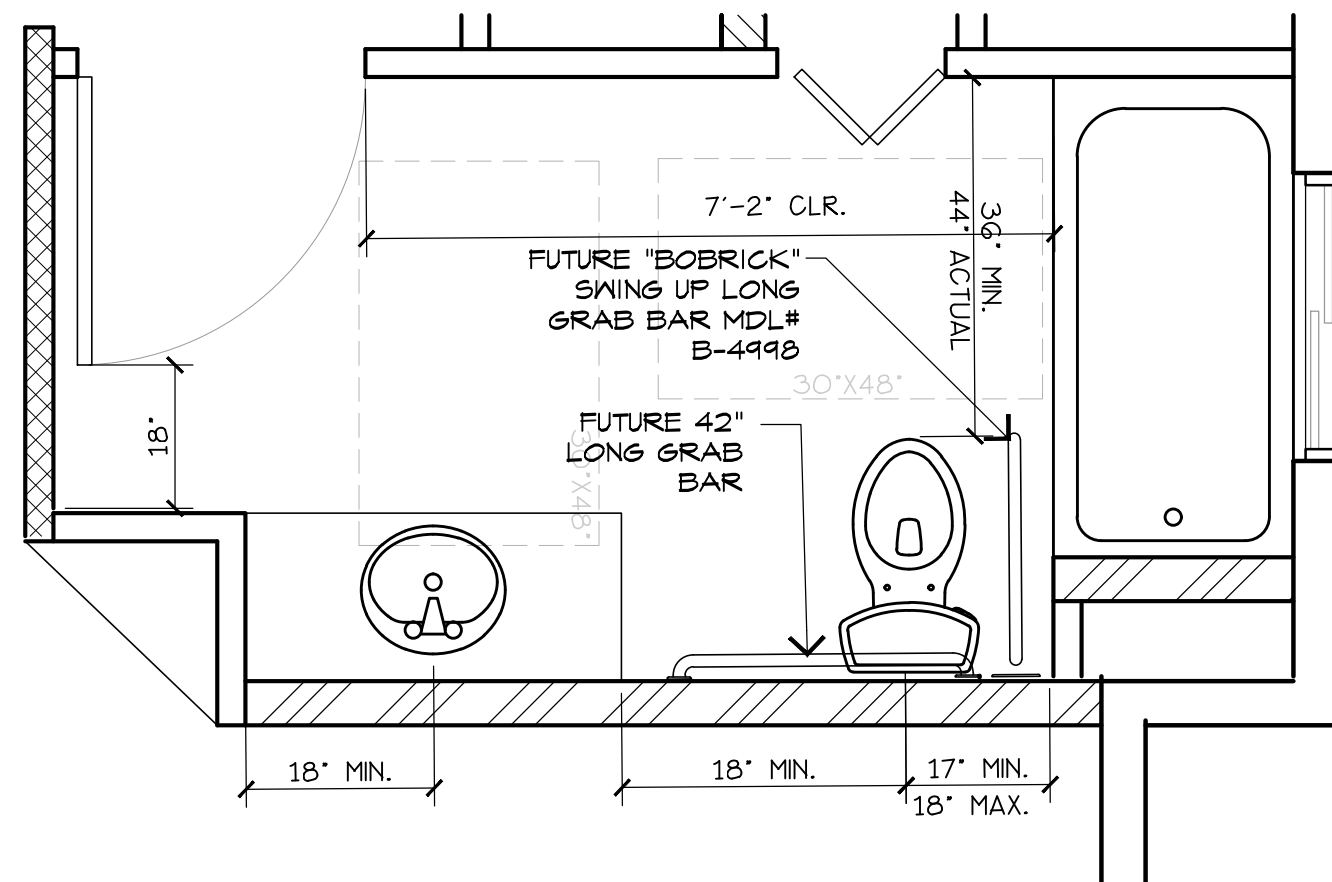
Reviewed By: JAC

Date: Sheet: of

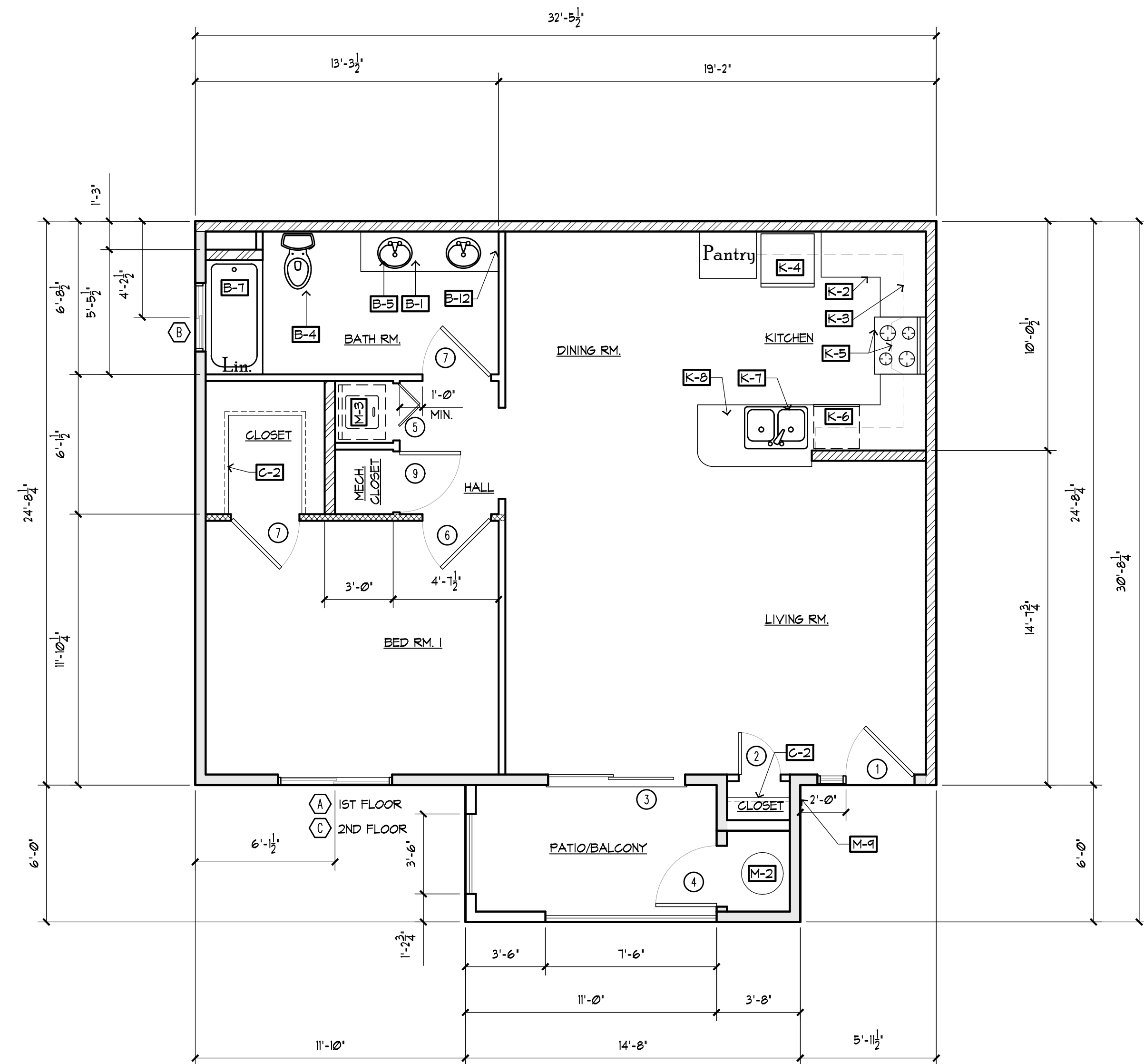
A31



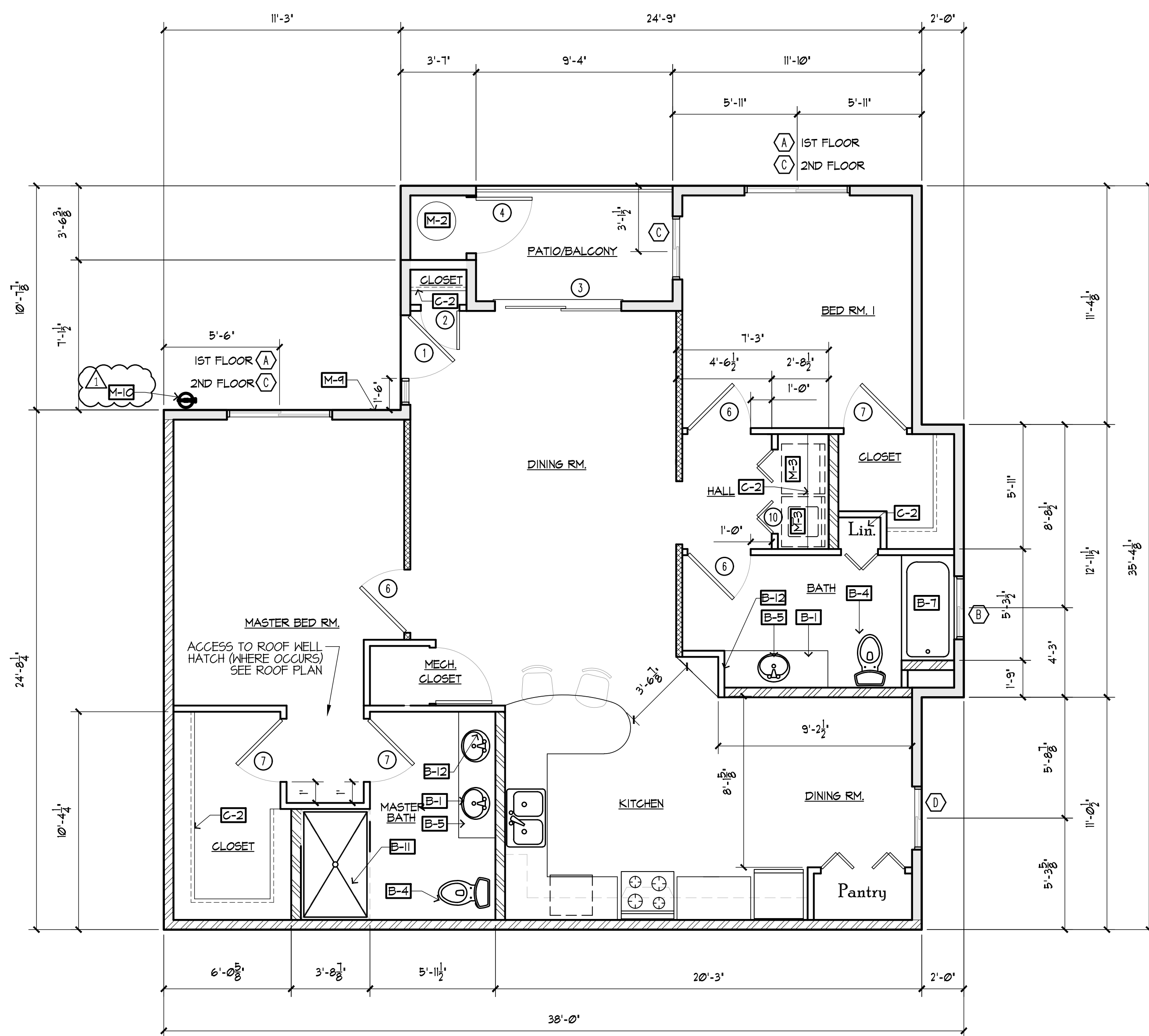
1 UNIT A - ADAPTABLE BATH RM.
SCALE: 1/2"=1'-0"



2 UNIT B - ADAPTABLE BATH RM.
SCALE: 1/2"=1'-0"



UNIT A FLOOR PLAN
SCALE: 1/4"=1'-0"



UNIT B FLOOR PLAN
SCALE: 1/4"=1'-0"

FLOOR KEYNOTES

KITCHEN

- K-1 REMOVABLE FACE PANEL.
- K-2 KITCHEN PRE-FINISHED BASE CABINET w/ SOLID SURFACE COUNTERTOP WITH 4" BACK SPLASH & 4" TOE SPACE SEE DETAIL.
- K-3 KITCHEN PRE-FINISHED UPPER WOOD CABINETS w/ ADJUSTABLE WOOD SHELVES. SEE DETAIL.
- K-4 REFRIGERATOR SPACE (PROVIDE PLUMBING FOR ICE MAKER)
- K-5 RANGE w/ EXHAUST HOOD ABOVE. (VTR)
- K-6 DISHWASHER
- K-7 DOUBLE SINK w/ GARBAGE DISPOSAL
- K-8 KITCHEN COUNTER HALF WALL SEE DETAIL.

BATHROOM

- B-1 BATHROOM PRE-FINISHED BASE CABINET w/ SOLID SURFACE COUNTERTOP WITH 4" BACK SPLASH & 4" TOE SPACE SEE DETAIL.
- B-2 TOILET TISSUE DISPENSER
- B-3 24" TOWEL BAR (PROVIDE 2x6 BACKING)
- B-4 WATER CLOSET - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- B-5 LAVATORY - SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- B-6 PLATE GLASS MIRROR - SEE INTERIOR ELEVATIONS SHEET A5.1.
- B-7 PRE-FAB FIBERGLASS TUB & SHOWER ENCLOSURE WITH SHOWER ROD & INTEGRAL GRAB BAR BACKINGS. (STERLING MODEL# T124016)
- B-8 GRAB BAR BACKINGS.
- B-9 LIGHT FIXTURE - SEE ELECTRICAL
- B-10 TILE COUNTERTOP - SEE DETAIL
- B-11 INDICATES PRE-FAB 60"x36" SHOWER ENCLOSURE w/ BASE AND 3 WALL SURROUND. (STERLING MODEL# T2210100) PROVIDE 69 1/4"x34 3/4" ROUGH OPENING.
- B-12 MED CABINET

CLOSET

- C-1 (B) SHELVES - SEE DETAIL
- C-2 SHELF AND POLE - SEE DETAIL
- C-3 FACE FRAMED LINEN CABINET - SEE INTERIOR ELEVATIONS
- C-4 SHELVES - SEE INTERIOR ELEVATIONS

MISC.

- M-1 30"x30" ATTIC ACCESS w/ 30" MIN. HEADROOM CLEARANCE.
- M-2 WATER HEATER - SEE PLUMBING
- M-3 WASHER/DRYER SPACE
- M-4 DASHED LINE INDICATES SOFFIT
- M-5 INDICATES LOCATION OF STONE VENEER SEE EXTERIOR ELEVATION
- M-6 PROVIDE 14x8 LOUVERED VENT SEE MECHANICAL PLANS FOR A.F.F.
- M-7 INDICATES LOCATION OF ELECTRICAL PANEL SEE ELECTRICAL DRAWINGS
- M-8 22"x30" ATTIC ACCESS PANEL w/ 30" MIN. HEADROOM CLEARANCE. (NYSFROM NYC2230 OR APPROVED EQUAL)

- M-9 INDICATES LOCATION OF DOOR SIGNAL DEVICE MOUNTED @ 48" A.F.F. AND CONNECTED TO PERMANENT WIRING.
- M-10 INDICATES LOCATION OF TYPE 2A10B/C WALL MOUNTED FIRE EXTINGUISHER (48" FROM FLOOR TO TOP OF FIRE EXTINGUISHER)

NOTES:

- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS, AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 118A.4 (CONTROLS AND OPERATING MECHANISMS).
 - CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES AND NO LOWER THAN 15 INCHES ABOVE THE FLOOR MEASURED TO THE CENTER OF THE GRIP.
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- WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING UNITS FROM EACH OTHER SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50. SECTION 1207.2 & 1207.5
- AN ACCESSIBLE ROUTE SHALL BE PROVIDED THROUGH ALL ROOMS AND SPACES OF THE DWELLING UNIT. ACCESS DOORS TO ALL ROOMS SHALL BE 32" CLEAR OPENINGS.
- ALL GROUND- FLOOR DWELLING UNITS IN NON ELEVATOR BUILDINGS SHALL BE ADAPTABLE.

LEGEND

- 1 DOOR NUMBER (SEE SCHEDULE SHIT. A1.0)
- A WINDOW NUMBER (SEE SCHEDULE SHIT. A1.0)

WALL LEGEND

- EXTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C. STUCCO FINISH EXTERIOR SURFACE w/ METAL LATH w/ 2 LAYERS OF GRADE 17 30 lb. BUILDING PAPER INSTALL R-14 INSUL. & 5/8" GYP. BD. ON INTERIOR SURFACE.
- DEMISING WALL (HOUR RATED): 2x6 WOOD STUDS @ 16" O.C. 5/8" TYPE 'X' GYP. BD. BOTH SIDES w/ R-13 INSULATION WALL FRAMING & FINISH TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR BEARING WALL: 2x4 WOOD STUDS @ 16" O.C. 5/8" GYP. BD. BOTH SIDES w/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR BEARING WALL: 2x6 WOOD STUDS @ 16" O.C. 5/8" GYP. BD. BOTH SIDES w/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF ROOF TRUSSES.
- INTERIOR PARTITION WALL: 2x6 WOOD STUDS @ 16" O.C. 5/8" GYP. BD. BOTH SIDES w/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF CEILING JOISTS.
- INTERIOR PARTITION WALL: 2x4 WOOD STUDS @ 16" O.C. 5/8" GYP. BD. BOTH SIDES w/ R-13 INSULATION WALL FRAMING TO EXTEND TO UNDERSIDE OF CEILING JOISTS.

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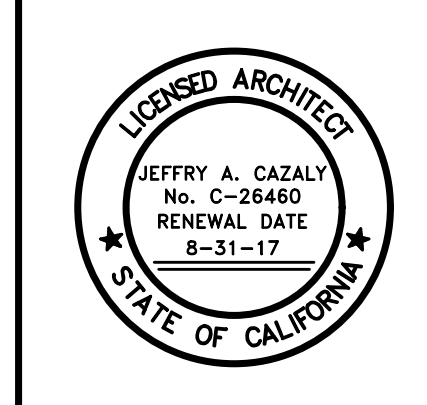
SHEET CONTENTS :
**UNIT A, B & C
FLOOR PLANS**

REVISION :

1 CITY OF FRESNO P.C. #1
BY RGS. 2/8/17

JOB NUMBER :

2016_011



Designed By: Scale: As noted
Drawn By: KCS
Checked By:
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A2.0