

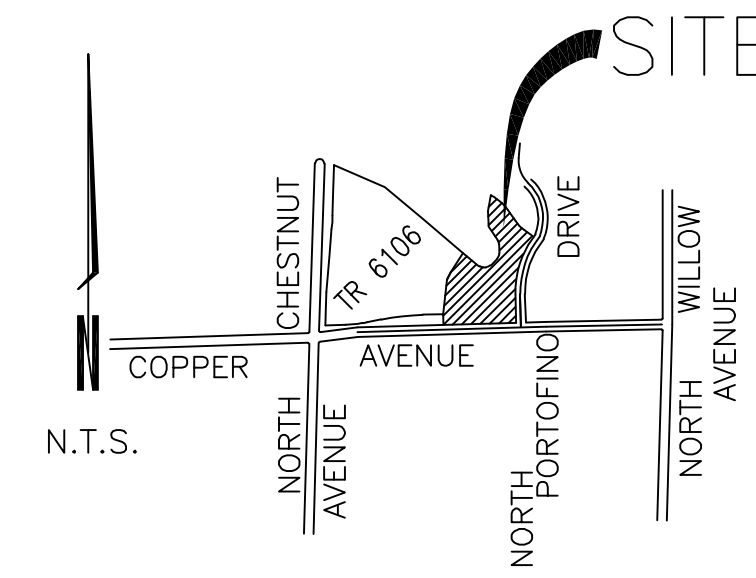
Exhibit A

TRACT NO. 6108
VOL. 88, PAGES 61 & 62
F.C.R.
RS-5/UGM/cz
RESIDENTIAL-MEDIUM DENSITY

APN NO. P22-03900 EXHIBIT A.1 DATE _____
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENGINEER BY _____ DATE _____
APPROVED BY _____ DATE _____
CITY OF FRESNO DARRM DEPT.

SITE PLAN

SHEET ONE OF TWO SHEETS
11045 N. PORTOFINO DRIVE
APN 579-390-06s & 62s
P22-03900



LEGEND:

- PROJECT LIMITS
- - - - EXISTING PROPERTY LINE TO REMAIN
- MPT & PE EXISTING MULTI-PURPOSE TRAIL & PEDESTRIAN EASEMENT
- - - - EXISTING PROPERTY LINE TO BE REMOVED BY LOT LINE ADJUSTMENT
- - - - PROPOSED PROPERTY LINE BY LOT LINE ADJUSTMENT
- - - - EXISTING CURB
- - - - EXISTING CURB & GUTTER
- - - - PROPOSED CURB
- ||||| FIRE LANE (PAINTED RED CURB WITH "FIRE LANE" IN 3" WHITE LETTERS EVERY 50 FEET MINIMUM)
- - - - PROPOSED MASONRY WALL
- - - - PROPOSED 6" WROUGHT IRON FENCE
- * PROPOSED PARKING LOT LIGHT
- - - - PHASE LINE
- EXISTING TRAIL
- PROPOSED CONCRETE
- ACCESSIBLE PATH OF TRAVEL
- △ FDC PROPOSED FIRE SERVICE WITH PIV/CHECK VALVE/FDC FROM 8" DOMESTIC/FIRE FM SERVICE
- FH PROPOSED FIRE HYDRANT LOCATION

NOTE:

EXISTING ZONING: RS-5
PROJECT SITE AREA:
GROSS AREA = 7.57 ACRES
NET AREA = 5.23 ACRES

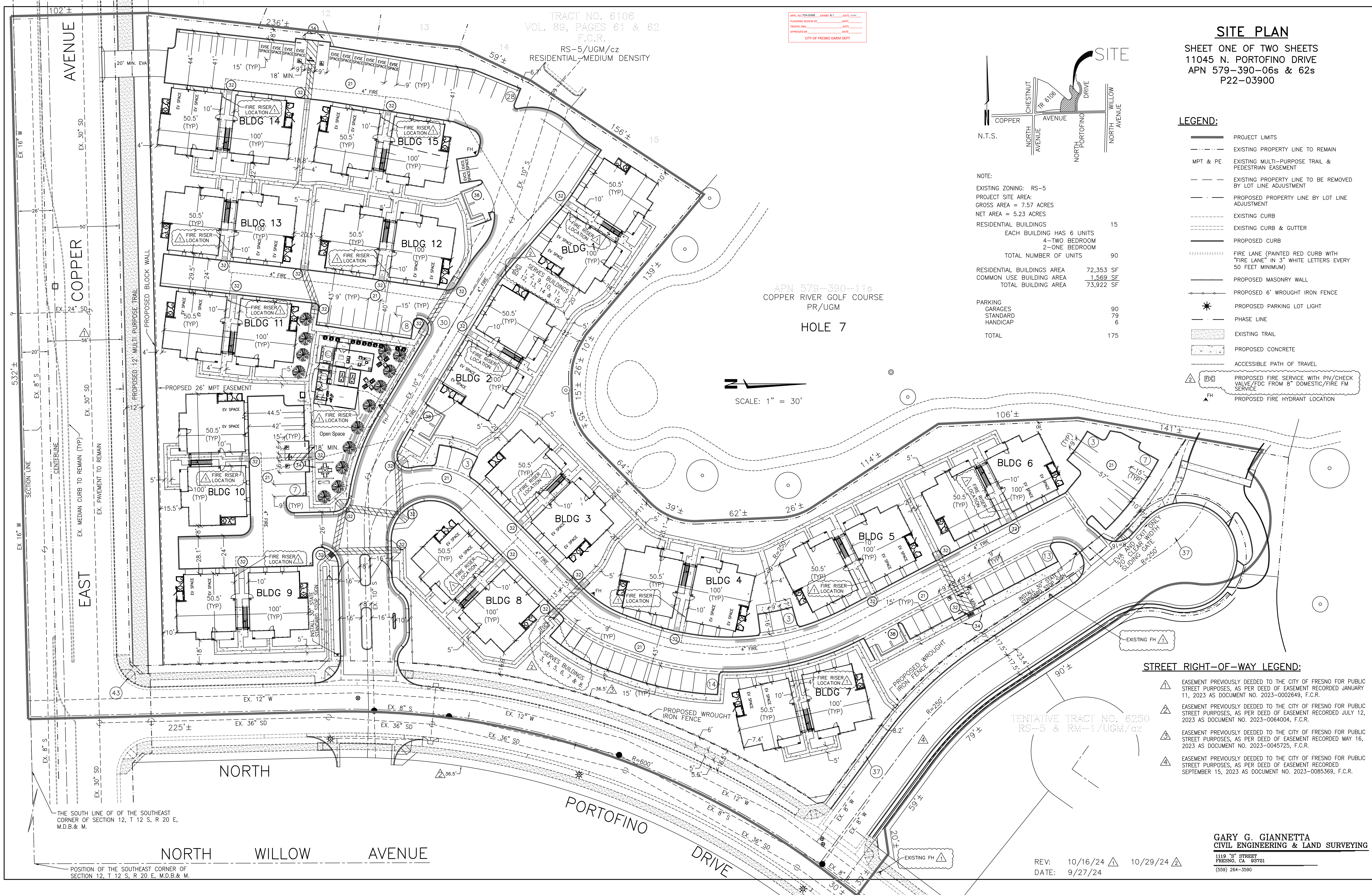
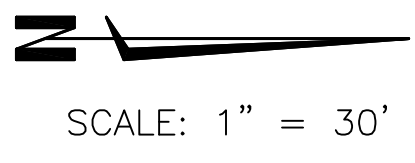
RESIDENTIAL BUILDINGS 15
EACH BUILDING HAS 6 UNITS
4-TWO BEDROOM
2-ONE BEDROOM
TOTAL NUMBER OF UNITS 90

RESIDENTIAL BUILDINGS AREA 72,353 SF
COMMON USE BUILDING AREA 1,569 SF
TOTAL BUILDING AREA 73,922 SF

PARKING GARAGES STANDARD HANDICAP 90
TOTAL 175

APN 579-390-11s
COPPER RIVER GOLF COURSE
PR/UGM

HOLE 7



STREET RIGHT-OF-WAY LEGEND:

- △ EASEMENT PREVIOUSLY DEEDED TO THE CITY OF FRESNO FOR PUBLIC STREET PURPOSES, AS PER DEED OF EASEMENT RECORDED JANUARY 11, 2023 AS DOCUMENT NO. 2023-0002649, F.C.R.
- △ EASEMENT PREVIOUSLY DEEDED TO THE CITY OF FRESNO FOR PUBLIC STREET PURPOSES, AS PER DEED OF EASEMENT RECORDED JULY 12, 2023 AS DOCUMENT NO. 2023-0064004, F.C.R.
- △ EASEMENT PREVIOUSLY DEEDED TO THE CITY OF FRESNO FOR PUBLIC STREET PURPOSES, AS PER DEED OF EASEMENT RECORDED MAY 16, 2023 AS DOCUMENT NO. 2023-0045725, F.C.R.
- △ EASEMENT PREVIOUSLY DEEDED TO THE CITY OF FRESNO FOR PUBLIC STREET PURPOSES, AS PER DEED OF EASEMENT RECORDED SEPTEMBER 15, 2023 AS DOCUMENT NO. 2023-0085369, F.C.R.

TENTATIVE TRACT NO. 6250
RS-5 & RM-1/UGM/cz

THE SOUTH LINE OF OF THE SOUTHEAST CORNER OF SECTION 12, T 12 S, R 20 E, M.D.B.& M.

POSITION OF THE SOUTHEAST CORNER OF SECTION 12, T 12 S, R 20 E, M.D.B.& M.

GARY G. GIANNETTA
CIVIL ENGINEERING & LAND SURVEYING
1119 "S" STREET
FRESNO, CA 93721
(559) 264-3590

REV: 10/16/24 △ 10/29/24 △
DATE: 9/27/24

NOTES:

- CONTACT SOLID WASTE DIVISION FOR APPOINTMENT TO ESTABLISH ACCESS AND IMPROVEMENTS REQUIRED AS CONDITIONS OF PROVIDING DISPOSAL SERVICE. 621-6888
- THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF ASPHALT CONCRETE ON ALL AREAS TO BE PAVED.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKING VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- ALL SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED AND IF DISTURBED, SHALL BE RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE SPECIFICATIONS AND TYPES OF LIGHTING FIXTURES TO BE INSTALLED ON THE SITE SHALL BE SUBMITTED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMITS. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE FRESNO POLICE DEPARTMENT. LIGHTING TO BE PLACED ON BUILDINGS.
- ALL SIGN PROPOSALS TO BE SUBMITTED TO PLANNING DEPARTMENT FOR SEPARATE SIGN REVIEW PRIOR TO INSTALLATION FOR VERIFICATION OF COMPLIANCE WITH ZONING ORDINANCES.
- WITHIN THIS PROPERTY, REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. WITHIN THIS PROPERTY, ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAX. CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
- TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
- ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION AT 621-5300 TO ARRANGE AND COORDINATE WORK.
- NO USES OF LAND, BUILDING OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- ALL TREES SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SUBMIT FOR A SEPARATE MASTER SIGN PROGRAM OR SIGN REVIEW APPLICATION. APPLICATIONS AND REQUIREMENTS FOR SUBMITTAL ARE AVAILABLE AT THE PLANNING DIVISION'S PUBLIC FRONT COUNTER.
- SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALK IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE SHOW METHOD OF CONVEYING ON-SITE STORM WATER TO STREET. DETAIL CATCH BASINS AND PIPE OR CHANNEL SIZES TO BE USED. PER PUBLIC WORKS STDS. P-22 & P-23.
- CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING @ 621-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- A BACKFLOW PREVENTION DEVICE IS REQUIRED: CONTACT WATER DIVISION AT 621-5300 FOR REQUIREMENTS; DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED TO INSTALL DEVICE; BACKFLOW PREVENTION DEVICES REQUIRED SHALL BE INSTALLED AT CONSUMER'S EXPENSE BY A QUALIFIED JOURNEYPerson PLUMBER CERTIFIED AS COMPETENT IN SUCH PURPOSES BY THE WATER SYSTEMS MANAGER; BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL; DEVELOPER IS RESPONSIBLE TO CONTACT THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT TO REQUEST FOR FINAL BUILDING INSPECTION.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444
- AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 24), AN UNOBSTRUCTED 4-FOOT MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK WITHIN THE LIMITS OF THE PROPERTY IS PROVIDED. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
- RAMP AND SIDE SLOPES SHALL BE ROUGH BROOM FINISH PARALLEL TO GROUING.
- EACH CURB RAMP SHALL HAVE A DETECTABLE WARNING DEVICE AS PER PW STD. DWGS. P-32.
- DESIGN AND CONSTRUCT PARKING LOT PAVEMENT TO PUBLIC WORKS STANDARDS P-21, P-22 AND P-23.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 15-2017 AND PUBLIC WORKS POLICY 260.01
- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS, TRASH AND RECYCLING, ETC.) MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPED AREAS, NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE BUILDINGS. ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- ALL PROPOSED FENCES, HEDGES AND WALLS, ETC. SHALL BE REVIEWED AND APPROVED PRIOR TO INSTALLATION BY THE CITY OF FRESNO, DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES. ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED "ALL WEATHER" SURFACE CAPABLE OF SUPPORTING 80,000 LB. VEHICLES (MINIMUM 4" OF BASE ROCK OVER COMPACTED OR UNDISTURBED SOIL OR PER APPROVED ENGINEERED PLANS) YEAR-ROUND AND WITH 24 FEET MINIMUM WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- PRIOR TO GRANTING OF FINAL OCCUPANCY, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAVE BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- WALKWAYS CONNECTING ACCESSIBLE ENTRANCES AND OTHER FEATURES CANNOT HAVE A CROSS SLOPE MORE THAN 5% IN THE DIRECTION OF TRAVEL NOR HAVE A CROSS SLOPE EXCEEDING 2%.

- TRUNCATED DOMES TO BE PLACED A LENGTH OF 3" MIN AND THE FULL WIDTH ON ALL ON-SITE CURB RAMPS.
- THE ACCESSIBLE PATH OF TRAVEL AS DELINEATED IS A BARRIER-FREE ROUTE 48" MINIMUM IN WIDTH WITH NO ABRUPT LEVEL CHANGES EXCEEDING 1/2" UNLESS BEVELED AT A 2:1 MAXIMUM SLOPE, AND NO VERTICAL LEVEL CHANGES EXCEEDING 1/4". THE CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL DOES NOT EXCEED 5%. THE SURFACE IS FIRM, STABLE AND SLIP RESISTANT. THE ACCESSIBLE PATH OF TRAVEL IS FREE OF OVERHANGING OBSTRUCTIONS BELOW 80" AND OBJECTS PROTRUDING GREATER THAN 4" FROM A WALL ABOVE 27" AND BELOW 80". THE ARCHITECT SHALL VERIFY EXISTING CONDITIONS AND DELINEATE ANY REQUIRED UPGRADES INCLUDING THOSE FOR CURB RAMPS PER CBC 1127B.5. THE ACCESSIBLE ROUTE TO THE PUBLIC SIDEWALK CAN BE A MAXIMUM OF 5% IN THE DIRECTION OF RUN WITH A 2% MAXIMUM CROSS SLOPE.
- ACCESSIBLE PARKING SIGN.
- ALL ACCESSIBLE UNLOADING SPACE AND ACCESSIBLE STALL AND MARKER SHALL ALL BE OUTLINES IN BLUE.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
- CONSTRUCT REFUSE CONTAINER ENCLOSURE PER CITY STD DWG P-33B
- THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/4" ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY INTO THE BUILDING.

FIRE DEPARTMENT NOTES:

- ALL TYPES OF VEHICLE ACCESS SHALL MAINTAIN A MINIMUM OF 13 FEET, 6 INCH VERTICAL CLEARANCE OVER THE ENTIRE WIDTH OF THE ACCESS. (FFD DEVELOPMENT POLICY 403.002)
- ALL SURFACE ROADS SHALL BE INSTALLED AND MAINTAINED IN A SERVICEABLE CONDITION PRIOR TO AN DURING ALL PHASES OF CONSTRUCTION. (FFD DEVELOPMENT POLICY 403.002)
- REGARDLESS OF THE PARKING CONFIGURATIONS, A MINIMUM CLEAR DRIVE WIDTH OF 20 FEET SHALL BE REQUIRED. (FFD DEVELOPMENT POLICY 403.002)
- PROVIDE SIGNS(17" x 22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY WHICH STATE "WARNING-VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE-22658(c) CALIFORNIA VEHICLE CODE-FRESNO POLICE DEPARTMENT-621-2300".
- THE MINIMUM SIZE OF ALL FIRE DEPARTMENT CONNECTIONS SHALL BE BASED UPON THE SYSTEM TYPE. NO CONNECTION SHALL BE LESS THAN 2 1/2" IN SIZE. (FFD DEVELOPMENT POLICY 405.025)
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR NEAREST POINT OF FIRE DEPARTMENT VEHICLE ACCESS OR AS OTHERWISE APPROVED BY THE FIRE CHIEF. 2016 CFC, SECTION 912.2.1
- TURNS IN PRIVATE DRIVES FOR FIRE APPARATUS ACCESS SHALL HAVE MINIMUM 44 FOOT CENTERLINE TURN RADIUS.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN FORTY (40) FEET OF A FIRE APPARATUS ACCESS LINE. (FFD DEVELOPMENT POLICY 405.025).

- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS OR FACING APPROVED FIRE APPARATUS ACCESS ROADS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET OR NEAREST POINT OF FIRE DEPARTMENT VEHICLE ACCESS OR AS OTHERWISE APPROVED BY THE FIRE CHIEF. 2022 CFC, SECTION 912.2.1
- PROVIDE A MINIMUM 36-INCH X 36-INCH ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL COMMERCIAL BUILDINGS. FFD POLICY NO. 405.003. RISER WILL BE ACCESSED THROUGH A DOOR.
- PROVIDE A KEY BOX IN AN APPROVED LOCATION FOR THE FIRE DEPARTMENT ACCESS TO THE FIRE SPRINKLER RISER WITH THE LOOKED ACCESS PANEL. 2022 FMC, SECTION 10-50506.
- APPROVAL OF FIRE SPRINKLER RISER WITH ACCESS PANEL IS SUBJECT TO FIELD INSPECTION. ACCESS TO THE CONTROL VALVE AND THE CHECK VALVE FOR SERVICE IS REQUIRED.
- ALL GATED RESIDENTIAL DEVELOPMENTS REQUIRE A "CLICK TO ENTER" SYSTEM. INSTALL A "CLICK TO ENTER" SYSTEM AT ALL ELECTRIFIED GATES AND PROVIDE AN APPROVED VISUAL RECOGNITION/FEATURE SIGN AT THE "CLICK TO ENTER" GATE LOCATIONS.
- AN APPROVED FIRE/POLICE PADLOCK SHALL BE INSTALLED ON GATES USED SOLELY FOR EMERGENCY VEHICLE ACCESS. FIRE/POLICE PADLOCKS MAY BE USED IN CONJUNCTION WITH OTHER APPROVED LOCKING DEVICES. PADLOCKS SHALL BE AN APPROVED CITY OF FRESNO BYPASS LOCK. (FFD DEVELOPMENT POLICY 403.002) FIRE/POLICE PADLOCKS MAY BE PURCHASED ONLY THROUGH SIERRA LOCK & GLASS, 1560 N. PALM AVENUE, FRESNO, CA 93728. (FFD DEVELOPMENT POLICY 403.004).

- UNLESS OTHERWISE APPROVED, ALL FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED WITH REMOTE POST INDICATOR VALVES AND FIRE DEPARTMENTS CONNECTIONS. PIVs AND FDC SHALL BE A MINIMUM OF 40 FEET AWAY FROM THE BUILDING SERVED, AND NOT MORE THAN 40 FEET FROM A FIRE DEPARTMENT ACCESS ROAD. FFD POLICY NOS. 405.003 AND 405.025.

SITE PLAN

SHEET TWO OF TWO SHEETS
11045 N. PORTOFINO DRIVE
APN 579-390-06s & 62s
P24-

LEGAL DESCRIPTION:

PARCEL C OF LOT LINE ADJUSTMENT NO. 2023-12, AS DOCUMENT NUMBER 2024-0048889, OF OFFICIAL RECORDS OF FRESNO COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS

PARCEL B OF LOT LINE ADJUSTMENT NO. 2018-26, AS DOCUMENT NUMBER 2018-0150918, OF OFFICIAL RECORDS OF FRESNO COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF PARCEL 7 OF PARCEL MAP NO. 3989, RECORDED IN BOOK 27 OF PARCEL MAPS, AT PAGES 95 AND 96, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 7; THENCE NORTH 01°53'03"EAST, ALONG THE WEST LINE OF SAID PARCEL 7, A DISTANCE OF 749.81 FEET; THENCE SOUTH 49°41'27"EAST, A DISTANCE OF 489.36 FEET; THENCE SOUTH 60°20'07"EAST, A DISTANCE OF 57.32 FEET; THENCE SOUTH 01°53'03"WEST, A DISTANCE OF 395.84 FEET TO THE SOUTH LINE OF SAID PARCEL 7; THENCE SOUTH 88°49'33"WEST ALONG SAID SOUTH LINE, A DISTANCE OF 434.75 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF SAID PARCEL 7 OF PARCEL MAP NO. 3989, DESCRIBED AS FOLLOWS:

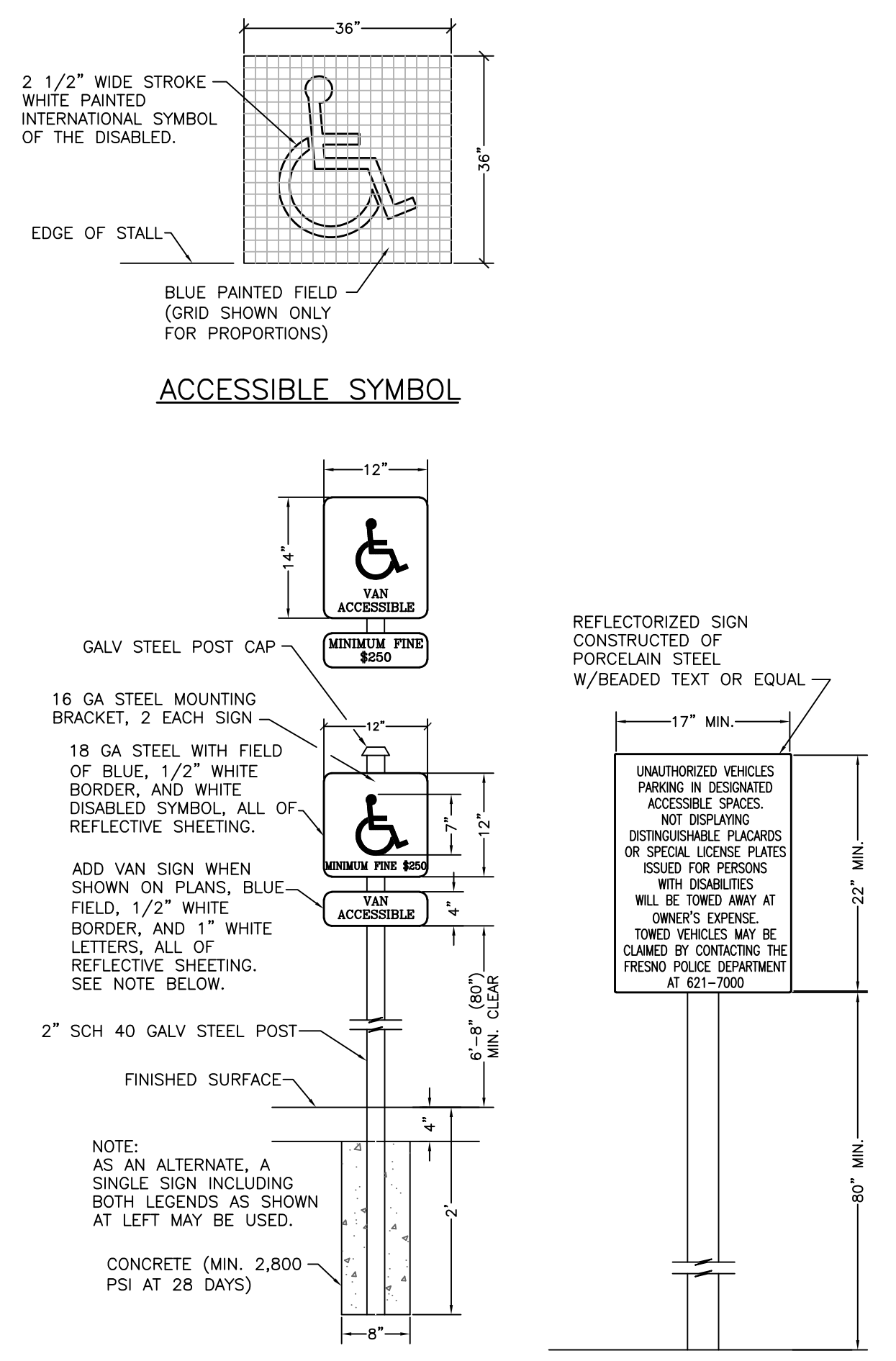
BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 7; THENCE NORTH 01°53'03"EAST ALONG THE WEST LINE OF SAID PARCEL 7, A DISTANCE OF 749.81 FEET TO THE SOUTHWEST CORNER OF PARCEL B OF LOT LINE ADJUSTMENT NO. 02-11, AS DESCRIBED IN CERTIFICATE OF COMPLIANCE, RECORDED JANUARY 5, 2004, AS DOCUMENT NO. 2004-0001910, FRESNO COUNTY RECORDS. THENCE SOUTH 49°41'27"EAST, A DISTANCE OF 352.97 FEET; THENCE SOUTH 33°41'29"WEST, A DISTANCE OF 115.03 FEET; THENCE SOUTH 28°38'59"WEST, A DISTANCE OF 59.00 FEET; THENCE SOUTH 06°10'20"WEST, A DISTANCE OF 235.38 FEET; THENCE SOUTH 01°10'27"EAST, A DISTANCE OF 102.00 FEET TO THE SOUTH LINE OF SAID PARCEL 7; THENCE SOUTH 88°49'33"WEST ALONG SAID SOUTH LINE, A DISTANCE OF 156.99 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THAT PORTION OF PARCEL 7 OF PARCEL MAP NO. 3989, RECORDED IN BOOK 27 OF PARCEL MAPS, AT PAGES 95 AND 96, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 7; THENCE NORTH 88°49'33"EAST, A DISTANCE OF 434.75 FEET; THENCE NORTH 01°53'03"EAST, A DISTANCE OF 395.84 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 79°06'22"EAST, A DISTANCE OF 20.40 FEET; THENCE NORTH 45°38'57"EAST, A DISTANCE OF 133.46 FEET; THENCE NORTH 02°14'50"WEST, A DISTANCE OF 80.09 FEET; THENCE NORTH 28°38'59"WEST, A DISTANCE OF 20.60 FEET; THENCE NORTH 33°55'06? WEST, A DISTANCE OF 145.44 FEET; THENCE SOUTH 02°17'21?EAST, A DISTANCE OF 19.43 FEET; THENCE SOUTH 33°15'50?EAST, A DISTANCE OF 113.25 FEET; THENCE SOUTHEASTERLY ALONG A TANGENT CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 31°01'00? A DISTANCE OF 27.07 FEET; THENCE SOUTH 02°14'50?EAST, A DISTANCE OF 82.46 FEET; THENCE SOUTHWESTERLY ALONG A TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 47°53'37? A DISTANCE OF 41.80 FEET; THENCE SOUTH 45°38'57?EAST, A DISTANCE OF 64.08 FEET; THENCE SOUTHWESTERLY ALONG A TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 43°10'26? A DISTANCE OF 37.68 FEET; THENCE SOUTH 02°14'50?EAST, A DISTANCE OF 15.44 FEET; THENCE WESTERLY ALONG A TANGENT CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 30°50'00? A DISTANCE OF 26.91 FEET; THENCE SOUTH 60°20'07?EAST A DISTANCE OF 47.38 FEET TO THE TRUE POINT OF BEGINNING.

ALSO TOGETHER WITH THAT PORTION OF PARCEL 6 AND PARCEL 7 OF PARCEL MAP NO. 3989, RECORDED IN BOOK 27 OF PARCEL MAPS, AT PAGES 95 AND 96, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 7; THENCE NORTH 88°49'33"EAST, A DISTANCE OF 434.75 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 01°53'03?EAST, A DISTANCE OF 395.84 FEET; THENCE NORTH 79°06'22?EAST, A DISTANCE OF 20.40 FEET; THENCE NORTH 45°38'57?EAST, A DISTANCE OF 133.46 FEET; THENCE NORTH 02°14'50?WEST, A DISTANCE OF 80.09 FEET; THENCE NORTH 28°38'59?WEST, A DISTANCE OF 20.60 FEET; THENCE NORTH 33°55'06? WEST, A DISTANCE OF 145.44 FEET; THENCE NORTH 02°17'21?EAST, A DISTANCE OF 85.83 FEET; THENCE NORTH 10°08'55?EAST, A DISTANCE OF 161.56 FEET; THENCE SOUTH 84°44'29?EAST, A DISTANCE OF 90.52 FEET; THENCE SOUTH 05°15'59?WEST, A DISTANCE OF 30.73 FEET; THENCE SOUTHERLY ALONG A NON-TANGENT CURVE, WHOSE RADIUS POINT BEARS SOUTH 59°19'7?WEST, HAVING A RADIUS OF 47.00 FEET, THROUGH A CENTRAL ANGLE OF 39°52'00? A DISTANCE OF 32.70 FEET; THENCE SOUTHEASTERLY ALONG A REVERSE CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 50.50 FEET, THROUGH A CENTRAL ANGLE OF 49°45'44? A DISTANCE OF 43.86 FEET; THENCE SOUTHEASTERLY ALONG A REVERSE CURVE, WHOSE RADIUS POINT BEARS SOUTH 49°25'53?WEST, HAVING A RADIUS OF 271.50 FEET, THROUGH A CENTRAL ANGLE OF 07°18'52? A DISTANCE OF 34.65 FEET; THENCE SOUTH 33°15'22?EAST, A DISTANCE OF 90.34 FEET; THENCE SOUTHEASTERLY ALONG A TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 228.50 FEET, THROUGH A CENTRAL ANGLE OF 20°06'05? A DISTANCE OF 80.17 FEET; THENCE SOUTH 53°21'16?EAST, A DISTANCE OF 110.81 FEET; THENCE SOUTH 37°19'02?EAST, A DISTANCE OF 25.65 FEET; THENCE SOUTHWESTERLY ALONG A TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 600.00 FEET, THROUGH A CENTRAL ANGLE OF 38°30'33? A DISTANCE OF 403.18 FEET; THENCE SOUTH 01°10'23?EAST, A DISTANCE OF 225.15 FEET; THENCE SOUTH 88°49'33?WEST, ALONG THE SOUTH LINE OF SAID PARCEL 6 AND PARCEL 7, A DISTANCE OF 251.36 FEET TO THE TRUE POINT OF BEGINNING.

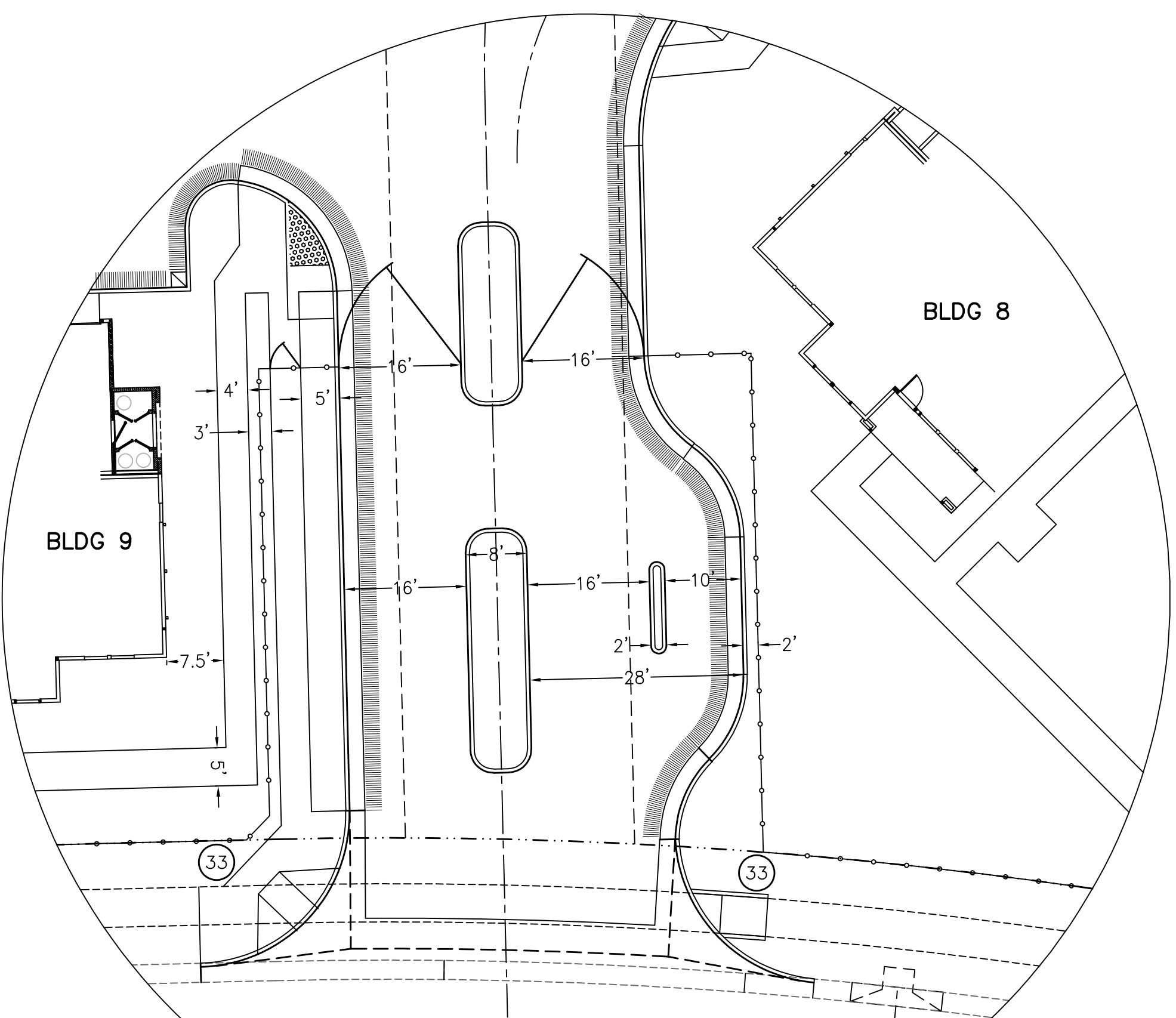
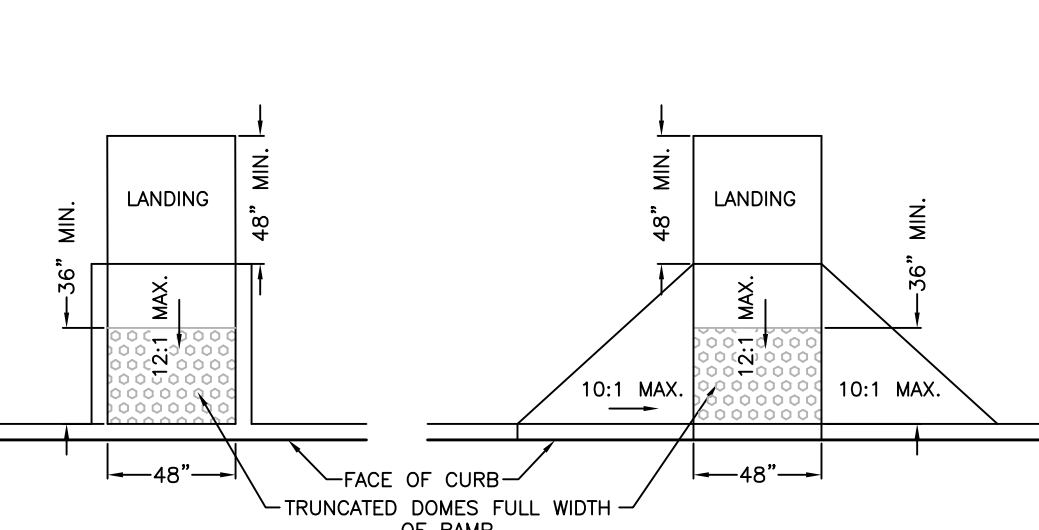


ACCESSIBLE PARKING SIGN

TOW AWAY SIGN

NOTE: AS AN ALTERNATE, A SINGLE SIGN INCLUDING BOTH LEGENDS AS SHOWN AT LEFT MAY BE USED.

SIGN TO BE INSTALLED AT EACH PARKING LOT ENTRANCE.



APPL. NO. P24-02488 EXHIBIT A-2 DATE 10/20/24
 PLANNING REVIEW BY _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
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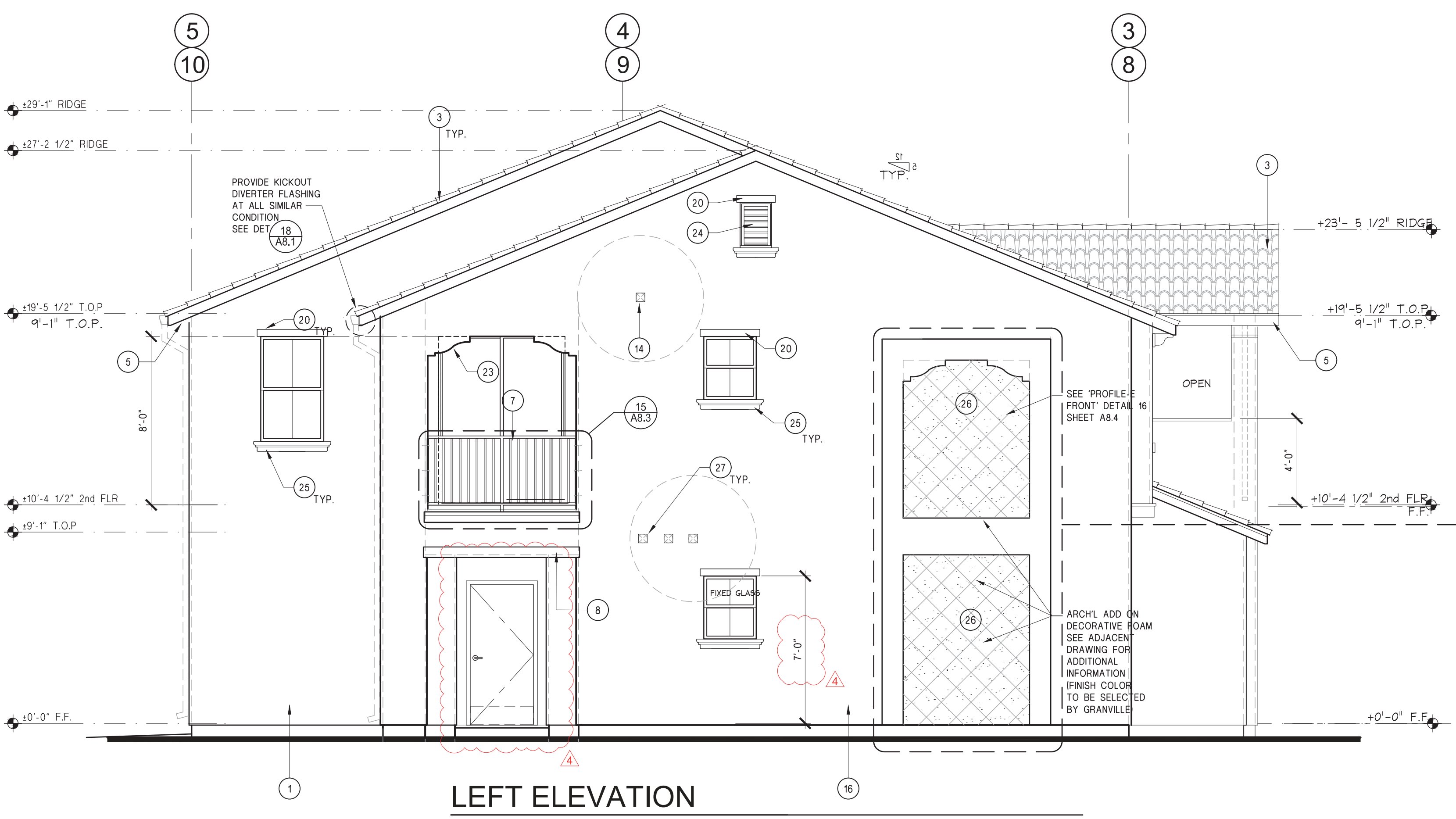
REV: 10/16/24
DATE: 9/27/24

GARY G. GIANNETTA
CIVIL ENGINEERING & LAND SURVEYING
1119 "S" STREET
FRESNO, CA 93721
(559) 264-3590

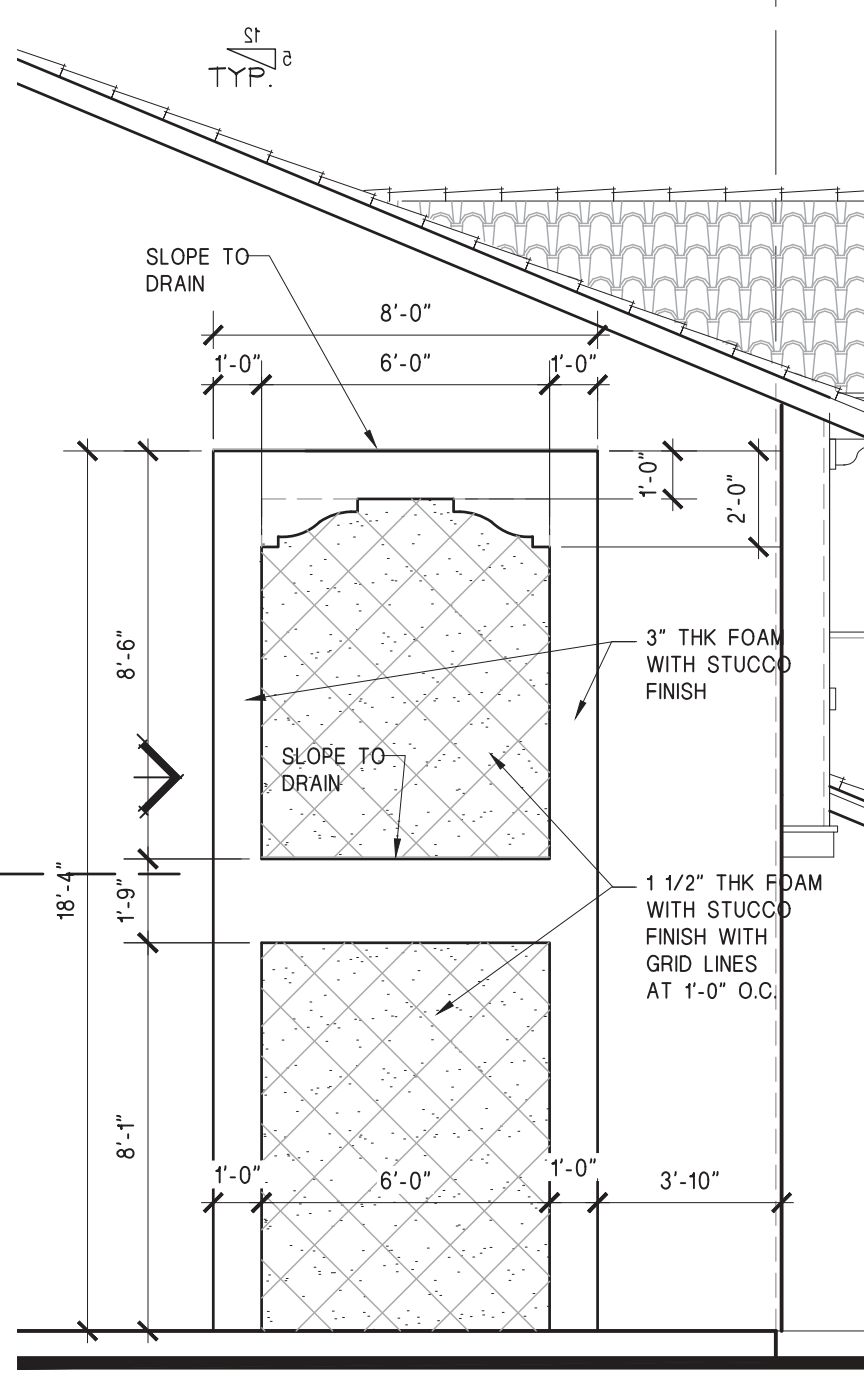
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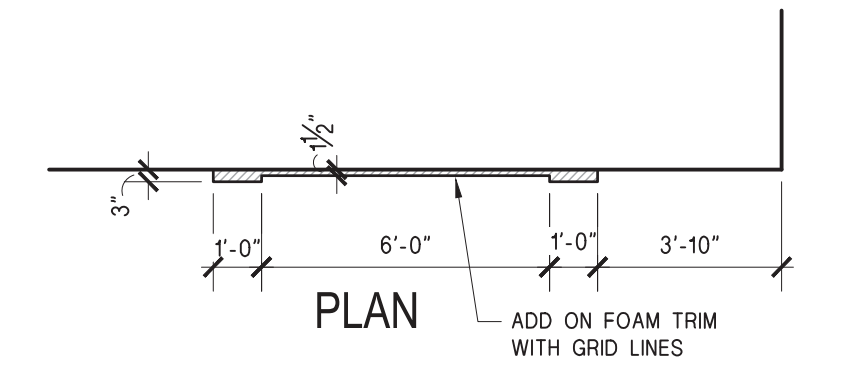
FRONT ELEVATION
 SCALE = 1/4"=1'-0"



LEFT ELEVATION
 SCALE = 1/4"=1'-0"



ELEVATION



PLAN

KEYNOTES

- 1 OMEGA DIAMOND WALL EXTERIOR STUCCO SYSTEM (SEE WALL ASSEMBLY DETAIL A2.0a & A2.3a)
- 2 CORROSION RESISTANT STUCCO CONTROL JOINT SCREED
- 3 CLASS "C" BARREL TYPE CONCRETE ROOF TILES w/ UNDERLAYMENT w/ PLYWOOD SHEATHING - SEE 'COOL ROOF' NOTE ON ROOF PLAN.
- 4 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH. SEE DETAIL 16/A8.4 PROFILE 'C'.
- 5 2x WD FASCIA BOARD. OWNER TO SELECT COLOR, SEE SECTIONS
- 6 DUAL GLAZED VINYL WINDOW - SEE WINDOW SCHEDULE
- 7 42" HIGH RECTANGULAR STEEL TUBE RAILING. SEE SHEET A8.3 FOR DETAILS. POWDER COATED FINISH (OWNER TO SELECT COLOR).
- 8 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DET. 16 SHT. A8.4 PROFILE 'A'
- 9 EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
- 10 DWELLING UNIT ADDRESS SIGN, NOT LESS THAN 4" IN HEIGHT AND 1/2 INCH STROKE, WITH CONTRASTING COLOR WITH BACKGROUND
- 11 STUCCO BOTTOM OF BALCONY
- 12 DOOR - SEE DOOR SCHEDULE
- 13 24 GA. GALV. SHEET METAL WALL CAP, TYPICAL - PAINT COLOR TO BE SELECTED BY OWNER
- 14 EXHAUST VENT STUBBED OUT TO EXTERIOR. KEEP 3' CLEAR OF ANY OPENINGS SEE MECH. DRAWINGS FOR ADD'L INFO
- 15 BALCONY WESTCOAT AL SYSTEM w/ SEAL GUARD w/ PLYWOOD SHEATHING SEE SHEET A8.4 FOR DETAILS
- 16 BOX COLUMN WITH STUCCO FINISH, SEE KEYNOTE #1
- 17 PREFINISHED RESIDENTIAL GUTTER AND DOWNSPOUT. COLOR TO BE SELECTED BY OWNER
- 18 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'D'.
- 19 ROUND CLUSTERED VENT FYPON TV20X19.75 - SEE DETAIL 18/A8.4
- 20 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'A'.
- 21 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'B'.
- 22 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'D'.

- 23 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'E'.
- 24 18"x24" 'FYPON' PAINTABLE DECORATIVE VERTICAL LOUVER. INSTALL PER MANUF. INSTRUCTION. SEE DET. - A7.2
- 25 FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'F'.
- 26 ADD ON FOAM TRIM w/ STUCCO SAND TEXTURE FINISH
- 27 INDICATES VENT METAL CAP - PROVIDE FLASHING 6" MIN ALL AROUND OPENING AND SEALANT BETWEEN FLASHING AND VENT METAL FLANGE, TYPICAL
- 28

- NOTES:**
1. SEE MECH, PLUMBING & ELEC UTILITIES AND ARCH A10 SITE PLAN FOR EXACT LOCATION OF UTILITIES AT BUILDINGS PER SITE LOCATION, COORDINATE WITH SITE SUPER.
 2. METAL STAIR CONTRACTOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR REVIEW BY OWNER, PRIOR TO STAIR FABRICATION.
 3. PROVIDE 6" MIN WALL FLASHING ALL AROUND WALL PENETRATION AND PROVIDE SEALANT BETWEEN FLASHING AND FLANGE OF ACCESS PANEL, VENT WALL CAPS, ELEC PANELS, HVAC CONDENSER LINES INTO THE BUILDING AND OTHER PANELS, U.O.N
 4. ARCHITECTURAL TRIM AND OTHER COMBUSTIBLE MATERIALS ON EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 1405.

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 Fresno, CA 93727

EXTERIOR ELEVATIONS



Revisions

BACKCHECK	06.13.2022
BACKCHECK II	08.12.2022
BACKCHECK III	08.29.2022
OWNER CHANGE	11.14.2022

Project #: 202006
 Date: 7/14/21
 Drawn: GV
 Checked:

Sheet Number

A5.0a

APPL. NO. P24-02488 EXHIBIT E-1 DATE 10/20/24
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 TRAFFIC ENG. _____ DATE _____
 APPROVED BY _____ DATE _____
 CITY OF FRESNO DARM DEPT

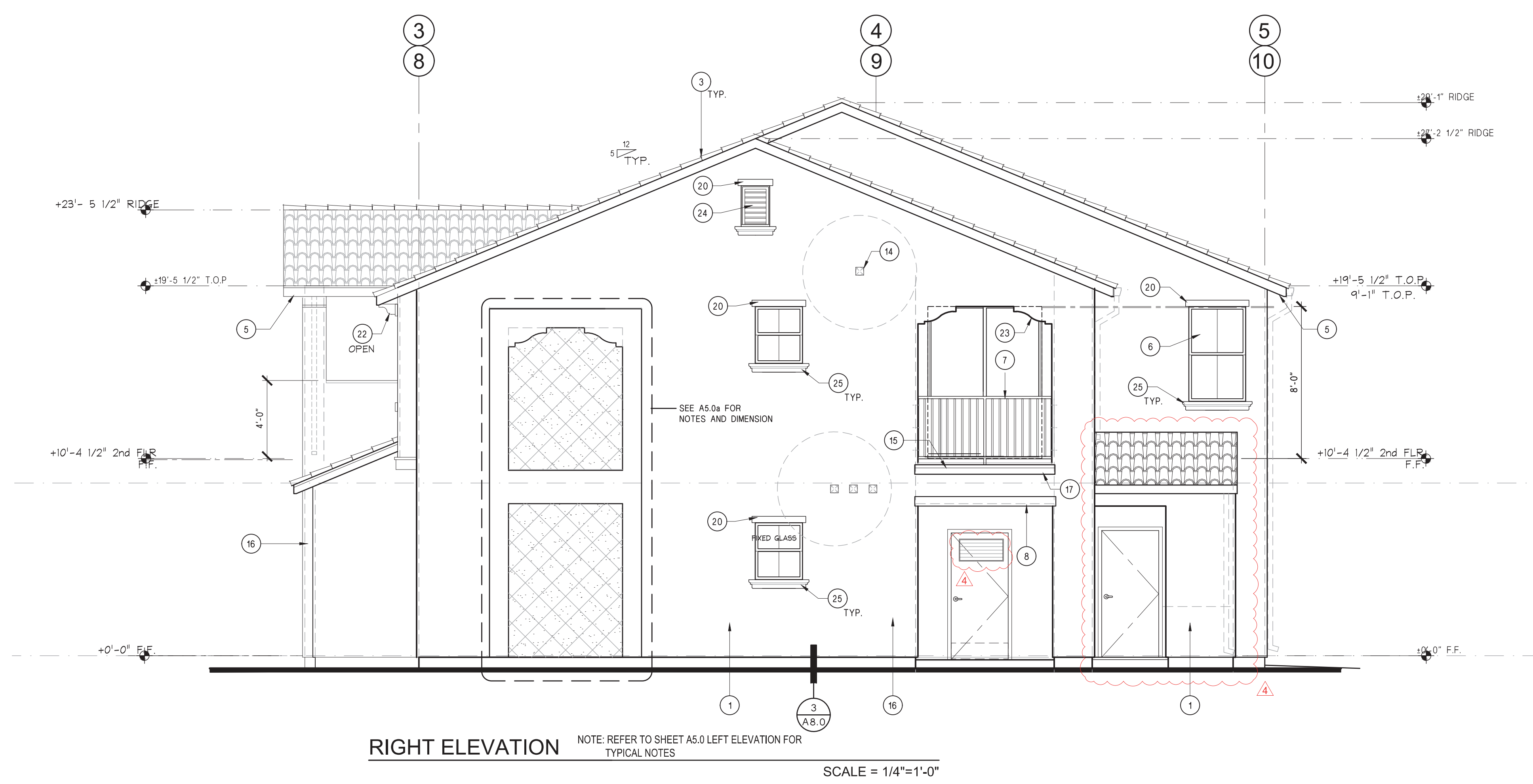
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REAR ELEVATION

SCALE = 1/4"=1'-0"

NOTE:
REFER TO SHT. A1.2 - ARCH'L SITE PLAN
FOR BUILDING NUMBER AND LOCATION



RIGHT ELEVATION

NOTE: REFER TO SHEET A5.0 LEFT ELEVATION FOR TYPICAL NOTES

SCALE = 1/4"=1'-0"

KEYNOTES	
1	OMEGA DIAMOND WALL EXTERIOR STUCCO SYSTEM (SEE WALL ASSEMBLY DET. SHEET A2.0a & A2.3a)
2	CORROSION RESISTANT STUCCO CONTROL JOINT SCREED
3	CLASS "C" BARREL TYPE CONCRETE ROOF TILES w/ UNDERLAYMENT w/ PLYWOOD SHEATHING - SEE "COOL ROOF" NOTE ON ROOF PLAN.
4	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH. SEE DETAIL 16/A8.4 PROFILE 'C'.
5	2x WD FASCIA BOARD. OWNER TO SELECT COLOR, SEE SECTIONS
6	DUAL GLAZED VINYL WINDOW - SEE WINDOW SCHEDULE
7	42" HIGH RECTANGULAR STEEL TUBE RAILING. SEE SHEET A8.3 FOR DETAILS. POWDER COATED FINISH (OWNER TO SELECT COLOR).
8	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DET. 16 SHT. A8.4 PROFILE 'A'
9	EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
10	DWELLING UNIT ADDRESS SIGN, NOT LESS THAN 4" IN HEIGHT AND 1/2 INCH STROKE, WITH CONTRASTING COLOR WITH BACKGROUND
11	STUCCO BOTTOM OF BALCONY
12	DOOR - SEE DOOR SCHEDULE
13	24 GA. GALV. SHEET METAL WALL CAP. TYPICAL - PAINT COLOR TO BE SELECTED BY OWNER
14	EXHAUST VENT STUBBED OUT TO EXTERIOR. KEEP 3' CLEAR OF ANY OPENINGS SEE MECH. DRAWINGS FOR ADD'L INFO
15	BALCONY WESTCOAT AL SYSTEM w/ SEAL GUARD w/ PLYWOOD SHEATHING SEE SHEET A8.4 FOR DETAILS
16	BOX COLUMN WITH STUCCO FINISH. SEE KEYNOTE #1
17	PREFINISHED RESIDENTIAL GUTTER AND DOWNSPOUT. COLOR TO BE SELECTED BY OWNER
18	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'D'.
19	ROUND CLUSTERED VENT FYPON TV20X19.75 - SEE DETAIL 18/A8.4
20	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'A1'.
21	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'B'.
22	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'D'.

23	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'E'.
24	18"x24" 'FYPON' PAINTABLE DECORATIVE VERTICAL LOUVER. INSTALL PER MANUF. INSTRUCTION. SEE DET. - A7.2
25	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'F'.
26	ADD ON FOAM TRIM w/ STUCCO SAND TEXTURE FINISH
27	INDICATES VENT METAL CAP - PROVIDE FLASHING 6" MIN ALL AROUND OPENING AND SEALANT BETWEEN FLASHING AND VENT METAL FLANGE, TYPICAL
28	

- NOTES:
- SEE MECH, PLUMBING & ELECT UTILITIES AND ARCH A1.0 SITE PLAN FOR EXACT LOCATION OF UTILITIES AT BUILDINGS PER SITE LOCATION, COORDINATE WITH SITE SUPER.
 - METAL STAIR CONTRACTOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR REVIEW BY OWNER, PRIOR TO STAIR FABRICATION.
 - PROVIDE 6" MIN WALL FLASHING ALL AROUND WALL PENETRATION AND PROVIDE SEALANT BETWEEN FLASHING AND FLANGE OF ACCESS PANEL. VENT WALL CAPS, ELEC PANELS, HVAC CONDENSER LINES INTO THE BUILDING AND OTHER PANELS, U.O.N
 - ARCHITECTURAL TRIM AND OTHER COMBUSTIBLE MATERIALS ON EXTERIOR WALLS SHALL COMPLY WITH CBC SECTION 1405.

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and OFFICE CENTI
6050 E. Princeton A
Fresno, CA 93727

EXTERIOR ELEVATIONS



Revisions	
⚠	BACKCHECK 08.13.2022
⚠	BACKCHECK II 08.12.2022
⚠	BACKCHECK III 08.29.2022
⚠	OWNER CHANGE 11.14.2022

Project #: 202006
Date: 7/14/21
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Sheet Number

A5.2a

APPL NO. P24-02488 EXHIBIT E-2 DATE 11/09/24
 PLANNING REVIEW BY _____ DATE _____
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EXTERIOR ELEVATIONS

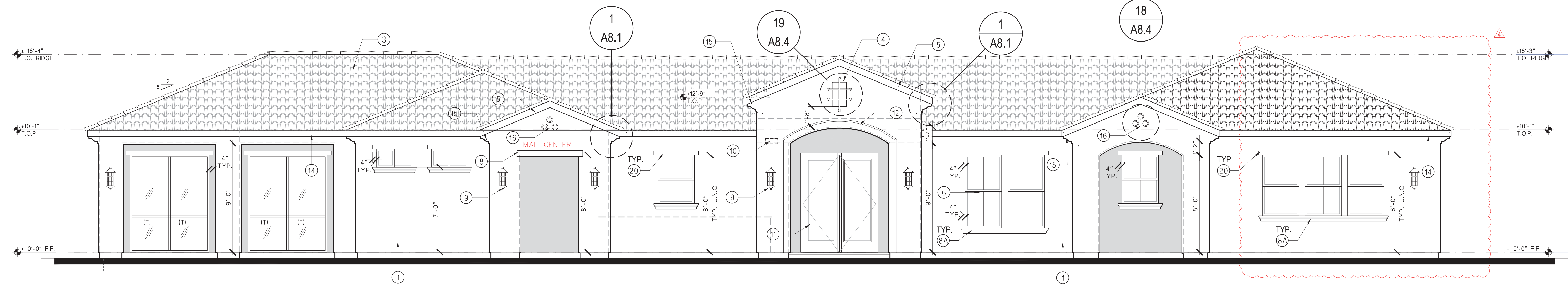


Revisions

⚠	BACKCHECK 06.13.2022
⚠	BACKCHECK II 08.12.2022
⚠	BACKCHECK III 08.29.2022
⚠	OWNER CHANGE 11.14.2022

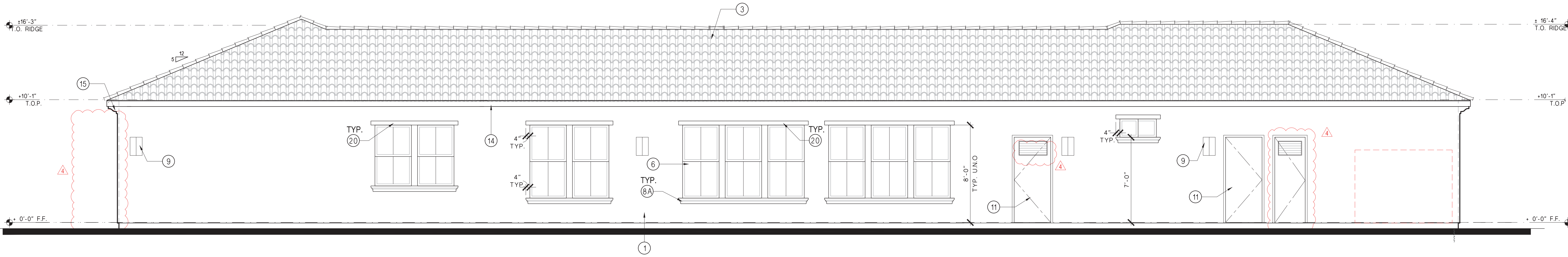
Project #: 202006
 Date: 7/14/21
 Drawn: GV
 Checked: -

Sheet Number
A5.0b

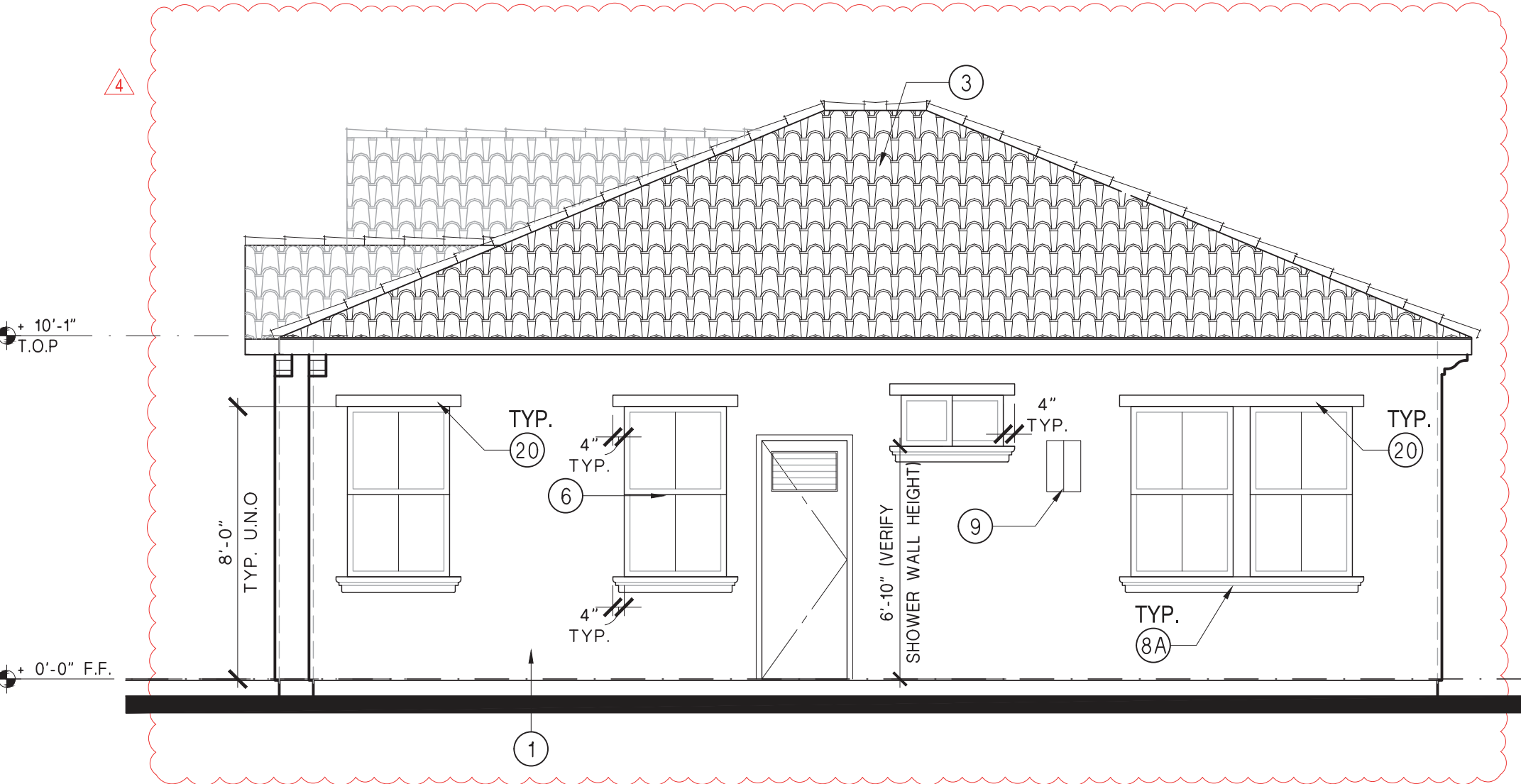


FRONT ELEVATION
 Scale: 1/4" = 1'-0"

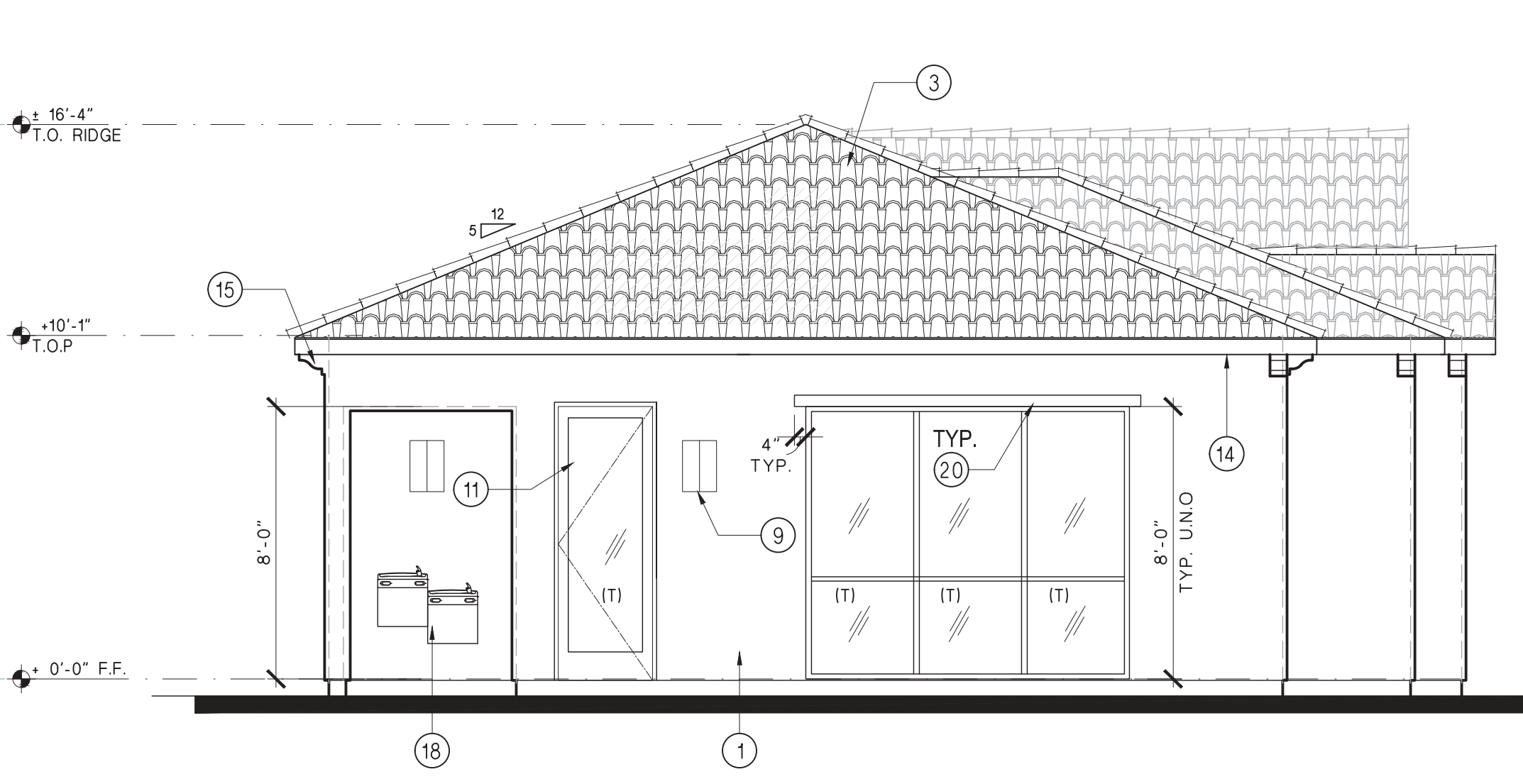
APPL. NO. P24-02488 EXHIBIT E-3 DATE 10/19/2024
 PLANNING REVIEW BY _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 APPROVED BY _____ DATE _____
 CITY OF FRESNO DARM DEPT



REAR ELEVATION
 Scale: 1/4" = 1'-0"



RIGHT ELEVATION
 Scale: 1/4" = 1'-0"



LEFT ELEVATION
 Scale: 1/4" = 1'-0"

18	HI-LO DRINKING FOUNTAIN. SEE PLUMBING DWG. AND DETAIL 10/A8.7
19	NOT USED
20	FOAM TRIM w/ STUCCO SAND TEXTURE FINISH - SEE DETAIL 16/A8.4 PROFILE 'A'.
21	NOT USED
22	EXHAUST VENT STUBBED OUT TO EXTERIOR. KEEP 3' CLEAR OF ANY OPENINGS SEE MECH. DRAWINGS FOR ADD'L INFO

KEYNOTES

1	COAT STUCCO SYSTEM REFER TO WALL ASSEMBLY - SHEET A2.0b
2	CORROSION RESISTANT STUCCO CONTROL JOINT SCREED
3	CLASS "C" BARREL TYPE CONCRETE ROOF TILES w/ UNDERLAYMENT o/ PLYWOOD SHEATHING
4	WROUGHT IRON ACCENT GRILLE
5	2x WD FASCIA BOARD, OWNER TO SELECT COLOR, SEE SECTIONS
6	DUAL GLAZED VINYL WINDOW - SEE WINDOW SCHEDULE ON SHEET A7.0
7	NOT USED
8	INDICATES FOAM TRIM W/ STUCCO SAND TEXTURE FINISH - SEE DET. 16 SHT. A8.4 PROFILE 'A'
8A	FOAM TRIM W/ STUCCO SAND TEXTURE FINISH - SEE DET. 16 SHT. A8.4 PROFILE 'F'
9	EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
10	ADDRESS SIGN, NOT LESS THAN 4" IN HEIGHT AND 1/2 INCH STROKE, WITH CONTRASTING COLOR WITH BACKGROUND
11	DOOR - SEE DOOR SCHEDULE SHEET A7.0
12	FOAM TRIM W/ STUCCO SAND TEXTURE FINISH - SEE DET. 16 SHT. A8.4 PROFILE 'C'
13	NOT USED
14	PREFINISHED RESIDENTIAL GUTTER AND DOWNSPOUT. COLOR TO BE SELECTED BY OWNER
15	FOAM TRIM W/ STUCCO FINISH - SEE DETAIL 16/A8.4 PROFILE 'D'.
16	FYPON TILE VENT TV20X19.75X3 THREE FULL ROUND SMOOTH - DETAIL 18/A8.4
17	NOT USED

SYMBOLS LEGEND

⊗	WALL TAG, SEE WALL ASSEMBLIES ON THIS SHT.
⊞	DOOR TAG, SEE DOOR SCHEDULE
⊗	WINDOW TAG, SEE WINDOW SCHEDULE
⊗	KEYNOTE TAG, SEE THIS SHT.
⊞	INTERIOR ELEVATION TAG, SEE INTERIOR ELEVATION
(T)	INDICATES TEMPERED GLASS

NOTE:
 1. SEE MECHANICAL, PLUMBING, ELECTRICAL, UTILITY PLAN AND ARCHITECTURAL SITE PLAN FOR LOCATION OF UTILITIES AT BUILDINGS PER SITE LOCATION, COORDINATE WITH SITE SUPER.

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 6050 E. Princeton Avenue
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FLOOR PLAN
 1/18/2023

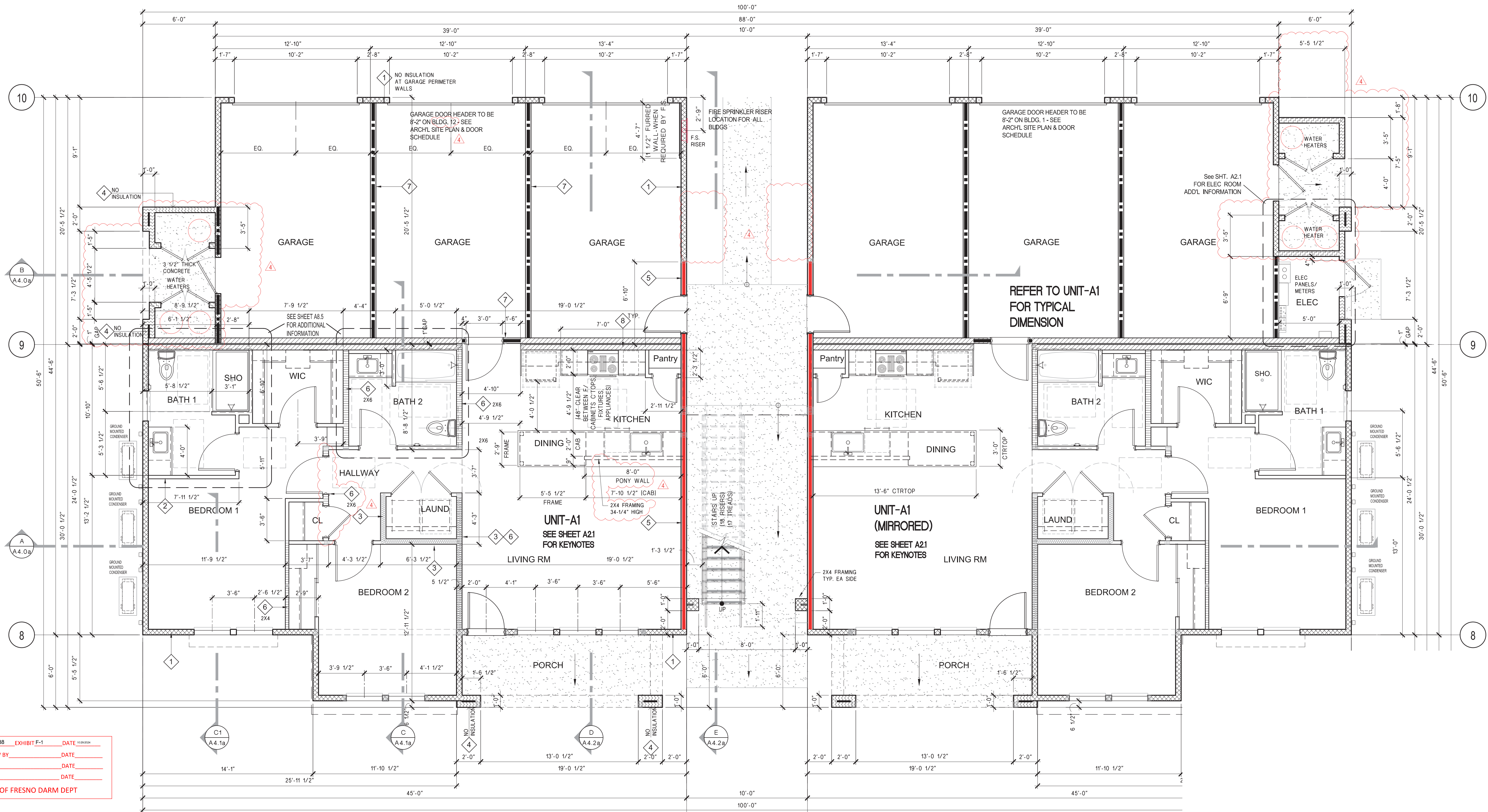
Revisions

BACKCHECK I	08.13.2022
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BACKCHECK III	08.29.2022
OWNER CHANGE	11.14.2022

Project #: 202006
 Date: 7/14/21
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 Checked: -

Sheet Number

A2.0a



1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTE
 REFER TO SITE UTILITY PLAN FOR
 GAS METER, SPRINKLER RISER AND
 ELECTRICAL METER LOCATIONS

APPL. NO. P24-02488 EXHIBIT F-1 DATE 11/20/24

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

WALL / FLOOR ASSEMBLIES

1	EXTERIOR WALL: NON-RATED "OMEGA DIAMOND WALL SYSTEM ESR-1914" EXTERIOR WALL: 2 x 6 WOOD STUD @ 24" O.C. EXTERIOR FINISH: 1/2" TYPE 'X' GYPSUM SHEATHING PER STRUCTURAL DRAWINGS. A WATER RESISTIVE BARRIER OF (2) LAYERS OF GRADE 'T' KRAFT BLDG PAPER FOLLOWED BY ONE INCH TONGUE & GROOVE EPS BD WITH NOMINAL DENSITY OF 15 POUNDS PER CU. FT. ATTACHED TO WOOD STUDS & PERIMETER FRAMING USING GALV. STAPLES, ROOFING NAILS OR SCREW. VERT. BUTT JOINTS MUST BE STAGGERED AT LEAST ONE STUD SPACE AND MUST OCCUR OVER STUDS. FOLLOWED BY THE LATH MIN. 20 GAGE 1/2" GALV. STL. WOVEN WIRE FABRIC MUST BE FASTENED THROUGH INSULATION TO THE STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STAPLES HAVING 15/16" CROWNS. FASTENERS SPACED 6" O.C. THE DIAMOND WALL MIXTURE IS THEN APPLIED TO THE LATH BY HAND OR TROWELING OR MACHINE SPRAY IN TWO COATS AT A MIN. THK OF 3/8" INCH.
2	INTERIOR WALL: NON-LOAD BEARING 2 x 4 WOOD STUD @ 16" O.C. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES.

3	INTERIOR WALL: 2 x 6 WOOD STUD @ 16" O.C. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES w/ FULLY BLOWN-IN SOUND INSULATION
4	EXTERIOR WALL: NON-RATED EXTERIOR FACE: 1/2" TYPE 'X' GYP. BD APPLIED HORIZ. OR VERT. TO INTERIOR FACE OF 2x6 WOOD STUDS @ 24" O.C. MAX. FASTEN TO STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STL. WOVEN WIRE FABRIC MUST BE FASTENED THROUGH INSULATION TO THE STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STAPLES HAVING 15/16" CROWNS. FASTENERS SPACED 6" O.C. THE DIAMOND WALL MIXTURE IS THEN APPLIED TO THE LATH BY HAND OR TROWELING OR MACHINE SPRAY IN ONE OR TWO COATS AT A MIN. THK OF 3/8" INCH.
5	EXTERIOR WALL: FINISH (H4 TRAFFIC ASSEMBLY) ONE LAYER 5/8" TYPE 'X' GYP. BD APPLIED HORIZ. OR VERT. TO INTERIOR FACE OF 2x6 WOOD STUDS @ 24" O.C. MAX. FASTEN TO STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STL. WOVEN WIRE FABRIC MUST BE FASTENED THROUGH INSULATION TO THE STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STAPLES HAVING 15/16" CROWNS. FASTENERS SPACED 6" O.C. THE DIAMOND WALL MIXTURE IS THEN APPLIED TO THE LATH BY HAND OR TROWELING OR MACHINE SPRAY IN ONE OR TWO COATS AT A MIN. THK OF 3/8" INCH.

6	INTERIOR WALL: LOAD BEARING 2 x WOOD STUD @ 16" O.C. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES.
7	GARAGE WALL: SEE STRUCTURAL FOR BEARING OR NON-LOADING. 1 HOUR RATED WALL OR FILE NO. WP-3914 ONE LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x4 USING 2x4 WOOD STUDS 16" O.C. WITH 1 1/4" TYPE 'W' DRYWALL SCREWS 12" O.C.
8	WALLS & INTERIOR PARTITION 1 HOUR RATED WALL - LOAD BEARING OR FILE NO. WP-3270 / NSC-W04 SOUND TEST: MFC-11-93-266 (SIC 56)
9	ONE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF DOUBLE ROW OF 2 x 6 WOOD STUDS AT 16" O.C. ON SEPARATE PLATES 1" APART WITH 60 COATED NAILS, 1 1/2" LONG (10/16" SHANK, 1/4" HEADS). JOINTS STAGGERED 16" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID-HEIGHT LOAD BEARING. PROVIDE R-24 FULLY BLOWN INSULATION.

10	NOTE: (AT SECOND FLOOR AND CLUBHOUSE/WAGERS/UNIT ONLY) PER OWNER'S INSTRUCTIONS (NOT REQUIRED IN THE ASSEMBLY) INSTALL ADDITIONAL 1/2" GYPSUM BOARD OVER 5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES OF PARTITION WALL FROM FLOOR TO TOP PLATE. ALTERNATE TO GYPSUM BOARD USE FLAME BLOCK SHEATHING PER ICC-ESR 1365
11	FURRED WALL PER OWNER'S INSTRUCTION 2 x 4 WOOD STUD @ 16" O.C. WITH 1/2" GYPSUM BD OVER ASSEMBLY WALL 18"
12	1 HOUR RATED CEILING / FLOOR ASSEMBLY (LIVING, DINING, KITCHEN, BATHROOMS & HALLWAYS) 1 HOUR RATED CEILING / FLOOR ASSEMBLY F060-D-41 THE FIN. FLOOR SHALL CONSIST OF PVC OR IGARMEAN INTERNATIONAL FLOORING OF 1/8" QUIET CHOICE UNDERLAMENT OVER: • IF ABOVE LIVING SPACE: 3/4" MAXIMUM GYP-CRETE OF 3/8" "ACUSTIMAT" • IF ABOVE GARAGE: 1" MAXIMUM GYP-CRETE

13	BASE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD APPLIED AT TO THE BOTTOM OF FLANGE w/ 1 1/2" TYPE 'W' SCREWS AT 12" O.C. THE END JOINTS OF THE WALLBOARD SHALL BE CENTERED ON THE RESIDENT CHANNELS.
14	FACE LAYER 5/8" TYPE 'X' IS SCREW ATTACHED TO CHANNELS THROUGH FIRST LAYER USING 2 1/4" TYPE 'W' SCREWS SPACED 24" O.C. ADDITIONALLY, FACE LAYER IS ATTACHED TO THE BASE LAYER WITH 1 1/2" TYPE 'G' SCREWS SPACED 8" O.C. AND 6" FROM EACH END JOINT. THE LONGITUDINAL JOINTS OF THE FACE LAYER OF WALLBOARD SHALL BE OFFSET 24" FROM THOSE OF THE BASE LAYER. THE END JOINTS OF THE FACE LAYER SHALL BE CENTERED BETWEEN THE RESIDENT CHANNEL (R-19 INSULATION MIN. FOR SOUND).
15	1 HOUR RATED CEILING / FLOOR ASSEMBLY (BEDROOMS ONLY) 1 HOUR RATED CEILING / FLOOR ASSEMBLY F060-D-41 THE FIN. FLOOR SHALL CONSIST OF CARPET AND PADDING OVER: • IF ABOVE LIVING SPACE: 3/4" MAXIMUM GYP-CRETE OF 3/8" "ACUSTIMAT" • IF ABOVE GARAGE: 1" MAXIMUM GYP-CRETE
16	OVER MINIMUM 3/4" INCH THICK TONGUE & GROOVE SUB-FLOOR SHEATHING (SEE DET. 10 & 19/SHT. A88) SHEATHING SHALL BE GLED ON TOP OF FLOOR JOISTS SPACED AT 16" O.C. THE SHEETS SHALL BE INSTALLED WITH THEIR LONG EDGE PERPENDICULAR TO THE JOISTS WITH END JOINTS CENTERED OVER THE TOP FLANGE OF JOISTS AND STAGGERED ONE JOIST SPACING WITH ADJACENT SHEETS
17	MIN. 9 1/2 INCH DEEP 1" WOOD JOIST SPACED A MAX. OF 24" O.C. JOISTS MIN. FLANGE DIMENSION ARE 1 1/2" AND FLANGE AREA 2 1/4 IN ² . MIN. WEB THICKNESS 3/8"
18	RESIDENT CHANNELS ATTACHED PERPENDICULAR TO THE BOTTOM FLANGE OF THE JOISTS WITH ONE 1 1/2" TYPE 'S' DRYWALL SCREW CHANNELS ARE SPACED A MAX. OF 16" O.C. WHEN INSULATION IS FITTED IN THE CONCEALED SPACE.
19	BASE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD APPLIED AT TO THE BOTTOM OF FLANGE w/ 1 1/2" TYPE 'W' SCREWS AT 12" O.C. THE END JOINTS OF THE WALLBOARD SHALL BE CENTERED ON THE RESIDENT CHANNELS.

20	FACE LAYER 5/8" TYPE 'X' IS SCREW ATTACHED TO CHANNELS THROUGH FIRST LAYER USING 2 1/4" TYPE 'W' SCREWS SPACED 24" O.C. ADDITIONALLY, FACE LAYER IS ATTACHED TO THE BASE LAYER WITH 1 1/2" TYPE 'G' SCREWS SPACED 8" O.C. AND 6" FROM EACH END JOINT. THE LONGITUDINAL JOINTS OF THE FACE LAYER OF WALLBOARD SHALL BE OFFSET 24" FROM THOSE OF THE BASE LAYER. THE END JOINTS OF THE FACE LAYER SHALL BE CENTERED BETWEEN THE RESIDENT CHANNEL (R-19 INSULATION MIN. FOR SOUND).
21	1 HOUR RATED CEILING / FLOOR ASSEMBLY (BEDROOMS ONLY) 1 HOUR RATED CEILING / FLOOR ASSEMBLY F060-D-41 THE FIN. FLOOR SHALL CONSIST OF CARPET AND PADDING OVER: • IF ABOVE LIVING SPACE: 3/4" MAXIMUM GYP-CRETE OF 3/8" "ACUSTIMAT" • IF ABOVE GARAGE: 1" MAXIMUM GYP-CRETE
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23	MIN. 9 1/2 INCH DEEP 1" WOOD JOIST SPACED A MAX. OF 24" O.C. JOISTS MIN. FLANGE DIMENSION ARE 1 1/2" AND FLANGE AREA 2 1/4 IN ² . MIN. WEB THICKNESS 3/8"
24	RESIDENT CHANNELS ATTACHED PERPENDICULAR TO THE BOTTOM FLANGE OF THE JOISTS WITH ONE 1 1/2" TYPE 'S' DRYWALL SCREW CHANNELS ARE SPACED A MAX. OF 16" O.C. WHEN INSULATION IS FITTED IN THE CONCEALED SPACE.
25	BASE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD APPLIED AT TO THE BOTTOM OF FLANGE w/ 1 1/2" TYPE 'W' SCREWS AT 12" O.C. THE END JOINTS OF THE WALLBOARD SHALL BE CENTERED ON THE RESIDENT CHANNELS.

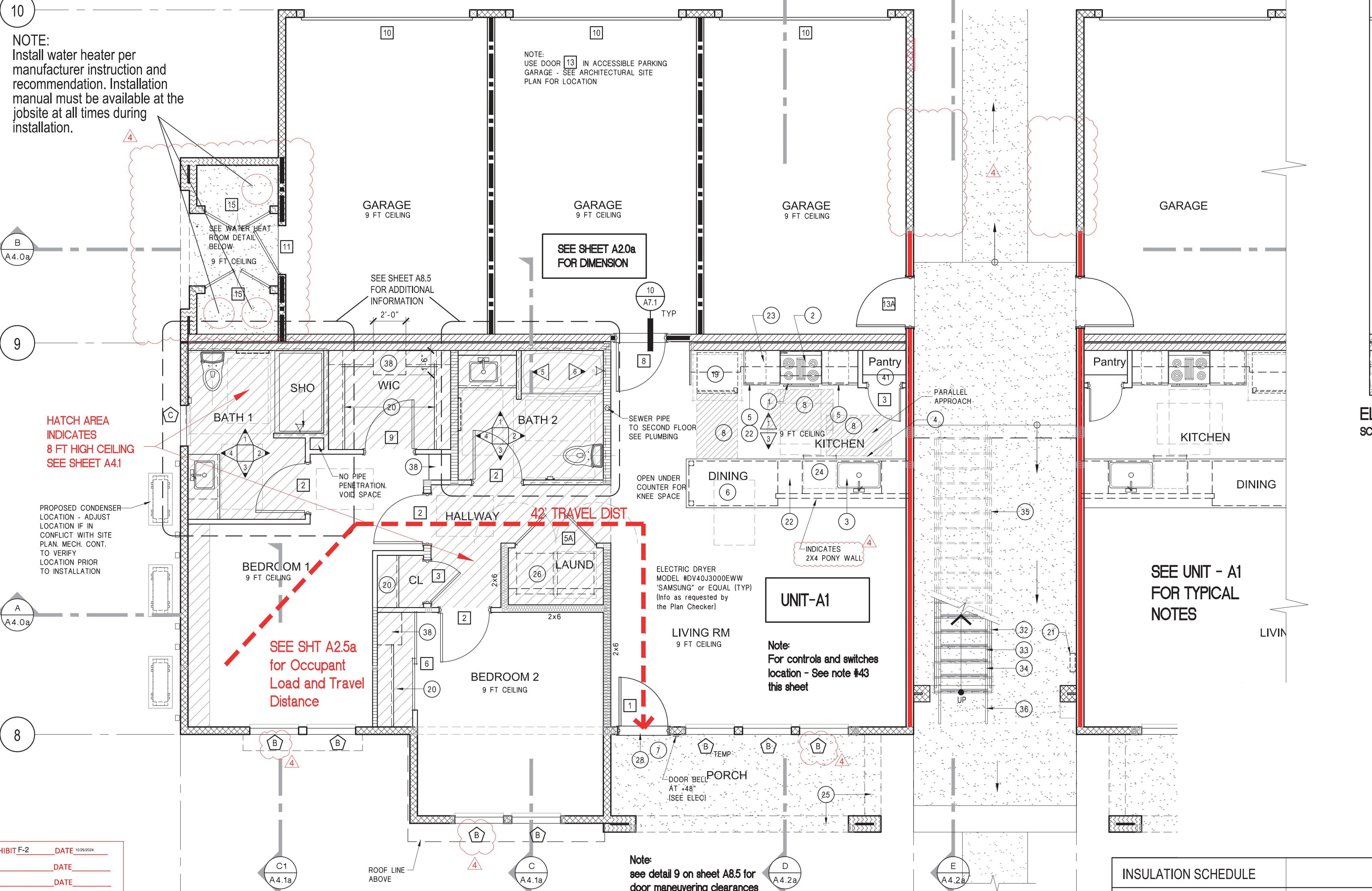
FIRE RESISTANCE REQUIREMENTS	
EXTERIOR WALLS	NON-RATED
INTERIOR BEARING WALLS	NON-RATED
INTERIOR NON-BEARING WALLS	NON-RATED
FLOOR/CEILING ASSEMBLY	1-HOUR RATED
ROOF/CEILING ASSEMBLY	NON-RATED
UNIT PARTITION WALLS	1-HOUR RATED
REFER TO WALL/FLOOR ASSEMBLYS FOR ADDITIONAL INFORMATION	
INSULATION SCHEDULE	
EXTERIOR WALLS	R-24 BLOWN
CEILING/FLOOR ASSEMBLY BETWEEN OCCUPANCIES	BLOWN FULL
ROOF INSULATION	R-38 MIN. BLOWN
PARTY WALL	BLOWN FULL
2X6 INTERIOR WALLS	R-19 BLOWN
2X4 INTERIOR WALLS	R-13 BLOWN

SYMBOLS LEGEND	
(X)	WALL TAG, SEE WALL ASSEMBLYS ON THIS SHT.
(D)	DOOR TAG, SEE DOOR SCHEDULE
(W)	WINDOW TAG, SEE WINDOW SCHEDULE
(K)	KEYNOTE TAG, SEE THIS SHT.
(E)	INTERIOR ELEVATION TAG, SEE INTERIOR ELEVATION
(T)	INDICATES TEMPERED GLASS

Note:
Refer to structural plans for floor surface in private garages. The floor shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.

NOTE:
Install water heater per manufacturer instruction and recommendation. Installation manual must be available at the jobsite at all times during installation.

NOTE:
USE DOOR 13 IN ACCESSIBLE PARKING GARAGE - SEE ARCHITECTURAL SITE PLAN FOR LOCATION



1ST FLOOR NOTED PLAN

SCALE: 1/4"=1'-0"

ELECTRICAL ROOM (RIGHT SIDE OF BLDG)
SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND

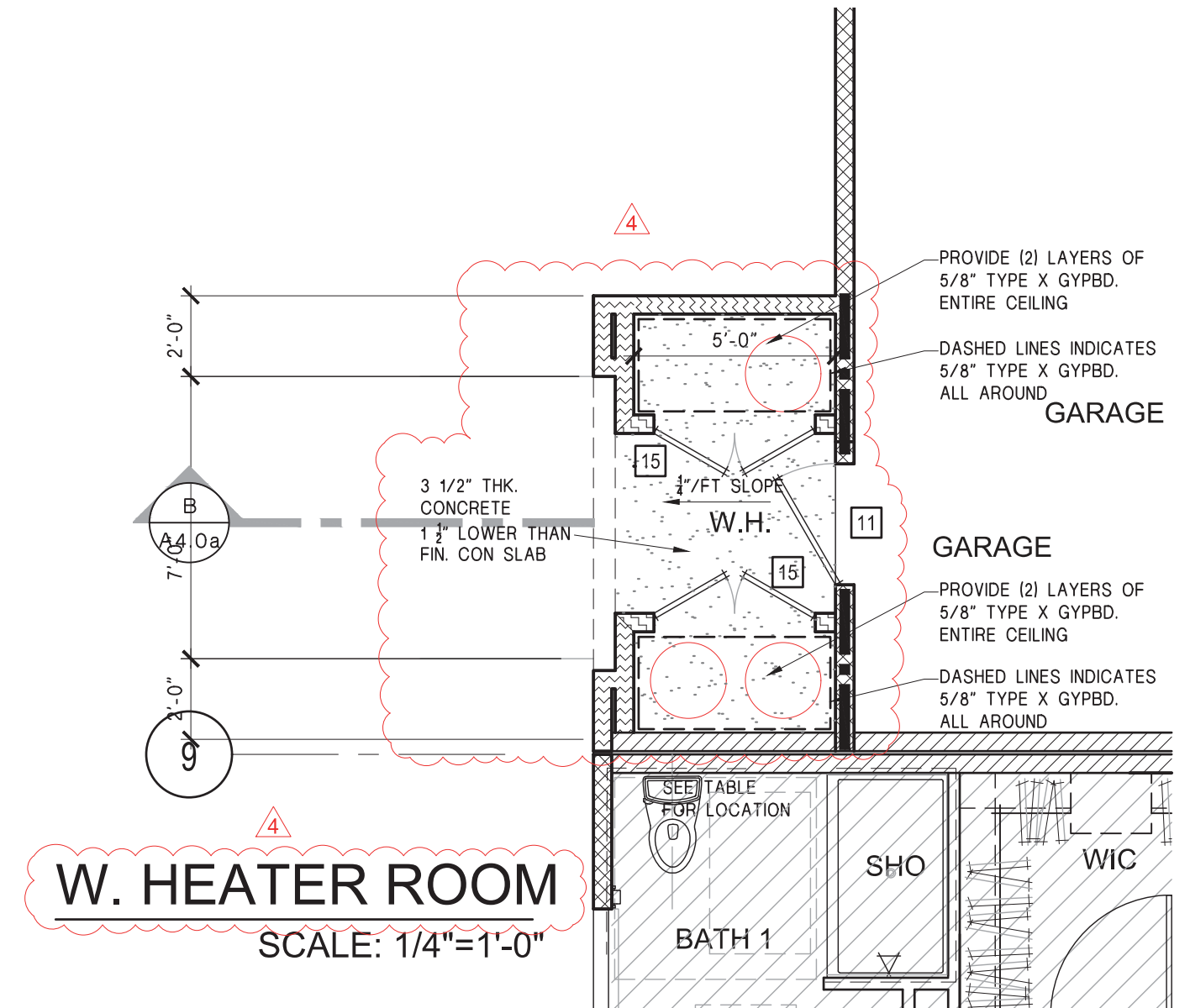
- (X) WALL TAG, SEE WALL ASSEMBLIES ON THIS SHT.
- (X) DOOR TAG, SEE DOOR SCHEDULE
- (X) WINDOW TAG, SEE WINDOW SCHEDULE
- (X) KEYNOTE TAG, SEE THIS SHT.
- (X) INTERIOR ELEVATION TAG, SEE INTERIOR ELEVATION
- (T) INDICATES TEMPERED GLASS

INSULATION SCHEDULE

EXTERIOR WALLS	R-24 BLOWN
CEILING/FLOOR ASSEMBLY BETWEEN OCCUPANCIES	BLOWN FULL
ROOF INSULATION	R-38 MIN. BLOWN
PARTY WALL	BLOWN FULL
2X6 INTERIOR WALLS	R-19 BLOWN
2X4 INTERIOR WALLS	R-13 BLOWN

- KEYNOTES (ACCESSIBLE - 1ST FLOOR)**
- 1 30" SLIDE-IN ELECTRIC RANGE
 - 2 MICROWAVE WITH RE-CIRCULATING VENT - VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLE UNIT IS 30" UNPROTECTED AND 24" IF PROTECTED.
 - 3 24" ADA SINGLE BOWL SINK 6 1/2" DEEP MAX. w/ LEVER FAUCET & GARBAGE DISPOSAL. A MIN OF 30" LINEAR LENGTH COUNTERTOP SHALL BE PROVIDED FOR THE KITCHEN SINK
 - 4 BASE CABINET, ACCESSIBLE SINK CABINET SHALL INCLUDE SHELVEYS, DOORS AND TOE KICK TO BE REMOVABLE w/o SPECIAL TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE 30" MIN. CLEAR UNDER SINK WHEN CABINET IS REMOVED. THE FINISH FLOOR BENEATH THE SINK SHALL EXTEND TO THE WALL PER CBC SECT 1133A.3
 - 5 COUNTERTOPS SHALL BE SOLID SURFACE AND THEREFORE SHALL NOT BE REQUIRED TO BE REPOSITIONED. PROVIDE A MIN. OF (2) 15 INCH WIDE BREAD BOARDS TO MEET REQUIREMENT FOR ACCESSIBILITY PER CBC SECTION 1133A.4.
 - 6 THE KNEE SHALL BE 30" WIDE MIN AND 27" CLR MIN. HIGH OPENING
 - 7 A LEVEL FLOOR OR LANDING OF AN EXIT DOOR SHALL HAVE A LENGTH IN THE DIRECTION OF DR SWING NOT LESS THAN 60" AND A LENGTH OPPOSITE THE DIRECTION OF THE DOOR SWING OF AT LEAST 48". SEE DETAIL 9/A8.5
 - 8 THERE SHALL BE A MIN CLR FLOOR SPACE 30"x48" PARALLEL OR FORWARD APPROACH TO APPLIANCES AND AT FRONT OF SINK AND SIDE OF THE BATHTUB/SHOWER. THE CENTERLINE OF THE 30"x48" CLEAR FLOOR SPACE SHALL BE ALIGNED WITH THE CENTERLINE OF THE APPLIANCE
 - 9 INSTALL GRAB BAR REINFORCEMENTS (2X6) ON EACH OF THE BATHTUB, 32" TO 38" ABOVE THE FLOOR, EXTENDING A MINIMUM OF 24" FROM THE FRONT EDGE OF THE BATHTUB TOWARD THE BACK WALL OF THE BATHTUB. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6" NOMINAL IN HEIGHT. GRAB BAR REINFORCEMENT SHALL BE INSTALLED IN THE BACK WALL OF THE BATHTUB. A MAXIMUM OF 6" ABOVE THE BATHTUB RIM EXTENDING UPWARD TO AT LEAST 38" ABOVE THE FLOOR. GRAB BAR BACKING SHALL BE INSTALLED HORIZONTALLY TO PERMIT THE INSTALLATION OF A 48" GRAB BAR WITH EACH END AT A MAXIMUM OF 6" FROM THE END WALLS OF BATHTUB.
 - 9A SHOWER GRAB REINFORCEMENT SHALL BE INSTALLED CONTINUOUS IN THE WALLS OF SHOWERS 32" TO 38" ABOVE THE FLOOR. THE GRAB BAR REINFORCEMENT SHALL A MINIMUM OF 6" NOMINAL HEIGHT.
 - 10 TOWEL BAR LOCATION @ +40" FROM F FLR - PROVIDE 2 X FLAT BLKG
 - 11 A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60 INCH LONG THAT CAN BE USED BOTH AS A HAND HELD OR FIXED SHOWER HEAD SHALL BE PROVIDED 48" MAX TO TOP OF MOUNTING BRACKET A.F.F. SEE INTER ELEV. TO BE INSTALLED UPON REQUEST.
 - 12 WATER CLOSET TO BE A MIN 128 GALLONS PER FLUSH SEE SHEET INTERIOR ELEVATIONS FOR OTHER REQUIREMENTS
 - 13 THERE SHALL BE A CLEAR FLOOR SPACE OF 36"x48" AT WATER CLOSET & 30"x48" AT LAVATORY PER CBC 1134A.7 & 1134A.8
 - 14 INSTALL GRAB BAR REINFORCEMENTS (2X6) BETWEEN 32" AND 38" ABOVE FINISHED FLOOR ON REAR AND SIDE WALLS WHERE WATER CLOSET IS LOCATED. SEE DETAIL 2/A8.5 PER CBC SECTION 1134A.7.2. GRAB BARS WILL BE INSTALLED IN FUTURE UPON REQUEST.
 - 15 THERE SHALL BE KNEE AND TOE SPACE AT LAVATORY. THE KNEE SPACE SHALL BE 30"W, 8"D. THE KNEE SPACE SHALL BE 29" HIGH AT THE FRONT FACE AND REDUCING TO NOT LESS THAN 27" AT A POINT 8" BACK FROM FRONT EDGE. THE FINISHED FLOOR SHALL EXTEND TO THE WALL AND HOT WATER AND DRAIN PIPES EXPOSED SHALL BE INSULATED OR COVERED SEE DET 3 & 5/SHEET A8.5
 - 16 CONTINUOUS BASEBOARD - OWNER TO SELECT
 - 17 NOT USED
 - 18 WHERE MIRRORS AND TOWEL FIXTURES ARE PROVIDED THEY SHALL BE MOUNTED WITH THE BOTTOM EDGE NO HIGHER THAN 40"
 - 19 REFRIGERATOR - PROVIDE WATER LINE FOR ICE MAKER & UPPER CABINETS ABOVE REFRIGERATOR (NOTE: TO PROVIDE 30" DEEP MAX. ADA COMPLIANT REFRIGERATOR UPON REQUEST.
 - 20 2 POLES TYP. & SHELF ABOVE ALL WARDROBE CLOSET
 - 21 PROVIDE FIRE EXTINGUISHER, 2A-10BC MINIMUM RATING MOUNTED AT A MAX HEIGHT A.F.F. OF 48 INCHES FOR A FORWARD APPROACH OR 54 INCHES FOR A SIDE APPROACH. STANDARDS §§4.1.3(1), 4.2.7.2, 4.2.7.3, 4.2.4, 4.2.5, 4.2.6, FIG. 4.
 - 22 24" DEEP BASE CABINET W/ ADJUSTABLE SHELVES AND 'U' SHAPED PULL HARDWARE
 - 23 12" DEEP UPPER CABINETS w/ADJUSTABLE SHELVES AND 'U' SHAPED PULL HARDWARE
 - 24 24" UNDER COUNTER DISHWASHER
 - 25 DASHED LINE INDICATES BEAM ABOVE. WRAP IN STUCCO SEE STRUCTURAL DRAWINGS
 - 26 PROVIDE UTILITY HOOKUPS AND DRAINS FOR WASHER & DRYER. PROVIDE 12" DEEP SHELF OVER W & D. WHEN NECESSARY, CUT SHORT SHELF TO PROVIDE SPACE FOR VENT COMING DOWN FROM THE CEILING.
 - 27 34"x60" FIBERGLASS BATHTUB/SHOWER W/ CURTAIN ROD. ALL FLOORS & WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE MATERIAL. SUCH WALLS SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET.
 - 28 AT EXTERIOR LANDING A 2% SLOPE MAX. IN ANY DIRECTION AND THRESHOLDS OF DOOR SHALL NOT EXCEED 1/2" BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERT. IN 2 UNITS HORIZONTAL
 - 29 INDICATES MANEUVERING CLEARANCES AT INTERIOR DOORS SHALL PROVIDE A MINIMUM LENGTH ON BOTH SIDES OF THE DOOR OF AT LEAST 42" MEASURED AT A RIGHT ANGLE TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. CBC 1132A.5.1
 - 30 THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 18" PAST THE STRIKE EDGE FOR ALL ACCESSIBLE DOORS. CBC 1132A.5.2

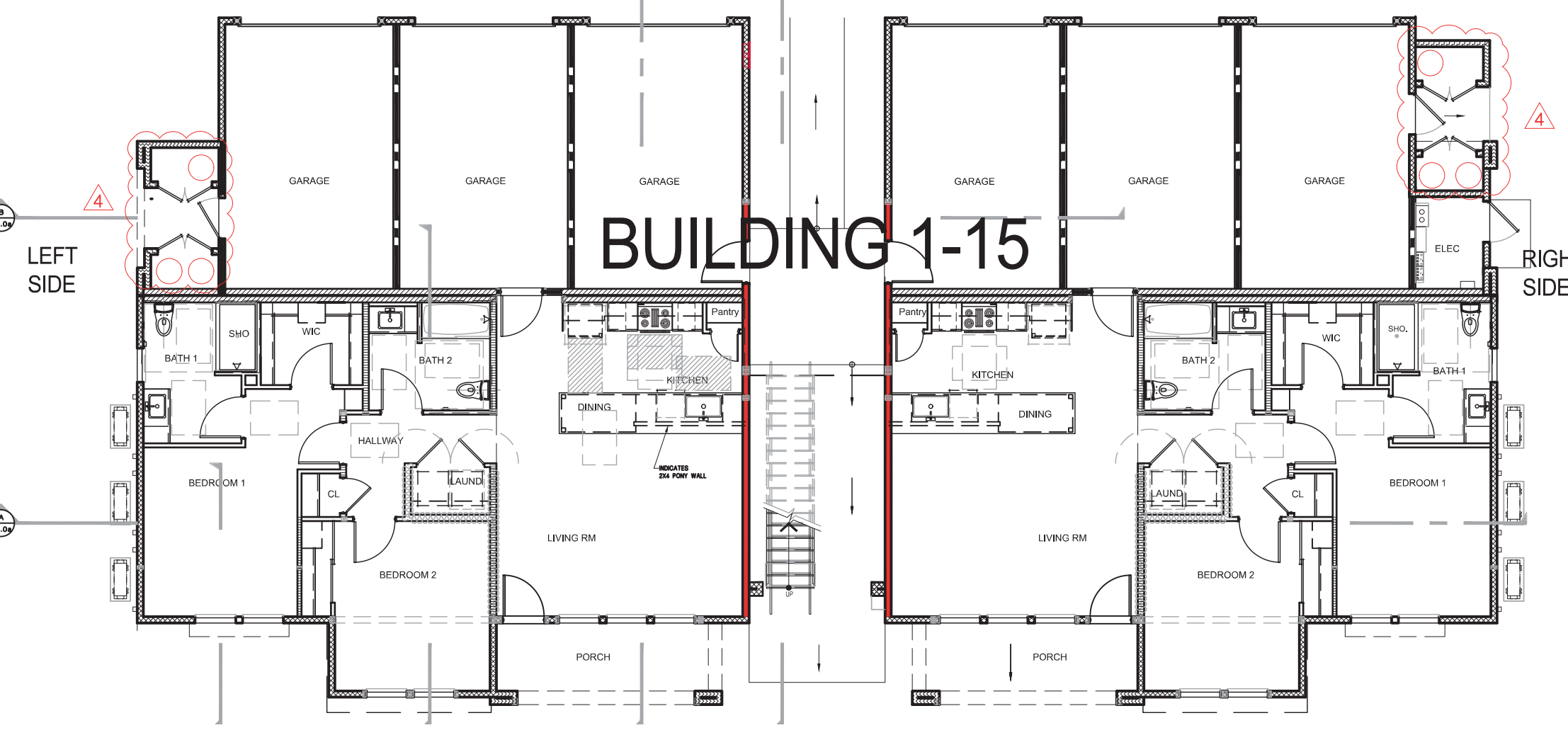
APPL. NO. P24-02488 EXHIBIT F-2 DATE 11/18/23
 PLANNING REVIEW BY DATE
 TRAFFIC ENG. DATE
 APPROVED BY DATE
 CITY OF FRESNO DARM DEPT



W. HEATER ROOM
SCALE: 1/4"=1'-0"

ELECTRICAL METER LOCATION

BUILDING NUMBER	ELECTRICAL ROOM & W. HEATER ROOM	W. HEATER ROOM
1	LEFT SIDE	RIGHT SIDE
2	LEFT SIDE	RIGHT SIDE
3	RIGHT SIDE	LEFT SIDE
4	RIGHT SIDE	LEFT SIDE
5	LEFT SIDE	RIGHT SIDE
6	RIGHT SIDE	LEFT SIDE
7	RIGHT SIDE	RIGHT SIDE
8	RIGHT SIDE	LEFT SIDE
9	LEFT SIDE	RIGHT SIDE
10	RIGHT SIDE	LEFT SIDE
11	LEFT SIDE	RIGHT SIDE
12	RIGHT SIDE	LEFT SIDE
13	RIGHT SIDE	LEFT SIDE
14	LEFT SIDE	RIGHT SIDE
15	RIGHT SIDE	LEFT SIDE



BUILDING REFERENCE
SCALE: N.T.S.



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NOTED FLOOR PLAN



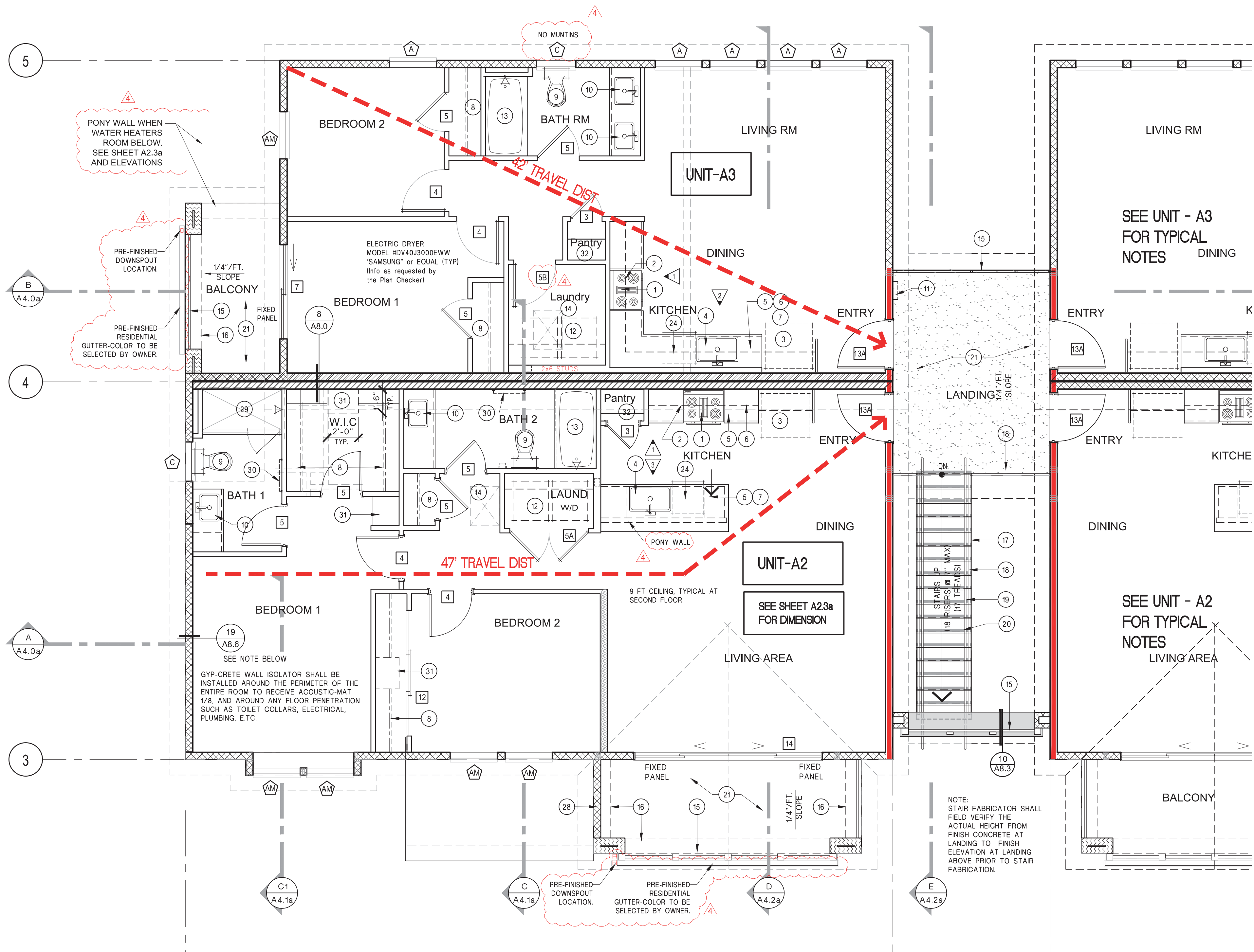
Revisions

BACKCHECK	06.13.2022
BACKCHECK	08.12.2022
BACKCHECK	08.29.2022
OWNER CHANGE	11.14.2022

Project #: 202006
 Date: 7/14/21
 Drawn: GV
 Checked: -

Sheet Number

A2.1a



PARTIAL 2ND FLOOR NOTED PLAN

2 BED OPTION @ UNIT 3

SCALE: 1/4"=1'-0"

APPL. NO. P24-02488 EXHIBIT F-4 DATE 10/29/2024

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

INSULATION SCHEDULE	
EXTERIOR WALLS	R-24 BLOWN
CEILING/FLOOR ASSEMBLY BETWEEN OCCUPANCIES	BLOWN FULL
ROOF INSULATION	R-38 MIN. BLOWN
PARTY WALL	BLOWN FULL
2X6 INTERIOR WALLS	R-19 BLOWN
2X4 INTERIOR WALLS	R-13 BLOWN

SYMBOLS LEGEND	
(X)	WALL TAG, SEE WALL ASSEMBLIES ON THIS SHT.
(X)	DOOR TAG, SEE DOOR SCHEDULE
(X)	WINDOW TAG, SEE WINDOW SCHEDULE
(X)	KEYNOTE TAG, SEE THIS SHT.
(X)	INTERIOR ELEVATION TAG, SEE INTERIOR ELEVATION
(I)	INDICATES TEMPERED GLASS

KEYNOTES (2ND FLOOR)	
1	30" SLIDE-IN ELECTRIC RANGE
2	MICROWAVE / EXHAUST HOOD ABOVE RANGE - VERTICAL CLEARANCE ABOVE THE RANGE TO COMBUSTIBLE UNIT IS 30" UNPROTECTED AND 24" F-PROTECTED.
3	30" REFRIGERATOR - PROVIDE WATER LINE FOR ICE MAKER & UPPER CABINETS ABOVE REFRIGERATOR
4	24" WIDE STAINLESS STEEL SINGLE BOWL SINK W/ GARBAGE DISPOSAL
5	24" DEEP BASE CABINET W/ ADJUSTABLE SHELVES AND 'U' SHAPED PULL HARDWARE
6	12" DEEP UPPER CABINETS W/ADJUSTABLE SHELVES AND 'U' SHAPED PULL HARDWARE
7	SOLID SURFACE COUNTERTOP TO BE SELECTED BY OWNER
8	2 POLES TYP. & SHELF ABOVE WALL WARDROBE CLOSET
9	WATER CLOSET TO BE A MIN 48 GALLONS PER FLUSH SEE SHEET INTERIOR ELEVATIONS FOR OTHER REQUIREMENTS
10	VANITY W/ SINK, GRANITE COUNTERTOP, BACK SPLASH AND MIRROR
11	PROVIDE FIRE EXTINGUISHER, 2A-10BC MINIMUM RATING
12	SEE NOTE 26 - SHEET A2.1
13	34"X60" FIBERGLASS BATHTUB/SHOWER W/ TEMPERED GLASS ENCLOSURE. MIN. DOOR WIDTH SHALL BE 22" CLEAR. ALL FLOORS, WALLS & CEILINGS ABOVE SHOWER HEADS SHALL BE FINISHED WITH A NON- ABSORBENT SURFACE MATERIAL. SUCH WALLS SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET
14	22"X30" ATTIC ACCESS. CLEAR HEADROOM OF NOT LESS THAN 30" SHALL BE PROVIDED IN THE ATTIC SPACE AT OR ABOVE THE ACCESS OPENING, PER CBC 1208.2
15	42" HIGH RECTANGULAR STEEL TUBE HORIZ. RAILING. SEE SHEET A8.3 & A8.4 FOR DETAILS. POWDER COATED FINISH OWNER TO SELECT COLOR. REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER PER CBC SECTION 1015.4.
16	DASHED LINE INDICATES BEAM ABOVE. WRAP IN STUCCO SEE STRUCTURAL DRAWINGS
17	PRE-FABRICATED METAL STAIRS WITH CONCRETE TREADS, AND CLOSED RISERS
18	GUARDRAILS AT LANDINGS AND STAIRS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER PER CBC SECTION 1015.4.
19	AT EXT. STAIRS, PROVIDE 1 1/2" DIA. HANDRAILS ON BOTH SIDED OF STAIRS. HEIGHT AT 34" MIN TO 38" MAX SHALL RETURN TO WALLS, GUARD AND THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
20	EXT. STAIRS SHALL HAVE ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MIN OF 2 INCHES WIDE TO A MAX OF 4 INCH WIDE, PLACE PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR UPPER APPROACH. A PAINTED STRIP SHALL BE ACCEPTABLE.
21	WESTCOAT AL SYSTEM TOP COAT SEALER or MED. TEXTURE CEMENT or BASE COAT or HOT DIPPED MTL LATH or SEAL GUARD or PLYWOOD - SEE SECTION OF ADDITIONAL INFO
22	HANDRAIL AT STAIRS SHALL HAVE EXTENSIONS HORIZ. OF 12" BEYOND THE TOP RISER AND 12" PLUS THE TREAD WIDTH AT THE BOTTOM RISER
23	SEE ARCH SITE PLAN FOR LOCATION OF ON-SITE UTILITIES. COORDINATE WITH CIVIL DRAWINGS AND VERIFY WITH SITE SUPERINTENDENT.
24	24" UNDER COUNTER DISHWASHER
25	30" ELECTRIC COOKTOP
26	NOT USED
27	FINISH END PANEL
28	HALF WALL, SEE EXTERIOR ELEVATIONS
29	34"X60" FIBERGLASS SHOWER W/ TEMPERED GLASS ENCLOSURE. MIN. DOOR WIDTH SHALL BE 22" CLEAR. ALL FLOORS, WALLS & CEILINGS ABOVE SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE MATERIAL. SUCH WALLS SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET.
30	TOWEL BAR LOCATION 48" FROM F FLR - PROVIDE 2 X FLAT BLKG
31	24" WIDE X 18" DEEP SHELVING 5 LINEN (5 SHELVES) FINISH TO BE SELECTED BY OWNER
32	16" DEEP SHELVING (5 SHELVES)

Occupant Load Calculations

UNIT NUMBER	2019 CBC - TABLE 1004.5			EXIT & TRAVEL DIST PER TABLE 1006.2.1		
	AREA (SQ. FT.)	OCC FACTOR	OCC LOAD	EXITS REQUIRED	EXITS PROVIDED	TRAVEL DIST.
Unit A 1	1150	÷ 200	= 6	1	1	42' < 125' : OK
Unit A 2	1091	÷ 200	= 5	1	1	42' < 125' : OK
Unit A 3	796	÷ 200	= 4	1	1	47' < 125' : OK



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Fresno, CA 93727

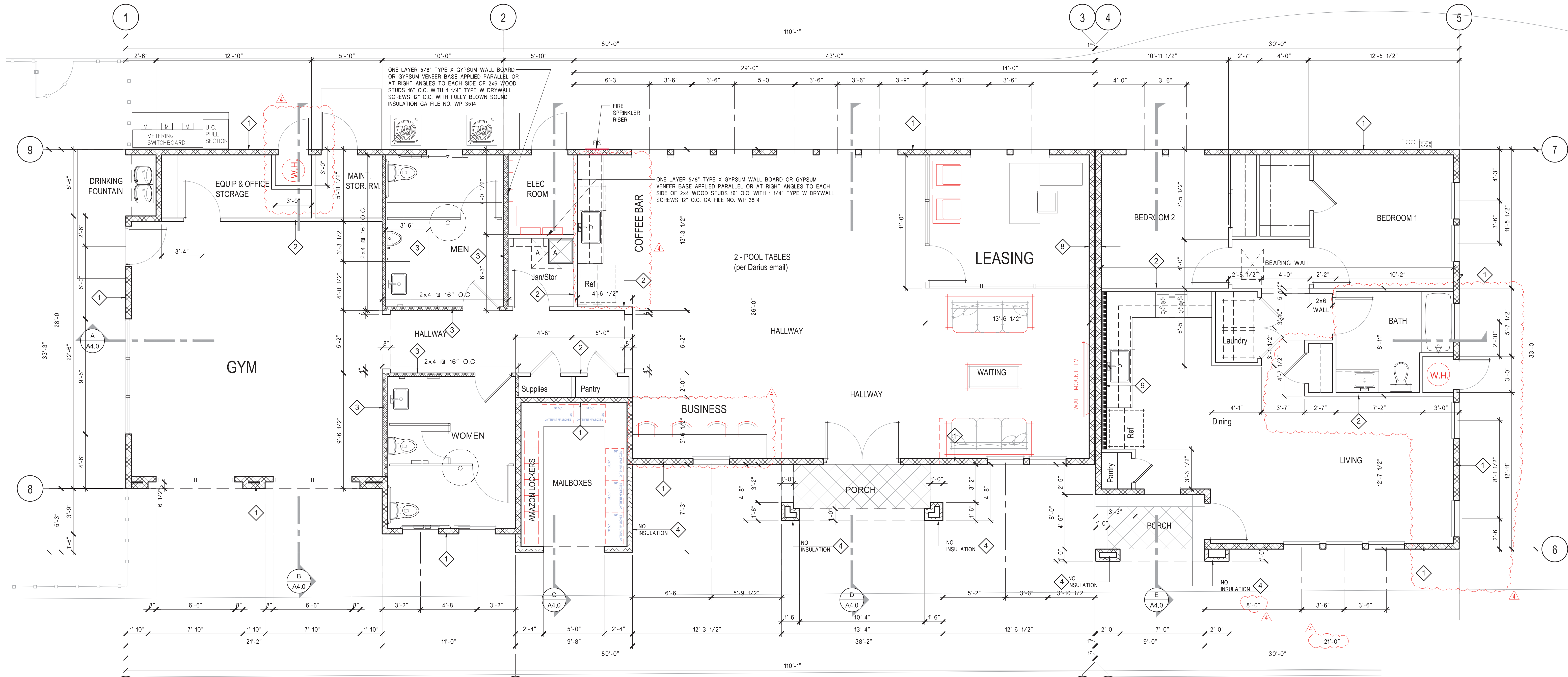
NOTED FLOOR PLAN

Revisions	
1	BACKCHECK 06.13.2022
2	BACKCHECK II 08.12.2022
3	BACKCHECK III 08.29.2022
4	OWNER CHANGE 11.14.2022

Project #: 202006
Date: 7/14/21
Drawn: GV
Checked: -

Sheet Number

A2.5a



DIMENSIONED FLOOR PLAN

Scale: 1/4" = 1'-0"

APPL. NO. P24-02488 EXHIBIT F-5 DATE 10/29/2024
 PLANNING REVIEW BY _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
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 CITY OF FRESNO DARM DEPT

INSULATION SCHEDULE	
EXTERIOR WALLS	R-24 BLOWN
CEILING/FLOOR ASSEMBLY BETWEEN OCCUPANCIES	BLOWN FULL
ROOF INSULATION	R-38 MIN. BLOWN
PARTY WALL	BLOWN FULL
2X6 INTERIOR WALLS	R-19 BLOWN
2X4 INTERIOR WALLS	R-13 BLOWN

SYMBOLS LEGEND	
(X)	WALL TAG, SEE WALL ASSEMBLIES ON THIS SHT.
(X)	DOOR TAG, SEE DOOR SCHEDULE
(X)	WINDOW TAG, SEE WINDOW SCHEDULE
(X)	KEYNOTE TAG, SEE THIS SHT.
(A)	INTERIOR ELEVATION TAG, SEE INTERIOR ELEVATION
(IT)	INDICATES TEMPERED GLASS

FIRE RESISTANCE REQUIREMENTS	
EXTERIOR WALLS	NON-RATED
INTERIOR BEARING WALLS	NON-RATED
INTERIOR NON-BEARING WALLS	NON-RATED
ROOF/CEILING ASSEMBLY	NON-RATED
UNIT PARTITION WALLS	1-HOUR RATED

REFER TO WALL/FLOOR ASSEMBLIES FOR ADDITIONAL INFORMATION

5	EXTERIOR WALL - 1 HOUR RATED - ESR-1154 (THIRD ASSEMBLY) INTERIOR FACE: ONE LAYER 5/8" TYPE 'X' GYP. BD. APPLIED HORIZ. OR VERT. TO INTERIOR FACE OF 2X6 WD STUDS @ 24" o.c. MAX. FASTEN TO STUDS & PERIMETER FRAMING USING 0.100 INCH DIA. GALV. STL. CUP HEAD NAILS OR NO. 6 BULK HEAD SCREWS, 1-5/8" LONG HAVING MIN. HEAD DIA. OF 0.200 INCH & SPACED 8 INCH o.c. ALL WALLBOARD JOINTS SHALL BE TAPED AND TREATED w/ JOINT COMPOUND ACCORDANCE w/ ASTM C 840 OR GA 296 ALL VERT. JOINTS MUST BE BACKED w/ MIN. 2X4 WD FRAM. & SHALL OCCUR @ STUDS. FASTENER HEADS TAPED & TREATED w/ JOINT COMPOUND IN ACCORDANCE w/ ASTM C 840 OR GA 296 INSULATION BATT'S, R-9 IN CAVITIES MAY BE EITHER FIBERGLASS OR KRAFT-PAPEr FIBER INSULATION
6	EXTERIOR FACE: (PLYMD. SHEATHING PER STRUCTURAL DRAWINGS) A WATER RESISTIVE BARRIER OF (2) LAYERS OF GRADE 'D' KRAFT BLDG PAPER FOLLOWED BY ONE INCH TONGUE & GROOVE EPS BD WITH NOMINAL DENSITY OF 15 POUNDS PER CU. FT. ATTACHED TO WD STUDS & PERIMETER FRAMING USING GALV. STAPLES, ROOFING NAILS OR SCREW, VERT. BUTT JOINTS MUST BE STAGGERED AT LEAST ONE STUD SPACE AND MUST OCCUR OVER STUDS FOLLOWED BY THE LATH MIN. 20 GAUGE 1 INCH GALV. STL. WOVEN WIRE FABRIC MUST BE USED, LATH MUST BE FASTENED THROUGH INSULATION BD. TO THE STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STAPLES HAVING 15-PROGROWS. FASTENERS SPACED 6" o.c. THE DIAMOND WALL MIXTURE IS THEN APPLIED TO THE LATH BY HAND OR TROWELING OR MACHINE SPRAY IN ONE OR TWO COATS AT A MIN. THK OF 3/8 INCH
7	INTERIOR WALL - LOAD BEARING: 2 x 4 WD. STUD @ 16" o.c. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES.
8	INTERIOR WALL - NON-LOAD BEARING: 2 x 4 WD. STUD @ 16" o.c. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES.

WALL / FLOOR ASSEMBLIES	
1	EXTERIOR WALL - NON-RATED "OMEGA DIAMOND WALL SYSTEM ESR-1194" EXTERIOR FINISH: TYP. (PLYMD. SHEATHING PER STRUCTURAL DRAWINGS) A WATER RESISTIVE BARRIER OF (2) LAYERS OF GRADE 'D' KRAFT BLDG PAPER FOLLOWED BY ONE INCH TONGUE & GROOVE EPS BD WITH NOMINAL DENSITY OF 15 POUNDS PER CU. FT. ATTACHED TO WD STUDS & PERIMETER FRAMING USING GALV. STAPLES, ROOFING NAILS OR SCREW, VERT. BUTT JOINTS MUST BE STAGGERED AT LEAST ONE STUD SPACE AND MUST OCCUR OVER STUDS FOLLOWED BY THE LATH MIN. 20 GAUGE 1 INCH GALV. STL. WOVEN WIRE FABRIC MUST BE USED, LATH MUST BE FASTENED THROUGH INSULATION BD. TO THE STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STAPLES HAVING 15-PROGROWS. FASTENERS SPACED 6" o.c. THE DIAMOND WALL MIXTURE IS THEN APPLIED TO THE LATH BY HAND OR TROWELING OR MACHINE SPRAY IN ONE OR TWO COATS AT A MIN. THK OF 3/8 INCH
2	INTERIOR WALL - NON-LOAD BEARING: 2 x 4 WD. STUD @ 16" o.c. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES.
3	INTERIOR WALL: 2 x 6 WD. STUD @ 16" o.c. UNO. w/ ONE LAYER 5/8" GYP. BOARD, BOTH SIDES w/ FULLY BLOWN-IN SOUND INSULATION
4	EXTERIOR WALL - NON-RATED EXTERIOR FACE: 2 x 6 WD. STUD @ 24" o.c. TYP. (PLYMD. SHEATHING PER STRUCTURAL DRAWINGS) A WATER RESISTIVE BARRIER OF (2) LAYERS OF GRADE 'D' KRAFT BLDG PAPER FOLLOWED BY ONE INCH TONGUE & GROOVE EPS BD WITH NOMINAL DENSITY OF 15 POUNDS PER CU. FT. ATTACHED TO WD STUDS & PERIMETER FRAMING USING GALV. STAPLES, ROOFING NAILS OR SCREW, VERT. BUTT JOINTS MUST BE STAGGERED AT LEAST ONE STUD SPACE AND MUST OCCUR OVER STUDS, FOLLOWED BY THE LATH MIN. 20 GAUGE 1 INCH GALV. STL. WOVEN WIRE FABRIC MUST BE USED, LATH MUST BE FASTENED THROUGH INSULATION BD. TO THE STUDS & PERIMETER FRAMING USING 2 INCH LONG NO. 16 GAGE GALV. STAPLES HAVING 15-PROGROWS. FASTENERS SPACED 6" o.c. THE DIAMOND WALL MIXTURE IS THEN APPLIED TO THE LATH BY HAND OR TROWELING OR MACHINE SPRAY IN ONE OR TWO COATS AT A MIN. THK OF 3/8 INCH



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DIMENSIONED FLOOR PLAN

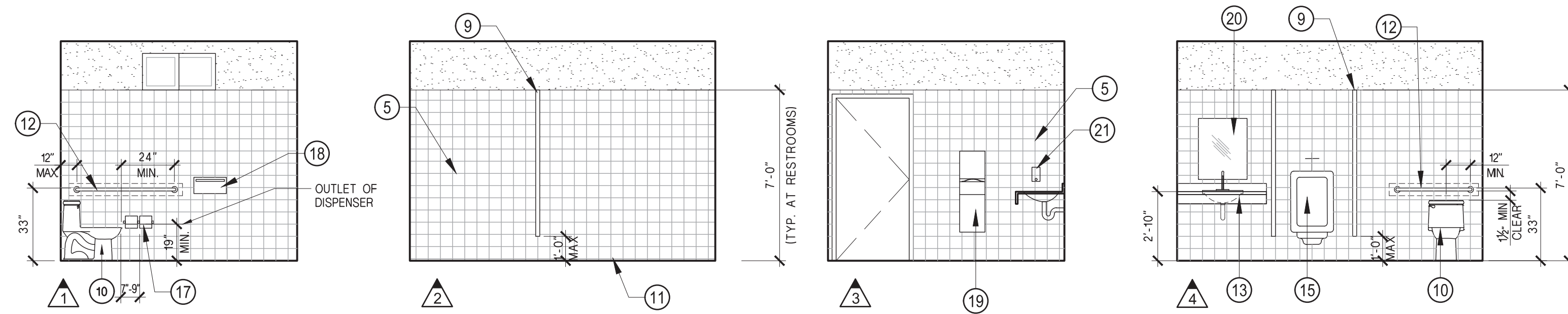


Revisions	
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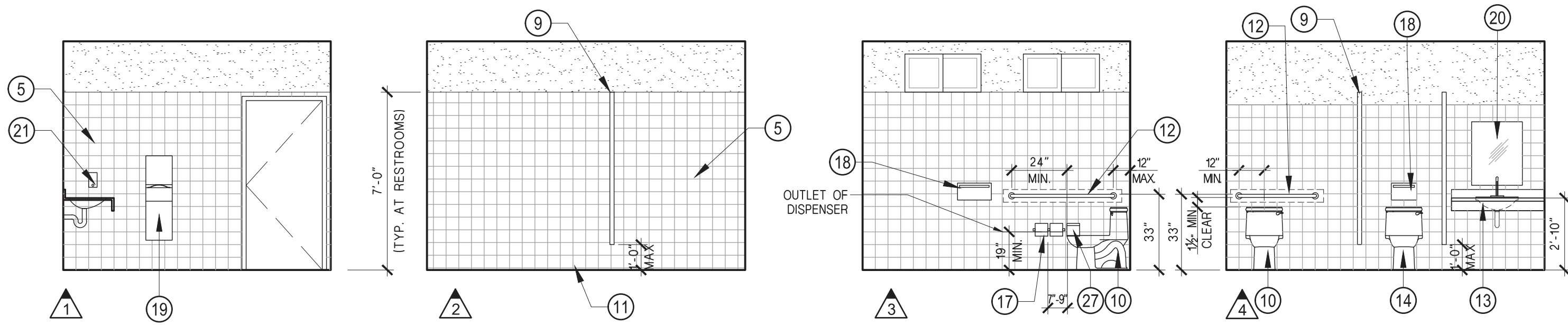
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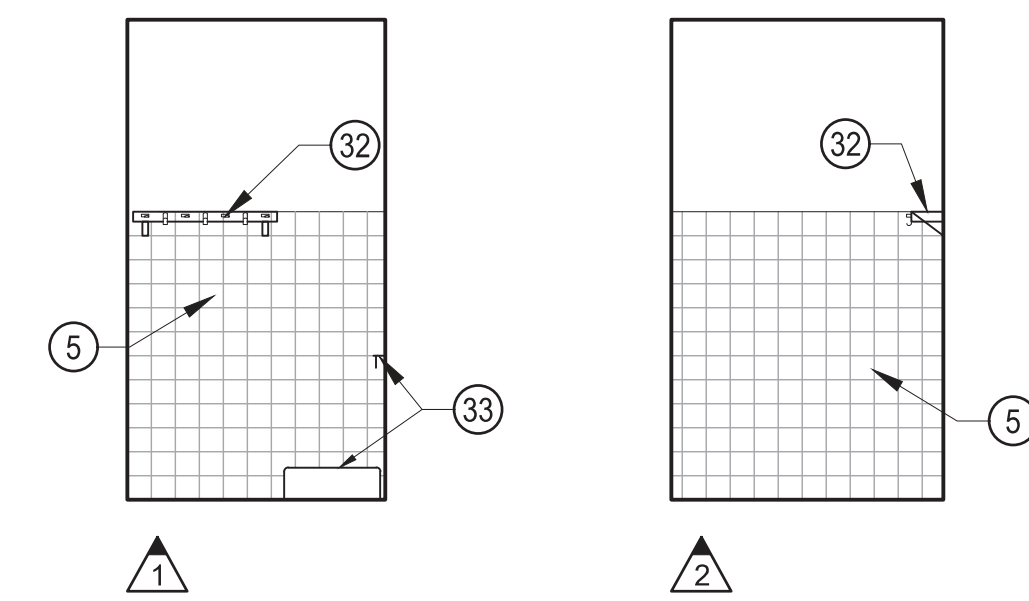
MEN
BLDG. B

SCALE: 1/4" = 1'-0"



WOMEN
BLDG. B

SCALE: 1/4" = 1'-0"

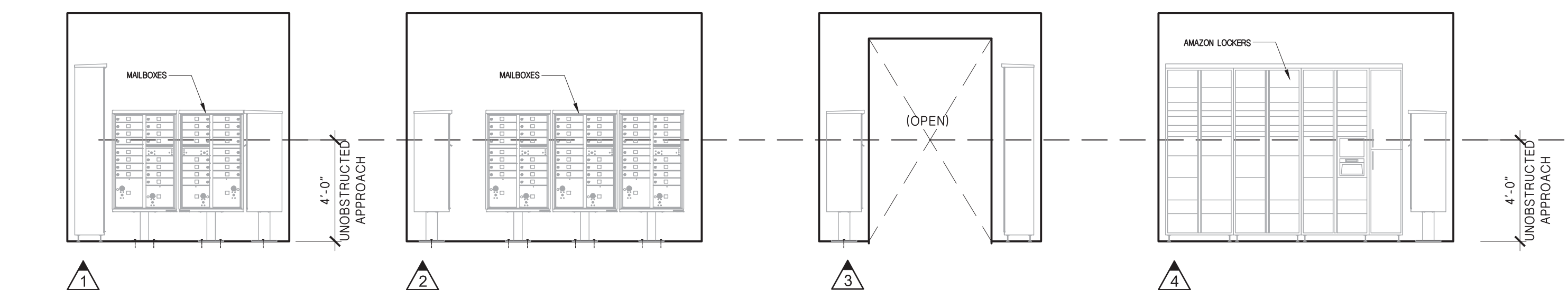


JANITOR
BLDG. B

SCALE: 1/4" = 1'-0"

REFER TO DET. 7 SHEET A8.7 FOR SWITCHES AND CONTROLS MOUNTING HEIGHT LOCATION TYPICAL AT BATHROOMS

SECT. 1142A.2 SWITCH AND CONTROL HEIGHTS: CONTROL OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, ALARMS OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM.

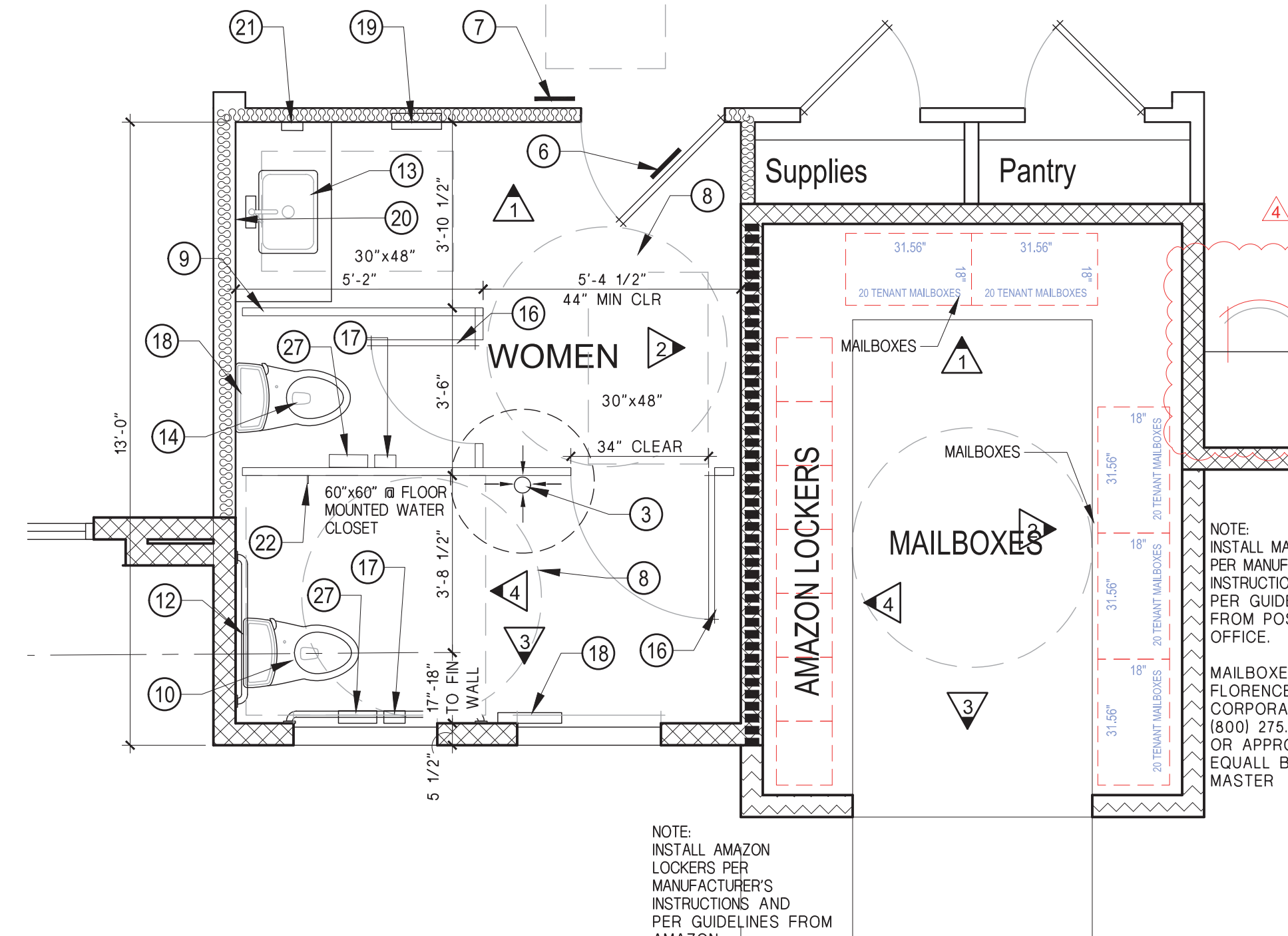
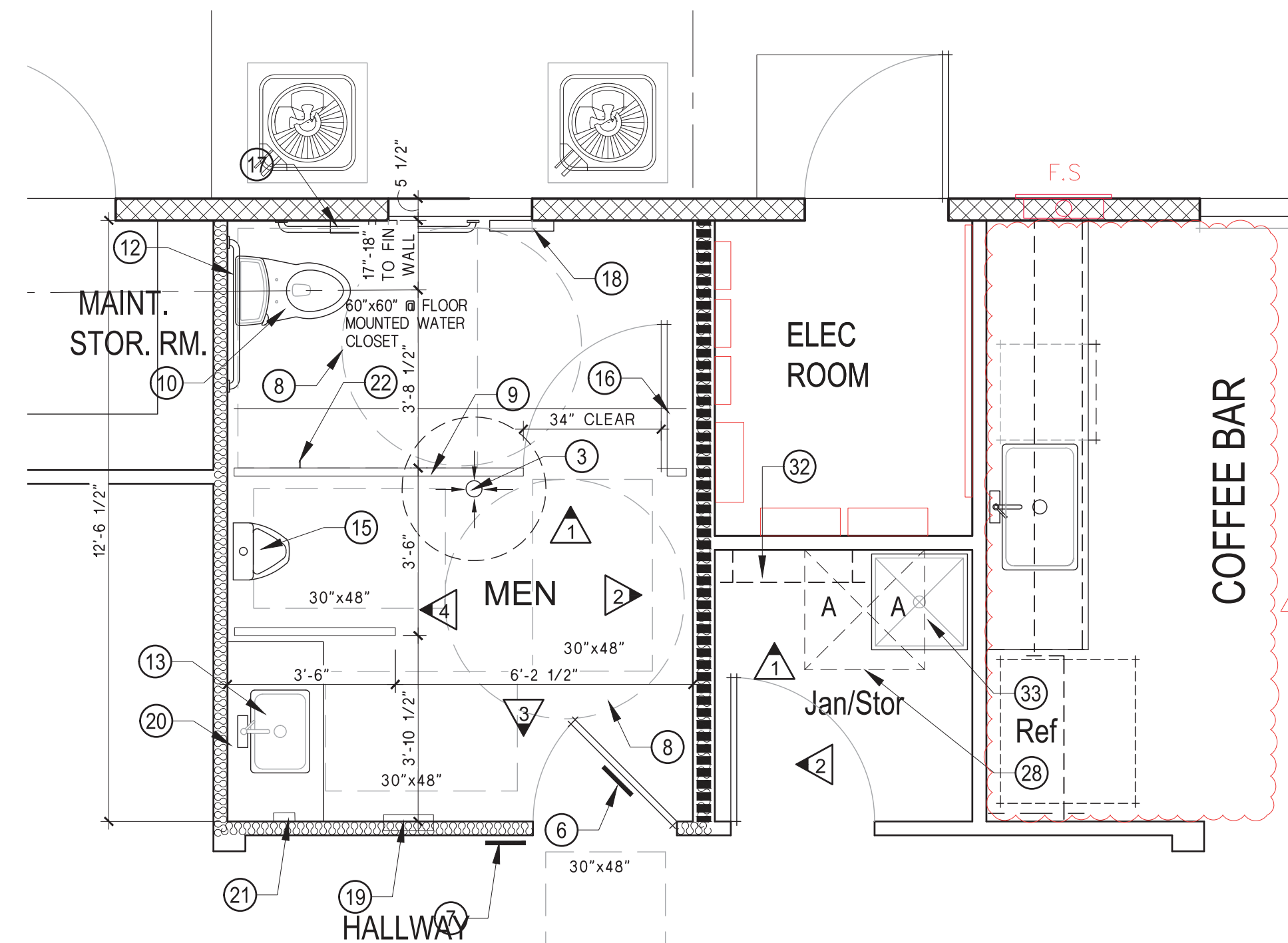


MAILBOXES
BLDG. B

SCALE: 1/4" = 1'-0"

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ENLARGED FLOOR PLAN SEE DETAIL SHEET A8.5 FOR ADDITIONAL INFORMATION.
 CLUBHOSUE SCALE: 3/8" = 1'-0"

SYMBOLS LEGEND	
	WALL TAG, SEE WALL ASSEMBLIES ON THIS SHT.
	DOOR TAG, SEE DOOR SCHEDULE
	WINDOW TAG, SEE WINDOW SCHEDULE
	KEYNOTE TAG, SEE THIS SHT.
	INTERIOR ELEVATION TAG, SEE INTERIOR ELEVATION

(REFER TO DETAIL SHEET A8.5 FOR MOUNTING HEIGHT CLEARANCES)

NOTE:
 1. SEE MECHANICAL, PLUMBING & ELECTRICAL UTILITIES AND ARCH A1.0 SITE PLAN FOR EXACT LOCATION OF UTILITIES AT BUILDINGS PER SITE LOCATION, COORDINATE WITH SITE SUPERINTENDENT.

KEYNOTES

- 1 THRESHOLD SHALL BE 1/2" HIGH MAX.
- 2 LEVEL LANDING 2% SLOPE MAX. ANY DIRECTION.
- 3 INDICATES FLOOR DRAIN WITH P-TRAP. INSTALL FLOOR DRAIN 6" AWAY FROM TOILET PARTITION BOOTS. SEE PLUMBING PLAN.
- 4 NOT USED
- 5 WALL TILE FINISH, VERIFY WITH OWNER
- 6 ACCESSIBILITY SYMBOL SIGNAGE SHALL BE CENTERED HORIZONTALLY ON DOOR AT A HEIGHT OF 60" ABOVE FINISHED FLOOR, SEE DETAILS 7 & 8/A8.7
- 7 BRAILLE SIGNAGE, SEE EXT. ELEVATION & DETAILS 7 & 8/A8.7
- 8 INDICATES ADA 5' CLEAR TURN AROUND CIRCLE
- 9 'ACCURATE' STAINLESS STEEL TOILET PARTITIONS. (SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW)
- 10 ADA FLOOR MOUNTED WATER CLOSET & ELONGATED BOWL WITH FLUSH ACTIVATOR ON WIDE SIDE TO BE MINIMUM 128 GALLONS PER FLUSH AND THE SEAT HEIGHT SHALL BE 17" TO 19" ABOVE FLOOR SEE DETAIL 2/A8.7
- 11 BASE, SEE FINISH SCHEDULE
- 12 THERE SHALL BE A 36" GRAB BAR AT REAR OF WATER CLOSET AND A 48" GRAB BAR AT SIDE WALL. REINFORCEMENTS SHALL BE INSTALLED ON BOTH SIDES INSTALLED BETWEEN 32" AND 38" ABOVE FINISHED FLR SEE DETAIL 2/A8.7
 'BOBRICK' B-5806 HORIZONTAL GRAB BAR w/ SNAP FLANGE/CONCEALED ANCHOR BOLTS
- 13 ONE PIECE COUNTERTOP w/ BACKSPASH & INTEGRAL SINK. THERE SHALL BE KNEE AND TOE SPACE AT LAVATORY. THE KNEE SPACE SHALL BE 30"W, 8"D, THE KNEE SPACE SHALL BE 29" HIGH AT THE FRONT FACE AND REDUCING TO NOT LESS THAN 27" AT A POINT 8" BACK FROM FRONT EDGE. THE FINISHED FLOOR SHALL EXTEND TO THE WALL. HOT WATER AND DRAIN PIPES EXPOSED SHALL BE INSULATED OR COVERED. THERE SHALL BE A CLEAR FLOOR SPACE OF 30"x48". NO SHARP OR ABRASIVE SURFACE UNDER LAVATORY. SEE DET 1/A8.5
- 14 WATER CLOSET, MINIMUM 128 GALLONS PER FLUSH
- 15 WALL HUNG URINAL w/ AN ELONGATED RIM PROJECTING 13 1/2" MIN FROM WALL AND 17" MAX. ABOVE FINISHED FLOOR. PROVIDED 30"x48" CLEAR FLOOR AREA IN FRONT OF URINAL. SEE DET 9/A8.7
- 16 LOOP OR "U" SHAPE HANDLES BELOW THE LATCHES AT ACCESSIBLE WC COMPARTMENTS. SELF-CLOSING HARDWARE COMPLYING WITH CBC 11B-404
- 17 'BOBRICK' B-2888 SURFACE MOUNTED TOILET (DOUBLE) TISSUE DISPENSER. TYP OF 3
- 18 'BOBRICK' B-4221 SURFACE MOUNTED TOILET SEAT COVER DISPENSER. TYP OF 3
- 19 'BOBRICK' 38034 RECESSED PAPER TOWEL DISPENSER/WASTE RECEPTACLE. TYP OF 2
- 20 'BOBRICK' B-165-2436 SURFACE MOUNTED MIRROR. TYP OF 2. MOUNTED WITH BOTTOM EDGE NO HIGHER THAN 40" A.F.F.
- 21 'BOBRICK' B-2012 AUTOMATIC WALL MOUNTED SOAP DISPENSER
- 22 'BOBRICK' B-211 HEAVY DUTY CLOTHES HOOK
- 23 NOT USED
- 24 NOT USED
- 25 NOT USED
- 26 NOT USED
- 27 'BOBRICK' B-270 SURFACE MOUNTED FEMININE NAPKIN DISPOSAL. TYP OF 2
- 28 30"x30" ATTIC ACCESS FOR MECHANICAL UNIT SHALL BE WEATHER-STRIPPED AND INSULATED TO THE EQUIVALENT OF THE CEILING INSULATION
- 29 NOT USED
- 30 NOT USED
- 31 NOT USED
- 32 36" LONG UTILITY SHELF WITH MOP HOLDERS - MODEL 1315 AMERICAN SPECIALTIES, INC. 441 Saw Mill River Road, Yonkers, NY 10701 (914) 476.9000 • (914) 476.0688 www.americanspecialties.com
- 33 JANITOR SINK - SEE PLUMBING PLAN



1306 W. Herndon, suite 101, Fresno, CA. 93711
 business phone (559)496-0900 LIC # 596845

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