

CONSIDERATION OF

PLAN AMENDMENT-REZONE APPLICATION NO. P21-  
06440;

TENTATIVE TRACT MAP NO. 6402;

PLANNED DEVELOPMENT APPLICATION NO. P22-00795;

CONDITIONAL USE APPLICATION NO. P21-06515;

AND

THE RELATED ENVIRONMENTAL FINDING FOR  
ENVIRONMENTAL ASSESSMENT NO. T-6402/P21-  
06440/P22-00795/P21-06515

PRESENTATION BY: ROB HOLT, PLANNER III



ID 22-1659

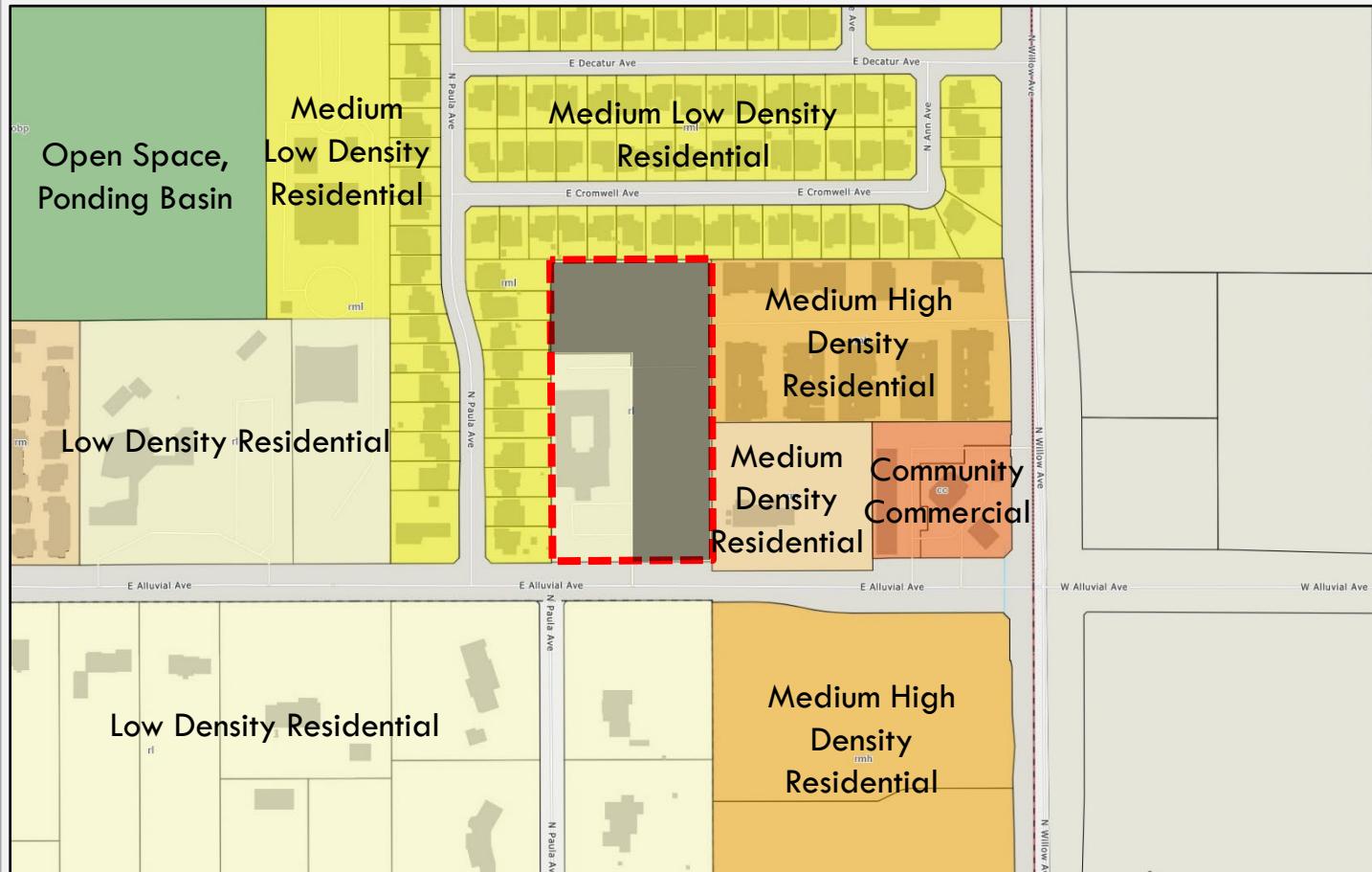
CITY COUNCIL HEARING | NOVEMBER 17, 2022

# VICINITY MAP



# EXISTING GENERAL PLAN MAP

**FROM:**  
LOW DENSITY  
RESIDENTIAL  
  
**To:**  
MEDIUM DENSITY  
RESIDENTIAL  
  
**REZONE:**  
RS-3 TO RS-5



# TRACT MAP

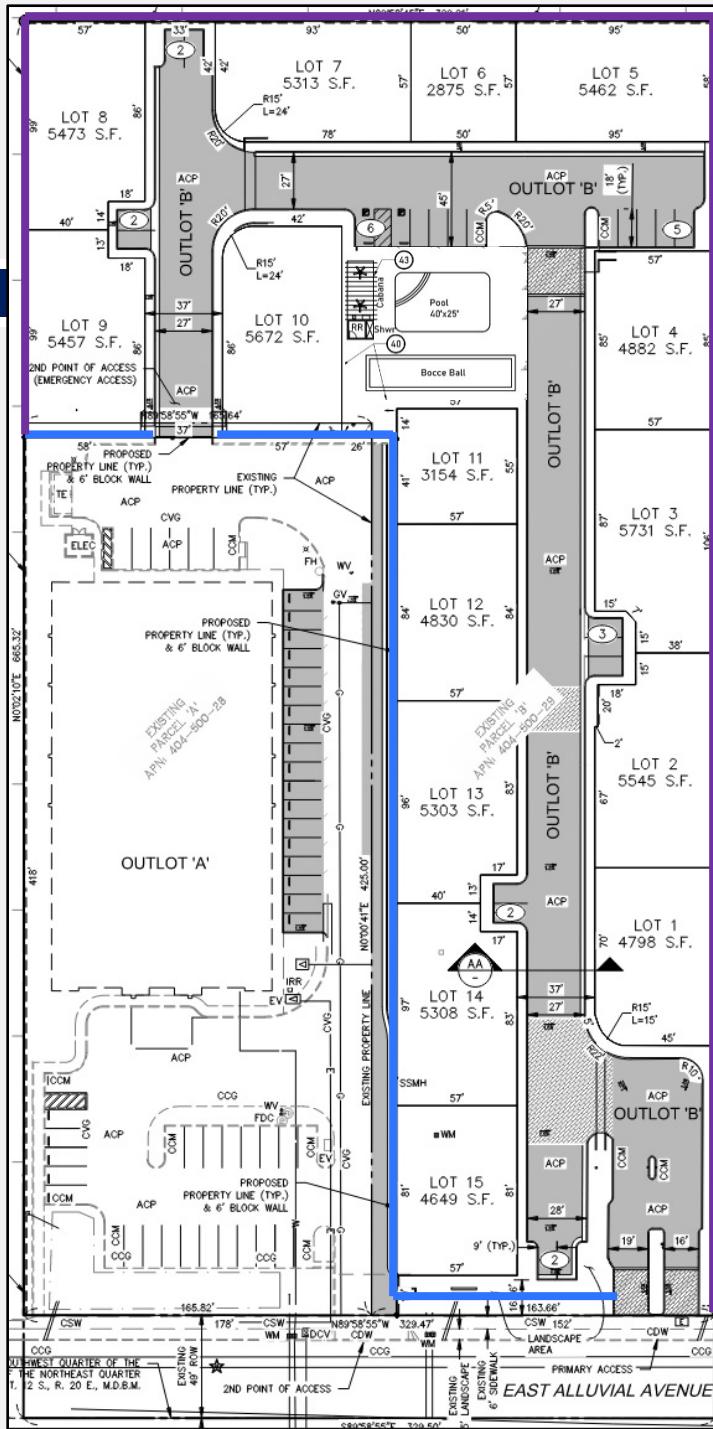
$\pm 4.83$  ACRES  
 $\pm 3.00$  ACRES  
(MAP)

15 LOTS,  
28 UNITS

9.33 DU/AC

## PLANNED DEVELOPMENT/ CUP

# PLANNING COMMISSION RECOMMENDS APPROVAL (5-0)



# NEIGHBORHOOD MEETING

- March 8, 2022
- Concerns included:
  - Increase in traffic
    - Public Works – Dedication of ROW & any necessary transition pavement relative to the eastern property.
    - Ultimate build-out of E Alluvial Ave is one lane each direction & dual-turn lane in middle.
    - VMT results in screen out using COG VMT Calculator Tool.
  - Existing trees on western property line
    - May relocate, evergreen & conditioned 1 tree per rear yard

# AERIAL MAP

