

CONSIDERATION OF  
PLAN AMENDMENT-REZONE APPLICATION NO. P21-  
06440;  
TENTATIVE TRACT MAP NO. 6402;  
PLANNED DEVELOPMENT APPLICATION NO. P22-00795;  
CONDITIONAL USE APPLICATION NO. P21-06515;  
AND  
THE RELATED ENVIRONMENTAL FINDING FOR  
ENVIRONMENTAL ASSESSMENT NO. T-6402/P21-  
06440/P22-00795/P21-06515

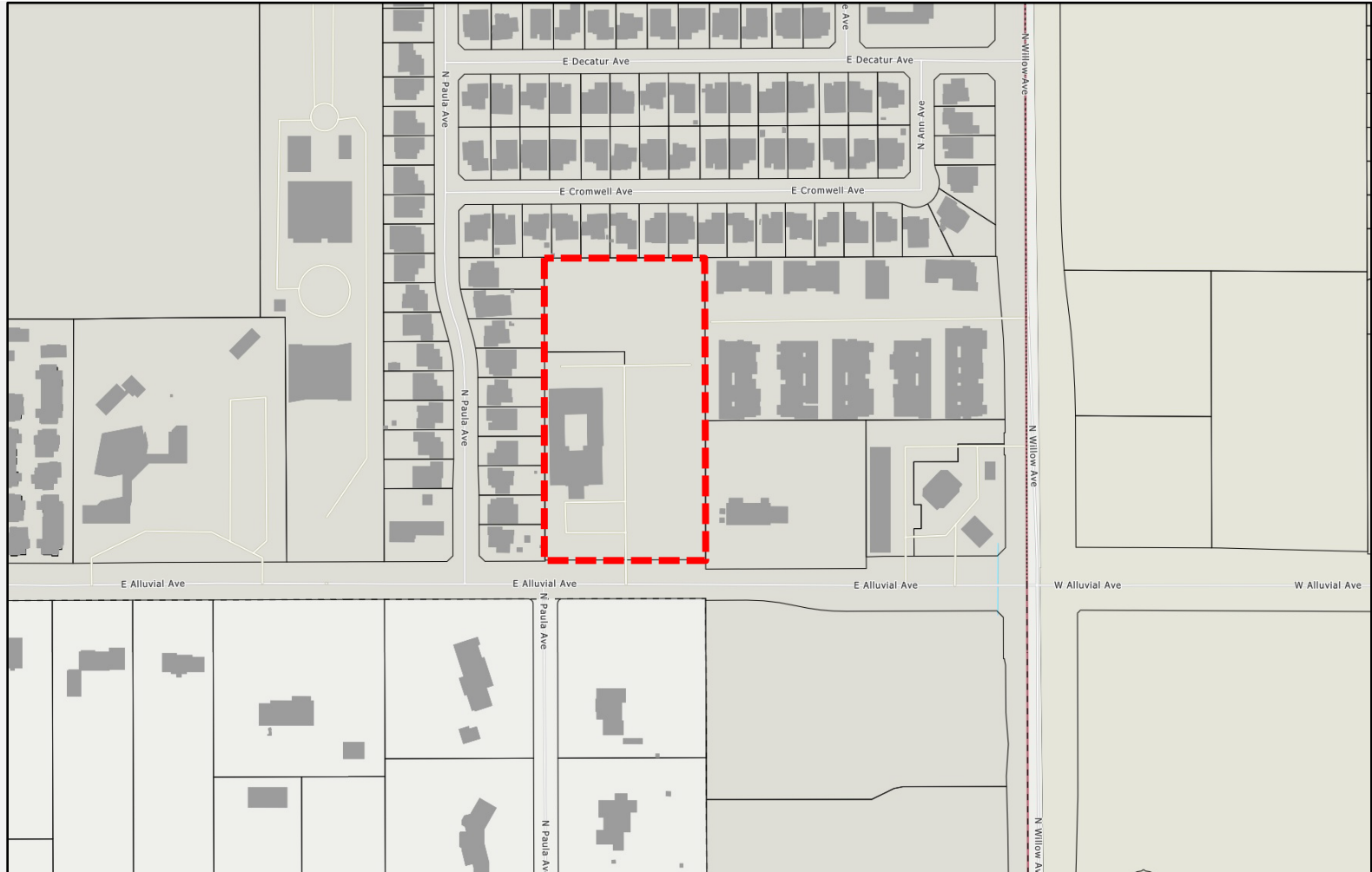
PRESENTATION BY: ROB HOLT, PLANNER III



ID 22-1659

CITY COUNCIL HEARING | NOVEMBER 17, 2022

# VICINITY MAP



# EXISTING GENERAL PLAN MAP

## **FROM:**

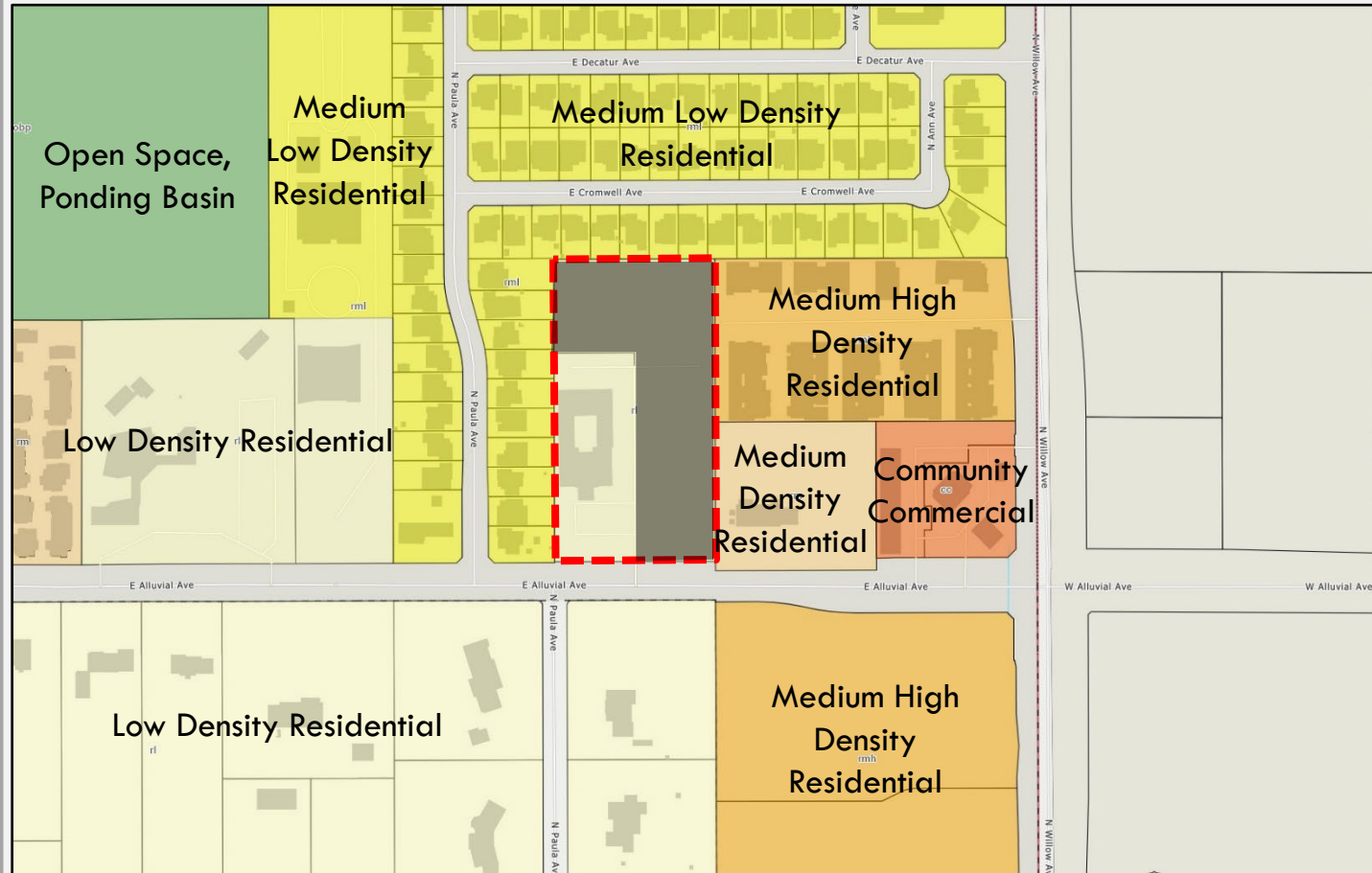
LOW DENSITY  
RESIDENTIAL

## **To:**

MEDIUM DENSITY  
RESIDENTIAL

## **REZONE:**

RS-3 TO RS-5





# NEIGHBORHOOD MEETING

- March 8, 2022
- Concerns included:
  - Increase in traffic
    - Public Works – Dedication of ROW & any necessary transition pavement relative to the eastern property.
    - Ultimate build-out of E Alluvial Ave is one lane each direction & dual-turn lane in middle.
    - VMT results in screen out using COG VMT Calculator Tool.
  - Existing trees on western property line
    - May relocate, evergreen & conditioned 1 tree per rear yard



# AERIAL MAP

