735, 739, and 741 H Street, Fresno, California

Analysis of Brownfield Cleanup Alternatives

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Prepared for:

City of Fresno
2600 Fresno Street, Room 3076
Fresno, California 93721

Prepared by:

Stantec Consulting Services Inc.
3875 Atherton Road
Rocklin, CA 95765

Project No.: 185755542

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Sign-off Sheet

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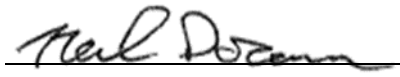
Author: 

David B. Holmes, Principal Scientist

Quality Reviewer: 

Jacqueline Brenner, Associate Scientist

Independent Reviewer: 

Neil Doran, P.G., Principal

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ABBREVIATIONS AND ACRONYMS

ABCA	Analysis of Brownfield Cleanup Alternatives
ACM	asbestos-containing material
ACRES	Assessment, Cleanup, and Redevelopment Exchange System
AHERA	Asbestos Hazard Emergency Response Act
AME	Alan Mok Engineering
APN	assessor parcel number
BER	business environmental risk
CAL/OSHA	California Division of Occupational Safety and Health
C&D	construction & demolition
CFR	Code of Federal Regulations
DWR	Department of Water Resources
ESA	environmental site assessment
FACS	Forensic Analytical Consulting Services
FEMA	Federal Emergency Management Agency
HAZWOPER	Hazardous Waste Operations and Emergency Response
HUD	Housing and Urban Development
LBP	lead-based paint
Mg/cm^2	Milligrams per cubic centimeter
NESHAP	National Emissions Standards for Hazardous Air Pollutants
OSHA	Occupational Safety and Health Administration
PCBs	Polychlorinated biphenyls
PHSE	Parrish Hansen Structural Engineers
PPCG	Provost & Pritchard Consulting Group
RBMs	regulated building materials
REC	recognized environmental condition
RLF	revolving loan fund
RRP	Renovation, Repair, and Painting
SF	square foot or feet
Stantec	Stantec Consulting Services, Inc.
TAMA	Temple Anderson Moore Architects
TBAI	T. Brooks & Associates, Inc.
USEPA	United States Environmental Protection Agency
USGS	United States Geological Survey
VFT	Vinyl floor tile

EXECUTIVE SUMMARY

Stantec Consulting Services, Inc. (Stantec) prepared this Analysis of Brownfield Cleanup Alternatives (ABCA) for a parcel of land nearly fully occupied by a vacant warehouse building located at 735, 739, and 741 H Street, Fresno, California (the "Property"), on behalf of City of Fresno (City or the "Client"). The 0.54-acre parcel is located at the west corner of the intersection of H Street and Mono Street in the downtown area of the City.

The 0.54-acre parcel has dimensions of 59 feet by 400 feet and is nearly fully occupied by a 50-foot by 400-foot one-story vacant warehouse building formerly used for commercial purposes. The building was historically divided into four areas (referenced within this report as Areas A-D), each of which has separate assigned addresses, historical uses, and former occupants. The surrounding areas are comprised of vacant commercial structures, parking lots, retail businesses, the Chukchansi Park baseball stadium, and a railroad right-of-way.

The Property is currently owned by the City. Until recently, it was anticipated that the building might be renovated for adaptive reuse as a retail marketplace, but a building inspection/study completed by a structural engineer in 2022 documented significant structural problems with the walls and foundation of the building and concluded that the cost to renovate the building would significantly exceed the cost of demolishing the building and constructing a new building of similar architectural design. The building has been subject to break-ins and illegal occupancy by homeless residents and is considered to represent a public safety hazard in its current condition. The City wishes to demolish the building and use the Property for future development of affordable housing. The ABCA was prepared in order to meet the requirements for funding the abatement and demolition through a loan from funding available through a United States Environmental Protection Agency (USEPA) Revolving Loan Fund (RLF) Grant awarded to the City in 2020.

A Phase I ESA completed by Stantec in 2022 identified one recognized environmental condition (REC) associated with the former use of Area C by the California Spray Chemical Company from 1931 through 1946 for storage and distribution of a wide range of pesticides, poisons, and other hazardous materials. Due to the toxicity of these materials, there is potential for even minor releases (such as through cracks in the floor) to have resulted in significant releases to the environment. In addition, surveys for regulated building materials (RBM) performed on the building in 2014 and 2022 identified significant quantities of asbestos-containing materials (ACMs) and lead-based paint (LBP) within the building. The surveys did not include assessment of other types of hazardous building materials and equipment that Stantec believes may be present within the building, including but not limited to polychlorinated biphenyls (PCBs) in caulk, fluorescent light ballasts, elevators and other hydraulic equipment, fire alarms, and mercury thermostat switches.

Therefore, this ABCA is focused on evaluating three remedial alternatives to address the current status of the building as a threat to public health and safety, and to support the desired redevelopment of the Property for affordable housing: Alternative 1 – No Action; Alternative 2 – Partial Abatement and Demolition; and Alternative 3 – Full Abatement and Demolition. The three alternatives are evaluated based on their effectiveness, implementability, and cost. Consideration is also given to climate change impacts, equity and environmental justice concerns, and green and sustainable remediation guidance. No Action

(Alternative 1) was considered but is not feasible as it would not allow the primary project goal of assessing the underlying soil to be achieved. Alternatives 2 and 3 include common elements, but the primary difference is that for Alternative 2, the roof and roof support structure would be demolished without first abating roofing materials presumed to contain asbestos, whereas for Alternative 3, all ACMs and other RBMs would be fully removed or otherwise abated prior to demolition of the roof support structure, walls, and other components of the building.

Alternative 3 is the recommended remedial alternative and includes the following sequence of activities:

1. Development of bid specifications, solicitation of bids, execution of a contract for abatement/removal of hazardous building materials (including roofing materials presumed to contain asbestos), and subsequent demolition of the building and disposal of building debris.

2. Abatement of asbestos, lead based paint, and other hazardous building materials as necessary to minimize overall costs for abatement, demolition, and disposal of materials.

3. Demolition of the walls and floors of the building, and disposal/recycling of the materials.

4. Drilling and collection of soil samples through the floor slab of the building, and screening and analysis of the soil samples for potential contaminants of concern.

5. Removal of concrete floor and basement slabs/walls and either on-site crushing and stockpiling of materials for future use, or off-site disposal at a concrete recycling facility.

6. Removal and off-site disposal of the brick foundations.

7. Excavation and disposal of contaminated soil, if present.

8. Backfilling of former basement or excavation areas with clean compacted fill to match surrounding grade.

Although assessment activities and soil remediation are anticipated to be part of the sequence of activities, the cost for these is not included as part of the scope of work to be funded by the RLF.

The estimated cost for Alternative 3 is $753,430. Alternative 1 (no action) is the most easily implementable and has the lowest direct cost but is the least effective and will have the greatest long-term cost (considering “opportunity costs”). Alternatives 2 and 3 are similar in their effectiveness and implementability, but Alternative 3 is likely to be more cost effective as well as greener and more sustainable.

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1.0 INTRODUCTION AND BACKGROUND

Stantec Consulting Services, Inc. (Stantec) prepared this Analysis of Brownfield Cleanup Alternatives (ABCA) for a vacant warehouse building located at 735 H Street, Fresno, California (the "Property"), on behalf of City of Fresno (City or the "Client"). The ABCA was prepared by Stantec in accordance with the Consultant Services Agreement between Stantec and the City dated December 14, 2018, as amended on June 10, 2021, and is being funded through a Revolving Loan Fund (RLF) Grant awarded to the City by the United States Environmental Protection Agency (USEPA) in 2020 (Grant No. BF98T08001).

1.1 GENERAL SITE INFORMATION

The Property is a 0.54-acre single parcel located at the west corner of the intersection of H Street and Mono Street, with current associated addresses of 735, 739, and 741 H Street in the downtown area of the City of Fresno, California. The parcel is identified by the Fresno County Assessor's Office as Assessor Parcel Number (APN) 467-040-23, with reported dimensions of 59 feet by 400 feet. The Property is nearly fully occupied by a single-story elongated warehouse building with reported dimensions of 50 feet by 405 feet. The reported dimensions suggest that the building may encroach upon neighboring properties at its southeast or northwest ends. A 9-foot-wide concrete loading dock is present on the southwest side of the building and extends to the property boundary. This dock apparently served a railroad spur line that formerly extended along this side of the building. A 14-foot concrete loading dock is present on the northeast side of the building and appears to be within the right-of-way for H Street. Since its construction sometime between 1906 and 1918, the building has been divided into four areas, each with separate assigned addresses, historical uses, and occupants, as summarized below.

Area	General Location	Approximate Dimensions	Basement Area Present?	Historical Addresses
A	Southeast end of the building (at the corner of H Street and Mono Street)	50 feet by 50 feet	Yes	701, 705, and 707 H Street, and 1745 Mono Street
B	Northwest of Area A	50 feet by 150 feet	No	719, 733, and 735 H Street
C	Northwest of Area B	50 feet by 100 feet	No	737, 739 and 741 H Street
D	Northwest end of the Property	50 feet by 100 feet	Yes	741 and 755 H Street

The Property and adjacent properties to the northeast are vacant commercial structures. A general site location map is provided as **Figure 1**, and a site vicinity map is provided as **Figure 2**.

1.2 SITE HISTORY AND PREVIOUS USE

The Property is currently owned by the City of Fresno. Historical uses of the Property were investigated by Stantec as part of a Phase I environmental site assessment (ESA) completed in 2022 (Stantec, 2022a).

Based on research completed for the Phase I ESA, the Site appears to have been vacant land prior to 1898, with the first documented use being a lumber yard shown on a Sanborn fire insurance map dated 1906. Records suggest that the current building was constructed circa 1910-1912. As shown on **Table 1**, the earliest records for businesses at the primary addresses associated with the existing building date from 1910, 1912, 1913, and 1918. By 1918, the existing building was present and divided into four main areas with separate street addresses, ownership, and/or uses. Sometime during 1950-1970, the walls of the building were extended in height by 6-8 feet (resulting in the current uniform wall height of approximately 22 feet) and a new roof constructed. This renovation is suspected to have been partly in response to a major fire that destroyed a large portion of the original roof. The last documented occupant of an area within the building was Falcon Enterprises of Fresno, and Fresno Tire Disposal listed at addresses of 733-735 H Street in the 1999 city directory. The City of Fresno reportedly owns the Subject Property, but records documenting the date it was acquired were not obtained as part of the Phase I ESA. The building as a whole has been vacant since approximately 2000, although Area A appears to have been vacant since at least 1975.

Documented historical uses of the four sections of the building (Areas A to D) are summarized below:

<u>Area A (701-707 H Street; 1745 Mono Street)</u>

- 1910-1959: Valley Lumber Co. office (701, 705, 707)
- 1932-1958: United Warehouse Company (701)
- 1932-1958: Fowler Lumber Co (701, 707)
- 1932: Alta District Lumber Co. (701)
- 1937: Valley Lumber Co. – Johns Manville Inc. division – roofing supply warehouse (701)
- 1958: Sequoia Lumber Co, Valco Lumber Distributors, Sequoia Lumber Co. (707)
- 1955: The Feed Barn – livestock and poultry feed supplier
- 1960: Fresno Chamber of Commerce
- 1962-1970: Avernell & Arioto (A & A) Florists Inc. – wholesale florist supplies (1745)
- 1975-2022: Vacant

<u>Area B (719-735 H Street)</u>

- Circa 1911-1912: H. Graff Co. – grocery warehouse
- 1912-1926: Mark Lally Company (later Walworth-Lally Plumbing Supplies) – plumbing supply warehouse (735)
- 1927-1932: Valley Lumber Co. – Johns Manville Inc. division – roofing supply warehouse (735)
- 1948-1950: Valley Lumber Co. – hardwood and building material warehouse (719/735)
- 1958: Zellerbach Paper Co. – warehouse (735)
- 1963-1970: Butler Johnson Corp. – floor tile warehouse and/or wholesale floor covering business (735)
- 1975-1990: Slater Furniture Co – furniture warehouse (735)
- 1999: Falcon Enterprises of Fresno/Fresno Tire Disposal – tire recycling business (735)
- 2002-2022: Vacant

<u>Area C (737-739 H Street)</u> (*Area C is labeled on the Sanborn fire insurance map dated 1918 as 741 H Street, but on subsequent maps dated 1948, 1950, and 1970 as 739 H Street. The association of the address of 741 H Street with Area C appears to have ended in the early 1920s*.)

- 1913-1914: Angelo & Son – fruit basket manufacturing and sales (741)
- 1918: Wholesale produce business (741)
- 1929-1941: Germain Seed & Plant Co. (737)
- 1931-1946: California Spray Chemical Company (737, 739) – *Ads dated 1931-33 for California Spray Chemical Company at this address identify the storage distribution of pesticides and other hazardous materials, including VAPO-DUST No. 2e (described as an oil-pyrethrum insecticide), CYANOGAS (which utilized calcium cyanide as its active ingredient, a variety of Ortho Sulphurs, dusting lime, caustic soda, and a "complete line of pesticides")*.
- 1932: Eagle Transfer Co. (737)
- 1947: Mid Valley Distributing Company (739) – beer distributor
- 1958: Fresno Macaroni Co. (1937)
- 1965: Zellerbach Paper Co. – warehouse (739)
- 1970: Floor tile warehouse (739)
- 1975-2022: Vacant (737, 739)

Area D (741 H Street)

- 1918: Wholesale produce business (755)
- 1924-1942: Armour & Company – wholesale meat supplier (741)
- 1943-1948: United Fairway Produce Company (741)
- 1948-1959: Brentwood Egg Company – egg warehouse (741)
- 1970: Formica sink top warehouse (741)
- 1975-2022: Vacant (741)

1.3 HYDROGEOLOGIC SETTING

The following summary of hydrogeologic conditions is adapted from the Phase I ESA report by Stantec (2022a).

Topography and Surface Water Flow: The Property is located at an elevation of approximately 292 feet above mean sea level (amsl). Topography at the Property is generally flat, with a slight gradient down to the northwest. Stormwater runs to the street gutters along H Street and Mono Street along the Property boundary.

Regional Geology: The Property is located within the Great Valley geomorphic province of California, consisting of an alluvial plain about 50 miles wide and 400 miles long in the central part of California. Its northern portion consists of the Sacramento Valley, drained by the Sacramento River and its southern portion consists of the San Joaquin Valley drained by the San Joaquin River. The Great Valley is a trough into which sediments have been deposited almost continuously since the Jurassic Period (about 160 million years ago). Large oil fields have been found in southernmost San Joaquin Valley and along anticlinal uplifts on its southwestern margin.

Regional and Site Hydrogeology: The Property is located within the Kings Sub-basin of the San Joaquin Valley Groundwater Basin (Department of Water Resources [DWR], 2006). The Kings Sub-basin is bounded to the north by the San Joaquin River, to the west by the Delta-Mendota and Westside Sub-basins, and to the south Empire West Side Irrigation District, the southern fork of the Kings River, and the boundaries of the Laguna, Kings County, Consolidated, Alta, and Stone Corral Irrigation Districts. The

alluvium-granitic rock interface of the Sierra Nevada foothills comprises the eastern boundary of the Kings Sub-basin. Water-bearing formations in the Kings Sub-basin consist of unconsolidated continental deposits comprised of Tertiary and Quaternary age materials (DWR, 2006).

According to groundwater information available for a nearby site (located at 603 Broadway Street, approximately 541 ft southeast of the Property), the depth to groundwater in the vicinity of the Property was approximately 95 ft below grade during in 2016, and groundwater flow direction was generally toward the northwest. Based on groundwater information available for a nearby site located at 655 G Street (approximately 600 feet south southwest of the Property) the groundwater flow directions observed during the three monitoring events in 2015 and 2016 was variable (south-southwest during two events, and north during one event).

1.4 PREVIOUS ENVIRONMENTAL STUDIES AND REMEDIAL ACTIVITIES

Asbestos Survey & Lead-Based Paint Inspection Report (T. Brooks & Associates, Inc. [TBAI], 2014).

In 2014, T. Brooks & Associates, Inc. (TBAI) completed an "Asbestos Survey & Lead-Based Paint Inspection Report" of the Property (TBAI, 2014). ACM and LBP were found throughout the Property structure. Materials documented to contain ACM include dry wall taping mud and surface texture, plastic roof cement, wall paneling, vinyl floor tile and associated mastic, and a vibration damper. For LBP, 47 interior and 4 exterior samples contained lead in excess of 1.0 milligram per square centimeter (mg/cm^2) and would be classified as "Lead-Based Paint" (LBP) under state and federal regulations. Most of the materials with LBP were doors, windows, and door or window casings. No LBP was detected in 8 of the 13 interior rooms/areas that were tested. Of 21 areas for which the substrate was brick, only two samples contained lead in excess of 1.0 mg/cm^2. Testing was performed using a Niton™ Corporation Model XLp-300 x-ray fluorescence (XRF) analyzer.

The California Division of Occupational Safety and Health (Cal/OSHA) regulates all activities involving the disturbance of paint which contains "any detectable" amount of lead. Any construction related work which will disturb building elements which include paint or surface coatings determined to contain lead must be conducted in accordance with applicable local state and federal regulations governing disturbance of lead. Lead waste characterization is required under state and federal requirements prior to disposing of lead-containing waste. A detailed summary of regulations, requirements, and recommendations related to the LBP is provided on pages 13-20 of the TBAI report (which is provided as **Appendix A** of this ABCA).

Warehouse Feasibility Study, 2022 H Street & Inyo Street (Temple Andersen Moore Architects, 2022)

A "Feasibility Study" for the Property which was referenced as the "H Street and Inyo Street" warehouse was completed by Temple Anderson Moore Architects (TAMA) in June 2022 (TAMA, 2022a). The feasibility study included: 1) an executive summary, 2) a Phase I ESA report completed by Provost & Pritchard Consulting Group (PPCG) dated December 23, 2021 (PPCG, 2021), 3) a site topographical survey by Alan Mok Engineering (AME) dated January 18, 2022 (AME, 2022), 4) an Asbestos Survey Report completed

by Forensic Analytical Consulting Services (FACS) dated January 14, 2022 (FACS, 2022), 5) a preliminary structural assessment report by Parrish Hansen Structural Engineers (PHSE) dated February 16, 2022 (PHSE, 2022), and 6) a proposal and cost estimates prepared by TAMA for architectural and engineering services and contractor costs for demolition of the building (TAMA, 2022b, 2022c). The following sub-sections briefly summarize relevant findings from these reports.

- **Phase I ESA, PPCG, December 2021:** No recognized environmental conditions (RECs) were revealed in connection with the Property, however LBP and ACM were observed on the Property. Several generations of fluorescent lighting fixtures were also noted to be present. Some ballasts that may contain PCBs were noted as well as the need to further evaluate and dispose of them in accordance with State regulations. An elevator was noted and described as appearing to be in good condition considering the age, with a motor and pump that did not appear to have obvious leaks. The report stated that the base of the elevator was not visible for observations to evaluate if the apparatus including pistons had leaked.
- **Topographic Survey Map, AMK, January 2022:** The map documents a topographic survey of the Property completed on January 5, 2022. The map documents the location of the building and surrounding areas covered by concrete or pavement. Elevations of the ground surface surrounding the Property range from about 287 to 291 feet amsl. The map identifies six features within the concrete loading dock on the northeast side of the building as “unknown vaults.” The locations of doors on the outside of the building are shown. No detail is shown for the interior of the building.
- **Asbestos Survey Report, FASC, January 2022:** The survey was focused solely on asbestos, and documented the following suspect materials that were sampled and confirmed by laboratory analyses to contain asbestos: 12" vinyl floor tile (VFT) – Marble, 12" VFT – Pink, 3'x3' Floor Tile – Black, 9" VFT – Tan Oatmeal, Aircell Insulation, Drywall – Skip Trowel Texture, Drywall – Smooth Texture, Flooring Material - Black Vinyl, Transite Panels, Vibration Dampener, and 9” VFT – Black. The report noted that while lab results do not reflect all drywall materials as containing asbestos, it was recommended that all drywall containing a paint or texture finish be handled as asbestos-containing. This was due to the random nature of the drywall systems in the building and determining exactly where one system that contains asbestos may stop or start. The report noted that handling all drywall as asbestos-containing would remove the potential for an improper disturbance of the material during renovation activities. A copy of this report is included as **Appendix B** of this ABCA.
- **Preliminary Structural Assessment Report, PHSE, February 2022:** The report provides a preliminary structural assessment of the building for future occupancy options. A copy of this report is included as **Appendix C** of this ABCA. The report noted the following regarding the building construction:
    - The building outer dimensions are approximately 50.5 feet by 405 feet.
    - The building contains two basement areas, with one at the south end of the building having dimensions of approximately 47 feet by 47 feet, and the other beneath the center of the building having dimensions of 47 feet by 100 feet.

- The lower (and original) portion of the building's walls are constructed of brick, approximately 13-inches thick, and 14 to 16 feet tall. On top of the original wall, an extension of what was believed to be unreinforced concrete was added extending 6 to 8 feet above the original wall height, resulting in a current uniform wall height of 22 feet.
- The report noted that the wall extension may have been constructed following a major fire that damaged the roof, but that the 38% to 60% increase in the original wall height resulted in a 90 to 150% increase in the stress level of the original wall when subjected to out-of-plane wind or seismic loads, and an "extreme increase in seismic/wind risk from the original intended construction."
- The two basement areas are constructed with brick walls and concrete floors. The report noted extreme deterioration to the bricks and mortar forming the walls.
- The surface of the loading dock on the northeast side of the building is equal in elevation to the floor inside the building.
- The structural engineer's opinion was that the building could experience significant damage at a Richter level 4 event and catastrophic damage at a Richter level 5 event.
- It was the opinion of the engineer that the remediation and upgrades required by the building code due solely to the existing structural deficiencies and deteriorations – without consideration of voluntary upgrades to enhance public safety – would cost considerably more than the replacement of this building with a new, similar type of construction.

- **Proposal and Cost Estimates for Demolition, TAMA, June 2022:** TAMA provided the City with a proposal to prepare detailed drawings and specifications for demolition of the building for a fee of $12,500 (TAMA, 2022b). TAMA also provided a budgetary estimate of $509,000 for demolition of the building, with the assumption that the wood roof frame structure and concrete could be recycled (TAMA, 2022c).

Phase I Environmental Site Assessment, 735, 739, and 741 H Street, Fresno, California (Stantec, 2022a)

Stantec completed a Phase I ESA report for the Property on behalf of the City (Stantec, 2022a). The findings and opinions summary from the report is reproduced below.

1	Hydrogeologic Conditions	Finding: The surface soil at the Subject Property reportedly consists of sandy loam soil types derived from either eolian (former dune) deposits or from alluvial fan remnants. Site specific groundwater measurement and quality data are not available, but regional groundwater studies and mapping tools suggest that the depth to groundwater at the Subject Property is approximately 95 feet below ground surface and the predominant flow direction is variable.
		Opinion: Based on the significant depth to groundwater, groundwater is unlikely to be encountered during future construction activities. In addition, there is reduced likelihood for future structures to be impacted by vapors emanating from any contaminated plumes of groundwater emanating from potential upgradient off-site contamination sources, wherever they may be located.

2	Previous Phase I ESA for the Subject Property	Finding: A previous Phase I ESA for the Subject Property was completed by PPCG in December 2021, on behalf of TAMA which in turn had the report prepared as part of a feasibility study for the Subject Property. The report identified two RECs, as follows: • "*Based on the age of the building and a previous investigation for Lead Based Paint and Asbestos Containing Materials in 2014, an updated investigation report should be completed*." • "*Several generations of fluorescent lighting fixtures are present. Some ballasts may contain PCB's and should be evaluated and disposed in accordance with State regulations*." The report also identified the following non-scope consideration: • "The elevator appears to be in good condition considering the age, the motor and pump did not appear to have obvious leaks, but the base of the elevator was not visible for observations to evaluate if the apparatus including pistons had leaked."
		Opinion: Stantec generally concurs with the ACM, LBP, fluorescent light ballasts, and elevator equipment being identified as concerns, but would classify all as business environmental risks (BERs) rather than RECs or unspecified concerns. In addition, Stantec identified additional concerns as detailed in Finding/Opinion 7 related to historical use of Area C as a pesticide storage and distribution warehouse by the California Spray Chemical Corporation between 1931 and 1947.
3	Previous Hazardous Building Materials Surveys for the Subject Property Building	Finding: An initial ACM and LBP survey for the building was completed in 2014 by TBAI and identified lead concentrations in excess of 1.0 mg/cm^2 in 47 of 199 interior samples, and 4 of 14 exterior samples. The survey identified the following estimated quantities of materials containing ACMs: • Drywall taping mud and texture (5491 ft^2); vibration dampeners (16 ft^2) • Vinyl floor tiles and mastic (1,740 ft^2) • Wall panels (264 ft^2); Plastic roof cement (15 ft^2) The report included an estimate of $26,500 to abate these ACMs. A survey for ACMs only was completed in 2022 by FACS, and identified the following estimated quantities of materials containing ACMs: • Friable/ACM: Aircell insulation (240 linear feet); drywall – skip trowel or smooth texture with tape & joint (14,240 ft^2); vibration dampeners (4) • Category I Non-Friable: Vinyl floor tile (11,687 ft^2); Non-vinyl floor tile (135 ft^2); • Category II Non-Friable: Transite panel (120 ft^2) Neither study included assessment or sampling for other types of hazardous building materials and equipment that may be present within the building, including but not limited to PCBs in caulk, fluorescent light ballasts, elevators and other hydraulic equipment, fire alarms, and mercury thermostat switches.
		Opinion: There are significant differences in the quantities of ACMs identified in the two reports, with greater quantities identified in 2022. In addition, the study

		completed in 2014 identified significant areas of lead-based paint. These materials should be appropriately managed in conjunction with future building renovation or demolition activities. Additional sampling may be warranted to identify and quantify other types of hazardous materials or equipment that may be present in the building, including, but not limited to PCBs in caulk, fluorescent light ballasts, elevators and other hydraulic equipment, fire alarms, and mercury thermostat switches. The documented and/or potential presence of ACM, lead based paint, and other hazardous building materials and equipment is considered a BER.
4	Historical Uses of the Subject Property as a Whole	Finding: The Property was shown as being vacant land on Sanborn fire insurance maps dated 1885, 1888, and 1898. On the map dated 1906, the Property was occupied by Madary's Lumber Yard. An article in the Fresno newspaper dated 11/18/1909 referenced plans by the City to install an 18-inch diameter storm sewer beneath the sidewalk on H Street from Mono Street to Inyo Street to address repeated flooding occurring in this area every winter with heavy rains, flooding two businesses documented on Sanborn maps to have been present on the opposite (northeast) side of H Street. The article does not reference flooding of a building on the Property. By 1918, the existing building was present, divided into four main areas with separate street addresses, ownership, and/or uses. As shown on **Table 1**, the earliest records for businesses at the primary addresses associated with the existing building date from 1910, 1912, 1913, and 1918. Sometime during 1950-1970, the walls of the building were extended in height by 6-8 feet (resulting in the current uniform wall height of approximately 22 feet) and a new roof constructed. This renovation is suspected to have been partly in response to a major fire that destroyed a large portion of the original roof. The last documented occupant of an area within the building was Falcon Enterprises of Fresno, and Fresno Tire Disposal listed at addresses of 733-735 H Street in the 1999 city directory. The building as a whole appears to have been vacant since approximately 2000. The City of Fresno reportedly owns the Subject Property, but records documenting the date or year it was acquired were not obtained as part of the Phase I ESA.
		Opinion: The historical records reviewed suggest that the building was likely constructed circa 1910-1912. The only documented uses prior to 1910 appear to be the use as a lumber yard in 1906, and this use likely does not date beyond 1898 when the Property appears to have been vacant land. The use of the Property prior to construction of the existing building is not considered a REC.
5	Historical Uses of Area A (701-707 H Street; 1745 Mono Street)	Finding: As shown on **Table 1**, documented historical occupants and uses of Area A include (see note 1 below): • 1910-1959: Valley Lumber Co. office (701, 705, 707) – *see note 2 below*. • 1932-1958: United Warehouse Company (701) • 1932-1958: Fowler Lumber Co (701, 707) • 1932: Alta District Lumber Co. (701) • 1937: Valley Lumber Co. – Johns Manville Inc. division – roofing supply warehouse (701) • 1958: Sequoia Lumber Co, Valco Lumber Distributors, Sequoia Lumber Co. (707)

		• 1955: The Feed Barn – livestock and poultry feed supplier • 1960: Fresno Chamber of Commerce • 1962-1970: Avernell & Arioto (A & A) Florists Inc. – wholesale florist supplies (1745) • 1975--2022: Vacant *Note 1: See Finding/Opinion 4 for use of the Property as a whole (including Area A) before 1910. For the occupants/uses listed above, the numbers in parentheses are the street numbers identified with this occupant or uses in the historical records reviewed.* *Note 2: An ad dated 1910 identified the Valley Lumber Co. office as being located at the corner of H Street and Mono Street, but it is possible that this ad was referencing a former Valley Lumber Co. office shown on historic maps as located on the opposite (south) side of the intersection.*
		Opinion: Long-term use of Area A has been primarily as a lumber company office and a warehouse for various businesses. One of the documented uses (by Johns Manville) is of potential environmental concern, due to Johns Manville's historical status as the world's largest manufacturer of asbestos containing shingles and roofing materials. However, due to the apparent use of the building by Johns Manville and other businesses as an office or warehouse, the presence of a concrete floor, and the absence of any exposed outdoor areas, there is low likelihood of these uses would have resulted in contaminant releases to the environment. Therefore, the documented historical uses of Area A are not considered to be a REC.
6	Historical Uses of Area B (719-735 H Street)	Finding: As shown on **Table 1**, documented historical occupants and uses of Area B include (see note 1 below): • Circa 1911-1912: H. Graff Co. – grocery warehouse. • 1912-1926: Mark Lally Company (later Walworth-Lally Plumbing Supplies) – plumbing supply warehouse (735) • 1927-1932: Valley Lumber Co. – Johns Manville Inc. division – roofing supply warehouse (735) • 1948-1950: Valley Lumber Co. – hardwood and building material warehouse (719/735) • 1958: Zellerbach Paper Co. – warehouse (735) • 1963-1970: Butler Johnson Corp. – floor tile warehouse and/or wholesale floor covering business (735) • 1975-1990: Slater Furniture Co – furniture warehouse (735) • 1999: Falcon Enterprises of Fresno/Fresno Tire Disposal – tire recycling business (735) • 2002-2022: Vacant *Note 1: See Finding/Opinion 4 for use of the Property as a whole (including Area B) before 1910. For the occupants/uses listed above, the numbers in parentheses are the street numbers identified with this occupant or uses in the historical records reviewed.*
		Opinion: Long-term use of Area B has been primarily as a warehouse. Two of the documented uses (as a Johns Manville roofing supply warehouse and by a tire recycling business) are uses of potential environmental concern at certain sites.

		However, due to the apparent use of the building by these businesses as a warehouse, the presence of a concrete floor, and the absence of any exposed outdoor areas, there is low likelihood of these uses would have resulted in contaminant releases to the environment. Therefore, documented historical uses of Area B are <u>not</u> considered to be a REC.
7	Historical Uses of Area C (737-739 H Street)	<u>Finding</u>: As shown on **Table 1**, documented historical occupants and uses of Area C include: • 1913-1914: Angelo & Son – fruit basket manufacturing and sales (741) – *see notes 1 and 2 below* • 1918: Wholesale produce business (741) – *see note 2 below* • 1929-1941: Germain Seed & Plant Co. (737) • 1931-1946: California Spray Chemical Company (737, 739) – *see note 3 below*. • 1932: Eagle Transfer Co.(737) • 1947: Mid Valley Distributing Company (739) – beer distributor • 1958: Fresno Macaroni Co. (1937) • 1965: Zellerbach Paper Co. – warehouse (739) • 1970: Floor tile warehouse (739) • 1975-2022: Vacant (737, 739) *Note 1: See Finding/Opinion 4 for use of the Property as a whole (including Area C) before 1910. For the occupants/uses listed above, the numbers in parentheses are the street numbers identified with this occupant or uses in the historical records reviewed.* *Note 2: Area C is labeled on the Sanborn fire insurance map dated 1918 as 741 H Street, but on subsequent maps dated 1948, 1950, and 1970 as 739 H Street. The association of the address of 741 H Street with Area C appears to have ended in the early 1920s.* *Note 3: Ads dated 1931-33 for California Spray Chemical Company at this address identify the storage distribution of pesticides and other hazardous materials, including VAPO-DUST No. 2e (described as an oil-pyrethrum insecticide), CYANOGAS (which utilized calcium cyanide as its active ingredient, a variety of Ortho Sulphurs, dusting lime, caustic soda, and a "complete line of pesticides").*
		<u>Opinion</u>: Long-term use of Area C has been primarily as a warehouse, by businesses that are generally not associated with high potential for contaminant releases to the environment. The exception is California Spray Chemical Company, which occupied all or portions of Area C for at least 16 years, and which stored and distributed a wide range of pesticides, poisons, and other hazardous materials. Due to the toxicity of these materials, there is potential for even minor releases (such as through cracks in the floor) to have resulted in significant releases to the environment. Therefore, the historical use of Area C by the California Spray Chemical Corporation is considered to be a REC.
8	Historical Uses of Area D (741 H Street)	<u>Finding</u>: As shown on **Table 1**, documented historical occupants and uses of Area D include (*see note 1 below*): • 1918: Wholesale produce business (755) – *see note 2 below* • 1924-1942: Armour & Company – wholesale meat supplier (741) • 1943-1948: United Fairway Produce Company (741) • 1948-1959: Brentwood Egg Company – egg warehouse (741) • 1970: Formica sink top warehouse (741)

		• 1975-2022: Vacant (741) *Note 1: See Finding/Opinion 4 for use of the Property as a whole (including Area D) before 1910. For the occupants/uses listed above, the numbers in parentheses are the street numbers identified with this occupant or uses in the historical records reviewed.* *Note 2: Area D is labeled on the Sanborn fire insurance map dated 1918 as 755 H Street, but on subsequent maps dated 1948, 1950, and 1970 as 741 H Street. The association of the address of 755 H Street with Area D appears to have ended in the early 1920s.*
		Opinion: Long-term use of Area D has been primarily as a warehouse for wholesale food product businesses, and these documented historic uses are not considered to be a REC.
9	Historical Uses of Neighboring Properties	Finding: Long-term commercial and/or industrial uses of note on adjacent or neighboring properties include: • 755 H Street (adjacent to northwest): This property was occupied until approximately 1997 by a warehouse building of similar design and age as the building on the Subject Property. The portion of the building adjacent to the Subject Property was identified with the address of 771 H Street in 1918 (when it was a produce warehouse) and with the address of 755 H Street beginning in 1924. Documented occupants of this portion of the building include the Los Angeles Soap Company (1924-1932), the American Cyanamid & Chemical Corporation (1936-1942), and the Zellerbach Paper Company (1948-1950). • 631-653 H Street/1728-1748 Mono Street (neighboring property to southeast – across Mono Street): Valley Lumber Co (from before 1898, 1918, 1948, 1950) Not shown on 1970 map. • Neighboring property to southwest: Railroad yard and freight warehouse (1898-1948, 1950, 1970). • 702-732 H Street (neighboring property to northeast – across H Street): Valley Foundry & Machine Works (1904-1951). • 754-764 H Street (neighboring property to northeast – across H Street): Fresno Steam Laundry Co (1903, 1906), Thomas Parisian Dyeing & Cleaning Works (1909), Kohler's Steam Laundry (1918, 1927, 1948), Fresno Steam Laundry (1951), Fresno Liberty Laundry (1954), Fresno Linen Service (1963, 1964). Building was demolished in 1964.
		Opinion: Due to the presence of a building on the Property since 1910-12, and the lack of outdoor areas, there is significantly reduced potential for air-borne pollutants associated with historical industrial or commercial activities on these neighboring properties to impact the Property. The significant depth to groundwater makes it unlikely that undocumented hazardous substance or petroleum releases on these neighboring properties could impact indoor air at the Property due to off-gassing of contaminants from groundwater. There are no records suggesting that the steam laundry present for >60 years at 754-764 H Street included significant use of dry-cleaning chemicals. Therefore, the historical uses of these neighboring properties are not considered a REC for the Subject Property.
10	Environmental Listings for	Finding: There are listings for 20 or more sites within a 0.5-mile radius of the Property within one or more of the environmental databases searched.

	Neighboring Properties	Opinion: Based on the type of listings, the distance, and locations of these sites relative to the Property, and other factors, none of the sites are considered to represent a REC for the Property.
11	Site Visit Observations	Finding: During the site reconnaissance, Stantec observed a 5-gallon bucket that had been tipped over and was leaking oil on the floor of the building.
		Opinion: The spill of a small amount of oil onto a concrete floor on the interior floor of the building does not represent a significant environmental concern to the Property and is considered a *de minimis* condition.

A copy of **Table 1** from the Phase I ESA is included in this ABCA report.

735, 739, and 741 H Street Section 106 Inventory and Evaluation Report (Stantec, 2022b)

Stantec completed a cultural resource assessment of the Property on behalf of the City of Fresno in 2022. The study reaffirmed the findings of previous studies which determined that the Property was ineligible for listing on the National Register of Historic Places, and an overall finding of No Adverse Effects for the proposed project to abate hazardous building materials and perform demolition of the building.

1.5 SUMMARY OF KEY ENVIRONMENTAL, SAFETY, AND OTHER CONCERNS RELEVANT TO ASSESSMENT OF CLEANUP ALTERNATIVES

The key environmental concerns identified at the Property include one REC associated with the former use of Area C by the California Spray Chemical Company from 1931 through 1946 for storage and distribution of a wide-range pesticides, poisons, and other hazardous materials. Due to the toxicity of these materials, there is potential for even minor releases (such as through cracks in the floor) to have resulted in significant releases to the environment. In addition, surveys for regulated building materials performed on the building in 2014 and 2022 identified significant quantities of ACMs and LBP within the building. The surveys did not include assessment of other types of hazardous building materials and equipment that Stantec believes may be present within the building, including but not limited to PCBs in caulk, fluorescent light ballasts, elevators and other hydraulic equipment, fire alarms, and mercury thermostat switches.

At the time the Phase I ESA was performed by Stantec, plans for redevelopment of the Property for affordable housing had not been identified by the City. Based on these plans, an additional business environmental risk for the Property should include the potential for undocumented contamination to be present in the subsurface throughout the Property. Redevelopment of the Property for affordable housing will require removal of the existing building, foundations, and floor slabs, exposing soil throughout the Property. The change from industrial/commercial use to residential use warrants a greater level of environmental testing, beyond just areas where RECs have been identified.

Due to the poor structural condition of the walls and foundations of the Property, the City has concluded that the building in its current condition is a public safety hazard and would cost significantly more to renovate than to demolish and replace with a new fully code compliant structure of similar design. In

addition to being a general safety hazard, the building represents a potential hazard to workers or the users of heavy equipment inside the building. This is relevant to whether additional assessment activities (such as drilling and sampling soil beneath the floor slab) can be safely performed without the building first being removed.

The poor structural condition of the building could also result in challenges for safely abating hazardous building materials prior to demolition. However, if these materials are not removed or otherwise abated prior to demolition, the demolition debris could potentially become a commingled hazardous waste subject to far greater handling and disposal costs than if these materials are first abated, in which case a significant portion of the structure could potentially be salvaged, recycled, or disposed of as a solid waste.

2.0 REDEVELOPMENT PLAN

The Property was proposed until recently for rehabilitation and reuse as a retail complex in conjunction with a multi-unit housing development on the adjoining lot to the west. This redevelopment proposal is no longer active. According to City Planning Department representatives, the Site is now planned for redevelopment for affordable housing.

3.0 APPLICABLE REGULATIONS AND CLEANUP STANDARDS

3.1 CLEANUP OVERSIGHT RESPONSIBILITY

Site cleanup and redevelopment should be conducted in compliance with applicable laws, regulations, and procedures outlined below.

3.2 APPLICABLE CLEANUP STANDARDS FOR KEY CONTAMINANTS

Cleanup standards for the key hazardous materials confirmed to be present at the Property are summarized below.

LBP – Building materials containing lead in paint or other surface coating material containing lead are defined by the U.S. Department of Housing and Urban Development (HUD) and USEPA as greater than or equal to 5,000 parts per million or 0.5% by weight (HUD, 1997). The cleanup standards are assumed to equal this level.

Asbestos – Cleanup standards for asbestos are based on the USEPA Asbestos-Containing Materials in Schools, Final Rule and Notice (USEPA, 1987). Although this rule is in place primarily to protect children in schools, following the guidelines within the rule is encouraged for all building renovations for the overall protection of human health.

3.3 LAWS AND REGULATIONS APPLICABLE TO CLEANUP

This section is provided for informational purposes only and the Property owner (or contractor implementing the cleanup) is responsible for ensuring compliance with all applicable laws and regulations.

Cleanup activities at the Property should be conducted by contractors operating in accordance with the U.S. Department of Labor Occupational Safety & Health Administration (OSHA) Hazardous Waste Operations and Emergency Response (HAZWOPER) standard codified at 29 Code of Federal Regulations 1910.120. The HAZWOPER standard applies to cleanup operations required by federal, state, local, or other governmental body involving hazardous substances. Additionally, the California OSHA “Lead in Construction Standard” codified in Title 8 California Code of Regulations Section 1532.1, is applicable to construction work where an employee may be exposed to lead.

National Emission Standards for Hazardous Air Pollutants (NESHAP) are outlined in the Code of Federal Regulations (CFR) Title 40 Chapter I Subchapter C Part 61 Subpart M. OSHA regulations regarding asbestos exposure during construction activities (i.e., renovation and demolition) are outlined in CFR Title 29 Subtitle B Chapter XVII Part 1926.1101, whereas OSHA regulations regarding respiratory protection are outlined in CFR Title 29 Subtitle B Chapter XVII Part 1910.134. A NESHAP notification form must be submitted at least 10 working days prior to the beginning of renovation or demolition activities involving ACMs. This notification form must include information regarding the company that performed the ACM

survey, the analytical laboratory, the company performing the demolition or renovation activities, the company transporting waste that contains asbestos, and the landfill where the waste that contains asbestos will be disposed.

The Asbestos Hazard Emergency Response Act (AHERA) was designed to address the presence of asbestos in school buildings. AHERA also tasked the USEPA with developing a plan for accrediting individuals responsible for performing asbestos surveys and remediation. AHERA protocols are considered the best industry practice for asbestos surveys and remediation, and these protocols are typically applied to non-school buildings. Although no school buildings are located at the Property, it is recommended that remediation be performed by a company that utilizes AHERA-certified personnel for asbestos demolition and remediation activities. AHERA is outlined in CFR Title 40 Chapter I Subchapter R Part 763 Subpart E.

Permitting for abatement of asbestos in Fresno County is subject to the requirements of the San Joaquin Valley Air Pollution Control District.

The USEPA has adopted the Renovation, Repair, and Painting (RRP) Rule (40 CFR 745.80) to minimize exposure from LBP dust by training contractors to make sure they follow lead-safe work practices during renovation of a structure. Although this rule is in place primarily to protect child-occupied facilities, following the guidelines within the rule is encouraged for all building renovations for the overall protection of human health. In addition to this rule, contractors are required to follow the HUD Lead Safe House Rule and all local and state specific requirements. The RRP Rule requires that renovators be USEPA-certified, accredited, and follow specific work practices.

The RRP Rule does not apply to the total demolition of structures. It is recommended that a certified lead inspector be on-site to oversee demolition activities and appropriate disposal of materials. Demolition work should be conducted by a lead-certified company and individuals trained/licensed to handle and dispose of LBP materials.

The California Green Building Code requires that 65% of construction and demolition (C&D) debris be diverted from landfills on each covered project. Before a building permit can be issued, a Waste Management Plan must be approved that identifies both (1) a waste hauler and (2) a C&D sorting facility. Before a project can be finalized, a Waste Log documenting the 65% diversion requirement must be approved. Waste Logs should be submitted prior to calling for a final inspection.

Federal laws and regulations applicable to this cleanup include the Small Business Liability Relief and Brownfields Revitalization Act and the Davis-Bacon Act. Federal, state, and local laws regarding procurement of contractors to conduct the cleanup are also applicable.

3.4 GENERAL BROWNFIELDS REDEVELOPMENT BEST PRACTICES APPLICABLE TO CLEANUP

There are several general brownfields redevelopment “best practices” that can be incorporated into redevelopment plans that help to mitigate risks associated with potential or probable undocumented areas of impacts that may be present. These may or may not be relevant to the Property, depending on the specific redevelopment plans:

1. Designing site grading plans in a manner that minimizes or eliminates the need to remove soil from the Property.
2. Avoiding building designs that include construction of basements or underground parking structures, which, if included in the design, would typically result in: (a) the need to manage much greater quantities of soil, (b) an increase in the potential for needing to take excess soil off-site, (c) an increase in the potential for on-site workers to come into contact with impacted soil at depth, and (d) an increase in the potential for migration of contaminated soil vapors into the building.
3. Avoiding building designs that will require use of basement sumps (which could unknowingly draw contaminated groundwater towards the building).
4. Designing building and parking/driveway area layouts to maximize the extent to which the pavement for these can serve as a long-term engineered barrier that will prevent direct contact with both documented and undocumented areas of impacted soil.
5. Assuming that any soil in areas or depth intervals that have not specifically been tested may be impacted, and either landfilling this soil, or conducting additional sampling and screening of the soil for contaminants, before disposing of the soil at a site other than a landfill.
6. Avoiding the siting of buildings directly on top of former known or suspected areas impacted by volatile organic compounds (to help further reduce potential future concerns with contaminated vapors migrating into enclosed occupied spaces).
7. Siting stormwater ponds in areas least likely to have undocumented soil or groundwater impacts.
8. Planning for the potential presence of: (a) poorly consolidated fill materials within the footprints of former buildings, (b) concrete foundations associated with former buildings, and (c) abandoned sewer lines or other undocumented former underground utility lines.

4.0 EVALUATION OF BROWNFIELDS CLEANUP ALTERNATIVES

4.1 CLEANUP ACTION OBJECTIVES

The general cleanup action objective is to mitigate the identified contaminants (i.e., ACM, LBP, and possible other hazardous materials present within the building) to enable the building to be cost effectively demolished as necessary to support redevelopment of the Property, and to provide safe access for environmental testing of the underlying soil.

4.2 CLEANUP ALTERNATIVES CONSIDERED

The evaluation of cleanup alternatives in this section is focused on addressing ACM, LBP, and possible other hazardous building materials or equipment present within the building. This evaluation does not address potential contamination beneath the building beyond the need to enable testing to be safely performed prior to redevelopment of the Property.

Lead concentrations in excess of 1.0 mg/cm^2 were identified in 47 of 199 interior samples, and 4 of 14 exterior samples, analyzed as part of the LBP survey completed in 2014. The 2014 survey identified the following estimated quantities of materials containing ACMs:

- Drywall taping mud and texture (5,491 ft^2);
- Vibration dampeners (16 ft^2);
- Vinyl floor tiles and mastic (1,740 ft^2); and
- Wall panels (264 ft^2); Plastic roof cement (15 ft^2).

The more recent ACM survey completed in 2022 by FACS identified the following estimated quantities of materials containing ACMs:

- Friable/ACM: Aircell insulation (240 linear feet); drywall – skip trowel or smooth texture with tape & joint (14,240 ft^2); vibration dampeners (4);
- Category I Non-Friable: Vinyl floor tile (11,687 ft^2); non-vinyl floor tile (135 ft^2); and
- Category II Non-Friable: Transite panel (120 ft^2).

The cost estimates presented in this document should be independently verified. A description of each alternative and the results of the comparative analysis are presented below.

4.2.1 Alternative 1 – No Action

The No Action Alternative is included as a baseline for comparison to the other proposed alternatives. The No-Action Alternative assumes: 1) all ACM, LBP, and other hazardous building materials and equipment remain in the building, and 2) the building is not demolished.

4.2.2 Alternative 2 – Partial Abatement and Demolition

Under Alternative 2, it is assumed that the roof materials cannot be safely abated prior to demolishing the roof substructure, and that both the roofing and substructure will need to be demolished for removal, and will result in a commingled asbestos containing waste. It is assumed that other hazardous building materials can be fully and safely abated prior to demolition. Alternative 2 includes the following sequence of activities:

1. Development of bid specifications, solicitation of bids and execution of a contract for demolition of the building and disposal of building debris.

2. Abatement and removal of ACM, LBP, universal wastes, and other hazardous building materials within the interior of the building that do not require removal or significant disturbance of structural components of the building.

3. Demolition of the roof and wooden roof support structure.

4. Disposal of the commingled roofing and roof support structure materials as a commingled California asbestos hazardous waste.

5. Drilling and collection of soil samples through the floor slab of the building, and screening and analysis of the soil samples for potential contaminants of concern.

6. Removal of the concrete floor and basement slabs/walls and either on-site crushing and stockpiling of materials for future use, or off-site disposal at a concrete recycling facility.

7. Removal and off-site disposal of the brick foundations.

8. Excavation and disposal of contaminated soil, if present.

9. Backfilling of former basement or excavation areas with clean compacted fill to match surrounding grade.

Note: Although soil assessment and/or remediation activities are anticipated to be part of the sequence of activities under Alternative 2, the cost for these is not included as part of the scope of work to be funded by the RLF.

4.2.3 Alternative 3 – Full Abatement and Demolition

Alternative 3 differs from Alternative 2 in that all hazardous materials in the will be abated prior to demolition. Alternative 3 includes the following sequence of activities:

1. Development of bid specifications, solicitation of bids and execution of a contract for abatement/removal of hazardous building materials (including roofing materials presumed to contain asbestos), and subsequent demolition of the building and disposal of building debris.

2. Abatement of ACM, LBP, and other hazardous building materials as necessary to minimize overall costs for abatement, demolition, and disposal of materials.

3. Demolition of the walls and floors of the building, and disposal/recycling of the materials.

4. Drilling and collection of soil samples through the floor slab of the building, and screening and analysis of the soil samples for potential contaminants of concern.

5. Removal of concrete floor and basement slabs/walls and either on-site crushing and stockpiling of materials for future use, or off-site disposal at a concrete recycling facility.

6. Removal and off-site disposal of the brick foundations.

7. Excavation and disposal of contaminated soil, if present.

8. Backfilling of former basement or excavation areas with clean compacted fill to match surrounding grade.

Note: The key difference with Alternatives 2 and 3 is that Alternative 3 would assumes that the roofing materials can be safety abated and removed. Alternative 2 could be implemented if the structural condition of the building is such that abatement of the roofing materials cannot be safety performed. Contractors will be responsible for making this determination.

4.3 EVALUATION OF CLEANUP ALTERNATIVES

The following criteria were used to evaluate the three cleanup alternatives:

- Effectiveness;
- Implementability; and
- Cost.

In addition, consideration was given to climate change impacts, equity and environmental justice concerns, and green and sustainable remediation guidance.

4.3.1 Effectiveness

Effectiveness has both short-term and long-term components. The short-term effectiveness of a remedial alternative is evaluated relative to its effect on human health and the environment during the implementation of the remedial action. Potential risks to the community, potential impacts on workers, the effectiveness and reliability of protective measures, potential environmental impact of the remedial action and the effectiveness/reliability of the mitigation measures during implementation, etc. are some of the factors that are typically considered. Long-term effectiveness and permanence of a remedial alternative are evaluated with respect to the following factors: magnitude of residual risk to human health and environment from the untreated or residual waste at the completion of remedial activities; an assessment of type, degree, and adequacy of long-term management (engineering controls, monitoring, maintenance, etc.) required for untreated or residual waste; an assessment of the long-term reliability of long-term management practices to provide continued protection from the untreated/residual waste; and the potential need for replacement of the remedy and continuing need for repairs to maintain the performance of the remedy.

4.3.1.1 Effectiveness – Alternative 1 (No Action)

No action is considered the least effective option as it would not address the threats to human health posed by the hazardous materials and would not make it possible to demolish or redevelopment the Property for the desired future use (affordable housing).

4.3.1.2 Effectiveness – Alternative 2 (Partial Abatement and Demolition)

Demolition of the roof and roof wooden support structure without prior abatement of roofing materials (presumed to contain asbestos) would be an effective method for: a) removing the building, b) removing hazardous building materials from the Property, and c) providing safe access for testing of underlying soil. It would reduce the potential physical safety hazards related to abating roofing materials within the structurally unsound building, but would complicate handling and removal of the resulting roofing and roof support structure commingled demolition debris – which would potentially be subject to management and disposal requirements as a commingled California hazardous waste.

4.3.1.3 Effectiveness – Alternative 3 (Full Abatement and Demolition)

This alternative assumes that it will be safe to abate ACMs and other hazardous building materials (including roofing materials) within the building in its current condition, and that abatement would therefore be conducted prior to demolition of the roof support structure and walls of the building. This alternative would be effective in a) removing the building, b) removing hazardous building materials from the Property, and c) providing safe access for testing of underlying soil.

4.3.2 Implementability

Implementability refers to the technical and administrative feasibility of implementing an alternative, and the various materials and services required during its implementation. Examples of such factors for implementation of an alternative include ability to construct, operate and monitor; time required to obtain necessary permits and approval; and availability of equipment, materials, contractors, etc.

4.3.2.1 Implementability – Alternative 1 (No Action)

No action is the most easily implementable alternative because it involves no activities.

4.3.2.2 Implementability – Alternative 2 (Partial Abatement and Demolition)

Demolition and disposal would also be easy to implement. However, demolition could be complicated by the need for additional measures to control dust. Handling and disposal of materials would also be complicated.

4.3.2.3 Implementability – Alternative 3 (Full Abatement and Demolition)

Alternative 3 would likely be the most complicated alternative to implement, but this will depend on whether the abatement/demolition contractors conclude that the hazardous building materials (including roofing

materials) can safely be abated prior to demolition given the building's structural condition. Abating the material prior to demolition would likely simplify the demolition and disposal process, enhancing this alternative's implementability.

4.3.3 Costs

Cost estimates are presented in this section based on estimates obtained from qualified contractors for this type of work.

4.3.3.1 Costs – Alternative 1 (No Action)

There is no direct cost associated with this alternative. However, it carries a significant opportunity cost given that it would preclude redevelopment of the Property for affordable housing.

4.3.3.2 Costs – Alternative 2 (Partial Abatement and Demolition)

A cost estimate for Alternative 2 is presented below, based primarily on previous cost estimates obtained by the City in 2014 and 2022.

Item Number and Description	Cost
1) Engineering Services – Preparation of Demolition Specification/Bid Documents	$12,500
2) Asbestos Abatement (building interior, excluding roof)	$66,245
3) Demolition, Handling, and Disposal of Roofing and Roof Support Structure	$67,600
4) Handling and Disposal of Other Universal Wastes	$15,000
5) Building Demolition	$484,000
SUBTOTAL	$645,345
6) Contingency (25% of Subtotal)	$161,335
TOTAL	**$806,680**

Notes/Assumptions:

1) Based on proposal by TAMA dated 6/15/2022 (TAMA, 2022b).
2) Based on a cost estimate of $26,850 prepared by TBAI in May 2014 (TBAI, 2014) adjusted to include $25,850 in costs for abatement of an additional 5,170 square feet of non-friable flooring material containing 2% asbestos identified by FACS in 2022. The total of $52,700 was then increased by 25.7% to account for inflation between May 2014 and March 2023.
3) The roofing is assumed to have an area of approximately 60 feet by 405 feet (= 24,300 ft^2), a thickness of 1-inch, a volume of 2,205 ft^3 (= 75 cubic yards), an average density of 40 pounds/ft^3, and a total weight of 40.5 tons. The roof support structure is assumed to include 10,000 linear feet of 2-inch X 4-inch wood boards, 1,620 linear feet of 4-inch X 14-inch wood beams, and 800 linear feet of 6-inch by 30-inch beams. These are estimated to have a total volume of 2,230 ft^3 (= 82.5 cubic yards), an average density of 40 pounds/ft^3, and a total weight of 44.5 tons. It is assumed that the roof and roof support structure will become commingled asbestos waste when demolished, and that demolition, handling, trucking, and disposal of this material will have a combined unit cost of $800/ton.

4) Budgetary estimate by Stantec (2023).
5) Budgetary estimate by TAMA dated 6/15/2022 (TAMA, 2022c). The estimate assumed that the roofing materials are abated and removed prior to demolition of the underlying wood framed roof support structures. The estimate assumed that the roof structure can be recycled as well as the concrete but that the brick cannot be recycled as road base due to changes in Caltrans specifications. The estimate assumed that the basement areas would be backfilled with clean fill. The estimate of $509,000 by TAMA has been reduced by $25,000 to account for the costs for demolition and disposal of the roof support structure being included under Item #3.
6) A contingency of 25% has been added to reflect the significant variability in contractor pricing for this type of work, further exacerbated by on-going high inflation rates and impacts on construction costs.

4.3.3.3 Costs – Alternative 3 (Full Abatement and Demolition)

A cost estimate for Alternative 3 is presented below, based primarily on previous cost estimates obtained by the City in 2014 and 2022 (TBAI, 2014; TAMA, 2022b, 2022c).

Item Number and Description	Cost
1) Engineering Services – Preparation of Demolition Specification/Bid Documents	$12,500
2) Asbestos Abatement (building interior, excluding roof)	$66,245
4) Handling and Disposal of Other Universal Wastes	$15,000
4 Building Demolition	$509,000
SUBTOTAL	$602,745
5) Contingency (25% of Subtotal)	$150,865
TOTAL	**$753,430**

Notes/Assumptions:

1) Based on proposal by TAMA dated 6/15/2022 (TAMA, 2022b).
2) Based on a cost estimate of $26,580 prepared by TBAI in May 2014 (TBAI, 2014) adjusted to include $25,580 in costs for abatement of an additional 5,170 square feet of non-friable flooring material containing 2% asbestos identified by FACS in 2022. The total of $52,700 was then increased by 25.7% to account for inflation between May 2014 and March 2023.
3) Budgetary estimate by Stantec (2023).
4) Budgetary estimate by TAMA dated 6/15/2022 (TAMA, 2022c). The estimate assumed that the roofing materials are abated and removed prior to demolition of the underlying wood framed roof support structures. The estimate assumed that the roof structure can be recycled as well as the concrete but that the brick cannot be recycled as road base due to changes in Caltrans specifications. The estimate assumed that the basement areas would be backfilled with clean fill.
5) A contingency of 25% has been added to reflect the significant variability in contractor pricing for this type of work, further exacerbated by on-going high inflation rates and impacts on construction costs.

4.3.4 Consideration of Climate Change Impacts

Scientific evidence demonstrates that the climate is changing at an increasingly rapid rate, outside the range to which society has adapted in the past. These changes can pose significant challenges to USEPA's ability to fulfill its mission. USEPA must adapt to climate change if it is to continue fulfilling its statutory, regulatory, and programmatic requirements. USEPA is therefore anticipating and planning for future climate changes to ensure it continues to fulfill its mission of protecting human health and the environment even as the climate changes.

In 2014, USEPA released its Climate Change Adaptation Plan to the public (USEPA, 2014a). The plan relies on peer-reviewed scientific information and expert judgment to identify vulnerabilities to USEPA's mission and goals from climate change. The Region 9 Climate Change Adaption Implementation Plan (USEPA, 2014b) identifies vulnerabilities in three different "regions" within Region 9. Fresno is located within the "Southwest Region" for which identified vulnerabilities included:

1. *Warmer temperatures will reduce mountain snowpacks, and peak spring runoff from snow melt will shift to earlier in the season, leading to and increasing the shortage of fresh water during the summer. A longer and hotter warm season will likely result in longer periods of extremely low flow and lower minimum flows in late summer. Water supply systems that have no storage or limited storage (e.g., small municipal reservoirs) may suffer seasonal shortages in summer.*
2. *The magnitude of projected temperature increases for the Southwest, particularly when combined with urban heat island effects for major cities such as Phoenix, Albuquerque, Las Vegas, and many California cities, represents significant stresses to health, energy, and water supply in a region that already experiences very high summer temperatures.*
3. *Reduced ground water supply due to a lack of recharge will be of concern.*
4. *Warmer ocean temperatures may decrease productivity by stopping entrainment of deep supplies of nutrients. The resulting reductions in commercial species will need to be addressed to support continued production of fisheries and aquatic life.*
5. *Increased frequency and altered timing of flooding will increase risks to people, ecosystems, and infrastructure. Increased flood risk is likely to result from a combination of decreased snow cover on the lower slopes of high mountains, and an increased percentage of winter precipitation falling as rain and therefore running off more rapidly.*
6. *Sea levels are rising and contributing to the loss of wetlands and infrastructure located along coastal corridors.*
7. *The magnitude and frequency of wildfires have increased over the last 30 years which severely impacts water quality in streams, creeks, rivers, lakes, and estuaries.*

Based on its location and hydrogeologic setting, the vulnerabilities related to temperature increases and urban heat island effects (item #2 above) and Increased frequency and altered timing of flooding (item #5) are potentially relevant to planning for the Property. The north 60% of the Property is within the 0.2% annual probability flood hazard zone and could be at increased risk of future flooding in response to

increases in extreme rainfall events. The building and outdoor paved areas cover an estimated 95% or more of the Property with impermeable surfaces. Redevelopment of the Site for affordable housing (as would be facilitated by both Alternatives 2 and 3) would likely include stormwater management measures, and landscaping that would help to mitigate stormwater runoff and urban heat island effects.

4.3.5 Consideration of Equity and Environmental Justice Concerns

Alternative 3 (the recommended cleanup option) is considered the most favorable in terms of environmental justice concerns. It will safely and fully remove the hazardous building materials present within the building and facilitate safe and comprehensive testing of soil beneath the concrete slab prior to its removal, which is appropriate and necessary given plans to convert the Site from industrial/commercial to residential use.

4.3.6 Consideration of Green and Sustainable Remediation Guidance

When implemented effectively, green, and sustainable remediation practices enhance the environmental benefits offered by federal cleanup and redevelopment programs such as the USEPA Brownfields Program. The principles governing green and sustainable remediation for USEPA cleanup programs have been outlined in greater detail in USEPA's Principles for Greener Cleanups (USEPA, 2009), but generally seek to "evaluate cleanup actions comprehensively to ensure the protection of human health and the environment and to reduce the environmental footprint of cleanup activities, to the maximum extent possible." The following five general elements were identified by USEPA as principles to be considered in designing the cleanup process:

- Minimize total energy use and maximize use of renewable energy.
- Minimize air pollutants and greenhouse gas emissions.
- Minimize water use and impacts to water resources.
- Reduce, reuse, and recycle material and waste.
- Protect land and ecosystems.

USEPA also references the ASTM International Standard Practice E2893-16 "Standard Guide for Greener Cleanups" as a guide to be considered in designing greener cleanups. Although a total of 155 best management practices are referenced in the guide – none are focused on abatement of ACMs.

Alternative 2 would increase the project costs, and also result in the need to dispose of roof wooden support materials as a commingled hazardous waste that might otherwise be recycled and reused. These materials are less likely to be disposable at a Fresno area facility, and potentially would be disposed of out of state, which would result in additional greenhouse gas emissions related to trucking of materials.

4.4 RECOMMENDED REMEDIAL ALTERNATIVE

The recommended remedial alternative is full abatement and demolition disposal (Alternative 3). Alternative 1 (no action) is the most easily implementable and has the lowest direct cost, but is the least effective and will have the greatest long-term cost (considering "opportunity costs"). Alternatives 2 and 3

are similar in their effectiveness and implementability, but Alternative 3 is likely to be more cost effective as well as greener and more sustainable.

5.0 DISCLAIMER AND LIMITATIONS

This ABCA was completed in accordance with generally accepted practices of the profession for performing similar studies at the same time and in the same geographical area. Stantec observed that degree of care and skill generally exercised by the profession under similar circumstances and conditions. No other warranty is expressed or implied.

Stantec observations, findings, and opinions must not be considered as scientific certainties, but only an opinion based on our professional judgment concerning the significance of the data gathered during the investigation. Specifically, Stantec does not and cannot represent that the Site contains no hazardous or toxic materials or other latent condition beyond that observed by Stantec.

Stantec does not warrant that this submittal represents an exhaustive study of all possible environmental concerns at the project area. The items investigated as part of this study represent likely sources of environmental concerns at the project area and are consequently believed to adequately address the public at risk at the present time. All costs presented as estimated, and actual costs may vary significantly from these estimates based on the availability of local contractors and numerous other factors.

6.0 REFERENCES

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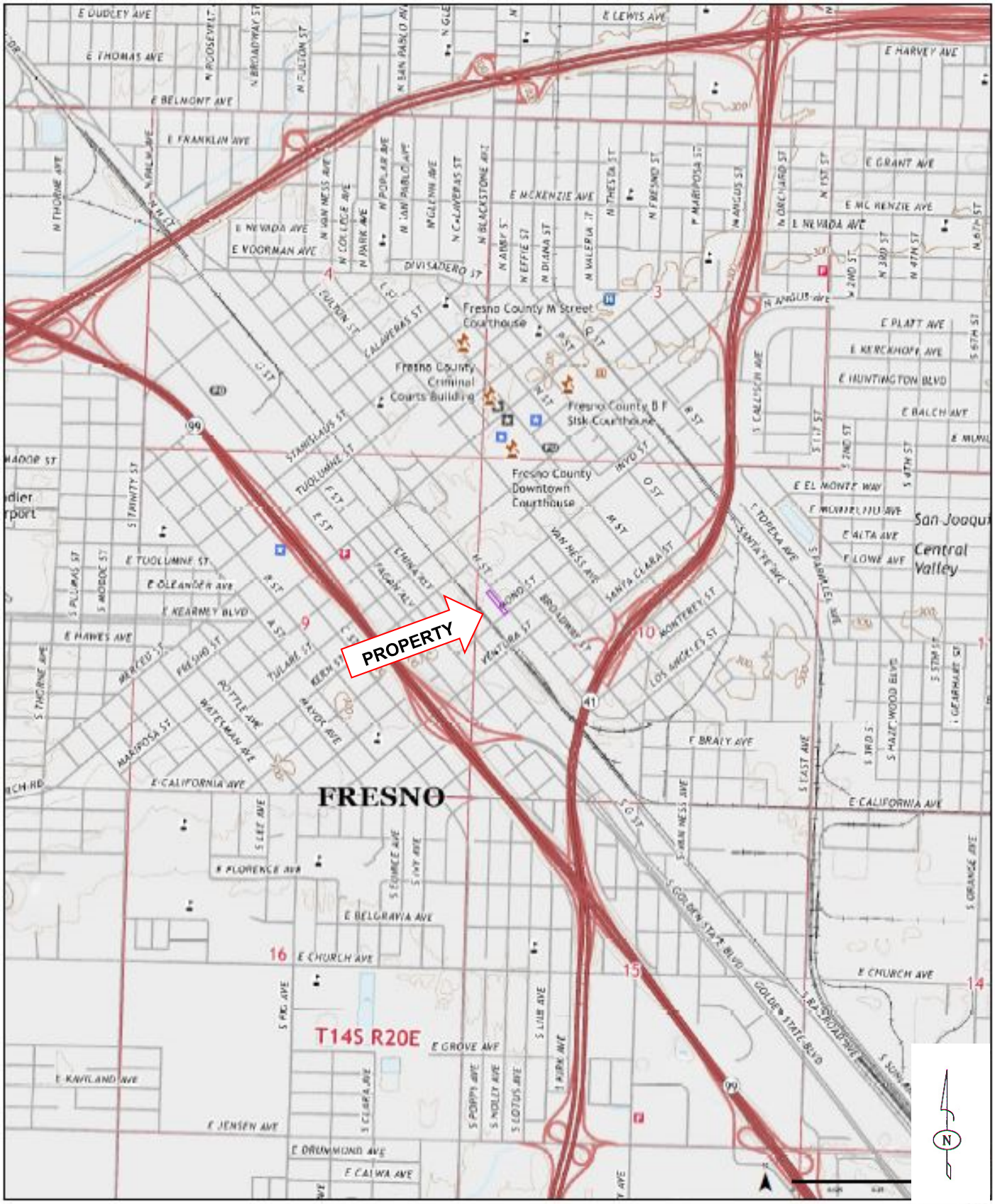
FIGURES



Stantec	FOR: 735 H Street FRESNO, CALIFORNIA		PROPERTY LOCATION MAP		FIGURE: 1
	PROJECT NUMBER: 185704673	DRAWN BY: AMH	CHECKED BY: CEA	APPROVED BY: NHD	DATE: June 30, 2022

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Stantec

FOR:		PROPERTY VICINITY MAP		FIGURE:
735 H Street FRESNO, CALIFORNIA				2
PROJECT NUMBER: 185704673	DRAWN BY: AMH	CHECKED BY: CEA	APPROVED BY: NHD	DATE: June 30, 2022

TABLE

TABLE 1 - CHRONOLOGY OF PROPERTY OWNERSHIP AND LAND USES (1885-2022)

Property, Building Area and Current Address	Historic Address	Year, Key Historic Reference, and Site/Parcel Information																																		
		1885	1886	1887	1888	1889	1890	1891	1892	1893	1894	1895	1896	1897	1898	1899	1900	1901	1902	1903	1904	1905	1906	1907	1908	1909	1910	1911	1912	1913	1914	1915	1916	1917	1918	1919	1920	1921	1922	1923	1924	1925	1926
		Sanborn Map			Sanborn Map										Sanborn Map								Sanborn Map			Newspaper Article	Newspaper Article		Newspaper Article	Newspaper Article	Newspaper Article	Newspaper Article		Newspaper Article	Sanborn Map				City Directory		Newspaper Article		Newspaper Article
Subject Property: Area A (701-705 H Street; 1745 Mono Street)	707 H Street	Vacant lot			Vacant lot										Vacant lot								**Madary's Lumber Yard**			Article noting flooding problems on H Street in this area	Ad for **Valley Lumber Co** - yards corner of Mono and H Street								Valley Lumber Co. office (705)				No listing (701, 705, 707, 1745)				
Subject Property: Area B (719-735 H Street)	733 H Street	Vacant lot			Vacant lot										Vacant lot								**Madary's Lumber Yard**			Article noting flooding problems on H Street in this area			5/29/1912 article reg **Mark Lally Co**. remodeling warehouse on H St. previously occupied by H. Graff Co.					2/10/1917 Article reg alterations to **Mark Lally Company** warehouse (735)	Plumbing Supplies Storage (719/735)				No listing (719, 733, 735)				Article on 2/16/1926 reg burglary at **Walworth-Lally Plumbing Supplies** company store (735)
Subject Property: Area C (739 H Street)	737 & 741 H Street	Vacant lot			Vacant lot										Vacant lot								**Madary's Lumber Yard**			Article noting flooding problems on H Street in this area				6/22/1913 Ad referencing berry baskets for sale by **Angelo & Son** (741)	3/31/1914 Ad for **Angelo & Son** for girls to make fruit baskets (741)				Wholesale Produce (741)				No listing (737, 739, 741)				
Subject Property: Area D (741 H Street)	755 H Street	Vacant lot			Vacant lot										Vacant lot								**Madary's Lumber Yard**			Article noting flooding problems on H Street in this area									Wholesale Produce (755)				No listing (741, 755)		8/5/1924 Ad for **Armour and Co.** (741)		
Adjacent Property to NW (nearest portion of building): 755 H St	771 H St.	Vacant lot			Vacant lot										Vacant lot								Vacant lot												Produce Ware Ho. (771)				No listing (755, 771)				

Select Long-Term Occupants or Tenants

- A & A Wholesale Florists
- American Cyanamid
- Armour and Co
- Brentwood Egg Co
- Butler Johnson
- California Chemical Spray Co
- Germain Seed
- Johns Manville roofing
- Los Angeles Soap Co
- Lumber Yards or Companies
- Slater Furniture Co
- United Fairway Produce Co
- Zellerbach Paper Co

5-year or longer periods without historic references

Final period of vacancy with no documented tenants

Vacant lot or parking lot (previously developed)

TABLE 1 - CHRONOLOGY OF PROPERTY OWNERSHIP AND LAND USES (1885-2022)

Property, Building Area and Current Address	Historic Address	Year, Key Historic Reference, and Site/Parcel Information																										
		1927	1928	1929	1930	1931	1932	1933	1934	1935	1936	1937	1938	1939	1940	1941	1942	1943	1944	1945	1946	1947	1948	1949	1950	1951	1952	1953	1954	1955
		City Directory	Newspaper Article	Newspaper Article		Newspaper Article	City Directory		Newspaper Article		Newspaper Article	City Directory; Aerial Photo; Newspaper Article	Newspaper Article			Newspaper Article	City Directory; Aerial Photo	Newspaper Article			Aerial Photo	City Directory; Newspaper Article	Sanborn Map		Sanborn Map; Newspaper		City Directory			City Directory; Newspaper Article
Subject Property: Area A (701-705 H Street; 1745 Mono Street)	707 H Street	No listing (701, 705, 707, 1745)					**Alta District Lumber Co** (701); **United Warehouse Co** (701); **Fowler Lumber Co**. (701); **Valley Lumber Co** (701); No listing 705, 707, 1745)					Johns-Manville Inc. roofing mat (701); No listing (705, 707, 1745)					No listing (701, 705, 707, 1745)					Current building present	No listing (701, 705, 707, 1745)	Valley Lumber Co. office (705/1745); Ad referencing Fowler Lumber Co at 1745 Mono (11/15/48)		Valley Lumber Co. office (705/1745)		No listing (701, 705, 707, 1745)			No listing (701, 705, 1745); 10/30/1955 Ad reg The Feed Barn (livestock and poultry feed supplier)
Subject Property: Area B (719-735 H Street)	733 H Street	No listing (719); **Valley Lumber Co** roof dept (733); **Johns Manville Inc.** roofing supplies (735)					No listing (719, 733); **Johns Manville Inc**. roofing matls (735)					No listing (719, 733, 735)					No listing (719, 733, 735)					Current building present	No listing (719, 733, 735)	Valley Lumber Co. hardwood & bldg. material warehouse (719/735)		**Valley Lumber Co**. hardwood & bldg. material warehouse (719/735)		No listing (719, 733, 735)			No listing (719, 733, 735)
Subject Property: Area C (739 H Street)	737 & 741 H Street	No listing (737, 739)		9/24/1929 Ad for **Germain Seed & Plant Co** (737)		2/14/31 Ad for **California Spray Chemical Co** (737)	**California Spray Chemical Co** (737); **Eagle Transfer Co** whse (737); **Germain Seed & Plant** (737); No listing (739)					**Germain Seed & Plant Co** (737); **California Spray Chemical Corp** (739)	2/17/1938 Ad for **Germain Seed** (737)			7/20/1941 article noting move of **Germain Seed** to a new location	Vacant (737); **Cal Spray Chemical Corp** (739)					Current building present	No listing (737, 739); Ad dated 2/2/1947 references move of **Cal. Spray Chemical** to new location	Use not labeled (except for office area) (739)		Warehouse (739); 4/3/1950 Ad listing warehouse and office for lease (w/ 2000 ft2 basement) (739)		No listing (737); Vacant (739)			No listing (737); Vacant (739)
Subject Property: Area D (741 H Street)	755 H Street	**Armour & Co** whol meats (741)	12/31/1928 Ad for **Armour and Co**. (741)				**Armour & Co** whol meats (741)					**Armour & Co** whol meats (741)					**Armour & Co** whol meats (741)	1943 Ad welcoming **United Fairway Produce Co** (741)			Current building present	**United Fairway Produce Co** (741)	Produce warehouse (741). 6/26/48 Ad for **United Fairway Produce Co** (741). 12/26/48 Ad for **Brentwood Egg Co** (741).		Egg warehouse (741); 9/1/1950 Ad for **Brentwood Egg Co** (741)		**Brentwood Egg Co** (741)			**Brentwood Egg Co** (741)
Adjacent Property to NW (nearest portion of building): 755 H St	771 H St.	Los Angeles Soap Co (755)					Los Angeles Soap Co (755)				7/5/1936 Ad for American Cyanamid (755)	American Cynanamid Chemical Corp (755)				6/8/1941 Ad for **American Cyanamid & Chemical Corp** (755)	Vacant (755); 8/23/1942 Ad for **American Cyanamid** (755)				Warehouse building present	No listing (755)	**Zellerbach Paper Co.** (area labeled as paper warehouse) (755)		**Zellerbach Paper Co.** (area labeled as paper warehouse) (755)		No listing (755)			No listing (755)

Select Long-Term Occupants or Tenants

A & A Wholesale Florists
American Cyanamid
Armour and Co
Brentwood Egg Co
Butler Johnson
California Chemical Spray Co
Germain Seed
Johns Manville roofing
Los Angeles Soap Co
Lumber Yards or Companies
Slater Furniture Co
United Fairway Produce Co
Zellerbach Paper Co

5-year or longer periods without historic references
Final period of vacancy with no documented tenants
Vacant lot or parking lot (previously developed)

TABLE 1 - CHRONOLOGY OF PROPERTY OWNERSHIP AND LAND USES (1885-2022)

Property, Building Area and Current Address	Historic Address	Year, Key Historic Reference, and Site/Parcel Information																																		
		1956	1957	1958	1959	1960	1961	1962	1963	1964	1965	1966	1967	1968	1969	1970	1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994
		Newspaper Article	Aerial Photo	City Directory	Newspaper Article	City Directory		City Directory; Aerial Photo	Newspaper Article		City Directory					Sanborn Map; City Directory		Aerial Photo			City Directory; Aerial Photo					City Directory				Aerial Photo	City Directory; Newspaper Article	City Directory				City Directory				City Directory; Aerial Photo
Subject Property: Area A (701-705 H Street; 1745 Mono Street)	707 H Street	5/31/1956 - Ad referencing office space for lease (1745)	Current building present	No listing (701); Sequoia Lbr Co whol ad (707), Premier Investors Inc. ad (707), United Warehouse Co (707); Fowler Lumber Co. whol (707); Valco Lumber Distrs who lbr ad (707)		No listing (701, 705, 707); **Fresno Chamber of Commerce** (1745)		No listing (701, 705, 707); **Avenell Arioto** whol florists (1745)			No Listing (701, 705, 707); **A & A Wholesale Florists Inc**. (1745)					No listing (701, 705, 707); Wholesale florist supplies (1745); **A & A Wholesale Florists Inc**. (1745)		Current builing resent - appears to have new roof			No listing (701, 705, 707, 1745)					No listing (701, 705, 707); Vacant (1745)				Current building present	No listing (701, 705, 707, 1745)	No listing (701, 705, 707); Vacant (1745)				No listing (701, 705, 707); Vacant (1745)				No listing (701, 705, 707, 1745); current building present
Subject Property: Area B (719-735 H Street)	733 H Street		Current building present	No listing (719, 733); Zellerbach Paper Co. whse (735);		No listing (719, 733, 735)		No listing (719, 733, 735)	7/14/63 Article referencing **Butler-Johnson Corp** as a new business to Fresno area (735)		No listing (719, 733); **Butler Johnson Corp** Fresno floor cov (735)					Floor tile warehouse (719-735); No listing (719, 733); **Butler Johnson Corp** whol floor cov (735)		Current builing resent - appears to have new roof			No listing (719, 733); **Slater Furniture Co** Whse (735); Slater Annex Store (735)					No listing (719, 733); **Slater Furniture Co** Whse (735); Slater Annex Store (735)				Current building present	No listing (717, 733); Vacant (735); 11/2/1985 - Ad for Slater's Warehouse (735)	No listing (719, 733); **Slater Furniture Co** Whse (735-Polk)				No listing (719, 733); **Slater Furniture Co** Whse (735); Vacant (735)				No listing (719, 733, 735); current building present
Subject Property: Area C (739 H Street)	737 & 741 H Street		Current building present	**Fresno Macaroni Mfg Co** (737); No listing (739)		No listing (737, 739)		No listing (737, 739)			No listing (737); **Zellerbach Paper Co** whse (739-Polk)					Floor tile warehouse (739); No listing (737); Vacant (739)		Current builing resent - appears to have new roof			No listing (737); Vacant (739)					No listing (737); Vacant (739)				Current building present	No listing (737); Vacant (739)	No listing (737); Vacant (739)				No listing (737); Vacant (739)				No listing (737, 739); current building present
Subject Property: Area D (741 H Street)	755 H Street		Current building present	**Brentwood Egg Co** whol (741)		No listing (741)		No listing (741)			No listing (741)					Formica sink top warehouse (741); No listing (741)		Current builing resent - appears to have new roof			No listing (741)					No listing (741)				Current building present	Vacant (741)	No listing (741)				Vacant (741)				No listing (741); current building present
Adjacent Property to NW (nearest portion of building): 755 H St	771 H St.		Warehouse building present	No listing (755)		No listing (755)		No listing (755)			No listing (755)					Product warehouse (755); No listing (755)		Warehouse building present			No listing (755)					No listing (755)				Warehouse building present	No listing (755)	No listing (755)				Vacant (755)				No listing (755); building no longer present

Select Long-Term Occupants or Tenants

- A & A Wholesale Florists
- American Cyanamid
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- Zellerbach Paper Co

5-year or longer periods without historic references

Final period of vacancy with no documented tenants

Vacant lot or parking lot (previously developed)

TABLE 1 - CHRONOLOGY OF PROPERTY OWNERSHIP AND LAND USES (1885-2022)

Property, Building Area and Current Address	Historic Address	Year, Key Historic Reference, and Site/Parcel Information																												
		1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022
		City Directory	City Directory		Aerial Photo	City Directory			City Directory	City Directory	City Directory	Aerial Photo	Aerial Photo		City Directory	City Directory; Aerial Photo	Aerial Photo		Aerial Photo	City Directory	City Directory; Aerial Photo		City Directory; Aerial Photo	City Directory	Aerial Photo		City Directory; Aerial Photo		
Subject Property: Area A (701-705 H Street; 1745 Mono Street)	707 H Street	No listing (701, 705, 707, 1745)	No listing (701, 705, 707, 1745)		Current building present	No listing (701, 705, 707, 1745)			No listing (701, 705, 707, 1745)	No listing (701, 705, 707, 1745)	No listing (701, 705, 707, 1745)	Current building present	Current building present		No listing (701, 705, 707, 1745)	No listing (701, 705, 707, 1745)	Current building present		Current building present	No listing (701, 705, 707, 1745)	No listing (701, 705, 707, 1745)		No listing (701, 705, 707, 1745)	No listing (701, 705, 707, 1745)	Current building present		No listing (701, 705, 707, 1745)		
Subject Property: Area B (719-735 H Street)	733 H Street	No listing (717, 733); Vacant (735)	No listing (719, 733, 735)		Current building present	No listing (719, 733); **Falcon Enterprises of Fresno; Fresno Tire Disposa**l (735)			No listing (719, 733, 735)	No listing (719, 733, 735)	No listing (719, 733); Occupant unknown (735)	Current building present	Current building present		No listing (719, 733, 735)	No listing (719, 733, 735)	Current building present		Current building present	No listing (719, 733, 735)	No listing (719, 733, 735)		No listing (719, 733, 735)	No listing (719, 733, 735)	Current building present		No listing (719, 733, 735)		
Subject Property: Area C (739 H Street)	737 & 741 H Street	No listing (737); Vacant (739)	No listing (737, 739)		Current building present	No listing (737, 739)			No listing (737, 739)	No listing (737, 739)	No listing (737, 739)	Current building present	Current building present		No listing (737, 739)	No listing (737, 739)	Current building present		Current building present	No listing (737, 739)	No listing (737, 739)		No listing (737, 739)	No listing (737, 739)	Current building present		No listing (737, 739)		
Subject Property: Area D (741 H Street)	755 H Street	No listing (741)	No listing (741)		Current building present	No listing (741)			No listing (741)	No listing (741)	No listing (741)	Current building present	Current building present		No listing (741)	No listing (741)	Current building present		Current building present	No listing (741)	No listing (741)		No listing (741)	No listing (741)	Current building present		No listing (741)		
Adjacent Property to NW (nearest portion of building): 755 H St	771 H St.	No listing (755)	No listing (755)		Building is no longer present	No listing (755)			No listing (755)	No listing (755)	No listing (755)	Parking lot visible	Parking lot visible		No listing (755)	No listing (755)	Parking lot visible		Parking lot visible	No listing (755)	No listing (755)		No listing (755)	No listing (755)	Parking lot visible		No listing (755)		

Select Long-Term Occupants or Tenants

A & A Wholesale Florists
American Cyanamid
Armour and Co
Brentwood Egg Co
Butler Johnson
California Chemical Spray Co
Germain Seed
Johns Manville roofing
Los Angeles Soap Co
Lumber Yards or Companies
Slater Furniture Co
United Fairway Produce Co
Zellerbach Paper Co

5-year or longer periods without historic references
Final period of vacancy with no documented tenants
Vacant lot or parking lot (previously developed)

APPENDICES

APPENDIX A

ASBESTOS SURVEY AND LEAD BASED PAINT INSPECTION REPORT (2014)

T. BROOKS &
ASSOCIATES

ASBESTOS SURVEY & LEAD-BASED PAINT INSPECTION REPORT

COMMERCIAL STRUCTURE
735, 739 & 741 "H" STREET
FRESNO, CALIFORNIA

May 28, 2014

PREPARED FOR:

Mr. Frank L. Gegunde, PG
Senior Geologist / Project Manager
URS Corporation
30 River Park Place West, Suite 180
Fresno, CA 93720

PREPARED BY:

T. BROOKS & ASSOCIATES, INC.
613 Harvard Avenue, Suite 201
Clovis, California 93612
(559) 298-9135
(559) 298-2281 - Fax

Formed 1993

Troy F. Brooks, RRC, CAC, CIEC
Registered Roof Consultant
Certified Asbestos Consultant, #92-0186
DPH Inspector/Assessor for Lead, #1398
Certified Indoor Environmental Consultant

Roof Consulting / Asbestos, Lead & IAQ Consulting

T. BROOKS &
ASSOCIATES

May 28, 2014

Project #14-7146

Frank L. Gegunde, PG
Senior Geologist/Project Manager
URS Corporation
30 River Park Place West, Suite #180
Fresno, CA 93720

SUBJECT: **Asbestos Survey & Lead-Based Paint Inspection Report**
Commercial Structure
735 – 741"H" Street
Fresno, California

Dear Mr. Gegunde:

In accordance with your request and authorization, **T. Brooks & Associates, Inc**. conducted an asbestos survey and lead-based paint inspection involving the above referenced commercial property. The enclosed survey has been prepared based on the results of our limited field investigation and review of laboratory analysis of bulk samples collected at the subject site.

The survey included representative sampling of suspect asbestos-containing materials at interior and exterior areas of the commercial structure in accordance with the NESHAP regulation of the U.S.E.P.A., the requirements of the San Joaquin Valley Air Pollution Control District, and Cal/OSHA regulations. It is our understanding that the Client wishes to be informed as to the presence and locations of asbestos-containing materials involving those portions of the commercial property considered as part of our investigation.

We appreciate the opportunity to assist you. If you should have questions or require additional information, please contact us at (559) 298-9135.

Respectfully,
T. BROOKS & ASSOCIATES, INC.

Troy F. Brooks, CAC, RRC, CIEC
Certified Asbestos Consultant, No. 92-0186
CDPH Inspector/Assessor for Lead, No.1398
Certified Indoor Environmental Consultant

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ASBESTOS INVESTIGATION

INTRODUCTION

In accordance with your request and authorization, **T. Brooks & Associates, Inc**. has conducted a limited Asbestos Survey involving the above referenced commercial structure located in Fresno, California. It is our understanding that the survey was requested due to possible demolition operations involving the commercial structure at the subject site. The following sections present a description of the structure, current site use, pertinent regulatory information, description of sampled materials, analysis of findings, and our recommendations specific to compliance with renovation operations.

OBJECTIVE AND SCOPE OF SERVICES

The objective of our investigation was to evaluate existing suspect building materials as to asbestos content. This investigation consisted of limited, representative bulk sampling, and subsequent laboratory analysis of suspect construction materials at interior and exterior locations of each address. Sampling was conducted utilizing limited destructive techniques. Suspect asbestos-containing materials were characterized by size, color and texture in order to quantify materials and to draw conclusions based on bulk sample results. In certain instances, building materials were "assumed" to be asbestos-containing.

Bulk sample analysis was provided by EMC Laboratories, an independent, NVLAP accredited laboratory (NVLAP No. 101926-0) specializing in asbestos analysis. Bulk samples were individually bagged and numbered for identification and to maintain a chain-of-custody as part of this report.

APPLICABLE REGULATIONS

Environmental Protection Agency

The National Emission Standard for Hazardous Air Pollutants (NESHAP), which was promulgated, by Federal Environmental Protection Agency (EPA), identifies "facilities" subject to

asbestos regulation and requires completion of prescribed procedures including "asbestos surveys" prior to commencement of demolition or renovation activities involving all commercial and certain residential structures.

Occupational Safety and Health Administration

The Occupational Safety and Health Administration (OSHA), regulates construction activities, including those which involve asbestos containing materials. OSHA regulations for asbestos materials exist at both state (Cal-OSHA) and federal (Fed-OSHA) levels and are intended to protect workers from occupational exposures to these materials.

Federal asbestos regulations, including the Federal Construction Industry Asbestos Standard (29 CFR 1926.1101) and State of California Standard (Title 8 CCR 1529) mandate that all construction materials classified as Thermal System Insulation (TSI), or Surfacing Material (sprayed or troweled in place and of an acoustical nature) installed in buildings prior to January 1, 1981, be classified as "Presumed Asbestos Containing Materials" (PACM). This designation may only be refuted by extensive testing procedures of each homogeneous material in compliance with 40 CFR 763 Subpart E, the AHERA regulations of the EPA).

Appropriate controls including air sampling are required during the removal of any asbestos-containing material (ACM) in order to document fiber release, which may expose workers or others to hazardous levels of airborne asbestos.

Certified Asbestos Consultant and Site Surveillance Technician

The California Business and Professions Code specifies that only a State of California, Certified Asbestos Consultant may provide design, environmental air sampling and other consulting services on behalf of building owners relating to abatement projects. Certified Site Surveillance Technicians typically perform bulk sampling, air monitoring, and other functions under the surveillance of a Certified Asbestos Consultant.

Definition of Asbestos-Containing Material

Cal-OSHA	>0.1% by weight *
State of California, Health & Safety Code	>0.1%
Fed-OSHA	>1.0% by weight
Cal-EPA	friable and >1.0% asbestos
EPA	friable and >1.0% asbestos

* Under Cal-OSHA regulations, materials containing between 0.01% - 1.0% are classified as Asbestos Containing Construction Material (ACCM). The material is not regulated by the EPA and waste may be disposed of as non-hazardous. Cal-OSHA regulations would be applicable for worker protection.

Work Categories - Fed OSHA, 29 CFR 1926.1101
Cal-OSHA, Title 8, CCR 1529

Classify abatement operations under four (4) distinct activities, which trigger different provisions within the standard. Those activities presenting the greatest risk are designated Class I work, with decreasing risk potential for each successive class.

The four work categories and brief descriptions are as follows:

Class I - Abatement involving thermal system insulation (TSI) and sprayed-on or

Class II - Abatement of ACM or PACM other than TSI or Surfacing Materials.

Class III - Repair and maintenance operations which are likely to disturb ACM, or

Class IV - Custodial and housekeeping operations where minimal contact with ACM

Unclassified - Operations involving abatement of materials which contain detectable levels of asbestos up to and including, but not in excess of 1.0%.

Refer to **Appendix G** for specific information regarding specific procedures for demolition or renovation activities.

INVESTIGATION

The inspection and sampling event involving the subject structure was conducted by Tim Thomas Certified Asbestos Consultant (09-44887) on May 9 & 16, 2014. Professional Certifications and Laboratory Certifications are presented in **Appendix H**.

Building Construction and Use

The referenced structure is composed of three different commercial spaces, each with a distinct address. The structure is of masonry construction. Interior finishes within the structure included gypsum wallboard and plaster wall and ceiling finishes. The structure is on a raised wood foundation. Floor coverings include sheet vinyl flooring and vinyl floor tile. A floor plan was prepared for our use in documenting sampling locations and for quantifying those materials testing positive for regulated levels of asbestos. The date of construction was not provided for our use. The structure included a basement.

Materials Sampled

Materials to be sampled were at the discretion of the sampler and were selected based upon their likelihood of containing asbestos as an integral or incidental part of their construction. The sampled materials were intended to represent homogeneous materials present in each distinct sampling area.

Materials selected for sampling and subsequent laboratory analysis included the following:

PROJECT LOCATION: Commercial Building – 735 H Street, Fresno, CA

Sampled Materials	EPA Classification	NESHAP CAT.*
Flooring Materials		
- 9" x 9" Vinyl Floor Tile w/ Mastic	Miscellaneous Material	Cat. I, N.F.**
- 12" x 12" Vinyl Floor Tile w/ Mastic	Miscellaneous Material	Cat. I, N.F.**
- 4" Base Coving w/ Adhesive	Miscellaneous Material	Cat. II N.F.
- Vinyl Sheet Flooring w/ Mastic	Miscellaneous Material	RACM
- 9" x 9" Vinyl Floor Tile w/ Vapor Barrier & Mastic	Miscellaneous Material	Cat. I, N.F.**
Wall Materials		
- Drywall w/ Taping Mud & Texture	Miscellaneous Material	RACM
- Drywall w/ Texture	Miscellaneous Material	RACM
- Drywall w/ Taping Mud	Miscellaneous Material	RACM
- Wall Paneling	Miscellaneous Material	Cat. II N.F.
- Wood Wall Panel w/ Mastic	Miscellaneous Material	Cat. II N.F.
- Plaster w/ Texture/Paint	Miscellaneous Material	RACM
- Plaster Wall Finish	Miscellaneous Material	RACM
Ceiling Materials		
- 6' x 4' Ceiling Tile	Miscellaneous Material	RACM
- 12" x 12" Ceiling Tile& Mastic	Miscellaneous Material	RACM
Miscellaneous Materials		
- Vibration Damper	Miscellaneous Material	RACM
- Duct Cloth	Miscellaneous Material	RACM

* These classifications are based on classifications by the AHERA regulations of the Environmental Protection Agency. All asbestos-containing materials may be rendered friable by the forces acting upon them.

** Removal of flooring finishes and associated mastics by mechanical means, including the use of buffing wheels would change the classification to RACM and require that the material be packaged, transported and disposed of as asbestos-containing hazardous waste. Requires compliance with NESHAPS.

Sample Results – 735 H Street, Fresno, CA

Of those samples submitted for analysis, a total of thirteen (13) samples included one or more layers which tested positive for asbestos in amounts >1.0%. The samples testing positive for asbestos in amounts >1.0% included: Drywall Taping Mud & Texture (2 samples), Drywall Texture (1 sample), Wall Paneling (4 samples), 9" x 9" Vinyl Floor Tile (1 sample), 9" x 9" Vinyl Floor Tile & Associated Mastic (3 samples) and Vibration Damper (2 samples).

Point-Count Analysis – 735 H Street, Fresno, CA

All seven (7) samples of Drywall w/ asbestos-containing Taping Mud was reanalyzed by "Point-Count" method as allowed under the NESHAP regulation. Based on the "Point-Count analysis, the Drywall w/ Taping Mud composite for each sample was confirmed as containing asbestos at levels <1.0%. Based on the analysis, the material represented by these results would be classified as "Asbestos-Containing Construction Debris (ACCM) in California.

Drywall w/ Taping Mud represented by these results may be disposed of as General Construction Debris (non-hazardous), once removed from the subject premises by a licensed abatement contractor. Under the NESHAP, building materials containing asbestos at levels <1.0% are not required to be removed prior to conducting demolition operations. The presence of ACCM during demolition operations would impose additional requirements on the demolition contractor, including DOSH registration and compliance with Cal/OSHA requirements. Refer to 8 CCR 1529 for additional information concerning OSHA requirements.

PROJECT LOCATION: 739 H Street, Fresno, CA

Sampled Materials	EPA Classification	NESHAP CAT.*
Flooring Materials		
- No Samples Fit Category		
Wall Materials		
- Drywall w/ Taping Mud (Assumed ACM)	Miscellaneous Material	RACM
Ceiling Materials		
- No Samples Fit Category		
Miscellaneous Materials		
- No Samples Fit Category		

* These classifications are based on classifications by the AHERA regulations of the Environmental Protection Agency. All asbestos containing materials may be rendered friable by the forces acting upon them.

Sample Results – 739 Fulton Street, Fresno, CA – Assumed ACM

The corner office area within 739 Fulton Street was inaccessible therefore, drywall and taping mud is assumed to be asbestos-containing. All gypsum wallboard at interior and exterior portions of the office area shall be considered asbestos-containing material unless representative sampling is conducted by licensed personnel and found to test negative for asbestos.

PROJECT LOCATION: Commercial Building – 741 H Street, Fresno, CA

Sampled Materials	EPA Classification	NESHAP CAT.*
Flooring Materials		
- No Samples Fit Category		
Wall Materials		
- Plaster Wall Finish	Miscellaneous Material	RACM
Ceiling Materials		
- No Samples Fit Category		
Miscellaneous Materials		
- No Samples Fit Category		

* These classifications are based on classifications by the AHERA regulations of the Environmental Protection Agency. All asbestos containing materials may be rendered friable by the forces acting upon them.

Sample Results – 741 H Street, Fresno, CA

Of those samples submitted for analysis, none (0) tested positive for detectable levels of asbestos. All building materials represented by these results may be treated as non-asbestos containing building material.

PROJECT LOCATION: Exterior Locations – 735, 739, & 741 H Street, Fresno, CA

Sampled Materials	EPA Classification	NESHAP CAT.*
Flooring Materials		
- No Samples Fit Category		
Wall Materials		
- Exterior Brick & Mortar	Miscellaneous Material	RACM
Ceiling Materials		
- No Samples Fit Category		
Miscellaneous Materials		
- Built-up Roofing	Miscellaneous Material	Cat. I, N.F.
- Roof Penetration Mastic	Miscellaneous Material	Cat. I, N.F.

* These classifications are based on classifications by the AHERA regulations of the Environmental Protection Agency. All asbestos containing materials may be rendered friable by the forces acting upon them.

Exterior Sample Results – 735, 739, & 741 H Street, Fresno, CA

Of those samples submitted for analysis, none (0) tested positive for detectable levels of asbestos. All building materials represented by these results may be treated as non-asbestos containing building material.

ANALYSIS OF FINDINGS

Asbestos-containing materials are classified by their "Friability" which is defined as material that when dry may be crumbled, pulverized, or reduced to powder by hand pressure. In addition, the "Friability" classification is not only determined by the nature and condition of the ACM, but also by work practices to which the material may be exposed during renovation activities. The "Friability" classification is critical in determining the applicable regulations, work practices and disposal requirements.

Drywall Taping Mud & Surface Texture

Drywall collected from specified areas of the subject structure were found to contain taping mud which contained in excess of 1.0% asbestos content. The drywall also contained surface texture which includes asbestos at levels >1.0%. Removal of drywall with asbestos containing taping mud and surface texture would be classified as a "Class II" operation under Cal/OSHA. Based on the presence of asbestos-containing texture, the drywall would be classified as RACM and must be disposed of as Hazardous Waste. Workers engaged in the work would be covered under applicable Cal/OSHA regulations. Under the NESHAP, the presence of an "add-on" layer precludes composite analysis of the drywall material to achieve a total asbestos content of less than 1.0%.

Drywall Surface Texture

Drywall which includes an add-on layer such as surface texture which includes asbestos content in excess of 1.0% is classified as RACM under the NESHAP for the purposes of regulated construction activities. Renovation or demolition operations involving drywall which includes asbestos-containing surface texture would be classified as a Class II operation under Cal-OSHA. Under the NESHAP, the presence of an "add-on" layer precludes composite analysis of the drywall material to achieve a total asbestos content of less than 1.0%.

Drywall Taping Mud – Point-Count Analysis

Drywall wall and ceiling systems which include asbestos-containing taping mud typically contain less than 1.0% asbestos content as a composite system. Samples collected at the subject site found to include asbestos-containing taping mud were reanalyzed by "Point-Count" method as allowed under the NESHAP to accurately determine asbestos content of the drywall system. Based on the Point-Count analysis, the Point-Counted samples were found to contain <1.0% asbestos

content. Building materials represented by these results would not be considered "Regulated Asbestos Containing Material" (RACM) and may be disposed of as non-hazardous construction debris. Workers engaged in the removal process would be covered by Cal/OSHA regulations governing asbestos related work. Removal of drywall with asbestos content of <1.0% would be an "Unclassified" operation under Cal/OSHA.

Plastic Roof Cement

Plastic roof cement, collected at a representative roof penetration was found to contain regulated amounts of "Chrysotile" asbestos. Under current Cal/OSHA regulations, mastics and coatings are classified as non-friable ACM. Removal must be completed utilizing hand tools only.

Wall Paneling

Wall paneling tested positive for regulated levels of "Chrysotile" asbestos. Wall paneling in good condition is normally classified as non-friable ACM. Removal must be completed utilizing hand tools only to preclude rendering the material friable. Removal of asbestos-containing wall paneling would be a Class II operation under Cal/OSHA regulations.

Vinyl Floor Tile & Associated Mastic

Vinyl floor tile and associated mastic is normally classified as non-friable material in terms of abatement operations, transportation, and disposal. Non-friable materials, when packaged properly, may be disposed of at a local landfill accepting non-friable ACM. Mastic must be in a non-liquid state to be accepted by most landfills.

Under the NESHAP, removal of vinyl floor tile and associated mastic using mechanical means would render the materials friable, changing their status to RACM. Abatement of RACM in amounts exceeding the minimum threshold amounts would require filing of a completed Notification with the SJVAPCD, a ten-day waiting period, transportation by a licensed hazardous waste hauler, and disposal as hazardous waste.

Removal of these materials would be classified as a Class II operation under current OSHA regulations. Notification to the local Cal-OSHA office is required prior to commencement with operations which will disturb these materials.

Vinyl Floor Tile

Vinyl floor tile is normally classified as non-friable material in terms of abatement operations, transportation, and disposal. Non-friable materials, when packaged properly, may be disposed of at a local landfill accepting non-friable ACM.

Under the NESHAP, removal of vinyl floor tile using mechanical means would render the material friable, changing its status to RACM. Abatement of RACM in amounts exceeding the minimum threshold amounts would require filing of a completed Notification with the SJVUAPCD, a ten-day waiting period, transportation by a licensed hazardous waste hauler, and disposal as hazardous waste.

Removal of the floor tiles would be a Class II operation under OSHA regulations. Notification to the local Cal-OSHA office is required prior to commencement with operations which will disturb these materials.

Vibration Damper

Samples collected from the Vibration damper were found to contain "Chrysotile" asbestos. Vibration damper would be classified as "RACM'. Removal would consist of a Class II job under Cal/OSHA. All vibration dampers on HVAC systems within the referenced commercial structure or on mechanical system elements would be considered to be "asbestos-containing" and must be treated as asbestos-containing material unless additional sampling is conducted. The material must be transported, manifested and disposed of as asbestos-containing hazardous waste and requires use of a hazardous waste manifest.

ADDITIONAL CONSIDERATIONS

Under the NESHAP, abatement of non-friable ACM is not required unless the proposed renovation and/ or demolition operations would render such materials friable.

Fees to the San Joaquin Valley Air Pollution Control District (SJVAPCD) would be required for abatement work which includes in excess of 160 s.f., 260 l.f., or 35 c.f. of "Regulated Asbestos-Containing Material", or any work classified under the NESHAP as a "demolition". All proposed abatement and/or demolition operations would require compliance with OSHA and NESHAP regulations and procedures. A mandatory ten-working day waiting period is required prior to proceeding with regulated abatement activities, defined as disturbance of regulated amounts of RACM, or non-friable ACM which becomes friable, as well as "any" demolition involving the structure on the subject site, regardless of whether asbestos is present.

REGULATORY AGENCIES AND REQUIREMENTS

Following is a brief description of regulatory agencies and regulatory requirements:

Federal

Environmental Protection Agency (EPA) - NESHAP Notification - 04 CFR 16 - Subpart M
Requires notification in all demolition operations whether the building contains asbestos or

not. Requires notification when renovation/demolition involves more than 160 square feet or 260 linear feet of friable ACM, or 35 cubic feet of RACM.

San Joaquin Valley Air Pollution Control District

San Joaquin Valley Air Pollution Control District (SJVAPCD) - Enforcement of NESHAP regulations.

Enforces notification in all demolition operations whether the building contains asbestos or not, and all renovation projects involving in excess of 160 square feet, 260 linear feet, or 53 cubic feet of RACM.

Requires the removal of all regulated ACM before demolition/renovation process. Non-friable Category I and II (ACM may be required to be removed at the discretion of the local air pollution control district. Typically, the SJVAPCD while not requiring abatement of non-friable ACM in intact condition prior to conducting demolition operations, recommends that all ACM including non-friable ACM be abated as forces associated with normal renovation/demolition operations may render such materials friable. This exemption normally does not apply to scheduled burn operations.

Cal-OSHA

State of California, Department of Industrial Relations, Division of Occupational Safety and Health Enforces regulations pertaining to worker protection. New Cal-OSHA standard (8 CCR 1529 (took effect on July 1, 1991) and was adopted from the Federal OSHA standard. The standard mandates procedures and engineering controls necessary to protect employees of the contractor, building occupants and others. Requires filing of a "Temporary Jobsite Notification" with the local compliance office, prior to commencing with abatement activities involving any quantity of material.

RECOMMENDATIONS

Prior to proceeding with any scheduled abatement or demolition operation involving the referenced commercial structure located at the subject site, have all building materials identified in this report as containing asbestos in amounts >0.1%, and which will be disturbed by activities associated with the proposed work operations removed by a qualified, licensed abatement contractor with a demonstrated history of similar projects and regulatory compliance. Insure that all work operations are conducted in accordance with applicable EPA and OSHA requirements. The Contractor should be required to document evidence of current training, licensing and asbestos specific insurance coverage.

Retain the Services of a State of California, Certified Asbestos Consultant. The consultant may provide project design, management, air monitoring and other services, which will ensure compliance with applicable regulations and protect the Building Owner against any potential liability which may arise as a result of work associated with work operations involving the subject structure.

Prior to proceeding with any "demolition" operation as defined under the NESHAP involving the subject structure, comply with the Notification requirements the SJVAPCD, and pay required

fees. By law, a "demolition" is defined as any operation which removes an intact structural building element, in addition to full-scale demolition operations. Wait the required ten (10) working days after filing the notification before proceeding with regulated abatement and/or demolition operations involving the subject property.

LEAD-BASED PAINT INSPECTION REPORT

OBJECTIVE AND SCOPE OF SERVICES – LEAD

The inspection and lead sampling event of the subject commercial structure was conducted by Mr. Chad Calhoun, CDPH Inspector/Assessor for Lead, No. 19036 on May 9, 2014. Professional Certifications and Laboratory Certifications are presented in **Appendix H.**

Scope of Investigation

The Lead-Based Paint Inspection was conducted in accordance with Title 17 - California Code of Regulations, Division 1, Chapter 8, 8 CCR 1532.1 (Cal/OSHA). The sampling event was conducted in a manner which provides limited, representative evaluation of painted surfaces at referenced locations at the subject site in accordance with the HUD schedule in Chapter 7 (Lead-Based Paint Inspection) of the "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing". Testing locations provide an overall representation of painted finishes present at the site. The referenced inspection is representative in nature and is limited based on the limitations of the referenced regulatory standard.

PROJECT SITE: 735 H Street, Fresno, CA – Interior Areas

Sampling of painted surfaces for suspect lead-based paint at referenced commercial space at the subject site included testing of one hundred sixty-four (164) separate testing combinations. The XRF instrument was calibrated prior to and following the prescribed sampling period in accordance with the Performance Characteristic Sheet provided by the manufacturer. Calibration readings are included in the XRF sampling results as the initial and concluding readings and are designated as a "calibrate" reading. The calibration readings were compared to a known concentration of lead using a standard SRM sheet provided by the XRF manufacturer to verify accurate performance of the instrument at the beginning and the conclusion of the sampling episode.

PROJECT SITE: 739 H Street, Fresno, CA – Interior Areas

Sampling of painted surfaces for suspect lead-based paint at referenced commercial space at the subject site included testing of nineteen (19) separate testing combinations. The XRF instrument was calibrated prior to and following the prescribed sampling period in accordance with

the Performance Characteristic Sheet provided by the manufacturer. Calibration readings are included in the XRF sampling results as the initial and concluding readings and are designated as a "calibrate" reading. The calibration readings were compared to a known concentration of lead using a standard SRM sheet provided by the XRF manufacturer to verify accurate performance of the instrument at the beginning and the conclusion of the sampling episode.

PROJECT SITE: 741 H Street, Fresno, CA – Interior Areas

Sampling of painted surfaces for suspect lead-based paint at referenced commercial space at the subject site included testing of sixteen (16) separate testing combinations. The XRF instrument was calibrated prior to and following the prescribed sampling period in accordance with the Performance Characteristic Sheet provided by the manufacturer. Calibration readings are included in the XRF sampling results as the initial and concluding readings and are designated as a "calibrate" reading. The calibration readings were compared to a known concentration of lead using a standard SRM sheet provided by the XRF manufacturer to verify accurate performance of the instrument at the beginning and the conclusion of the sampling episode.

PROJECT SITE: 735, 739, & 741 H Street, Fresno, CA – Exterior Areas

Sampling of painted surfaces for suspect lead-based paint at the referenced property included testing of thirteen (13) separate testing combinations. The XRF instrument was calibrated prior to and following the prescribed sampling period in accordance with the Performance Characteristic Sheet provided by the manufacturer. Calibration readings are included in the XRF sampling results as the initial and concluding readings and are designated as a "calibrate" reading. The calibration readings were compared to a known concentration of lead using a standard SRM sheet provided by the XRF manufacturer to verify accurate performance of the instrument at the beginning and the conclusion of the sampling episode.

SAMPLE METHODOLOGY

Enclosed results are based on total lead content regardless of the number of paint layers present at each specific test location. Each referenced area includes data generated by the testing instrument. Lead content at a level equivalent to 5,000 ppm would be classified as "Lead-Based Paint" by HUD, The State of California, and the EPA. Each result must also be compared to the applicable OSHA level ("any detectable amount", or 600 ppm), dependent upon the appropriate trigger activity. Sampling Equipment

Sampling was conducted using a *Niton Corporation* Spectrum Analyzer Lead Detector, Model XLp-300 (Serial No.15425). The instrument was utilized within the operating parameters established by *Niton Corporation* as indicated in the Performance Characteristic Sheet.

Definition of Lead Based Paint

Title X	>1.0 mg/cm² or >0.5% by weight
HUD	1.0 mg/cm² or 0.5% by weight
CDPH	1.0 mg/cm² or > 0.5 % by weight
CPSC	600 ppm or .06% by weight
OSHA	600 ppm or .06% by weight or any detectable amount

(Note subtle differences dependent upon preceding mathematical symbols)

APPLICABLE REGULATIONS FOR LEAD

The following includes the primary agencies which govern lead related work and a brief list of their components and responsibilities.

Occupational Safety and Health Administration

Federal Standards	General Industry Standard	29 CFR 1910.1025
	Construction Industry Standard	29 CFR Part 1926.62
State Standards	General Industry Standards	8 CCR 5216
	Construction Industry Standards	8 CCR 1532.1

The Occupational Safety and Health Administration (OSHA), is focused on protecting the health and safety of workers, including construction activities which disturb lead containing paints, surface coatings, and other materials. OSHA regulations for lead materials exist at both state (Cal-OSHA) and federal (Fed-OSHA) levels and are intended to protect workers from occupational exposures to these materials.

Federal and State lead regulations, including the Lead in Construction Standard 29 CFR 1926.62 (Federal Standard) and Title 8 CCR 1532.1, (California standard) regulate disturbance of lead containing materials during construction, demolition, and maintenance related activities. The Federal standard was adopted in May of 1993. The State of California adopted this standard in November 1993.

Appropriate engineering controls, personal protective equipment, training, specific work practices, and representative air sampling are required by both Cal/OSHA and OSHA whenever workers will disturb lead in any concentration (including less than 600 ppm) as this disturbance may result in airborne exposures over the Action Limit (AL) or Permissible Exposure Limit (PEL). Initial blood lead testing is required above the AL (30 ug/m;), and a written site specific "Compliance Plan" is required for all projects where a Negative Exposure Assessment has not been generated. Medical removal is required for any worker whose blood lead level > 50 ug/dl.

U.S. Environmental Protection Agency

Title X was promulgated by the U.S. Congress in 1992 and required the U.S. Environmental Protection Agency (USEPA), to define lead hazards and to develop certification programs.

Major components of EPA pertaining to Lead Containing Materials

- Established a lab accreditation program
- Defined hazards in dust and soil (revised June 1998)
- Evaluates inspection & removal products (ongoing)
- Requires disclosure & information prior to sale/rental of pre-1978 housing (in effect)
- Mandate information for renovation /remodel work (in effect 6/99)
- Developed an accreditation and training program effective in states that do not have their own program California Environmental Protection Agency

Cal-EPA determines when lead paint waste is a hazardous waste in California, and how it must be disposed. The California Department of Toxic Substance Control (DTSC), as part of Cal-EPA oversees regulated disposal issues related to hazardous waste in California.

Procedures for the identification, management, transport, record keeping, and disposal of all types of hazardous waste are set forth in Title 22, CCR, Sections 66260.1-66263.12 and 66268.1-66268.124, and the Health and Safety Code, section 25163, subdivision (c).

Department of Housing and Urban Development (HUD)

Developed regulations and guidance documents for use on HUD properties. Its Guidelines are generally considered state-of-the-art in the lead abatement industry. HUD guidelines establish strategies for completion of lead survey and risk assessments, clearance strategies, work practices, engineering controls and worker safety procedures.

While HUD guidance documents were developed specifically for HUD properties, both the California DHS work practice regulations and the EPA Model Accreditation Program for lead mandate you follow HUD Guideline procedures in many facilities.

HUD developed the following guidance documents which are industry standards:

- 1989 - published A Lead-based Paint: Interim Guidelines for Hazard Identification and Abatement in Public and Indian Housing, referred to as the "Old HUD Guidelines".
- 1995 - published "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing".
- HUD is developing work practice regulations applicable to HUD housing which are to take effect sometime in 1999.

California Department of Public Health (CDPH)

Developed and enforces a comprehensive regulation that provides an accreditation process for lead training providers, a certification program for individuals, and specified required work practices for lead hazard evaluations and lead hazard control work.

- Promulgated the California CDPH Lead Training, Accreditation, Certification and Work Practices - Title 17, CCR, Division 1, Chapter 8, (Sections 35000-361000). Specifies work practices involved in lead inspections, risk assessments and hazard reduction work in all residential and public buildings in California. Also requires training, passage of exams, and certification of individuals that conduct lead hazard assessments or work to reduce or eliminate lead hazards. Revised standard took effect on January 8, 1999.

Key Provisions:
Defines "lead hazards" in dust, paint, and soil
Defines almost all paint as "presumed" LBP
Excludes post 1978 housing, and schools built after 1992
Requires notifications to CDPH prior to disturbance of LBP
Requires specific work practices (containment, clearance testing, etc.)
Requires individuals to be "certified" for some work

CDPH Certification is required in the following cases:

- Exceed PEL in California (50 ug/m;) (Cal-OSHA)
- Conduct lead hazard evaluation or "abatement" (CDPH)
- Residential Inspections for EPA Disclosure Rule compliance
- Title X funded projects (U.S. Congress)
- California public elementary and preschools (Ed. Code Section 32243 b)
- When prescribed by project specifications.

CDPH Certification Classifications	Brief Description
Lead Related Inspector/Assessor	Conduct inspections or assessments for LBP
Lead Related Supervisor	Supervise lead project as Contractor
Lead Related Project Monitor	Monitor lead project on behalf of Client
Lead Related Project Designer	Design a lead abatement project
Lead Related Worker	Engage is lead related work as a worker

OSHA Trigger Activities (Tasks):

Fed OSHA, 29 CFR 1926.62
Cal-OSHA, Title 8, CCR 1532.1

Classify trigger tasks under three distinct activity groups which assume that you may reach specified airborne exposure levels. Those tasks presenting the least risk are designated Activity 1 tasks, with increasing risk potential for each successive class.

The three (3) trigger task categories and assumed airborne levels are as follows:

Trigger Activity I - (50 -500 ug/m³)	manual demolition, scraping and sanding, using heat guns, using HEPA equipment, debris cleanup
Trigger Activity II_- (500 - 2500 ug/m³)	lead mortar, burning, rivet busting, use of non-HEPA equipment, dry abrasive blast cleanup
Trigger Activity III_- (>2500 ug/m³)	welding, abrasive blasting, torch cutting, and burning

Prior to obtaining exposure assessment for each specific trigger task or if no historic data is available, the following apply:

- assume exposure over "PEL"
- wear respirators and protective clothing
- be properly trained per state and federal requirements
- have initial blood tests on affected workers, supervisors

Refer to **Appendix G** – "Regulatory Resource List" for specific information regarding trigger task activities and specific requirements.

ANALYSIS OF FINDINGS – LEAD

In summary, the majority of testing combinations considered as part of our limited investigation were found to contain lead in some amount. Under current Cal/OSHA regulations, paint containing in excess of 0.06% lead (600 parts per million) are considered lead-containing paint for non-trigger tasks under Cal/OSHA. For trigger tasks, any detectable amount of lead invokes Cal/OSHA regulations and assumes that airborne levels may exceed the "Action Level" (AL) of 30 ug/m³, and the "Permissible Exposure Limit" (PEL) of 50 ug/m³. Refer to **Appendix G** for additional information regulatory requirements.

Current OSHA regulations require that workers involved in work disturbing lead containing surfaces be protected from exposure to lead above stipulated levels. Refer to the enclosed OSHA

Construction Standard (CCR Title 8 1532.1 California Lead-In-Construction Standard) for work guidelines and requirements.

PROJECT SITE: 735 H Street, Fresno, CA – Interior Areas

Of those testing combinations considered as part of our investigation, a total of thirty-two (32) were found to include lead in excess of the 1.0 mg/cm², (0.5%), (5,000 ppm) and would be classified as "Lead-Based Paint" (LBP) under state and federal regulations. Refer to **Appendices B-D** for additional information concerning specific Testing Combinations.

Building materials represented by those testing combinations found to include lead in excess of 1.0 mg/cm², (0.5%), (5,000 ppm) are classified as "Lead-Based Paint" (LBP) for the purposes of compliance with state and federal regulations. In addition, Cal/OSHA regulates all activities involving the disturbance of paint which includes "any detectable" amount of lead.

Any construction related work which will disturb building elements which include paint or surface coatings determined to include lead must be conducted in accordance with applicable local, state and federal regulations governing disturbance of lead. A lead waste characterization is required under state and federal requirements prior to disposing of lead-containing waste.

PROJECT SITE: 739 H Street, Fresno, CA – Interior Areas

Of those testing combinations considered as part of our investigation, a total of six (6) were found to include lead in excess of the 1.0 mg/cm², (0.5%), (5,000 ppm) and would be classified as "Lead-Based Paint" (LBP) under state and federal regulations. Refer to **Appendices B-D** for additional information concerning specific Testing Combinations.

Building materials represented by those testing combinations found to include lead in excess of 1.0 mg/cm², (0.5%), (5,000 ppm) are classified as "Lead-Based Paint" (LBP) for the purposes of compliance with the State of California, Department of Public Health. In addition, Cal/OSHA regulates all activities involving the disturbance of paint which includes "any detectable" amount of lead.

Any construction related work which will disturb building elements which include paint or surface coatings determined to include lead must be conducted in accordance with applicable local, state and federal regulations governing disturbance of lead. A lead waste characterization is required prior to disposing of ceramic tile, or the material must be disposed of as lead-containing waste.

PROJECT SITE: 741 H Street, Fresno, CA – Interior Areas

Of those testing combinations considered as part of our investigation, a total of nine (9) were found to include lead in excess of the 1.0 mg/cm², (0.5%), (5,000 ppm) and would be classified as "Lead-Based Paint" (LBP) under state and federal regulations. Refer to **Appendices B-D** for additional information concerning specific Testing Combinations.

Building materials represented by those testing combinations found to include lead in excess of 1.0 mg/cm², (0.5%), (5,000 ppm) are classified as "Lead-Based Paint" (LBP) for the purposes of compliance with the State of California, Department of Public Health. In addition, Cal/OSHA regulates all activities involving the disturbance of paint which includes "any detectable" amount of lead.

Any construction related work which will disturb building elements which include paint or surface coatings determined to include lead must be conducted in accordance with applicable local, state and federal regulations governing disturbance of lead. A lead waste characterization is required prior to disposing of ceramic tile, or the material must be disposed of as lead-containing waste.

PROJECT SITE: 735, 739, & 741 H Street, Fresno, CA – Exterior

Of those testing combinations considered as part of our investigation, a total of four (4) were found to include lead in excess of the 1.0 mg/cm², (0.5%), (5,000 ppm) and would be classified as "Lead-Based Paint" (LBP) under state and federal regulations. Refer to **Appendices B-D** for additional information concerning specific Testing Combinations.

Building materials represented by those testing combinations found to include lead in excess of 1.0 mg/cm², (0.5%), (5,000 ppm) are classified as "Lead-Based Paint" (LBP) for the purposes of compliance with the State of California, Department of Public Health. In addition, Cal/OSHA regulates all activities involving the disturbance of paint which includes "any detectable" amount of lead.

Any construction related work which will disturb building elements which include paint or surface coatings determined to include lead must be conducted in accordance with applicable local, state and federal regulations governing disturbance of lead. A lead waste characterization is required prior to disposing of ceramic tile, or the material must be disposed of as lead-containing waste.

PAINT CONDITION

As part of the Lead-Based Paint Inspection, painted surfaces were visually examined for general condition. While this report does not constitute a lead "Risk Assessment", painted surfaces were generally categorized as being in intact, fair, poor, or peeling condition.

Refer to the **Appendix G** for additional information concerning locations of testing combinations at the subject site.

ADDITIONAL CONSIDERATIONS

Should a full evaluation of potential lead hazards be desired involving testing for lead contaminated dust and soil, we recommend that a "Risk Assessment" be conducted by a certified Lead-based paint Risk Assessor as part of a complete lead hazard evaluation.

Hazards associated with lead exposure are typically due to ingestion and inhalation of lead in the form of dust. Lead can be determined within the bloodstream, bones, and other organs by various detection methods.

Potential exposure to lead is associated with damaged painted surfaces. Painted surfaces should be inspected regularly and maintained in intact, undamaged condition to minimize the potential for the creation of lead dust hazards. Any evidence of peeling, loose or detached paint should be rectified by stabilizing the painted surface or replacing the painted element.

RECOMMENDATIONS

Planned work operations, including demolition operations which involve the disturbance of "Lead-Containing Paint" must be conducted in compliance with applicable state and federal requirements. Prior to engaging in work which will disturb lead-containing finishes referenced herein, or other untested paints or surface coatings, the contractor engaged in the work must conduct an "Initial Exposure Assessment" for each planned "trigger task" in accordance with Cal/OSHA to determine potential lead exposures to workers. Prior to commencing such operations, the Contractor must assume workers will be exposed to airborne levels above the PEL and must provide workers with Hazard Communication Training, and personal protective equipment, including HEPA-equipped respirators. A hand-washing facility must be present at the worksite.

To reduce potential liability, the Owner may elect to have a certified lead professional conduct perimeter air monitoring on their behalf to provide documentation of airborne lead levels at locations around the site. The lead professional may also provide baseline and/or lead clearance monitoring.

Prior to Disposal of lead-based or lead-containing paint or elements which include lead-based or lead-containing paint, the State of California requires that representative sample(s) of each waste stream waste (along with the substrate where bonded) be submitted to an accredited laboratory and that a Total Threshold Limit Concentration (TTLC) test be performed to determine the total lead content. Dependent upon the result, an SW846 (STLC) may be required to determine the amount of leachable lead. These tests will determine transportation and disposal requirements and may greatly impact the ultimate cost of the work. Due to potential delays associated with conducting the analysis of the waste, it is recommended that the waste characterization be initiated prior to soliciting for bids for the work.

LIMITATIONS

The enclosed asbestos and lead survey and review was limited to the referenced interior and exterior areas involving the specified commercial structure. This investigation is undertaken with the calculated risk that the presence, full nature, and extent of asbestos and lead-containing materials would not be revealed by visual observation and random sampling alone. T. Brooks & Associates, Inc. makes no representations as to the asbestos or lead content of materials which were not specifically tested or which were not readily accessible to the inspector.

At the request of the Client, the scope of sampling and testing was limited to those areas and painted finishes which may be impacted based on the proposed demolition operations. The enclosed findings and recommendations are not intended to represent materials at locations other than those specifically referenced.

Brooks & Associates is not responsible for failure of the Client and/or other design professionals or contractors working under their direction to completely review the enclosed report, as well as other referenced survey reports which include information which may impact operations involving those portions of the subject commercial structure to be impacted by their work.

Certain opinions and recommendations expressed in this report are based on our knowledge and experience with applicable state, federal and local law, and do not reflect other possible adverse conditions not immediately visible or which may be discovered by a more extensive examination including a review of relevant documents which were not available during this investigation.

Our inspection did not include sampling of materials which may contain materials known to be hazardous including polychlorinated biphenyls (PCB's), mercury, radon or other materials. Consideration should be given to testing for these and other hazardous materials which may be present.

Findings presented in this report were based on field observations, random sampling and analysis, review of available data and discussion with local regulatory and advisory agencies. Therefore, the data obtained are clear and accurate only to the degree implied by the sources and methods involved.

The information presented herewith was based on professional interpretation using presently accepted methods with a degree of conservation deemed proper as of the report date. It is not warranted that such data and/or methods cannot be superseded by future technical developments.

Respectfully Submitted,
T. Brooks & Associates, Inc.,

Troy F. Brooks, CAC, RRC, CIEC
Certified Asbestos Consultant, No. 92-0186
CDPH Lead Inspector/Assessor, No. 1398
CDPH Lead Project Monitor, No. 1398
CDPH Lead Supervisor, No. 1398
Certified Indoor Environmental Consultant

Table 1

Sampled Materials Analytical Results for Asbestos

TABLE 1

SAMPLED MATERIALS ANALYTICAL RESULTS

Commercial Building
735 - 741 "H" Street
Fresno, California

Client Layer ID		Material Description	Sample Location	Analytical Results
735 "H" Street				
1-01	1	Drywall	Room 1 - Wall	None Detected
	2	**Taping Mud**	**Room 1 - Wall**	**2% Chrysotile**
	3	**Texture**	**Room 1 - Wall**	**3% Chrysotile**
1-02	1	Drywall	Room 2 - Wall	None Detected
	2	**Texture**	**Room 2 - Wall**	**3% Chrysotile**
1-03	1	Drywall	Room 3 - Wall	None Detected
	2	**Taping Mud**	**Room 3 - Wall**	**3% Chrysotile**
	3	**Texture**	**Room 3 - Wall**	**3% Chrysotile**
2-01	1	Drywall	Room 4 - Wall	None Detected
	2	**Taping Mud**	**Room 4 - Wall**	**2% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 4 - Wall**	**<1% Chrysotile**
2-02	1	Drywall	Room 4 - Wall	None Detected
	2	**Taping Mud**	**Room 4 - Wall**	**2% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 4 - Wall**	**<1% Chrysotile**
3-01	**1**	**Wall Panel**	**Room 2 - Wall**	**15% Chrysotile**
3-02	**1**	**Wall Panel**	**Room 2 - Wall**	**15% Chrysotile**
4-01	**1**	**9"x9" Brown Vinyl Floor Tile**	**Room 1 - Floor**	**5% Chrysotile**
	2	Mastic	Room 1 - Floor	None Detected
	3	**9"x9" Vinyl Floor Tile**	**Room 1 - Floor**	**10% Chrysotile**
	4	Mastic	Room 1 - Floor	None Detected

Table 1 - Continued

Client ID	Layer	Material Description	Sample Location	Analytical Results
735 "H" Street (Continued)				
4-02	**1**	**9"x9" Brown Vinyl Floor Tile**	**Room 1 - Floor**	**5% Chrysotile**
	2	**Mastic**	**Room 1 - Floor**	**<1% Chrysotile**
	3	**9"x9" Vinyl Floor Tile**	**Room 1 - Floor**	**5% Chrysotile**
	4	**Mastic**	**Room 1 - Floor**	**2% Chrysotile**
5-01	1-2	12"x12" Green Vinyl Floor Tile & Mastic	Room 1 - Floor	None Detected
5-02	1-2	12"x12" Green Vinyl Floor Tile & Mastic	Room 2 - Floor	None Detected
6-01	1-2	4" Black Cove Base & Adhesive	Room 1 - Floor	None Detected
6-02	1-2	4" Black Cove Base & Adhesive	Room 1 - Floor	None Detected
7-01	1-2	1' x 1' Ceiling Tile & Mastic	Room 1 - Ceiling	None Detected
7-02	1-2	1' x 1' Ceiling Tile & Mastic	Room 1 - Ceiling	None Detected
8-01	1-2	Wood Panel & Mastic	Room 11 - Floor	None Detected
8-02	1-2	Wood Panel & Mastic	Room 11 - Floor	None Detected
9-01	1	Drywall	Room 8 - Wall	None Detected
	2	**Taping Mud**	**Room 8 - Wall**	**2% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**<1% Chrysotile**
9-02	1	Drywall	Room 8 - Wall	None Detected
	2	**Taping Mud**	**Room 8 - Wall**	**3% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**<1% Chrysotile**
9-03	1	Drywall	Room 10 - Wall	None Detected
	2	**Taping Mud**	**Room 10 - Wall**	**3% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 10 - Wall**	**<1% Chrysotile**
9-04	1	Drywall	Room 8 - Wall	None Detected
	2	**Taping Mud**	**Room 8 - Wall**	**3% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**<1% Chrysotile**
9-05	1	Drywall	Room 8 - Wall	None Detected
	2	**Taping Mud**	**Room 8 - Wall**	**3% Chrysotile**
	3	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**<1% Chrysotile**

Table 1 - Continued

Client ID	Layer	Material Description	Sample Location	Analytical Results
735 "H" Street (Continued)				
10-01	1-2	Plaster & Texture/Paint	Room 5 - Wall	None Detected
10-02	1-2	Plaster & Texture/Paint	Room 5 - Wall	None Detected
10-03	1	Plaster	Room 6 - Wall	None Detected
11-01	1	Vinyl Sheet Flooring	Room 5 - Floor	None Detected
	2-3	Vinyl Sheet Flooring & Mastic	Room 5 - Floor	None Detected
11-02	1-2	Vinyl Sheet Flooring (2 layers)	Room 5 - Floor	None Detected
12-01	**1**	**Vibration Damper**	**Mechanical Rm. Above Rm. 7**	**50% Chrysotile**
12-02	**1**	**Vibration Damper**	**Mechanical Rm. Above Rm. 7**	**50% Chrysotile**
13-01	1	Duct Cloth	Mechanical Rm. Above Rm. 7	None Detected
13-02	1	Duct Cloth	Mechanical Rm. Above Rm. 7	None Detected
14-01	**1**	**9"x9" Vinyl Floor Tile**	**Room 8 - Floor**	**10% Chrysotile**
	2	**Mastic**	**Room 8 - Floor**	**2% Chrysotile**
	3-4	Vapor Barrier & Mastic	Room 8 - Floor	None Detected
14-02	**1**	**9"x9" Vinyl Floor Tile**	**Room 10 - Floor**	**10% Chrysotile**
	2	**Mastic**	**Room 10 - Floor**	**<1% Chrysotile**
15-01	1	6' x 4' Ceiling Tile	Room 8 - Ceiling	None Detected
15-02	1	6' x 4' Ceiling Tile	Room 8 - Ceiling	None Detected
16-01	1-2	Plaster	Room 8 - Wall	None Detected
16-02	1-2	Plaster	Room 8 - Wall	None Detected
16-03	1	Plaster	Room 13 - Wall	None Detected
17-01	1	1' x 1' Ceiling Tile	Mechanical Rm. Above Rm. 7	None Detected
17-02	1	1' x 1' Ceiling Tile	Mechanical Rm. Above Rm. 7	None Detected
18-01	**1**	**Wall Panel**	**Mechanical Rm. Above Rm. 7**	**10% Chrysotile**
18-02	**1**	**Wall Panel**	**Mechanical Rm. Above Rm. 7**	**12% Chrysotile**

Table 1 - Continued

Client ID	Layer	Material Description	Sample Location	Analytical Results
741 "H" Street				
1-01	1	Plaster	Room 1 - Wall	None Detected
1-02	1	Plaster	Room 1 - Wall	None Detected
1-03	1	Plaster	Room 1 - Wall	None Detected
735 - 741 "H" Street - Exterior Samples				
01	1-4	Built-up Roof	Roof	None Detected
02	1-4	Built-up Roof	Roof	None Detected
03	**1**	**Plastic Roof Cement**	**Roof Penetration**	**10% Chrysotile**
04	**1**	**Plastic Roof Cement**	**Roof Penetration**	**10% Chrysotile**
05	1-2	Block & Mortar	Exterior - Wall	None Detected
06	1-2	Block & Mortar	Exterior - Wall	None Detected
Additional Layers for Previous Samples				
01	1-4	Built-up Roof	Roof	None Detected
02	1-4	Built-up Roof	Roof	None Detected
Samples Re-Analyzed by Point Count Method				
2-01	**1**	**Drywall & Taping Mud Composite**	**Room 4 - Wall**	**0.3% Chrysotile**
2-02	**1**	**Drywall & Taping Mud Composite**	**Room 4 - Wall**	**0.4% Chrysotile**
9-01	**1**	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**0.3% Chrysotile**
9-02	**1**	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**0.5% Chrysotile**
9-03	**1**	**Drywall & Taping Mud Composite**	**Room 10 - Wall**	**0.4% Chrysotile**
9-04	**1**	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**0.5% Chrysotile**
9-05	**1**	**Drywall & Taping Mud Composite**	**Room 8 - Wall**	**0.5% Chrysotile**

Table 2

Asbestos-Containing Materials Assessment

TABLE 2

ASBESTOS CONTAINING MATERIALS ASSESSMENT

Commercial Building
735, 739 & 741 "H" Street
Fresno, California

Material Description	Material Location	% Asb.	* F/ NF	Quantity	Cost Estimate
735 "H" Street					
Drywall Taping Mud & Texture	Rooms 1, 2 & 3 - Walls	2-3%	F	1,265 sq. ft.	**$5,060.00**
Drywall Taping Mud	Rooms 4 & 8 - Walls; Rooms 9, 10, 11 & 12 - Walls & Ceilings	0.5%	ACCM	4,090 sq. ft.	**$12,270.00**
Wall Panel	Room 2; Mechanical Room above Room 7	15%	NF	264 sq. ft.	**$1,320.00**
9"x9" Vinyl Floor Tile & Mastic	Rooms 1, 8, 9, 10 & 12	2-10%	NF**	1,740 sq. ft.	**$5,220.00**
Vibration Damper	Mechanical Room above Room 7	50%	F	16 sq. ft.	**$800.00**
Plastic Roof Cement	Roof Penetrations	10%	NF	15 sq. ft.	**$1,500.00**
739 "H" Street					
Drywall & Taping Mud	Throughtout - Walls	Assumed	F	136 sq. ft.	**$680.00**
				TOTAL COST ESTIMATE:	**$26,850.00**

* NF = Non-friable
F = Friable
ACCM = Asbestos Containing Construction Material
** Removal of Vinyl Tile & Mastic by Mechanical Means would change the Classification to Friable (RACM)

Appendix A

Laboratory Report for Asbestos & Chain of Custody (PLM Analysis)

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141214

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-001 1-01	RM 1	LAYER 1 Drywall, Off White/ Brown	No	None Detected		Cellulose Fiber Gypsum Carbonates Mica	12% 88%
		LAYER 2 Taping Mud, Off White/ Beige	Yes	Chrysotile	2%	Cellulose Fiber Carbonates Mica Quartz	2% 96%
		LAYER 3 Texture, Beige	Yes	Chrysotile	3%	Carbonates Mica Quartz Binder/Filler	 97%
0141214-002 1-02	RM 2	LAYER 1 Drywall, Off White/ Brown Note: No Taping Mud Present	No	None Detected		Cellulose Fiber Gypsum Carbonates Mica Quartz	10% 90%
		LAYER 2 Texture, Beige	Yes	Chrysotile	3%	Cellulose Fiber Carbonates Mica Quartz Binder/Filler	1% 96%

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Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-003 1-03	RM 3	LAYER 1 Drywall, Off White/ Brown	No	None Detected		Cellulose Fiber Gypsum Carbonates Mica	12% 88%
		LAYER 2 Taping Mud, Off White/ Beige	Yes	Chrysotile	3%	Cellulose Fiber Carbonates Mica Quartz	2% 95%
		LAYER 3 Texture, Beige	Yes	Chrysotile	3%	Carbonates Mica Quartz Binder/Filler	 97%
0141214-004 2-01	RM 4	LAYER 1 Drywall, Off White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica	10% 3% 87%
		LAYER 2 Taping Mud, Off White/ Beige Note: Very small amount of sample	Yes	Chrysotile	2%	Cellulose Fiber Carbonates Mica Binder/Filler	4% 94%
		LAYER 3 Drywall/ Taping Mud Composite, Off White/ Beige/ Brown Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Gypsum Carbonates Mica Binder/Filler	12% 87%

EMC LABS, INC.

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Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

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	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-005 2-02	RM 4	LAYER 1 Drywall, Off White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz	10% 3% 87%
		LAYER 2 Taping Mud, Off White/ Beige Note: Very small amount of sample	Yes	Chrysotile	2%	Cellulose Fiber Carbonates Mica Quartz Binder/Filler	1% 97%
		LAYER 3 Drywall/ Taping Mud Composite, Off White/ Brown/ Beige Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Gypsum Carbonates Mica Quartz Binder/Filler	11% 88%
0141214-006 3-01	RM 2	Wall Panel, White/ Green/ Gray	Yes	Chrysotile	15%	Carbonates Gypsum Quartz Binder/Filler	 85%
0141214-007 3-02	RM 2	Wall Panel, White/ Green/ Gray	Yes	Chrysotile	15%	Carbonates Gypsum Quartz Binder/Filler	 85%

EMC LABS, INC.

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Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-008 4-01	RM 1	LAYER 1 9"x9" VFT, Tan	Yes	Chrysotile	5%	Carbonates Quartz Binder/Filler	95%
		LAYER 2 Mastic, Black	No	None Detected		Cellulose Fiber Carbonates Binder/Filler	1% 99%
		LAYER 3 9"x9" VFT, Beige	Yes	Chrysotile	10%	Carbonates Quartz Binder/Filler	90%
		LAYER 4 Mastic, Black	No	None Detected		Cellulose Fiber Carbonates Quartz Binder/Filler	<1% 99%
0141214-009 4-02	RM 1	LAYER 1 9"x9" VFT, Tan	Yes	Chrysotile	5%	Carbonates Quartz Binder/Filler	95%
		LAYER 2 Mastic, Black Note: Difficult to separate adjacent layer	Yes	Chrysotile	<1%	Cellulose Fiber Carbonates Quartz Binder/Filler	2% 97%
		LAYER 3 9"x9" VFT, Beige	Yes	Chrysotile	5%	Carbonates Quartz Binder/Filler	95%
		LAYER 4 Mastic, Black	Yes	Chrysotile	2%	Cellulose Fiber Carbonates Quartz Binder/Filler	1% 97%

EMC LABS, INC.

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Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141214

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents	
0141214-010	RM 1	LAYER 1	No	None Detected		
5-01		12"x12" VFT, Green			Carbonates	
					Quartz	
					Binder/Filler	100%
		LAYER 2	No	None Detected	Cellulose Fiber	2%
		Mastic, Brown-Clear			Carbonates	
					Quartz	
					Binder/Filler	98%
0141214-011	RM 2	LAYER 1	No	None Detected		
5-02		12"x12" VFT, Green			Carbonates	
					Quartz	
					Binder/Filler	100%
		LAYER 2	No	None Detected	Cellulose Fiber	2%
		Mastic, Brown-Clear			Synthetic Fiber	<1%
					Carbonates	
					Quartz	
					Binder/Filler	97%
0141214-012	RM 1	LAYER 1	No	None Detected		
6-01		4" Covebase, Black			Carbonates	
					Quartz	
					Binder/Filler	100%
		LAYER 2	No	None Detected	Cellulose Fiber	1%
		Adhesive, Cream			Carbonates	
					Quartz	
					Binder/Filler	99%
0141214-013	RM 1	LAYER 1	No	None Detected		
6-02		4" Covebase, Black			Carbonates	
					Quartz	
					Binder/Filler	100%
		LAYER 2	No	None Detected	Cellulose Fiber	<1%
		Adhesive, Cream			Carbonates	
					Binder/Filler	99%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents	
0141214-014 7-01	RM 1	LAYER 1 1x1 Ceiling Tile, White/ Brown	No	None Detected	Cellulose Fiber Gypsum Carbonates Binder/Filler	90% 10%
		LAYER 2 Mastic, Brown	No	None Detected	Cellulose Fiber Quartz Gypsum Binder/Filler	<1% 99%
0141214-015 7-02	RM 1	LAYER 1 1x1 Ceiling Tile, White/ Brown	No	None Detected	Cellulose Fiber Gypsum Carbonates Binder/Filler	90% 10%
		LAYER 2 Mastic, Brown	No	None Detected	Cellulose Fiber Gypsum Quartz Mica Binder/Filler	<1% 99%
0141214-016 8-01	RM 11	LAYER 1 Wood Panel, Brown	No	None Detected	Cellulose Fiber Gypsum Carbonates Binder/Filler	95% 5%
		LAYER 2 Mastic, Brown	No	None Detected	Cellulose Fiber Carbonates Quartz Binder/Filler	1% 99%
0141214-017 8-02	RM 11	LAYER 1 Wood Panel, Brown	No	None Detected	Cellulose Fiber Gypsum Carbonates Binder/Filler	95% 5%
		LAYER 2 Mastic, Brown	No	None Detected	Cellulose Fiber Carbonates Quartz Binder/Filler	<1% 99%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-018 9-01	RM 8	LAYER 1 Drywall, White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica	10% 2% 88%
		LAYER 2 Taping Mud, Off White	Yes	Chrysotile	2%	Cellulose Fiber Carbonates Mica Quartz Binder/Filler	2% 96%
		LAYER 3 Drywall/ Taping Mud Composite, White/ Brown/ Off White Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Gypsum Carbonates Mica Quartz Binder/Filler	11% 88%
0141214-019 9-02	RM 8	LAYER 1 Drywall, White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica	10% 2% 88%
		LAYER 2 Taping Mud, Off White	Yes	Chrysotile	3%	Carbonates Mica Quartz Binder/Filler	 97%
		LAYER 3 Drywall/ Taping Mud Composite, White/ Brown/ Off White Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	9% 1% 89%

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Laboratory Report
0141214

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-020 9-03	RM 10	LAYER 1 Drywall, White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica	10% 2% 88%
		LAYER 2 Taping Mud, Off White	Yes	Chrysotile	3%	Carbonates Mica Quartz Binder/Filler	 97%
		LAYER 3 Drywall/ Taping Mud Composite, White/ Brown/ Off White Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	9% 1% 89%
0141214-021 9-04	RM 8	LAYER 1 Drywall, White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica	10% 2% 88%
		LAYER 2 Taping Mud, Off White	Yes	Chrysotile	3%	Cellulose Fiber Carbonates Mica Quartz Binder/Filler	<1% 96%
		LAYER 3 Drywall/ Taping Mud Composite, White/ Brown/ Off White Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	9% 1% 89%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-022 9-05	RM 8	LAYER 1 Drywall, White/ Brown	No	None Detected		Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica	10% 2% 88%
		LAYER 2 Taping Mud, Off White	Yes	Chrysotile	3%	Cellulose Fiber Carbonates Mica Quartz Binder/Filler	<1% 96%
		LAYER 3 Drywall/ Taping Mud Composite, White/ Brown/ Off White Note: COMPOSITE ANALYSIS REQUESTED	Yes	Chrysotile	<1%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	9% 1% 89%
0141214-023 10-01	RM 5	LAYER 1 Plaster, Beige	No	None Detected		Cellulose Fiber Carbonates Quartz Gypsum Mica Binder/Filler	<1% 99%
		LAYER 2 Texture / Paint, Off White/ Lt. Green Note: Unable to separate adjacent layers	No	None Detected		Carbonates Mica Binder/Filler	 100%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents	
0141214-024 10-02	RM 5	LAYER 1 Plaster, Beige	No	None Detected	Cellulose Fiber	<1%
					Carbonates	
					Quartz	
					Gypsum	
					Mica	
					Binder/Filler	99%
		LAYER 2 Texture / Paint, Off White/ Lt. Green Note: Layer is mainly Paint - little Texture present	No	None Detected		
					Carbonates	
					Mica	
					Binder/Filler	100%
0141214-025 10-03	RM 6	Plaster, Beige	No	None Detected	Cellulose Fiber	<1%
					Carbonates	
					Quartz	
					Gypsum	
					Mica	
					Binder/Filler	99%
0141214-026 11-01	RM 5	LAYER 1 Vinyl Sheet Flooring, Tan/ Black	No	None Detected	Cellulose Fiber	20%
					Carbonates	
					Quartz	
					Binder/Filler	80%
		LAYER 2 Vinyl Sheet Flooring, Brown/ Black	No	None Detected	Cellulose Fiber	20%
					Synthetic Fiber	5%
					Carbonates	
					Quartz	
					Binder/Filler	75%
		LAYER 3 Mastic, Brown/ Black	No	None Detected	Cellulose Fiber	3%
					Carbonates	
					Quartz	
					Binder/Filler	97%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-027 11-02	RM 5	LAYER 1 Vinyl Sheet Flooring, Tan/ Black	No	None Detected		Cellulose Fiber Carbonates Quartz Binder/Filler	20% 80%
		LAYER 2 Vinyl Sheet Flooring, Brown/ Black Note: No Mastic Present	No	None Detected		Cellulose Fiber Synthetic Fiber Carbonates Quartz Binder/Filler	20% 5% 75%
0141214-028 12-01	MECH RM ABOVE RM 7	Vibration Damper, White	Yes	Chrysotile	50%	Synthetic Fiber Carbonates Binder/Filler	45% 5%
0141214-029 12-02	MECH RM ABOVE RM 7	Vibration Damper, White	Yes	Chrysotile	50%	Synthetic Fiber Carbonates Binder/Filler	45% 5%
0141214-030 13-01	MECH RM ABOVE RM 7	Duct Cloth, Beige	No	None Detected		Synthetic Fiber Gypsum Binder/Filler	90% 10%
0141214-031 13-02	MECH RM ABOVE RM 7	Duct Cloth, Beige	No	None Detected		Synthetic Fiber Gypsum Binder/Filler	90% 10%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-032	RM 8	LAYER 1	Yes	Chrysotile	10%	Non-Fibrous Tremolite	5%
14-01		9"x9" Vinyl Floor Tile, Tan				Carbonates	
						Quartz	
						Binder/Filler	85%
		LAYER 2	Yes	Chrysotile	2%	Cellulose Fiber	<1%
		Mastic, Black				Carbonates	
		Note: Difficult to separate adjacent layer				Gypsum	
						Quartz	
						Binder/Filler	97%
		LAYER 3	No	None Detected		Cellulose Fiber	50%
		Vapor Barrier, Black				Synthetic Fiber	5%
						Carbonates	
						Quartz	
						Binder/Filler	45%
		LAYER 4	No	None Detected		Cellulose Fiber	2%
		Mastic, Brown				Gypsum	
						Carbonates	
						Binder/Filler	98%
0141214-033	RM 10	LAYER 1	Yes	Chrysotile	10%	Non-Fibrous Tremolite	5%
14-02		9"x9" Vinyl Floor Tile, Tan				Carbonates	
						Quartz	
						Binder/Filler	85%
		LAYER 2	Yes	Chrysotile	<1%	Cellulose Fiber	1%
		Mastic, Black				Carbonates	
		Note: Difficult to separate adjacent layer				Gypsum	
						Binder/Filler	98%
0141214-034	RM 8	6x4 Ceiling Tile, White/ Brown	No	None Detected		Cellulose Fiber	90%
15-01						Gypsum	
						Carbonates	
						Binder/Filler	10%
0141214-035	RM 8	6x4 Ceiling Tile, White/ Brown	No	None Detected		Cellulose Fiber	90%
15-02						Gypsum	
						Carbonates	
						Binder/Filler	10%

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NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents	
0141214-036 16-01	RM 8	LAYER 1 Plaster-Scratch Coat, Gray	No	None Detected	Cellulose Fiber	<1%
					Carbonates	
					Quartz	
					Gypsum	
					Mica	99%
		LAYER 2 Plaster-Finish Coat, Off White/ Green	No	None Detected		
					Carbonates	
					Gypsum	
					Quartz	
					Mica	
					Binder/Filler	100%
0141214-037 16-02	RM 8	LAYER 1 Plaster-Scratch Coat, Gray	No	None Detected	Cellulose Fiber	<1%
					Carbonates	
					Quartz	
					Gypsum	
					Mica	99%
		LAYER 2 Plaster-Finish Coat, Off White/ Green	No	None Detected		
					Carbonates	
					Gypsum	
					Quartz	
					Mica	
					Binder/Filler	100%
0141214-038 16-03	RM 13	Plaster, Tan	No	None Detected		
					Carbonates	
					Gypsum	
					Quartz	
					Mica	
					Binder/Filler	100%
0141214-039 17-01	MECH RM ABOVE RM 7	1x1 Ceiling Tile, Off White/ Brown	No	None Detected	Cellulose Fiber	90%
					Gypsum	
					Binder/Filler	10%
0141214-040 17-02	MECH RM ABOVE RM 7	1x1 Ceiling Tile, Off White/ Brown	No	None Detected	Cellulose Fiber	90%
					Gypsum	
					Binder/Filler	10%

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Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/14/2014	Date Reported:	05/20/2014
Project Name:	COMMERICAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141214-041 18-01	MECH RM ABOVE RM 7	Wall Panel, Gray	Yes	Chrysotile	10%		
						Carbonates Gypsum Quartz Binder/Filler	90%
0141214-042 18-02	MECH RM ABOVE RM 7	Wall Panel, Gray	Yes	Chrysotile	12%		
						Carbonates Gypsum Quartz Binder/Filler	88%

Analyst - Kenneth Scheske

Signatory - Lab Director - Kurt Kettler

Distinctly stratified, easily separable layers of samples are analyzed as subsamples of the whole and are reported separately for each discernible layer. All analyses are derived from calibrated visual estimate and measured in area percent unless otherwise noted. The report applies to the standards or procedures identified and to the sample(s) tested. The test results are not necessarily indicated or representative of the qualities of the lot from which the sample was taken or of apparently identical or similar products, nor do they represent an ongoing quality assurance program unless so noted. These reports are for the exclusive use of the addressed client and that they will not be reproduced wholly or in part for advertising or other purposes over our signature or in connection with our name without special written permission. The report shall not be reproduced except in full, without written approval by our laboratory. The samples not destroyed in testing are retained a maximum of thirty days. The laboratory measurement of uncertainty for the test method is approximately less than 1 by area percent. Accredited by the National Institute of Standards and Technology, Voluntary Laboratory Accreditation Program for selected test method for asbestos. The accreditation or any reports generated by this laboratory in no way constitutes or implies product certification, approval, or endorsement by the National Institute of Standards and Technology. The report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. Polarized Light Microscopy may not be consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials.

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PAGE 1 OF 5

CHAIN OF CUSTODY RECORD

DATE 5/9/2014 TESTING LAB: EMC

TURN-AROUND TIME

☐ 6 HRS. ☒ 24 HRS. ☐ :

☒ EMAIL RESULTS TO: brooksconsult@sbcglobal.net ☐

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE., STE. 201, CLOVIS, CA.93612
PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME:	COMMERCIAL BLDG
ADDRESS:	735 H STREET
PROJECT #	14-7146
CONTACT	☐ TROY B. ☒ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559)	287-8357 284-5573 999-3417

SAMPLE #	SAMPLE DESCRIPTION		TIME ON / OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
1-01	MAT LOC.: RM 1	WALL							X						
	MAT DESC. DRYWALL/TAPING MUD/TEXTURE														
1-02	MAT LOC.: RM 2	WALL							X						
	MAT DESC. DRYWALL/TAPING MUD/TEXTURE														
1-03	MAT LOC.: RM 3	WALL							X						
	MAT DESC. DRYWALL/TAPING MUD/TEXTURE														
2-01	MAT LOC.: RM 4	WALL							X						
	MAT DESC. DRYWALL/TAPING MUD														
2-02	MAT LOC.: RM 4	WALL							X						
	MAT DESC. DRYWALL/TAPING MUD														
3-01	MAT LOC.: RM 2	WALL							X						
	MAT DESC. WALL PANEL														
3-02	MAT LOC.: RM 2	WALL							X						
	MAT DESC. WALL PANEL														
4-01	MAT LOC.: RM 1	FLOOR							X						
	MAT DESC. 9X9 VFT AND MASTIC (MULTI LAYERS)	BROWN													
4-02	MAT LOC.: RM 1	FLOOR							X						
	MAT DESC. 9X9 VFT AND MASTIC (MULTI LAYERS)	BROWN													
5-01	MAT LOC.: RM 1	FLOOR							X						
	MAT DESC. 12X12 VFT AND MASTIC	GREEN													

TRANSACTIONS		TRANSACTIONS	SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE)	DATE: 5/14/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/19/14
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/19/14	(APPROVED BY SIGNATURE)	DATE: 5/19/14

LAB ___X___
CLIENT _____
BROOKS _____

14214

PAGE 2 OF 5

CHAIN OF CUSTODY RECORD

DATE 5/9/2014 TESTING LAB: **EMC**

TURN-AROUND TIME

☐ 6 HRS. ☒ 24 HRS. ☐ :

☒ EMAIL RESULTS TO: brooksconsult@sbcglobal.net ☐

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS

613 HARVARD AVE., STE. 201, CLOVIS, CA.93612

PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME:	COMMERCIAL BLDG
ADDRESS:	735 H STREET
PROJECT #	14-7146
CONTACT	☐ TROY B. ☒ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559)	287-8357 284-5573 999-3417

SAMPLE #	SAMPLE DESCRIPTION		TIME ON / TIME OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
5-02	MAT LOC.: *RM 2*	FLOOR							X						
11	MAT DESC. *12X12 VFT AND MASTIC*	*GREEN*													
6-01	MAT LOC.: *RM 1*	WALL							X						
12	MAT DESC. *4" BLK COVE BASE AND ADH.*														
6-02	MAT LOC.: *RM 1*	WALL							X						
13	MAT DESC. *4" BLK COVE BASE AND ADH.*														
7-01	MAT LOC.: *RM 1*	CEILING							X						
14	MAT DESC. *1X1 CEILING TILE AND MASTIC*														
7-02	MAT LOC.: *RM 1*	WALL							X						
15	MAT DESC. *1X1 CEILING TILE AND MASTIC*														
8-01	MAT LOC.: *RM 11*	FLOOR							X						
16	MAT DESC. *WOOD PANEL*														
8-02	MAT LOC.: *RM 11*	FLOOR							X						
17	MAT DESC. *WOOD PANEL*														
9-01	MAT LOC.: *RM 8*	WALL							X						
18	MAT DESC. *DRYWALL/TAPING MUD*														
9-02	MAT LOC.: *RM 8*	WALL							X						
19	MAT DESC. *DRYWALL/TAPING MUD*														
9-03	MAT LOC.: *RM 10*	WALL							X						
20	MAT DESC. *DRYWALL/TAPING MUD*														

TRANSACTIONS		TRANSACTIONS	SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE)	DATE: 5/14/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/19/14
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/19/14	(APPROVED BY SIGNATURE)	DATE: 5/19/14

LAB ___X___
CLIENT _____
BROOKS _____

14/2014

PAGE 3 OF 5

CHAIN OF CUSTODY RECORD

DATE 5/9/2014 TESTING LAB: **EMC**

TURN-AROUND TIME

☐ 6 HRS. ☒ 24 HRS. ☐ :

☒ EMAIL RESULTS TO: brooksconsult@sbcglobal.net

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS

613 HARVARD AVE., STE. 201, CLOVIS, CA.93612

PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME:	COMMERCIAL BLDG ☐
ADDRESS:	735 H STREET
PROJECT #	14-7146
CONTACT	☐ TROY B. ☒ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559)	287-8357 284-5573 999-3417

SAMPLE #	SAMPLE DESCRIPTION		TIME ON / TIME OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
21 9-04	MAT LOC.: *RM 8*	WALL							X						
	MAT DESC. *DRYWALL/TAPING MUD*														
22 9-05	MAT LOC.: *RM 8*	WALL							X						
	MAT DESC. *DRYWALL/TAPING MUD*														
23 10-01	MAT LOC.: *RM 5*	WALL							X						
	MAT DESC. *PLASTER*														
24 10-02	MAT LOC.: *RM 5*	WALL							X						
	MAT DESC. *PLASTER*														
25 10-03	MAT LOC.: *RM 6*	WALL							X						
	MAT DESC. *PLASTER*														
26 11-01	MAT LOC.: *RM 5*	FLOOR							X						
	MAT DESC. *VINYL SHEET FLOORING*														
27 11-02	MAT LOC.: *RM 5*	FLOOR							X						
	MAT DESC. *VINYL SHEET FLOORING*														
28 12-01	MAT LOC.: *MECH RM ABOVE RM 7*								X						
	MAT DESC. *VIB. DAMP.*														
29 12-02	MAT LOC.: *MECH RM ABOVE RM 7*								X						
	MAT DESC. *VIB. DAMP.*														
30 13-01	MAT LOC.: *MECH RM ABOVE RM 7*								X						
	MAT DESC. *DUCT CLOTH*														

TRANSACTIONS		TRANSACTIONS	SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE) Timothy Tim	DATE: 5/14/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/19/14
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/19/14	(APPROVED BY SIGNATURE)	DATE: 5/19/14

LAB ___X___
CLIENT _____
BROOKS _____

1/21/14

PAGE 4 OF 5

CHAIN OF CUSTODY RECORD

DATE 5/9/2014 TESTING LAB: **EMC**

TURN-AROUND TIME

☐ 6 HRS. ☒ 24 HRS. ☐ :

☒ EMAIL RESULTS TO: brooksconsult@sbcglobal.net

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE., STE. 201, CLOVIS, CA.93612
PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME:	COMMERCIAL BLDG ☐
ADDRESS:	735 H STREET
PROJECT #	14-7146
CONTACT	☐ TROY B. ☒ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559)	287-8357 284-5573 999-3417

SAMPLE #	SAMPLE DESCRIPTION		TIME ON / OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
31 13-02	MAT LOC.: MECH RM ABOVE RM 7								X						
	MAT DESC. DUCT CLOTH														
32 14-01	MAT LOC.: RM 8	FLOOR							X						
	MAT DESC. 9"X9" VINYL FLOOR TILE														
33 14-02	MAT LOC.: RM 10	FLOOR							X						
	MAT DESC. 9"X9" VINYL FLOOR TILE														
34 15-01	MAT LOC.: RM 8	CEILING							X						
	MAT DESC. 6X4 CEILING TILE														
35 15-02	MAT LOC.: RM 8	CEILING							X						
	MAT DESC. 6X4 CEILING TILE														
36 16-01	MAT LOC.: RM 8	WALL							X						
	MAT DESC. PLASTER														
37 16-02	MAT LOC.: RM 8	WALL							X						
	MAT DESC. PLASTER														
38 16-03	MAT LOC.: RM 13	WALL							X						
	MAT DESC. PLASTER														
39 17-01	MAT LOC.: MECH RM ABOVE RM 7	CEILING							X						
	MAT DESC. 1X1 CT														
40 17-02	MAT LOC.: MECH RM ABOVE RM 7	CEILING							X						
	MAT DESC. 1X1 CT														

TRANSACTIONS		TRANSACTIONS	SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE) Timothy Thomas	DATE: 5/14/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/19/14
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/19/14	(APPROVED BY SIGNATURE)	DATE: 5/19/14

LAB X
CLIENT
BROOKS

141214

CHAIN OF CUSTODY RECORD

PAGE 5 OF 5

DATE 5/9/2014 TESTING LAB: **EMC**

TURN-AROUND TIME

☐ 6 HRS. ☒ 24 HRS. ☐ :

☒ EMAIL RESULTS TO: brooksconsult@sbcglobal.net

☐

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE., STE. 201, CLOVIS, CA.93612
PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME: COMMERCIAL BLDG
ADDRESS: 735 H STREET
PROJECT #: 14-7146
CONTACT: ☐ TROY B. ☒ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559): 287-8357 | 284-5573 | 999-3417

	SAMPLE #	SAMPLE DESCRIPTION		TIME ON / TIME OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
41	18-01	MAT LOC.: MECH RM ABOVE RM 7	WALL							X						
		MAT DESC. WALL PANEL														
42	18-02	MAT LOC.: MECH RM ABOVE RM 7	WALL							X						
		MAT DESC. WALL PANEL														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														
		MAT LOC.:														
		MAT DESC.														

TRANSACTIONS		TRANSACTIONS		SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE) Timothy [signature]	DATE: 5/14/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/19/14	LAB X
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/19/14	(APPROVED BY SIGNATURE) [signature]	DATE: 5/19/14	CLIENT ______ BROOKS ______

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141213

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/09/2014	Date Reported:	05/20/2014
Project Name:	COMMERCIAL BLDG-741 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents	
0141213-001	RM 1	Wall Plaster, Off White/ Beige	No	None Detected	Cellulose Fiber	<1%
1-01					Gypsum Quartz Carbonates Binder/Filler	99%
0141213-002	RM 1	Wall Plaster, Off White/ Beige	No	None Detected	Cellulose Fiber	<1%
1-02					Gypsum Quartz Carbonates Binder/Filler	99%
0141213-003	RM 1	Wall Plaster, Off White/ Beige	No	None Detected	Cellulose Fiber	<1%
1-03					Gypsum Quartz Carbonates Binder/Filler	99%

Analyst - Johann Hofer

Signatory - Lab Director - Kurt Kettler

141213

CHAIN OF CUSTODY RECORD

PAGE ____ OF ____

DATE 5/9/2014 TESTING LAB: **EMC**

TURN-AROUND TIME

☐ 6 HRS. ☒ 24 HRS. ☐ :

☒ EMAIL RESULTS TO: brooksconsult@sbcglobal.net

☐

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE., STE. 201, CLOVIS, CA.93612
PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME:	COMMERCIAL BLDG
ADDRESS:	741 H STREET
PROJECT #	14-7146
CONTACT	☐ TROY B. ☒ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559)	287-8357 284-5573 999-3417

SAMPLE #	SAMPLE DESCRIPTION		TIME ON / TIME OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
1-01	MAT LOC.: RM 1	WALL							X						
	MAT DESC. PLASTER														
1-02	MAT LOC.: RM 1	WALL							X						
	MAT DESC. PLASTER														
1-03	MAT LOC.: RM 1	WALL							X						
	MAT DESC. PLASTER														
	MAT LOC.:														
	MAT DESC.														
	MAT LOC.:														
	MAT DESC.														
	MAT LOC.:														
	MAT DESC.														
	MAT LOC.:														
	MAT DESC.														
	MAT LOC.:														
	MAT DESC.														
	MAT LOC.:														
	MAT DESC.														
	MAT LOC.:														
	MAT DESC.														

TRANSACTIONS		TRANSACTIONS		SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE) [signature]	DATE: 5/14/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/9/14	LAB X CLIENT ____ BROOKS ____
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/9/14	(APPROVED BY SIGNATURE) [signature] JDHOFER	DATE: 5-19-14	

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141215

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/19/2014
Collected:	05/16/2014	Date Reported:	05/20/2014
Project Name:	COMMERCIAL BLDG-735-741 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141215-001 01	ROOF	LAYER 1 BUR, White/ Black	No	None Detected		Fibrous Glass	15%
						Quartz Carbonates Binder/Filler	85%
		LAYER 2 BUR, Black	No	None Detected		Fibrous Glass	30%
						Quartz Binder/Filler	70%
		LAYER 3 BUR, Black	No	None Detected		Fibrous Glass	30%
						Quartz Binder/Filler	70%
		LAYER 4 BUR, Black	No	None Detected		Fibrous Glass	30%
						Quartz Binder/Filler	70%
		Please see EMC Labs Sample Number 0141215-007 for Additional Layers					
0141215-002 02	ROOF	LAYER 1 BUR, White/ Black	No	None Detected		Fibrous Glass	15%
						Quartz Carbonates Binder/Filler	85%
		LAYER 2 BUR, Black	No	None Detected		Fibrous Glass	30%
						Quartz Binder/Filler	70%
		LAYER 3 BUR, Black	No	None Detected		Fibrous Glass	30%
						Quartz Binder/Filler	70%
		LAYER 4 BUR, Black	No	None Detected		Fibrous Glass	30%
						Quartz Binder/Filler	70%
		Please see EMC Labs Sample Number 0141215-008 for Additional Layers					
0141215-003 03	ROOF	Penetration Mastic, Gray/ Black	Yes	Chrysotile	10%		
						Carbonates Binder/Filler	90%

EMC LABS, INC.

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Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141215

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/19/2014
Collected:	05/16/2014	Date Reported:	05/20/2014
Project Name:	COMMERCIAL BLDG-735-741 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141215-004 04	ROOF	Penetration Mastic, Gray/ Black	Yes	Chrysotile	10%	Cellulose Fiber Carbonates Binder/Filler	2% 88%
0141215-005 05	EXT	LAYER 1 Ext. Block, Red/ Off White	No	None Detected		 Quartz Gypsum Binder/Filler	 100%
		LAYER 2 Mortar, Gray/ Off White	No	None Detected		Cellulose Fiber Carbonates Quartz Gypsum Mica Binder/Filler	<1% 99%
0141215-006 06	EXT	LAYER 1 Ext. Block, Red/ Off White	No	None Detected		 Quartz Gypsum Binder/Filler	 100%
		LAYER 2 Mortar, Gray/ Off White	No	None Detected		Cellulose Fiber Carbonates Quartz Gypsum Mica Binder/Filler	<1% 99%

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141215

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/16/2014	Date Reported:	05/20/2014
Project Name:	COMMERCIAL BLDG-735-741 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents	
0141215-007 01	ADDITIONAL LAYERS	LAYER 1 BUR, Black	No	None Detected	Fibrous Glass Carbonates Binder/Filler	30% 70%
		LAYER 2 BUR, Black	No	None Detected	Fibrous Glass Carbonates Binder/Filler	30% 70%
		LAYER 3 BUR, Black	No	None Detected	Fibrous Glass Carbonates Binder/Filler	30% 70%
		LAYER 4 BUR, Brown	No	None Detected	Cellulose Fiber Gypsum Perlite Binder/Filler	85% 15%
0141215-008 02	ADDITIONAL LAYERS	LAYER 1 BUR, Black	No	None Detected	Fibrous Glass Quartz Binder/Filler	30% 70%
		LAYER 2 BUR, Black	No	None Detected	Fibrous Glass Carbonates Binder/Filler	30% 70%
		LAYER 3 BUR, Black	No	None Detected	Fibrous Glass Carbonates Binder/Filler	30% 70%
		LAYER 4 BUR, Brown	No	None Detected	Cellulose Fiber Gypsum Perlite Binder/Filler	85% 15%

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141215

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/19/2014
	CLOVIS CA 93612	Date Analyzed:	05/20/2014
Collected:	05/16/2014	Date Reported:	05/20/2014
Project Name:	COMMERCIAL BLDG-735-741 H STREET	EPA Method:	EPA 600/R-93/116
Address:		Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type (%)	Non-Asbestos Constituents

Analyst - Johann Hofer

Signatory - Lab Director - Kurt Kettler

141215

PAGE 1 OF 1

CHAIN OF CUSTODY RECORD

DATE 5/6/14 TESTING LAB: EMC

TURN-AROUND TIME

☐ 6 HRS. ☑ 24 HRS. ☐ :

☐ EMAIL RESULTS TO: brooksconsult@sbcglobal.net

BILL TO:

T. BROOKS & ASSOCIATES, INC

ROOF AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE., STE. 201, CLOVIS, CA.93612
PHONE: (559) 298-9135 FAX: (559) 298-2281

PROJECT INFORMATION

PROJECT NAME:	Commercial Bldg
ADDRESS:	735-741 H street
PROJECT #	14-7146
CONTACT	☐ TROY B. ☑ TIM T. ☐ CHAD C. ☐ :
MOBIL # (559)	287-8357 284-5573 999-3417

SAMPLE #	SAMPLE DESCRIPTION	TIME ON / TIME OFF	TOTAL TIME	START	STOP	VOLUME	PCM	PLM	TEM	LEAD WIPE	LEAD AIR	LEAD PAINT		
01	MAT LOC.: Roof WALL CLG. FL. / MAT DESC. BUR							X						
02	MAT LOC.: Roof WALL CLG. FL. / MAT DESC. BUR													
03	MAT LOC.: Roof WALL CLG. FL. / MAT DESC. Penetration mastic													
04	MAT LOC.: Roof WALL CLG. FL. / MAT DESC. Penetration mastic													
05	MAT LOC.: Ext. WALL CLG. FL. / MAT DESC. Ext. Block & mortar													
06	MAT LOC.: Ext. WALL CLG. FL. / MAT DESC. Ext Block w/o mortar							X						
	MAT LOC.: WALL CLG. FL. / MAT DESC.													
	MAT LOC.: WALL CLG. FL. / MAT DESC.													
	MAT LOC.: WALL CLG. FL. / MAT DESC.													
	MAT LOC.: WALL CLG. FL. / MAT DESC.													

TRANSACTIONS		TRANSACTIONS	SHIPPING PAID BY :
(RELINQUISHED BY SIGNATURE)	DATE: 5/16/14	(APPROVED BY SIGNATURE) Diana Federico	DATE: 5/19/14
(RELINQUISHED BY SIGNATURE) Diana Federico	DATE: 5/19/14	(APPROVED BY SIGNATURE) JDHOFER	DATE: 5-19-14

LAB X
CLIENT
BROOKS

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141306

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/21/2014
	CLOVIS CA 93612	Date Analyzed:	05/22/2014
Collected:	05/14/2014	Date Reported:	05/22/2014
Project Name:	COMMERCIAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:	POINT COUNT VIA EMC LAB #141214	Submitted By:	TIM THOMAS
		Collected By:	

Lab ID Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141306-001 2-01	RM 4	Drywall/ Taping Mud Composite, Off White/ Beige/ Brown	Yes	Chrysotile	0.3%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	9.2% 2.6% 87.9%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					
0141306-002 2-02	RM 4	Drywall/ Taping Mud Composite, Off White/ Brown/ Beige	Yes	Chrysotile	0.4%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	8.7% 2.6% 88.3%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					
0141306-003 9-01	RM 8	Drywall/ Taping Mud Composite, White/ Brown/ Off White	Yes	Chrysotile	0.3%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	8.8% 1.7% 89.2%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					
0141306-004 9-02	RM 8	Drywall/ Taping Mud Composite, White/ Brown/ Off White	Yes	Chrysotile	0.5%	Cellulose Fiber Fibrous Glass Gypsum Carbonates Mica Quartz Binder/Filler	8.5% 1.7% 89.3%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					

EMC LABS, INC.

9830 S. 51st Street, Suite B109, Phoenix, AZ 85044
Phone: 800-362-3373 or 480-940-5294 - Fax: (480) 893-1726

Laboratory Report
0141306

Bulk Asbestos Analysis by Polarized Light Microscopy

NVLAP#101926-0

Client:	T. BROOKS ASSOCIATES, INC.	Job# / P.O. #:	14-7146
Address:	613 HARVARD AVE, STE 201	Date Received:	05/21/2014
	CLOVIS CA 93612	Date Analyzed:	05/22/2014
Collected:	05/14/2014	Date Reported:	05/22/2014
Project Name:	COMMERCIAL BLDG-735 H STREET	EPA Method:	EPA 600/R-93/116
Address:	POINT COUNT VIA EMC LAB #141214	Submitted By:	TIM THOMAS
		Collected By:	

Lab ID / Client ID	Sample Location	Layer Name / Sample Description	Asbestos Detected	Asbestos Type	(%)	Non-Asbestos Constituents	
0141306-005	RM 10	Drywall/ Taping Mud Composite, White/ Brown/ Off White	Yes	Chrysotile	0.4%	Cellulose Fiber	8.5%
9-03						Fibrous Glass	1.7%
						Gypsum	
						Carbonates	
						Mica	
						Quartz	
						Binder/Filler	89.4%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					
0141306-006	RM 8	Drywall/ Taping Mud Composite, White/ Brown/ Off White	Yes	Chrysotile	0.5%	Cellulose Fiber	8.7%
9-04						Fibrous Glass	1.7%
						Gypsum	
						Carbonates	
						Mica	
						Quartz	
						Binder/Filler	89.1%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					
0141306-007	RM 8	Drywall/ Taping Mud Composite, White/ Brown/ Off White	Yes	Chrysotile	0.5%	Cellulose Fiber	8.5%
9-05						Fibrous Glass	1.7%
						Gypsum	
						Carbonates	
						Mica	
						Quartz	
						Binder/Filler	89.3%
		COMPOSITE ANALYSIS REQUESTED; 400 Pt. POINT COUNT					

Analyst - Kenneth Scheske

Signatory - Lab Director - Kurt Kettler

Page ___ of ___

CHAIN OF CUSTODY

EMC Labs, Inc.
9830 S. 51st St., Ste B-109
Phoenix, AZ 85044
(800) 362-3373 Fax (480) 893-1726

LAB#: 141306
TAT: 1 day
Rec'd: MAY 21 AM

COMPANY NAME: T. BROOKS & ASSOCIATES, INC.
613 Harvard Avenue, Suite 201
Clovis, CA 93612
CONTACT: Troy Brooks SCAN COC's
Phone/Fax: (559) 298-9135 / (559) 298-2281
Email: brooksconsult@sbcglobal.net

BILL TO: (If Different Location)

Now Accepting: VISA – MASTERCARD Price Quoted: $_____ / Sample $____ / Layers

COMPLETE ITEMS 1-4: (Failure to complete any items may cause a delay in processing or analyzing your samples)

1. **TURNAROUND TIME:** [Same Day RUSH] (1-Day) [2-Day] [3-4-5 Day] [6-10 Day]

****Prior confirmation of turnaround time is required
****Additional charges for rush analysis (please call marketing department for pricing details)
****Laboratory analysis may be subject to delay if credit terms are not met

EMC # 141214

2. **TYPE OF ANALYSIS:** [Bulk-PLM] [Air-PCM] [Lead] (Point Count) [Fungi: AOC, W-C, Bulk, Swab, Tape]
3. **DISPOSAL INSTRUCTIONS:** [Dispose of samples at EMC] / [Return samples to me at my expense]
(If you do not indicate preference, EMC will dispose of samples 60 days from analysis.)

4. Project Name: Commercial Bldg. - 735 H Street
P.O. Number: _____ Project Number: 14-7146

EMC SAMPLE #	CLIENT SAMPLE #	DATE & TIME SAMPLED	LOCATION/MATERIAL TYPE	Samples Accepted Yes / No	AIR SAMPLE INFO / COMMENTS ON	OFF	FLOW RATE
1	2-01	5/14		(Y) N			
2	2-02			Y N			
3	9-01			Y N			
4	2			Y N			
5	3			Y N			
6	4			Y N			
7	5			(Y) N			
				Y N			
			Composite	Y N			
				Y N			
				Y N			
				Y N			
				Y N			
				Y N			

SPECIAL INSTRUCTIONS: _____

Sample Collector: (Print) _____ (Signature) _____

Relinquished by: _____ Date/Time: _____ Received by: Diana Federico Date/Time: 5/21/14

Relinquished by: Diana Federico Date/Time: 5/21/14 Received by: _____ Date/Time: 5 21 14

Relinquished by: _____ Date/Time _____ Received by: _____ Date/Time: _____

** In the event of any dispute between the above parties for these services or otherwise, parties agree that jurisdiction and venue will be in Phoenix, Arizona and prevailing party will be entitled to attorney's fees and court costs.

Rev. 09/01/08

141306

EMC Lab

From: troyb10654@gmail.com on behalf of Troy Brooks <troyb@brooksconsult.com>
Sent: Wednesday, May 21, 2014 10:41 AM
To: EMC Lab
Subject: Point Count request

Sharon or Diana:

Please provide composite point count analysis for the following:

Need results tomorrow (5/22/14)

Lab Report 0141214

Samples:

2-01
2-02
9-01
9-02
9-03
9-04
9-05

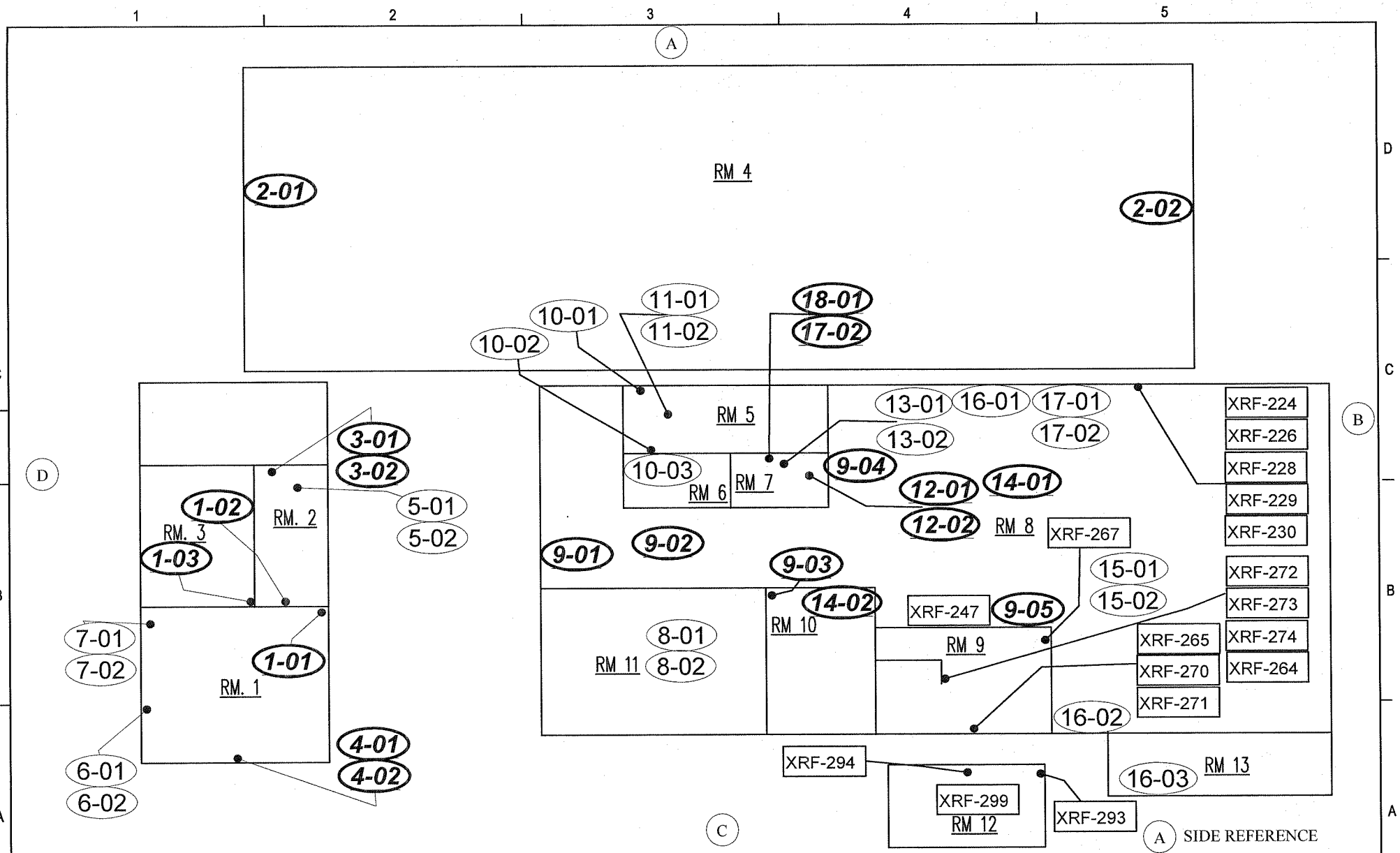
Thanks,

Troy

Appendix B

Site Plans Indicating

Asbestos Sampling Locations & Lead Sampling Orientation & Hazards



00 DENOTES ASBESTOS SAMPLE

00 DENOTES POSITIVE ASBESTOS SAMPLE

735 "H" STREET

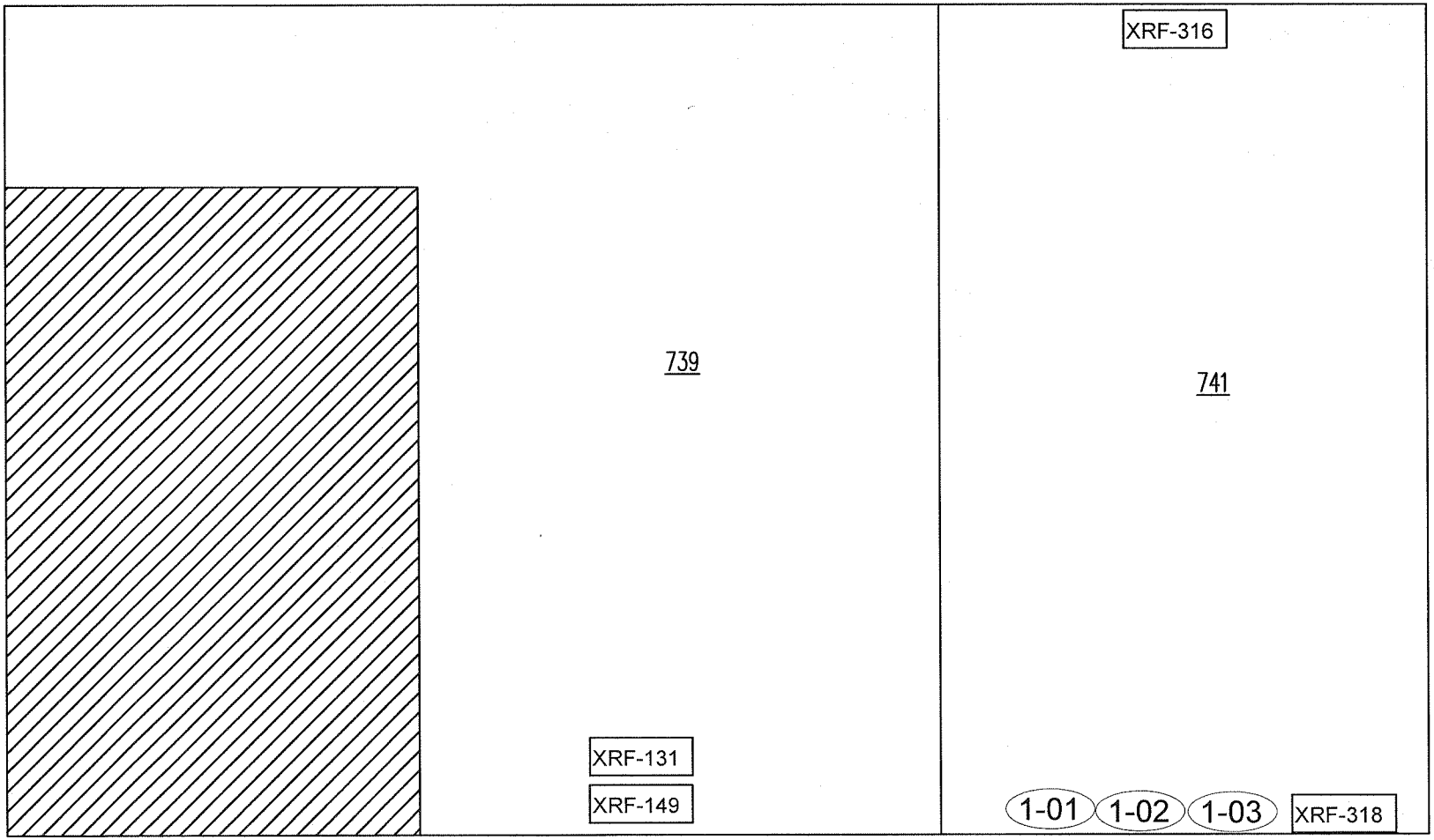
SAMPLES AS REFERENCED ON THE KEY BELOW ARE DETERMINED TO BE LEAD-BASED PAINT IN FAIR, POOR OR PEELING CONDITION AND REQUIRE CORRECTIVE ACTION. SAMPLE LOCATIONS ARE SHOWN ON THE PLAN.

XRF-000 LEAD PAINT SAMPLE

T. BROOKS AND ASSOCIATES, INC.
ROOFING AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE, SUITE 101, CLOVIS, CA 93612
OFFICE 559.298.9135 FAX 559.298.2281

COMMERCIAL BUILDING
735-741 H STREET
CLOVIS, CA.

DRAWN BY: CARTER BROOKS
PROJECT MANAGER: TIM THOMAS
PROJECT #: 14-7146
DATE OF INSPECTION: 5/9/14



(A) SIDE REFERENCE

(00) DENOTES ASBESTOS SAMPLE

(00) DENOTES POSITIVE ASBESTOS SAMPLE

739 AND 741 "H" STREET

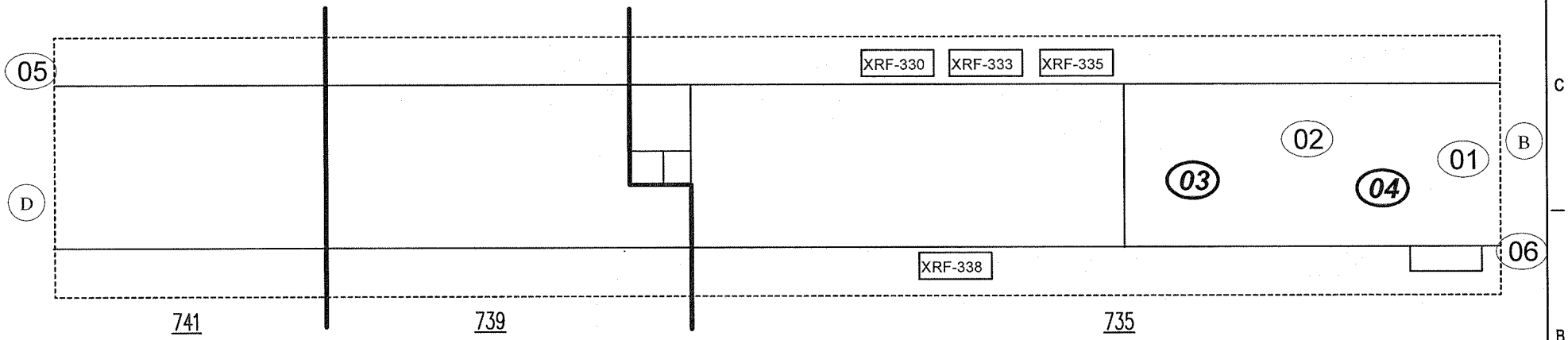
SAMPLES AS REFERENCED ON THE KEY BELOW ARE DETERMINED TO BE LEAD-BASED PAINT IN FAIR, POOR OR PEELING CONDITION AND REQUIRE CORRECTIVE ACTION. SAMPLE LOCATIONS ARE SHOWN ON THE PLAN.

XRF-000 LEAD PAINT SAMPLE

T. BROOKS AND ASSOCIATES, INC.
ROOFING AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE, SUITE 101, CLOVIS, CA 93612
OFFICE 559.298.9135 FAX 559.298.2281

COMMERCIAL BUILDING
735-741 H STREET
CLOVIS, CA.

DRAWN BY: CARTER BROOKS
PROJECT MANAGER: TIM THOMAS
PROJECT #: 14-7146
DATE OF INSPECTION: 5/9/14



C

EXTERIOR

A SIDE REFERENCE

00 DENOTES ASBESTOS SAMPLE

00 DENOTES POSITIVE ASBESTOS SAMPLE

SAMPLES AS REFERENCED ON THE KEY BELOW ARE DETERMINED TO BE LEAD-BASED PAINT IN FAIR, POOR OR PEELING CONDITION AND REQUIRE CORRECTIVE ACTION. SAMPLE LOCATIONS ARE SHOWN ON THE PLAN.

XRF-000 LEAD PAINT SAMPLE

T. BROOKS AND ASSOCIATES, INC.
ROOFING AND ENVIRONMENTAL CONSULTANTS
613 HARVARD AVE, SUITE 101, CLOVIS, CA 93612
OFFICE 559.298.9135 FAX 559.298.2281

COMMERCIAL BUILDING
735-741 H STREET
CLOVIS, CA.

DRAWN BY: CARTER BROOKS
PROJECT MANAGER: TIM THOMAS
PROJECT #: 14-7146
DATE OF INSPECTION: 5/16/14

Appendix C

XRF Results for Lead
All Readings

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
128	5/9/2014 9:12	20.00	Calibrate - Front							Positive	1.06	1.00	0.10
129	5/9/2014 9:13	20.00	Calibrate - Front							Positive	1.09	1.10	0.10
130	5/9/2014 9:15	20.00	Calibrate - Front							Positive	1.12	1.10	0.10
131	5/9/2014 9:16	0.61	DOOR	METAL	A	Not Intact-Poor	WHITE		739 H	Positive	1.87	3.30	2.30
132	5/9/2014 9:17	2.61	WALL	BRICK	A	INTACT	WHITE		739 H	Negative	1.25	0.03	0.05
133	5/9/2014 9:18	2.20	WALL	BRICK	B	INTACT	WHITE		739 H	Negative	2.16	0.07	0.11
134	5/9/2014 9:18	1.00	DOOR	WOOD	A	INTACT	WHITE		739 H	Negative	1.00	0.02	0.07
135	5/9/2014 9:19	1.00	DR. CASING	WOOD	A	INTACT	WHITE		739 H	Negative	5.97	0.14	0.58
136	5/9/2014 9:19	1.20	DR. JAMB	WOOD	A	INTACT	WHITE		739 H	Negative	1.00	0.02	0.06
137	5/9/2014 9:19	2.20	WALL	DRYWALL	A	Not Intact- Fair	WHITE		739 H	Negative	1.81	0.02	0.06
138	5/9/2014 9:20	3.41	PIPE	METAL	A	Not Intact- Fair	WHITE		739 H	Negative	6.00	0.50	0.30
139	5/9/2014 9:21	1.00	LADDER	WOOD	A	Not Intact-Poor	WHITE		739 H	Negative	1.11	0.02	0.08
140	5/9/2014 9:22	3.01	WALL	BRICK	C	INTACT	WHITE		739 H	Negative	1.16	0.03	0.04
141	5/9/2014 9:22	2.21	WALL	BRICK	D	INTACT	WHITE		739 H	Negative	1.47	0.04	0.06
142	5/9/2014 9:23	1.20	WALL	WOOD	C	Not Intact- Fair	WHITE		739 H	Negative	1.00	0.01	0.04
143	5/9/2014 9:23	1.00	WALL	WOOD	D	Not Intact- Fair	WHITE		739 H	Negative	1.49	0.07	0.18
144	5/9/2014 9:23	1.01	WALL	WOOD	A	Not Intact- Fair	WHITE		739 H	Negative	1.46	0.03	0.13
145	5/9/2014 9:24	0.80	DOOR	METAL	D	INTACT	WHITE		739 H	Positive	1.67	2.80	1.60
146	5/9/2014 9:26	3.21	WNDW CASING	WOOD	A	INTACT	WHITE		739 H	Positive	3.40	1.50	0.40
147	5/9/2014 9:27	3.19	DOOR	WOOD	A	INTACT	WHITE		739 H	Positive	3.40	1.70	0.50
148	5/9/2014 9:27	2.41	DR. CASING	WOOD	A	INTACT	WHITE		739 H	Positive	2.88	1.80	0.70
149	5/9/2014 9:28	2.21	DR. JAMB	WOOD	A	Not Intact- Fair	WHITE		739 H	Positive	4.22	2.10	1.00
150	5/9/2014 9:42	1.00	DR. CASING	WOOD	A	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.01	0.04
151	5/9/2014 9:42	1.01	WNDW CASING	WOOD	A	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.01	0.06
152	5/9/2014 9:43	4.22	WNDW SILL	WOOD	A	INTACT	WHITE	RM 1	735 H	Negative	2.96	0.24	0.12
153	5/9/2014 9:43	1.21	WNDW SILL	WOOD	A	INTACT	WHITE	RM 1	735 H	Positive	10.00	5.50	4.00
154	5/9/2014 9:43	1.20	DR. CASING	WOOD	A	INTACT	WHITE	RM 1	735 H	Positive	9.38	5.80	4.10
155	5/9/2014 9:44	1.20	WALL	DRYWALL	A	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.00	0.02
156	5/9/2014 9:44	2.22	WALL	DRYWALL	B	INTACT	WHITE	RM 1	735 H	Negative	2.22	0.01	0.04
157	5/9/2014 9:45	2.02	WALL	DRYWALL	D	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.00	0.02
158	5/9/2014 9:45	1.00	WALL	WOOD	C	INTACT	WHITE	RM 1	735 H	Negative	2.20	0.02	0.13

* <LOD = Below Limit of Detection

Prepare by: BROOKS and ASSOCIATES, INC.

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
159	5/9/2014 9:46	1.00	WNDW CASING	WOOD	C	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.00	0.02
160	5/9/2014 9:46	1.01	DR. CASING	WOOD	C	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.00	0.04
161	5/9/2014 9:46	1.00	DR. JAMB	WOOD	C	INTACT	WHITE	RM 1	735 H	Negative	1.00	0.01	0.05
162	5/9/2014 9:47	1.00	DR. JAMB	WOOD	C	INTACT	WHITE	RM 2	735 H	Negative	1.73	0.14	0.28
163	5/9/2014 9:47	1.00	DR. CASING	WOOD	C	INTACT	WHITE	RM 2	735 H	Negative	1.00	0.01	0.05
164	5/9/2014 9:47	1.00	DOOR	WOOD	C	INTACT	WHITE	RM 2	735 H	Negative	1.00	0.00	0.02
165	5/9/2014 9:48	1.00	BASEBOARD	WOOD	C	INTACT	WHITE	RM 2	735 H	Negative	3.30	0.05	0.23
166	5/9/2014 9:49	1.61	WALL	DRYWALL	A	INTACT	WHITE	RM 2	735 H	Negative	1.00	0.00	0.02
167	5/9/2014 9:49	2.21	WALL	DRYWALL	B	INTACT	WHITE	RM 2	735 H	Negative	1.00	0.00	0.02
168	5/9/2014 9:50	3.01	WALL	DRYWALL	C	INTACT	WHITE	RM 2	735 H	Negative	1.00	0.00	0.02
169	5/9/2014 9:50	1.41	WALL	DRYWALL	D	INTACT	WHITE	RM 2	735 H	Negative	1.00	0.00	0.02
170	5/9/2014 9:51	1.61	WALL	DRYWALL	B	INTACT	WHITE	RM 3	735 H	Negative	1.38	0.01	0.03
171	5/9/2014 9:52	1.40	WALL	DRYWALL	C	INTACT	WHITE	RM 3	735 H	Negative	1.00	0.00	0.02
172	5/9/2014 9:52	1.41	WALL	DRYWALL	D	INTACT	WHITE	RM 3	735 H	Negative	1.00	0.00	0.02
173	5/9/2014 9:53	1.20	WALL	DRYWALL	D	Not Intact- Fair	WHITE	RM 4	735 H	Negative	2.26	0.04	0.12
174	5/9/2014 9:54	0.40	WALL	WOOD	D	Not Intact- Fair	WHITE	RM 4	735 H	Null	1.00	0.02	0.11
175	5/9/2014 9:54	1.00	WALL	WOOD	D	Not Intact- Fair	WHITE	RM 4	735 H	Negative	1.10	0.02	0.08
176	5/9/2014 9:54	1.00	DOOR	WOOD	D	INTACT	WHITE	RM 4	735 H	Negative	1.00	0.00	0.02
177	5/9/2014 9:54	1.00	DR. CASING	WOOD	D	Not Intact- Fair	WHITE	RM 4	735 H	Negative	1.00	0.01	0.07
178	5/9/2014 9:54	1.00	DR. JAMB	WOOD	D	Not Intact- Fair	WHITE	RM 4	735 H	Negative	3.73	0.08	0.34
179	5/9/2014 9:55	1.00	WALL	WOOD	A	Not Intact-Poor	WHITE	RM 4	735 H	Negative	3.49	0.09	0.35
180	5/9/2014 9:55	1.00	WALL	WOOD	C	Not Intact-Poor	WHITE	RM 4	735 H	Negative	2.79	0.06	0.24
181	5/9/2014 9:55	1.00	DOOR	WOOD	C	Not Intact-Poor	WHITE	RM 4	735 H	Negative	1.00	0.02	0.08
182	5/9/2014 9:56	1.01	DOOR	WOOD	C	Not Intact-Poor	WHITE	RM 4	735 H	Negative	1.00	0.01	0.06
183	5/9/2014 9:56	1.60	DOOR	WOOD	C	Not Intact-Poor	WHITE	RM 4	735 H	Negative	2.25	0.50	0.40
184	5/9/2014 9:56	1.00	DOOR	METAL	A	Not Intact-Poor	WHITE	RM 4	735 H	Negative	4.23	0.09	0.42
185	5/9/2014 9:57	3.21	WALL	BRICK	A	INTACT	WHITE	RM 4	735 H	Negative	3.49	0.08	0.09
186	5/9/2014 9:58	3.22	WALL	BRICK	C	INTACT	WHITE	RM 4	735 H	Negative	2.35	0.05	0.06
187	5/9/2014 9:58	3.80	WALL	BRICK	D	INTACT	WHITE	RM 4	735 H	Negative	1.66	0.04	0.04
188	5/9/2014 9:58	3.01	WALL	DRYWALL	D	INTACT	WHITE	RM 4	735 H	Negative	2.77	0.02	0.06
189	5/9/2014 9:59	1.80	WALL	DRYWALL	B	INTACT	WHITE	RM 4	735 H	Negative	1.00	0.00	0.02

* <LOD = Below Limit of Detection

Prepare by: BROOKS and ASSOCIATES, INC.

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
190	5/9/2014 9:59	1.00	WALL	WOOD	B	INTACT	WHITE	RM 4	735 H	Negative	1.38	0.01	0.08
191	5/9/2014 10:07	3.21	WALL	PLASTER	A	INTACT	WHITE	RM 5	735 H	Negative	2.21	< LOD	0.00
192	5/9/2014 10:08	1.00	WALL	PLASTER	A	INTACT	WHITE	RM 5	735 H	Negative	1.06	0.01	0.04
193	5/9/2014 10:08	7.25	WALL	PLASTER	B	INTACT	WHITE	RM 5	735 H	Negative	3.11	0.30	0.60
194	5/9/2014 10:09	1.00	WALL	PLASTER	C	INTACT	WHITE	RM 5	735 H	Negative	1.69	0.01	0.08
195	5/9/2014 10:09	5.80	WALL	PLASTER	D	INTACT	WHITE	RM 5	735 H	Negative	4.41	0.30	0.70
196	5/9/2014 10:10	2.60	CEILING	PLASTER		INTACT	WHITE	RM 5	735 H	Null	2.01	0.01	0.04
197	5/9/2014 10:10	1.40	CEILING	PLASTER		INTACT	WHITE	RM 5	735 H	Negative	1.00	0.00	0.02
198	5/9/2014 10:10	2.41	BASEBOARD	WOOD	A	INTACT	WHITE	RM 5	735 H	Negative	2.72	0.11	0.16
199	5/9/2014 10:11	1.00	DR. CASING	WOOD	D	INTACT	WHITE	RM 5	735 H	Negative	3.76	0.11	0.40
200	5/9/2014 10:11	1.19	DR. JAMB	WOOD	D	INTACT	PINK	RM 5	735 H	Negative	1.00	0.04	0.07
201	5/9/2014 10:11	1.00	WNDW CASING	WOOD	A	INTACT	PINK	RM 5	735 H	Negative	4.10	0.12	0.44
202	5/9/2014 10:12	1.20	WNDW SILL	WOOD	A	INTACT	PINK	RM 5	735 H	Negative	3.86	0.18	0.35
203	5/9/2014 10:12	1.01	WNDW APRON	WOOD	A	INTACT	PINK	RM 5	735 H	Negative	1.00	0.02	0.08
204	5/9/2014 10:15	4.02	WALL	WOOD	A	INTACT	BEIGE	RM 6	735 H	Negative	10.00	0.10	0.90
205	5/9/2014 10:16	1.00	WALL	WOOD	B	INTACT	BEIGE	RM 6	735 H	Negative	1.30	0.01	0.07
206	5/9/2014 10:16	7.04	WALL	PLASTER	C	INTACT	BEIGE	RM 6	735 H	Negative	2.41	0.30	0.65
207	5/9/2014 10:17	8.65	WALL	PLASTER	D	INTACT	BEIGE	RM 6	735 H	Negative	7.15	0.40	0.60
208	5/9/2014 10:18	8.04	CEILING	PLASTER		INTACT	BEIGE	RM 6	735 H	Negative	4.17	0.40	0.60
209	5/9/2014 10:21	1.01	CEILING	WOOD		INTACT	WHITE	RM 7	735 H	Negative	1.00	0.00	0.02
210	5/9/2014 10:21	3.42	WALL	BRICK	B	INTACT	WHITE	RM 7	735 H	Negative	3.44	0.02	0.04
211	5/9/2014 10:22	1.01	DOOR	WOOD	C	INTACT	GREEN	RM 7	735 H	Negative	1.00	0.00	0.02
212	5/9/2014 10:22	1.01	DR. CASING	WOOD	C	INTACT	GREEN	RM 7	735 H	Negative	1.00	0.00	0.02
213	5/9/2014 10:22	1.00	DR. JAMB	WOOD	C	INTACT	GREEN	RM 7	735 H	Negative	2.63	0.02	0.12
214	5/9/2014 10:26	1.81	WALL	DRYWALL	A	INTACT	GREEN	RM 8	735 H	Negative	1.19	0.00	0.02
215	5/9/2014 10:27	2.01	WALL	DRYWALL	D	Not Intact- Fair	GREEN	RM 8	735 H	Negative	1.00	0.00	0.02
216	5/9/2014 10:27	3.00	WALL	DRYWALL	C	Not Intact- Fair	PINK	RM 8	735 H	Negative	3.91	0.06	0.13
217	5/9/2014 10:28	1.01	DR. CASING	WOOD	C	Not Intact- Fair	PINK	RM 8	735 H	Negative	1.00	0.00	0.03
218	5/9/2014 10:28	1.00	DR. JAMB	WOOD	C	INTACT	PINK	RM 8	735 H	Negative	1.00	0.00	0.02
219	5/9/2014 10:28	1.00	DR. JAMB	WOOD	A	INTACT	GREEN	RM 8	735 H	Negative	1.00	0.00	0.02
220	5/9/2014 10:29	3.21	DOOR	WOOD	A	INTACT	GREEN	RM 8	735 H	Negative	1.57	0.80	0.20

* <LOD = Below Limit of Detection

Prepare by: BROOKS and ASSOCIATES, INC.

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
221	5/9/2014 10:29	1.01	DR. CASING	WOOD	A	INTACT	GREEN	RM 8	735 H	Negative	1.00	0.00	0.02
222	5/9/2014 10:30	1.60	CEILING	DRYWALL		INTACT	WHITE	RM 8	735 H	Negative	1.22	0.01	0.03
223	5/9/2014 10:33	6.03	WALL	PLASTER	A	INTACT	GREEN	RM 8	735 H	Positive	1.38	1.90	0.90
224	5/9/2014 10:34	1.21	WNDW CASING	WOOD	A	Not Intact- Fair	GREEN	RM 8	735 H	Positive	5.83	6.20	4.20
225	5/9/2014 10:35	1.21	WNDW SILL	WOOD	A	INTACT	GREEN	RM 8	735 H	Positive	2.67	5.50	3.90
226	5/9/2014 10:35	1.20	WNDW APRON	WOOD	A	Not Intact- Fair	GREEN	RM 8	735 H	Positive	7.49	5.00	3.90
227	5/9/2014 10:36	2.21	WALL	DRYWALL	C	INTACT	GREEN	RM 8	735 H	Negative	1.52	0.25	0.17
228	5/9/2014 10:37	4.60	WALL	WOOD	A	Not Intact-Poor	BEIGE	RM 8	735 H	Positive	4.66	1.40	0.40
229	5/9/2014 10:38	3.22	WNDW SILL	WOOD	A	Not Intact-Poor	BEIGE	RM 8	735 H	Positive	3.35	1.40	0.40
230	5/9/2014 10:38	1.19	WNDW CASING	WOOD	A	Not Intact-Poor	BEIGE	RM 8	735 H	Positive	5.03	4.10	2.60
231	5/9/2014 10:39	1.80	BLINDS	WOOD	A	Not Intact-Poor	BLUE	RM 8	735 H	Negative	1.41	0.17	0.15
232	5/9/2014 10:40	4.41	BLINDS	WOOD	B	Not Intact-Poor	BLUE	RM 8	735 H	Negative	1.63	0.50	0.50
233	5/9/2014 10:40	1.00	WNDW CASING	WOOD	B	Not Intact-Poor	GREEN	RM 8	735 H	Negative	1.02	0.22	0.26
234	5/9/2014 10:42	0.80	WNDW CASING	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	3.51	5.60	4.50
235	5/9/2014 10:43	0.60	WNDW APRON	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	2.65	6.00	4.70
236	5/9/2014 10:43	0.80	WNDW SILL	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	3.39	5.10	4.00
237	5/9/2014 10:43	1.20	WALL	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	4.98	6.40	4.30
238	5/9/2014 10:44	4.01	WALL	PLASTER	B	Not Intact- Fair	BEIGE	RM 8	735 H	Negative	3.06	0.07	0.92
239	5/9/2014 10:44	3.82	WALL	PLASTER	C	Not Intact-Poor	GREEN	RM 8	735 H	Negative	10.00	0.02	0.98
240	5/9/2014 10:45	1.21	DR. CASING	WOOD	C	INTACT	GREEN	RM 8	735 H	Positive	2.03	2.40	1.00
241	5/9/2014 10:47	1.61	WALL	DRYWALL	A	Not Intact- Fair	BLUE	RM 8	735 H	Negative	1.00	0.00	0.02
242	5/9/2014 10:49	2.81	FRAMING	WOOD		INTACT	GREEN	RM 8	735 H	Null	1.00	0.11	0.08
243	5/9/2014 10:49	0.80	FRAMING	WOOD		INTACT	GREEN	RM 8	735 H	Null	1.11	0.11	0.21
244	5/9/2014 10:49	1.80	FRAMING	WOOD		INTACT	GREEN	RM 8	735 H	Negative	1.24	0.13	0.12
245	5/9/2014 10:49	2.81	FRAMING	WOOD		INTACT	BLUE	RM 8	735 H	Negative	1.00	0.00	0.02
246	5/9/2014 10:51	1.21	MEZZANINE	WOOD		Not Intact- Fair	GREEN	RM 8	735 H	Null	7.44	2.90	2.50
247	5/9/2014 10:51	1.60	MEZZANINE	WOOD		Not Intact- Fair	GREEN	RM 8	735 H	Positive	6.64	3.60	2.60
248	5/9/2014 10:54	0.40	CEILING	WOOD		INTACT	GREEN	RM 8	735 H	Positive	1.61	5.90	4.40
249	5/9/2014 10:55	1.81	CEILING	DRYWALL		INTACT	WHITE	RM 10	735 H	Negative	1.28	0.05	0.08
250	5/9/2014 10:56	1.21	WALL	DRYWALL	A	INTACT	PINK	RM 10	735 H	Negative	1.00	0.00	0.03
251	5/9/2014 10:56	1.81	WALL	DRYWALL	B	INTACT	PINK	RM 10	735 H	Negative	1.00	0.00	0.02

* <LOD = Below Limit of Detection

Prepare by: BROOKS and ASSOCIATES, INC.

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
252	5/9/2014 10:56	3.20	WALL	DRYWALL	C	INTACT	PINK	RM 10	735 H	Negative	3.46	0.01	0.04
253	5/9/2014 10:57	2.79	WALL	DRYWALL	D	INTACT	PINK	RM 10	735 H	Negative	1.00	0.00	0.02
254	5/9/2014 10:57	1.00	CBNT FRONT	WOOD	B	INTACT	PINK	RM 10	735 H	Negative	1.00	0.01	0.04
255	5/9/2014 10:57	1.01	DR. CASING	WOOD	A	INTACT	PINK	RM 10	735 H	Negative	4.51	0.03	0.20
256	5/9/2014 10:58	1.00	DR. JAMB	WOOD	A	INTACT	PINK	RM 10	735 H	Negative	1.00	0.01	0.04
257	5/9/2014 10:58	1.00	DOOR	WOOD	A	INTACT	PINK	RM 10	735 H	Negative	1.00	0.00	0.02
258	5/9/2014 10:58	1.00	DR. JAMB	WOOD	C	INTACT	PINK	RM 10	735 H	Negative	1.00	0.01	0.05
259	5/9/2014 10:58	0.60	DR. CASING	WOOD	C	INTACT	PINK	RM 10	735 H	Null	1.00	0.00	0.03
260	5/9/2014 10:58	1.01	DR. CASING	WOOD	C	INTACT	PINK	RM 10	735 H	Negative	5.18	0.03	0.24
261	5/9/2014 10:59	1.00	STALL	WOOD	B	INTACT	PINK	RM 10	735 H	Negative	1.00	0.00	0.03
262	5/9/2014 11:00	1.20	WALL	WOOD	C	INTACT	BEIGE	RM 9	735 H	Positive	4.45	4.70	2.70
263	5/9/2014 11:01	2.01	WALL	DRYWALL	A	INTACT	BEIGE	RM 9	735 H	Negative	1.00	0.00	0.02
264	5/9/2014 11:02	1.81	WALL	PLASTER	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.32	4.50	3.30
265	5/9/2014 11:03	1.20	WALL	WOOD	C	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.00	6.10	4.30
266	5/9/2014 11:04	0.60	WALL	WOOD	B	Not Intact- Fair	BEIGE	RM 9	735 H	Null	3.05	2.60	2.50
267	5/9/2014 11:04	1.21	WALL	WOOD	B	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	4.07	3.20	1.90
268	5/9/2014 11:05	1.00	CEILING	WOOD		INTACT	BEIGE	RM 9	735 H	Negative	3.43	0.29	0.62
269	5/9/2014 11:05	1.00	CEILING	WOOD		INTACT	BEIGE	RM 9	735 H	Positive	7.53	11.00	8.60
270	5/9/2014 11:06	1.21	DOOR	WOOD	C	Not Intact-Poor	BEIGE	RM 9	735 H	Positive	4.14	6.40	4.10
271	5/9/2014 11:06	1.20	DR. JAMB	WOOD	C	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.34	5.10	3.20
272	5/9/2014 11:07	2.40	DR. CASING	WOOD	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.29	3.00	2.00
273	5/9/2014 11:07	1.21	DOOR	WOOD	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	2.84	2.40	1.20
274	5/9/2014 11:08	1.61	DR. JAMB	WOOD	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	3.89	3.80	2.70
275	5/9/2014 11:09	2.01	WALL	DRYWALL	A	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02
276	5/9/2014 11:09	2.40	WALL	DRYWALL	B	INTACT	GREEN	RM 11	735 H	Negative	5.36	0.05	0.17
277	5/9/2014 11:10	1.41	WALL	DRYWALL	C	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02
278	5/9/2014 11:10	2.81	WALL	DRYWALL	D	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02
279	5/9/2014 11:10	1.20	CEILING	DRYWALL		INTACT	BEIGE	RM 11	735 H	Negative	3.78	0.05	0.18
280	5/9/2014 11:11	1.01	CROWN MOLDING	WOOD	A	INTACT	GREEN	RM 11	735 H	Negative	1.56	0.01	0.07
281	5/9/2014 11:11	1.00	BASEBOARD	WOOD	A	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02
282	5/9/2014 11:11	1.00	DR. CASING	WOOD	A	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02

* <LOD = Below Limit of Detection

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
283	5/9/2014 11:12	1.00	DR. JAMB	WOOD	A	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.04
284	5/9/2014 11:12	1.01	DR. JAMB	WOOD	C	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02
285	5/9/2014 11:12	1.01	DR. CASING	WOOD	C	INTACT	GREEN	RM 11	735 H	Negative	1.00	0.00	0.02
286	5/9/2014 11:13	1.01	CBNT FRONT	WOOD	C	INTACT	GREEN	RM 11	735 H	Negative	1.20	0.12	0.21
287	5/9/2014 11:15	1.01	STR HAND RAIL	WOOD		INTACT	GREEN	RM 12	735 H	Negative	1.00	0.00	0.02
288	5/9/2014 11:15	1.00	STR HAND RAIL	WOOD		INTACT	BEIGE	RM 12	735 H	Negative	1.27	0.11	0.21
289	5/9/2014 11:15	1.00	DOOR	WOOD	D	INTACT	WHITE	RM 12	735 H	Negative	1.00	0.00	0.03
290	5/9/2014 11:16	1.00	DR. CASING	WOOD	D	INTACT	WHITE	RM 12	735 H	Negative	1.00	0.00	0.03
291	5/9/2014 11:16	1.00	DR. JAMB	WOOD	D	Not Intact- Fair	WHITE	RM 12	735 H	Negative	1.59	0.01	0.06
292	5/9/2014 11:17	1.80	WALL	WOOD	A	Not Intact- Fair	WHITE	RM 12	735 H	Negative	1.00	0.00	0.02
293	5/9/2014 11:18	2.41	WALL	WOOD	B	Not Intact- Fair	WHITE	RM 12	735 H	Positive	7.83	3.20	1.90
294	5/9/2014 11:19	1.20	WNDW CASING	WOOD	A	Not Intact- Fair	WHITE	RM 12	735 H	Positive	5.34	4.20	2.70
295	5/9/2014 11:20	2.20	WALL	DRYWALL	A	INTACT	WHITE	RM 12	735 H	Negative	4.45	0.04	0.14
296	5/9/2014 11:20	1.60	WALL	DRYWALL	B	INTACT	WHITE	RM 12	735 H	Positive	3.77	2.30	1.20
297	5/9/2014 11:21	7.81	WALL	PLASTER	C	INTACT	WHITE	RM 12	735 H	Negative	4.09	0.40	0.60
298	5/9/2014 11:22	2.41	WALL	PLASTER	D	INTACT	GREEN	RM 12	735 H	Negative	3.10	0.03	0.09
299	5/9/2014 11:23	2.80	CEILING	DRYWALL		Not Intact-Poor	WHITE	RM 12	735 H	Positive	9.27	3.10	2.10
300	5/9/2014 11:24	3.62	CEILING	WOOD		INTACT	WHITE	RM 12	735 H	Null	10.00	0.28	0.35
301	5/9/2014 11:24	1.80	CEILING	WOOD		INTACT	WHITE	RM 12	735 H	Positive	4.43	2.40	1.30
302	5/9/2014 11:24	1.00	BASEBOARD	WOOD	A	INTACT	WHITE	RM 12	735 H	Negative	1.00	0.00	0.02
303	5/9/2014 11:25	1.20	DR. CASING	METAL	A	INTACT	BEIGE	RM 13	735 H	Negative	1.26	0.03	0.08
304	5/9/2014 11:26	0.40	DR. JAMB	METAL	A	INTACT	GREEN	RM 13	735 H	Positive	1.54	8.60	6.40
305	5/9/2014 11:27	4.80	WALL	PLASTER	A	INTACT	BEIGE	RM 13	735 H	Negative	1.09	0.01	0.02
306	5/9/2014 11:27	3.41	WALL	PLASTER	B	INTACT	BEIGE	RM 13	735 H	Negative	1.94	0.13	0.08
307	5/9/2014 11:28	0.40	WALL	PLASTER	C	Not Intact-Poor	BEIGE	RM 13	735 H	Null	1.67	0.14	0.42
308	5/9/2014 11:28	1.00	WALL	PLASTER	C	Not Intact-Poor	BEIGE	RM 13	735 H	Negative	1.85	0.15	0.30
309	5/9/2014 11:29	1.20	CEILING	PLASTER		Not Intact-Poor	BEIGE	RM 13	735 H	Null	3.82	0.26	0.43
310	5/9/2014 11:29	1.40	CEILING	PLASTER		Not Intact-Poor	BEIGE	RM 13	735 H	Null	2.58	0.15	0.23
311	5/9/2014 11:30	11.45	CEILING	PLASTER		INTACT	BEIGE	RM 13	735 H	Negative	2.02	0.50	0.50
312	5/9/2014 11:30	1.19	CBNT FRONT	WOOD	A	INTACT	BEIGE	RM 13	735 H	Negative	1.00	0.01	0.04
313	5/9/2014 11:31	2.60	CBNT FRONT	WOOD	D	INTACT	BEIGE	RM 13	735 H	Negative	4.67	0.05	0.92

* <LOD = Below Limit of Detection

Prepare by: BROOKS and ASSOCIATES, INC.

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
314	5/9/2014 11:35	0.60	DOOR	METAL	A	INTACT	WHITE		741 H	Positive	1.90	3.50	2.40
315	5/9/2014 11:36	2.01	DOOR	METAL	C	INTACT	WHITE		741 H	Positive	1.58	4.20	3.20
316	5/9/2014 11:36	1.21	WALL	WOOD	C	Not Intact-Poor	WHITE		741 H	Positive	2.64	2.50	1.20
317	5/9/2014 11:36	0.40	WALL	WOOD	A	Not Intact-Poor	WHITE		741 H	Null	4.11	3.10	4.20
318	5/9/2014 11:37	1.20	WALL	WOOD	A	Not Intact-Poor	WHITE		741 H	Positive	3.41	2.40	1.40
319	5/9/2014 11:38	2.21	DOOR	WOOD	A	INTACT	WHITE		741 H	Positive	3.60	1.90	0.90
320	5/9/2014 11:38	1.41	DR. CASING	WOOD	A	INTACT	WHITE		741 H	Positive	4.05	2.50	1.40
321	5/9/2014 11:38	0.80	DR. JAMB	WOOD	A	INTACT	WHITE		741 H	Positive	3.41	7.30	5.80
322	5/9/2014 11:40	0.80	WALL	PLASTER	A	Not Intact- Fair	BEIGE		741 H	Positive	3.38	17.80	14.00
323	5/9/2014 11:40	0.80	WALL	PLASTER	C	Not Intact- Fair	BEIGE		741 H	Positive	4.05	14.20	12.80
324	5/9/2014 11:40	1.40	WALL	BRICK	A	Not Intact- Fair	WHITE		741 H	Null	1.00	0.02	0.05
325	5/9/2014 11:41	3.21	WALL	BRICK	A	Not Intact- Fair	WHITE		741 H	Negative	1.00	0.02	0.02
326	5/9/2014 11:41	3.21	WALL	BRICK	B	Not Intact- Fair	WHITE		741 H	Negative	1.07	0.02	0.02
327	5/9/2014 11:42	3.21	WALL	BRICK	C	Not Intact- Fair	WHITE		741 H	Negative	2.36	0.06	0.06
328	5/9/2014 11:42	3.21	WALL	BRICK	D	Not Intact- Fair	WHITE		741 H	Negative	1.00	0.02	0.02
329	5/9/2014 11:43	1.00	ELEVATOR	WOOD	A	Not Intact- Fair	WHITE		741 H	Negative	1.00	0.02	0.07
330	5/9/2014 11:45	1.00	DOOR	METAL	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	2.58	3.20	2.10
331	5/9/2014 11:46	1.00	GUARD	METAL	A	INTACT	WHITE	Exterior	735-741 H	Negative	1.00	0.00	0.02
332	5/9/2014 11:46	3.60	WALL	BRICK	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Negative	1.89	0.02	0.03
333	5/9/2014 11:47	1.20	WALL	BRICK	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	10.00	6.80	5.20
334	5/9/2014 11:48	1.40	WNDW CASING	WOOD	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Null	5.67	1.30	1.20
335	5/9/2014 11:48	1.20	WNDW CASING	WOOD	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	6.98	6.50	4.40
336	5/9/2014 11:48	0.40	DOOR	WOOD	A	INTACT	WHITE	Exterior	735-741 H	Null	1.00	0.00	0.02
337	5/9/2014 11:49	1.01	DOOR	WOOD	A	INTACT	WHITE	Exterior	735-741 H	Negative	1.00	0.00	0.02
338	5/9/2014 11:50	0.80	WALL	BRICK	B	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	5.21	17.50	14.50
339	5/9/2014 11:55	3.60	WALL	BRICK	D	Not Intact-Poor	WHITE	Exterior	735-741 H	Negative	2.48	0.01	0.03
340	5/9/2014 11:55	3.21	WALL	BRICK	D	Not Intact-Poor	WHITE	Exterior	735-741 H	Negative	1.00	0.00	0.02
341	5/9/2014 11:56	0.80	WALL	BRICK	D	Not Intact-Poor	WHITE	Exterior	735-741 H	Null	1.34	0.01	0.05
342	5/9/2014 11:56	0.20	WALL	BRICK	D	Not Intact-Poor	WHITE	Exterior	735-741 H	Null	1.00	0.00	0.02
343	5/9/2014 11:56	3.20	WALL	BRICK	D	Not Intact-Poor	WHITE	Exterior	735-741 H	Negative	2.13	0.01	0.02

* <LOD = Below Limit of Detection

LEAD PAINT INSPECTION

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
344	5/9/2014 12:01	20.00	Calibrate - Back							Positive	1.06	1.00	0.10
345	5/9/2014 12:03	20.00	Calibrate - Back							Positive	1.04	1.00	0.10
346	5/9/2014 12:04	20.00	Calibrate - Back							Positive	1.03	1.00	0.10

*** Indications as to positive (POS) or negative (NEG) are based on comparison to 1.0 mg/cm².**
Cal/OSHA regulates operations which disturb lead in any detectable amount.
Refer to the enclosed Cal/OSHA Regulation 8 CCR 1523.1 for requirements.

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Prepare by: BROOKS and ASSOCIATES, INC.

Appendix D

XRF Results for Lead

Positive Reading in Excess of 1.0 mg/cm² Indicating Presence of Lead-Based Paint

LEAD PAINT INSPECTION

POSITIVE RESULTS

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
131	5/9/2014 9:16	0.61	DOOR	METAL	A	Not Intact-Poor	WHITE		739 H	Positive	1.87	3.30	2.30
145	5/9/2014 9:24	0.80	DOOR	METAL	D	INTACT	WHITE		739 H	Positive	1.67	2.80	1.60
146	5/9/2014 9:26	3.21	WNDW CASING	WOOD	A	INTACT	WHITE		739 H	Positive	3.40	1.50	0.40
147	5/9/2014 9:27	3.19	DOOR	WOOD	A	INTACT	WHITE		739 H	Positive	3.40	1.70	0.50
148	5/9/2014 9:27	2.41	DR. CASING	WOOD	A	INTACT	WHITE		739 H	Positive	2.88	1.80	0.70
149	5/9/2014 9:28	2.21	DR. JAMB	WOOD	A	Not Intact- Fair	WHITE		739 H	Positive	4.22	2.10	1.00
153	5/9/2014 9:43	1.21	WNDW SILL	WOOD	A	INTACT	WHITE	RM 1	735 H	Positive	10.00	5.50	4.00
154	5/9/2014 9:43	1.20	DR. CASING	WOOD	A	INTACT	WHITE	RM 1	735 H	Positive	9.38	5.80	4.10
223	5/9/2014 10:33	6.03	WALL	PLASTER	A	INTACT	GREEN	RM 8	735 H	Positive	1.38	1.90	0.90
224	5/9/2014 10:34	1.21	WNDW CASING	WOOD	A	Not Intact- Fair	GREEN	RM 8	735 H	Positive	5.83	6.20	4.20
225	5/9/2014 10:35	1.21	WNDW SILL	WOOD	A	INTACT	GREEN	RM 8	735 H	Positive	2.67	5.50	3.90
226	5/9/2014 10:35	1.20	WNDW APRON	WOOD	A	Not Intact- Fair	GREEN	RM 8	735 H	Positive	7.49	5.00	3.90
228	5/9/2014 10:37	4.60	WALL	WOOD	A	Not Intact-Poor	BEIGE	RM 8	735 H	Positive	4.66	1.40	0.40
229	5/9/2014 10:38	3.22	WNDW SILL	WOOD	A	Not Intact-Poor	BEIGE	RM 8	735 H	Positive	3.35	1.40	0.40
230	5/9/2014 10:38	1.19	WNDW CASING	WOOD	A	Not Intact-Poor	BEIGE	RM 8	735 H	Positive	5.03	4.10	2.60
234	5/9/2014 10:42	0.80	WNDW CASING	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	3.51	5.60	4.50
235	5/9/2014 10:43	0.60	WNDW APRON	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	2.65	6.00	4.70
236	5/9/2014 10:43	0.80	WNDW SILL	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	3.39	5.10	4.00
237	5/9/2014 10:43	1.20	WALL	WOOD	B	INTACT	BEIGE	RM 8	735 H	Positive	4.98	6.40	4.30
240	5/9/2014 10:45	1.21	DR. CASING	WOOD	C	INTACT	GREEN	RM 8	735 H	Positive	2.03	2.40	1.00
247	5/9/2014 10:51	1.60	MEZZANINE	WOOD		Not Intact- Fair	GREEN	RM 8	735 H	Positive	6.64	3.60	2.60
248	5/9/2014 10:54	0.40	CEILING	WOOD		INTACT	GREEN	RM 8	735 H	Positive	1.61	5.90	4.40
262	5/9/2014 11:00	1.20	WALL	WOOD	C	INTACT	BEIGE	RM 9	735 H	Positive	4.45	4.70	2.70
264	5/9/2014 11:02	1.81	WALL	PLASTER	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.32	4.50	3.30
265	5/9/2014 11:03	1.20	WALL	WOOD	C	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.00	6.10	4.30
267	5/9/2014 11:04	1.21	WALL	WOOD	B	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	4.07	3.20	1.90
269	5/9/2014 11:05	1.00	CEILING	WOOD		INTACT	BEIGE	RM 9	735 H	Positive	7.53	11.00	8.60
270	5/9/2014 11:06	1.21	DOOR	WOOD	C	Not Intact-Poor	BEIGE	RM 9	735 H	Positive	4.14	6.40	4.10
271	5/9/2014 11:06	1.20	DR. JAMB	WOOD	C	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.34	5.10	3.20
272	5/9/2014 11:07	2.40	DR. CASING	WOOD	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	5.29	3.00	2.00

LEAD PAINT INSPECTION

POSITIVE RESULTS

Site: Commercial Building
735 - 741 "H" Street
Fresno, California

Prepared for: URS Corporation

Project No. 14-7146
Site #1

Date: May 9, 2014

No.	Date/Time	Sec	Structure & Feature	Substrate	Side	Condition	Color	Room	Unit	Results	DI	Pbc*	± Prec
273	5/9/2014 11:07	1.21	DOOR	WOOD	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	2.84	2.40	1.20
274	5/9/2014 11:08	1.61	DR. JAMB	WOOD	D	Not Intact- Fair	BEIGE	RM 9	735 H	Positive	3.89	3.80	2.70
293	5/9/2014 11:18	2.41	WALL	WOOD	B	Not Intact- Fair	WHITE	RM 12	735 H	Positive	7.83	3.20	1.90
294	5/9/2014 11:19	1.20	WNDW CASING	WOOD	A	Not Intact- Fair	WHITE	RM 12	735 H	Positive	5.34	4.20	2.70
296	5/9/2014 11:20	1.60	WALL	DRYWALL	B	INTACT	WHITE	RM 12	735 H	Positive	3.77	2.30	1.20
299	5/9/2014 11:23	2.80	CEILING	DRYWALL		Not Intact-Poor	WHITE	RM 12	735 H	Positive	9.27	3.10	2.10
301	5/9/2014 11:24	1.80	CEILING	WOOD		INTACT	WHITE	RM 12	735 H	Positive	4.43	2.40	1.30
304	5/9/2014 11:26	0.40	DR. JAMB	METAL	A	INTACT	GREEN	RM 13	735 H	Positive	1.54	8.60	6.40
314	5/9/2014 11:35	0.60	DOOR	METAL	A	INTACT	WHITE		741 H	Positive	1.90	3.50	2.40
315	5/9/2014 11:36	2.01	DOOR	METAL	C	INTACT	WHITE		741 H	Positive	1.58	4.20	3.20
316	5/9/2014 11:36	1.21	WALL	WOOD	C	Not Intact-Poor	WHITE		741 H	Positive	2.64	2.50	1.20
318	5/9/2014 11:37	1.20	WALL	WOOD	A	Not Intact-Poor	WHITE		741 H	Positive	3.41	2.40	1.40
319	5/9/2014 11:38	2.21	DOOR	WOOD	A	INTACT	WHITE		741 H	Positive	3.60	1.90	0.90
320	5/9/2014 11:38	1.41	DR. CASING	WOOD	A	INTACT	WHITE		741 H	Positive	4.05	2.50	1.40
321	5/9/2014 11:38	0.80	DR. JAMB	WOOD	A	INTACT	WHITE		741 H	Positive	3.41	7.30	5.80
322	5/9/2014 11:40	0.80	WALL	PLASTER	A	Not Intact- Fair	BEIGE		741 H	Positive	3.38	17.80	14.00
323	5/9/2014 11:40	0.80	WALL	PLASTER	C	Not Intact- Fair	BEIGE		741 H	Positive	4.05	14.20	12.80
330	5/9/2014 11:45	1.00	DOOR	METAL	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	2.58	3.20	2.10
333	5/9/2014 11:47	1.20	WALL	BRICK	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	10.00	6.80	5.20
335	5/9/2014 11:48	1.20	WNDW CASING	WOOD	A	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	6.98	6.50	4.40
338	5/9/2014 11:50	0.80	WALL	BRICK	B	Not Intact-Poor	WHITE	Exterior	735-741 H	Positive	5.21	17.50	14.50

*** Indications as to positive (POS) or negative (NEG) are based on comparison to 1.0 mg/cm².**
Cal/OSHA regulates operations which disturb lead in any detectable amount.
Refer to the enclosed Cal/OSHA Regulation 8 CCR 1523.1 for requirements.

Prepared by: BROOKS and ASSOCIATES, INC.

Appendix E

Calibration Check Test Results

T. BROOKS & ASSOCIATES, INC.
613 Harvard Avenue, Suite 201
Clovis, California 93612
(559) 298-9135 - offfice
(559) 298-2281 - fax

PROJECT NO. 14-7146

DATE 5/9/2014

CALIBRATION CHECK TEST RESULTS

TBA FORM #7

Address / Unit No.	**Commercial Building**
	735 - 741 "H" Street
	Fresno, California
Name of Inspector	**Chad Calhoun**
Device	**Niton XL 309**
XRF Serial No.	**U1847NR3578**

Calibration Check Tolerance Used 1.04

First Calibration Check

Red SRM 2573 Calibration Limit: 1.04 mg/cm²			First Average	Difference between First Average and 1.04 mb/cm² *
First Reading	Second Reading	Third Reading		
1.00	1.10	1.10	1.07	0.03

Second Calibration Check

Red SRM 2573 Calibration Limit: 1.04 mg/cm²			Second Average	Difference between Second Average and 1.04 mb/cm² *
First Reading	Second Reading	Third Reading		
1.00	1.00	1.00	1.00	0.04

Third Calibration Check

Red SRM 2573 Calibration Limit: 1.04 mg/cm²			Third Average	Difference between Third Average and 1.04 mb/cm² *
First Reading	Second Reading	Third Reading		

Fourth Calibration Check

Red SRM 2573 Calibration Limit: 1.04 mg/cm²			Fourth Average	Difference between Fourth Average and 1.04 mb/cm² *
First Reading	Second Reading	Third Reading		

* If the difference of the Calibration Check Average from the gray NIST SRM 1.04 mg/cm² film value is greater than the specified Calibration Check Tolerance for this device, consult the manufacturer's recommendations to bring the instrument back into control. Retest all testing combinations tested since the last successful Calibration Check test.

Appendix F

San Joaquin Valley
Unified Air Pollution Control District
Information & Forms

San Joaquin Valley Unified Air Pollution Control District

COMPLIANCE ASSISTANCE BULLETIN

July 2006

ASBESTOS REQUIREMENTS for DEMOLITION and RENOVATIONS

The San Joaquin Valley Air Pollution Control District (District) Rule 4002 requires compliance with the *National Emission Standards for Hazardous Air Pollutants* (NESHAP) regulation, 40 CFR, Part 61, Subpart M developed by the Unified States Environmental Protection Agency (EPA). The purpose of this bulletin is to provide an overview of the NESHAP notification, inspection and emission control requirements as they relate to asbestos.

SUMMARY

For any renovation or demolition of a regulated facility, you must do the following:

- **INSPECT:** Conduct a thorough asbestos inspection of the facility before:

  Any renovation in which more than 160 square feet or more of building materials, or 260 linear feet or more of pipe insulation, will be disturbed at a regulated facility, or

  Any demolition at a regulated facility. (See page 2 for the definition of demolition)

  Regulated facilities (Facilities subject to the NESHAP) include all commercial building, residential buildings with more than four dwelling units, other structures and non-portable equipment. A single family dwelling or residential buildings with four or fewer units may be exempt, depending on its past use and future use of the property. The EPA has extensive policy on the NESHAP applicability to these structures. Contact the District to determine if your project is regulated.

- **ASBESTOS ABATEMENT:** If asbestos-containing material (ACM) is discovered, which will be disturbed during a renovation or demolition, they must be removed prior to those projects under most circumstances. Also, Cal-OSHA and Cal-EPA hazardous waste regulations apply in most cases.

- **NOTIFY:** Submit a complete asbestos notification form to the District for any regulated asbestos abatement project or demolition, 10 working days before the activity begins.

  A ***regulated asbestos abatement project*** is one in which at least 160 Square feet of regulated asbestos-containing building materials (RACM) or 260 linear feet of asbestos-containing pipe insulation is disturbed.

  Regulated demolitions are demolitions of "facilities" described above. Notification is required for any regulated demolition, whether or not asbestos is present.

- **FEES:** Pursuant to District Rule 3050, fees must be submitted to the District with all regulated renovations and demolitions notifications. Notifications received without the appropriate fee will be considered incomplete.

DEMOLITION PERMIT RELEASE FORM: Any demolition (regulated or not), for which a building department demolition permit is applicable, requires a completed Demolition Permit Release form. Building officials will require an approved copy of this form, signed by the District, prior to the issuance of a building department demolition permit.

SOME DEFINITIONS: 61.141

1. **FACILITIES** - Facilities subject to the rule include "all structures, installations, buildings and equipment, except for a single family dwelling (SFD) or a residential building with more than four dwelling units. However SFD or building with four or fewer units is also subject to the regulation if:

   a. It has been used for, or is being removed to be replaced by a non-residential use, or

   b. It is to be used as a training burn exercise.

   c. Sites with more than one such building remodeled or demolished are always regulated.

2. **DEMOLITION** - In addition to the total destruction of a structure, demolitions include "the removal of any structural load-bearing member from a facility together with any related handling operations or the intentional burning of a building" (training burns conducted by a fire fighting agency only). Also, the separation of a structure from its foundation prior to relocation is a demolition.

3. **RENOVATION** - means "altering a facility or one or more facility components in any way, including the stripping or removal RACM from a facility component." Renovations include all activities in which asbestos could be disturbed at a regulated facility, including the clean up and removal of debris from buildings which have burned.

4. **NON-FRIABLE ACM**

   a. **Category I non-friable** is "asbestos-containing packing, gaskets, resilient floor covering and asphalt roofing products containing more then 1 percent asbestos as determined by PLM testing that, when dry, *cannot* be crumbled, pulverized, or reduced to powder by hand pressure."

   b. **Category II non-friable ACM** is "any ACM, excluding Category 1 ACM, containing more then 1 percent asbestos as determined by PLM testing, that when dry, *cannot* be crumbled, pulverized, or reduced to powder by hand pressure."

5. **RACM - include:**

   a. **Friable ACM**, which is any material containing more than 1 percent asbestos, as determined by Polarized Light Microscopy (PLM) testing, which, when dry, can be crumbled, pulverized, or reduced to powder by hand pressure.

   b. **Category I nonfriable ACM** that is in poor condition and "has become friable" or "that has or will be subjected to sanding, grinding, cutting, or abrading."

   c. **Category II nonfriable ACM** that has a high probability of becoming or has become crumbled, pulverized, or reduced to powder by the forces expected to act on the material in the course of demolition or renovation.

INSPECTION: 61.145 (a)

An asbestos inspection must be performed by the owner or operator prior to:

a. Any regulated demolition.

b. Any renovation activity in which more than 160 square feet of building material or 260 linear feet of pipe insulation will be disturbed. An inspection is not necessary, however, if the material to be disturbed is stipulated to be asbestos containing and will be removed in accordance with the NESHAP.

Cal-OSHA regulations in the California Labor Code, 9021.5 through 9021.8, require that asbestos-consulting services (inspections) shall be performed by a person who is certified by Cal-OSHA, and who has taken and passed an EPA-approved Building Inspector course and performs the inspection according to the procedures outlined in the course.

The District requires that inspection reports (surveys) must include:

a. A schematic showing the location of all tested materials.

b. The following data for all asbestos-containing materials:

1. The amount and description of each material.

2. Percent asbestos content (10% and below must be point counted).

3. Whether or not the material is friable.

A report of the asbestos inspection (survey) must be received with each demolition notification.

NOTIFICATION 61.145 (b)

A hard copy of the asbestos notification must be submitted to the District, at least 10 working days prior to:

a. Any regulated demolition (see definitions of *demolition* and *facility* above).

b. Any renovation in which more than 160 Square feet or 260 Linear feet of RACM will be disturbed.

The District notification form and instructions for filling it out are with the bulletin.

Notifications will not be complete, nor will the 10 working day notice period begin, until all of the required information and fees have been submitted to the District.

Notifications may be submitted by hand delivery, U.S mail or commercial courier. Facsimile ~~is~~ and e-mails are not acceptable methods of delivery.

ASBESTOS ABATEMENT: 61.145 (c)

Asbestos-containing materials discovered during the inspection process, which will be disturbed during renovation or demolition, must be removed properly prior to the demolition or renovation. Employees engaged in asbestos abatement work must be properly trained and equipped for the work in accordance with Cal-OSHA regulations. The Cal-OSHA and NESHAP regulations have specific work practice requirements to be followed during the removal of these materials. Also, the NESHAP regulation and Cal-EPA have waste handling, transportation and disposal requirements applicable that must be adhered to.

SJVUAPCD Rule 3050 (Fees)

A nonrefundable fee must be paid with each demolition and renovation notification, in accordance with SJVUAPCD Rule 3050, Asbestos Removal Fees, which is attached. Fees for asbestos abatement projects are based on the amount of RACM removed. If a project involves at least 160 square feet, 260 linear feet and/or 35 cubic feet or more of RACM, fees for each quantity of material are determined and added together to arrive at the total fee for the project.

The fee for a demolition notification is $124.

DEMOLITION PERMIT RELEASE FORM

CH &S Section 19827.5 requires city or county building officials to have proof of compliance with, or exemption from, the asbestos NESHAP notification requirements before they issues demolition permits. In order to facilitate this, the District has developed a Demolition Permit Release form (attached). For facilities subject to the NESHAP, the District will issue a Demolition Permit Release form once it has been properly noticed of the work that is to occur. *The Signed release form does not guarantee that asbestos abatement or demolition work is being done properly.* For all demolitions, including facilities exempt from the NESHAP, the applicant must fill out the Demolition Permit Release form and have it signed by the District before obtaining a building department demolition permit. The District allows facsimile transmittal of release forms.

RECYCLING/WASTE DISPOSAL

In addition to waste disposal information about RACM, the asbestos notification must identify any building materials, which will be recycled after removal from a project. The name of the recycling contractor and location of such activity must be identified.

No asbestos containing or asbestos contaminated material may be recycled.

If you have any questions, we encourage you to contact one of our three regional offices.

Northern region	**Central Region**	**Southern Region**
Merced, San Joaquin and Stanislaus Counties	Fresno, Kings and Madera Counties	Kern and Tulare Counties
4800 Enterprise Way, Modesto, CA 95356	1990 Gettysburg Avenue, Fresno, CA 93726	34946 Flyover Court Bakersfield, CA 93308
(209) 557-6400 Fax (209) 557-6475	(559) 230-6000 Fax (559) 230-6062	(661) 392-5500 Fax (661) 392-5586

RULE 3050 ASBESTOS REMOVAL FEES (Adopted May 21, 1992; Amended December 17, 1992; Amended February 18, 1993; Amended August 21, 1997; Amended January 17, 2008, effective July 1, 2009)

Note: This rule is effective on and after July 1, 2009.

1.0 Applicability

The National Emission Standards for Hazardous Air Pollutants (NESHAP), adopted by reference as District Rule 4002, and therefore these fees are applicable to:

1.1 all demolitions whether or not asbestos is present; and

1.2 renovations in which 260 linear feet, 160 square feet, or 35 cubic feet or more of regulated asbestos containing materials are disturbed.

2.0 Fees

Every person filing notification of an asbestos removal project, subject to the provisions of Rule 4002 (National Emissions Standards for Hazardous Air Pollutants), shall pay upon filing, the nonrefundable fee prescribed herein. The total fee for any project shall be the sum of the applicable fee components below.

Demolition or Renovation:

Linear Feet	Square Feet	Cubic Feet	Fee Component ($)
0 - 259*	0 - 159*	0 - 34*	124
260 - 499	160 - 499	35 - 109	124
500 - 999	500 - 999	110 - 218	211
1,000 - 2,499	1,000 - 2,499	219 - 547	421
2,500 - 4,999	2,500 - 4,999	548 - 1,094	700
5,000 - 9,999	5,000 - 9,999	1,095 - 2,188	1,050
10,000 or more	10,000 or more	2,189 or more	1,400

* Demolition only. Does not apply to renovations.

San Joaquin Valley Unified Air Pollution Control District

ASBESTOS DEMOLITION/RENOVATION NOTIFICATION FORM
GENERAL INFORMATION

The Asbestos NESHAP, 40 CFR Part 61, Subpart M, requires written notification of demolition or renovation operations under Section 61.145. The form below form may be used to fulfill this requirement. Only complete notification forms are acceptable. Incomplete notification may result in enforcement action.

The notification must be postmarked or delivered no later than ten working days prior to the beginning of the asbestos removal activity (dates specified in section 7) or demolition (dates specified in Section 8). Please submit this form and corresponding fees to the appropriate office:

For Fresno, Madera and Kings Counties:
SJVUAPCD
Attention: Asbestos Program
1990 E. Gettysburg Avenue
Fresno, California 93726

For San Joaquin, Stanislaus and Merced Counties:
SJVUAPCD
Attention: Asbestos Program
4800 Enterprise Way
Modesto, CA 95356

For Tulare and Kern Counties:
SJVUAPCD
Attention: Asbestos Program
34946 Flyover Court
Bakersfield, CA 93308

INSTRUCTIONS

1. Type of Notification: Check Original if the notification is a first time or original notification; Revised (Dates) if the notification is a revision dates only; Revised (Others) if the notification is a revision of other data (highlight changes); Canceled if the project has been canceled; or "Courtesy" if the activity is not regulated. When submitting a revised notification add a number (starting with the number 1) after "revised" to differentiated between revisions.

2. Type of Operation: Check for facility demolition, ordered demolition, facility renovation, or Emergency renovations.

3. Facility Description: Provide detailed information on the areas being renovated or demolished. If applicable, provide the floor numbers and room numbers where renovations are to be conducted.

   Site Location: Provide information needed to locate the site in the event that the address alone is inadequate.

   Present Use/Prior Use/Future Use: Describe the primary use of the facility or enter the following: Hospital; School; Public Building; Office; Industrial; University or College; Ship; Commercial; Residence; or Subdivision.

4. Is Asbestos Present? Answer "Yes" or "No" regardless of the amount or type of asbestos.

5. Include a complete asbestos report (survey) that accurately depicts amounts, percent, analytical method used

6. Approximate Amount of Asbestos including: (1) Regulated ACM to be removed (including non-friable ACM to be sanded, ground or abraded); (2) Category I\II ACM not removed; and for "courtesy notices" (3) Non-friable ACM to be removed. Enter amounts in square feet or linear feet. Describe volume in cubic feet only if the amount cannot be approximated in square feet or linear feet.

7. Removal Dates (MM/DD/YY): Enter scheduled dates for asbestos removal work. Asbestos removal work includes any activity, including site preparation, which will break up, dislodge or disturb asbestos material.

8. Demo/Renovation Dates (MM/DD/YY): Enter scheduled dates for beginning and ending the planned demolition or renovation.

9. FACILITY OWNER INFORMATION: Enter the name of the site supervisor and contact person for the notification. If additional parties share responsibility for the site, demolition activity, renovations or ACM removal, include complete information (including name, address. contact person and telephone number) below.

10. Removal Contractor: Contractor hired to remove asbestos.

11. Other Contractor: Demolition contractor, general contractor, or any other person, who leases, operates, controls or supervises the site.

12. Description of Planned Demolition or Renovation Work and Method(s) to be Used: Include in this area a description of the demolition and renovation techniques to be used and the types of facility components and materials which will be affected by this work.

13. Description of Engineering Controls and Work Practices to be Used to Prevent Emissions at the Site: Describe the work practices and engineering controls selected to ensure compliance with the requirements of the regulations, including both asbestos removal and waste-handling emission control procedures.

14. ACWM Transporter(s): Enter the names, addresses, contact persons and telephone numbers of the persons or companies responsible for transporting ACM from the removal site to the waste disposal site. If the removal contractor or owner is the waste transporter, state "same as owner" or "same as removal contractor." If additional parties are responsible include complete information on an additional sheet submitted with the form.

15. ACWM Disposal Site: Identify the waste disposal site, including the complete name, location and telephone number of the facility. If ACM is to be disposed of at more than one site, provide complete information on an additional sheet submitted with the form.

16. Recycling of Waste Material (No ACM may be recycled): Identify the site, including the complete name, location and telephone number of the facility, where any material is to be taken for recycling.

17. If Demolition Ordered by a Government Agency, Please Identity the Agency: Provide the name of the responsible official, title and agency, authority under which the order was issued, the dates of the order and the dates of the ordered demolition. A copy of the order shall be attached to the notification.

18. For Emergency Renovation: Provide the date and time of the emergency, a description of the event and a description of unsafe conditions, equipment damage or financial burden resulting from the event. The information should be detailed enough to evaluate whether a renovation falls within the emergency exception.

19. Description of Procedures to be Followed in the Event that Unexpected Asbestos is Found or Previously Nonfriable Asbestos Material Becomes Crumbled, Pulverized, or Reduced to Powder: provide adequate information to demonstrate that appropriate actions have been considered and can be implemented to control asbestos emissions adequately, including at a minimum, conformance with applicable work practice standards.

20. Certification of Presence of Trained Supervisor: The notifier must certify that a person trained in asbestos-removal procedures will supervise the demolition or renovation. The supervisor is responsible for the activity on-site. Evidence that the supervisor has completed the training must be available for inspection during normal business hours.

21. Verification: Please certify the accuracy and completeness of the information provided by signing and dating the notification form.

San Joaquin Valley Unified Air Pollution Control District

Asbestos Notification

Operator Project #	Postmark Date	Received Date	Fee Received $	District Notification #

Completed by: Company: Phone:

1. TYPE OF NOTIFICATION: Original ☐ Revised (Dates) ☐ Revised (Others) ☐ (Highlight Changes) Canceled ☐ Courtesy ☐

2. TYPE OF OPERATION: Demo ☐ Ordered Demo ☐ Renovation ☐ Emergency Renovation ☐

3. FACILITY DESCRIPTION: (Include building name, number, and floor or room number)

Building Name:	Lease Name:	
Address:	City:	County:
Site Location on property:		

Is demolition in preparation for construction? ☐ Yes ☐ No	Building Size: Sq Ft	Number of Floors:	Age:
Present Use:	Prior Use:	Future Use:	

4. IS ASBESTOS PRESENT: ☐ Yes ☐ No **SURVEY COMPLETED:** ☐ Yes ☐ No ☐ TO BE CONDUCTED

5. A COPY OF THE INSPECTION REPORT WITH PROCEDURE, INCLUDING ANALYTICAL METHOD USED TO DETECT THE PRESENCE OF ASBESTOS MATERIAL MUST BE INCLUDED WITH THIS NOTIFICATION.

6. Approximate amount of asbestos, including: 1. Regulated ACM to be removed. 2. Category I/II ACM not removed. 3. Non-friable ACM to be removed.	(1) RACM to be removed	Friable ACM (<1%)	(2) Non-friable ACM not to be removed		(3) Non-friable ACM to be removed (Courtesy)	
			Category I	Category II	Category I	Category II
Pipes (Linear Feet)						
Surface Area (Square Feet)						
Volume (Cubic Feet-If Lnft Or Sqft Could Not Be Measured)						

ASBESTOS REMOVED FROM	Surfaces: ☐ Yes ☐ No	Pipes: ☐ Yes ☐ No	Components: ☐ Yes ☐ No

AMOUNT OF EACH TYPE OF ASBESTOS (in square feet)	Acoustic ceiling	Sheet Vinyl	Insulation	Fire Proofing	Ducting	Stucco	Mastic
Floor Tile (VAT) / Dry Wall	Plaster	Transite	Roofing	Others (Describe)			

7. REMOVAL DATES: (MM/DD/YY)	Start:	Complete:
8. DEMO/RENOVATION DATES (MM/DD/YY)	Start:	Complete:

9. FACILITY OWNER INFORMATION:

Address:	City:	State:	Zip:
Contact:	Telephone:	Site Supervisor:	

10. REMOVAL CONTRACTOR: **CAL-OSHA REGISTRATION #:**

Address:	City:	State:	Zip:
Contact:	Telephone:	Site Supervisor:	

11. OTHER CONTRACTOR: **CSLB LICENSE #:**

Address:	City:	State:	Zip:
Contact:	Telephone:	Site Supervisor:	

12. DESCRIPTION OF PLANNED DEMOLITION OR RENOVATION WORK, AND METHOD(S) TO BE USED:

13. DESCRIPTION OF WORK PRACTICES AND ENGINEERING CONTROLS TO BE USED TO PREVENT ASBESTOS EMISSIONS AT THE SITE:

14. ACWM WASTE TRANSPORTER:

Address: City: State: Zip:

Contact: Telephone:

15. ACWM WASTE DISPOSAL SITE:

Address: City: State: Zip:

Contact: Telephone:

16. RECYCLING OF WASTE MATERIAL (*NO ACM MAY BE RECYCLED*):

Name:

Location: City: State: Zip:

Contact: Telephone:

17. DEMOLITION ORDERED BY A GOVERNMENT AGENCY; identify the agency, attach copy of the order)

Name: Title:

Authority:

Date of order (MM/DD/YY): Date order to begin: (MM/DD/YY):

18. FOR EMERGENCY RENOVATIONS:

GIVE THE NAME AND PHONE NUMBER OF THE PERSON DECLARING/AUTHORIZING THE EMERGENCY, DATE AND HOUR OF EMERGENCY AND DESCRIPTION OF THE SUDDEN, UNEXPECTED EVENT:

EXPLANATION OF HOW THE EVENT CAUSED UNSAFE CONDITIONS OR WOULD CAUSE EQUIPMENT DAMAGE OR AN UNREASONABLE FINANCIAL BURDEN:

19. DESCRIPTION OF PROCEDURES TO BE FOLLOWED IN THE EVENT THAT UNEXPECTED ASBESTOS IS FOUND OR PREVIOUSLY ON-FRIABLE ASBESTOS MATERIAL BECOMES CRUMBLED, PULVERIZED, OR REDUCED TO POWDER:

20. IF RACM IS PRESENT AN INDIVIDUAL TRAINED IN THE PROVISIONS OF THIS REGULATION (40 CFR., PART 61, SUBPART M) WILL BE ON SITE DURING THE DEMOLITION OR RENOVATION AND EVIDENCE THAT THE REQUIRED TRAINING HAS BEEN ACCOMPLISHED BY THIS PERSON WILL BE AVAILABLE FOR INSPECTION.

21. I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT TO THE BEST OF MY KNOWLEDGE.

PRINT NAME OF OWNER/OPERATOR SIGNATURE OF OWNER/OPERATOR DATE

Category I non-friable asbestos-containing material (ACM) means asbestos-containing packings, gaskets, resilient floor covering, and asphalt roofing products containing more than 1 percent asbestos.

Category II non-friable ACM means any material, excluding Category I non-friable ACM, containing more than 1 percent asbestos.

Regulated asbestos-containing material (RACM) means (a) Friable asbestos material, (b) Category I nonfriable ACM that has become friable, (c) Category I nonfriable ACM that will be or has been subjected to sanding, grinding, cutting, or abrading, or (d) Category II nonfriable ACM that has a high probability of becoming or has become crumbled, pulverized, or reduced to powder by the forces expected to act on the material in the course of demolition or renovation operations regulated by this subpart.

SAN JOAQUIN VALLEY UNIFIED AIR POLLUTION CONTROL DISTRICT

☐ **Northern Region Office**
4800 Enterprise Way
Modesto, CA 95356-8718
(209) 557-6400 ♦ FAX (209) 557-6475
(San Joaquin, Stanislaus and Merced Counties)

☐ **Central Region Office**
1990 East Gettysburg Avenue
Fresno, CA 93726-0244
(559) 230-6000 ♦ FAX (559) 230-6062
(Fresno, Madera and Kings Counties)

☐ **Southern Region Office**
34946 Flyover Court
Bakersfield, CA 93308-9725
(661) 392-5500 ♦ FAX (661) 392-5585
(Tulare and Kern Counties)

DEMOLITION PERMIT RELEASE

The purpose of this form is to verify compliance with or exemption from the National Emission Standards for Hazardous Air Pollutants (NESHAP) asbestos **notification** requirements. It is the Applicant's responsibility to obtain the required signature from the District and return this form to the appropriate city or county building department **prior to obtaining a demolition permit.**

Project Description

Job Site Address: _____ City: _____ Zip Code: _____

Owner's name: _____ Telephone: _____ Fax: _____

Owner's Address: _____ City: _____ Zip Code: _____

Contractor's Name: _____ Telephone: _____ Fax: _____

Contractor's Address: _____ City: _____ Zip Code: _____

1. Structure(s) being demolished:	Yes	No
One structure (non-commercial), with four or fewer units.	☐	☐
Other (describe):		
Is demolition by intentional burning?	☐	☐

2. Proposed project:	Yes	No
Single Family Dwelling	☐	☐
Subdivision, Retail or Commercial Project	☐	☐
Public Project (School, Highway, etc..)	☐	☐
Other (describe):		

Comments: _____

_____ Signature of applicant

_____ Title

_____ Date

FOR SJVUAPCD USE ONLY

☐ This certifies that the demolition applicant has satisfied the APCD's notification requirements. The APCD allows the demolition to proceed on or after _____, 20____.

☐ This certifies that the Demolition application is exempt from the APCD's requirements.

District approval on this form only indicates compliance with or exemption from the NESHAP notification requirements. Enforcement action will be taken if asbestos NESHAP violations are found at the project.

Further, there are other agencies that regulate the handling and disposal of ACM, such as OSHA, Cal-OSHA, and DTSC regardless of NESHAP applicability to your property.

Comments: _____

Printed Name: _____ Title: _____

Approval Signature: _____ Date: _____

SAN JOAQUIN VALLEY UNIFIED AIR POLLUTION CONTROL DISTRICT

☐ **Northern Region Office**
4800 Enterprise Way
Modesto, CA 95356-8718
(209) 557-6400 ♦ FAX (209) 557-6475
(San Joaquin, Stanislaus and Merced Counties)

☐ **Central Region Office**
1990 East Gettysburg Avenue
Fresno, CA 93726-0244
(559) 230-6000 ♦ FAX (559) 230-6062
(Fresno, Madera and Kings Counties)

☐ **Southern Region Office**
34946 Flyover Court
Bakersfield, CA 93308-9725
(661) 392-5500♦ FAX (661) 392-5586
(Tulare and Kern Counties)

RENOVATION PERMIT RELEASE

District Rule 4002 adopts the National Emission Standards for Hazardous Air Pollutants (NESHAP) asbestos regulation. This rule requires that subject facilities be inspected for asbestos prior to remodeling. Regulated asbestos-containing materials (RACM) must be removed prior to remodeling work. Furthermore, a signed **Demolition** Permit Release form is required prior to obtaining a building department demolition permit.

Project Description

Job Site Address: _____ City: _____ Zip Code: _____

Owner's name: _____ Telephone: _____ Fax: _____

Owner's Address: _____ City: _____ Zip Code: _____

Contractor Name: _____ Lic.#: _____ Telephone: _____ Fax: _____

Contractor Address: _____ City: _____ Zip Code: _____

Contractor Contact: _____ Telephone: _____ Fax: _____

Facility being remodeled:	Yes	No
Single Family Dwelling or Apartment with four or fewer units.	☐	☐
Other (Describe):		

Asbestos Compliance:	Yes	No
1. Will any load-supporting structural member be removed?	☐	☐
2. Will 160 square feet of building materials or 260 linear feet of pipe insulation be disturbed?	☐	☐
3. Has an asbestos survey has been completed?	☐	☐
4. Is regulated asbestos-containing material (RACM) present?	☐	☐
5. Will >160 square feet or >260 linear feet of RACM be removed? *If yes, APCD notification must be submitted.*	☐	☐

Comments: _____

Be advised that Regulation VIII, Fugitive PM10 Prohibitions, requires that the exterior of buildings be wetted during demolition and debris wetted during loading activities. Rule 8020, § 5.1.1.1 & § 5.1.1.3.

_____ _____ _____
Signature of applicant Title Date

FOR SJVUAPCD USE ONLY

☐ Information provided indicates that District asbestos abatement requirements have been met.

☐ This certifies that the renovation project is exempt from the District's asbestos requirements.

District approval on this form only indicates compliance with or exemption from the NESHAP asbestos requirements, ***based on information submitted.*** *It does not indicate that the District has verified this compliance by field inspection. Enforcement action will be taken if asbestos NESHAP violations are found at the project.*

Printed Name: _____ Title: _____

Approval Signature: _____ Date: _____

This form is no longer valid 30 days after approval or if information provided changes.

Appendix G

Regulatory Resource List
For Asbestos & Lead Regulations

REGULATORY RESOURCE LIST – ASBESTOS

California Occupational Safety & Health Administration (Cal/OSHA):

8 CCR 1529 Asbestos in Construction Standard

Websites: http://www.dir.ca.gov/title8/1529.html\ (Regulation)

http://www.dir.ca.gov/dosh/ACRU/ACRUhome.html (Report of Use)

Summary of Regulation:

1. Regulates Friable and Non-Friable ACBMs which contain asbestos in excess of 0.1% by weight.
2. Applicable to workers engaged in disturbance of ACBM (>1.0%) and ACCM (0.1 - 1.0%) and workers in close proximity to the work area.
3. Contractors who disturb in excess of 100 sq. ft. must be a "Certified Abatement Contractor" with the State of California Contractors State License Board and have an ASB attachment on their license with the exception of flooring, roofing, and asbestos-cement products.
4. Contractors that disturb less than 100 sq. ft. must also file a "Report of Use" with the State of California.
5. Contractors who disturb any amount of ACBM must ensure worker protection by providing accredited training, medical surveillance, PPE and a negative exposure assessment.
6. All work must be conducted in accordance with the regulation.

NESHAP Regulation – United States Environmental Protection Agency:

40 CFR Part 6, Subpart M- National Emission Standard for Asbestos

Website: http:www.epa.gov/asbestos/pubs/asbreg.html

Summary of Regulation:

1. Regulates renovation projects on all commercial structures, certain residential properties, and multi-family properties with four (4) or more units.
2. Has jurisdiction over projects involving disturbance of greater than 160 sq. ft. or 260 lin. ft. of ACBM (>1.0%) or "Presumed Asbestos-Containing Material.
3. Regulates all demolition, regardless of whether asbestos is present on targeted structures.
4. Enforced by local air quality management district or EPA region office in non-delegated districts.

San Joaquin Valley Air Pollution Control District

Website: http://www.valleyair.org/busind/comply/asbestosbultn.htm

Summary of Regulation:

1. Enforces NESHAP regulation.
2. Requires filing of completed notification, payment of fees, and ten (10) day waiting-period prior to commencing abatement related work in excess of threshold levels of RACM, non-friable ACBM which may become friable, and for all demolition activities.
3. Requires that an asbestos survey be conducted and prepared by a Certified Asbestos Consultant and that a copy be submitted to the air district along with the completed notification.

REGULATORY RESOURCE LIST – LEAD

California Occupational Safety & Health Administration (Cal/OSHA): 8 CCR 1532.1 (Lead in Construction Standard)

Website: http://www.dir.ca.gov/title8/1532_1.html

Summary of Regulation:

1. Regulates all work-related activities in which workers may be exposed to lead and any workers in close proximity to the work area.
2. Regulated levels of lead are based on level of training and experience of contractor and maintenance of historical data based on initial exposure assessments for individual "trigger tasks".
3. Contractors that disturb in excess of 100 sq. ft. must file a "Temporary Jobsite Notification" with the local Cal/OSHA Compliance Office at least 24 hours prior to start of work.
4. Contractor shall be licensed with the State of California, Contractors State License Board and have provided all employees who will engage in the work or enter a lead "regulated area" with level of training commensurate with anticipated exposure level.
5. Employees are required under certain circumstances to be certified by the State of California Department of Public Health (CDPH) to conduct lead work.
6. The employer or contractor must send notification prior to the start of the job unless:
    - the lead content of the material disturbed is less than 0.5 percent, (5,000 parts per million) or 1.0 mg./cm^2;
    - the amount of lead-containing material is less than 100 square feet or 100 linear feet;
    - the only task is torch cutting or welding for no longer than one hour per shift.
7. Contractors who disturb any amount of lead must ensure worker protection by providing accredited training, medical surveillance, PPE and conduct an initial exposure assessment per "trigger task".
8. Employers are required to conduct biological monitoring on employees based on the schedule mandated by OSHA.

State of California – Department of Public Health – Title 17, Division 1, Chapter 8

Website: http:www.cdph.ca.gov/programs/CLPPB/Documents/Title17.pdf

Summary of Regulation:

1. Regulates projects involving disturbance of "Lead-Based Paint" on public and residential structures.
2. If conducting "Abatement", defined as work designed to reduce or eliminate lead hazards, only CDPH accredited workers and supervisor may conduct the work, and a completed 8551 form shall be filed with CDPH a minimum of five (5) days prior to commencing abatement operations.
3. For work classified as "Abatement", a Lead Clearance is required. Standard includes a minimum standard for performance of work and states that all lead related work shall be conducted in accordance with the HUD Guidelines.

HUD Guidelines

Website:

http://portal.hud.gov/hudportal/HUD?src=/program_offices/healthy_homes/lbp/hudguidelines

A standard developed by the Department of Housing and Urban Development which has generally been adopted as "state of the art" in the lead industry. This standard has been adopted by the State of California as a regulatory requirement.

U.S. Environmental Protection Agency

Repair, Renovation & Painting Rule

Website: www.epa.gov/lead/pubs/renovation.htm

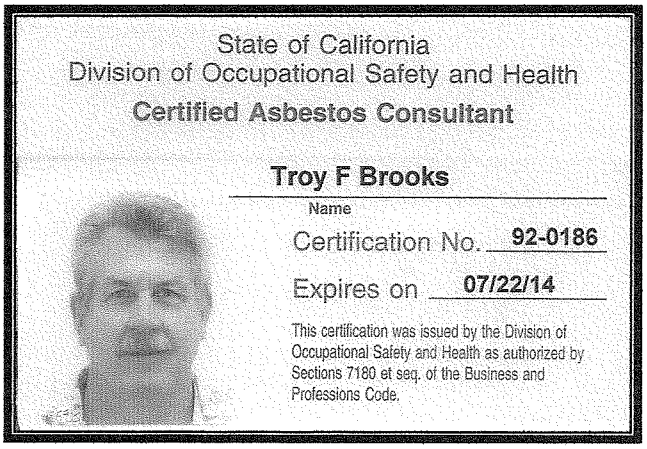
Summary of Regulation:

1. Regulates all contractors that engage in work involving disturbance of lead in pre-1978 residential housing and child-occupied facilities.
2. Requires that painted finishes to be impacted by proposed scope of work must be tested to determine if they are classified as "Lead-Based Paint" or presumed as such.
3. Requires that contractors utilize lead safe work practices.
4. In California, only a CDPH certified Inspector/Assessor may test for the presence of Lead-Based Paint.
5. Contractors must provide a copy of the "Renovate Right" pamphlet to owners or occupants of properties prior to commencing work which falls under the regulation.
6. Each job regulated under the RRP requires at least one RRP Certified Renovator be present on any job which falls under the regulation. In addition, each firm must also be RRP certified.
7. Regulation allows contractors to conduct their own clearance test known as a "Cleaning Verification".
8. The homeowner may elect to hire a 'third-party" consultant to conduct clearance testing on their behalf.

Appendix H

Certifications

- Professional
- Laboratory


State of California
Division of Occupational Safety and Health
Certified Asbestos Consultant

Troy F Brooks
Name

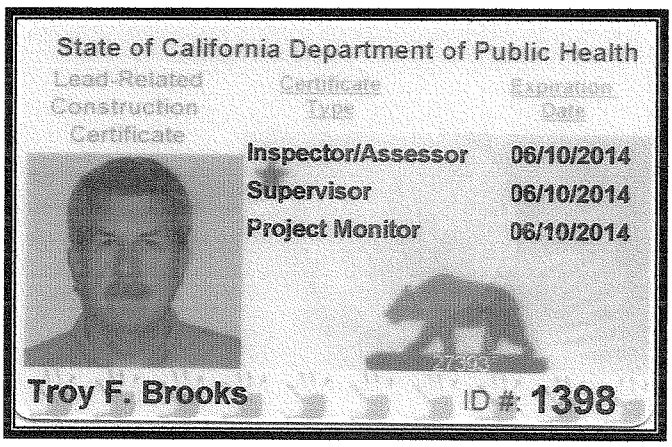
Certification No. 92-0186

Expires on 07/22/14

This certification was issued by the Division of Occupational Safety and Health as authorized by Sections 7180 et seq. of the Business and Professions Code.

Troy F. Brooks

Certified Asbestos Consultant


State of California Department of Public Health

Lead-Related Construction Certificate

Certificate Type | Expiration Date

Inspector/Assessor 06/10/2014

Supervisor 06/10/2014

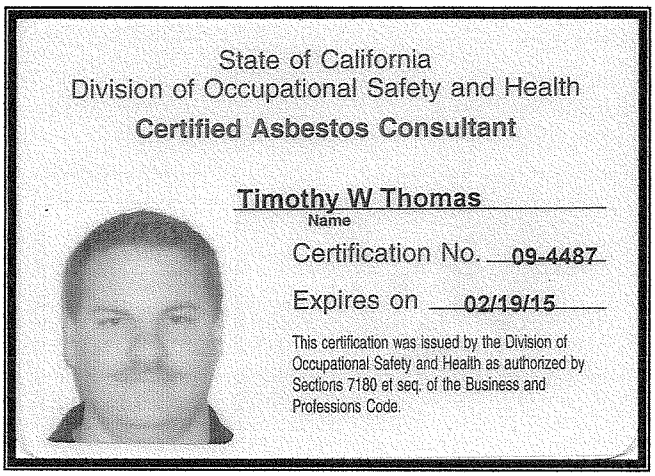
Project Monitor 06/10/2014

Troy F. Brooks

ID #: 1398

Troy F. Brooks

CDPH Lead Accredited
- **Inspector / Assessor**
- **Supervisor**
- **Project Monitor**


State of California
Division of Occupational Safety and Health
Certified Asbestos Consultant

Timothy W Thomas
Name

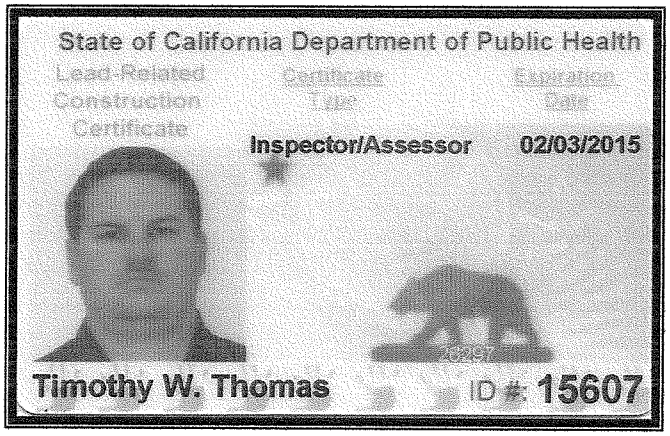
Certification No. 09-4487

Expires on 02/19/15

This certification was issued by the Division of Occupational Safety and Health as authorized by Sections 7180 et seq. of the Business and Professions Code.

Timothy W. Thomas

Certified Asbestos Consultant


State of California Department of Public Health

Lead-Related Construction Certificate

Certificate Type: Inspector/Assessor

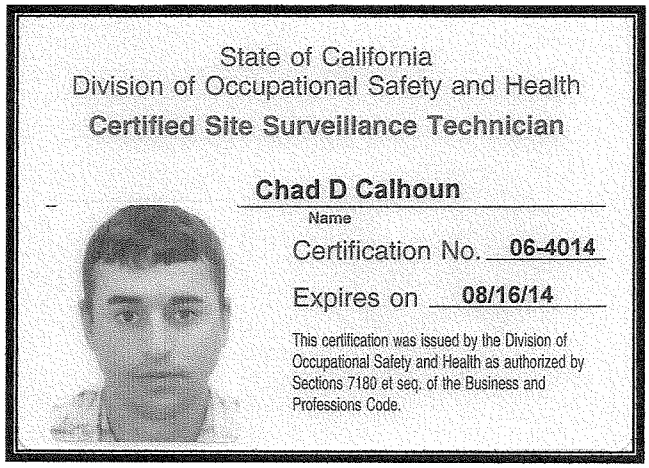
Expiration Date: 02/03/2015

Timothy W. Thomas

ID #: 15607

Timothy W. Thomas

DHS Lead Accredited - Inspector/Assessor


State of California
Division of Occupational Safety and Health
Certified Site Surveillance Technician

Chad D Calhoun
Name

Certification No. 06-4014

Expires on 08/16/14

This certification was issued by the Division of Occupational Safety and Health as authorized by Sections 7180 et seq. of the Business and Professions Code.

Chad D. Calhoun

Certified Site Surveillance Technician


State of California Department of Public Health

Lead-Related Construction Certificate

Certificate Type

Expiration Date

Inspector/Assessor

11/23/2014

Chad D. Calhoun

ID #: 19036

Chad D. Calhoun

DHS Lead Accredited - Inspector/Assessor

United States Department of Commerce
National Institute of Standards and Technology

NVLAP®

Certificate of Accreditation to ISO/IEC 17025:2005

NVLAP LAB CODE: 101926-0

EMC Labs, Inc.
Phoenix, AZ

is accredited by the National Voluntary Laboratory Accreditation Program for specific services, listed on the Scope of Accreditation, for:

BULK ASBESTOS FIBER ANALYSIS

This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2005. This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).

2013-07-01 through 2014-06-30

Effective dates

DEPARTMENT OF COMMERCE * UNITED STATES OF AMERICA *

For the National Institute of Standards and Technology

APPENDIX B
ASBESTOS SURVEY REPORT (2022)

FACS
Forensic Analytical Consulting Services

January 14, 2022

Asbestos Survey Report

City of Fresno Warehouse
Asbestos Renovation Survey
735 H Street
Fresno, CA 93721

Prepared for:

Mr. Rod Andreasen
TAM + CZ Architects, Inc.
5650 North Fresno Street, Suite 101
Fresno, CA 93710
(559) 435-4750 |
randreasen@tamcz-architects.com

Prepared By:

Chris Chipponeri, CAC I/A
Forensic Analytical Consulting Services
207 McHenry Avenue
Modesto, CA 95354
209-551-2000 |
cchipponeri@forensicanalytical.com

FACS Project #PJ65200

Contents

List of Acronyms

ACCM	Asbestos Containing Construction Material
ACM	Asbestos Containing Material
AHERA	Asbestos Hazard Emergency Response Act
AIHA	American Industrial Hygiene Association
CAC	California - Certified Asbestos Consultant
Cal/OSHA	California Occupational Safety and Health Association
CCR	Code of California Regulations
CFR	Code of Federal Regulation
DOSH	Department of Occupational Safety and Health
ELAP	Environmental Laboratory Accreditation Program
EPA	Environmental Protection Agency (EPA)
FACS	Forensic Analytical Consulting Services, Inc.
FALI	Forensic Analytical Laboratories, Inc.
ND	None Detected
NESHAP	National Emissions Standard Hazardous Air Pollutants
NIOSH	National Institute for Occupational Safety and Health
NIST	National Institute of Science and Technology
NVLAP	National Voluntary Laboratory Accreditation Program
PLM	Polarized Light Microscopy
TEM	Transmission Electron Microscopy
TTLC	Total Threshold Limit Concentration

Executive Summary

Forensic Analytical Consulting Services, Inc. (FACS) was retained by TAM + CZ Architects, Inc. to perform an asbestos inspection of a City of Fresno-owned warehouse, located at 725 H Street in Fresno, California. The survey included any suspect asbestos-containing materials (ACM) which may be disturbed during an upcoming renovation project at the warehouse. A summary list of suspect asbestos-containing materials which were identified and sampled is included in Appendix A of this report. The survey was performed on December 22, 2021.

Asbestos

The following suspect materials were sampled and identified to **contain** asbestos by laboratory analysis during this survey:

- **12" VFT – Marble**
- **12" VFT – Pink**
- **3'x3' Floor Tile – Black**
- **9" VFT – Tan Oatmeal**
- **Aircell**
- **Drywall – Skip Trowel Texture**
- **Drywall – Smooth Texture**
- **Flooring Material - Black Vinyl**
- **Transite Panels**
- **Vibration Dampener**
- **9” VFT – Black**

While lab results do not reflect all drywall materials as containing asbestos, it is recommended that all drywall containing a paint or texture finish be handled as asbestos-containing. This is due to the random nature of the drywall systems in the building and determining exactly where one system that contains asbestos may stop or start. Handling all drywall as asbestos-containing would remove the potential for an improper disturbance of the material during renovation activities.

Please see Appendix A for a complete listing of materials sampled at the work areas and results during this survey. Any suspect materials not included must be assumed to be asbestos-containing materials until tested and proven not to contain asbestos. FACS recommends that the results of this report be incorporated into any renovation plans provided for this project for informational purposes.

Introduction

Forensic Analytical Consulting Services, Inc. (FACS) was retained by TAM + CZ Architects, Inc. to perform an asbestos inspection of a City of Fresno-owned warehouse, located at 725 H Street in Fresno, California. The survey was conducted prior to potential renovation activities in the near future. The survey was performed on December 22, 2021.

Scope of Work

The purpose of this survey was to identify asbestos-containing materials (ACMs) which may be disturbed during the upcoming project. The visual inspection, bulk sampling, and survey documentation were performed by Chris Chipponeri. Mr. Chipponeri is a Division of Occupational Safety and Health (DOSH) Certified Asbestos Consultant (CAC #10-4633) as required under California regulations. The scope of the survey and the services provided by FACS included:

- Performing a visual inspection of the project areas to identify accessible suspect asbestos-containing materials (ACMs) that will be disturbed during the planned project;
- Collection of bulk material samples for asbestos analysis by polarized light microscopy (PLM);
- Ensuring the technical quality of all work by using Asbestos Hazard Emergency Response Act (AHERA) accredited Building Inspectors;
- Consolidating data and findings into a report format.

Site Characterization

The warehouse at 735 H Street in Fresno, California is a multi-level industrial building comprising a main floor, a sub level, and a limited upper level. The main floor includes 3 large warehouse bays, as well as office space and storage. The sub level is comprised of two disconnected basements with street access. The upper level consists of an office overviewing one warehouse floor, and attic space housing the building's HVAC system.

Survey Methods

Document Review

FACS has no prior survey or site inspection for this location.

Visual Inspection

Accessible building materials were visually inspected using the methods presented in the Federal AHERA regulations (40 CFR, Part 763). AHERA inspection methodology is required to be used for inspections of K-12 schools and is generally accepted as the industry standard for all ACM inspections regardless of structure or facility type. Suspect ACMs were also physically assessed for friability, condition and possible disturbance factors.

All areas were accessible during this inspection. This inspection excluded the roof area of the building and additional survey for suspect materials would need to be performed of this area prior to any renovation activities.

Asbestos Inspection

Bulk Sample Collection

Bulk samples of identified homogeneous materials were collected in building areas that may be impacted by the planned renovation/demolition activities. Samples were collected of each separate homogeneous area. A homogeneous area is defined as a surfacing material, thermal system insulation, or miscellaneous material that is uniform in use, color, and texture. Examples of homogeneous areas could include:

Vinyl floor tiles
False ceiling panels
Drywall with joint compound
Vinyl sheet flooring

The specific number of samples collected was determined by using the methods required by the Federal AHERA regulations (40 CFR, Part 763.86) as noted below:

1) For Surfacing Material:
   1,000 ft^2 or less - collect 3 samples
   1,001 to 5,000 ft^2 - collect 5 samples
   5,001 ft^2 or greater - collect 7 samples

2) For Thermal System Insulation:
   "In a randomly distributed manner" - collect 3 samples
   6 linear feet of patching or less - collect 1 sample
   cementitious pipe fittings - "In a manner sufficient to determine"

3) For all Miscellaneous Material:
   Collect samples "In a manner sufficient to determine whether material is ACM (asbestos-containing material) or not ACM..."

The suspect ACMs were sampled using a knife, chisel, scraper, drill or other similar coring device suitable to the type of material sampled to cut through its entire thickness and to ensure that a cross-section of the material was obtained. The material was then placed in an appropriately labeled container that was sealed and submitted to SGS-Forensic Laboratories for analysis. A unique sample number (e.g. PJ65200-01A) was assigned to each sample.

Bulk samples will be retained by the laboratory for one month unless otherwise instructed. After this period, the samples will be disposed of appropriately.

Bulk Sample Analysis

A total of ninety-six (96) bulk samples were collected from a total of forty-seven (47) suspect materials. Bulk samples were analyzed by SGS-Forensic Laboratories (SGS-FL) in Hayward, California. SGS-FL is accredited by the California Department of Public Health (CDPH) Environmental Laboratory Accreditation Program (ELAP) and the National Institute of Science and Technology's (NIST) National Voluntary Laboratory Accreditation Program (NVLAP). SGS-FL participates in the National Institute for Occupational Safety and Health (NIOSH) Proficiency Analytical Testing Program and has substantial experience in the analysis of asbestos.

All samples were analyzed using Polarized Light Microscopy with Dispersion Staining (PLM/DS) techniques in accordance with the methodology approved by the U.S. Environmental Protection Agency (EPA). The percentage of asbestos present in the samples was determined on the basis of a visual area

estimation. The EPA defines asbestos-containing materials (ACM) as any material containing more than one percent (1%) asbestos as determined using the method specified in Appendix A, Subpart F, 40 CFR Part 763, Section 1, Polarized Light Microscopy (PLM). 40 CFR Part 763 identifies the lower limit of reliable quantification for asbestos using the PLM method as approximately one percent (1%) by volume. Regulations in California (CAL/OSHA Title 8 CCR 1529) define asbestos-containing construction materials (ACCM) as those materials having asbestos content of greater than one tenth of one percent (> 0.1%); therefore, for the purpose of this survey, any amount of asbestos detected will be considered positive. In addition to the percentages, the types of asbestos minerals are also reported. The PLM method is the standard method used to analyze asbestos bulk samples.

When "None Detected" (ND) appears in the laboratory results, it should be interpreted as meaning asbestos was not observed in the sample material.

Regulations

Background

Asbestos is the name of a class of magnesium-silicate minerals that occur in fibrous form. Minerals that are included in this group are chrysotile, crocidolite, amosite, anthophyllite asbestos, tremolite asbestos, and actinolite asbestos. Although the chrysotile minerals are the most common type of asbestos found in the construction industry, all types of asbestos are regulated in the same manner. Asbestos has been used in more than 3,000 different building materials. Asbestos was added to building materials to: increase fire-resistance, insulate against heat, cold and sound, resist corrosion, and increase tensile strength. Common building materials that may contain asbestos include but are not limited to the following: floor tile, resilient sheet flooring, ceiling tile, mastics, roofing materials, fireproofing, acoustical treatments, wallboard, pipe and boiler insulations. Adverse health effects have been associated with the inhalation of airborne asbestos. However, asbestos fibers that are tightly bound in the building material, may not represent an exposure hazard, unless disturbed in such a way that releases airborne fibers (i.e., cutting, drilling, sanding, and other abrasive methods).

Building Surveys

The following is a summary of some current Federal and California State regulations which contain requirements related to the performance of building surveys for asbestos. These summaries are not intended to be all inclusive and do not contain every aspect of the regulations discussed.

U.S. EPA National Emission Standard for Hazardous Air Pollutants (NESHAPs), 40 CFR Part 61

Under the NESHAPs regulation, no visible emissions are allowed during building demolition or renovation activities which involve regulated asbestos-containing materials. For this reason, all buildings must be surveyed for asbestos-containing materials prior to demolition or renovation. The EPA, CARB, and/or the local Air Quality Management District which implements EPA actions, must be notified prior to any building demolition even if no asbestos-containing materials are present.
Regulated asbestos-containing material (RACM) is defined as a) any friable material with an asbestos content of greater than one percent, or b) any non-friable material with asbestos content of greater than one percent that will, or could, become friable.

Asbestos Hazard Emergency Response Act (AHERA), 40 CFR Part 763, Subpart E

AHERA requires performance of asbestos surveys and the development of Asbestos Management Plans for all primary and secondary schools in the United States. Although this regulation applies to primary and secondary schools only, the procedures mandated under AHERA are considered the industry

standard and are applied to all surveys performed by FACS unless otherwise specified by the building owner.

Worker Protection

California Assembly Bill AB3713, Health and Safety Code Division 20, Chapter 10.4, Section 25915-25924

The state of California has enacted legislation that requires building owners, employers, lessees, etc. to notify tenants, employees and contractors of the presence of asbestos in both friable and non-friable forms. In addition, preventive maintenance activities must be developed and communicated to these parties. Notification is required 15 days after the identification of ACM in the building, and annually thereafter.

Occupational Safety and Health Administration (OSHA) 29 CFR 1926.1101 and 8 CCR 1529

The Federal and State Occupational Safety and Health Administrations (OSHA) require employers to implement specific work practices which protect workers from airborne asbestos exposure.

Building materials which contain even low levels of asbestos (<1%) can potentially generate significant concentrations of airborne asbestos fibers when disturbed. Therefore, control measures should be instituted which adequately address worker health and safety during planned renovation or demolition activities involving these materials. Cal/OSHA defines asbestos-containing construction materials as those materials having greater than one tenth of one percent asbestos (>0.1%). As stated previously, there is currently no viable method to accurately quantify asbestos at this level.

Hazardous Waste

Building materials reported to contain less than one percent (<1%) of asbestos are not considered hazardous by the U.S. EPA, and hence, may not require removal and disposal prior to demolition or renovation. Regulations may vary, however, between regional air quality management districts and/or other state agencies responsible for implementing EPA's rules. Therefore, local agencies should be contacted for specific ACM definitions and handling requirements. Cal/OSHA may also require special packaging and labeling on containers with asbestos-containing construction materials.

Composite sampling, which may potentially reduce the total asbestos content of the material, is only permitted when sampling joint compound, tape, and gypsum wallboard according to EPA's Asbestos NESHAP Clarification Regarding Analysis of Multi-Layered Systems (40 CFR Part 61 FRL-4821-7).

Findings and Recommendations

Forensic Analytical Consulting Services, Inc. (FACS) was retained by TAM + CZ Architects, Inc. to perform an asbestos inspection of a City of Fresno-owned warehouse prior to a potential renovation.

The following suspect materials were sampled and identified to **contain** asbestos by laboratory analysis during this survey:

- **12" VFT – Marble**
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- **9" VFT – Tan Oatmeal**
- **Aircell**
- **Drywall – Skip Trowel Texture**
- **Drywall – Smooth Texture**
- **Flooring Material - Black Vinyl**
- **Transite Panels**
- **Vibration Dampener**
- **9" VFT – Black**

While lab results do not reflect all drywall materials as containing asbestos, it is recommended that all drywall containing a paint or texture finish be handled as asbestos-containing. This is due to the random nature of the drywall systems in the building and determining exactly where one system that contains asbestos may stop or start. Handling all drywall as asbestos-containing would remove the potential for an improper disturbance of the material during renovation activities.

Please see Appendix A for a complete listing of materials sampled at the work areas and results during this survey. Any suspect materials not included must be assumed to be asbestos-containing materials until tested and proven not to contain asbestos.

The US EPA National Emissions Standard for Hazardous Air Pollutants (NESHAP) regulation, as enforced by the San Joaquin Valley Air Pollution Control District (SJVAPCD), requires the abatement of materials that contain more than 1% asbestos if they are friable or are likely to become friable by forces disturbing them. Materials noted as being friable, or would be considered friable when removed, include Aircell insulation, vibration dampened, and drywall materials. While not friable, the removal of asbestos-containing vinyl floor materials should be performed prior to renovation activities to prevent the improper disturbance of materials.

If more than 160 square or 260 linear feet of regulated asbestos-containing material (RACM) will be abated, or if non-friable materials will be removed using mechanical means exceeding these thresholds, a 10-working day notification will need to be filed with the SJVAPCD, along with the payment of necessary fees that are based on quantities of materials to be removed. If materials identified as non-friable are not to be removed using mechanical means, a 10-working day notification is not required, but a courtesy notification should be filed at least 24 hours prior to abatement commencing with the SJVAPCD.

For friable materials and non-friable materials that are removed using mechanical means or made friable by removal methods, the materials shall be disposed of as hazardous (regulated) asbestos-containing waste materials. Non-friable materials that remain non-friable during removal can be disposed of as a non-hazardous asbestos-containing waste material.

The contractor performing removal shall follow all Cal/OSHA abatement work practices and engineering controls for the class of work being performed. The contractor will need to submit a notification for the abatement at least 24 hours prior to the start of abatement to the local Cal/OSHA office. If the contractor will be removing more than 100 square feet of material, they must be registered with Cal/OSHA as an asbestos abatement contractor. Workers will also need to have AHERA Worker training with one worker trained to the AHERA Contractor-Supervisor level.

To comply with California State License Board requirements, the contractor performing the abatement will need to hold the C-22 asbestos abatement license or the C-class specialty license for each trade work to be performed with asbestos certification for that specialty class. Since more than two trades of work is involved in abatement, the abatement contractor may also hold the B-class general license with asbestos certification.

FACS recommends that the results of this report be incorporated into any renovation plans provided for this project for informational purposes.

Limitations

This investigation is limited to the conditions and practices observed, and information made available to FACS. The methods, conclusions and recommendations provided are based on FACS' judgment, expertise and the standard of practice for professional service. They are subject to the limitations and variability inherent in the methodology employed. As with all environmental investigations, this

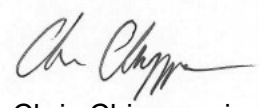
investigation is limited to the defined scope and does not purport to set forth all hazards, nor indicate that other hazards do not exist.

Please do not hesitate to contact our office at 209-551-2000 with any questions or concerns. Thank you for the opportunity to assist TAM+CZ Architects with promoting worker safety and a healthy environment.

Respectfully,
FORENSIC ANALYTICAL

Tyler Faison
Assistant Local Director, Modesto
Cal/OSHA CSST #16-5728
CDPH I/A LRC-00002454

Reviewed by:
FORENSIC ANALYTICAL



Chris Chipponeri
Local Director, Central Valley Offices
Cal/OSHA CAC #10-4633
CDPH I/A LRC-00000782

Appendix A

Asbestos Survey Summary, Sample Chain-of-Custody, and Laboratory Results Report

Asbestos Survey Summary (Lab Report # B327113) TAM + CZ Architects, Inc. – City of Fresno Warehouse Survey Date: December 22, 2021						
Sample Numbers	**Material Description**	**Location(s) of Material**	**Material Number**	**Asbestos Content (percent)**	**Asbestos NESHAP Category**	**Approximate Quantity**
01A	12” ACT – Pinhole w/ Mastic	Room 1	01	Layer: Brown Mastic **None Detect (ND)** Layer: Tan Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
01B	12” ACT – Pinhole w/ Mastic	Room 1	01	Layer: Brown Mastic **ND** Layer: Tan Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
02A	12” ACT – Uniform Hole (Nailed-On Material)	Room 9	02	Layer: Tan Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
02B	12” ACT – Uniform Hole (Nailed-On Material)	Room 9	02	Layer: Tan Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
03A	12” VFT – Brown	Room 16	03	Layer: Brown Tile **ND** Layer: Tan Mastic **ND**	N/A	N/A
03B	12” VFT – Brown	Room 16	03	Layer: Brown Tile **ND** Layer: Tan Mastic **ND**	N/A	N/A
04A	12” VFT – Green w/ Black Mastic	Room 2	04	Layer: Green Tile **ND** Layer: Black Mastic **ND**	N/A	N/A
05A	**12” VFT - Marble**	**Room 14**	**05**	**Layer: Tan Tile Chrysotile 2%** **Layer: Yellow Mastic ND**	**Category I Non-Friable**	**16 Sq. Ft.**
05B	**12” VFT - Marble**	**Room 14**	**05**	**Layer: Tan Tile Chrysotile 2%** **Layer: Yellow Mastic ND**	**Category I Non-Friable**	**16 Sq. Ft.**

06A	**12" VFT – Pink w/ Black Mastic**	**Room 2**	**06**	**Layer: Brown Tile Chrysotile 5%** **Layer: Black Mastic ND**	**Category I Non-Friable**	**81 Sq. Ft.**
07A	**3'x3' Floor Tile – Black**	**Room 9**	**07**	**Layer: Tan Tile Chrysotile 5%** **Layer: Black Mastic ND**	**Category I Non-Friable**	**135 Sq. Ft.**
08A	4" Baseboard – Black w/ Mastic	Room 1	08	Layer: Black Non-Fibrous Material **ND** Layer: Beige Mastic **ND**	N/A	N/A
09A	6" Baseboard – Black w/ Mastic	Room 2	09	Layer: Black Non-Fibrous Material **ND** Layer: Beige Mastic **ND**	N/A	N/A
10A	9" VFT – Gray Pebble	Room1	10	Layer: Beige Tile **ND** Layer: Yellow Mastic **ND**	N/A	N/A
11A	**9" VFT – Tan Oatmeal**	**Room 7**	**11**	**Layer: Tan Tile Chrysotile 2%** **Layer: Black Mastic ND**	**Category I Non-Friable**	**117 Sq. Ft.**
11B	**9" VFT – Tan Oatmeal**	**Room 7**	**11**	**Layer: Tan Tile Chrysotile 2%** **Layer: Black Mastic ND**	**Category I Non-Friable**	**117 Sq. Ft.**
12A	**Aircell**	**Room 8**	**12**	**Layer: Grey Fibrous Material Chrysotile 70%**	**Friable/ RACM**	**80 Ln. Ft. (Additional Amount may Exist in Inaccessible Areas)**
12B	**Aircell**	**Room 8**	**12**	**Layer: Grey Fibrous Material Chrysotile 70%**	**Friable/ RACM**	**80 Ln. Ft. (Additional Amount may Exist in Inaccessible Areas)**
12C	**Aircell**	**Room 8**	**12**	**Layer: Grey Fibrous Material Chrysotile 70%**	**Friable/ RACM**	**80 Ln. Ft. (Additional Amount may Exist in Inaccessible Areas)**

13A	Black Mastic	Room 8	13	Layer: Black Felt **ND** Layer: Black Mastic **ND**	N/A	N/A
14A	Blown-In Insulation	Room 8	14	Layer: Grey Fibrous Material **ND**	N/A	N/A
14B	Blown-In Insulation	Room 8	14	Layer: Grey Fibrous Material **ND**	N/A	N/A
14C	Blown-In Insulation	Room 8	14	Layer: Grey Fibrous Material **ND**	N/A	N/A
15A	Brick Mortar	Room 4	15	Layer: White Mortar **ND**	N/A	N/A
15B	Brick Mortar	Room 11	15	Layer: White Mortar **ND**	N/A	N/A
15C	Brick Mortar	Room 13	15	Layer: Red Cementitious Material **ND** Layer: White Mortar **ND**	N/A	N/A
15D	Brick Mortar	Room 13	15	Layer: Red Cementitious Material **ND** Layer: White Mortar **ND**	N/A	N/A
15E	Brick Mortar	Room 15	15	Layer: White Mortar **ND**	N/A	N/A
16A	Carpet – Brown	Room 1	16	Layer: Brown Carpet **ND** Layer: Beige Mastic **ND** Layer: Multicolored Foam **ND**	N/A	N/A
17A	Carpet – Gray	Room 2	17	Layer: Grey Carpet **ND** Layer: Beige Mastic **ND** Layer: Multicolored Foam **ND**	N/A	N/A
18A	Carpet - Multicolored	Room 9B	18	Layer: Multicolored Carpet **ND**	N/A	N/A
19A	Carpet – Tan	Room 1	19	Layer: Tan Carpet **ND** Layer: Beige Mastic **ND** Layer: Multicolored Foam **ND**	N/A	N/A

20A	Concrete	Outside – Loading Dock NW	20	Layer: Grey Cementitious Material **ND**	N/A	N/A
20C	Concrete	Outside – Loading Dock NE	20	Layer: Grey Cementitious Material **ND**	N/A	N/A
20D	Concrete	Room 4	20	Layer: Grey Cementitious Material **ND**	N/A	N/A
20E	Concrete	Room 14	20	Layer: Grey Cementitious Material **ND**	N/A	N/A
20F	Concrete	Room 15	20	Layer: Grey Cementitious Material **ND**	N/A	N/A
21A	Construction Paper	Room 18	21	Layer: Tan Fibrous Material **ND**	N/A	N/A
22A	**Drywall – Skip Trowel Texture w/ Tape & Joint**	**Room 1**	**22**	**Layer: White Drywall ND** **Layer: Off-White Joint Compound Chrysotile 2%** **Layer: White Tape ND** **Layer: Off-White Texture Chrysotile 2%** **Layer: Paint ND**	**Friable/ RACM**	**1,280 Sq. Ft.**
22B	**Drywall – Skip Trowel Texture w/ Tape & Joint**	**Room 2**	**22**	**Layer: White Drywall ND** **Layer: Off-White Joint Compound Chrysotile 2%** **Layer: White Tape ND** **Layer: Off-White Texture Chrysotile 2%** **Layer: Paint ND**	**Friable/ RACM**	**1,280 Sq. Ft.**
22C	**Drywall – Skip Trowel Texture w/ Tape & Joint**	**Room 3**	**22**	**Layer: White Drywall ND** **Layer: Off-White Joint Compound Chrysotile 2%** **Layer: White Tape ND** **Layer: Off-White Texture Chrysotile 2%** **Layer: Paint ND**	**Friable/ RACM**	**1,280 Sq. Ft.**
23A	Drywall – Smooth Texture	Room 4	23	Layer: White Drywall **ND** Layer: Paint **ND**	N/A	N/A
23B	Drywall – Smooth Texture	Room 4	23	Layer: White Drywall **ND** Layer: Paint **ND**	N/A	N/A

23C	Drywall – Smooth Texture	Room 5	23	Layer: White Drywall **ND** Layer: Paint **ND**	N/A	N/A
23D	Drywall – Smooth Texture	Room 15	23	Layer: White Drywall **ND** Layer: Paint **ND**	N/A	N/A
23E	Drywall – Smooth Texture	Room 15	23	Layer: White Drywall **ND** Layer: Paint **ND**	N/A	N/A
24A	**Drywall – Smooth Texture w/ Tape & Joint**	**Room 4**	**24**	**Layer: White Drywall ND** **Layer: Paint ND**	**Friable/ RACM**	**2,600 Sq. Ft.**
24B	**Drywall – Smooth Texture w/ Tape & Joint**	**Room 5**	**24**	**Layer: White Drywall ND** **Layer: Paint ND**	**Friable/ RACM**	**2,600 Sq. Ft.**
24C	**Drywall – Smooth Texture w/ Tape & Joint**	**Room 5**	**24**	**Layer: White Drywall ND** **Layer: White Joint Compound Chrysotile 2%** **Layer: Tan Tape ND** **Layer: White Texture Chrysotile 2%** **Layer: Paint ND**	**Friable/ RACM**	**2,600 Sq. Ft.**
24D	**Drywall – Smooth Texture w/ Tape & Joint**	**Room 15**	**24**	**Layer: White Drywall ND** **Layer: White Joint Compound Chrysotile 2%** **Layer: Tan Tape ND** **Layer: White Texture Chrysotile 2%** **Layer: Paint ND**	**Friable/ RACM**	**2,600 Sq. Ft.**
25A	Drywall - Unfinished	Room 14	25	Layer: White Drywall **ND**	N/A	N/A
25B	Drywall - Unfinished	Room 14	25	Layer: White Drywall **ND**	N/A	N/A
26A	Duct Tape – White	Room 8	26	Layer: White Tape **ND**	N/A	N/A
26B	Duct Tape – White	Room 8	26	Layer: White Tape **ND**	N/A	N/A
27A	Duct Tape – Yellow	Room 8	27	Layer: Yellow Tape **ND**	N/A	N/A

28A	Joint Compound – White	Room 16	28	Layer: White Joint Compound **ND** Layer: Paint **ND**	N/A	N/A
28B	Joint Compound – White	Room 16	28	Layer: White Joint Compound **ND** Layer: Paint **ND**	N/A	N/A
29A	**Flooring Material – Black Vinyl**	**Room 4**	**29**	**Layer: Black Non-Fibrous Material Chrysotile 2%**	**Category I Non-Friable**	**5,170 Sq. Ft.**
29B	**Flooring Material – Black Vinyl**	**Room 4**	**29**	**Layer: Black Non-Fibrous Material Chrysotile 2%**	**Category I Non-Friable**	**5,170 Sq. Ft.**
30A	Insulation – Brown	Room 1	30	Layer: Brown Fibrous Material **ND**	N/A	N/A
30B	Insulation – Brown	Room 1	30	Layer: Brown Fibrous Material **ND**	N/A	N/A
30C	Insulation – Brown	Room 17	30	Layer: Brown Fibrous Material **ND**	N/A	N/A
31A	Insulation Moisture Paper	Room 17	31	Layer: Black Felt **ND**	N/A	N/A
31B	Insulation Moisture Paper	Room 17	31	Layer: Black Felt **ND**	N/A	N/A
32A	Moisture Barrier – Felt	Room 17	32	Layer: Black Felt **ND**	N/A	N/A
32B	Moisture Barrier – Felt	Room 17	32	Layer: Black Felt **ND**	N/A	N/A
33A	Plaster	Room 4	33	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
33B	Plaster	Room 10	33	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
33C	Plaster	Room 10	33	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A

33D	Plaster	Room 12	33	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
33E	Plaster	Room 16	33	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
34A	Plaster on Brick	Room 12	34	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
34B	Plaster on Brick	Room 13	34	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
34C	Plaster on Brick	Room 13	34	Layer: Off-White Plaster **ND** Layer: Paint **ND**	N/A	N/A
35A	Pressed Wood – Tile Look w/ Mastic	Room 8	35	Layer: Brown Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
36A	Pressed Wood Ceiling	Room 10	36	Layer: Brown Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
36B	Pressed Wood Ceiling	Room 10	36	Layer: Brown Fibrous Material **ND** Layer: Paint **ND**	N/A	N/A
37A	Pressed Wood w/ Yellow & Black Mastic	Room 6	37	Layer: Yellow Mastic **ND** Layer: Brown Fibrous Material **ND** Layer: Black Mastic **ND**	N/A	N/A
37B	Pressed Wood w/ Yellow & Black Mastic	Room 6	37	Layer: Yellow Mastic **ND** Layer: Brown Fibrous Material **ND** Layer: Black Mastic **ND**	N/A	N/A
38A	**Transite Panel**	**Rooms 8 (Attic) & 14**	**38**	**Layer: Grey Semi-Fibrous Material Chrysotile 10%** **Layer: Paint ND**	**Category II Non-Friable**	**60 Sq. Ft.**
38B	**Transite Panel**	**Rooms 8 (Attic) & 14**	**38**	**Layer: Grey Semi-Fibrous Material Chrysotile 10%** **Layer: Paint ND**	**Category II Non-Friable**	**60 Sq. Ft.**
39A	**Vibration Dampener**	**Room 8 (Attic)**	**39**	**Layer: Grey Fibrous Material Chrysotile 50%**	**Friable / RACM**	**2 Each**

39B	**Vibration Dampener**	**Room 8 (Attic)**	**39**	**Layer: Grey Fibrous Material Chrysotile 50%**	**Friable / RACM**	**2 Each**
40A	Vinyl Countertop	Room 6	40	Layer: Grey Non-Fibrous Material **ND** Layer: Black Fibrous Backing **ND** Layer: Brown Mastic **ND**	N/A	N/A
41A	Vinyl Sheet Flooring – Black	Room 12	41	Layer: Dark Brown Sheet Flooring **ND** Layer: Black Fibrous Backing **ND** Layer: Brown Mastic **ND**	N/A	N/A
41B	Vinyl Sheet Flooring - Black	Room 12	41	Layer: Dark Brown Sheet Flooring **ND** Layer: Black Fibrous Backing **ND** Layer: Brown Mastic **ND**	N/A	N/A
42A	Vinyl Stair Tread	Room 9B	42	Layer: Black Non-Fibrous Material **ND**	N/A	N/A
43A	Wire Insulation	Room 17	43	Layer: Tan Woven Material **ND** Layer: Black Non-Fibrous Material **ND** Layer: Tan Woven Material **ND**	N/A	N/A
44A	Fiberglass Insulation Paper	Room 8	44	Layer: Yellow Fibrous Material **ND** Layer: Brown Fibrous Material **ND** Layer: Black Tar **ND**	N/A	N/A
44B	Fiberglass Insulation Paper	Room 8	44	Layer: Yellow Fibrous Material **ND** Layer: Brown Fibrous Material **ND** Layer: Black Tar **ND**	N/A	N/A
44C	Fiberglass Insulation Paper	Room 8	44	Layer: Yellow Fibrous Material **ND** Layer: Brown Fibrous Material **ND** Layer: Black Tar **ND**	N/A	N/A
45A	**9” VFT – Black**	**Room 12**	**45**	**Layer: Tan Tile 5% Chrysotile** **Layer: Black Mastic ND**	**Category I Non-Friable**	**500 Sq. Ft.**
45B	**9” VFT – Black**	**Room 12**	**45**	**Layer: Tan Tile 5% Chrysotile** **Layer: Black Mastic ND**	**Category I Non-Friable**	**500 Sq. Ft.**
46A	Vinyl Sheet Flooring – Wood	Room 12	46	Layer: Brown Sheet Flooring **ND** Layer: Black Fibrous Backing **ND** Layer: Brown Mastic **ND**	N/A	N/A
46B	Vinyl Sheet Flooring – Wood	Room 12	46	Layer: Brown Sheet Flooring **ND** Layer: Black Fibrous Backing **ND** Layer: Brown Mastic **ND**	N/A	N/A

47A	Mirror Mastic	Room 14	47	Layer: Yellow Foam **ND** Layer: Yellow Mastic **ND**	N/A	N/A

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address: FACS Modesto, 207 McHenry Ave, Modesto, CA 95354	Client No.: MOD08
PO / Job#: PJ65200	Date: 12/22/2021
Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day (X)	
☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer	
☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435	
Contact: Chris Chipponeri	Phone: (209) 238-7175
E-mail: CChipponeri@ForensicAnalyital.com	
☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402 ☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield ☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight % ☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)	
Site Name: City of Fresno Warehouse	☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot ☐ Particle Identification (TEM LAB) ☐ Special Project
Site Location: 735 H Street	☐ Metals Analysis Matrix: Method: Analytes:
Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 1 of 10**	☐ Silica in Air ☐ w/Gravimetry ☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY: Type	Time On/Off	Avg LPM	Total Time	Sample Area / Air Volume
PJ65200-01A	12/22/21	12" ACT - Pinhole w/ Mastic Room 1	A P C				
PJ65200-01B	12/22/21	12" ACT - Pinhole w/ Mastic Room 1	A P C				
PJ65200-02A	12/22/21	12" ACT - Uniform Hole Room 9	A P C				
PJ65200-02B	12/22/21	12" ACT - Uniform Hole Room 9	A P C				
PJ65200-03A	12/22/21	12" VFT - Brown Room 16	A P C				
PJ65200-03B	12/22/21	12" VFT - Brown Room 16	A P C				
PJ65200-04A	12/22/21	12" VFT - Green w/ Black Mastic Room 2	A P C				
PJ65200-05A	12/22/21	12" VFT - Marble Room 14	A P C				
PJ65200-05B	12/22/21	12" VFT - Marble Room 14	A P C				
PJ65200-06A	12/22/21	12" VFT Pink w/ Black Mastic Room 2	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By: [signature] Date / Time: 12/23/21	Relinquished By: Date / Time:	Relinquished By: Date / Time:
Received By: [signature] FX 8431 Date / Time: DEC 27 2021 12pm Condition Acceptable? ☐ Yes ☐ No	Received By: Date / Time: Condition Acceptable? ☐ Yes ☐ No	Received By: Date / Time: Condition Acceptable? ☐ Yes ☐ No

RECEIVED DEC 27 2021 BY:

SGS Forensic Laboratories may subcontract client samples to other SGSFL locations to meet client requests.

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address:
FACS Modesto
207 McHenry Ave
Modesto, CA 95354

Client No.: MOD08

PO / Job#: PJ65200

Date: 12/22/2021

Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day

☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer

☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435

Contact: Chris Chipponeri

Phone: (209) 238-7175

E-mail: CChipponeri@ForensicAnalyital.com

☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)

Site Name: City of Fresno Warehouse

☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project

Site Location: 735 H Street

☐ Metals Analysis Matrix: Method: Analytes:

Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 2 of 10**

☐ Silica in Air ☐ w/Gravimetry ☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-07A	12/22/21	3x3 Floor Tile - Black Room 9	A P C				
PJ65200-08A	12/22/21	4" Baseboard - Black w/ Mastic Room 1	A P C				
PJ65200-09A	12/22/21	6" Baseboard - Black w/ Mastic Room 2	A P C				
PJ65200-10A	12/22/21	9" VFT - Gray Pebble Room 1	A P C				
PJ65200-11A	12/22/21	9" VFT - Tan Oatmeal Room 7	A P C				
PJ65200-11B	12/22/21	9" VFT - Tan Oatmeal Room 7	A P C				
PJ65200-12A	12/22/21	Aircell Room 8	A P C				
PJ65200-12B	12/22/21	Aircell Room 8	A P C				
PJ65200-12C	12/22/21	Aircell Room 8	A P C				
PJ65200-13A	12/22/21	Black Mastic Room 8	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By: RECEIVED DEC 27 2021 BY:	Received By:	Received By:
Date / Time: Condition Acceptable? ☐ Yes ☐ No	Date / Time: Condition Acceptable? ☐ Yes ☐ No	Date / Time: Condition Acceptable? ☐ Yes ☐ No

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address:
FACS Modesto
207 McHenry Ave
Modesto, CA 95354

Client No.: MOD08

PO / Job#: PJ65200

Date: 12/22/2021

Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day

☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer

☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435

Contact: Chris Chipponeri

Phone: (209) 238-7175

E-mail: CChipponeri@ForensicAnalyital.com

☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
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Site Location: 735 H Street

☐ Metals Analysis Matrix: Method:
Analytes:

Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 3 of 10**

☐ Silica in Air ☐ w/Gravimetry
☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-14A	12/22/21	Blown In Insulation Room 8	[A] [P] [C]				
PJ65200-14B	12/22/21	Blown In Insulation Room 8	[A] [P] [C]				
PJ65200-14C	12/22/21	Blown In Insulation Room 8	[A] [P] [C]				
PJ65200-15A	12/22/21	Brick Mortar Room 4	[A] [P] [C]				
PJ65200-15B	12/22/21	Brick Mortar Room 11	[A] [P] [C]				
PJ65200-15C	12/22/21	Brick Mortar Room 13	[A] [P] [C]				
PJ65200-15D	12/22/21	Brick Mortar Room 13	[A] [P] [C]				
PJ65200-15E	12/22/21	Brick Mortar Room 15	[A] [P] [C]				
PJ65200-16A	12/22/21	Carpet - Brown Room 1	[A] [P] [C]				
PJ65200-17A	12/22/21	Carpet - Gray Room 2	[A] [P] [C]				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By:	Received By:	Received By:
Date / Time:	Date / Time:	Date / Time:
Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No

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Los Angeles Office: 20535 South Belshaw Ave., Carson, CA 90746 • Phone: 310/763-2374 • 888/813-9417
Las Vegas Office: 6765 S. Eastern Avenue, Suite 3, Las Vegas, NV 89119 • Phone: 702/784-0040

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address: FACS Modesto, 207 McHenry Ave, Modesto, CA 95354
Client No.: MOD08
PO / Job#: PJ65200
Date: 12/22/2021
Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day
☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer
☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435
Contact: Chris Chipponeri
Phone: (209) 238-7175
E-mail: CChipponeri@ForensicAnalyital.com
☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)
Site Name: City of Fresno Warehouse
☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project
Site Location: 735 H Street
☐ Metals Analysis Matrix: Method: Analytes:
Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 4 of 10**
☐ Silica in Air ☐ w/Gravimetry ☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-18A	12/22/21	Carpet - Multicolored Room 9B	A P C				
PJ65200-19A	12/22/21	Carpet - Tan Room 1	A P C				
PJ65200-20A	12/22/21	Concrete Outside - Loading Dock NW	A P C				
PJ65200-20C	12/22/21	Concrete Outside - Loading Dock NE	A P C				
PJ65200-20D	12/22/21	Concrete Room 4	A P C				
PJ65200-20E	12/22/21	Concrete Room 14	A P C				
PJ65200-20F	12/22/21	Concrete Room 15	A P C				
PJ65200-21A	12/22/21	Construction Paper Room 18	A P C				
PJ65200-22A	12/22/21	Drywall - Skip Trowel Texture w/ Tape & Joint Room 1	A P C				
PJ65200-22B	12/22/21	Drywall - Skip Trowel Texture w/ Tape & Joint Room 2	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By:	Received By:	Received By:
Date / Time: DEC 27 2021	Date / Time:	Date / Time:
Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No

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Las Vegas Office: 6765 S. Eastern Avenue, Suite 3, Las Vegas, NV 89119 • Phone: 702/784-0040

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address:
FACS Modesto
207 McHenry Ave
Modesto, CA 95354

Client No.: MOD08

PO / Job#: PJ65200

Date: 12/22/2021

Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day

☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer

☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435

Contact: Chris Chipponeri

Phone: (209) 238-7175

E-mail: CChipponeri@ForensicAnalyital.com

☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)

Site Name: City of Fresno Warehouse

☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project

Site Location: 735 H Street

☐ Metals Analysis Matrix: Method:
Analytes:

Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 5 of 10**

☐ Silica in Air ☐ w/Gravimetry
☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-22C	12/22/21	Drywall - Skip Trowel Texture w/ Tape & Joint Room 3	A P C				
PJ65200-23A	12/22/21	Drywall - Smooth Texture Room 4	A P C				
PJ65200-23B	12/22/21	Drywall - Smooth Texture Room 4	A P C				
PJ65200-23C	12/22/21	Drywall - Smooth Texture Room 5	A P C				
PJ65200-23D	12/22/21	Drywall - Smooth Texture Room 15	A P C				
PJ65200-23E	12/22/21	Drywall - Smooth Texture Room 15	A P C				
PJ65200-24A	12/22/21	Drywall - Smooth Texture w/ Tape & Joint Room 4	A P C				
PJ65200-24B	12/22/21	Drywall - Smooth Texture w/ Tape & Joint Room 5	A P C				
PJ65200-24C	12/22/21	Drywall - Smooth Texture w/ Tape & Joint Room 5	A P C				
PJ65200-24D	12/22/21	Drywall - Smooth Texture w/ Tape & Joint Room 15	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21

Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By:	Received By:	Received By:
Date / Time:	Date / Time:	Date / Time:
Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No

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Las Vegas Office: 6765 S. Eastern Avenue, Suite 3, Las Vegas, NV 89119 • Phone: 702/784-0040

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address: FACS Modesto, 207 McHenry Ave, Modesto, CA 95354
Client No.: MOD08
PO / Job#: PJ65200
Date: 12/22/2021
Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day
☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer
☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435
Contact: Chris Chipponeri
Phone: (209) 238-7175
E-mail: CChipponeri@ForensicAnalyital.com
☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)
Site Name: City of Fresno Warehouse
☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project
Site Location: 735 H Street
☐ Metals Analysis Matrix: Method: Analytes:
Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 6 of 10**
☐ Silica in Air ☐ w/Gravimetry ☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-25A	12/22/21	Drywall - Unfinished Room 14	A P C				
PJ65200-25B	12/22/21	Drywall - Unfinished Room 14	A P C				
PJ65200-26A	12/22/21	Duct Tape - White Room 8	A P C				
PJ65200-26B	12/22/21	Duct Tape - White Room 8	A P C				
PJ65200-27A	12/22/21	Duct Tape - Yellow Room 8	A P C				
PJ65200-28A	12/22/21	Joint Compound - White Room 16	A P C				
PJ65200-28B	12/22/21	Joint Compound - White Room 16	A P C				
PJ65200-29A	12/22/21	Flooring Material - Black Vinyl Room 4	A P C				
PJ65200-29B	12/22/21	Flooring Material - Black Vinyl Room 4	A P C				
PJ65200-30A	12/22/21	Insulation - Brown Room 1	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By:	Received By:	Received By:
Date / Time: DEC 27 2021	Date / Time:	Date / Time:
Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No

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Analysis Request Form (COC)

Client Name & Address:
FACS Modesto
207 McHenry Ave
Modesto, CA 95354

Client No.: MOD08

PO / Job#: PJ65200

Date: 12/22/2021

Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day

☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer

☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435

Contact: Chris Chipponeri

Phone: (209) 238-7175

E-mail: CChipponeri@ForensicAnalyital.com

☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)

Site Name: City of Fresno Warehouse

☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project

Site Location: 735 H Street

☐ Metals Analysis Matrix: Method:
Analytes:

Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 7 of 10**

☐ Silica in Air ☐ w/Gravimetry
☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-30B	12/22/21	Insulation - Brown Room 1	A P C				
PJ65200-30C	12/22/21	Insulation - Brown Room 17	A P C				
PJ65200-31A	12/22/21	Insulation Moisture Paper Room 17	A P C				
PJ65200-31B	12/22/21	Insulation Moisture Paper Room 17	A P C				
PJ65200-32A	12/22/21	Moisture Barrier - Felt Room 17	A P C				
PJ65200-32B	12/22/21	Moisture Barrier - Felt Room 17	A P C				
PJ65200-33A	12/22/21	Plaster Room 4	A P C				
PJ65200-33B	12/22/21	Plaster Room 10	A P C				
PJ65200-33C	12/22/21	Plaster Room 10	A P C				
PJ65200-33D	12/22/21	Plaster Room 12	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By: RECEIVED DEC 27 2021	Received By:	Received By:
Date / Time:	Date / Time:	Date / Time:
Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No

BY: .....

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Analysis Request Form (COC)

Client Name & Address:
FACS Modesto
207 McHenry Ave
Modesto, CA 95354

Client No.: MOD08

PO / Job#: PJ65200

Date: 12/22/2021

Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day

☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer

☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435

Contact: Chris Chipponeri

Phone: (209) 238-7175

E-mail: CChipponeri@ForensicAnalyital.com

☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)

Site Name: City of Fresno Warehouse

☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project

Site Location: 735 H Street

☐ Metals Analysis Matrix: Method:
Analytes:

Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 8 of 10**

☐ Silica in Air ☐ w/Gravimetry
☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-33E	12/22/21	Plaster Room 16	A P C				
PJ65200-34A	12/22/21	Plaster on Brick Room 12	A P C				
PJ65200-34B	12/22/21	Plaster on Brick Room 13	A P C				
PJ65200-34C	12/22/21	Plaster on Brick Room 13	A P C				
PJ65200-35A	12/22/21	Pressed Wood - Tile Look w/ Mastic Room 8	A P C				
PJ65200-36A	12/22/21	Pressed Wood Ceiling Room 10	A P C				
PJ65200-36B	12/22/21	Pressed Wood Ceiling Room 10	A P C				
PJ65200-37A	12/22/21	Pressed Wood w/ Yellow & Black Mastic Room 6	A P C				
PJ65200-37B	12/22/21	Pressed Wood w/ Yellow & Black Mastic Room 6	A P C				
PJ65200-38A	12/22/21	Transite Panel Room 14	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21

Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By: Ch Chipp Date / Time: 12/23/21	Relinquished By: Date / Time:	Relinquished By: Date / Time:
Received By: Date / Time: DEC 27 2021 aym Condition Acceptable? ☐ Yes ☐ No FY	Received By: Date / Time: Condition Acceptable? ☐ Yes ☐ No	Received By: Date / Time: Condition Acceptable? ☐ Yes ☐ No

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BY: SGS Forensic Laboratories may subcontract client samples to other SGSFL locations to meet client requests.

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Analysis Request Form (COC)

Client Name & Address: FACS Modesto 207 McHenry Ave Modesto, CA 95354	Client No.: MOD08
PO / Job#: PJ65200	Date: 12/22/2021
Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day	
☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer	
☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435	
Contact: Chris Chipponeri	Phone: (209) 238-7175
E-mail: CChipponeri@ForensicAnalyital.com	☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402 ☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield ☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight % ☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)
Site Name: City of Fresno Warehouse	☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot ☐ Particle Identification (TEM LAB) ☐ Special Project
Site Location: 735 H Street	☐ Metals Analysis Matrix: Method: Analytes:
Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 9 of 10**	☐ Silica in Air ☐ w/Gravimetry ☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-38B	12/22/21	Transite Panel Room 14	A P C				
PJ65200-39A	12/22/21	Vibration Dampener Room 8	A P C				
PJ65200-39B	12/22/21	Vibration Dampener Room 8	A P C				
PJ65200-40A	12/22/21	Vinyl Counter Top Room 6	A P C				
PJ65200-41A	12/22/21	Vinyl Sheet Flooring - Black Room 12	A P C				
PJ65200-41B	12/22/21	Vinyl Sheet Flooring - Black Room 12	A P C				
PJ65200-42A	12/22/21	Vinyl Stair Tread Room 9B	A P C				
PJ65200-43A	12/22/21	Wire Insulation Room 17	A P C				
PJ65200-44A	12/22/21	Fiberglass Insulation Paper Room 8	A P C				
PJ65200-44B	12/22/21	Fiberglass Insulation Paper Room 8	A P C				

Sampled By: CChipponeri Date/Time: 12/22/21 Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By: Chr Chipp Date / Time: 12/23/21	Relinquished By: Date / Time:	Relinquished By: Date / Time:
Received By: RECEIVED DEC 27 2021 Date / Time: Condition Acceptable? ☐ Yes ☐ No	Received By: Date / Time: Condition Acceptable? ☐ Yes ☐ No	Received By: Date / Time: Condition Acceptable? ☐ Yes ☐ No

SGS FORENSIC LABORATORIES

Analysis Request Form (COC)

Client Name & Address:
FACS Modesto
207 McHenry Ave
Modesto, CA 95354

Client No.: MOD08

PO / Job#: PJ65200

Date: 12/22/2021

Turn Around Time: Same Day / 1Day / 2Day / 3Day / 4Day / 5Day

☐ PCM: ☐ NIOSH 7400A / ☐ NIOSH 7400B ☐ Rotometer

☒ PLM: ☒ Standard / ☐ Point Count 400 - 1000 / ☐ CARB 435

Contact: Chris Chipponeri

Phone: (209) 238-7175

E-mail: CChipponeri@ForensicAnalyital.com

☐ TEM Air: ☐ AHERA / ☐ Yamate2 / ☐ NIOSH 7402
☐ TEM Bulk: ☐ Quantitative / ☐ Qualitative / ☐ Chatfield
☐ TEM Water: ☐ Potable / ☐ Non-Potable / ☐ Weight %
☐ TEM Dust: ☐ D5755 (microvac) / ☐ D6480 (wipe)

Site Name: City of Fresno Warehouse

☐ IAQ Particle Identification (PLM LAB) ☐ PLM Opaques/Soot
☐ Particle Identification (TEM LAB) ☐ Special Project

Site Location: 735 H Street

☐ Metals Analysis Matrix: Method:
Analytes:

Comments: **Please provide a copy of results to Drew.Davis@forensicanalytical.com | Page 10/10**

☐ Silica in Air ☐ w/Gravimetry
☐ Quartz Only

Sample ID	Date / Time	Sample Location / Description	FOR AIR SAMPLES ONLY				Sample Area / Air Volume
			Type	Time On/Off	Avg LPM	Total Time	
PJ65200-44C	12/22/21	Fiberglass Insulation Paper Room 8	A P C				
PJ65200-45A	12/22/21	9" VFT - Black Room 12	A P C				
PJ65200-45B	12/22/21	9" VFT - Black Room 12	A P C				
PJ65200-46A	12/22/21	Vinyl Sheet Flooring - Wood Room 12	A P C				
PJ65200-46B	12/22/21	Vinyl Sheet Flooring - Wood Room 12	A P C				
PJ65200-47A	12/22/21	Mirror Mastic Room 14	A P C				
			A P C				
			A P C				
			A P C				
			A P C				

Sampled By: CChipponeri Date/Time: 12/22/21

Shipped Via: ☒ Fed Ex ☐ UPS ☐ US Mail ☐ Courier ☐ Drop Off ☐ Other:

Relinquished By:	Relinquished By:	Relinquished By:
Date / Time: 12/23/21	Date / Time:	Date / Time:
Received By:	Received By:	Received By:
Date / Time: DEC 27 2021 12pm	Date / Time:	Date / Time:
Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No	Condition Acceptable? ☐ Yes ☐ No

RECEIVED BY:

SGS FORENSIC LABORATORIES

Amended Report

Bulk Asbestos Analysis

(EPA Method 40CFR, Part 763, Appendix E to Subpart E and EPA 600/R-93-116, Visual Area Estimation)
NVLAP Lab Code: 101459-0

FACS - Fresno
Tyler Faison
21228 Cabot Blvd.

Hayward, CA 94545

Client ID: FR09
Report Number: B327113
Date Received: 12/27/21
Date Analyzed: 01/14/22
Date Printed: 01/14/22
First Reported: 01/04/22

Job ID/Site: PJ65200; TAM+CZ ARCHITECTS, INC. 735 H Street Fresno CA

Date(s) Collected: 12/22/2021

SGSFL Job ID: FR09
Total Samples Submitted: 96
Total Samples Analyzed: 96

Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-01A	12512916						
Layer: Brown Mastic			**ND**				
Layer: Tan Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-01B	12512917						
Layer: Brown Mastic			**ND**				
Layer: Tan Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-02A	12512918						
Layer: Tan Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-02B	12512919						
Layer: Tan Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-03A	12512920						
Layer: Brown Tile			**ND**				
Layer: Tan Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-03B	12512921						
Layer: Brown Tile			**ND**				
Layer: Tan Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-04A	12512922						
Layer: Green Tile			**ND**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-05A	12512923						
Layer: Tan Tile		Chrysotile	**2 %**				
Layer: Yellow Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (2%)**					
PJ65200-05B	12512924						
Layer: Tan Tile		Chrysotile	**2 %**				
Layer: Yellow Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (2%)**					
PJ65200-06A	12512925						
Layer: Brown Tile		Chrysotile	**5 %**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (5%)**					
PJ65200-07A	12512926						
Layer: Tan Tile		Chrysotile	**5 %**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (5%)**					
PJ65200-08A	12512927						
Layer: Black Non-Fibrous Material			**ND**				
Layer: Beige Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-09A	12512928						
Layer: Black Non-Fibrous Material			**ND**				
Layer: Beige Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-10A	12512929						
Layer: Beige Tile			**ND**				
Layer: Yellow Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace) Talc (10 %)		**Asbestos (ND)**					

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PJ65200-11A	12512930						
Layer: Tan Tile		Chrysotile	**2 %**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (2%)**					
Cellulose (Trace) Talc (10 %)							
PJ65200-11B	12512931						
Layer: Tan Tile		Chrysotile	**2 %**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (2%)**					
Cellulose (Trace) Talc (10 %)							
PJ65200-12A	12512932						
Layer: Grey Fibrous Material		Chrysotile	**70 %**				
Total Composite Values of Fibrous Components:		**Asbestos (70%)**					
Cellulose (25 %)							
PJ65200-12B	12512933						
Layer: Grey Fibrous Material		Chrysotile	**70 %**				
Total Composite Values of Fibrous Components:		**Asbestos (70%)**					
Cellulose (25 %)							
PJ65200-12C	12512934						
Layer: Grey Fibrous Material		Chrysotile	**70 %**				
Total Composite Values of Fibrous Components:		**Asbestos (70%)**					
Cellulose (25 %)							
PJ65200-13A	12512935						
Layer: Black Felt			**ND**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (85 %)							
PJ65200-14A	12512936						
Layer: Grey Fibrous Material			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (Trace) Fibrous Glass (99 %)							
PJ65200-14B	12512937						
Layer: Grey Fibrous Material			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (Trace) Fibrous Glass (99 %)							
PJ65200-14C	12512938						
Layer: Grey Fibrous Material			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (Trace) Fibrous Glass (99 %)							

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-15A	12512939						
Layer: White Mortar			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-15B	12512940						
Layer: White Mortar			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-15C	12512941						
Layer: Red Cementitious Material			**ND**				
Layer: White Mortar			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-15D	12512942						
Layer: Red Cementitious Material			**ND**				
Layer: White Mortar			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-15E	12512943						
Layer: White Mortar			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-16A	12512944						
Layer: Brown Carpet			**ND**				
Layer: Beige Mastic			**ND**				
Layer: Multicolored Foam			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace) Synthetic (85 %)		**Asbestos (ND)**					
PJ65200-17A	12512945						
Layer: Grey Carpet			**ND**				
Layer: Beige Mastic			**ND**				
Layer: Multicolored Foam			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace) Synthetic (85 %)		**Asbestos (ND)**					
PJ65200-18A	12512946						
Layer: Multicolored Carpet			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace) Synthetic (85 %)		**Asbestos (ND)**					

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-19A	12512947						
Layer: Tan Carpet			**ND**				
Layer: Beige Mastic			**ND**				
Layer: Multicolored Foam			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace) Synthetic (85 %)		**Asbestos (ND)**					
PJ65200-20A	12512948						
Layer: Grey Cementitious Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-20C	12512949						
Layer: Grey Cementitious Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-20D	12512950						
Layer: Grey Cementitious Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-20E	12512951						
Layer: Grey Cementitious Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-20F	12512952						
Layer: Grey Cementitious Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-21A	12512953						
Layer: Tan Fibrous Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-22A	12512954						
Layer: White Drywall			**ND**				
Layer: Off-White Joint Compound		Chrysotile	**2 %**				
Layer: White Tape			**ND**				
Layer: Off-White Texture		Chrysotile	**2 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (20 %) Fibrous Glass (10 %)		**Asbestos (Trace)**					

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-22B	12512955						
Layer: White Drywall			**ND**				
Layer: Off-White Joint Compound		Chrysotile	**2 %**				
Layer: White Tape			**ND**				
Layer: Off-White Texture		Chrysotile	**2 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (Trace)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-22C	12512956						
Layer: White Drywall			**ND**				
Layer: Off-White Joint Compound		Chrysotile	**2 %**				
Layer: White Tape			**ND**				
Layer: Off-White Texture		Chrysotile	**2 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (Trace)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-23A	12512957						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-23B	12512958						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-23C	12512959						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-23D	12512960						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-23E	12512961						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-24A	12512962						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-24B	12512963						
Layer: White Drywall			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-24C	12512964						
Layer: White Drywall			**ND**				
Layer: White Joint Compound		Chrysotile	**2 %**				
Layer: Tan Tape			**ND**				
Layer: White Texture		Chrysotile	**2 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (Trace)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-24D	12512965						
Layer: White Drywall			**ND**				
Layer: Off-White Joint Compound		Chrysotile	**2 %**				
Layer: White Tape			**ND**				
Layer: Off-White Texture		Chrysotile	**2 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (Trace)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-25A	12512966						
Layer: White Drywall			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-25B	12512967						
Layer: White Drywall			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (10 %)							
PJ65200-26A	12512968						
Layer: White Tape			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (90 %)							
PJ65200-26B	12512969						
Layer: White Tape			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (90 %)							

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-27A	12512970						
Layer: Yellow Tape			**ND**				
Total Composite Values of Fibrous Components: Cellulose (90 %)		**Asbestos (ND)**					
PJ65200-28A	12512971						
Layer: White Joint Compound			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-28B	12512972						
Layer: White Joint Compound			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-29A	12512973						
Layer: Black Non-Fibrous Material		Chrysotile	**2 %**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (2%)**					
PJ65200-29B	12512974						
Layer: Black Non-Fibrous Material		Chrysotile	**2 %**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (2%)**					
PJ65200-30A	12512975						
Layer: Brown Fibrous Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-30B	12512976						
Layer: Brown Fibrous Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-30C	12512977						
Layer: Brown Fibrous Material			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-31A	12512978						
Layer: Black Felt			**ND**				
Total Composite Values of Fibrous Components: Cellulose (90 %)		**Asbestos (ND)**					
PJ65200-31B	12512979						
Layer: Black Felt			**ND**				
Total Composite Values of Fibrous Components: Cellulose (90 %)		**Asbestos (ND)**					

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-32A	12512980						
Layer: Black Felt			**ND**				
Total Composite Values of Fibrous Components: Cellulose (90 %)		**Asbestos (ND)**					
PJ65200-32B	12512981						
Layer: Black Felt			**ND**				
Total Composite Values of Fibrous Components: Cellulose (90 %)		**Asbestos (ND)**					
PJ65200-33A	12512982						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-33B	12512983						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-33C	12512984						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-33D	12512985						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-33E	12512986						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-34A	12512987						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-34B	12512988						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer
PJ65200-34C	12512989						
Layer: Off-White Plaster			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (ND)**					
PJ65200-35A	12512990						
Layer: Brown Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-36A	12512991						
Layer: Brown Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-36B	12512992						
Layer: Brown Fibrous Material			**ND**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-37A	12512993						
Layer: Yellow Mastic			**ND**				
Layer: Brown Fibrous Material			**ND**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-37B	12512994						
Layer: Yellow Mastic			**ND**				
Layer: Brown Fibrous Material			**ND**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components: Cellulose (95 %)		**Asbestos (ND)**					
PJ65200-38A	12512995						
Layer: Grey Semi-Fibrous Material		Chrysotile	**10 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (10%)**					
PJ65200-38B	12512996						
Layer: Grey Semi-Fibrous Material		Chrysotile	**10 %**				
Layer: Paint			**ND**				
Total Composite Values of Fibrous Components: Cellulose (Trace)		**Asbestos (10%)**					

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PJ65200-39A	12512997						
Layer: Grey Fibrous Material		Chrysotile	**50 %**				
Total Composite Values of Fibrous Components:		**Asbestos (50%)**					
Cellulose (45 %) Synthetic (5 %)							
PJ65200-39B	12512998						
Layer: Grey Fibrous Material		Chrysotile	**50 %**				
Total Composite Values of Fibrous Components:		**Asbestos (50%)**					
Cellulose (45 %) Synthetic (5 %)							
PJ65200-40A	12512999						
Layer: Grey Non-Fibrous Material			**ND**				
Layer: Black Fibrous Backing			**ND**				
Layer: Brown Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (40 %) Synthetic (10 %)							
PJ65200-41A	12513000						
Layer: Dark Brown Sheet Flooring			**ND**				
Layer: Black Fibrous Backing			**ND**				
Layer: Brown Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (35 %) Synthetic (5 %)							
PJ65200-41B	12513001						
Layer: Dark Brown Sheet Flooring			**ND**				
Layer: Black Fibrous Backing			**ND**				
Layer: Brown Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (35 %) Synthetic (5 %)							
PJ65200-42A	12513002						
Layer: Black Non-Fibrous Material			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (Trace)							
PJ65200-43A	12513003						
Layer: Tan Woven Material			**ND**				
Layer: Black Non-Fibrous Material			**ND**				
Layer: Tan Woven Material			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (80 %)							
PJ65200-44A	12513004						
Layer: Yellow Fibrous Material			**ND**				
Layer: Brown Fibrous Material			**ND**				
Layer: Black Tar			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (70 %)							

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PJ65200-44B	12513005						
Layer: Yellow Fibrous Material			**ND**				
Layer: Brown Fibrous Material			**ND**				
Layer: Black Tar			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (70 %)							
PJ65200-44C	12513006						
Layer: Yellow Fibrous Material			**ND**				
Layer: Brown Fibrous Material			**ND**				
Layer: Black Tar			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (20 %) Fibrous Glass (70 %)							
PJ65200-45A	12513007						
Layer: Tan Tile		Chrysotile	**5 %**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (5%)**					
Cellulose (Trace)							
PJ65200-45B	12513008						
Layer: Tan Tile		Chrysotile	**5 %**				
Layer: Black Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (5%)**					
Cellulose (Trace)							
PJ65200-46A	12513009						
Layer: Brown Sheet Flooring			**ND**				
Layer: Black Fibrous Backing			**ND**				
Layer: Brown Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (80 %) Synthetic (5 %)							
PJ65200-46B	12513010						
Layer: Brown Sheet Flooring			**ND**				
Layer: Black Fibrous Backing			**ND**				
Layer: Brown Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (80 %) Synthetic (5 %)							
PJ65200-47A	12513011						
Layer: Yellow Foam			**ND**				
Layer: Yellow Mastic			**ND**				
Total Composite Values of Fibrous Components:		**Asbestos (ND)**					
Cellulose (Trace)							

Note: Samples out of order.

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Sample ID	Lab Number	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer	Asbestos Type	Percent in Layer

Tad Thrower, Laboratory Supervisor, Hayward Laboratory

Note: Limit of Quantification ('LOQ') = 1%. 'Trace' denotes the presence of asbestos below the LOQ. 'ND' = 'None Detected'.

3777 Depot Road, Suite 409, Hayward, CA 94545 / Telephone: (510) 887-8828 (800) 827-FASI / Fax: (510) 887-4218

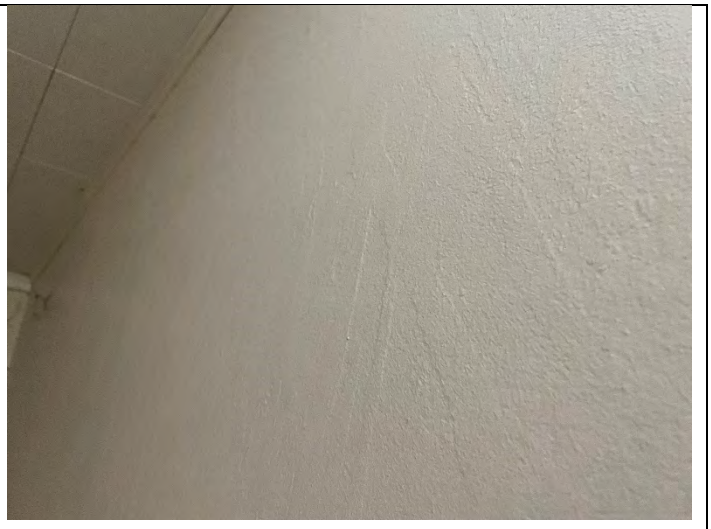
Appendix B
Site Photos and Sample Location Drawings

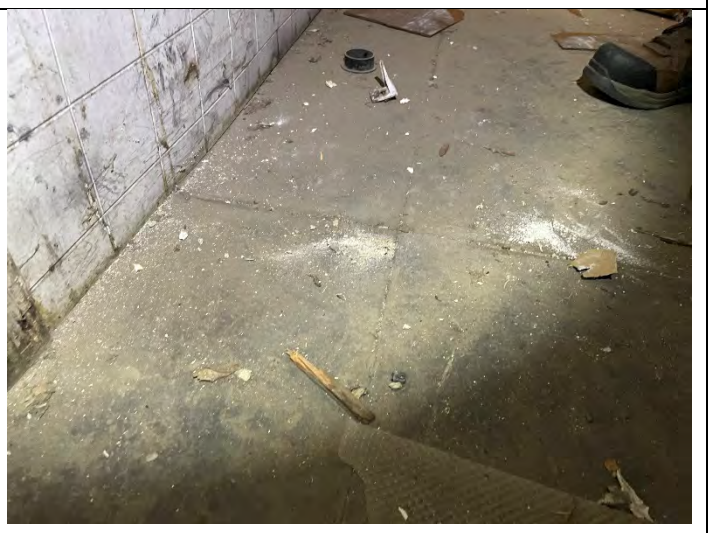
735 H Street; Exterior View

Loading Dock Concrete - Damaged

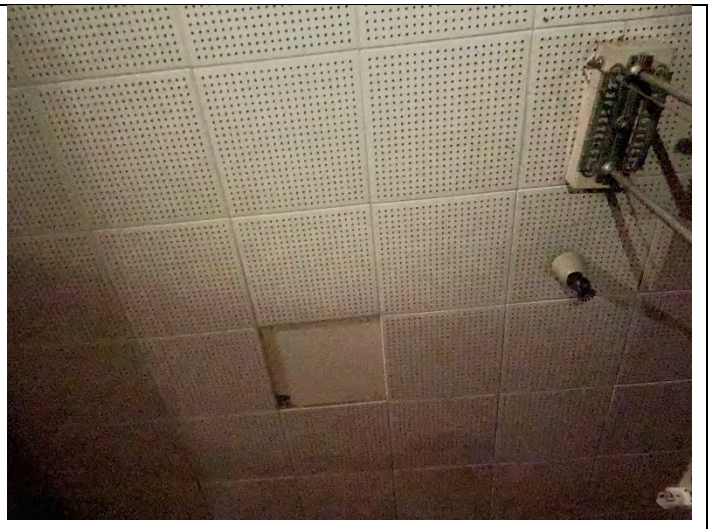
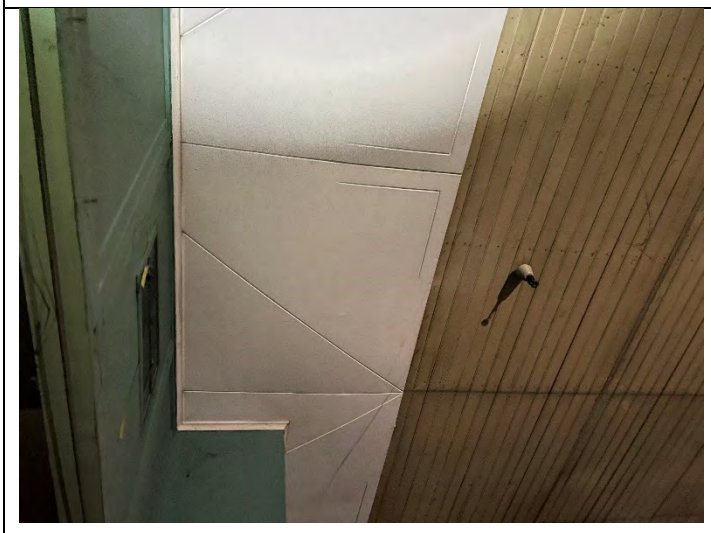
9-inch Vinyl Floor Tile – Gray Pebble

Room 1 Carpets – Gray (above) & Tan (below)

	
4-inch Vinyl Baseboard	Drywall – Skip Trowel Texture
	
12-inch Acoustic Ceiling Tile – Pinhole	Carpet - Gray

	
6-inch Vinyl Baseboard	Hallway Flooring
	
Drywall w/ Wallpaper	Concrete Flooring

	
Black and Yellow Mastic Under Floor Tile	3'x3' Floor Tile - Black
	
9-inch Vinyl Floor Tile w/ Black Mastic	9-inch Vinyl Floor Tile w/ Black Mastic

	
Pressed Wood Panel Ceiling	12-inch Acoustic Ceiling Tile – Uniform Hole
	
Pressed Wood Panel Ceiling	Vinyl Sheet Flooring – Wood Look

	
Drywall – Smooth & Mirror w/ Mastic	Drywall – Smooth Texture
	
Brick and Mortar – Basement	12- inch Vinyl Floor Tile - Marble

	
Vinyl Sheet Flooring - Wood	9-inch Vinyl Floor Tile - Black
	
Drywall – Smooth w/ Paint Sample Removed	Wire Insulation

	
Plaster on Brick	Brick and Mortar Fireplace
	
Brick and Mortar	Unfinished Drywall

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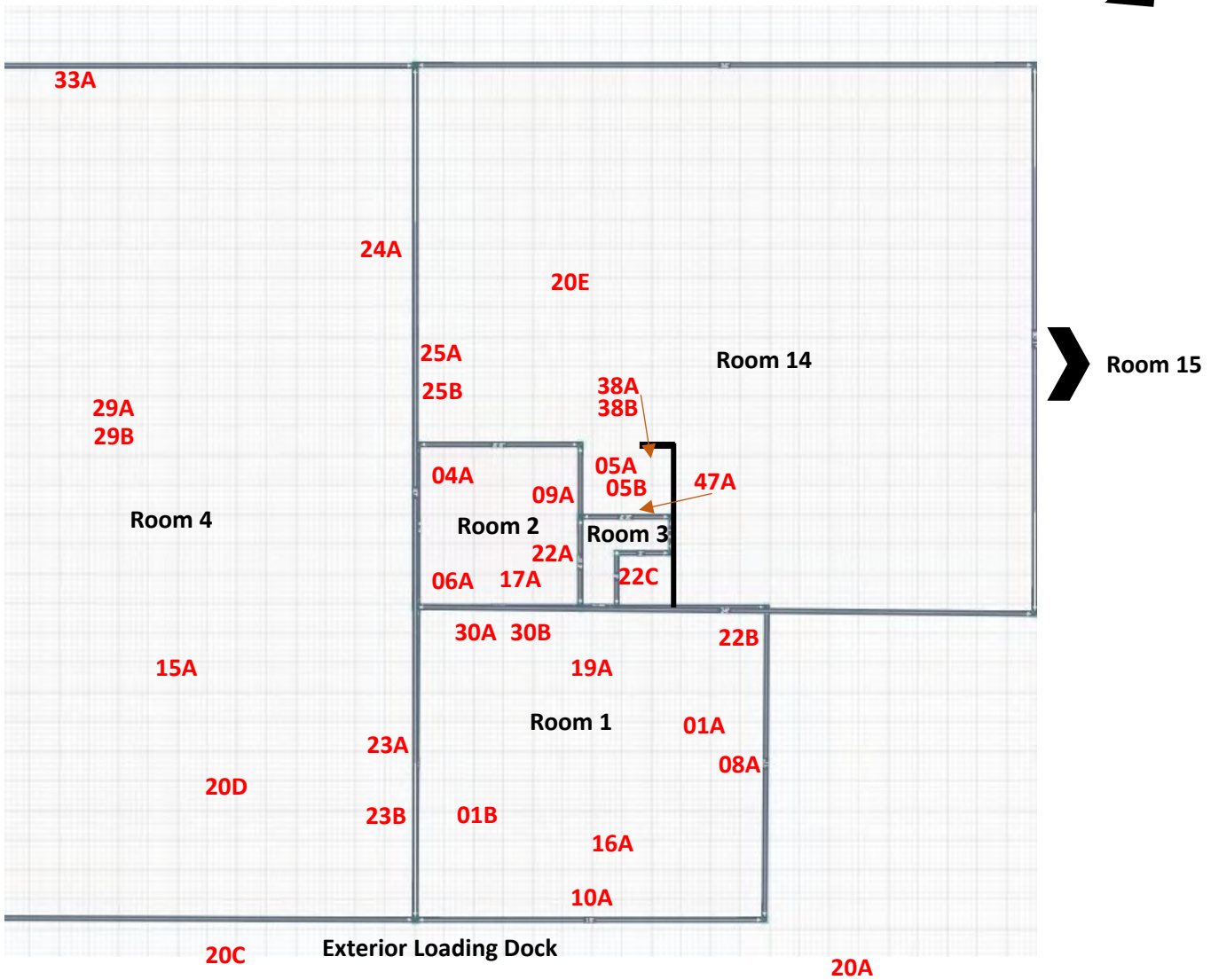
MAP WITH ASSOCIATED SAMPLE LOCATIONS

Site Name:	735 H Street – City of Fresno Warehouse
Address:	735 H Street, Fresno, CA 93721
Date:	12-22-2021

735 H Street
Rooms 1-4, 14



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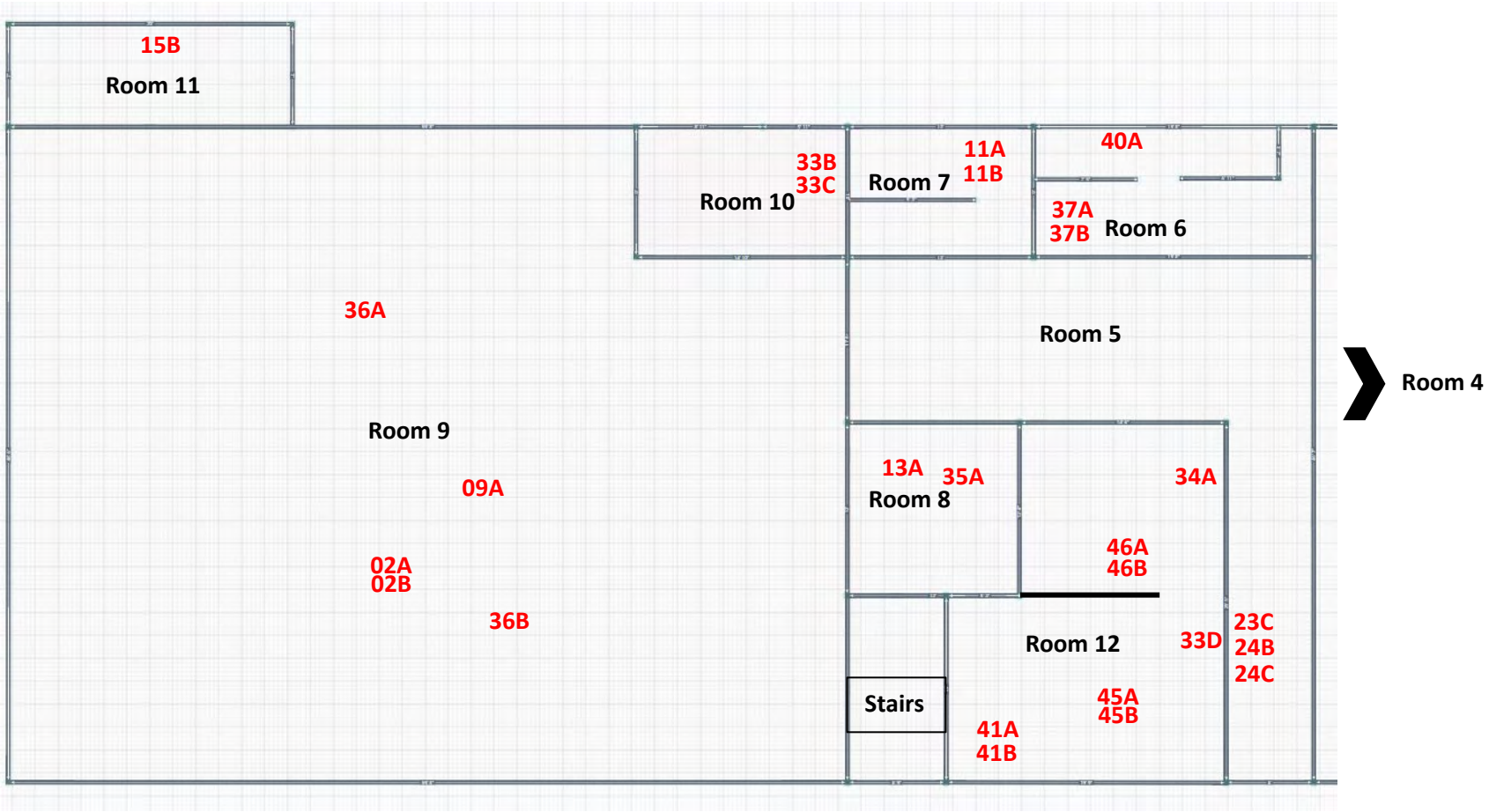
735 H Street – East End
Rooms 5-12



FACS
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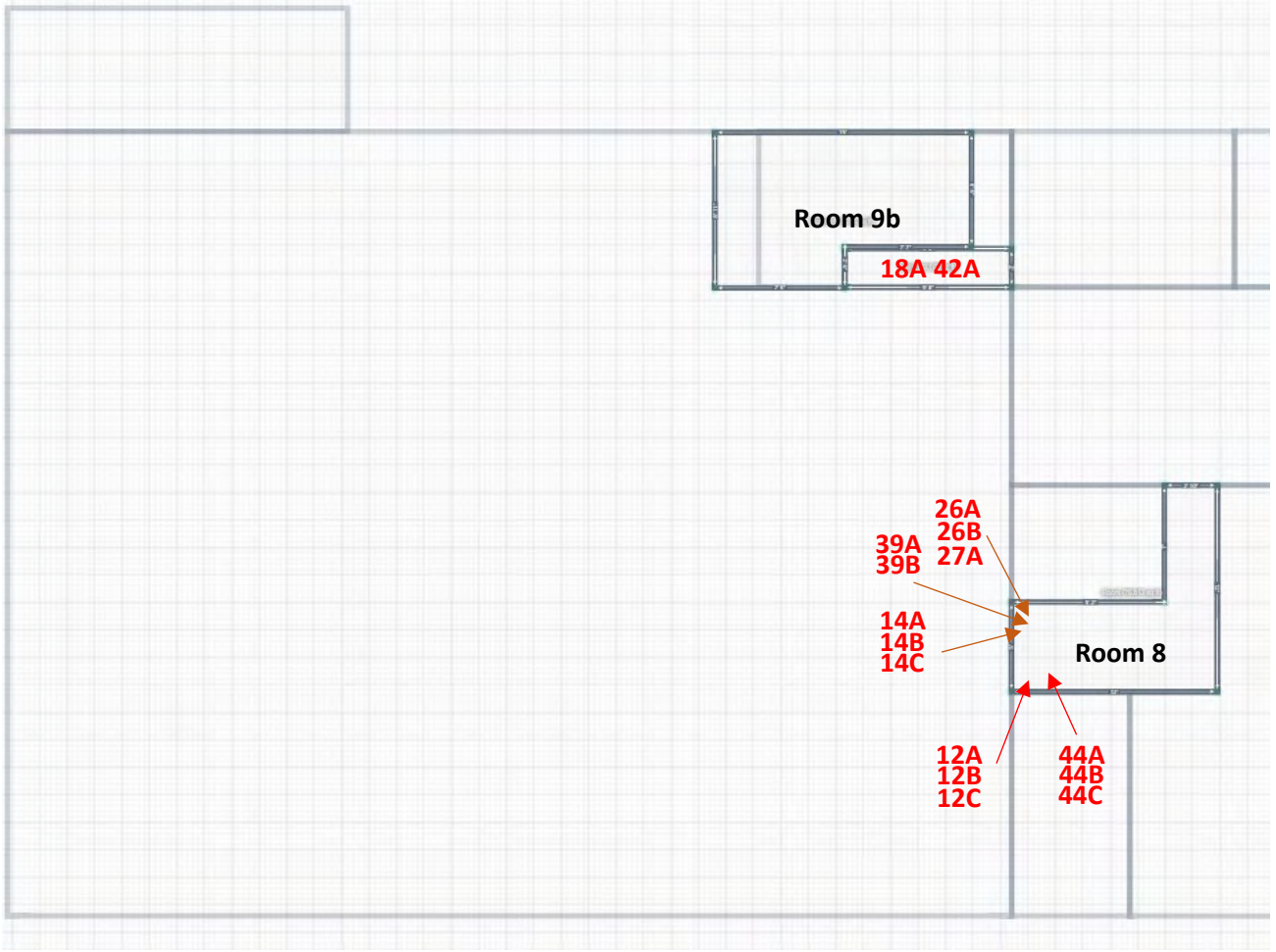
735 H Street – West End
Room 16 East End

735 H Street – Upper Level
Rooms 9b and 8 Attic



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735 H Street – Sub Level
Room 13

735 H Street – Sub Level
Rooms 17 and 18

Appendix C

Certifications of Personnel and Laboratory

STATE OF CALIFORNIA — Gavin Newsom, Governor

DEPARTMENT OF INDUSTRIAL RELATIONS
Division of Occupational Safety and Health
Asbestos Certification & Training Unit
1750 Howe Avenue, Suite 460
Sacramento, CA 95825
(916) 574-2993 Office http://www.dir.ca.gov/dosh/asbestos.html acru@dir.ca.gov

005174633C **339**

May 20, 2021

Christopher J Chipponeri
1401 Louise Avenue
Modesto CA 95350

Dear Certified Asbestos Consultant or Technician:

Enclosed is your certification card. **To maintain your certification, you must abide by the rules printed on the back of the certification card.**

Your certification is valid for a period of one year. If you wish to renew your certification, you must apply for renewal at least 60 days before the expiration date shown on your card. [8 CCR 341.15(h)(1)].

Please hold and do not send copies of your required AHERA refresher renewal certificates to our office until you apply for renewal of your certification.

Certificates must be kept current if you are actively working as a CAC or CSST. The grace period is only for those who are not actively working as an asbestos consultant or site surveillance technician.

Please notify our office via U.S. Postal Service or other carrier of any changes in your mailing or work address within 15 days of the change.

Sincerely,

Jeff Ferrell
Senior Safety Engineer

Attachment: Certification Card

cc: File

Renewal – Card Attached (Revised 06/2020)

Forensic Analytical Consulting Services, Inc.

This is to confirm that

Chris Chipponeri

Has attended the four-hour

AHERA Refresher Course for Asbestos Inspectors

And has completed the requisite training and passed the exam for

asbestos accreditation under TSCA Title II

September 10, 2021

Certificate Number: FACSBIR1140

Valid Until: September 10, 2022

Cal/OSHA Approval Number: CA-025-06

FACS
Forensic Analytical
Consulting Services

David B. McGrath, Corporate Training Director
Forensic Analytical Consulting Services,Inc.
21228 Cabot Blvd, Hayward, CA 94545
(800) 677-1483

National Voluntary Laboratory Accreditation Program

SCOPE OF ACCREDITATION TO ISO/IEC 17025:2017

SGS Forensic Laboratories
3777 Depot Road, Suite 409
Hayward, CA 94545-2761
Mr. Steven Takahashi
Phone: 310-294-4365 Fax: 310-764-1136
Email: steven.takahashi@sgs.com
http://www.falaboratories.com

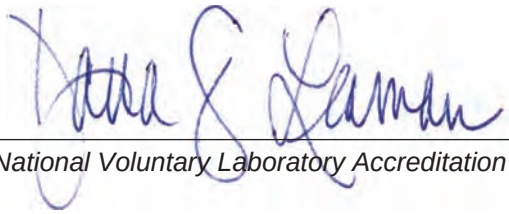
ASBESTOS FIBER ANALYSIS — NVLAP LAB CODE 101459-0

Bulk Asbestos Analysis

Code	*Description*
18/A01	EPA -- 40 CFR Appendix E to Subpart E of Part 763, Interim Method of the Determination of Asbestos in Bulk Insulation Samples
18/A03	EPA 600/R-93/116: Method for the Determination of Asbestos in Bulk Building Materials

Airborne Asbestos Analysis

Code	*Description*
18/A02	U.S. EPA's "Interim Transmission Electron Microscopy Analytical Methods-Mandatory and Nonmandatory-and Mandatory Section to Determine Completion of Response Actions" as found in 40 CFR, Part 763, Subpart E, Appendix A.



For the National Voluntary Laboratory Accreditation Program

United States Department of Commerce
National Institute of Standards and Technology

Certificate of Accreditation to ISO/IEC 17025:2017

NVLAP LAB CODE: 101459-0

SGS Forensic Laboratories

Hayward, CA

is accredited by the National Voluntary Laboratory Accreditation Program for specific services, listed on the Scope of Accreditation, for:

Asbestos Fiber Analysis

This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017. This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).

2021-07-01 through 2022-06-30

Effective Dates

For the National Voluntary Laboratory Accreditation Program

Right People

Right Perspective

Right Now

www.forensicanalytical.com

APPENDIX C
PRELIMINARY STRUCTURAL ASSESSMENT REPORT (2022)

PARRISH HANSEN
STRUCTURAL ENGINEERS
A DIVISION OF PROVOST & PRITCHARD CONSULTING GROUP

Mr. Rod Andreasen, Project Architect
Temple Andersen Moore Architects
6781 N. Palm Ave, Suite 120
Fresno, CA 93704

February 16, 2022

PRELIMINARY STRUCTURAL ASSESSMENT REPORT

Client: Temple Andersen Moore Architects

RE: H St. Building - Preliminary structural assessment of an existing building for future occupancy options

Facility:	Vacant warehouse type building
Location:	Northwest corner of H St. and Mono St., Fresno, CA
Owner:	City of Fresno, CA
Engineer:	Provost & Pritchard Consulting Group – Parrish Hansen Division
Project Manager:	Robert S. Parrish, S.E.
PH File No.:	02984-21-006

OBJECTIVE

The objective of this report is to provide the Client and Owner with information describing the type of construction, condition of materials, and code compliance issues related to occupancy category changes for re-use of the facility. Inspections are limited to cursory observations of the interior and exterior of the building without destructive efforts to expose materials not open to view. The information provided in this report is strictly related to the building structural systems and materials. No material identifications and testings are to be performed at this phase of assessment.

This report has been prepared for the use of the Client, Owner and any party authorized by either for the purpose of the intended services. This report shall not be used by any other party, or for any other purpose without the written consent of this Engineer.

LIMITATIONS

Inasmuch as it is understood by all parties to this effort that the Engineer is providing structural engineering evaluation services based on limited observations of the existing conditions, the comments, findings, and opinions expressed in this report are subject to further verification by analysis, detailed inspection, and material testing in order to gain increased confidence for determining the appropriate application of the information as related to future proposed occupancy options. Where assumptions of material type and strength are required to perform structural evaluations, assumptions are generally

made in general conformance to the most expected material type and grade that would have been used at the time of construction.

In the case of this building there is no information available to estimate the time of construction of various portions of the building structure. In that consideration, for the purpose of this assessment, materials are assumed as follows:

Wood: Construction Grade Doug-Fir.
Glu-lam: 1600F Doug-Fir.
Steel: Grade 30KSI.
Bolts: Grade 8.
Clay brick: f ’m = 1,000 psi
Concrete: f’c = 2,000 psi

No assumptions have been made to include higher than normal strengths of materials.

OBSERVATIONS

The building is a single-story construction with two basement spaces. The building is approximately 405 ft. long in the north-south dimension, and 50.5 ft. wide in the east-west dimension. One basement area is at the south end of the building and measures approximately 47 ft. x 47 ft. interior clear dimension between walls. The other basement is in the center portion of the building and measures 47 ft. wide x 100 ft. long clear between the walls.

The building roof construction is wood-framed with 2x4 joists (sub-purlins) @ 24” o.c. spacings, spanning between 4x14 solid wood purlins @ 8’-0” o.c. spacings. The purlins span between glued-laminated, tapered girders @ 24 ft. o.c. spacings, and between glued-laminated girder and the end masonry exterior walls at the north and south ends. The girders are supported within pockets through the upper extension walls at the east and west sides and extend through the wall extending as a cantilever for the east and west side overhangs.

The above grade exterior walls of the building are constructed of red clay brick in a two-wythe alternating pattern with what measures to be 8 ½” long x 3 ¾” wide brick units with a mortar joint of ½” thickness, resulting in a wall thickness of 12 ¾” to 13”. The brick portion of the walls is approximately 14 ft tall at the south section of the building and 16 ft. tall at the north end section. Bricks were laid in a ‘header course’, or ‘king row’ pattern at every 7 to 8 courses up the height of the brick portion of wall. These courses are for the purpose of ‘tying’ the inner and outer brick wythe course together and are an indication that the brick wall is unreinforced (no reinforcing steel).

Above the brick portion of the wall there is, what appears to be either a concrete wall section, or a framed wall with plaster coating each side. This section of wall is

approximately 6 ft. tall at the north section of the building, and 8 ft. tall at the south section of the building and extends to the roof deck. This section of the wall appears to have been added to the top of the original brick wall to extend the height of the building roof evidenced by the original roofline impression at the north end wall. There has been no official information provided explaining the reason for this extension to the brick wall, and access was not available to reach the height of the wall to attempt to determine what construction type was installed.

The basement walls are completely sub-terranean and similar to the above-grade walls in that construction consists of unreinforced clay brick of multi-wythe construction. The thickness of the basement walls could not be determined; however, it is expected that the thickness is greater than the above grade walls due to the function of the basement walls for soil retainment. The basement walls also exhibited 'header coursing' indicating unreinforced brick construction.

The floor framing over the basements is of diagonal wood sheathing spanning to the wood joists @ 16" o.c., which are supported by wood post and beam construction. The floors over the basement areas are covered over the top surface with steel plate for an unknown reason, other than it would be expected that previous occupancy may have involved heavy loading conditions such as material storage or vehicle traffic.

Beam supports to the posts are of varying types of bearings and attachments. The basement at the north end appeared to have wood posts that were added after the original construction, with bearing blocks set directly on the basement floor slab, while the original posts are setting on various bearing blocks of wood spreaders set on grout and brick pads. Whether there were footings under the basement floor slabs at the original posts could not be verified.

The east side of the building has a raised concrete loading dock slab that extends to H St. with no shoulder at the traffic lane. The loading dock is level with the interior floor slab of the building. The support wall for the loading dock slab is an unreinforced brick wall at H St.

OBSERVATIONS & DISCUSSIONS

Roof framing –

Observations of the roof framing indicated that some water infiltration had occurred in the interior portion at the north end as there is a section of roof where the plywood sheathing and joists had been replaced. Other locations were observed that indicate moisture damage may exist at the top of the roof sheathing. The exterior roof, especially at the east side, exhibited signs of moisture infiltration damage significant enough to suspect that fungal decay has occurred in the roof decking and framing. There are several locations where the east fascia beam is completely rotted and breaking loose of the

supporting beams. The roof structure is supporting only the weight of the roof structural components, as no insulation, ceiling, mechanical or electrical materials exists.

Refer to the 'Assessments' portion of this report for results of a preliminary load analysis of the structural roof components.

Above-grade exterior walls –

Throughout the entire building there are significant occurrences of extreme exfoliation of the interior and exterior surfaces of the bricks leaving piles of 'red-dust' and 'lamellar crusts' at the bottom of the walls. This type of exfoliation is due to deterioration of the brick material caused by years of moisture infiltration through the walls, evaporating from the wall surfaces, which occurs primarily at the lower courses of the wall where the exterior soil is moist and wicks up the exterior wall surface. The degree of exfoliation that was observed is extreme, and irreparable, indicative of an extremely long period of moisture exposure. In addition, the mortar joints in the lower portions of the walls are also highly deteriorated, even to the point of being completely missing from the joists, also due to exfoliation.

The most curious structural aspect of the building is the 6 ft. and 8 ft. high extension of the exterior wall, which occurs around the entire perimeter of the building. There are indications that the roof had been positioned at or near the top of the brick portion of the wall when originally constructed. It was suggested in a discussion at the site, although not verified, that the building had experienced a fire in the past that destroyed a major portion of the roof, and when the roof was re-built the roof height was raised by adding these extensions on top of the original brick wall. However, and for whatever reason the wall was increased in height, it is expected that the upper extension portion of the walls is of unreinforced concrete and results in a 38% to 60% increase in the original wall height, depending on which section of the building is being considered. This amount of height increase would result in a 90% to 150% increase in the stress level of the original wall when subjected to out-of-plane wind or seismic loads. This is an extreme increase in seismic/wind risk from the original intended construction.

Observations around the perimeter of the roof at the top of the concrete portion of the wall do not exhibit any 'out-of-plane' ties (connectors) or in-plane shear transfers, except that there are steel clip angles each side of the girders on the exterior face of the wall. This method of anchorage of the walls to the roof would be considered extremely minimal and not adding any significant strength to the seismic resisting integrity of the wall-to-roof connection.

Basement walls –

The brick and mortar materials of the basement walls are also extremely deteriorated exhibiting extreme exfoliation; however, the exfoliation is over the entire height of the

walls as these walls are soil retaining and constantly exposed to moist soil conditions over the full height. There are many locations where the mortar is completely missing from the joints. The surrounding mortar joints and brick units could easily be scraped away with a screwdriver.

Footings –

There are no portions of the perimeter of the building that were not covered by concrete pavement. Therefore, no observations could be made of the footings below the above

grade structural walls. To provide for observations of the footing systems concrete slabs would need to be removed alongside portions of the building where the basements do not occur and saw cutting of the interior basement slabs would be required to remove soil alongside the wall for observation of the basement footings.

Considering the type of brick construction of the above-grade and basement walls, and the vintage of original construction, it is anticipated that the footing system is a 'stacked' brick footing which would consist of layers of bricks widening with each layer to create a soil bearing width. Considering the degree of deterioration observed in the building and basement wall brick and mortar, it would be expected that the brick footings would have also experienced significant deterioration due to constant exposure to damp soil.

Ground floor –

The ground floor appeared to be concrete slab where the basements did not occur. These slab surfaces could not be observed due to the steel plate coverings.

The floors over the basement are wood-framed as described, however, it is curious that the north end basement has had posts added at some point after the original construction, reducing the floor beam spans to 50% of their original spans. There is also a section of the basement where joist framing that had experienced consecutive floor joist failure and had been repaired with doubler joists and a strongback spreader. There are some other areas where splitting of the joists has occurred. Some of these locations have not been repaired, and others have been repaired with various types of remediation methods indicating that failures had been occurring over a significant period of time.

Loading dock –

The loading dock concrete slab appeared to be reasonably level, however exhibiting significant conditions of cracking. The retaining wall at the H St. edge was constructed of unreinforced brick and covered over with a cement coating. The cement coating is highly deteriorated and much of the coating has spalled away leaving the brick exposed. There is a high degree of green moss on the surface of the brick and the bricks are extremely deteriorated.

ASSESMENTS

Roof Framing –

An analysis of the structural stresses of the roof framing components was performed using only the 'assumed' possible existing material weights, and assuming the grades of wood materials as described in this report. The results of the analyses are as described:

2x4 joists:
Assumed roof material weight –

Roofing (assumes built-up roof with re-cap)	=	6.0 psf
Plywood (5/8")	=	2.0 psf
2x4 joists	=	0.7 psf
	=	8.7 psf
Code required live load	=	20.0 psf

Under the assumed grade of material, dead weight loads and required design live loads the joists are overstressed by approximately 15% (1.15) of allowable stress limit, which indicates that the joists cannot sustain any added load for future remodeling.

4x14 purlins:
Assumed roof material weight –

Joist analysis weight (above)	=	8.7 psf
Purlin weight	=	1.5 psf
Misc.	=	0.5 psf
		10.7 psf
Code required live load	=	20.0 psf

Under the assumed grade of material, dead weight loads and required design live loads the purlins are overstressed by approximately 90% (1.90) of allowable stress limit, which indicates that the joists cannot sustain any added load for future remodeling, and if subjected to the required design loads, would be approaching stress levels close to expected material failure for new material, causing more concern in consideration of the age of the wood purlins.

Glued-laminated girders:

Assumed roof material weight –

Purlin analysis weight (above)	=	10.7 psf
Girder weight	=	40.0 plf
		297.0 plf

Under the assumed grade of material, dead weight loads and required design live loads the girders are overstressed by approximately 30% (1.30) of allowable stress limit, which indicates that the girders cannot sustain any added load for future remodeling.

Keeping in mind that the material species and grade levels are 'assumed' minimum stress levels that could have been used for the original construction materials, the roof framing system does not appear to be capable of supporting any added loads, should the addition of materials be required for any proposed future use.

Exterior walls –

Based on the type of unreinforced brick construction originally constructed to a height of 14 ft. and 16 ft., and considering the added extension of a 6 ft. and 8 ft. high concrete wall extending the walls to approximately +22 ft. above the floor elevation, the strength capacity of the wall would need to be evaluated for gravity, wind and seismic load considerations in order to establish a level of stress relative to strength. This analysis would require wall materials (brick and mortar) to be sampled and tested to establish allowable brick strengths, mortar strengths, and in-place shear strengths. These tests would need to be performed by a material testing agency.

However, the degree of brick and mortar deterioration at the lower portions of the above-grade walls is a telltale indication that the brick and mortar strengths throughout these areas will not be adequate enough to satisfy the minimum requirements for testing. The degree of deterioration of these lower level materials is far too extreme. Faces of the bricks are completely exfoliated and piles of brick and mortar dust occur at the base of the walls indicating a long-term period of deterioration resulting from moisture infiltration and evaporation.

Basement walls –

As discussed above for the above-grade walls, the basement walls are at a greater level of deterioration involving the brick and mortar materials, and deterioration occurs over the full height of the walls. The deterioration is so extreme that bricks and mortar are completely missing, not from being removed, but from the materials completely deteriorating into brick and mortar dust as can been seen in the piles of dust at the bottom of the walls on the floor slab.

There are some locations observed where the floor beams and header lintels over openings are bearing on brick pilasters and wall jambs where brick and mortar are completely missing below the beams.

Interior floors –

The interior wood framed floors over the basements should be evaluated for the capacity to support the intended occupancy live loads. All remediations of floor joist failures should be evaluated for the effectiveness of the repairs..

Exterior loading dock –

The loading dock slab is assumed to be a concrete slab-on-fill soil and would require replacement of many portions due to cracking conditions. The loading dock retainment wall at H St. should be removed and replaced due to the extreme degree of deterioration of the brick and mortar.

Gravity-load resistance –

As has been discussed previously in this report, the roof framing system cannot receive any additional material weight due to the existing stress levels analyzed under the building code requirements for dead and live loads. However, the results of the analysis should be understood that a live load does not currently exist, and that there does not appear to be any reason to suspect that failures would occur under the current dead loading condition. Those areas of damage and current failure are an exception and need to be remediated.

Although the existing framing is ‘legacied’ (grandfathered), the stress level results from our analyses are concerning, and at least warrant upgrading of the 4x purlins regardless of the future use of the building. It is also a recommendation that live loads (personnel access) be limited to this roof.
This is to say, however, that personnel should not be allowed to access the roof without understanding that a risk level exceeding the minimum code requirements does exist.

In consideration of the level of deterioration of the above-grade walls, it is expected that proper repair of the deteriorated brick and mortar would be extremely expensive, however, under gravity loading these walls do tend to distribute loads through better portions of the walls limiting the risk of an abrupt wall failure.

The basement walls are a different category of risk as they support the above-grade walls and floor beams and are depending on the remaining integrity of highly deteriorated brick and mortar for support. Considering the extreme degree of deterioration of these walls it is unpredictable when an abrupt local failure could occur involving loss of support of a floor beam, or the caving in of a portion of the exterior retainment wall. Replacement of these walls would be extremely expensive as the walls would need to be replaced in their entirety, or otherwise remediated with the installation of new reinforced concrete walls at the interior faces and modified supports for support of the above-grade walls and floor beams.

Lateral-load resistance –

The assessments of materials of the structural system have been described above for the local effects of gravity load conditions. However, a structural system relies on all parts of the structural system to be properly functioning for the effective resistance to lateral loads such as seismic (earthquake) activity and wind pressures. In the consideration of the conditions of this building there are many concerns for the seismic/wind resistance of the existing structural system.

This is a large 'open-space' building with 'heavy mass' unreinforced brick walls, minimal plywood roof diaphragm, and many openings in the east and south exterior walls. In addition, there does not exist any measurable connection between the exterior walls and the roof framing. Each of these characteristics alone are considered problematic for lateral-load resistance of a building. The combination of these characteristics provides for the worst case scenario for lateral-load resistance and establishes such minimal level of resistance to lateral loads, especially seismic activity, that this structure would be considered extremely 'unsafe' and at 'high risk' of collapse in the event of a minor to moderate seismic event.

Plywood roof sheathing resisting the lateral forces of thick masonry brick walls are subject to failure if not installed with the proper thickness, blocked edges, nailing, and limited diaphragm spans (distances between walls) creating diaphragm stiffness sufficient to limit deflections and distortions of the brick walls under seismic activity. In addition, the brick walls would require substantial connection to the roof, developed into the diaphragm to prevent the walls from pulling away from the roof resulting in roof and wall collapse. The integrity of the brick and mortar materials is important for the resistance of both in-plane and out-of-plane shear forces as these materials, when in a deteriorated state, will be subject to crumbling, again possibly resulting in roof and wall collapse.

The south end of the building has very little brick wall available for lateral load resistance as most of the length of the wall includes areas of large openings. The headers of these opening are inlaid into the brick piers further limiting their effective resistance to lateral shear loads even more. This wall would be expected to fail under minor levels of seismic forces.

The east wall is similar to the south wall in that there are many large openings along its length, and significant deterioration of the lower courses of brick. To compound the issue, the above-grade walls bear on top of the basement walls, relying on the extremely deteriorated basement walls for lateral-load shear transfers to the foundation/soil.

Based in this engineer's experience with evaluation of buildings subjected to seismic damage it is my opinion that this building could experience significant structural damage at a Richter level 4 event, and catastrophic damage, including collapse, at a Richter level 5 event.

CONCLUSIONS

Conclusions can only be made based on the owner's expectation for the structural performance of the existing building considering the owner's intent for public safety and the potential occupancy types for continued use. Assuming the new occupancy category keeps the building within the same 'Risk Category' as currently assigned, per Table 1604.5 of the California Building Code (CBC), structural remediations of certain conditions are required by the building code due to deficiencies and deteriorations; and structural upgrades, regardless of what is required by the building code, can be made voluntarily. Otherwise, if the new occupancy should put the building into a higher Risk Category, then the entire building would need to be brought into compliance with the building code as for new construction, including options for the application of the ASCE 41 methods for rehabilitation.

This being an existing building of significant age, unreinforced brick constructions, significant brick and mortar deteriorations, significant deficiencies in roof framing capability, and extreme deficiencies in resistance to seismic and wind forces, the questions that need to be answered are:

- What extent of remediation and code upgrade is required by the building codes based on the existing structural conditions, within the current building's Risk Category?

- What extent of public safety is desired for the intended occupancy that would warrant additional voluntary structural upgrades, without a change in the building's Risk Category?

- Will the intended Change of Occupancy require compliance with the Existing Building Code for structural upgrades due to a change in the building's Risk Category?

- Are there intended modifications to the building structure to accommodate the new occupancy which will trigger code compliance with affected portions of the structure?

In an attempt to provide answers to the above options, it should first be understood that, in the opinion of this engineer, the findings of this evaluation define the building as 'extremely dangerous' due to a combination of the many structural characteristics and conditions as noted above. This opinion is based on the historical experience of buildings of this type of construction when subjected to seismic activity, as unreinforced buildings without adequate wall-to-roof connections are the 'worst' of combined conditions for seismic resistance and are highly susceptible to collapse.

In the case of this building, the unreinforced character of the walls is only one character weakness, compounded by the level of brick and mortar deterioration, minimal diaphragm strength,

minimal wall pier at the south wall, absence of wall-to-roof connections and deficient capability of the roof structural components.

In consideration of these combinations of the characteristics it is this engineer's opinion that the remediations and upgrades required by the building code due solely to the existing structural deficiencies and deteriorations, without consideration of voluntary upgrades to enhance public safety, would cost considerably more than the replacement of this building with a new, similar type of construction. However, to evaluate the cost of required remediations and upgrades, in-place evaluations from a materials testing agency, and a masonry repair contractor would be required as this type of repair/replacement of brick masonry is a specialty construction and involves maintaining the support of the building walls above.

If the intent in the re-use of this building is to achieve a public safety performance level that would include an upgrade of the building's seismic/wind resisting system, then the combined cost of such rehabilitation along with the required remediations and upgrades would be that much more than replacement of the building and would not have achieved the level of seismic/wind resistance as a new structural system.

According to the California Existing Building Code, Appendix A, the purpose of this code section is for the strengthening of unreinforced masonry buildings, however, compliance with this code "will not necessarily prevent loss of life or injury or prevent earthquake damage to retrofitted buildings, as defined in the following code Section:

Chapter A1 Seismic Strengthening Provisions for Unreinforced Masonry Bearing Wall Buildings

Section A101 Purpose

[BS] A101.1 Purpose

The purpose of this chapter is to promote public safety and welfare by reducing the risk of death or injury from the effects of earthquakes on existing unreinforced masonry bearing wall buildings.

The provisions of this chapter are intended as minimum standards for structural seismic resistance, and are established primarily to reduce the risk of life loss or injury. Compliance with these provisions will not necessarily prevent loss of life or injury or prevent earthquake damage to retrofitted buildings.

To develop a scope of rehabilitation and cost estimate for this building the following information will be required:

- Establish an Occupancy Category for the proposed use of the building to determine if the Risk Category will change.

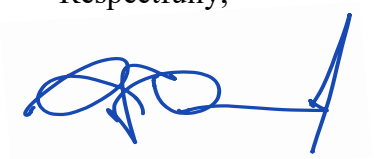
- Establish a level of public safety to be achieved in the upgrading and retrofitting of the building. (This is a subjective level of upgrade to be discussed with the owner.)

- Determine what, if any, modifications to the existing structure will be required by code specification for the new occupancy.

It is our hope that this preliminary assessment report covers enough information regarding the existing building descriptions and conditions to evaluate the potential for re-use of the building.

If you should have any questions regarding the information provided in this report please call my office.

Respectfully,



Robert S. Parrish
Structural Engineer
(S2331-CA)
Project Manager

Attachments: 16 photo sheets

PROJECT : H St. Warehouse Building	FILE No: 02984-21-006	SHEET : P1	PARRISH HANSEN STRUCTURAL ENGINEERS A DIVISION OF PROVOST & PRITCHARD CONSULTING GROUP
SUBJECT : Structural Assessment	DATE : 02-15-2022	OF : 16	

PHOTO #	COMMENTS : View of southeast corner at Mono St. and H St.
1	

PHOTO #	COMMENTS : View of west (back) side of building.
2	

PROJECT : H St. Warehouse Building	FILE No: 02984-21-006	SHEET : P2	PARRISH HANSEN STRUCTURAL ENGINEERS A DIVISION OF PROVOST & PRITCHARD CONSULTING GROUP
SUBJECT : Structural Assessment	DATE : 02-15-2022	OF : 16	

PHOTO #	COMMENTS : View of interior.
3	

PHOTO #	COMMENTS : View of roof purlins supported at the north end wall and glu-lam outrigger beam. Note the newer unpainted roof plywood and purlin.
4	

PROJECT : H St. Warehouse Building	FILE No: 02984-21-006	SHEET : P3	PARRISH HANSEN STRUCTURAL ENGINEERS A DIVISION OF PROVOST & PRITCHARD CONSULTING GROUP
SUBJECT : Structural Assessment	DATE : 02-15-2022	OF : 16	

PHOTO #	COMMENTS
5	View of east exterior wall, looking north. Note the upper portion of wall that appears to be an extension of the height of the original building.

PHOTO #	COMMENTS
6	View of south exterior wall, looking east. Note the number of openings closed up with plywood. This wall has very minimal seismic shear resistance. Note the headers inlaid to the brick piers.

PHOTO #	COMMENTS
7	Brick exfoliation at interior surface of the west wall. Note the extreme degree of deterioration of both brick and mortar.

PHOTO #	COMMENTS
8	Interior of west wall with plywood to cover over extreme deteriorations of the brick and mortar.

PHOTO #	COMMENTS
9	Northwest exterior corner. Note the mortar completely missing from joints.

PHOTO #	COMMENTS
10	Exterior of west wall. Note the extreme deterioration of the brick and mortar, and the plaster coat at the bottom applied to help prevent further damage.

PHOTO #	COMMENTS
11	Glu-lam girder extending through pocket in exterior wall. Note the clip angle bolted to the wall and beam (each side). This is the only method of connection of the exterior walls to the roof structure.

PHOTO #	COMMENTS
12	Interior opening between areas of the building. Note the grout at the header indicating a repair or replacement of the original header system.

PROJECT : H St. Warehouse Building	FILE No: 02984-21-006	SHEET : P7	PARRISH HANSEN STRUCTURAL ENGINEERS A DIVISION OF PROVOST & PRITCHARD CONSULTING GROUP
SUBJECT : Structural Assessment	DATE : 02-15-2022	OF : 16	

BOTTOM

PHOTO # 13	COMMENTS : View of the underneath of the east roof deck over the loading dock. Staining and peeling of the paint is due to moisture infiltration to the roof structure.

PHOTO # 14	COMMENTS : East roof overhang. Rotted roof deck and fascia beam.

PHOTO # 15	COMMENTS : View of the bottom of a portion of the basement wall. Extreme brick and mortar deterioration.

PHOTO # 16	COMMENTS : A typical basement wall surface with extreme brick and mortar deterioration. Note the ‘Red Dust” piled at the bottom of the wall. Evidence of a very long term condition beyond repair.

PHOTO # 17	COMMENTS : Basement wall deterioration in pilaster supporting a main floor beam.

PHOTO # 18	COMMENTS : Basement wall brick and mortar deterioration. The brick on the floor was easily removed by hand.

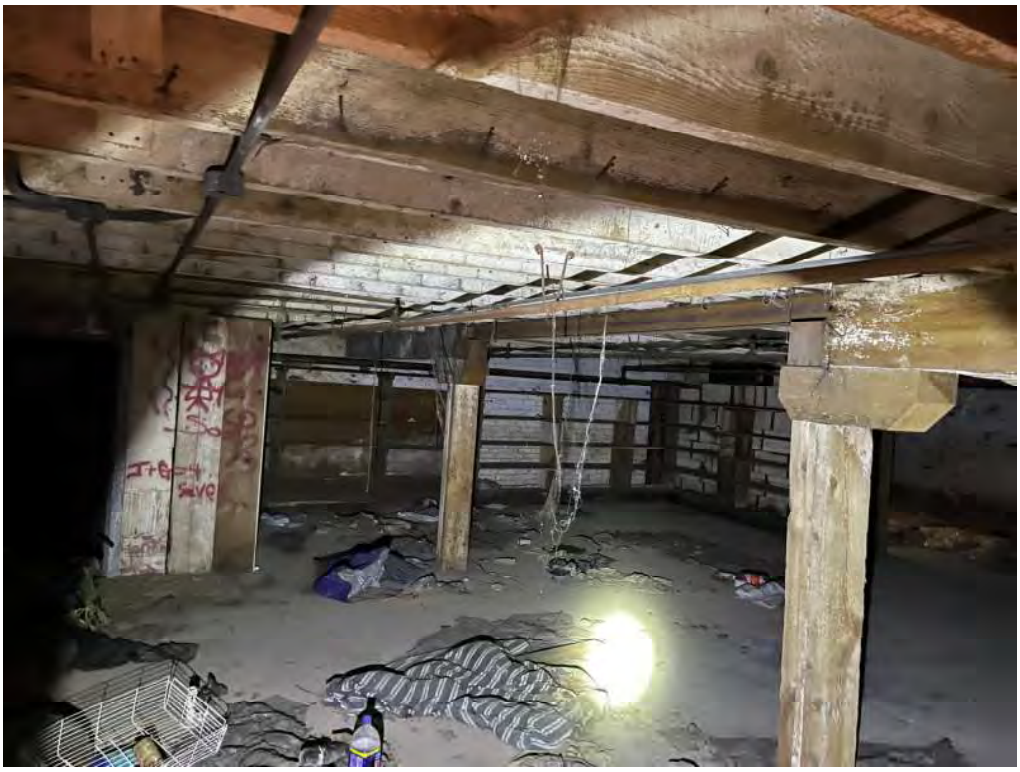


PHOTO #	COMMENTS
19	South basement floor framing. Unconventional floor beam supports.

PHOTO #	COMMENTS
20	View of floor joists setting on basement wall wood plate. Blockings between joists do not have connections to the wood plate. Not shear resistance exists between the floor and the basement wall.

BOTTOM

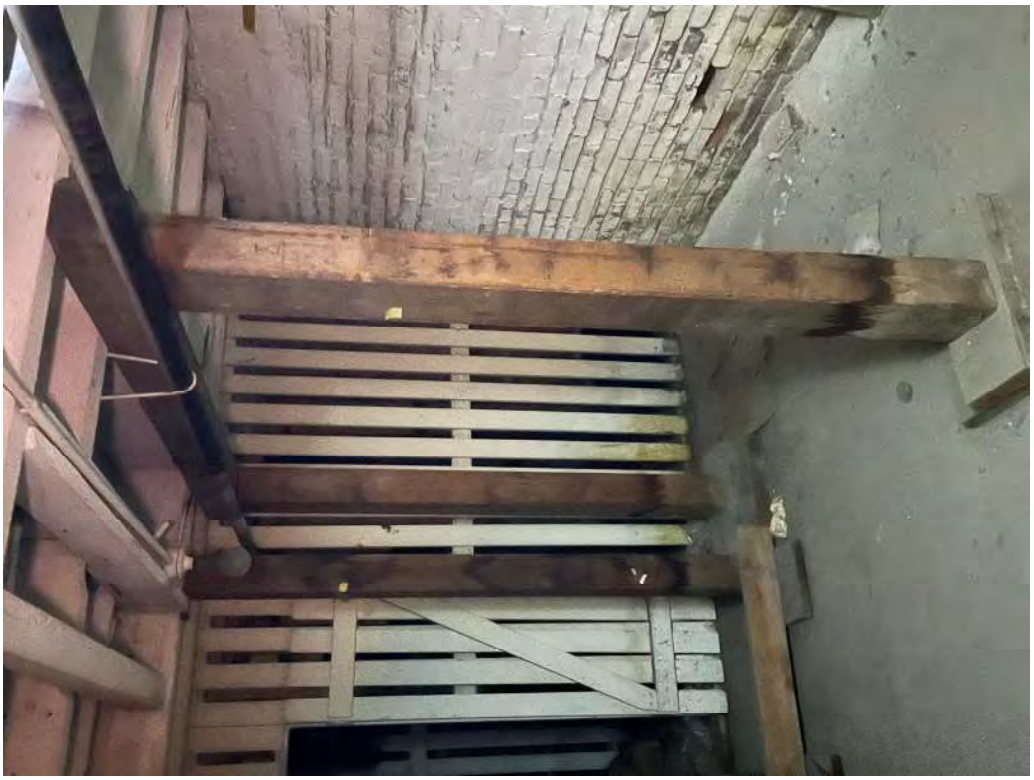
PHOTO #	COMMENTS
21	Steel header beam in basement. Note the extreme deterioration of the brick and mortar intended to support the header.

PHOTO #	COMMENTS
22	Closeup view of laminar exfoliation of a brick occurring over a long period of moisture infiltration and evaporation. This type of damage is non-reparable and can eventually result in collapse of the wall.

PHOTO #	COMMENTS
23	The unpainted post has been added since the original construction. These added posts are typical throughout the north basement and were added at mid-span of the floor beams.

PHOTO #	COMMENTS
24	The white painted post is an original post supporting a floor beam and sets on a wood shim and brick spreader on the slab. The unpainted post was added after original construction and is setting on wood blocks on the slab. It could not be verified if there were dedicated footings under the slab at the original posts.

PROJECT : H St. Warehouse Building	FILE No: 02984-21-006	SHEET : P13	PARRISH HANSEN STRUCTURAL ENGINEERS A DIVISION OF PROVOST & PRITCHARD CONSULTING GROUP
SUBJECT : Structural Assessment	DATE : 02-15-2022	OF : 16	



BOTTOM

PHOTO # 25	COMMENTS : A beam and post repair effort for broken floor joists.

BOTTOM

PHOTO # 26	COMMENTS : An added post at a broken floor joist.

PHOTO # 27	COMMENTS : An added ‘strongback’ with doubled joists to spread the load from broken joists to unbroken joists.

PHOTO # 28	COMMENTS : Another type of broken floor joist repair.

PHOTO #	COMMENTS
29	A typical view of the face of the loading dock retainment wall. The cement coating, which was probably applied to protect the brick from further deterioration, has fallen apart. Brick is behind the green moss.

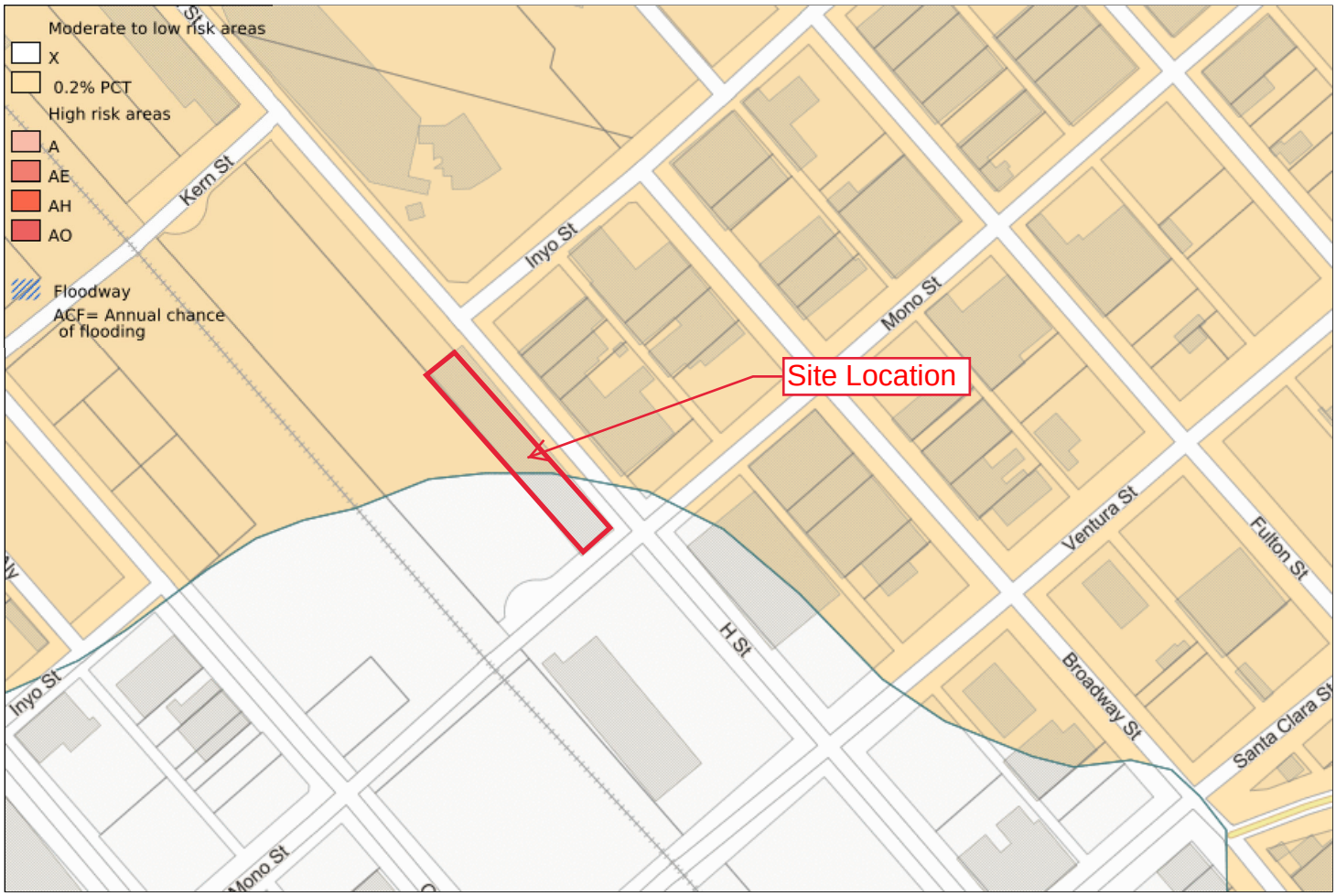
PHOTO #	COMMENTS
30	Close-up of the condition of the loading dock wall brick behind the plaster coating.

PHOTO #	COMMENTS : Failure of the concrete slab breaking away from the loading dock at the H St. wall.
31	

PHOTO #	COMMENTS : Elevator lift in the basement. The pit and walls could not be observed.
32	

APPENDIX D
FEMA FLOOD HAZARD AREAS MAP

Place: **Ca - Fresno** Map: **FEMA Flood Hazard Areas** Date rendered: **10/12/2022**



Add notes here ...