

## Exhibit K

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## DEPARTMENT OF PUBLIC WORKS

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TO: Israel Trejo, Planner III  
Planning Division

FROM: Hilary Kimber, Parks Supervisor II (559.621.1345)  
Engineering Division

DATE: July 2, 2018

SUBJECT: Tract 6106 (APN: 579-074-28; 29; 68 (portion)) located on the northeast corner of the intersection of East Copper and North Chestnut Avenues. The Department of Public Works has reviewed the Tentative Tract Subdivision Map proposed by Gary Gianetta, on engineering plans dated November 22, 2017 for Granville Homes. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street right-of-ways, landscape easements, outlots and median islands.:

### GENERAL REQUIREMENTS

#### STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 60' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with FMC 12-306-23, Water Efficient Landscape Standards.

The designated street tree for North Chestnut Avenue is:

**Laurus nobilis 'Saratoga'**

**Saratoga Bay**

The designated street trees for East Copper Avenue are:

**Photinia x fraseri**  
**Laurus nobilis 'Saratoga'**

**Red Photinia and**  
**Saratoga Bay**

2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 60' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Planting and Utility Easement.
  - a. Street tree inspection fees shall be collected for each 60' of public street frontage or one tree per lot whichever is greater.
  - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
  - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.

d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city controlled property is in conformance with the Specifications of the City of Fresno.

e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.

### **BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS**

1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Home Owner's Association.

2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to a Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.

A. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with Sections 12-306-23 & 24 and 14-121 of the Fresno Municipal Code regarding Water Efficient Landscaping and Buffer landscaping.

B. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.

C. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the side walk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.

D. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.

E. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.

F. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

### **MEDIAN ISLAND LANDSCAPE REQUIREMENTS**

1. When median islands front onto the proposed development project, applicants shall submit Plans to the Public Works/Engineering Services showing the location and configuration of all median islands fronting the proposed project.
2. The Public Works Department will review and evaluate existing median island(s) for a determination of all required improvements prior to approval of Final Map.
3. Landscape and irrigation is required on all new construction of median islands and shall be applied in accordance with the City of Fresno, Public Works Department Standards & Specifications and FMC sections 12-306-24 and 12-306-23. The Public Works Department requires all proposed median islands to be constructed with 2 foot wide colored concrete strips, flush along curb edge, in a 12 inch by 12 inch brick red slate pattern.
4. Trees shall not be planted in sections which are less than eight (8) feet wide unless approved by the Public Works Department. Sections less than eight (8) feet shall be capped with concrete as an integral part of the off site improvements, whether the median is landscaped or not.

### **OUTLOTS**

1. The Department of Public Works will not be responsible for the maintenance of any outlots if they are not included into the Community Facilities District (CFD). If the outlots are to be included into the CFD, the Department of Public Works will require approved landscape and irrigation plans to be submitted with landscape buffer plans prior to inclusion into the CFD.
2. Outlots which are utilized for water well purposes will not be included in the CFD. The Water Division Department in Public Utilities will provide the maintenance of all plant material on the well site.

### **TRAIL REQUIREMENTS**

1. The trail shall be constructed in accordance with the "Master Trails Manual" and the Public Works Department standards. The subdivider is responsible for the trail construction. The subdivider is responsible for all landscape and irrigation improvements for and within the trail. Construction plans shall be submitted and shall include landscaping and automatic drip irrigation design. Trail cross-sections will be required with submittal of Street Plans and Landscaping/Irrigation Plans for review and approval. These plans shall be in compliance with current City standards and approved by the Department of Public Works. Landscaping within the regional/multipurpose trail shall include large, medium and low-growing shrubs planted from 3 to 6 feet apart depending on variety, and trees spaced approximately 25 to 45 feet apart to provide 50% shade coverage onto the planting area and pathway. Landscaping adjacent to walls or fences shall comply with "Landscaped Buffer Development Standards." All planting areas shall be irrigated with an automatic system.



**DATE:** March 14, 2018

**TO:** Israel Trejo, Development Services/Planning  
Development and Resource Management Department

**FROM:** Ann Lillie, Senior Engineering Technician  
Public Works Department, Traffic and Engineering Services Division

**SUBJECT:** PUBLIC WORKS CONDITIONS OF APPROVAL FOR VESTING TENTATIVE  
TRACT MAP NO. 6106 REGARDING MAINTENANCE REQUIREMENTS

**LOCATION:** 11060 North Chestnut Avenue  
**APN:** 579-074-28, 29, 68 portion

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the exhibits submitted for this development.

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Single-Family developments are the ultimate responsibility of the Developer.

**\*This map is located within the existing Community Facilities District No. 15 boundaries and shall pay their fair share for the cost of maintenance with all other final maps and developments.**

A letter of acknowledgment shall be required with the final map submittal.

For questions regarding these conditions please contact me at (559) 621-8690 or [ann.lillie@fresno.gov](mailto:ann.lillie@fresno.gov)



FIRE DEPARTMENT

DATE: June 22, 2018

TO: ISRAEL TREJO, PLANNER III  
Development Department/Current Planning

FROM: BYRON BEAGLES, Fire Prevention Engineer *BBB*  
Fire Department, Prevention Technical Services Division

SUBJECT: VESTING TENTATIVE TRACT MAP NO. 6106/C-18-003, SRC/DRC  
*Revision to February, 13, 2018 memo*

This is a 65 lot single family home private street gated development site addressed to 11060 N. Chestnut Ave. Drive and submitted by Gary Gianetta Consulting Civil Engineer on behalf of Granville Homes. The Fire Department's conditions of approval include the following:

1. Proposed tract is located within 3.0 miles of permanent Fire Station 17 located at 10512 N. Maple Ave.
2. N. Chestnut Ave is an over length single point of access public street. As with adjacent Tract 6087, the Fire Department, Planning, and Public Works has accepted using a private street EVA connecting N. Chestnut and E. Spey Valley Drive as a second point of access to mitigate the over length cul-de-sac condition on N. Chestnut. Internal to Tract 6106, two points of access has been provided to N. Chestnut Ave in a manner similar to Tract 6087.
3. Provide onsite fire hydrants at 600 foot maximum spacing with a minimum fire flow of 1500 gpm at 20 psi residual pressure for single family home residential development with two sources of water. The fire hydrant system shall be in service before delivery of lumber on site unless otherwise approved with a temporary water supply for model home construction only.
4. All construction work on this project is subject to interruption if the road system becomes impassable for fire apparatus. Access roadways during construction shall be paved or provided with an all-weather driving surface approved by the Fire Department.
5. The 16' minimum lane width for split entry drives shall be dimensioned inside the gate opening pivot hardware or other obstructions to the clear width. The entry gate detail on sheet two of two shows gate pivot points within the 16' minimum lane width,
6. Curbs adjacent to the entrance drive shall be designated as fire lanes with "NO PARKING FIRE LANE" with red curb and 3" white letters or approved signs.

7. The proposed local street section indicates a street width of 35 feet as measured to the wedged curb flow line and is in accordance with the proposed addendum to Public Works Standards.
  
8. A fire lane towing warning sign is required at all common access (non-EVA) entrances to private developments per California Vehicle Code (CVC) Section 22658. The entrance sign gives the HOA the legal authority to tow vehicles parked in fire lanes off private property.
  
9. No detail was provided for the EVA gates. The EVA gates shall comply meet the following requirements:
  - A clear minimum width of 20 feet
  - Signs are required on both sides of EVA only gates per Fire Department Development Policy 403.005 (available at the COF website):
    - "FIRE LANE" (6 inch letters)*
    - "VEHICLES REMOVED AT OWNER'S EXPENSE" (2 inch letters)*
    - "FRESNO POLICE DEPARTMENT @ (559) 621-7000" (1 inch letters)*
  - Provide PW Std. P-67 approaches on both sides of the EVA gates.
  - See item #9 for emergency access hardware.
  
10. The entrance gate and EVA shall be provided with Fire X-1 hardware (available from Sierra Lock and Glass) as well as Click-2-Enter radio frequency gate opening hardware for electric gates, see the following link:  
<http://www.click2enter.net/howtobuy.asp?sid=28&statename=California&cid=1>

**DEPARTMENT OF PUBLIC UTILITIES  
MEMORANDUM**

**DATE:** July 3, 2018

**TO:** ISRAEL TREJO, Planner III  
Department of Development and Resource Management

**FROM:** KEVIN GRAY, Supervising Engineering Technician  
Department of Public Utilities, Planning and Engineering

**SUBJECT:** SOLID WASTE REQUIREMENTS FOR VESTING TENTATIVE TRACT  
OF MAP No. 6106 AND CONDITIONAL USE PERMIT APPLICATION C-  
18-003

**General**

Vesting Tentative Tract Map No. 6106 and Conditional Use Permit No. C-18-003 were filed by Gary Gianetta on behalf of Granville Homes, and pertains to +/-16.26 acres of property located on the northeast corner of East Copper and North Chestnut Avenues; 11060 N. Chestnut Ave. S/A, APN: 579-074-28, -29, -68 (portion). Vesting Tentative Tract No. 6106 is a request to subdivide the subject property into a 65-lot single family residential planned unit development with gated private streets. Conditional Use Permit Application No. C-18-003 proposes modified property development standards including reduced setbacks. The property is zoned RS-5/cz.

**Solid Waste Requirements**

- Tract Map 6106 will be serviced as Single Family Residential properties with Basic Container Service. Property owners will receive 3 containers to be used as follows: 1 Gray container for solid waste, 1 Green container for green waste and 1 Blue container for recyclable material.

**Special Requirements:**

- Provide access to gates by 5:30 a.m. or provide remote, key or access code.

**Covenant Requirements:**

None







**DEPARTMENT OF PUBLIC UTILITIES  
MEMORANDUM**

**DATE:** July 2, 2018

**TO:** ISRAEL TREJO, Planner III  
Department of Development and Resource Management

**FROM:** KEVIN GRAY, Supervising Engineering Technician  
Department of Public Utilities, Planning and Engineering

**SUBJECT:** SEWER REQUIREMENTS FOR VESTING TENTATIVE TRACT T-6106  
AND CONDITIONAL USE PERMIT APPLICATION C-18-003

**General**

Vesting Tentative Tract Map No. 6106 and Conditional Use Permit No. C-18-003 were filed by Gary Gianetta on behalf of Granville Homes, and pertains to +/-16.26 acres of property located on the northeast corner of East Copper and North Chestnut Avenues; 11060 N. Chestnut Ave. S/A, APN: 579-074-28,-29,-68 (portion). Vesting Tentative Tract No. 6106 is a request to subdivide the subject property into a 65-lot single family residential planned unit development with gated private streets. Conditional Use Permit Application No. C-18-003 proposes modified property development standards including reduced setbacks. The property is zoned RS-5/cz.

**Sewer Requirements**

The nearest sanitary sewer main to serve the proposed project is a 10-inch sewer main located in East Copper Avenue. Sanitary Sewer facilities are available to provide service to the site subject to the following requirements:

1. Construct a 10-inch sanitary sewer main (including sewer house branches to adjacent properties) in East Copper Avenue from the existing 10-inch main located west of the proposed project to the east property line of said project.
2. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
3. All underground utilities shall be installed prior to permanent street paving.
4. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed additions to the City Sewer System.



MEMORANDUM

ISRAEL TREJO, Planner III

Department of Development and Resource Management

July 2, 2018

SEWER REQUIREMENTS FOR VESTING TENTATIVE TRACT T-6106 AND  
CONDITIONAL USE PERMIT APPLICATION C-18-003

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5. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.
6. Installation of sewer house branch(s) shall be required.
7. Separate sewer house branches are required for each lot.
8. A Preliminary sewer design layout shall be prepared by the Developer's Engineer and submitted to the Department of Public Utilities for review and conceptual approvals prior to submittal or acceptance of the developers final map and engineered plan & profile improvement drawing for City review.
9. All sewer main easements shall be clear and unobstructed by buildings or other structures. No fencing or wall shall either enclose or be located above the sewer main. The planting plan, for any proposed landscape within the easement, shall be approved by the Department of Public Utilities. No Trees shall be located within 8 feet of the sewer main.
10. Street work permit is required for any work in the Right-of-Way.
11. Abandon any existing on-site private septic systems.
12. The Project Developer shall contact Wastewater Management Division/Environmental Services at (559) 621-5100 prior to pulling building permits regarding conditions of service for special users.

**Sanitary Sewer Fees**

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Lateral Sewer Charge.
2. Sewer Oversize Charge.
3. Wastewater Facility Charge (Residential Only).
4. Trunk Sewer Charge C.R.R. –Sewer Backbone system facility fee.
5. Trunk Sewer Charge Herndon
6. Herndon Trunk Enhancement Fee.
7. Copper Avenue sewer lift-station service fee.

MEMORANDUM

ISRAEL TREJO, Planner III

Department of Development and Resource Management

July 2, 2018

SEWER REQUIREMENTS FOR VESTING TENTATIVE TRACT T-6106 AND  
CONDITIONAL USE PERMIT APPLICATION C-18-003

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**Recycled Water Requirements**

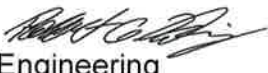
1. Construct an 18-inch recycled water main in East Copper Avenue from the existing 18-inch main located at the intersection of Chestnut and Copper Avenues to west to the east property line of said map.
2. All underground utilities shall be installed prior to permanent street paving.
3. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for the Department of Public Utilities review and approvals for proposed additions to the City Sewer System.
4. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.



**DEPARTMENT OF PUBLIC UTILITIES  
MEMORANDUM**

**DATE:** June 21, 2018

**TO:** ISRAEL TREJO, Planner III  
Department of Development and Resource Management

**FROM:** ROBERT A. DIAZ, Senior Engineering Technician   
Department of Public Utilities – Utilities Planning & Engineering

**SUBJECT:** WATER REQUIREMENTS FOR VESTING TENTATIVE VESTING TRACT  
T-6106 AND CONDITIONAL USE PERMIT C-18-003

**General**

Vesting Tentative Tract Map No. 6106 and Conditional Use Permit No. C-18-003 were filed by Gary Gianetta on behalf of Granville Homes, and pertains to +/-16.26 acres of property located on the northeast corner of East Copper and North Chestnut Avenues; 11060 N. Chestnut Ave. S/A, APN: 579-074-28,-29,-68 (portion). Vesting Tentative Tract No. 6106 is a request to subdivide the subject property into a 65-lot single family residential planned unit development with gated private streets. Conditional Use Permit Application No. C-18-003 proposes modified property development standards including reduced setbacks. The property is zoned RS-5/cz.

**Water Service**

The nearest water mains to serve the proposed project are a 12-inch main located in North Chestnut Avenue and a 16-inch main located in East Copper Avenue. The following water improvements shall be required prior to providing City water service to the project:

1. Construct a 16-inch water main (including installation of City fire hydrants) in East Copper Avenue from the existing 16-inch water main in East Copper Avenue at North Chestnut Avenue east across the project frontage.
2. Water mains (including installation of City fire hydrants) shall be extended within the proposed tract to provide service to each lot.
3. Installation of water service(s) & meter box(es) shall be required.
4. Destruct any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-81 and 74-90 or current revisions issued by California Department of Water Resources and City of Fresno standards.



MEMORANDUM

ISRAEL TREJO, Planner III

Department of Development and Resource Management

June 21, 2018

WATER REQUIREMENTS FOR VESTING TENTATIVE VESTING TRACT T-6106 AND  
CONDITIONAL USE PERMIT C-18-003

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5. Two independent sources of water, meeting Federal and State Drinking Water Act Standards, are required to serve the tract including any subsequent phases thereof. The two-source requirement may be accomplished through any combination of water main extensions, construction of supply wells, or other acceptable sources of water supply approved by the Assistant Public Utilities Director.
6. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed addition and/or modification to the City Water System. Depict neighboring parcels and proposed plans for their continued service.
7. All Public water facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.

**Public water service is allowed within private streets for Conditional Use Permit  
Application No. C-18-003 subject to the following:**

- i) *The granting of a public utility easement (P.U.E.).*
- ii) *The Subdivider shall include at a minimum, the following terms in the Covenants, Conditions, and Restrictions, subject to approval as to form by the City Attorney:*
  - *Compliance with Section 12-1026 of the Fresno Municipal Code, as may be amended.*
  - *Compliance with Chapter 6 of the Fresno Municipal Code, relating to municipal services, as may be amended.*
  - *City Easements: Subdivider shall include a section of the Declaration entitled "City Easements" wherein Declarant reserves, for the benefit of the City, non-exclusive easements to enter the Community for the maintenance, repair and replacement of the public water and sewer mains and lines that are to be located within the private streets, and other public utility facilities. This section shall also allow the City, at a minimum, to engage in any and all traffic control measures necessary to preserve public health and safety during such maintenance, repair and replacement of the facilities. Finally, this section shall provide that neither the Association nor any Owner may interfere with the City's right to exercise this easement.*
  - *Costs of repair and/or replacement of asphalt and other street improvements within the community due to repair of public utilities within the streets is at the expense of the Homeowner's Association. These repairs and/or replacement will be to City Standards.*

MEMORANDUM

ISRAEL TREJO, Planner III

Department of Development and Resource Management

June 21, 2018

WATER REQUIREMENTS FOR VESTING TENTATIVE VESTING TRACT T-6106 AND  
CONDITIONAL USE PERMIT C-18-003

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- *The Homeowner's Association agrees to hold harmless, indemnify and defend the City of Fresno, and its officers, officials, employees, agents and volunteers, against any claims or causes of action on account of or arising out of the City's maintenance, repair or replacement of utilities or related replacement of asphalt or street or other improvements. The Homeowner's Association waives and releases any and all claims or causes of action against the City related to such repairs.*
- *Insurance provisions consistent with City requirements as determined by Risk Management.*
- *Amendments Requiring City Approval. Proposed amendments to Section \_\_\_\_\_ of this Declaration, entitled "City Easements," shall be approved as to form by the City Attorney prior to the amendments to such Section being valid. No later than the date that is thirty (30) calendar days after its receipt of a proposed amendment, the City shall deliver written notice of its approval or disapproval of the proposed amendment to the party who delivered the proposed amendment to the City. If the City fails to deliver such written notice within such thirty (30) calendar day period, the City shall be deemed to have approved the proposed amendment.*

The water supply requirements for this project are as follows:

1. The project applicant shall be required to pay Water Capacity Fee charges for the installation of new water services and meters to serve the property.
  - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
  - b. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule.
  - c. The City reserves the right to require an applicant to increase or decrease the size of a water meter for a project or a property to ensure that the meter is properly sized to accommodate fire protection requirements, and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
  - d. The Water Capacity Fee Charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
2. **In lieu of the foregoing water requirements, Developer may submit available**

MEMORANDUM

ISRAEL TREJO, Planner III

Department of Development and Resource Management

June 21, 2018

WATER REQUIREMENTS FOR VESTING TENTATIVE VESTING TRACT T-6106 AND  
CONDITIONAL USE PERMIT C-18-003


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**Project Water EDUs (credits) in accordance with the Copper River Ranch Water  
Supply Implementation Agreement dated November 17, 2016, as amended**



DATE: September 24, 2018

TO: Israel Trejo  
Development and Resource Management Department

THROUGH: Andrew Benelli, PE, Assistant Director   
Public Works Department, Traffic & Engineering Services Division

FROM: Louise Gilio, Traffic Planning Supervisor   
Public Works Department, Traffic & Engineering Services Division

SUBJECT: Public Works Conditions of Approval  
**TT 6106**, 11060 N. Chestnut Avenue  
Granville / Giannetta

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

**Provide the following information prior to the acceptance of the final map submittal. This can result in additional conditions of approval.**

1. **Copper Avenue:** The center line shall be established on the approved street plans.
2. **Copper Avenue:** Identify a 26' bike, pedestrian and landscape easement that is parallel or concentric and 10' from the proposed face of curb. Vacate excessive street right of way and reserve the portion required for the trail.
3. **Copper Avenue:** Dedicate street right of way outside of the map boundary.
4. **Chestnut Avenue:** The center line shall be established on the approved street plans.
5. **Chestnut Avenue:** Dedicate street right of way outside of the map boundary.
6. **Tentative Parcel Map:** The line types on the map and legend do not match up. Provide corrections.
7. **Tentative Parcel Map:** Identify the public right of way limits at the north end of Chestnut.

**General Conditions:**

1. Identify and dimension all easements on the map.
2. Street Dedications: Provide corner cut dedications at all intersections for accessibility ramps.
3. Outlots: If the subdivider seeks to dedicate to the City, in fee, an outlot for open space purposes, subdivider shall prove to the City that the outlot is free of toxic or hazardous materials pursuant to the requirements of City Administrative Order 8-1, including, but not limited to, performing a Phase I Soils Investigation. The soils Investigation report shall be submitted to the Public Works Department for review and approval. The subdivider must obtain Public Works approval of the soils investigation report and complete any mitigation work identified by the soils



investigation prior to subdivider's submittal of the Final Map to the Development Department. Any and all costs associated of the soils investigation and any required mitigation work shall be performed at the sole expense of the subdivider.

4. The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment covenant is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8681. Encroachment permits must be approved prior to issuance of building permits.
5. Street widening and transitions shall also include utility relocations and necessary dedications.
6. Overhead Utilities: Underground all existing offsite overhead utilities with the limits of this map in accordance with Fresno Municipal Code Section **15-4114**.
7. Plan Submittal: Submit the following plans, as applicable, in a single package, to the Public Works Department for review and approval: Street: construction, signing, striping, traffic signal and streetlight and Trail: construction, grading, lighting, striping, signing, landscape and irrigation.

### **Frontage Improvement Requirements:**

#### **Public Streets:**

##### **Copper Avenue: 4-lane Super Arterial**

1. Dedication and / or Vacation Requirements:
  - a. Dedicate **55'- 57'** of property, from center line, for public street purposes, within the limits of this application, per Public Works Standard **P-51 and P-69**. Center line shall be established per approved street plans. Additional right of way may be required. Confirm dedication with approved street plans. Right of way to comply with City of Fresno and PG& E requirements.
  - b. Dedicate a **26'** (minimum) easement for Bike, Pedestrian and Landscape (BPLe) purposes **only**. (Additional right of way may be required for grading and drainage purposes.) Reference Public Works Standard **P-60**.
  - c. Vacate excessive right of way where the existing street easement exceeds 10' from face of curb and reserve an easement for bike pedestrian and landscape purposes, adjacent to this application.
  - d. Relinquish direct access rights to Copper Avenue from all lots within this subdivision.
2. Construction Requirements:
  - a. Construct concrete curb and gutter to Public Works Standard **P-5**. The curb shall be constructed to a **10'** residential pattern.
  - b. Construct a **12'** wide Bike and Pedestrian **Class I Trail**, complete with lighting, signing, striping and landscaping, per the Fresno General Plan, the Public Works Standards **P-58, P-59, P-60, P-61** and the Caltrans Highway Design Manual. Identify route on the map plan complete with a cross section.
  - c. Construct **20'** of permanent paving within the limits of this subdivision.
  - d. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this subdivision. Spacing and design shall conform to Public Works Standard **E-7** for Arterial Streets.

##### **Chestnut Avenue: Modified Local**

1. Dedication Requirements:

- a. If not exiting, dedicate **28'-35'** of property, from center line, for public street purposes, within the limits of this application, per Public Works Standards. Center line shall be established per approved street plans.
  - b. Dedicate corner cuts for public street purposes at the intersection of Chestnut and the proposed entrance.
  - c. Emergency Vehicle Access: Dedicate a pedestrian easement to provide accessibility behind the ramp. Provide detail on street plans.
  - d. Relinquish direct access to Chestnut Avenue from all lots, except Outlot A, within this subdivision.
2. Construction Requirements:
- a. Construct missing permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
  - b. Entrance: Construct a standard curb ramps per Public Works Standard **P-28 and P-29**, based on a **20'** radius.
  - c. Chestnut and Copper: Construct a standard curb ramps per Public Works Standard **P-30** based on a 30' radius.
  - d. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **10'** residential pattern. ( 5 ½' from face of curb to walk- 4' walk- ½' walk to r/w) Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, Section 26-2.11(C).
  - e. Construct an underground street lighting system to Public Works Standard **E-2** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-9** for Locals.
  - f. Site Plan approval of a street type approach (**P-76 / P-77**) is a tentative approval until such time that a qualified Civil Engineer prepares street plans that provide the sufficient cross drainage approved by the City Engineer in accordance with Public Works Standard **P-10**. If grades are not sufficient, construct to Public Works Standards **P-2** and **P-6**.
  - g. Construct a concrete Emergency Vehicle Access (EVA) per Public Works Standard **P-67**.

#### **Interior Streets: Private**

1. All streets and pedestrian ways shall connect to other streets and pedestrian ways to form a continuous vehicular and pedestrian network with connections within the subdivision and to adjacent development. Pedestrian paths of travel must meet current accessibility regulations. Sidewalks are recommended on both sides of the street. Identify ramps within the proposed subdivision wherever sidewalks are provided.
2. **Garages:** Garage or carport setbacks are recommended to be a minimum of 18' from the back of walk or curb, whichever is greater.
3. Dead-end Streets: Any temporary dead-end streets created by this subdivision shall be properly barricaded in accordance with the Public Works Standard **P-100**. Identify and provide a temporary turn around.
4. Provide a **10'** visibility triangle at all driveways.
5. Provide a cul-de-sac in place of the dead end adjacent to lots 14 and 15.

**Specific Mitigation Requirements:** This tract contains 65 single family lots and will generate 49 a.m. / 65 p.m. peak hour trips.

1. Relinquish direct vehicular access rights to :
  - a. the north property line of lot 1.
  - b. the south property line of lot 38.
2. Entry Gate: Provide a minimum of **75'** from the proposed gate to the back of walk, for vehicle stacking at both entrances and redesign to provide for an onsite turn around. Submit the redesign

- to Louise Gilio at least one week **prior** to the Planning Commission Hearing for review and approval.
3. Dedications outside of the map boundary: Provide dedications on Chestnut and Copper outside of the map boundary.
  4. A vacation is required with this map or by separate instrument.
    - a. With map: A feasibility study for all required vacations of existing public rights of way is required to be completed **prior** to the approval of the final map. Any requirements identified within the feasibility study shall be complied with at the time of final map recordation. **OR**
    - b. Separate instrument: A feasibility study for the required vacation of the existing public rights of way is required to be completed and the vacation recorded **prior** to the approval of the final map.

**Traffic Signal Mitigation Impact (TSMI) Fee:** This project shall pay the current Traffic Signal Mitigation Impact Fee (TSMI Fee) at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual for single family units (fee rate as shown in the Master Fee Schedule).

TSMI fee is credited against traffic signal and Intelligent Transportation System (ITS) improvements, provided that the improvements are; constructed at ultimate locations, contained within the build out of the 2035 General Plan circulation element and are included in the latest Nexus Analysis for TSMI fee. Project specific impacts that are not consistent with the *2035 General Plan, Public Works Standard Drawings* or not incorporated in the TSMI fee infrastructure costs, are not reimbursable unless the City Engineer and City Traffic Engineer include the new traffic signal and/or ITS improvements in the next update; upon the inclusion of the added infrastructure, the applicant shall agree to pay the newly calculated TSMI fee that includes the new infrastructure. Failure to pay this fee or construct improvements that are credited / reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited / reimbursable with this fee, they should work with the Department of Public Works and identify, with a Professional Engineer's estimate, the costs associated with the improvements, prior to paying the TSMI fee at time of building permit.

1. The **intersection of Copper and Chestnut shall be signalized** to the City of Fresno Standards, complete with left turn phasing, actuation and signal pre-emption. This work is eligible for reimbursement and/or credit against Traffic Signal Mitigation Impact Fees. The applicant shall design the traffic signal and obtain City approval of the plans **prior** to occupancy of the first dwelling unit. If the intersection meets signal warrants at the time of occupancy of the first unit, then the full traffic signal shall be installed. If the intersection does not meet warrants, then the traffic signal installation shall be limited to the following equipment: poles, safety lights, oversize street name sign, conduits, detectors, service pedestal connected to a PG&E point of service, controller cabinet, ITS vault, ITS communication cabinet and all pull boxes, with the following equipment to be delivered to the City of Fresno's Traffic Signal shop for future installation when warrants are met: 2070L controller, mast arms, heads, Opticom discriminator and receivers.

**Fresno Major Street Impact (FMSI) Fee :** This Map is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees.

**Fresno Major Street Impact (FMSI) Requirements:**

Copper Avenue: 4-lane Super Arterial (New Growth Area)

1. Dedicate and construct (2) 12' travel lanes and (1) 5' shoulder' on the (north side) and (1) 12' travel lane and (1) 5' shoulder on the (south side) in addition to a raised 16' concrete median island within the limits of this subdivision. Construct a raised concrete median with 250' left turn pockets at all major intersections. Details of said street shall be depicted on the approved tentative tract map. If not existing, an additional 8' dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate arterial standard and any other grading or transitions as necessary based on a 55 MPH design speed. **Or** Construct concrete median cap per Public Works Standard **P-62** and **P-63**.
2. Dedicate sufficient right-of-way and construct additional paving for westbound to eastbound U-turns at Chestnut and Copper and at Copper near lot 11, per Public Works Standard **P-66**.

**Regional Transportation Mitigation Fee (RTMF):** Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption **prior** to certificate of occupancy.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

File No. 210.413

Page 1 of 5

**PUBLIC AGENCY**

ISRAEL TREJO  
DEVELOPMENT SERVICES/PLANNING  
CITY OF FRESNO  
2600 FRESNO STREET, THIRD FLOOR  
FRESNO, CA 93721

**DEVELOPER**

CLAUDIA CAZARES, GRANVILLE HOMES, INC.  
1396 W. HERNDON AVE., SUITE 101  
FRESNO, CA 93711

PROJECT NO: **2018-003**  
ADDRESS: **NEC COPPER AND CHESTNUT AVE.**  
APN: **579-074-28S, 29S, 68S**

SENT: 2/16/18

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)
DN	\$318,935.00	NOR Review *	\$784.00
		Grading Plan Review *	\$2,189.00
		Storm Drain Plan Review *	
<b>Total Drainage Fee: \$318,935.00</b>		<b>Total Service Charge: \$2,973.00</b>	

\* The Development Review Service Charge shown above is associated with FR TRACT 6106 and is currently proposed to develop in conjunction with this permit. Payment for this entitlement shall satisfy the amount due on the associated permits.

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/18 based on the site plan submitted to the District on 1/23/18 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR CUP No. 2018-003**

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 2 of 5

FR  
CUP No. 2018-003

Approval of this development shall be conditioned upon compliance with these District Requirements.


1.  a. Drainage from the site shall  
 b. Grading and drainage patterns shall be as identified on Exhibit No. 1  
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
 Developer shall construct facilities as shown on Exhibit No. 1 as MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.  
 None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
 Grading Plan  
 Street Plan  
 Storm Drain Plan  
 Water & Sewer Plan  
 Final Map  
 Drainage Report (to be submitted with tentative map)  
 Other  
 None Required
  
4. Availability of drainage facilities:  
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
 d. See Exhibit No. 2.
  
5. The proposed development:  
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
 Does not appear to be located within a flood prone area.
  
6.  The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.


FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 3 of 5

FR  
CUP No. 2018-003

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.  X  See Exhibit No. 2 for additional comments, recommendations and requirements.

  
\_\_\_\_\_  
Peter Sanchez  
District Engineer

  
\_\_\_\_\_  
Denise Wade  
Project Engineer

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 4 of 5

CC:

GARY GIANNETTA ENGINEERING

1119 S STREET

FRESNO, CA 93721

DARIUS ASSEMI, COPPER AVENUE INVESTMENTS, LLC

1396 W. HERNDON AVE., SUITE 101

FRESNO, CA 93711

**FR  
CUP No. 2018-003**



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 5 of 5

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees in the amount identified below for Storm Drain Review. The fee shall be paid to the District by Developer with first plan submittal. Checks shall be made out to Fresno Metropolitan Flood Control District.

Application No. FR CUP 2018-003

Name / Business CLAUDIA CAZARES, GRANVILLE HOMES, INC.

Project Address NEC COPPER AND CHESTNUT AVE.

Project APN(s) 579-074-28S, 29S, 68S

Project Acres (gross) 18.24

Please fill in the table below of proposed storm drain facilities to be constructed with this development and return completed form with first plan submittal. If you have any questions or concerns regarding the construction of facilities list, you can contact the Fresno Metropolitan Flood Control District at 559-456-3292.

Description	Qty	Unit	Price	Amount
-------------	-----	------	-------	--------

Estimated Construction Cost \_\_\_\_\_

Fee equals lesser of

\$375.00 plus 3% of the estimated construction costs \_\_\_\_\_ Total (\$300.00 gross per acre) \$5,472.00

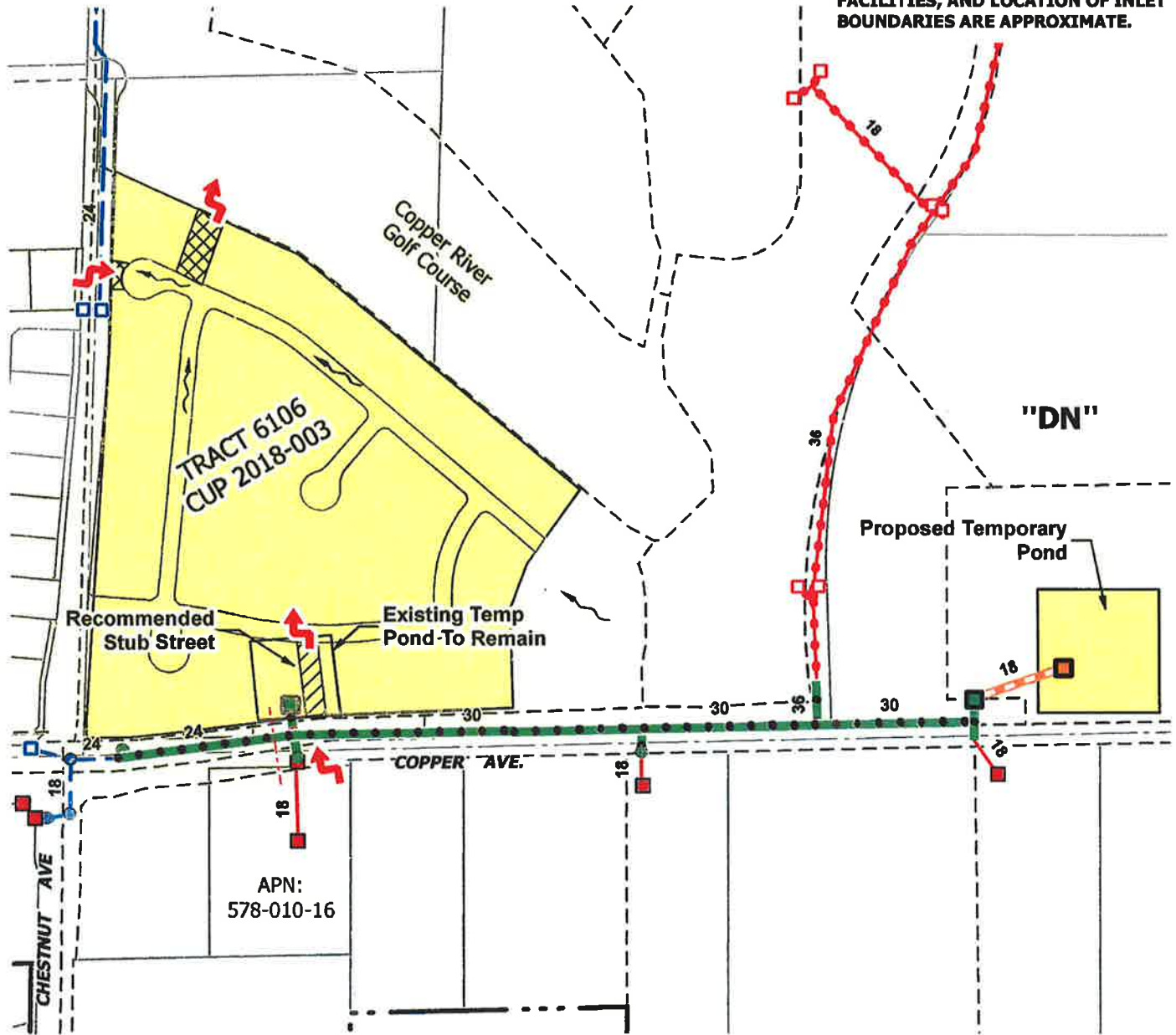
**Amount Due** \_\_\_\_\_

**Storm Drain Facilities  
Cost Sheet**

- 15" Concrete Pipes \$64.00 LF
- 18" Concrete Pipes \$68.00 LF
- 24" Concrete Pipes \$76.00 LF
- 30" Concrete Pipes \$90.00 LF
- 36" Concrete Pipes \$106.00 LF
- 42" Concrete Pipes \$123.00 LF
- 48" Concrete Pipes \$144.00 LF
- 54" Concrete Pipes \$175.00 LF
- 60" Concrete Pipes \$205.00 LF
- 66" Concrete Pipes \$243.00 LF
- 72" Concrete Pipes \$280.00 LF
- 84" Concrete Pipes \$313.00 LF
- 96" Concrete Pipes \$338.00 LF
- 15" Jacked Pipes \$555.00 LF
- 18" Jacked Pipes \$608.00 LF
- 24" Jacked Pipes \$687.00 LF
- 30" Jacked Pipes \$766.00 LF
- 36" Jacked Pipes \$846.00 LF
- 42" Jacked Pipes \$898.00 LF
- 48" Jacked Pipes \$951.00 LF
- 54" Jacked Pipes \$1,031.00 LF
- 60" Jacked Pipes \$1,110.00 LF
- 66" Jacked Pipes \$1,216.00 LF
- 72" Jacked Pipes \$1,374.00 LF
- 84" Jacked Pipes \$1,533.00 LF
- Manholes \$4,000.00 EA
- Inlets & Laterals \$4,450.00 EA
- Outfalls \$8,500.00 EA
- Canal Outfalls \$15,000.00 EA
- Basin Excavation \$0.75 CY
  
- IMPROVEMENTS ADJACENT TO BASIN**
- Fence, Pad, and Gate \$20.00 LF
- Mowstrip \$17.50 LF
- Arterial Paving \$70.00 LF
- Local Paving \$45.00 LF
- Curb and Gutter \$18.25 LF
- Sidewalk \$36.00 LF
- Sewer Line \$21.00 LF
- Water Line \$24.00 LF
- Street Lights \$65.00 LF
- Pump Station/Intake \$375,000.00 EA

**FR CUP No. 2018-003**

**NOTE: THIS MAP IS SCHEMATIC. DISTANCES, AMOUNT OF CREDITABLE FACILITIES, AND LOCATION OF INLET BOUNDARIES ARE APPROXIMATE.**



**LEGEND**

- Creditable Master Plan Facilities To Be Constructed By Developer - Pipeline (Size Shown) & Inlet
- Future Master Plan Facilities
- Future Surcharge Facilities
- Existing Master Plan Facilities
- Proposed Private Facilities
- Existing Private Facilities
- Channel Easement To Be Dedicated To The District
- Direction of Drainage
- Major Storm Breakover



1" = 300'

**TRACT 6106  
CUP 2018-003  
DRAINAGE AREA "DN"**

**EXHIBIT NO. 1**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**



**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

The required Master Plan facilities in Copper Avenue have also been required of CRD East, Inc. If those facilities are completed prior to development of this site, the construction requirement will be dropped.

Temporary drainage service is available through the existing Master Plan facilities located in Chestnut Avenue and within the Copper River Golf Course until permanent service is available.

CUP 2018-003 shall not block the historical drainage pattern of APN 578-010-16 located south of Copper Avenue. The developer shall provide temporary service utilizing the existing 12-inch private pipeline shown on Exhibit No. 1 until runoff from APN 578-010-16 has permanent drainage service.

If the City of Fresno requires street improvements on Copper Avenue the developer must construct an opening in the center median island to provide major storm passage from the south to north side of Copper Avenue.

The District recommends a stub street at the location shown on Exhibit No. 1. This is necessary to provide major storm passage from Copper Avenue through CUP 2018-003. If the stub street is not constructed a channel and channel easement will be necessary to convey the major storm flow.

The developer should be aware that based on historical drainage patterns some of the streets located within the tract may need to be resized to pass larger event storms. District approval is not extended to street configuration. The developer shall submit a drainage report indicating the path of the major storm flow and calculations confirming there is adequate protection of finished floors.

Development No. CUP 2018-003

**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

CUP 2018-003 shall not block the major storm path along the north property line as shown on Exhibit No. 1. A channel easement shall be dedicated to the District for the flow path if not within a public right-of-way.

The developer shall work with the Copper River Golf Course owner to review the site grading for verification and acceptance of grades at their mutual property line and when designing the major storm channel to the Copper River Golf Course.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation

Development No. CUP 2018-003

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

File No. 210.45

Page 1 of 5

**PUBLIC AGENCY**

ISRAEL TREJO  
DEVELOPMENT SERVICES/PLANNING  
CITY OF FRESNO  
2600 FRESNO STREET, THIRD FLOOR  
FRESNO, CA 93721

**DEVELOPER**

CLAUDIA CAZARES, GRANVILLE HOMES, INC.  
1396 W. HERNDON AVE., SUITE 101  
FRESNO, CA 93711

PROJECT NO: 6106

ADDRESS: NEC COPPER AND CHESTNUT AVE.

APN: 579-074-28S, 29S, 68S

SENT:

2/16/18

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
DN	\$318,935.00	NOR Review *	\$784.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review *	\$2,189.00	Amount to be submitted with first grading plan submittal.
<b>Total Drainage Fee: \$318,935.00</b>		<b>Total Service Charge: \$2,973.00</b>		

\* The Development Review Service Charge shown above is associated with FR CUP 2018-003 and is currently proposed to develop in conjunction with this permit. Payment for this entitlement shall satisfy the amount due on the associated permits.

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/18 based on the site plan submitted to the District on 1/23/18 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR TRACT No. 6106**

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 2 of 5

FR TRACT No. 6106

Approval of this development shall be conditioned upon compliance with these District Requirements.

1.  a. Drainage from the site shall  
 b. Grading and drainage patterns shall be as identified on Exhibit No. 1  
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
 Developer shall construct facilities as shown on Exhibit No. 1 as MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.  
 None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
 Grading Plan  
 Street Plan  
 Storm Drain Plan  
 Water & Sewer Plan  
 Final Map  
 Drainage Report (to be submitted with tentative map)  
 Other  
 None Required
  
4. Availability of drainage facilities:  
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
 d. See Exhibit No. 2.
  
5. The proposed development:  
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
 Does not appear to be located within a flood prone area.
  
6.  The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.


FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 3 of 5

FR  
TRACT No. 6106

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.  X  See Exhibit No. 2 for additional comments, recommendations and requirements.

  
Peter Sanchez  
District Engineer

  
Denise Wade  
Project Engineer



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 4 of 5

CC:

GARY GIANNETTA ENGINEERING

1119 S STREET

FRESNO, CA 93721

DARIUS ASSEMI, COPPER AVENUE INVESTMENTS, LLC

1396 W. HERNDON AVE., SUITE 101

FRESNO, CA 93711

**FR TRACT No. 6106**



**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 5 of 5

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees in the amount identified below for Storm Drain Review. The fee shall be paid to the District by Developer with first plan submittal. Checks shall be made out to Fresno Metropolitan Flood Control District.

Application No. FR TRACT 6106

Name / Business CLAUDIA CAZARES, GRANVILLE HOMES, INC.

Project Address NEC COPPER AND CHESTNUT AVE.

Project APN(s) 579-074-28S, 29S, 68S

Project Acres (gross) 18.24

Please fill in the table below of proposed storm drain facilities to be constructed with this development and return completed form with first plan submittal. If you have any questions or concerns regarding the construction of facilities list, you can contact the Fresno Metropolitan Flood Control District at 559-456-3292.

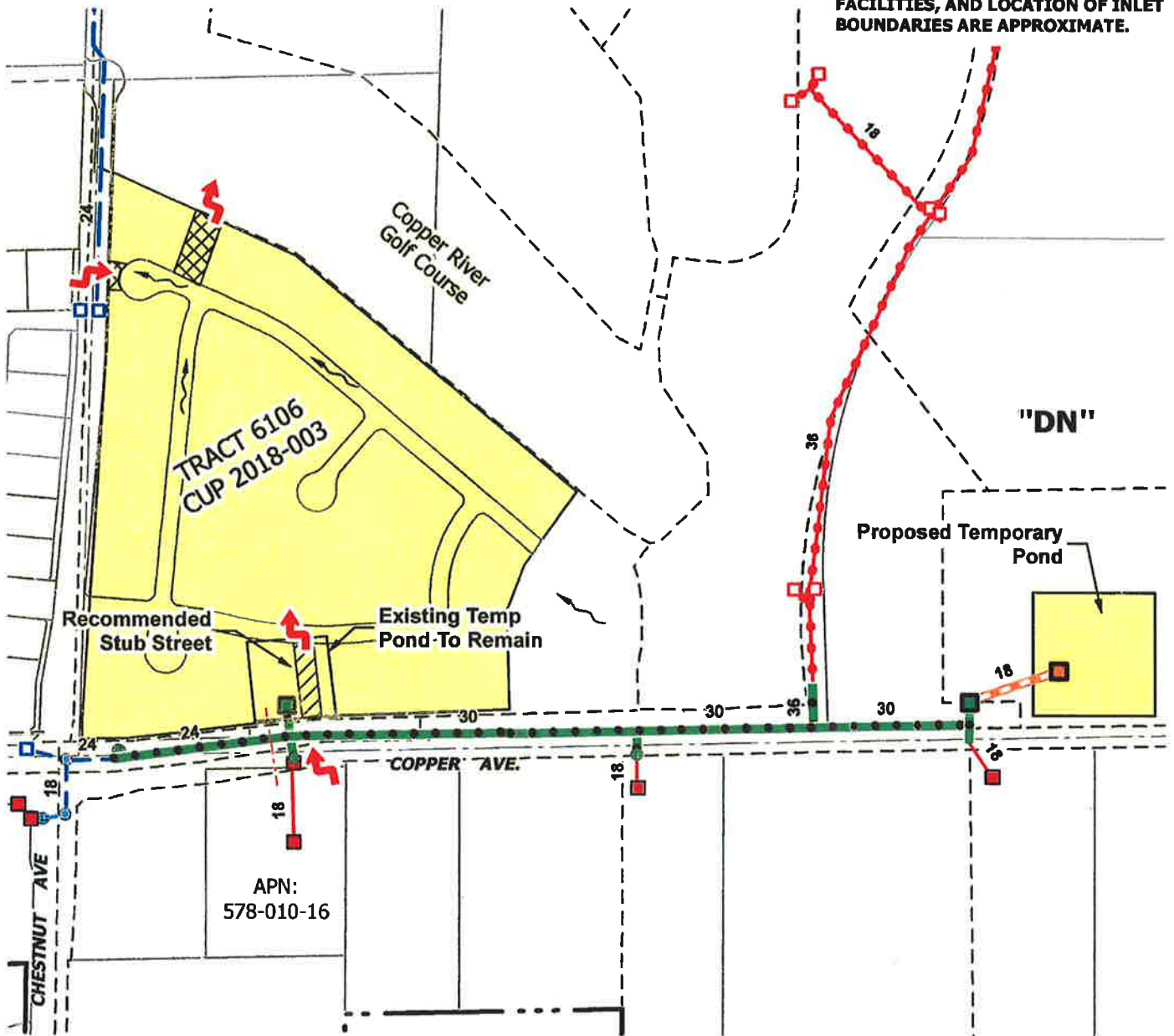
Description	Qty	Unit	Price	Amount
Estimated Construction Cost _____				
Fee equals lesser of				
\$375.00 plus 3% of the estimated construction costs _____	Total (\$300.00 gross per acre)			<u>\$5,472.00</u>
<b>Amount Due</b> _____				

**Storm Drain Facilities  
Cost Sheet**

- 15" Concrete Pipes \$64.00 LF
- 18" Concrete Pipes \$68.00 LF
- 24" Concrete Pipes \$76.00 LF
- 30" Concrete Pipes \$90.00 LF
- 36" Concrete Pipes \$106.00 LF
- 42" Concrete Pipes \$123.00 LF
- 48" Concrete Pipes \$144.00 LF
- 54" Concrete Pipes \$175.00 LF
- 60" Concrete Pipes \$205.00 LF
- 66" Concrete Pipes \$243.00 LF
- 72" Concrete Pipes \$280.00 LF
- 84" Concrete Pipes \$313.00 LF
- 96" Concrete Pipes \$338.00 LF
- 15" Jacked Pipes \$555.00 LF
- 18" Jacked Pipes \$608.00 LF
- 24" Jacked Pipes \$687.00 LF
- 30" Jacked Pipes \$766.00 LF
- 36" Jacked Pipes \$846.00 LF
- 42" Jacked Pipes \$898.00 LF
- 48" Jacked Pipes \$951.00 LF
- 54" Jacked Pipes \$1,031.00 LF
- 60" Jacked Pipes \$1,110.00 LF
- 66" Jacked Pipes \$1,216.00 LF
- 72" Jacked Pipes \$1,374.00 LF
- 84" Jacked Pipes \$1,533.00 LF
- Manholes \$4,000.00 EA
- Inlets & Laterals \$4,450.00 EA
- Outfalls \$8,500.00 EA
- Canal Outfalls \$15,000.00 EA
- Basin Excavation \$0.75 CY
- IMPROVEMENTS ADJACENT TO BASIN**
- Fence, Pad, and Gate \$20.00 LF
- Mowstrip \$17.50 LF
- Arterial Paving \$70.00 LF
- Local Paving \$45.00 LF
- Curb and Gutter \$18.25 LF
- Sidewalk \$36.00 LF
- Sewer Line \$21.00 LF
- Water Line \$24.00 LF
- Street Lights \$65.00 LF
- Pump Station/Intake \$375,000.00 EA

**FR TRACT No. 6106**

**NOTE: THIS MAP IS SCHEMATIC. DISTANCES, AMOUNT OF CREDITABLE FACILITIES, AND LOCATION OF INLET BOUNDARIES ARE APPROXIMATE.**



**LEGEND**

- Creditable Master Plan Facilities To Be Constructed By Developer - Pipeline (Size Shown) & Inlet
- Temporary Inlet To Be Constructed By Developer (Not Eligible For Fee Credit)
- Future Master Plan Facilities
- Future Surcharge Facilities
- Existing Master Plan Facilities
- Proposed Private Facilities
- Existing Private Facilities

- Channel Easement To Be Dedicated To The District
- Direction of Drainage
- Major Storm Breakover



1" = 300'

**TRACT 6106  
CUP 2018-003  
DRAINAGE AREA "DN"**

**EXHIBIT NO. 1**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT**



**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

The required Master Plan facilities in Copper Avenue have also been required of CRD East, Inc. If those facilities are completed prior to development of this site, the construction requirement will be dropped.

Temporary drainage service is available through the existing Master Plan facilities located in Chestnut Avenue and within the Copper River Golf Course until permanent service is available.

Tract 6106 shall not block the historical drainage pattern of APN 578-010-16 located south of Copper Avenue. The developer shall provide temporary service utilizing the existing 12-inch private pipeline shown on Exhibit No. 1 until runoff from APN 578-010-16 has permanent drainage service.

If the City of Fresno requires street improvements on Copper Avenue the developer must construct an opening in the center median island to provide major storm passage from the south to north side of Copper Avenue.

The District recommends a stub street at the location shown on Exhibit No. 1. This is necessary to provide major storm passage from Copper Avenue through Tract 6106. If the stub street is not constructed a channel and channel easement will be necessary to convey the major storm flow.

The developer should be aware that based on historical drainage patterns some of the streets located within the tract may need to be resized to pass larger event storms. District approval is not extended to street configuration. The developer shall submit a drainage report indicating the path of the major storm flow and calculations confirming there is adequate protection of finished floors.

Development No. Tract 6106

**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

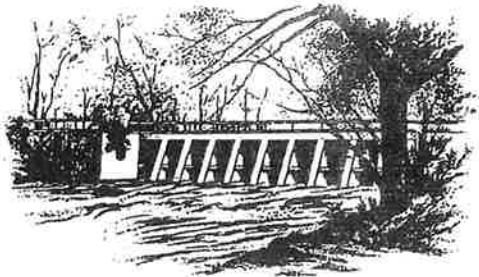
Tract 6106 shall not block the major storm path along the north property line as shown on Exhibit No. 1. A channel easement shall be dedicated to the District for the flow path if not within a public right-of-way.

The developer shall work with the Copper River Golf Course owner to review the site grading for verification and acceptance of grades at their mutual property line and when designing the major storm channel to the Copper River Golf Course.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation

Development No. Tract 6106



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93726-2208

February 16, 2018

Mr. Israel Trejo  
City of Fresno  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno, CA 93721

RE: Vesting Tentative Map of Tract No. 6106 and Conditional Use Permit No. C-18-003  
N/E Chestnut and Copper avenues

Dear Mr. Trejo:

The Fresno Irrigation District (FID) has reviewed the Vesting Tentative Map of Tract No. 6106 and Conditional Use Permit No. C-18-003 for which the applicant requests approval to subdivide the property into 65 lot single family residential planned unit development with gated private streets with reduced setback, APN: 579-074-28, 29, and 68 (portion). FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, a private pipeline known as the Phillips No. 158 runs northerly along the west side of Chestnut Avenue approximately 1,400 feet south of the subject property, turning westerly along the south side of Copper Avenue, and crosses Copper Avenue approximately 1,700 feet west of the subject property, as shown on the attached FID exhibit map. FID does not own, operate or maintain this private pipeline. FID's records indicate this line is active and will need to treat it as such. Should any street and/or utility improvements be necessary for Copper Avenue, Chestnut Avenue or in the vicinity of the pipeline, FID recommends the applicant contact the owner(s) of said pipeline to discuss any right-of-way issues that may affect said pipeline.

\\fidsbs03\Engl\Agencies\FresnoCity\6106.doc

**BOARD OF DIRECTORS** President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.,  
CHRISTOPHER WOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

3. The proposed development appears to be within the City of Fresno's Sphere of Influence but lies outside FID's boundary line. The development is not entitled to water from the Kings River.
4. The proposed land use (or change in land use) should be such that the need for water is minimized and/or reduced so that groundwater impacts to the proposed project area and any surrounding areas are eliminated. The "demand" side of water consumed needs to be evaluated or scrutinized as much as the "supply" side of the water supply. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area is currently open land with little to no water demand. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in an increase in dependence on groundwater, this deficit will increase. FID recommends the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.
5. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Fresno and adjacent areas. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.
6. The City of Fresno and FID have been working to address water supplies issues for development outside of the FID service area. We encourage the City to continue towards finding solutions to minimize the impacts of changes in land uses and to mitigate any existing adverse water supply impacts within the development areas.
7. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Fresno are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Fresno should consider the impacts of the development on the City's ability to comply with requirements of SGMA.

Israel Trejo  
February 16, 2018  
RE: VTM 6106 and CUP C-18-003  
Page 3 of 3

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Jeremy Landrith at 233-7161 extension 7407 or [jlandrith@fresnoirrigation.com](mailto:jlandrith@fresnoirrigation.com).

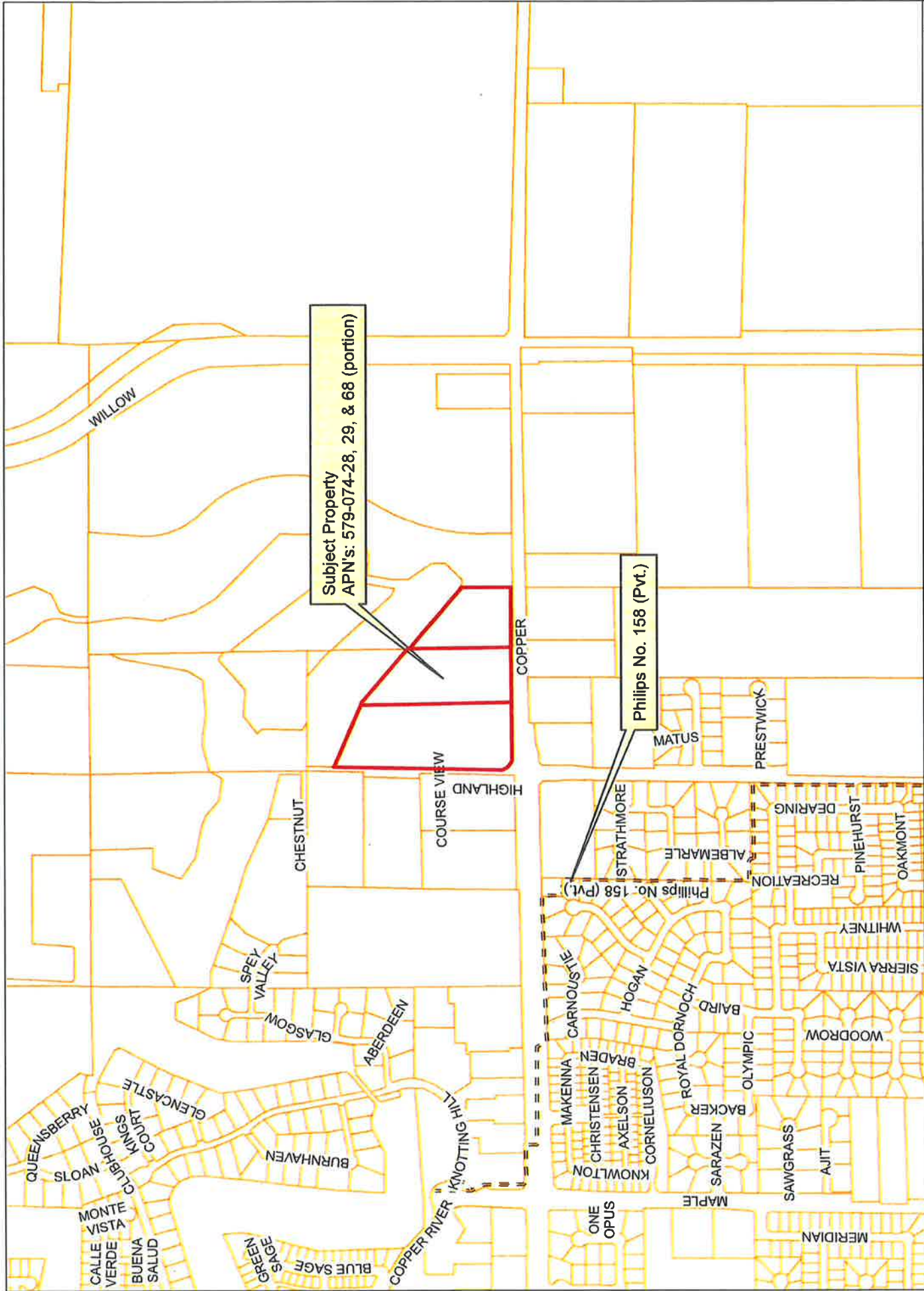
Sincerely,

A handwritten signature in blue ink, appearing to read "Laurence Kimura".

Laurence Kimura, P.E.  
Chief Engineer

Attachment






Subject Property  
 APN's: 579-074-28, 29, & 68 (portion)

Philips No. 158 (Pvt.)



- Legend**
- Parcel
  - FIMFCD Aquired Basins
  - FIMFCD Proposed Basins
  - Stream Group
  - Other-Creek/River
  - Other-Pipeline
  - FID Boundary
  - Railroad
  - Streets & Hwys
  - FID Pipeline
  - Private Pipeline
  - Abandoned Pipeline
  - FID Canal
  - Private Canal
  - Abandoned Canal

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7151 for further information on FID facilities.







January 23, 2018

Israel Trejo  
DARM – Development Services Division  
2600 Fresno Street  
Fresno, CA 93721

SUBJECT: TM 6106 (Chestnut/Copper)

Dear Mr. Trejo:

The purpose of this letter is to provide school district information relative to the above-referenced property and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the subdivider/owner and the State Department of Real Estate.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Fugman Elementary*  
Address: *10825 N Cedar Ave Fresno CA 93730-3586*  
Telephone: *(559) 327-8700*  
Capacity: *858*  
Enrollment: *839 (CBEDS enrollment 2017-18 school year)*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

**Governing Board**  
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Ginny L. Hovseplan  
Elizabeth J. Sandoval  
Jim Van Volkinburg, D.D.S.

**Administration**  
Elmear O'Farrell, Ed.D.  
*Superintendent*  
Don Ulrich, Ed.D.  
*Deputy Superintendent*  
Norm Anderson  
*Associate Superintendent*  
Barry S. Jager, Jr.  
*Associate Superintendent*  
Michael Johnston  
*Associate Superintendent*

2. Intermediate School Information:

School Name: *Granite Ridge Intermediate*  
Address: *2770 E International Ave Fresno CA 93730-5400*  
Telephone: *(559) 327-5000*  
Capacity: *1600*  
Enrollment: *1361 (CBEDS enrollment 2017-18 school year)*

3. High School Information:

School Name: *Clovis North High School*  
Address: *2770 E International Ave Fresno CA 93730-5400*  
Telephone: *(559) 327-5000*  
Capacity: *3100*  
Enrollment: *2498 (CBEDS enrollment 2017-18 school year)*

4. Bus transportation is currently provided for grades K-6 students residing further than one mile from school and for grades 7-12 students residing further than two and one-half miles from school. Transportation will be available for students attending the above-identified elementary, intermediate and high schools in accordance with District standards in effect at the time of enrollment.
5. The District currently levies a school facilities fee of \$4.63 per square foot (as of July 1, 2017) for residential development. The fee is adjusted periodically in accordance with law. New development on the subject property will be subject to the fee in place at the time fee certificates are obtained.

The District hereby requests that the information in this letter be provided by the owner/subdivider to all prospective purchasers of property within the project.

Thank you for the opportunity to comment on the project. Please contact me if you have any questions regarding this letter.

Sincerely,



Michael Johnston  
Associate Superintendent  
Administrative Services



# County of Fresno

## DEPARTMENT OF PUBLIC HEALTH

David Pomaville, Director  
Dr. Ken Bird, Health Officer

February 6, 2018

Israel Trejo  
City of Fresno  
Development & Resource Management  
2600 Fresno Street, Third Floor  
Fresno, CA 93721-3604

LU0019310  
2602

Dear Mr. Trejo:

PROJECT NUMBER: **C-18-003, TT-6106**

**Vesting Tentative Tract Map No. 6106 and Conditional Use Permit No. C-18-003** were filed by Gary Giannetta, on behalf of Granville Homes, and pertain to  $\pm 16.26$  acres of property located on the northeast corner of East Copper and North Chestnut Avenues. **Vesting Tentative Tract Map No. 6106** is a request to subdivide the subject property into a 65-lot single family residential planned unit development with gated private streets. **Conditional Use Permit Application No. C-18-003** proposes modified property development standards including reduced setbacks.

**APN: 579-074-28, -29, -68 (portion) ZONING: RS-5/cz SITE ADDRESS: 11060 N. CHESTNUT AVE. S/A**

Recommended Conditions of Approval:

- Construction permits for the development should be subject to assurance that the City of Fresno community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- Construction permits for development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- The future construction project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to

*Promotion, preservation and protection of the community's health*

*1221 Fulton Mall / P. O. Box 11867, Fresno, CA 93775*

*(559) 600-3271 • FAX (559) 600-7629*

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*www.co.fresno.ca.us • www.fcdph.org*

Israel Trejo  
February 6, 2018  
C-18-003, TT-6106  
Page 2 of 2

placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

---

REVIEWED BY:

**Kevin  
Tsuda**

Digitally signed by Kevin Tsuda  
DN: cn=Kevin Tsuda, o=Environmental  
Health Division, ou=Fresno County  
Department of Public Health,  
email=ksuda@co.fresno.ca.us, c=US  
Date: 2018.02.06 08:51:16 -08'00'

Kevin Tsuda, R.E.H.S.  
Environmental Health Specialist II

(559) 600-3271

---

kt

cc: Steven Rhodes- Environmental Health Division (CT 55.03)  
Claudia Cazares- Applicant ([ccazares@qvhomes.com](mailto:ccazares@qvhomes.com))  
Gary Giannetta- Engineer ([gary@giannettaengineerin.com](mailto:gary@giannettaengineerin.com))  
Darius Assemi- Owner ([dassemi@qvhomes.com](mailto:dassemi@qvhomes.com))

January 25, 2018

Israel Trejo  
City of Fresno  
Development Services/Planning  
2600 Fresno Street, third floor  
Fresno, CA 93721-3604

**Project: Vesting Tentative Tract Map No. 6106 and Conditional Use Permit No. C-18-003 for Granville Homes**

**District CEQA Reference No: 20180052**

Dear Mr. Trejo:

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the above reference project consisting of a request to subdivide approximately 16.26 acres into a 65-lot single family residential planned unit development (Project) located on the northeast corner of East Copper and North Chestnut Avenues (11060 North Chestnut Avenue), in Fresno, CA. The District offers the following comments:

1. Significance Impact for Annual Criteria Pollutants Emissions – The Project specific annual emissions of criteria pollutants are not expected to exceed any of the following District significance thresholds: 100 tons per year of carbon monoxide (CO), 10 tons per year of oxides of nitrogen (NOx), 10 tons per year of reactive organic gases (ROG), 27 tons per year of oxides of sulfur (SOx), 15 tons per year of particulate matter of 10 microns or less in size (PM10), or 15 tons per year of particulate matter of 2.5 microns or less in size (PM2.5). Therefore, the District concludes that the Project would have a less than significant impact on air quality when compared to the above-listed annual criteria pollutant emissions significance thresholds.
2. District Rule 9510 (Indirect Source Review) - At full build-out, the Project will be equal to or exceed 50 residential dwelling units. Therefore, the District concludes that the Project is subject to District Rule 9510.

**Seyed Sadredin**  
Executive Director/Air Pollution Control Officer

---

**Northern Region**  
4800 Enterprise Way  
Modesto, CA 95356-8718  
Tel: (209) 557-6400 FAX: (209) 557-6475

**Central Region (Main Office)**  
1990 E. Gettysburg Avenue  
Fresno, CA 93726-0244  
Tel: (559) 230-6000 FAX: (559) 230-6061

**Southern Region**  
34946 Flyover Court  
Bakersfield, CA 93308-9725  
Tel: 661-392-5500 FAX: 661-392-5585

District Rule 9510 is intended to mitigate a project's impact on air quality through project design elements or by payment of applicable off-site mitigation fees. Any applicant subject to District Rule 9510 is required to submit an Air Impact Assessment (AIA) application to the District no later than applying for final discretionary approval. If approval of the subject project constitutes the last discretionary approval by your agency, the District recommends that demonstration of compliance with District Rule 9510, including payment of all applicable fees before issuance of the first building permit, be made a condition of project approval. Information about how to comply with District Rule 9510 can be found online at: <http://www.valleyair.org/ISR/ISRHome.htm>. The AIA application form can be found online at: <http://www.valleyair.org/ISR/ISRFormsAndApplications.htm>.

3. District Rule 4002 (National Emissions Standards for Hazardous Air Pollutants) - In the event an existing building will be renovated, partially demolished or removed, the Project may be subject to District Rule 4002. This rule requires a thorough inspection for asbestos to be conducted before any regulated facility is demolished or renovated. Information on how to comply with District Rule 4002 can be found online at: <http://www.valleyair.org/busind/comply/asbestosbultn.htm>.
4. Regulation VIII (Fugitive PM10 Prohibitions) - The Project will be subject to Regulation VIII. The project proponent is required to submit a Construction Notification Form or submit and receive approval of a Dust Control Plan prior to commencing any earthmoving activities as described in District Rule 8021 – *Construction, Demolition, Excavation, Extraction, and Other Earthmoving Activities*. Information on how to comply with Regulation VIII can be found online at: [http://www.valleyair.org/busind/comply/PM10/compliance\\_PM10.htm](http://www.valleyair.org/busind/comply/PM10/compliance_PM10.htm)
5. Other District Rules and Regulations – The above list of rules is neither exhaustive nor exclusive. For example, the Project may be subject to the following District rules, including: Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations). To identify other District rules or regulations that apply to this Project or to obtain information on the District's permit requirements, such as an Authority to Construct (ATC), the Project proponent is strongly encouraged to contact the District's Small Business Assistance Office at (559) 230-5888 or e-mail [SBA@valleyair.org](mailto:SBA@valleyair.org). Current District rules can be found online at the District's website at: [www.valleyair.org/rules/1ruleslist.htm](http://www.valleyair.org/rules/1ruleslist.htm).
6. Potential Air Quality Improvement Measures - The District encourages the following air quality improvement measures to further reduce Project related emissions from construction and operation. A complete list of potential air quality improvement

measures can be found online at:

<http://www.valleyair.org/ceqaconnected/aqimeasures.aspx>.

- a. Cleaner Off-Road Construction Equipment – This measure is to utilize off-road construction fleets that can achieve fleet average emissions equal to or cleaner than the Tier II emission standards. This can be achieved through any combination of uncontrolled engines and engines complying with Tier II and above engine standards.
- b. Improve Walkability Design – This measure is to improve design elements to enhance walkability and connectivity. Improved street network characteristics within a neighborhood include street accessibility, usually measured in terms of average block size, proportion of four-way intersections, or number of intersections per square mile. Design is also measured in terms of sidewalk coverage, building setbacks, street widths, pedestrian crossings, presence of street trees, and a host of other physical variables that differentiate pedestrian-oriented environments from auto-oriented environments.
- c. Improve Destination Accessibility – This measure is to locate the project in an area with high accessibility to destinations. Destination accessibility is measured in terms of the number of jobs or other attractions reachable within a given travel time, which tends to be highest at central locations and lowest at peripheral ones. The location of the project also increases the potential for pedestrians to walk and bike to these destinations and therefore reduces the (vehicle miles traveled) VMT.
- d. Increase Transit Accessibility – This measure is to locate the project with high density near transit which will facilitate the use of transit by people traveling to or from the Project site. The use of transit results in a mode shift and therefore reduced VMT. A project with a residential/commercial center designed around a rail or bus station, is called a transit-oriented development (TOD). The project description should include, at a minimum, the following design features:
  - A transit station/stop with high-quality, high-frequency bus service located within a 5-10 minute walk (or roughly ¼ mile from stop to edge of development), and/or
  - A rail station located within a 20 minute walk (or roughly ½ mile from station to edge of development)
  - Fast, frequent, and reliable transit service connecting to a high percentage of regional destinations

- Neighborhood designed for walking and cycling
- e. Voluntary Emission Reduction Agreement - Design elements, mitigation measures, and compliance with District rules and regulations may not be sufficient to reduce project-related impacts on air quality to a less than significant level. In such situation, project proponents may enter into a Voluntary Emission Reduction Agreement (VERA) with the District to reduce the project related impact on air quality to a less than significant level. A VERA is a mitigation measure by which the project proponent provides pound-for-pound mitigation of air emissions increases through a process that funds and implements emission reduction projects. A VERA can be implemented to address impacts from both construction and operational phases of a project.

The District recommends that a copy of the District's comment letter be provided to the Project proponent. District staff is available to meet with you and/or the applicant to further discuss the regulatory requirements that are associated with this Project. If you have any questions or require further information, please call [Georgia Stewart](tel:5592305937) at (559) 230- 5937 or e-mail [georgia.stewart@valleyair.org](mailto:georgia.stewart@valleyair.org). When calling or emailing the District, please reference District CEQA number [20180052](#)

Sincerely,

Arnaud Marjollet  
Director of Permit Services



For: Brian Clements  
Program Manager

AM: [gs](#)