

Exhibit K-2
Materials Submitted by Applicant
For City Council

City Council Hearing:

Consideration of Conditional Use Permit Application No. P22-03906

**Circle D Food, Liquor & Gas
Operational Statement
2520 E. Olive Ave.**

~~February 27, 2024~~
Revised May 7, 2024

Project Description/Request

Request for a Conditional Use Permit to allow the conversion of an existing convenience store to a *general market* and gas station at the southeast corner of E. Olive Ave. and N. Fresno St., 2520 E. Olive Ave., Fresno.

Other facts pertinent to this project are as follows:

Owner/Applicant:

Mr. Baldev S. & Ms. Jasjit Khela
11770 N. Bella Vita Ave.
Fresno, CA 93730
email: jasjikhela@yahoo.com
phone: (559) 548-7492

Representative

Dirk Poeschel Land Development Services, Inc.
c/o Mr. Dirk Poeschel
923 Van Ness Ave., Ste. 200
Fresno, CA 93721
email: dirk@dplds.com
phone: (559) 445-0374

<u>Project Address:</u>	2520 E. Olive Ave.
<u>Area/APN:</u>	0.57 +/- acres/APN: 452-081-17S
<u>Existing Land Use:</u>	Neighborhood Market & Gas Station
<u>Proposed Land Use:</u>	Neighborhood Market & Gas Station
<u>Existing Zone District:</u>	CC (Commercial Community)
<u>Proposed Zone District:</u>	CC (Commercial Community)
<u>Community Plan Area:</u>	Fresno High Community Plan

Background & Project Operation

The existing Circle D Food, Liquor & Gas convenience store has been operated by the applicant at 2520 E. Olive Ave., since 1994. As part of its operation, a Type 21 Off-Sale General license was issued by the Alcoholic Beverage Control (ABC) department on July 5, 2012. The owners have had no ABC licensing violations during their almost three decades of operation at this location.

On April 17, 2018, the building suffered significant structural damage due to a fire. On April 23, 2018, the owners surrendered their Type 21 license to ABC. Following the fire, the owners indicated their intent to renovate the building and reactivate the license at a future time. A dispute with the owner's insurance carrier took over 1½ years to resolve. Due to the complications with the insurance claim, the repair work was not able to proceed until 2023.

The existing convenience store has been refurbished and converted to a *General Market* which is an allowed use "by right" in the CC (Community Commercial) zone district. According to the City of Fresno's Code of Ordinances, a *General Market* is defined as "Retail food markets of food and grocery items for offsite preparation and consumption. Typical uses include supermarkets, neighborhood grocery stores, and specialty food stores."

The owner has rebuilt and refurbished the facility as a 2,932 sq. ft. *general market* that will include healthy food choice items such as fresh fruits and vegetables and fresh sandwiches from a local bakery. The owners have made substantial internal and external improvements including the addition of windows to improve visibility to the parking lot, and the addition of an indoor seating area for on-site dining. The owner intends to reopen the four existing gas pumps to resume sale of gasoline. The gas pump component of this project is currently being reviewed through Conditional Use Permit (CUP) permit number P22-04148.

The project also includes the sale of liquor which has historically occurred on-site for almost three decades without incident. The applicant will devote the same type, intensity and square footage of shelf and refrigeration displays as was the use prior to the fire with no expansion of offerings. The Type 21 Off-Sale General license is being processed under CUP P22-03906.

1. Hours of Operation

As occurred previously, the owner is proposing to be open 20 hours a day from 6:00 a.m. to 2:00 a.m. daily and will be operating year-round.

2. Employees

As previously operated, 3 full-time employees work each of the 2 shifts with 2 part-time employees.

3. Customers

According to the owner, approximately 60% of the customers purchase both gas and groceries and 40% purchase groceries only. Many customers walk to the site due to its proximity to the U.S. Post Office as well as the Fresno Area Rapid Transit stop to the north of the property.

4. Service Delivery Vehicles

Typically, there will be 15 deliveries per week for the general market and 2 deliveries of gas for the pumps.

5. Access to the site

The site will be accessible from a driveway approach off N. Fresno St. and another off E. Olive Ave. Per city directives, an existing second driveway along E. Olive Ave. will be abandoned, leaving two points of access.

6. Number of parking spaces for employees, customers, and service/delivery vehicles.

No change. There are currently 12 paved site parking stalls, 1 handicapped stall, and 4 parking bays underneath the gas island canopy. Three cars can also be parked along the landscaping island in the northeast portion of the site. A 15 ft. by 40 ft. truck loading zone is also provided along the eastern side of the property. The type of surfacing used is asphalt concrete. For more details, see *Exhibit "A" - Site Plan*.

7. Estimated traffic

No change.

8. Are any goods to be sold on-site?

The types of goods that will be sold are groceries, beverages, dairy products, premium coffees, baked goods, deli choices, as well as non-perishable foods that are packaged in boxes, cans, and bottles. The refrigeration section will include dairy products, cold deli products, and essential last-minute food preparation items for residents of the surrounding area. The hot foods area will provide on-the-go ready foods with a variety of choices such as hot sandwiches, burritos, hot dogs, etc.

The Personal Item section will include pharmaceuticals such as first aid products, diapers and baby products, non-prescription cold medicines and ointments, and other related products. The Home and Auto section will include cleansers, paper products, and small automotive supplies like oil, transmission fluid, fuses, and funnels.

Wine, beer and distilled spirits (i.e. liquor) will again be sold with approval of CUP P22-03906 for a Type 21 Off-Sale General license. The applicant will devote the same type, intensity and square footage of shelf and refrigeration displays as was the use prior to the fire

with no expansion of offerings. As was previously done, spirits will be located behind the counter. The owners have had no ABC licensing violations during their almost three decades of operation at this location.

Wine will be displayed on four 18 in. deep shelves approximately 8 ft. long for a total footprint of approximately 12 sq. ft. (1.5 ft. x 8 ft.). Beer will be available in the refrigerated section of the store in five displays occupying an area 15 ft. wide and 2 ft. deep for a total of 30 sq. ft. (15 ft. x 2 ft.). The sale of spirits will be limited to a *shelving area* measuring 12 in. deep and 12 ft. in length for a total of 12 sq. ft. (1 ft. x 12 ft.). The spirits will be located behind that counter and *will not* be accessible to the public. The total square footage devoted to distilled spirits will be **54 sq. ft.** (12 sq. ft. + 30 sq. ft. + 12 sq. ft. = 54 sq. ft.).

The building is 2,932 sq. ft. with the area designated for spirits representing a very small fraction of the overall floor area. Total alcohol beverage products will occupy approximately **1.8%** of the overall market floor area (54 sq. ft. ÷ 2,932 sq. ft.) demonstrating that the sale of alcohol is clearly *incidental* to the overall *general market*. For details, see *Exhibit "B" - Floor Plan & Exhibit "C" - Detailed Floor Plan*.

All alcohol sales will be conducted in compliance with Fresno Police Department and Department of Alcoholic Beverage Control requirements.

No magazines of any of any kind, including adult magazines, were or will be sold on the premises.

No e-cigarettes will be sold.

No drug or smoking paraphernalia, such as smoking papers, pipes, etc. were or will be sold.

9. What equipment is used?

Equipment includes 2 point of sale cash registers, a soda machine, slant roller grill, hot pizza display, coffee maker, ice cream bunker, bakery display, nacho cheese machine, ice freezer, 15 refrigerated displays with cool storage, gondola displays, and 4 gas pumps.

10. What supplies or materials are used and how are they stored?

The *Circle D Food, Liquor & Gas* will store canned and frozen food and groceries on shelving gondolas accessible from the aisles. Dairy products, prepared sandwiches, meats and cheeses will be stored in refrigeration units. Dry storage for fruits and vegetables will be on racks.

Gasoline for the pumps will be stored in two existing underground storage tanks.

The facility is professionally deep cleaned twice a week. No cleaning supplies or chemicals are stored on-site.

11. Does the use cause an unsightly appearance?

Glare:

None.

Dust:

None.

Odor:

This project will not produce odors.

12. List any solid or liquid waste to be produced.

No change. The project will produce approximately 225 lbs. of domestic garbage per day and 270 pounds of paper/cardboard. Garbage will be placed in a dumpster and paper and cardboard will be stored in a container. Both will be hauled by solid waste management twice per week.

13. Water usage

No change. The water use estimated consumption is 1,800 gallons per day.

14. Describe proposed advertising including size, appearance, and placement.

The existing metal monument sign with market name and gas price will be refurbished. An existing pole sign remains in place in the planter along N. Fresno St. The name of the business will also be painted on the building above the entry. For more details, see *Exhibit "E" - Before and After Elevations*.

15. Will existing buildings be used or will new buildings be constructed?

Describe type of construction materials, height, color, etc. Provide floor plan and elevations, if appropriate.

The existing building is 2,932 sq. ft. The existing gas canopy is 777 sq. ft. The refurbished *general market* includes updated building colors to make the building more attractive and inviting. Windows are proposed on the west and south building elevations to improve building attractiveness, enhance natural lighting and provide security viewsheds in and out of the building. Two obsolete on-site telephone booths will be removed. Perimeter fencing will be replaced.

16. Will any outdoor lighting or an outdoor sound amplification system be used?

Describe and indicate when used.

No change. Outdoor lighting is hooded and directed downward to avoid causing any nuisance to nearby residents. No sound amplification will be used on site.

17. Landscaping or fencing proposed? Describe type and location.

Modified landscape materials are proposed to improve durability of plantings and provide complimentary color. All landscaping will be in conformance with city standards. For more details see *Exhibit "D" – Landscape Plan*.

18. Any other information that will provide a clear understanding of the project or operation.

The project will include cameras and security monitors inside the store and outside in the parking lot for security purposes per City of Fresno Police Department requirements.

The owners implement a comprehensive training program focused on the safe and legal sale of age restricted products and prevent the sale of alcoholic beverages to minors or intoxicated persons. A program refresher is required every year.

Fire Notes

A. FIRE HOSE PULL AND EQUIPMENT ACCESS IS AN UNOBSTRUCTED WALKWAY WHICH PROVIDES CONTINUOUS ACCESS CONNECTING VEHICULAR ACCESS TO ALL BUILDING OPENINGS AND EXTERIOR STORAGE AREAS. THE WALKWAY REQUIRES UNOBSTRUCTED 36 INCH HORIZONTAL CLEARANCE AROUND OPENINGS AND CONTINUOUS 7 FOOT VERTICAL CLEARANCE. (FFD DEVELOPMENT POLICY 403.002).

B. REQUIRED WALKING ACCESS SHALL BE DESIGNED TO PREVENT SHARP TURNS AND OBSTACLES WHICH WOULD HINDER THE CARRYING OF HOSES, GROUND LADDERS AND OTHER HAND HELD EQUIPMENT.

C. ALL REQUIRED FIRE HOSE AND EQUIPMENT ACCESS GATES SHALL REMAIN UNLOCKED OR BE PROVIDED WITH POLICE/FIRE BYPASS LOCKS. (BEST PADLOCK MODEL 21B700 SERIES). A KNOX PADLOCK MAY NOT BE USED. POLICE/FIRE BYPASS LOCKS CAN BE PURCHASED ONLY THROUGH SIERRA LOCK & GLASS, 1560 N. PALM AVENUE, FRESNO, CA 93728.

N. Fresno Collector

1. DEDICATION REQUIREMENTS:
 A. IF PROPOSING TO RELOCATE DRIVEWAY APPROACH, DEDICATE 2' EASEMENT FOR PEDESTRIAN PURPOSES BEHIND DRIVEWAY APPROACH.
 2. CONSTRUCTION REQUIREMENTS:
 A. PROVIDE A 12' VISIBILITY TRIANGLE AT ALL DRIVEWAYS, PER FRESNO MUNICIPAL CODE (FMC) 15-2018B.
 B. IF PROPOSING TO RELOCATE DRIVEWAY APPROACH, CONSTRUCT A DRIVEWAY APPROACH TO PUBLIC WORKS STANDARDS P-2, AND P-6, AS APPROVED ON THE SITE PLAN. CONSTRUCT PERMANENT PAVING AS NEEDED PER PUBLIC WORKS STANDARD P-48. PROVIDE 10" OF RED CURBING (3 COATS) ON BOTH SIDES OF THE PROPOSED DRIVEWAY APPROACHES. CONSTRUCT A CONCRETE PEDESTRIAN WALKWAY BEHIND ALL DRIVEWAY APPROACHES AS IDENTIFIED ON EXHIBIT "A".

E. Olive Collector

1. DEDICATION REQUIREMENTS:
 A. IF NOT EXISTING, DEDICATE A CORNER CUT EASEMENT FOR PUBLIC STREET PURPOSES AT THE INTERSECTION OF E. OLIVE AVE. AND N FRESNO ST TO ACCOMMODATE 4' PATH OF TRAVEL BEHIND CURB RAMP
 2. CONSTRUCTION REQUIREMENTS:
 A. PROVIDE A 12' VISIBILITY TRIANGLE AT ALL DRIVEWAYS, PER FRESNO MUNICIPAL CODE (FMC) 15-2018B
 B. REMOVE ABANDONED (EXISTING DRIVEWAY APPROACHES NOT IDENTIFIED FOR UTILIZATION) DRIVEWAY APPROACHES AS NOTED ON EXHIBIT "A", AND INSTALL SIDEWALK, CURB AND GUTTER PER CITY OF FRESNO PUBLIC WORKS STANDARD DRAWING P-5 TO MATCH EXISTING OR PROPOSED STREET IMPROVEMENT LINE AND GRADE PER FRESNO MUNICIPAL CODE (FMC) 12-211
 C. MODIFY OR REPLACE THE EXISTING RAMP TO MEET CURRENT PUBLIC WORKS STANDARDS, AS DETERMINED BY CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY

Required Notes

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-542-2444
- THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH ADJACENT EXISTING STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED PER FMC 13-211
- CONSTRUCTION ON STATE HIGHWAYS MUST CONFORM TO BOTH CITY OF FRESNO AND STATE DIVISION OF HIGHWAYS SPECIFICATIONS
- PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET
- CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 559-621-8800, 10 WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION
- ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS

Project Data

Scope of Work:

- RENOVATE (E) CONVENIENCE STORE
- CLOSE OFF (E) EAST DRIVEWAY AND APPROACH AND TURN IT INTO NEW LANDSCAPE AREA

Owner: Baldev and Jasjit Khela
 11770 N. Bella Vista
 Fresno California 93730
 (559) 548-7492
 jasjitkhela@yahoo.com

Project Address: 2520 E. Olive
 Fresno, California 93701

A.P.N.: # 452-081-17S

Existing General Plan Use: Commercial General

Existing Zone District: CG

Article 67 Use Classification:

- Liquor Store
- Food and Beverage Sales
- corner commercial

Site Coverage Summary

Project Site Area:	24,988 s.f.
(E) Building Data:	2,932 s.f.
Existing Canopy Area:	1,283 s.f.
Building Coverage:	4,215 s.f. 17%
Concrete Paved Area:	14,620 s.f. 58%
AC Paved Area:	4,417 s.f. 18%
Landscaping Area:	1,587 s.f. 6%
Floor Area Ratio:	2,932 s.f. / 24,988 s.f. = 12%

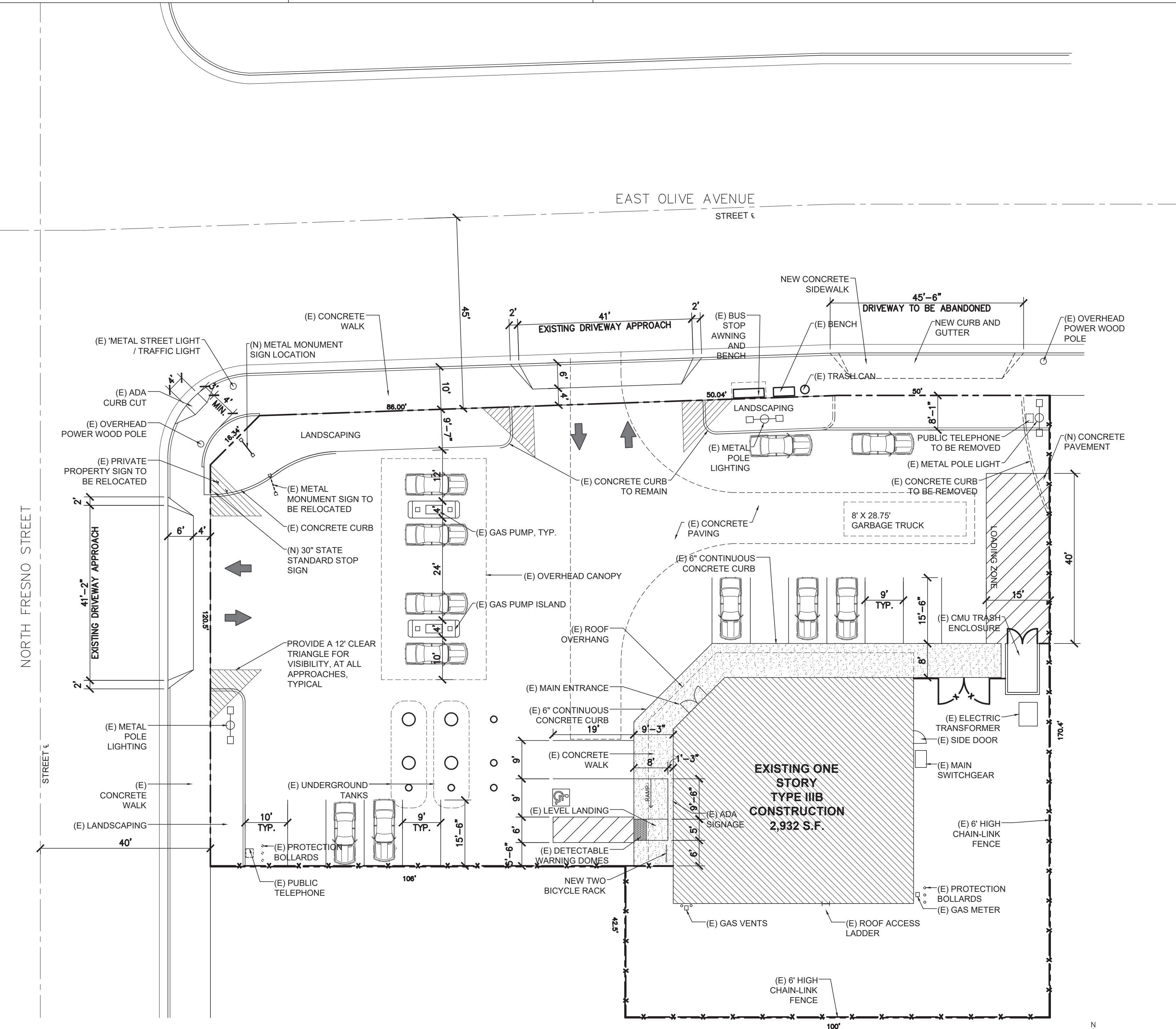
Legal Description

LOTS 8 THRU 15 INCLUSIVE IN BLOCK 3 OF THE LISENY TRACT, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED IN VOLUME 4 OF RECORD OF SURVEYS, AT PAGE 29, FRESNO COUNTY RECORDS.

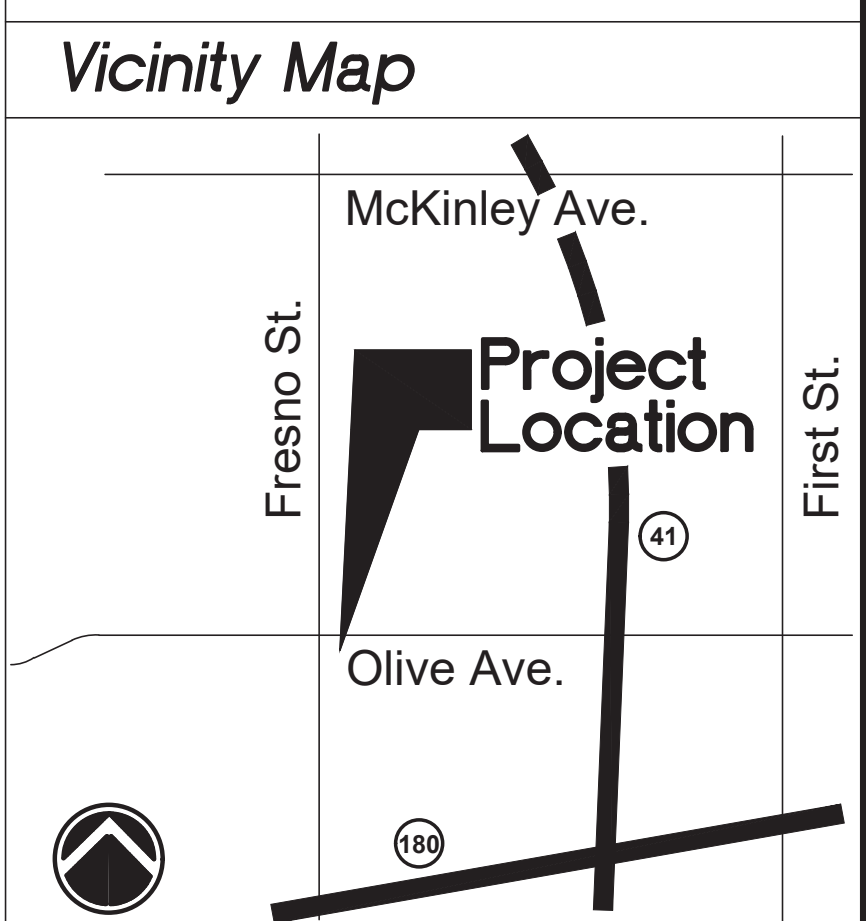
EXCEPTING THEREFROM THE SOUTH 42.5 FEET OF LOTS 12 THRU 15

ALSO EXCEPTING THEREFROM THE WEST 10 FEET OF SAID LOT 15

EXCEPTING AND RESERVING THEREFROM ALL OIL, GAS AND OTHER HYDROCARBONS, NON-HYDROCARBON GASSES OR GASEOUS SUBSTANCES, ALL OTHER MINERALS OF WHATSOEVER NATURE, WITHOUT REGARD TO SIMILARITY TO ABOVE-MENTIONED SUBSTANCES; AND ALL SUBSTANCES THAT MAY BE PRODUCED THEREWITH FROM SAID REAL PROPERTY, BELOW THE DEPTH OF 500 FEET, AS EXCEPTED AND RESERVED IN DEED EXECUTED BY CHEVRON U.S.A., INC., A CORPORATION, RECORDED ON SEPTEMBER 30, 1986, AS DOCUMENT No. 86113640



Site Plan
 SCALE: 1/16" = 1'-0"



Copyright 2007
 PLAN CHECK REVIEW CORRECTIONS
 1
 2
 3
 4
 5
 6
 7
 8
 9
 10
 11
 12
 13
 14
 15
 16
 17
 18
 19
 20
 21
 22
 23
 24
 25
 26
 27
 28
 29
 30
 31
 32
 33
 34
 35
 36
 37
 38
 39
 40
 41
 42
 43
 44
 45
 46
 47
 48
 49
 50
 51
 52
 53
 54
 55
 56
 57
 58
 59
 60
 61
 62
 63
 64
 65
 66
 67
 68
 69
 70
 71
 72
 73
 74
 75
 76
 77
 78
 79
 80
 81
 82
 83
 84
 85
 86
 87
 88
 89
 90
 91
 92
 93
 94
 95
 96
 97
 98
 99
 100

Felipe Ceballos
 5714 N. Prospect Avenue
 Fresno, California 93711
 (559) 408-4888

SITE PLAN

Project Name & Address:
Circle D Food & Liquor
 2520 E. Olive Avenue
 Fresno, CA 93701
 (559) 498-0710

Stamp(s):

Job No.:

Sheet No.:

A-1

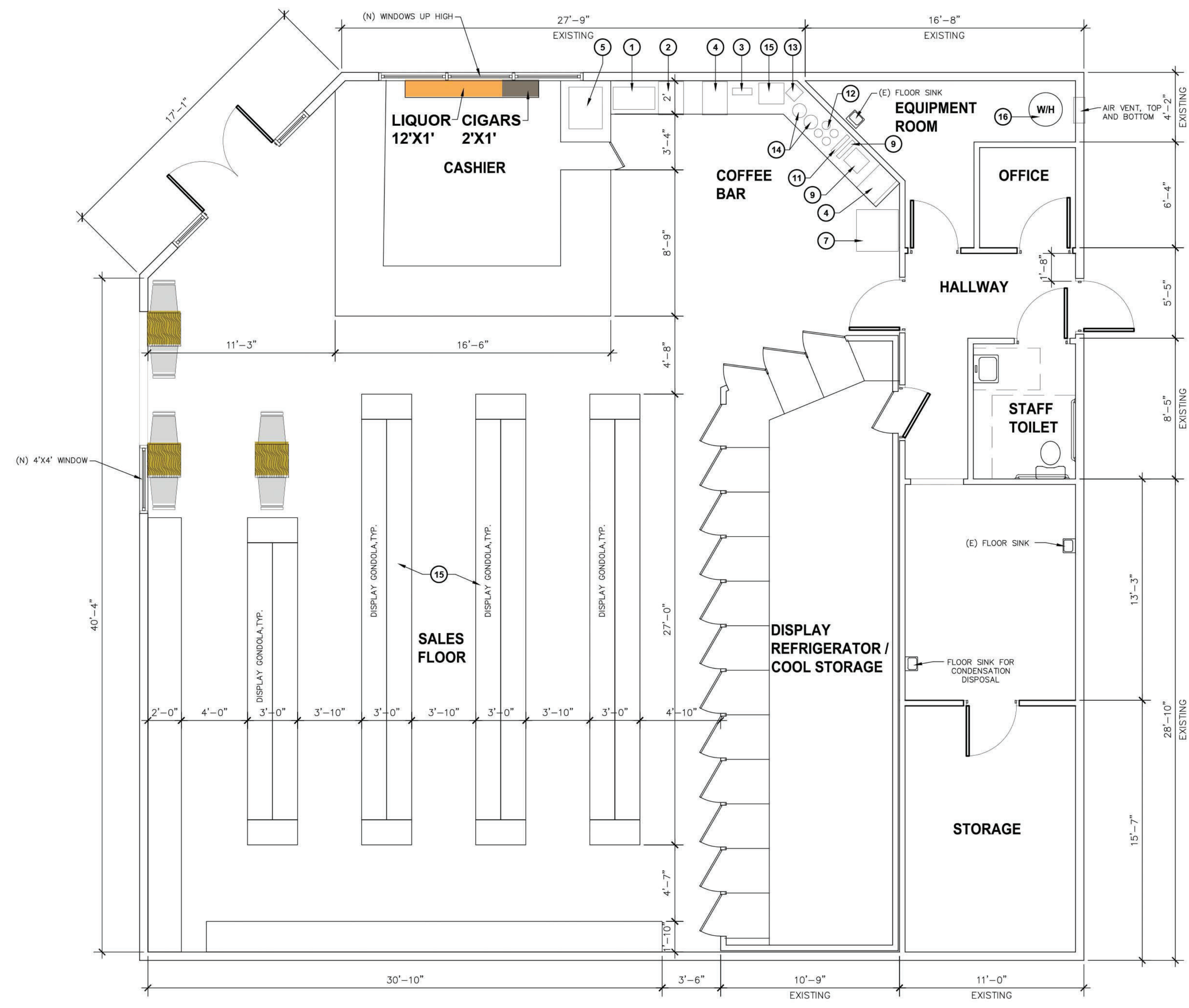
Release Date:

EFRAN GAETA

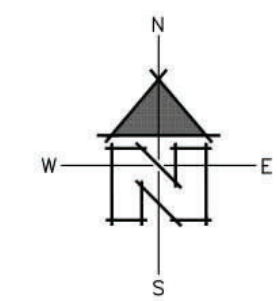
FINISH SCHEDULE																	
ROOM NAME	FLOOR	WALL BASE				WALLS								CEILING			REMARKS
		MAT	FIN	HT		NORTH		EAST		SOUTH		WEST		MAT	FIN	HT	
CASHIER	PT	FF	PB	FF	4"	GB	P	GB	P	GB	P	GB	P	ACT	FF	9'-0"	
SALES FLOOR	PT	FF	PB	FF	4"	GB	P	GB	P	GB	P	GB	P	ACT	FF	9'-0"	
COFFEE BAR	PT	FF	PB	FF	4"	GB	P	GB	P	GB	P	GB	P	ACT	FF	9'-0"	
OFFICE	PT	FF	WD	FF	4"	GB	P	GB	P	GB	P	GB	P	GB	P	8'-0"	
EQUIPMENT ROOM	PT	FF	PB	FF	4"	GB	P	GB	P	GB	P	GB	P	GB	P	8'-0"	
HALLWAY	PT	FF	PB	FF	4"	GB	P	GB	P	GB	P	GB	P	GB	P	8'-0"	
STAFF TOILET	PT	FF	PB	FF	4"	GB	P	GB	P	GB	P	GB	P	GB	P	8'-0"	
DRY STORAGE 1	PT	FF	WD	FF	4"	GB	P	GB	P	GB	P	GB	P	GB	P	8'-0"	
DRY STORAGE 2	PT	FF	WD	FF	4"	GB	P	GB	P	GB	P	GB	P	GB	P	8'-0"	

ACT	=	2'x4' SUSPENDED ACOUSTICAL TILE CEILING SYSTEM	PB	=	PORCELAN WALL BASE WITH 3/8" COVE RADIUS
FF	=	FACTORY FINISH	PT	=	PORCELAN FLOOR TILE
GB	=	GYPSUM BOARD	WD	=	WOOD WALL BASE
P	=	SEMIGLOSS WHITE PAINT			

- ### KEY NOTES
- NEMCO SLANT ROLLER GRILL
 - PAPA PRIMOS PIZZA DISPLAY
 - GEHL'S 2.0 CHEESE SAUCE DISPENSER (5.25"Wx14.75"Dx21"H) 110V
 - INTERNATIONAL DELIGHT ICED COFFEE MAKER 17.75"x23.85Dx23.85"H 110/120V/15 AMP
 - CAFE TANGO FROZEN COFFEE MAKER 24"Wx36"Hx30"D 120V/DEDICATED 20AMPS ELECTRICAL CIRCUIT
 - BLUE BUNNY ICE CREAM BUNKER
 - SUGA MAE BAKERY DISPLAY CASE (30)
 - FRAZIL & FRAZIL ENERGY DRINK DISPENSER 24"Wx36"Hx30"D 120V/DEDICATED 20 AMPS
 - CAPPUCCINO COFFEE MAKER
 - COFFEE CUP DISPENSER
 - SUGAR AND CREAM DISPENSER
 - ASSORTED COFFEE CONTAINER/DISPENSER (4) 6"DIAx20"H
 - COFFEE MAKER
 - 10"DIAx24" COFFEE CONTAINER/DISPENSER
 - SIDE MOUNTED CHIP RACK
 - EXISTING WHIRLPOOL 50 GALLON TANK, GAS WATER HEATER MODEL No. - NU50T61-403 SERIAL No. - 1408T4552999



Floor Plan
SCALE: 1/4" = 1' - 0"



Rev. Date: 6/23/10	Rev. Description:
Number: 1	PLAN CHECK REVIEW CORRECTIONS
Number: 2	
Number: 3	
Number: 4	
Number: 5	
Number: 6	
Number: 7	
Number: 8	
Number: 9	
Number: 10	
Number: 11	
Number: 12	
Number: 13	
Number: 14	
Number: 15	
Number: 16	

Issue Date:	Date:	Designer:	DR:	PC:

Felipe Ceballos
5714 N. Prospect Avenue
Fresno, California 93711
(559) 408-4888

FLOOR PLAN

Circle D Food & Liquor
2520 E. Olive Avenue
Fresno, CA 93701
(559) 498-0710

Stamp(s):

Job No.:

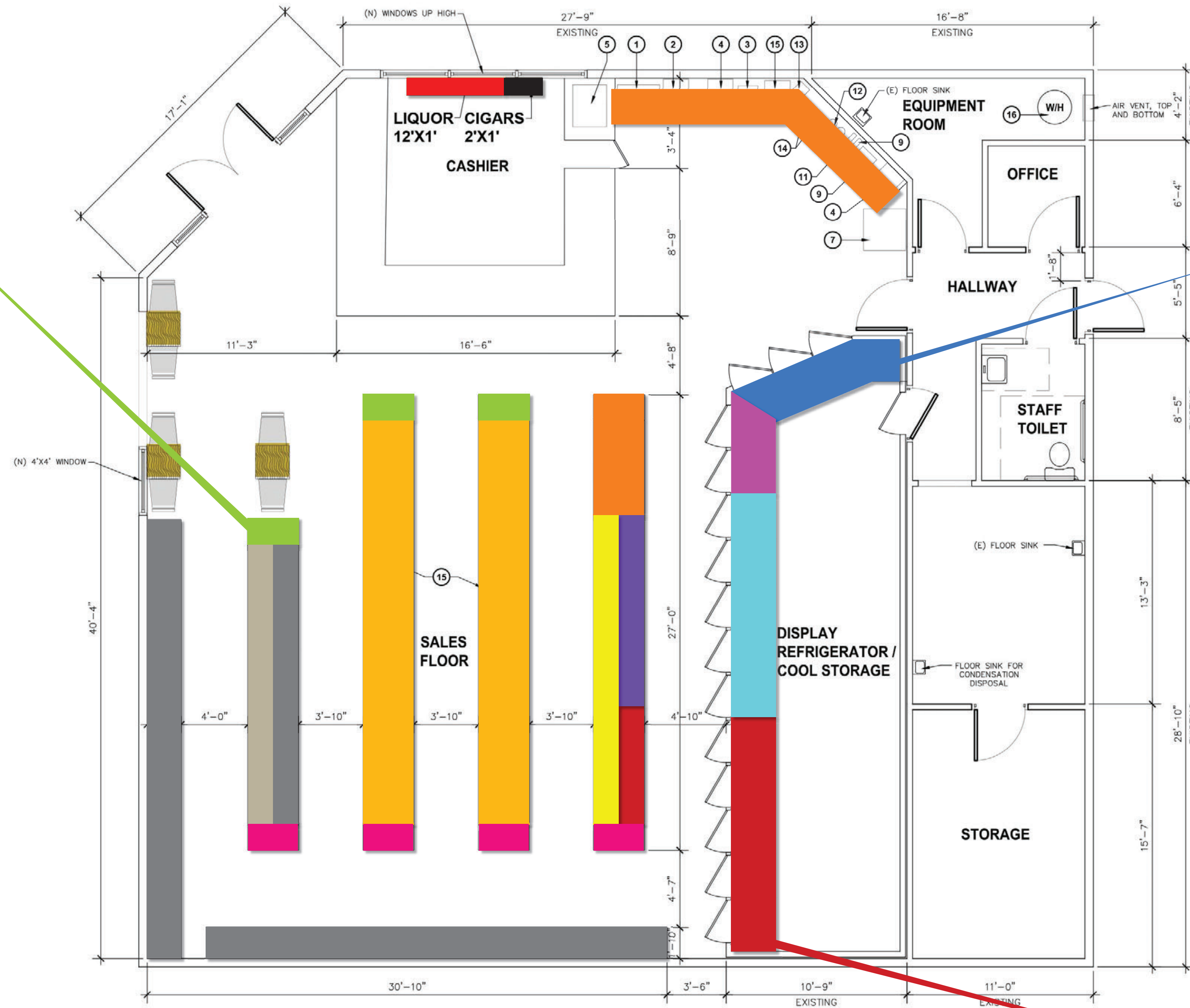
Sheet No.:

A-2

Release Date:



PROPOSED GONDOLAS FOR FRESH PRODUCE



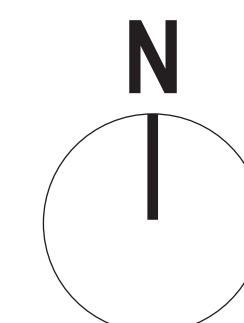
ON-THE-GO COLD FOOD SELECTION AREA



COLD BEER AREA

FLOOR PLAN DETAILS

- PRE-PACKAGED SNACKS
- VARIETY OF END AISLE ITEMS
- PRE-PACKAGED BAKED GOODS
- HOUSEHOLD ITEMS
- FRESH PRODUCE
- COFFEE BAR & HOT FOODS AREA
- BEER & WINE
- DAIRY, DELI & MEAT SELECTION
- ON-THE-GO COLD FOODS SELECTION
- COLD BEVARAGE SELECTION
- PERSONAL GROCERY ITEMS
- GENERAL GROCERY ITEMS
- DISTILLED SPIRITS
- TOBACCO PRODUCTS



NOTE:
THIS DRAWING IS FOR ILLUSTRATION PURPOSES ONLY AND IS NOT TO BE USED AS A BUILDING PLAN OR FOR ANY OTHER PURPOSE. DIMENSIONS ARE DERIVED FROM RECORD DATA BASE. ACCURACY IS ASSUMED TO BE CORRECT BUT IS NEITHER EXPRESSED NOR IMPLIED. THIS DRAWING SHALL REMAIN THE PROPERTY OF DIRK POESCHEL LAND DEVELOPMENT SERVICES, INC. AND SHALL NOT BE USED OR DUPLICATED FOR ANY REASON, WITHOUT WRITTEN PERMISSION.

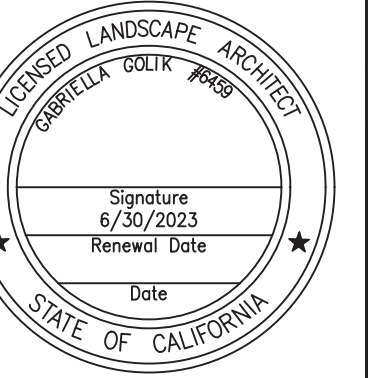
EXHIBIT "C" - DETAILED FLOOR PLAN



GG LANDSCAPE ARCHITECTURE, Inc.

6702 N. CEDAR AVE. STE. 205
FRESNO, CA 93710
559.313.3891

GABRIELLA@GGLANDSCAPEARCH.COM



ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN INSTITUTE THE ORIGINAL WORK OF THE DESIGNER AND THE SAME MAY NOT BE REPRODUCED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. "GG LANDSCAPE ARCHITECTURE" ALL RIGHTS RESERVED.

REVISIONS

NO.	DESCRIPTION
1	

IRRIGATION PLAN

DRAWING TITLE:
Circle D Gas Station
2520 E OLIVE AVE
Fresno, CA
PLAN CHECK # 22-XXXX

DATE: 1/9/23

JOB NO.: 23-104

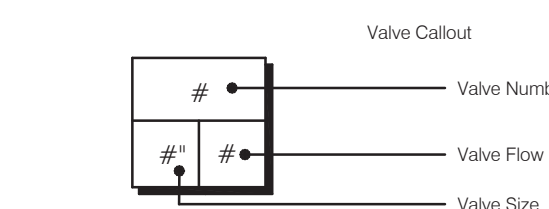
SHEET:

IRR-1
of X sheets

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	Rain Bird XZ-100-IVM 1" Wide Flow IVM Drip Control Kit for Commercial Applications. 1in. Ball Valve with 1in. PESBVM Smart Valve w/ factory installed IVM-SOL 0.3-20 gpm and 1in. Pressure Regulating 40psi Flow-Indicating Basket Filter 0.3-20 gpm	2	7/IRR-3
	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	3	8/IRR-3
	Flush Valve	2	6/IRR-3
	Drip Air Relief Valve	2	5/IRR-3
	Rain Bird PCT Pressure Compensating Threaded Low-Flow Bubblers. Offered in 5 GPH, 7 GPH, and 10 GPH models, with 1/2in. FPT threaded inlet. Light Brown = 5 GPH, Violet = 7 GPH, and Green = 10 GPH.	8	1/IRR-4
	Area to Receive Dripline Rain Bird XFD-06-18 XFD On-Surface Pressure Compensating Landscape Dripline. 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	1,030 l.f.	4/IRR-3

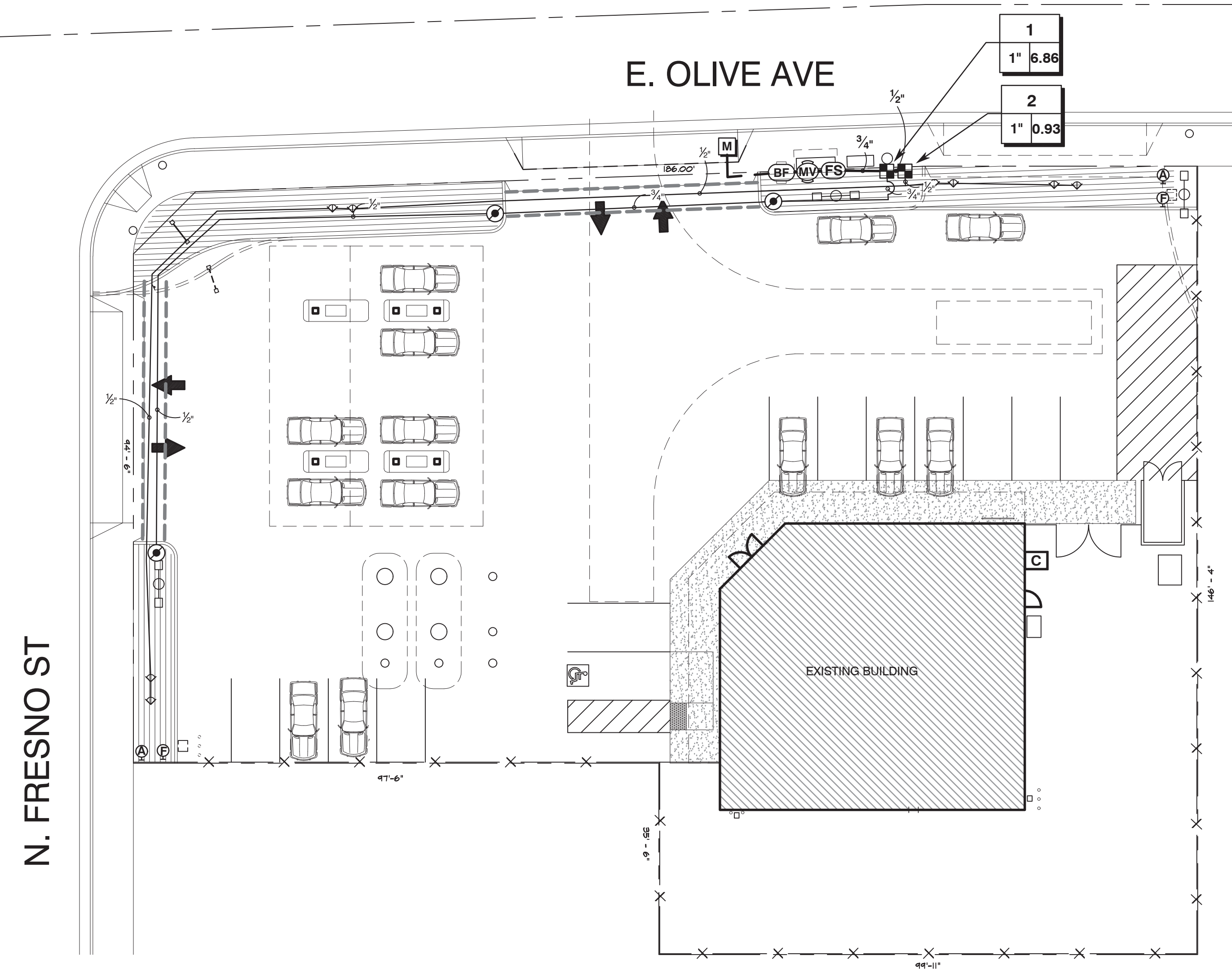
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	Buckner-Superior 3000 2" Normally Closed Brass Master Valve that Provides Dirty Water Protection and 3-Way Solenoid Design. Available in 1in., 1-1/4in., 1-1/2in., 2in., 2-1/2in. and 3in. sizes.	1	2/IRR-3
	Febco 825Y 2" Reduced Pressure Backflow Preventer	1	1/IRR-3
	Hunter HPC-400 4 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen. Plastic Cabinet	1	2/IRR-4
	Flow Sensor	1	3/IRR-3
	EXISTING Water Meter 2" : FIELD VERIFY	1	
	Irrigation Lateral Line: PVC Schedule 40 1/2"	376.4 l.f.	
	Irrigation Lateral Line: PVC Schedule 40 3/4"	78.3 l.f.	
	Irrigation Mainline: PVC Schedule 40 1/2"	3.4 l.f.	
	Irrigation Mainline: PVC Schedule 40 3/4"	35.3 l.f.	
	Pipe Sleeve: PVC Class 200 SDR 21	94.5 l.f.	



PVC PIPE SIZE CHART

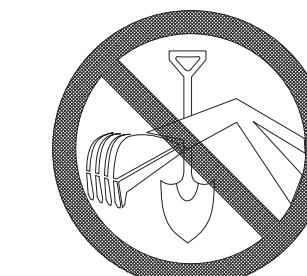
Size	CL. 200	Sch. 40	CL. 315
1/2"	N/A	N/A	0-5
3/4"	0-10	0-8	6-9
1"	11-17	9-13	10-15
1 1/4"	18-27	14-23	16-24
1 1/2"	28-37	24-31	25-32
2"	38-57	32-53	33-50
2 1/2"	58-82	54-73	51-72
3"	83-120	74-115	73-105
4"	121-200	116-195	106-180

The above gpm's are based on a maximum of 5' per second velocity.

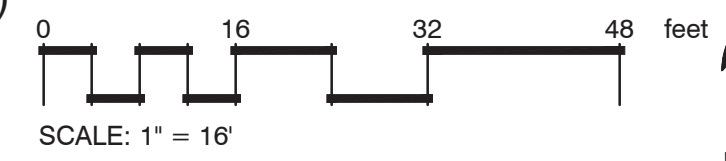


- IRRIGATION WIRE NOTES
- 1) THE IRRIGATION COMMON AND CONTROL WIRE WILL BE SINGLE STRAND COPPER, UF/LUL, DIRECT BURIAL WIRE. (PAIGE WIRE)
 - 2) THE CONTROL WIRE WILL BE #14 AND THE COMMON WIRE WILL BE #12. NO SMALLER SIZES WILL BE ALLOWED.
 - 3) EACH CONTROLLER IN A CLUSTER WILL HAVE DIFFERENT COLORS FOR THE COMMON AND CONTROL WIRES.
EXAMPLE:
'A' CONTROLLER - COMMON (RED) - CONTROL (WHITE)
'B' CONTROLLER - COMMON (BLUE) - CONTROL (YELLOW)
'C' CONTROLLER - COMMON (GREEN) - CONTROL (ORANGE)

- SLEEVE NOTE
1. ALL SLEEVES WILL BE SCHEDULE 40 PVC.
 2. ALL PIPE AND WIRE WILL BE INSTALLED IN SEPARATE SLEEVES. MIXING PIPE WITH WIRE IN THE SAME SLEEVE WILL NOT BE ALLOWED.
 3. MINIMUM SLEEVE SIZE IS 2".
 4. ALL PAVED SURFACES, SIDEWALKS, DRIVEWAYS, WALL FOOTINGS AND HARDSCAPE AREAS WILL RECEIVE SLEEVES.
 5. ALL SLEEVES MAY NOT BE SHOWN AND/OR SIZED ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL REQUIRED SLEEVING AND PROPER SIZING.



CALL UNDERGROUND SERVICE ALERT(U.S.A.)
TOLL FREE(800) 227-2600
48 HOURS
BEFORE EXCAVATING





GG LANDSCAPE ARCHITECTURE, Inc.
6702 N. CEDAR AVE. STE. 205
FRESNO, CA 93710
559.313.3891
GABRIELLA@GGLANDSCAPEARCH.COM



ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN INSTITUTE THE ORIGINAL WORK OF THE DESIGNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. "GG LANDSCAPE ARCHITECTURE" ALL RIGHTS RESERVED.

REVISIONS	
1	
2	
3	
4	
5	

HYDROZONE PLAN

DRAWING TITLE:
Circle D Gas Station
2520 E OLIVE AVE
Fresno, CA
PLAN CHECK # 22-XXXX

DATE: 1/9/23
JOB NO.: 23-104
SHEET:
IRR-2
of X sheets

HYDROZONE SCHEDULE

TYPE	IRRIGATION	AREA
H1	LOW DRIP	1,540 SF

Water Efficiency Calculations

Project: 2520 E OLIVE AVE
Location: FRESNO, CA
Water Supply Type: Potable

Site Details -

Avg. Irrigation Efficiency:	0.81
Evapotranspiration Rate :	51.1 Inches Per Year
Total Landscape Area :	1,540 Square Feet
Special Landscape Area :	0 Square Feet

Site Summary -

Max. Applied Water:	26,835 Gallons Per Year
Est.Total Water Use:	24,094 Gallons Per Year
Net Difference:	2,741 Gallons Per Year

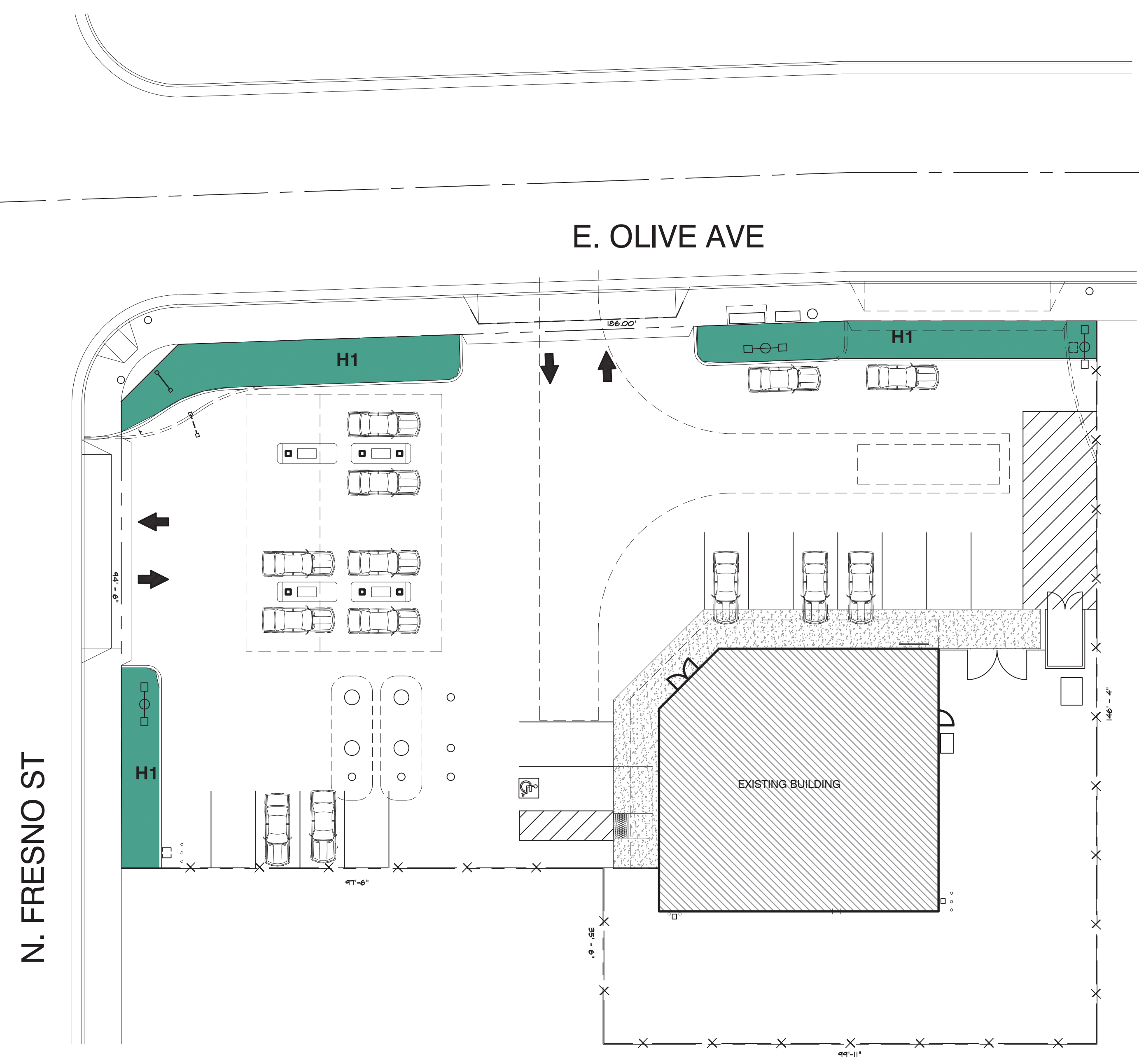
Project Compliance : Project is Compliant

Additional Savings: 10.21%
Under Allowed Limit

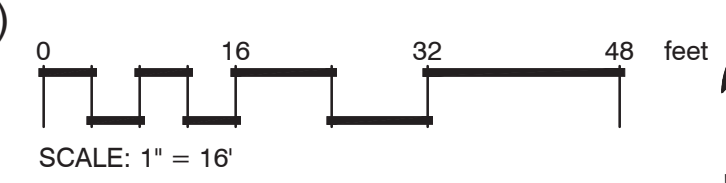
Hydrozone		Total Area:		PF x HA / IE:		1,540		760	
Hydrozone	PF	Type	Irrig.	IE	HA	% of Area	PFxHA / IE		
H1	0.4	LOW	DRIP	0.81	1,540	100.00%	760		
H2						0.00%	0		
H3						0.00%	0		
H4						0.00%	0		
H5						0.00%	0		
H6						0.00%	0		
Special Hydrozone		Total Area:				0			
Hydrozone	PF	Type	Irrig.	IE	HA	% of Area			
SLA						0.00%			

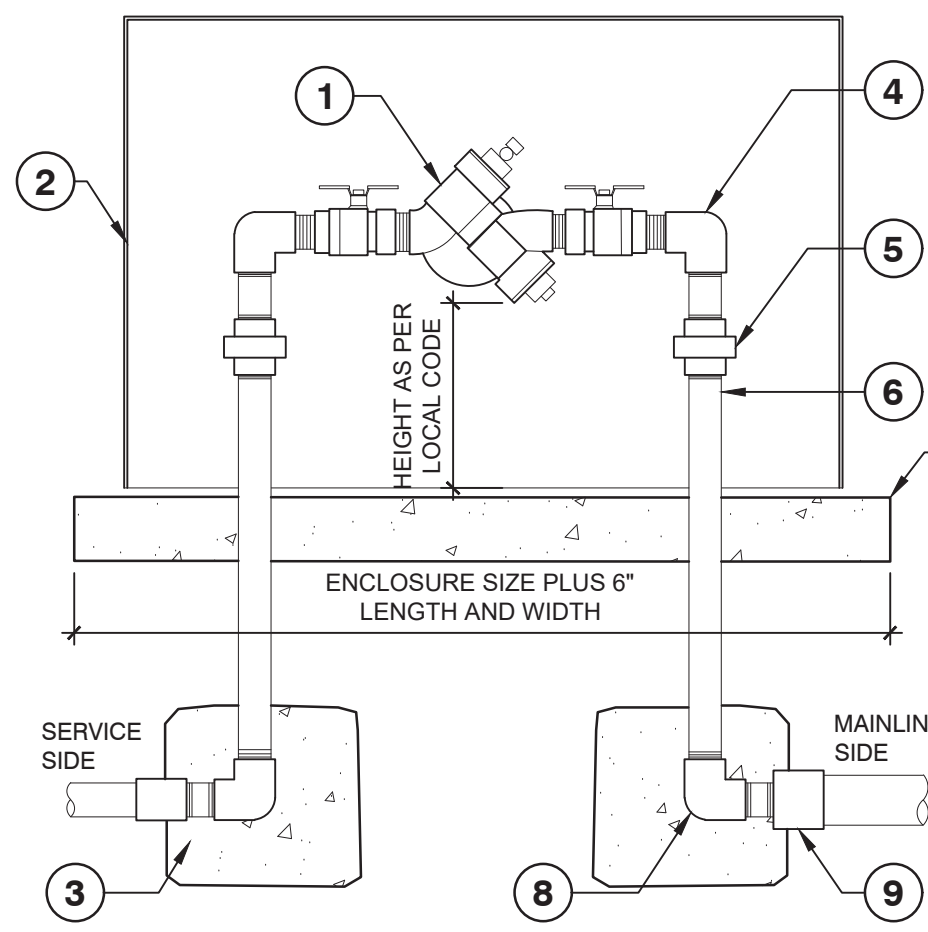
"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

SIGNATURE _____ DATE _____

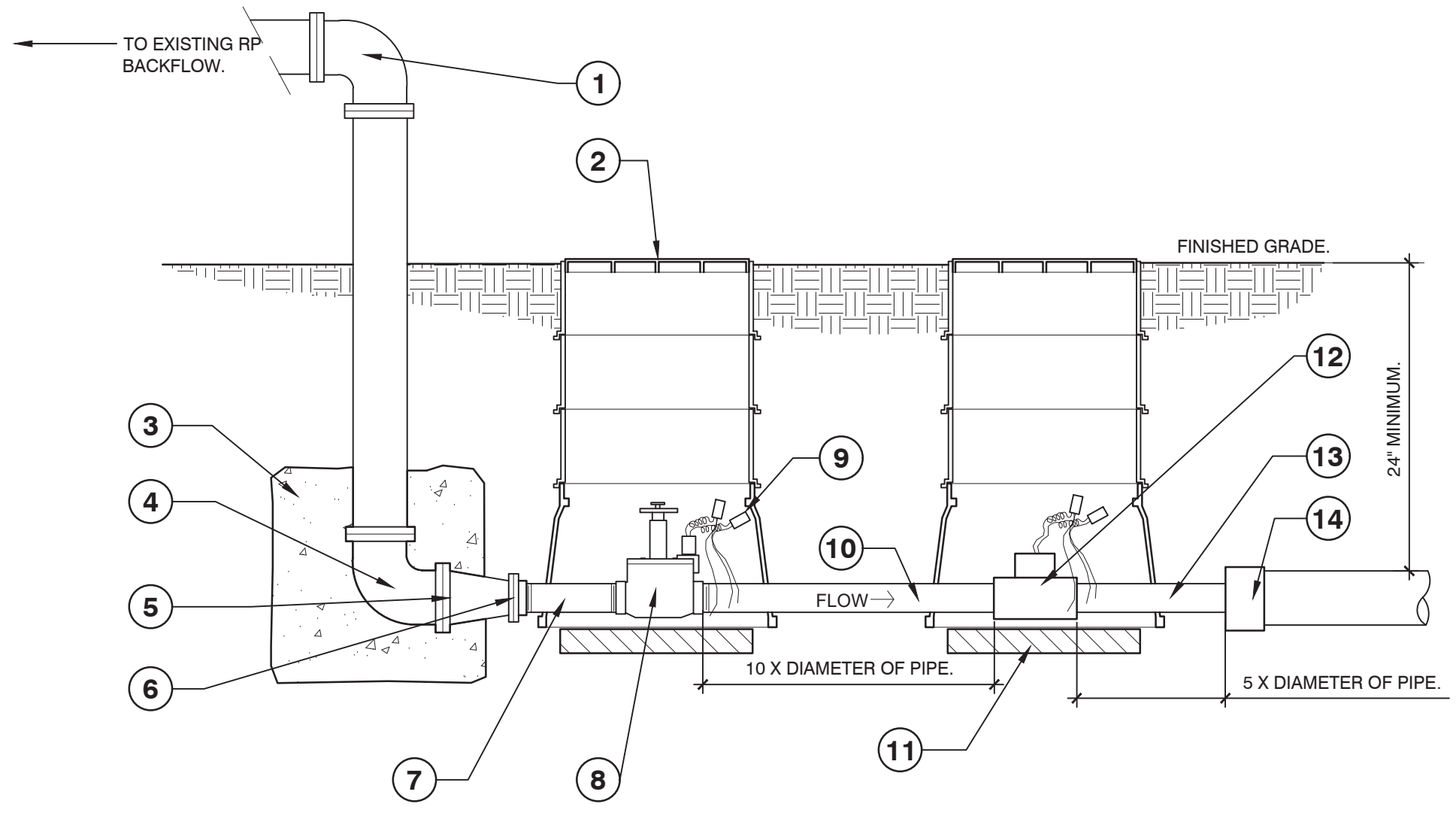


CALL UNDERGROUND SERVICE ALERT(U.S.A.)
TOLL FREE(800) 227-2600
48 HOURS
BEFORE EXCAVATING

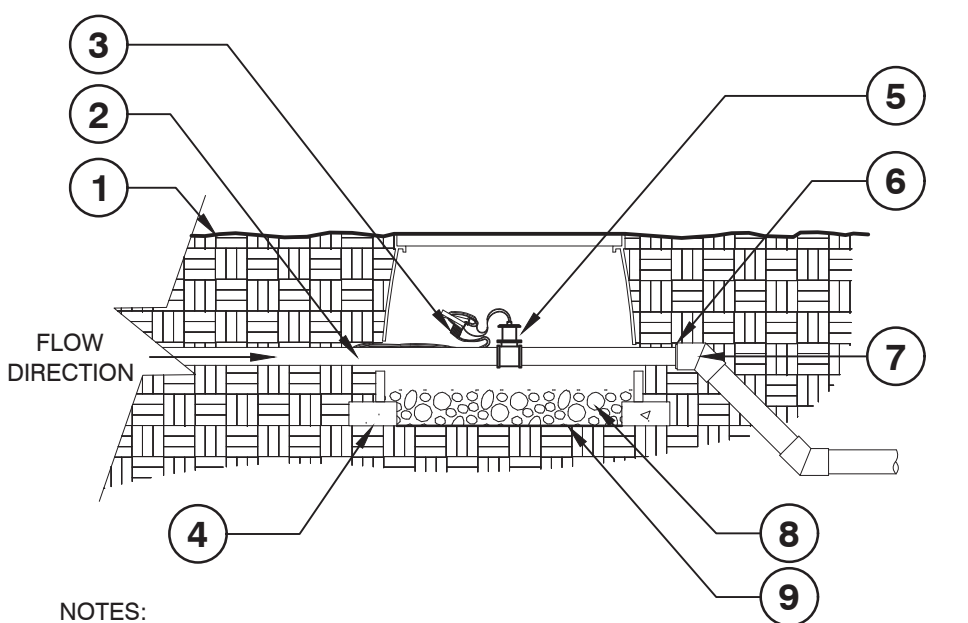




- 1 REDUCED PRESSURE BACKFLOW DEVICE AS SPECIFIED
- 2 BACKFLOW ENCLOSURE AS SPECIFIED
- 3 CONCRETE THRUST BLOCKS, 90 LBS OF CONCRETE EACH
- 4 GALVANIZED NIPPLES AND ELL AS REQUIRED
- 5 GALVANIZED UNIONS AT EACH SIDE
- 6 GALVANIZED RISERS
- 7 4" THICK MIN. CONCRETE PAD
- 8 GALVANIZED ELL AND NIPPLE, TYPICAL
- 9 PVC COUPLER OR REDUCER AS REQUIRED, TYPICAL



- 1 4" FLANGE ELBOW P.O.C.
- 2 SPECIFIED RECTANGULAR VALVE BOXES WITH EXTENSIONS AS NEEDED.
- 3 18"X18"X18" CONCRETE SUPPORT BLOCK.
- 4 4" FLANGED ELL.
- 5 2"X4" FLANGED REDUCER.
- 6 2" GALVANIZED FLANGE X 1 PT ADAPTER.
- 7 PVC SCH 80 2"X8" NIPPLE.
- 8 MASTER VALVE AS SPECIFIED.
- 9 WATER PROOF CONNECTORS.
- 10 2X24 PVC SCH 80 TOE PIPING.
- 11 2X6X16 CONCRETE WALL CAPS, TWO PER BOX, ONE EACH SIDE.
- 12 FLOW METER AS SPECIFIED (2 WIRES TO CONTROLLER).
- 13 2X12 PVC SCH 80 PIPING.
- 14 4" PVC MAIN LINE WITH 2" REDUCING BUSHING.

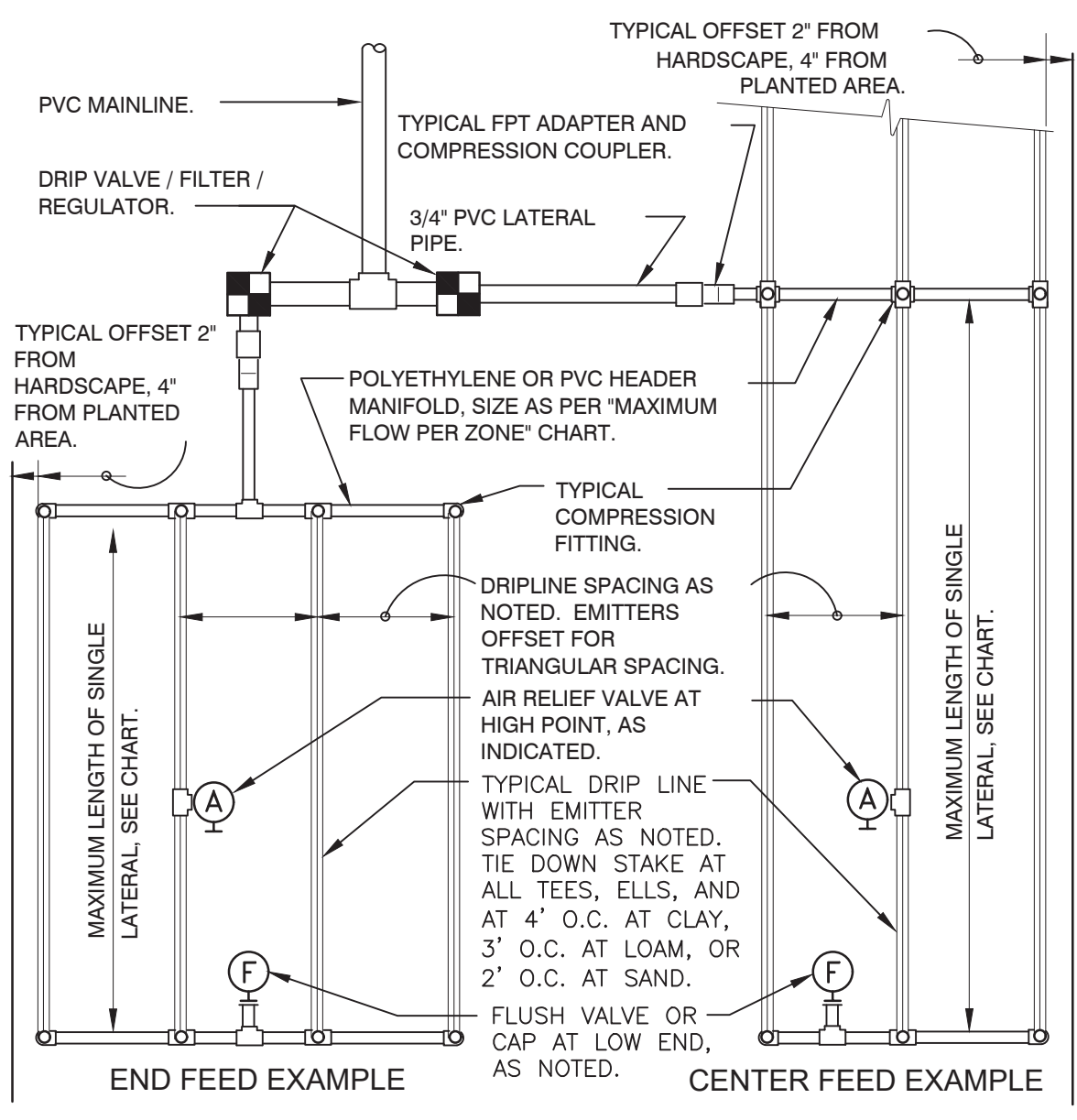


- NOTES:
1. FLOW SENSOR MAKE AND MODEL NUMBER SHALL BE PER CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS (SEE IRRIGATION PLANS).
 2. FLOW SENSOR WIRE SHALL BE PER CONTROLLER MANUFACTURER'S SPECIFICATIONS.
 3. INSTALL FLOW SENSOR PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 4. ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES. WIRE CONNECTIONS SHALL BE MADE USING DBRY-Y-6 CONNECTORS OR APPROVED SUBSTITUTE.
 5. VALVE BOX SHALL BE WRAPPED WITH A MIN. OF THREE (3) MIL THICK PLASTIC AND SECURE IT TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
 6. SEE MASTER VALVE/FLOW SENSOR DETAIL FOR LINEAR DIMENSIONS.
- 1 FINISH GRADE
 - 2 MAINLINE PIPE FROM MASTER VALVE (SEE MASTER VALVE/FLOW SENSOR DETAIL FOR MAINLINE PIPE SIZE)
 - 3 IRRIGATION VALVE WIRES WITH 12" MIN. EXPANSION COIL
 - 4 FOUR (4) 4" x 8" BRICKS
 - 5 FLOW SENSOR (SEE IRRIGATION PLANS FOR MAKE AND MODEL)
 - 6 SCH. 40 PVC REDUCER BUSHING
 - 7 SCH. 40 PVC 45 DEG. ELBOW
 - 8 3" THICK LAYER OF PEA GRAVEL OR APPROVED SUBSTITUTE
 - 9 3/8" WELDED WIRE MESH

1 1" = 1'-0" P-CO-CIR-06

2 1" = 1'-0" P-CO-CIR-01

3 3/4" = 1'-0" P-CO-CIR-03

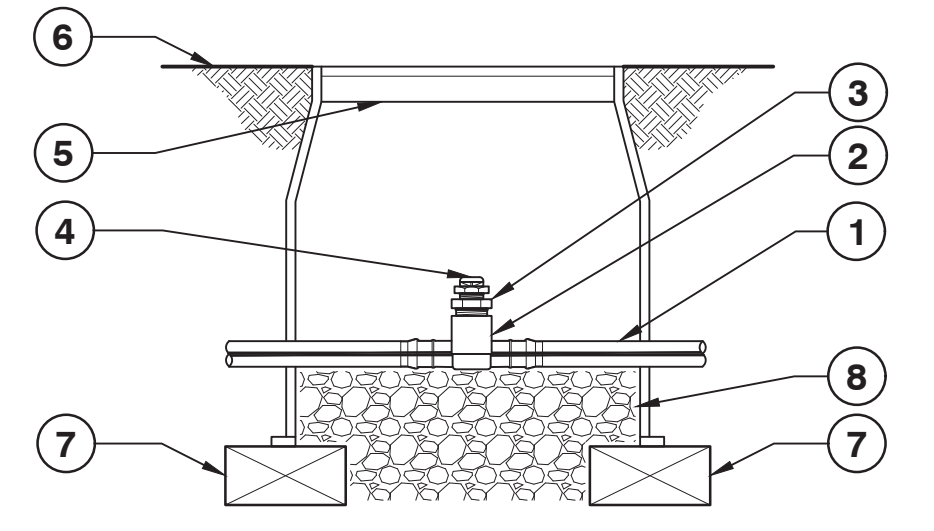


PSI	EMITTER FLOW RATE GPH			
	12" SPACING	18" SPACING	24" SPACING	30" SPACING
10	125	96	175	135
20	249	191	350	171
30	307	236	434	333
40	350	268	495	380
50	125	96	175	135
60	125	96	175	135

EMITTER SPACING	GRID PRECIPITATION RATES (IN/HR)	
	0.6	0.9
12	12	0.96
18	18	0.69
24	24	0.28

EMITTER SPACING	LATERAL FLOW PER 100 FT (GPM)	
	0.6	0.9
12	1.0	1.5
18	0.67	1.0
24	0.50	0.75

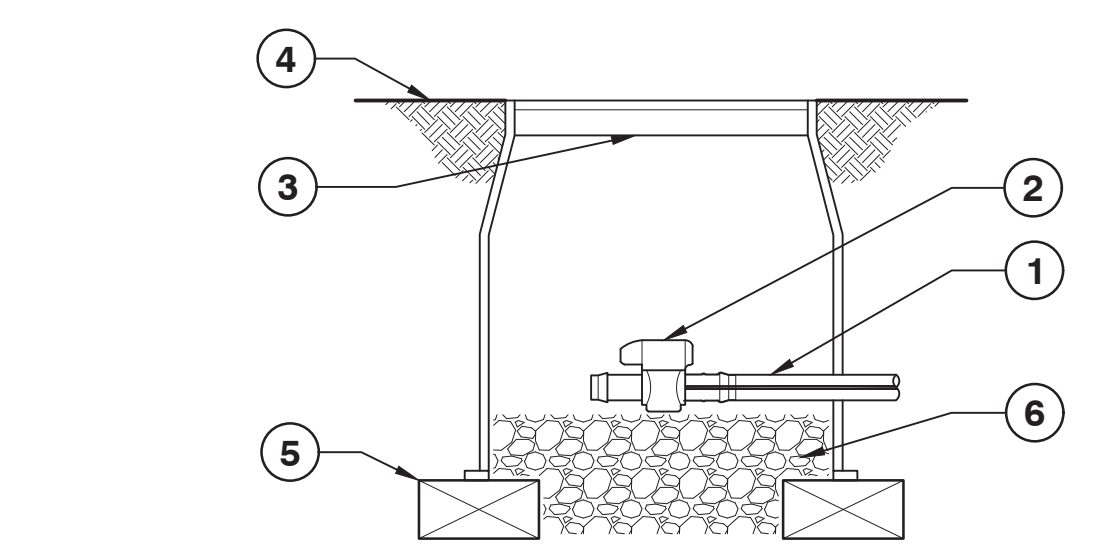
- SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
 2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
 3. NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
 4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
 5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.



- 1 LANDSCAPE PRODUCTS 17MM EZ-10 CV COLOR CODED DRIPLINE
- 2 LANDSCAPE PRODUCTS 17MM DRIPLINE TEE ADAPTER
- 3 3/4" x 1/2" REDUCER BUSHING
- 4 LANDSCAPE PRODUCTS 12001240 1/2" AIR RELIEF VALVE
- 5 LANDSCAPE PRODUCTS 12001690 6" x 9" ROUND EMITTER BOX
- 6 FINISH GRADE
- 7 BRICK FOR SUPPORT
- 8 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

NOTES:

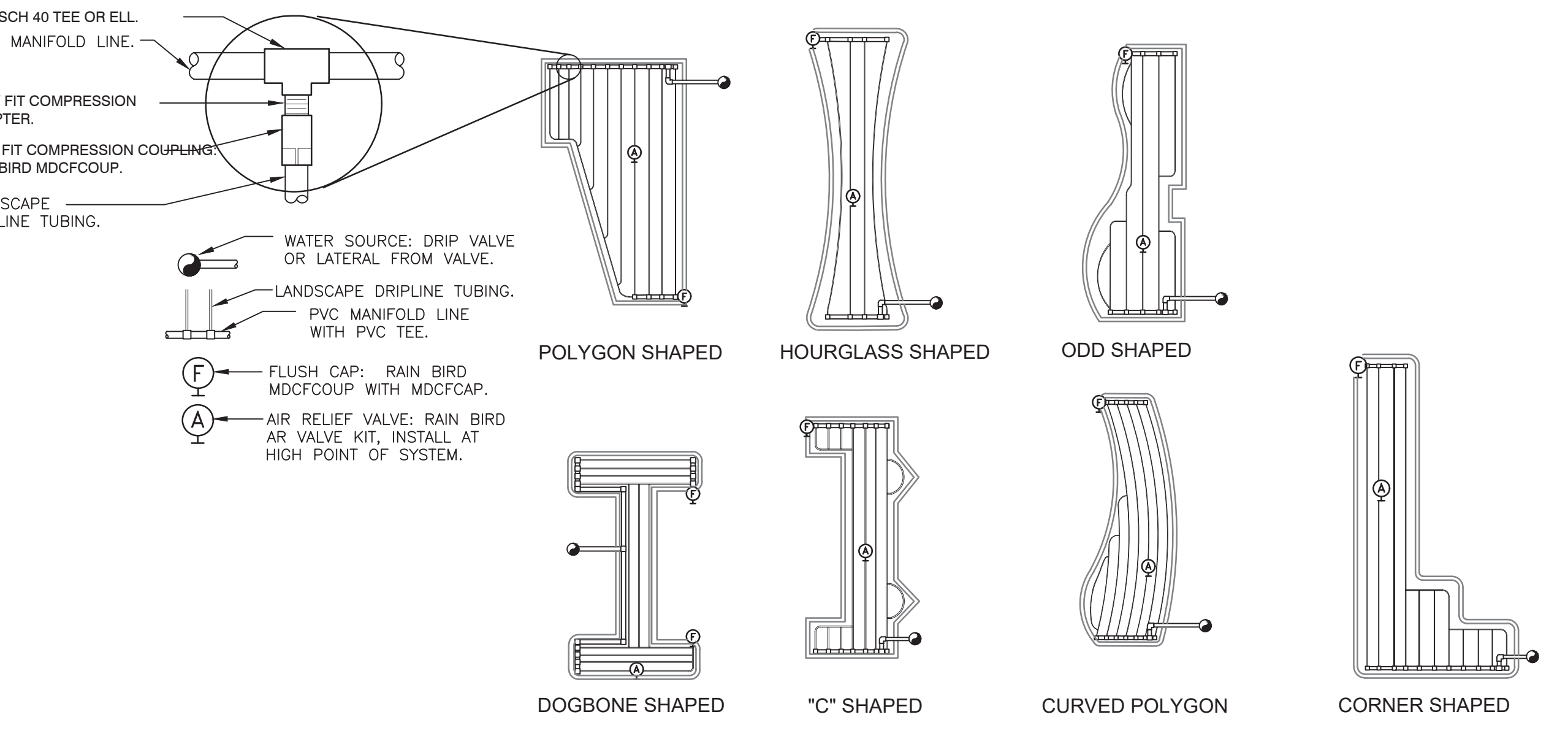
1. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINTS ON THE DRIPLINE.



- 1 LANDSCAPE PRODUCTS 17MM EZ-ID CV COLOR CODED DRIPLINE
- 2 LANDSCAPE PRODUCTS 12051270 17MM DRIPLINE SHUT OFF VALVE
- 3 LANDSCAPE PRODUCTS 12001690 6" x 9" ROUND EMITTER BOX
- 4 FINISH GRADE
- 5 BRICKS FOR SUPPORT
- 6 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

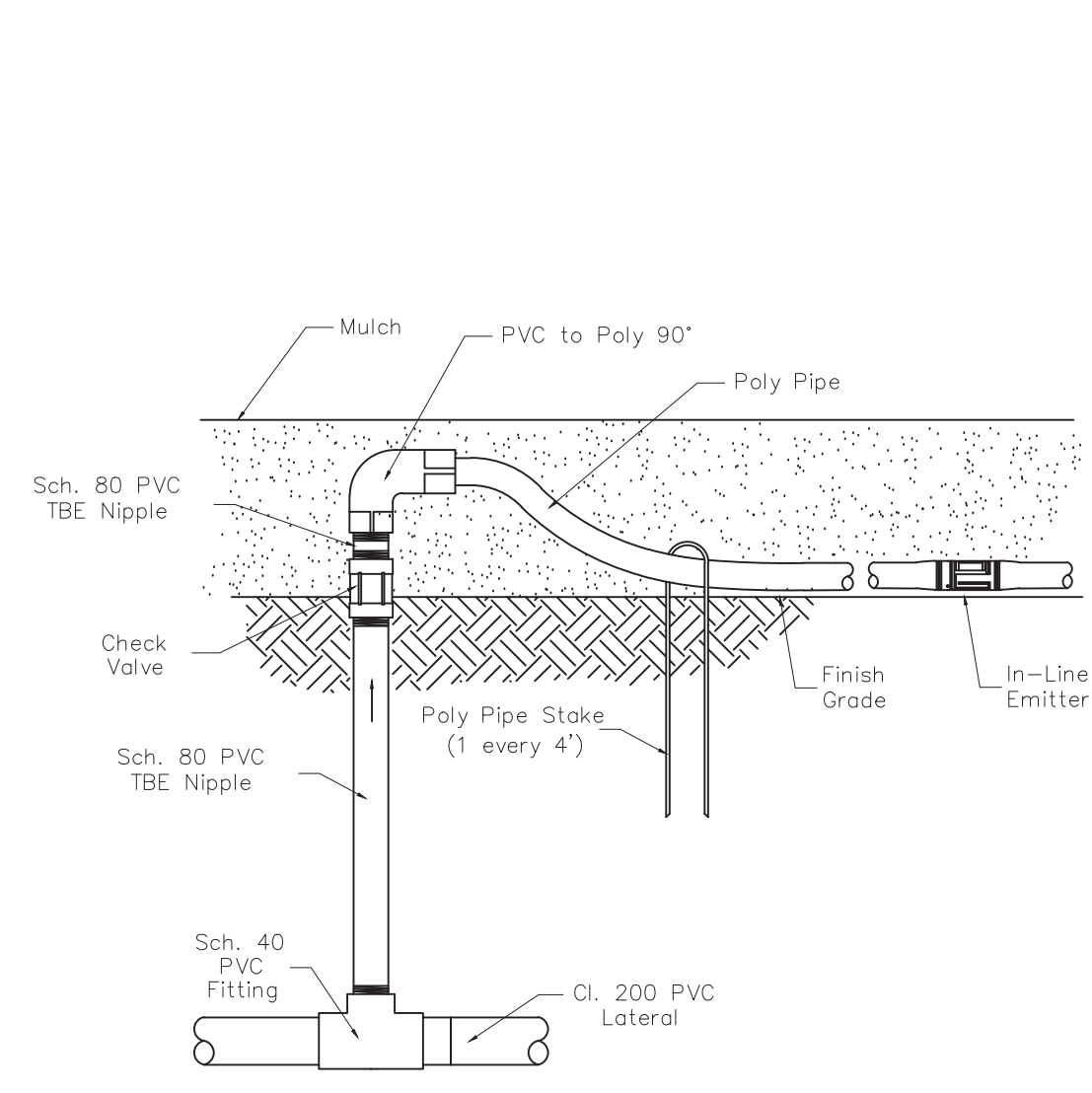
5 17MM EZ-ID DRIPLINE AIR RELIEF VALVE NOT TO SCALE P-CO-CIR-02

6 17MM EZ-10 CV DRIPLINE FLUSH VALVE NOT TO SCALE P-CO-CIR-04



7 DRIP ZONE KIT IN VALVE BOX NOT TO SCALE P-CO-CIR-05

4 TYPICAL RAIN BIRD DRIPLINE REQUIREMENTS N.T.S. P-CO-CIR-28



8 PVC TO POLY CONNECTION 3" = 1'-0" P-CO-CIR-11

ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN INSTITUTE THE ORIGINAL WORK OF THE DESIGNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. "GG LANDSCAPE ARCHITECTURE" ALL RIGHTS RESERVED.

REVISIONS	
1	

IRRIGATION DETAILS

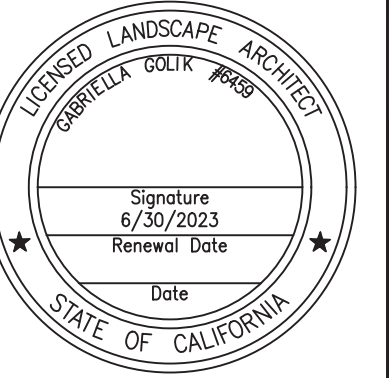
DRAWING TITLE:
Circle D Gas Station
2520 E OLIVE AVE
 Fresno, CA
 PLAN CHECK # 22-XXXX



GG LANDSCAPE ARCHITECTURE, Inc.

6702 N. CEDAR AVE. STE. 205
FRESNO, CA 93710
559.313.3891

GABRIELLA@GGLANDSCAPEARCH.COM



ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN INSTITUTE THE ORIGINAL WORK OF THE DESIGNER AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. "GG LANDSCAPE ARCHITECTURE" ALL RIGHTS RESERVED.

REVISIONS

1	
2	

IRRIGATION DETAILS

DRAWING TITLE:
Circle D Gas Station
2520 E OLIVE AVE
Fresno, CA
PLAN CHECK # 22-XXXX

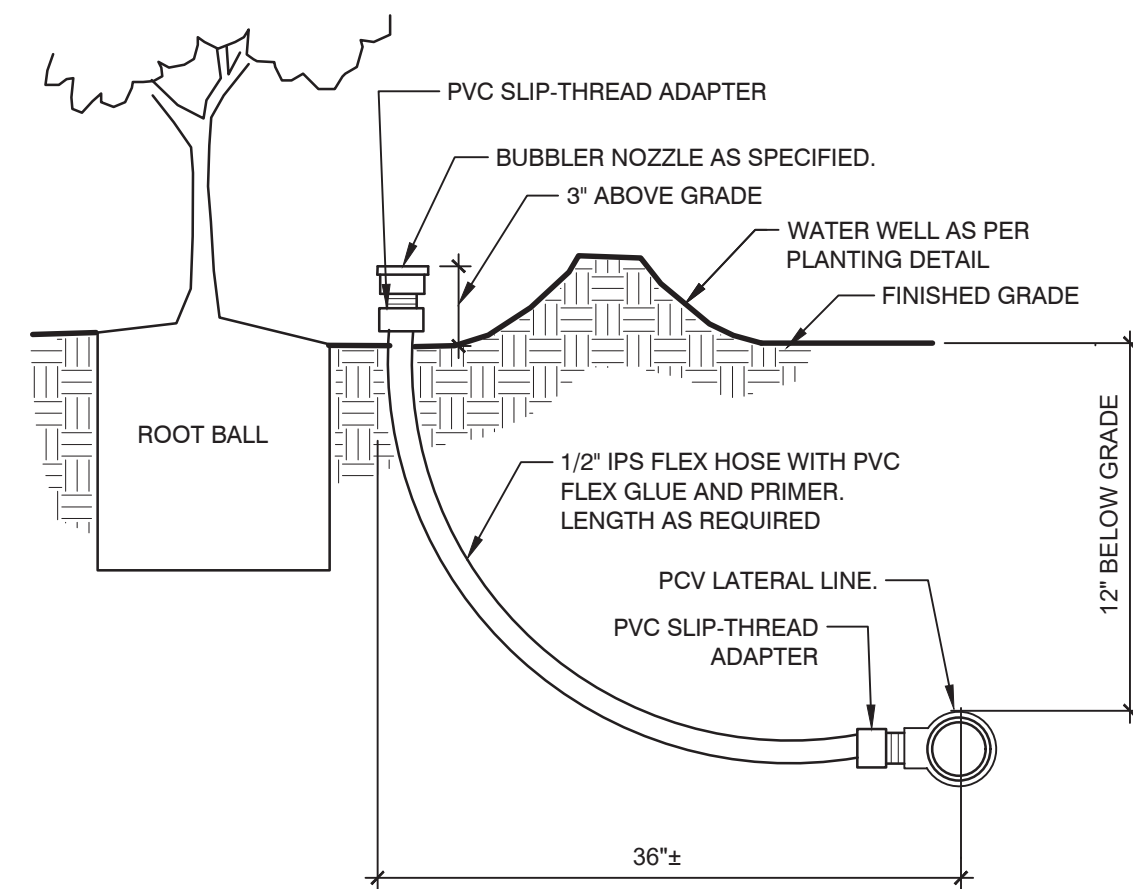
DATE: 1/9/23

JOB NO.: 23-104

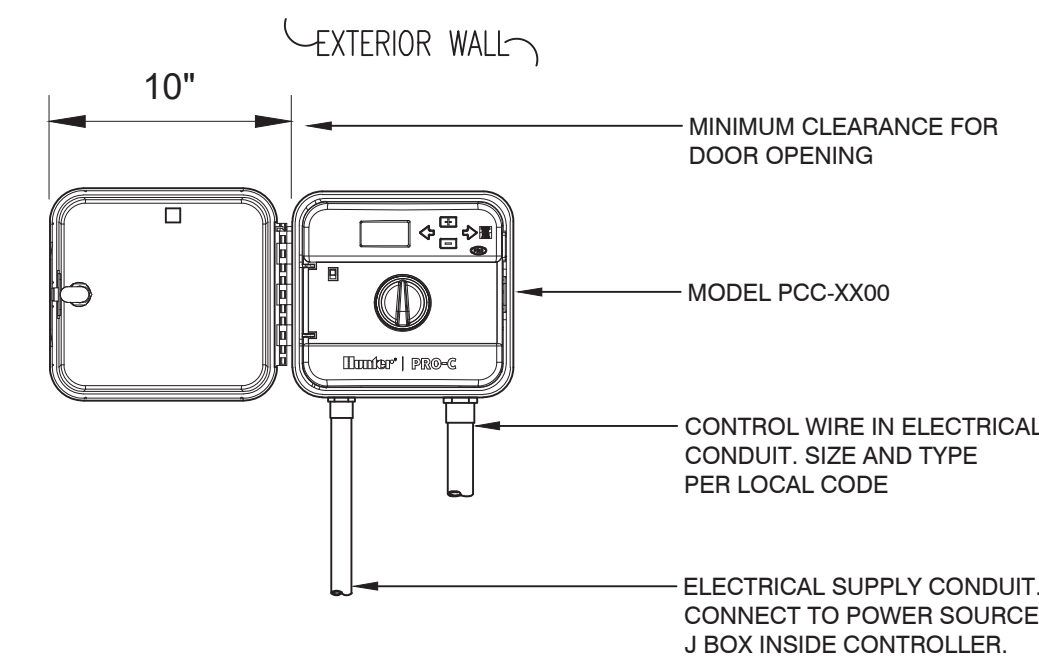
SHEET:

IRR-4
of X sheets

Hunter®

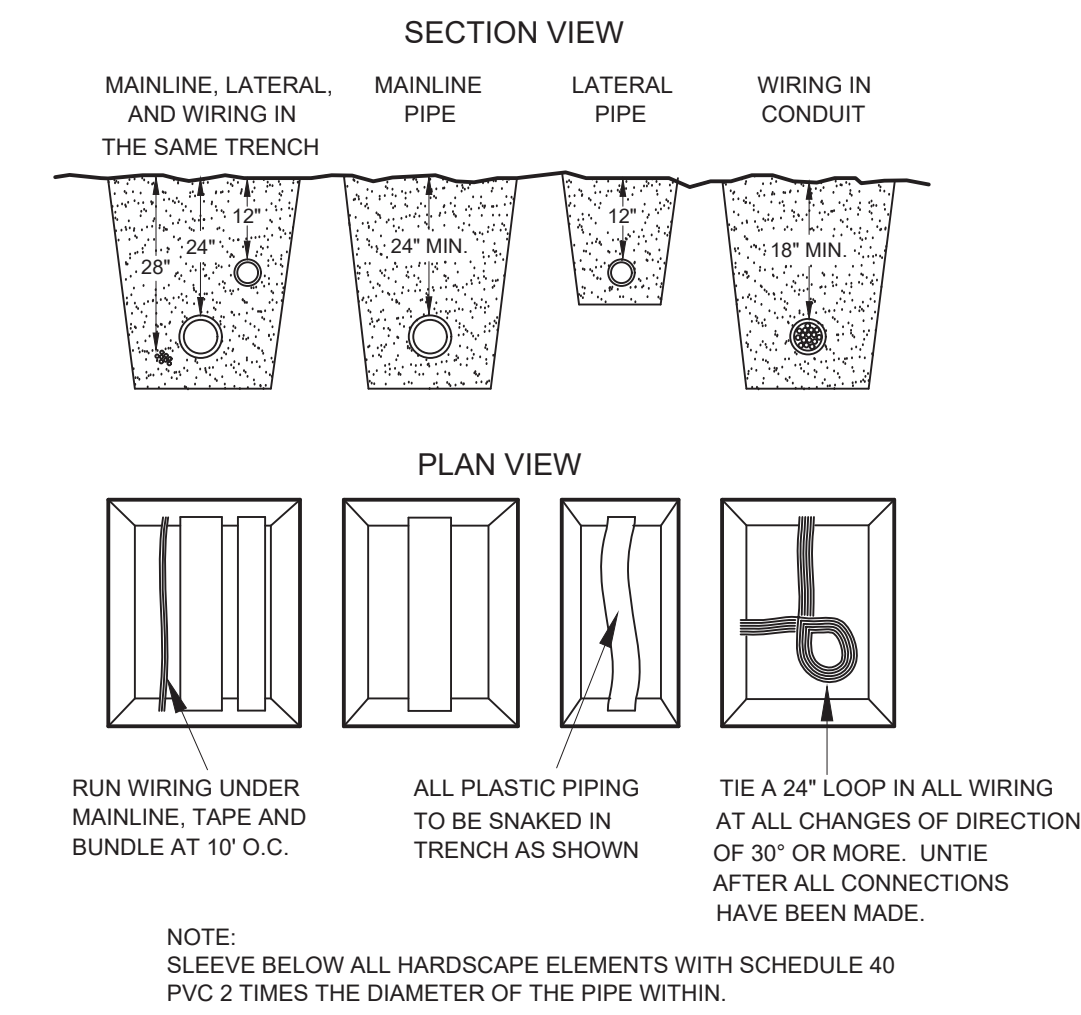


1 BUBBLER ON FLEX HOSE RISER
3" = 1'-0" P-CO-CIR-12



NOTE
SPECIFY 6 & 12 STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC SOURCE.

2 PRO-C CONVENTIONAL CONTROLLER
1 1/2" = 1'-0" P-CO-CIR-23



3 PIPE AND WIRE TRENCHING
NTS P-CO-CIR-10



GG LANDSCAPE ARCHITECTURE, Inc.

6702 N. CEDAR AVE. STE. 205
FRESNO, CA 93710
559.313.3891

GABRIELLA@GGLANDSCAPEARCH.COM



ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN INSTITUTE THE ORIGINAL WORK OF THE DESIGNER AND THE SAME MAY NOT BE REPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. "GG LANDSCAPE ARCHITECTURE" ALL RIGHTS RESERVED.

REVISIONS

Table with 2 columns: Revision number and description. Contains two revision entries.

LANDSCAPE NOTES

DRAWING TITLE:
Circle D Gas Station
2520 E OLIVE AVE
Fresno, CA
PLAN CHECK # 22-XXXX

DATE: 1/9/23
JOB NO.: 23-104
SHEET:
L-00
of X sheets

GENERAL NOTES

- 1. SEE CIVIL ENGINEERS DRAWINGS FOR GRADING AND DRAINAGE INFORMATION NOT SHOWN IN THESE DRAWINGS.
2. UPON EXECUTION OF THE CONTRACT, PROVIDE THE LANDSCAPE ARCHITECT AND OWNER WITH A CRITICAL PATH SCHEDULE TO INCLUDE EACH ITEM, LEAD TIME, ORDER AND INSTALLATION DATE FOR SUBSTANTIAL COMPLETION.
3. PROVIDE FOR POSITIVE DRAINAGE. NOTIFY LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE OTHERWISE. MAINTAIN FLOWLINES AND DRAINAGE PATTERNS AS INDICATED ON ENGINEER'S GRADING DRAWINGS.
4. VERIFY AND STAKE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND AS REQUIRED BY GOVERNING AGENCIES TO BE HELD LIABLE FOR DAMAGES TO EXISTING UTILITIES INCURRED BY INSTALLATION OF THE WORK.
5. REPAIR AND REPLACE ANY EXISTING IMPROVEMENTS THAT ARE DAMAGED DURING CONSTRUCTION.
6. CHECK DIMENSIONS, FRAMING CONDITIONS AND SITE CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS WITH FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER.
7. VERIFY PROPERTY LINES PRIOR TO COMMENCING WORK. NO CONSTRUCTION ITEM, INCLUDING FOOTINGS, SHALL EXTEND BEYOND PROPERTY LINE.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO ACCOMPLISH THE WORK. PIPING, CONDUIT AND SLEEVES SHALL BE SET IN PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
9. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISH STRUCTURE, CONSTRUCTION MEANS AND METHODS, SAFETY PROCEDURES, BRACING, TEMPORARY SUPPORTS, AND SHORING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
10. GIVE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS NOTICE FOR REQUIRED OR REQUESTED JOB SITE VISIT.
11. FORMS AND ALIGNMENT OF PAVING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING.
12. FOR SUBMITTALS, SAMPLES AND SHOP DRAWINGS REQUESTED, SUBMIT IN TRIPLICATE TO LANDSCAPE ARCHITECT WITH ONE COPY TO THE OWNER UNLESS OTHERWISE SPECIFIED.
13. PROPOSED SURFACES SHALL MEET EXISTING SURFACES WITH SMOOTH AND CONTINUOUS TRANSITION AND FLUSH ALONG ENTIRE EDGE.
14. DIMENSIONS ARE FROM OUTSIDE FACE OF THE BUILDING, PAVING AND WALLS UNLESS OTHERWISE NOTED. ANGLES ARE 90 OR 45 UNLESS OTHERWISE NOTED.
15. COORDINATE AND COOPERATE WITH CONTRACTORS OF ATTACHED, ADJOINING AND INTERFACING WORK OF OTHER TRADES.
16. MATERIALS AND WORKMANSHIP, CONFORM TO LATEST UNIFORM BUILDING CODES AND APPLICABLE GOVERNING AGENCY CODES AND ORDINANCES. NO PART OF CONTRACT DOCUMENTS TO BE IN VIOLATION OF CODES. IF DISCREPANCIES EXIST, NOTIFY LANDSCAPE ARCHITECT AND OWNER

CONSTRUCTION NOTES

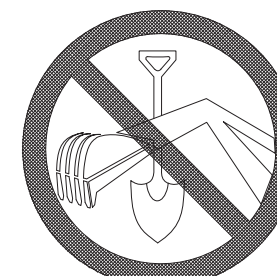
- 1. CONCRETE, MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I. AT TWENTY EIGHT (28) DAYS.
2. CEMENT: CONFORM TO A.S.T.M. C150 AND AGGREGATE SHALL CONFORM TO A.S.T.M. C33.
3. CONCRETE SLUMP: MAXIMUM SLUMP 4 INCHES, EXCEPT FOR FOUNDATIONS WHICH MAY HAVE A 5 INCH MAXIMUM SLUMP.
4. CONSTRUCTION TO BE PLUMB AND TRUE UNLESS OTHERWISE NOTED OR INDICATED.
5. REBAR AND FOOTING SIZES, IF SHOWN, ARE FOR BIDDING PURPOSES ONLY. VERIFY WITH OWNER'S STRUCTURAL OR SOILS ENGINEER THE NEED FOR ALL REINFORCING, BASE MATERIAL, PRE SATURATION AND OTHER STRUCTURAL REQUIREMENTS.
6. PAVING AND CONCRETE CONTRACTORS ARE TO COORDINATE AND COOPERATE WITH THE ELECTRICAL, DRAINAGE AND IRRIGATION SYSTEMS INSTALLATION FOR REQUIRED SLEEVES, PIPES, AND CONDUITS UNDER PAVING.
7. PRIOR TO LAYOUT OF UNDERGROUND IMPROVEMENTS, REFER TO PLANTING PLANS FOR TREE LOCATIONS, STAKE TREES AND OUTLINE SPECIFIED BOX SIZE. ROUT UNDERGROUND DRAINAGE, ELECTRICAL, POOL AND IRRIGATION PIPING OUTSIDE EXCAVATION REQUIRED FOR TREES.
8. ALLOW AT LEAST 6-8 WEEKS TIME FOR PLACEMENT OF ORDER UNTIL DELIVERY ON ANY MANUFACTURED ITEM UNLESS OTHERWISE NOTED.
9. REFER TO FINISH GRADING/DRAINAGE PLANS FOR VERTICAL DIFFERENCES, GRADES AND DRAINAGE SYSTEMS.
10. WRITTEN DIMENSIONS AND DETAILS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
11. VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE OWNER AND THE LANDSCAPE ARCHITECT.
12. CONFORM TO LATEST UNIFORM BUILDING CODE AND APPLICABLE GOVERNING AGENCY CODES AND ORDINANCES. NO PART OF THE CONTRACT DOCUMENTS ARE INTENDED TO BE IN VIOLATION OF CODES. IF DISCREPANCIES EXIST, NOTIFY LANDSCAPE ARCHITECT AND OWNER.
13. COORDINATE AND COOPERATE WITH CONTRACTORS OF ATTACHED, ADJOINING AND INTERFACING WORK OF OTHER TRADES.
14.

PLANTING NOTES:

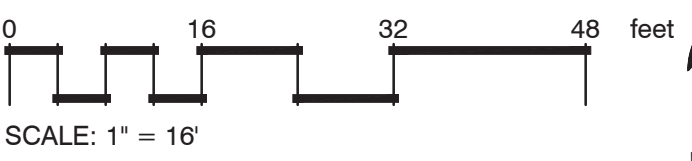
- 1. The Contractor shall be responsible for providing all work, materials, equipment and services for performing the "Planting" appearing on the construction drawings for the installation of this project.
2. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of landscape architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification
3. Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
4. See details and specifications for planting requirements, materials and execution, staking method, plant pit dimensions back fill and fertilizer requirements.
5. The Contractor shall refer to the plans and specifications when preparing the bid. The Contractor shall verify the availability of the plant material immediately after the signing of the contract with the Owner. Plants shall be true to the Botanical name; genus, species and/or hybrid name as specified in the plant legend. Contractor shall refer to The Sunset Western Garden Book for complete descriptions of plant materials. Substitutions of plant types as specified in the drawings are not allowed without prior authorization by the Landscape Architect. All substitutions shall be submitted in written form. Contractor shall contact Landscape Architect immediately with any discrepancy or unavailability issues. Failure to make such conflicts known to Landscape Architect will result in the Contractor's responsibility to replace the inappropriate materials at no expense to Owner.
6. All plant material must be approved by the Owner's authorized representative and/or Landscape Architect prior to installation. Plants shall be of adequate size as specified on the plans and be in good condition upon arrival at the project site. They shall be free of broken limbs, cuts or abrasions to trunk and limbs, sun scalded leaves, insect infestations, diseases, fungi and show no signs of distress from lack of watering. All standard plant material will be replaced at no additional cost to the Owner.
7. Contractor shall notify Owner's authorized representative 48 hours prior to commencement of work to coordinate project observation schedules.
8. Final location of all plant materials shall be subject to the approval of the Owner's authorized representative. If conflicts arise between size of areas and plans, contractor shall contact Landscape Architect for resolution. Failure to make such conflicts known to Landscape Architect will result in contractors responsibility to relocate the materials at no expense to Owner.
9. All existing trees to remain shall be protected from damage during construction. Provide protective barrier throughout construction.
10. The contractor shall be responsible for installing required root barriers when trees are five feet or less (10' or less for city trees) from hardscape areas. DEEP ROOT UB24-2 or equal (415)781-9700.
11. The contractor shall be responsible for replacement and reconditioning the existing landscape damaged by this construction contract. Replacement and reconditioning will include but not be necessarily limited to: turf establishment (ripping, soil preparation, soil conditioning, fine grading and rolling sod); tree, shrub, and ground cover replacement, etc.
12. Landscape areas to be rough graded plus or minus one tenth of a foot. For bioswale areas maintain positive drainage away from all hardscape areas.
13. All on-grade planting areas shall be ripped to a depth of 4-6 inches in two directions and receive the following materials per 1,000 square feet of planting area:
3 cubic yards; Kellogg's 'Nitro-humus' or Equal
15 pounds; 12-12-12 Commercial fertilizer
10 pounds; Soil Sulfur
50 pounds; Humate
Earthwise Organics
6943 N. Golden State Blvd.
Fresno, CA 93722-9364
(559)275-3300
14. Prior to top dressing, use pre-emergent herbicide, 'Ronstar' or equal at a rate specified by the manufacturer for all shrub/tree planting areas. Avoid pre-emergent herbicide in turf and annual color areas.
15. Planting beds shall be top dressed with 3" mulch. Contractor shall submit sample for approval by Landscape Architect.
16. The Contractor shall guarantee the planting and all of its components for the time period specified in the contract for this project. The guarantee shall begin after the date of final acceptance by the Owner's representative and/or Landscape Architect. The Contractor shall be responsible for all materials and labor associated with the guarantee during that time period.
17. Controlled release fertilize tablets or packets to be added for all plants as per manufacturers recommendations.
18. Landscaping must be in place before issuance of the certificate of occupancy.
19. Trees and other landscaping shown on this plan shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as otherwise approved by the Public Works Department Director for R.O.W.
20. Prior to final inspection, a written certificate, signed by a landscape professional approved by the director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Planning Division, Development Director and Public Works Director for public R.O.W.
21. I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.
22. For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.

IRRIGATION NOTES:

- 1. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME OF THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
2. ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL PURCHASE AND INSTALL THE CONTROLLER LISTED IN THE IRRIGATION SCHEDULE.
4. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION TO CONTROLLER PER LOCAL ELECTRICAL CODE.
5. ALL PIPE UNDER PAVED AREAS MUST HAVE SLEEVES THAT ARE TO BE MINIMUM TWICE THE DIAMETER OF THE PIPE SLEEVED.
6. ALL EXISTING PLANTERS SURROUNDED BY HARDSCAPE SHALL BE INSPECTED BY CONTRACTOR FOR EXISTING SLEEVES. IF POSSIBLE, EXISTING SLEEVES TO BE UTILIZED TO PLANTING AREAS.
7. PRESSURE MAINLINE SLEEVES SHALL BE ACCOMPANIED WITH MINIMUM 2" WIRE/CONDUIT SLEEVE.
8. SEAL ALL SLEEVE ENDS TO PROHIBIT SOIL FROM ENTERING THE BURIED SLEEVE.
9. SLEEVES TO EXTEND MIN. 12" BEYOND PAVING.
10. IRRIGATION CONTRACTOR TO COORDINATE SLEEVING WITH THE HARDSCAPE CONTRACTOR AND SITE SUPER PRIOR TO ANY INSTALLATION OF HARDSCAPE.
11. TWO CONTINUOUS SPARE WIRES SHALL BE PROVIDED FOR EACH MAINLINE DIRECTION. ALL SPARE WIRES SHALL BE LOOPED IN EACH VALVE BOX WITH 24" COIL. ALL SPARE WIRES SHALL BE IN ORANGE COLOR. COIL ALL SPARES IN BOTTOM OF CONTROLLER. TERMINATE SPARE WIRES IN THE LAST VALVE BOX.
12. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
13. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCHS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES, AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENTS OF DIFFUSER PIN OR SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
14. THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.
15. ALL POTTED PLANTERS TO BE IRRIGATION SHALL BE IDENTIFIED BY THE OWNER WITH CONTRACTOR DURING INITIAL SITE MEETINGS. PER APPROVAL BY OWNER, THE CONTRACTOR SHALL PROVIDE DRIP IRRIGATION TO ALL IDENTIFIED POTTED PLANTERS.
16. ALL TRENCHING AND SITE WORK SHALL NOT DISTURB ANY EXISTING TREES.
17. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
18. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
19. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
20. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE IRRIGATION MAINTENANCE.
21. "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.
22. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE THE LOW POINT DRAINAGE CAN OCCUR.
23. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL COMPLY WITH THE FOLLOWING:
A) CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
B) WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR THAT CONNECTS OR COMMUNICATES WITH THE CONTROLLER. SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



CALL UNDERGROUND SERVICE ALERT(U.S.A.)
TOLL FREE(800) 227-2600
48 HOURS
BEFORE EXCAVATING





GG LANDSCAPE ARCHITECTURE, Inc.
6702 N. CEDAR AVE. STE. 205
FRESNO, CA 93710
559.313.3891
GABRIELLA@GGLANDSCAPEARCH.COM



ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN INSTITUTE THE ORIGINAL WORK OF THE DESIGNER AND THE SAME MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. "GG LANDSCAPE ARCHITECTURE" ALL RIGHTS RESERVED.

REVISIONS	
1	
2	
3	
4	
5	

PLANTING PLAN

DRAWING TITLE:
Circle D Gas Station
2520 E OLIVE AVE
Fresno, CA
PLAN CHECK # 22-XXXX

DATE: 1/9/23
JOB NO.: 23-104
SHEET:
1-1
of X sheets

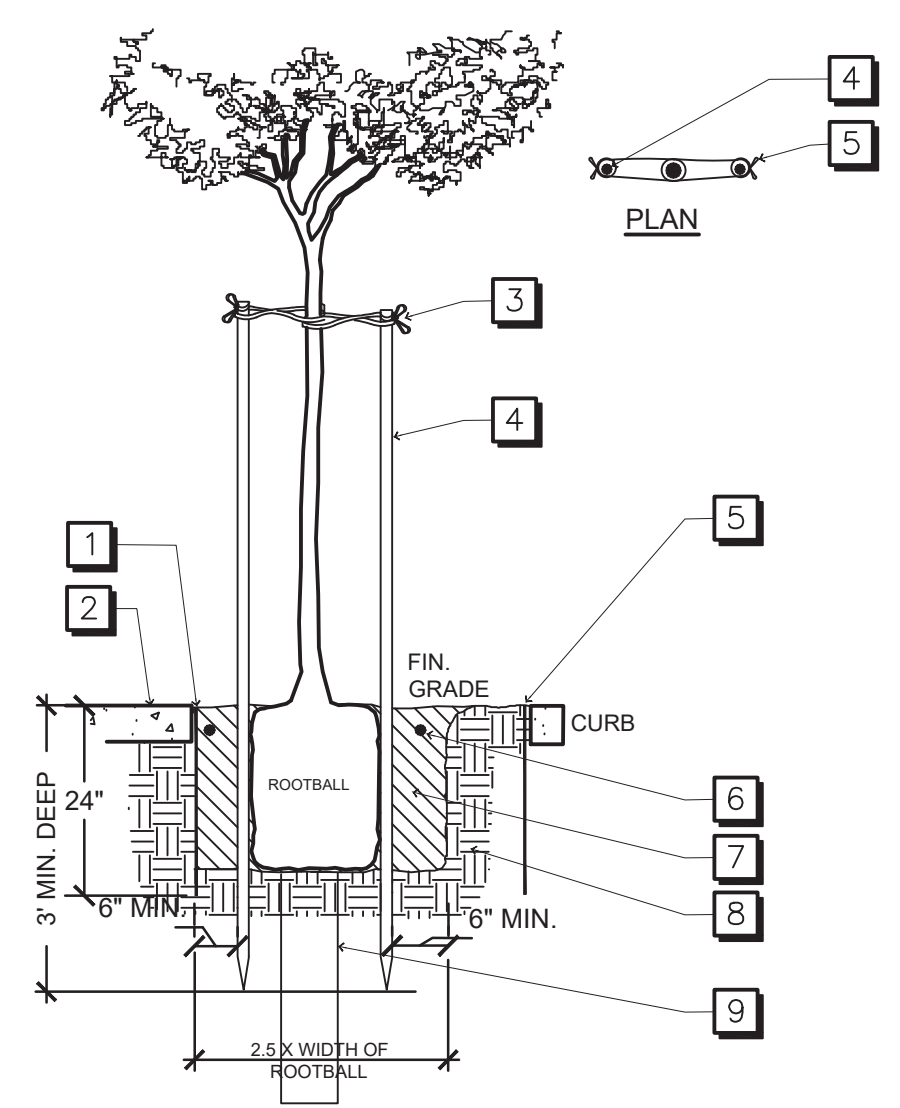
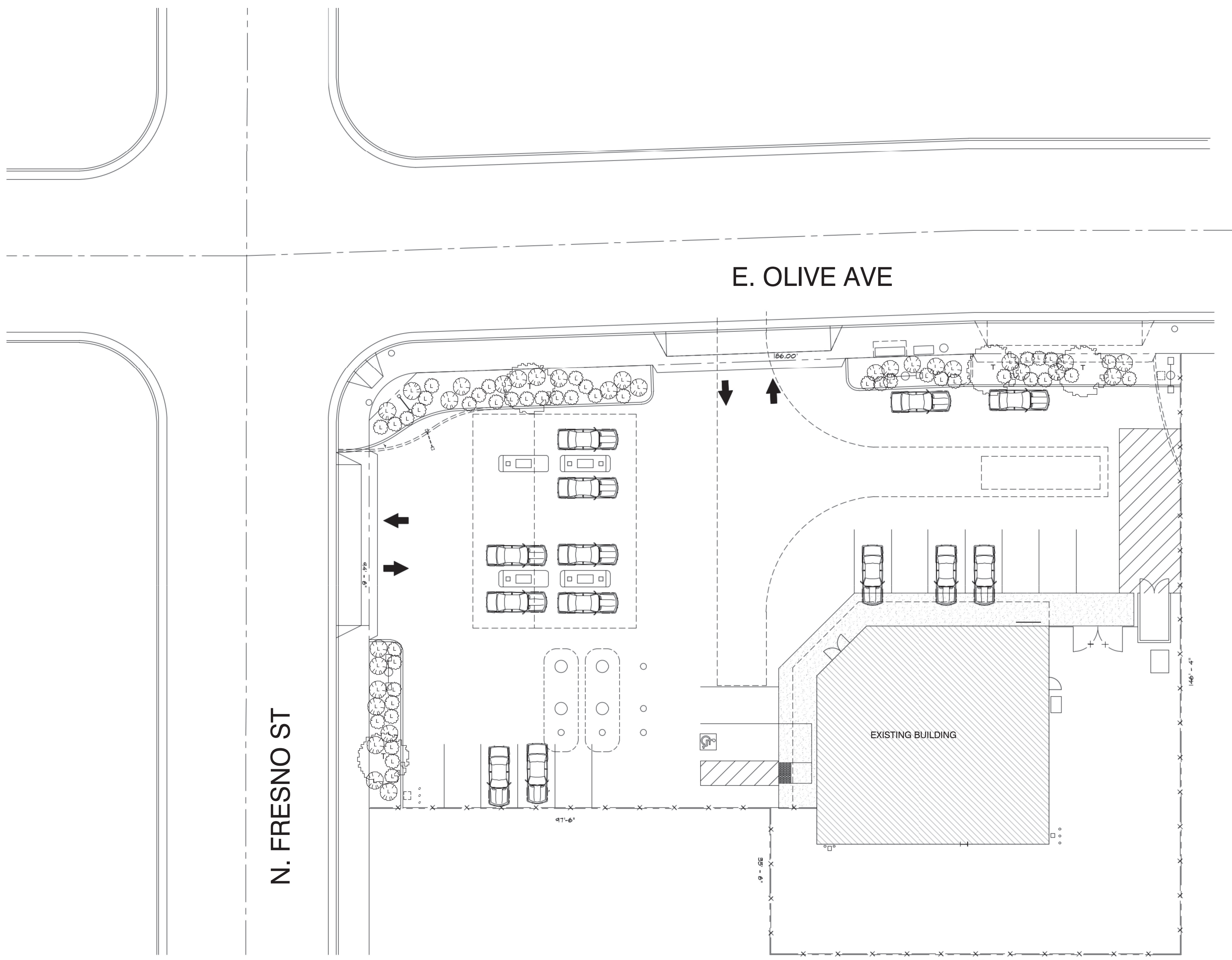
PLANTING SCHEDULE:

Symbol	Qty	Common Name	Botanical Name	Water Usage	Container (Gallon) Size
Groundcovers/Annuals					
	73	Santa Cruz Firethorn	Pyracantha Koldzumii	L	1 Gallon
Trees/Evergreen					
	4	Sweet Bay, Tree	Laurus nobilis	L	15 Gallon

PLANTING NOTES:

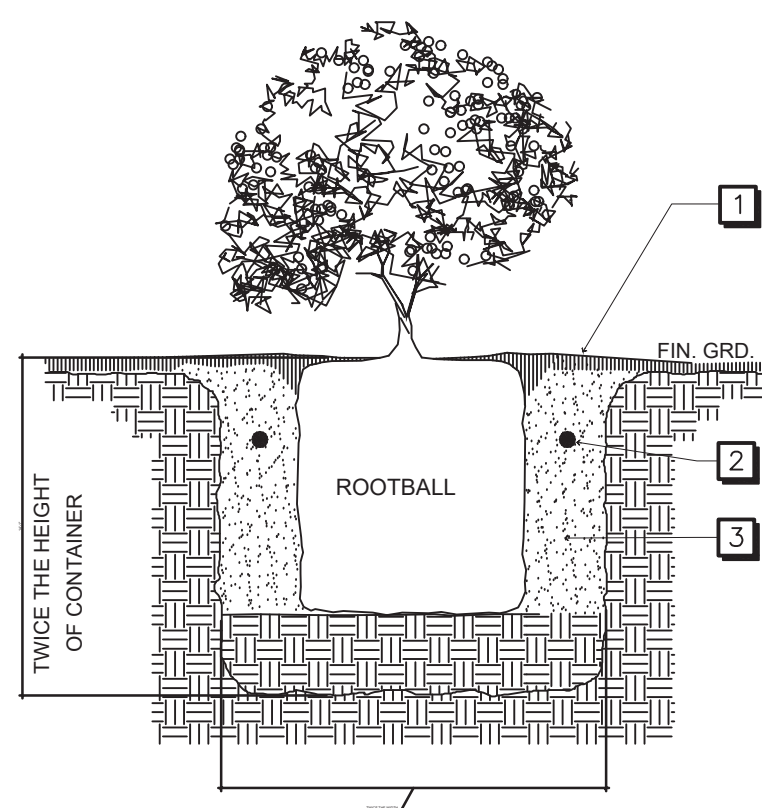
- The Contractor shall be responsible for providing all work, materials, equipment and services for performing the "Planting" appearing on the construction drawings for the installation of this project.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of landscape architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- See details and specifications for planting requirements, materials and execution, staking method, plant pit dimensions back fill and fertilizer requirements.
- The Contractor shall refer to the plans and specifications when preparing the bid. The Contractor shall verify the availability of the plant material immediately after the signing of the contract with the Owner. Plants shall be true to the Botanical name; genus, species and/or hybrid name as specified in the plant legend. Contractor shall refer to The Sunset Western Garden Book for complete descriptions of plant materials.
Substitutions of plant types as specified in the drawings are not allowed without prior authorization by the Landscape Architect. All substitutions shall be submitted in written form. Contractor shall contact Landscape Architect immediately with any discrepancy or unavailability issues. Failure to make such conflicts known to Landscape Architect will result in the Contractor's responsibility to replace the inappropriate materials at no expense to Owner.
- All plant material must be approved by the Owner's authorized representative and/or Landscape Architect prior to installation. Plants shall be of adequate size as specified on the plans and be in good condition upon arrival at the project site. They shall be free of broken limbs, cuts or abrasions to trunk and limbs, sun scalded leaves, insect infestations, diseases, fungi and show no signs of distress from lack of watering. All substandard plant material will be replaced at no additional cost to the Owner.
- Contractor shall notify Owner's authorized representative 48 hours prior to commencement of work to coordinate project observation schedules.
- Final location of all plant materials shall be subject to the approval of the Owner's authorized representative. If conflicts arise between size of areas and plans, contractor shall contact Landscape Architect for resolution. Failure to make such conflicts known to Landscape Architect will result in contractor's responsibility to relocate the materials at no expense to Owner.
- All existing trees to remain shall be protected from damage during construction. Provide protective barrier throughout construction.
- The contractor shall be responsible for installing required root barriers when trees are five feet or less (10' or less for city trees) from hardscape areas. DEEP ROOT UB24-2 or equal (415)781-9700.
- The contractor shall be responsible for replacement and reconditioning the existing landscape damaged by this construction contract. Replacement and reconditioning will include but not be necessarily limited to: turf establishment (ripping, soil preparation, soil conditioning, fine grading and rolling sod); tree, shrub, and ground cover replacement, etc.
- Landscape areas to be rough graded plus or minus one tenth of a foot. For bioswale areas maintain positive drainage away from all hardscape areas.
- All on-grade planting areas shall be ripped to a depth of 4-6 inches in two directions and receive the following materials per 1,000 square feet of planting area:
3 cubic yards; Kellogg's 'Nitro-humus' or Equal
15 pounds; 12-12-12 Commercial fertilizer
10 pounds; Soil Sulfur
50 pounds; Humate

Earthwise Organics
6943 N. Golden State Blvd.
Fresno, CA 93722-9364
(559)275-3300
- Prior to top dressing, use pre-emergent herbicide, 'Ronstar' or equal at a rate specified by the manufacturer for all shrub/tree planting areas. Avoid pre-emergent herbicide in turf and annual color areas.
- Planting beds shall be top dressed with 3" mulch. Contractor shall submit sample for approval by Landscape Architect.
- The Contractor shall guarantee the planting and all of its components for the time period specified in the contract for this project. The guarantee shall begin after the date of final acceptance by the Owner's representative and/or Landscape Architect. The Contractor shall be responsible for all materials and labor associated with the guarantee during that time period.
- Controlled release fertilizer tablets or packets to be added for all plants as per manufacturers recommendations.
- Landscape must be in place before issuance of the certificate of occupancy.
- Trees and other landscaping shown on this plan shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as otherwise approved by the Public Works Department Director for R.O.W.
- Prior to final inspection, a written certificate, signed by a landscape professional approved by the director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Planning Division, Development Director and Public Works Director for public R.O.W.
- I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.
- For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.



- LEGEND:**
- ROOT BARRIER, LOCATE AGAINST CONCRETE
 - CONC. WALK
 - WONDER TREE TIE. PLACE TIES 6" ABOVE POINT WHERE TREE HEAD IS SELF SUPPORTING AND CLEAR OF BRANCHES. CINCH TIGHT TO PREVENT SLIPPING
 - (2) STEEL FIELD STAKES ("T" POSTS) STAKES CLEAR OF ROOTBALL STAKES MUST BE LOCATED BELOW SCAFFOLD BRANCHES.
 - DEEP ROOT CONTROL BARRIER, UB-24-2 BY DEEPROOT www.deeproot.com, AT BACK OF CURB AND FACE OF WALK. FIN. GRADE TO BE LEVEL W/ FIN. GRADE OF PAVEMENT.
 - FERTILIZER TABLETS: BEST TABS 20-10-5 (2 TABS PER TREE)
 - BACKFILL W/ NATIVE SOIL, NO MULCH
 - UNDISTURBED NATIVE SOIL
 - 4" DIA. X 3' DEEP DRAINAGE HOLE PER CITY OF FRESNO SPECIFICATIONS

- LEGEND:**
- 2" SHREDDED BARK MULCH LAYER - SEE PLANTING NOTES
 - FERTILIZER TABLET(S), SEE SPECS.
 - BACKFILL MIX: 50% NATIVE SOIL-50% AMENDMENT

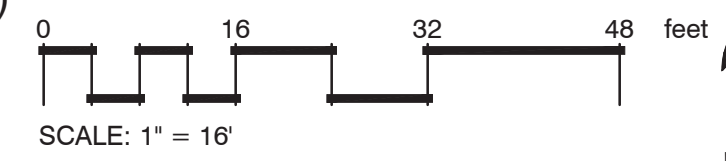


1 TREE WITH ROOT BARRIER
NTS

2 SHRUB PLANTING
NTS



CALL UNDERGROUND SERVICE ALERT(U.S.A.)
TOLL FREE(800) 227-2600
48 HOURS
BEFORE EXCAVATING



P-CO-CIR-07

P-CO-CIR-08

West Elevation



BEFORE



AFTER

North Elevation



BEFORE



AFTER

East Elevation



BEFORE

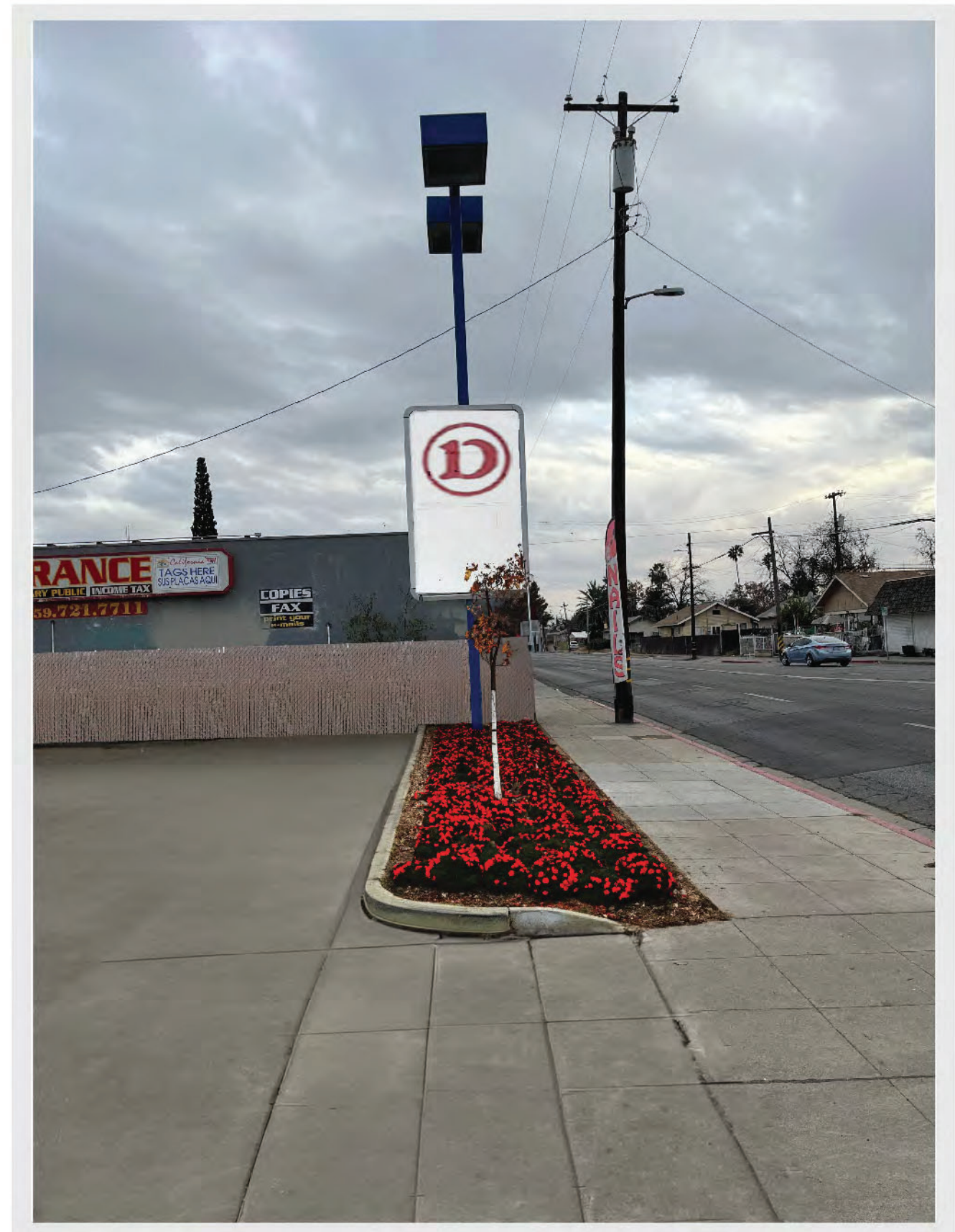


AFTER

Looking South



BEFORE



AFTER



PROPOSED WINDOW

DISTILLED SPIRITS AREA

TOBACCO AREA

PROPOSED WINDOW

CASHIER AREA