

## **ATTACHMENTS**

## **EXHIBIT A:**

## HISTORIC RESOURCES INVENTORY

### IDENTIFICATION

|                            |            |      |     |      |
|----------------------------|------------|------|-----|------|
| State use only             | Ser        | Site | Mo. | Yr.  |
|                            | TT/5202007 | 350  |     |      |
| UTM                        | Q          | NR   | 2   | SHL  |
| Lat                        | Lon        | Era  | Sig |      |
| Adm                        | T2         | T3   | Cat | HABS |
| HAER                       |            |      |     |      |
| Fed                        |            |      |     |      |
| DISTRICT E-4 (revised) HPS |            |      |     |      |

- Common name: Warehouse Row Buildings
- Historic name, if known: Same
- Street or rural address 702, 744, and 764 'P' Street  
City: Fresno, California ZIP: 93701 County: Fresno
- Present owner, if known: Arthur and Audrey Dyson Address: 702 'P' Street  
City: Fresno, California ZIP: 93701 Ownership is: Public  Private
- Present Use: Commercial Original Use: Warehouse, ice production & meat processing plant.  
Other past uses: \_\_\_\_\_

### DESCRIPTION

- Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

The Warehouse Row Buildings comprise three buildings, The Wormser Warehouse, The Swift Co. meat packing plant, and The Fresno Consumers Ice Co. Building. Each structure is made of brick laid in stretcher bond pattern. Basements and arched windows are common to all three buildings. The Wormser Warehouse features a trussed ceiling and eight skylights. Its only alteration was the addition of a gabled porch in 1952. The two story Swift building features a tunnel, built in 1951, connecting it to a building across the street. Loading docks were added across the front and back in 1935. The Fresno Consumers Ice Co. building features Queen Anne style brick detailing along the cornice. In 1928 the building was enlarged by the addition of a three story poured concrete structure.

Revisions to structures have been in keeping with general character and have not changed historical significance of development.

- Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

702 P St. - 468-166-03  
744 P St. - 468-166-02  
764 P St. - 468-166-01



- Approximate property size: 702 P St. 225 x 150  
744 P St. 125 x 150  
764 P St. 50 x 150

Lot size (in feet) Frontage \_\_\_\_\_  
Depth \_\_\_\_\_';  
or approx. acreage 1.5.

- Condition: (check one)
  - a. Excellent
  - b. Good
  - c. Fair
  - d. Deteriorated
  - e. No longer in existence
- Is the feature
  - a. Altered?
  - b. Unaltered?
- Surroundings: (Check more than one if necessary)
  - a. Open land
  - b. Scattered buildings
  - c. Densely built-up
  - d. Residential
  - e. Commercial
  - f. Industrial
  - g. Other  railway \_\_\_\_\_
- Threats to site:
  - a. None known
  - b. Private development
  - c. Zoning
  - d. Public Works project
  - e. Vandalism
  - f. Other  \_\_\_\_\_

- Date(s) of enclosed photograph(s): 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other

15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?

16. Year of initial construction 1903-10 This date is: a. Factual  b. Estimated

17. Architect (if known): Unknown  
Unknown

18. Builder (if known): \_\_\_\_\_

19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  tunnel i. None

#### SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

The Warehouse Row Buildings are significant because the three buildings included represent some of the earliest commercial structures still standing in Fresno. In 1896, the Santa Fe Railway came to Fresno, and in the next few years the three buildings that now comprise this complex, the Wormser Warehouse, the Swift packing plant, and the Fresno Consumers Ice Co. were built along the tracks to take advantage of direct transportation between Fresno and other cities. At this time, 1900 to 1910, Fresno was experiencing a population and agricultural boom, and these structures reflect the prosperity of those days. The Wormser Warehouse was built in 1903 for the Wormser Furniture Co. which was one of the largest businesses of its kind in the state. The Swift plant, built in 1910, specialized in turkey processing, and the Fresno plant became a major supplier of fresh frozen turkeys to both Southern and Northern California. The Fresno Consumers Ice Co., begun in 1903, was the first ice co. in Fresno to concentrate solely on ice production, and the first to make home deliveries.

+2 9 807

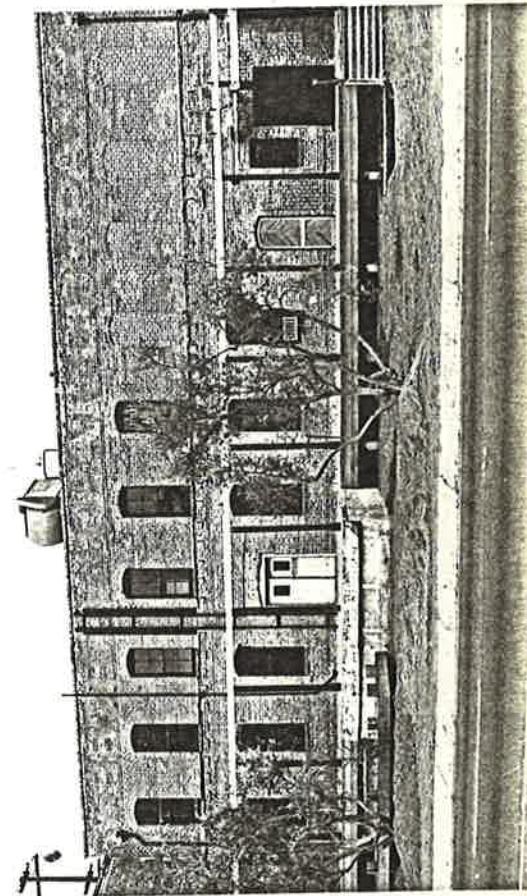
21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts & Leisure   
c. Economic/Industrial  d. Exploration/Settlement  e. Government  f. Military   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Vandor, Paul E. History of Fresno County, and the San Joaquin Valley with Biographical Sketches, Los Angeles, Historic Record Co., 1919, 2 vol.

23. Date form prepared: 7/15/77 By (name): Jack Weyant  
Address: 5335 N. McCall City Clovis, California ZIP: 93612  
Phone: (209) 229-1565 Organization: Warehouse Row Development Co.

(State Use Only)



## **EXHIBIT B:**

PH 0507733

UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

DATA SHEET

NATIONAL REGISTER OF HISTORIC PLACES  
INVENTORY -- NOMINATION FORM

FOR NPS USE ONLY

RECEIVED

NOV 18 1977

DATE ENTERED

MAR 24 1978

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*  
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

## 1 NAME

HISTORIC

Warehouse Row Historic District

K. J. D. 1977

AND/OR COMMON

same

JUL 27 1977

## LOCATION

(Within sections 3 and 10 of Township 14 Range 20  
East, Mt. Diablo Base and Meridian)  
722, 744, and 764 "P" Street

CNP

STREET &amp; NUMBER

Fresno

VICINITY OF

NOT FOR PUBLICATION

CONGRESSIONAL DISTRICT

15th

CITY, TOWN

California

CODE  
06

COUNTY

Fresno

CODE  
019

## CLASSIFICATION

| CATEGORY                                     | OWNERSHIP                                   | STATUS  | PRESENT USE                                |
|--|---|---|--|
| <input checked="" type="checkbox"/> DISTRICT | <input type="checkbox"/> PUBLIC             | <input type="checkbox"/> OCCUPIED                     | <input type="checkbox"/> AGRICULTURE       |
| <input type="checkbox"/> BUILDING(S)         | <input checked="" type="checkbox"/> PRIVATE | <input type="checkbox"/> UNOCCUPIED                   | <input checked="" type="checkbox"/> MUSEUM |
| <input type="checkbox"/> STRUCTURE           | <input type="checkbox"/> BOTH               | <input checked="" type="checkbox"/> WORK IN PROGRESS  | <input type="checkbox"/> COMMERCIAL        |
| <input type="checkbox"/> SITE                | <b>PUBLIC ACQUISITION</b>                   | <b>ACCESSIBLE</b>                                     | <input type="checkbox"/> PARK              |
| <input type="checkbox"/> OBJECT              | <input type="checkbox"/> IN PROCESS         | <input type="checkbox"/> YES: RESTRICTED              | <input type="checkbox"/> EDUCATIONAL       |
|  | <input type="checkbox"/> BEING CONSIDERED   | <input checked="" type="checkbox"/> YES: UNRESTRICTED | <input type="checkbox"/> PRIVATE RESIDENCE |
|  |   | <input type="checkbox"/> NO                           | <input type="checkbox"/> ENTERTAINMENT     |
|  |   |   | <input type="checkbox"/> RELIGIOUS         |
|  |   |   | <input type="checkbox"/> GOVERNMENT        |
|  |   |   | <input type="checkbox"/> SCIENTIFIC        |
|  |   |   | <input type="checkbox"/> INDUSTRIAL        |
|  |   |   | <input type="checkbox"/> TRANSPORTATION    |
|  |   |   | <input type="checkbox"/> MILITARY          |
|  |   |   | <input type="checkbox"/> OTHER             |

## OWNER OF PROPERTY

NAME

Arthur and Audrey Dyson

STREET &amp; NUMBER

702 "P" Street

CITY, TOWN

Fresno

VICINITY OF

STATE

California 93721

## LOCATION OF LEGAL DESCRIPTION

COURTHOUSE,

REGISTRY OF DEEDS, ETC.

Fresno County Recorder's Office, Hall of Records

STREET &amp; NUMBER

2281 Tulare Street, Room 302

CITY, TOWN

Fresno

STATE

California

## 6 REPRESENTATION IN EXISTING SURVEYS

TITLE

List of Historical Sites and Buildings in Fresno County

DATE

1976

FEDERAL STATE COUNTY  LOCALDEPOSITORY FOR  
SURVEY RECORDS

Fresno City and County Historical Society

CITY, TOWN

Fresno

STATE

California

## 7 DESCRIPTION

### CONDITION

EXCELLENT       DETERIORATED  
 GOOD       RUINS  
 FAIR       UNEXPOSED

### CHECK ONE

UNALTERED       ALTERED

### CHECK ONE

ORIGINAL SITE  
 MOVED      DATE \_\_\_\_\_

### DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Warehouse Row Historic District comprises three architecturally and historically significant buildings, the Wormser Warehouse, the Swift Co. meat packing plant, and the Fresno Consumers Ice Co. building. These structures, all of which date from the first decade of the twentieth century, reflect the growth spurred on by the building of the Santa Fe Railway and the emergence of Fresno as an important agricultural center.

The historic district is situated on a 1.5 acre block adjacent to the Santa Fe Railway tracks and near the center of downtown Fresno. One of the oldest and least altered structures in the district is the Wormser Warehouse, constructed in 1903-04 for the Wormser Furniture Co. This simple but large rectangular shaped building has two floors plus a ground level basement combining for a total of 21,000 square feet of space. It has a low gabled, composition roof with stepped parapet trim at both gables. The floors are wooden and the walls are made of 8" brick put in the stretcher bond pattern. The double-hung, two sash windows are arched with radiating brick trim. Among the building's most distinguishing features are a trussed ceiling spanning a fifty foot width, eight skylights, and a centrally located freight elevator, still in working order. Among the few alterations from the structures original condition are the partitioning of office space and the addition of a gabled porch in 1952.

Immediately south of the Wormser Warehouse is the Swift Co. meat packing plant, built in 1910. It is a two story building with a ground level basement and flat composition roof. As in the Wormser Warehouse, this building also has double-hung, two sash windows that are arched with radiating brick trim. Additions to the Swift plant include an expansion to the packing plant in 1919, a cooling tower in 1935, and a tunnel in 1951. The tunnel was built under "P" Street to connect the packing plant to an evapinating plant directly across the street. Other alterations came in 1935 when loading docks were added across the entire front and rear of the building, and in 1948 when the roof was elevated to a

## 8 SIGNIFICANCE

| PERIOD                                    | AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW        |   |   |  |  |
|---|---|---|---|--|--|
| <input type="checkbox"/> PREHISTORIC      | <input type="checkbox"/> ARCHEOLOGY-PREHISTORIC         | <input type="checkbox"/> COMMUNITY PLANNING     | <input type="checkbox"/> LANDSCAPE ARCHITECTURE | <input type="checkbox"/> RELIGION                  |  |
| <input type="checkbox"/> 1400-1499        | <input checked="" type="checkbox"/> ARCHEOLOGY-HISTORIC | <input type="checkbox"/> CONSERVATION           | <input type="checkbox"/> LAW                    | <input type="checkbox"/> SCIENCE                   |  |
| <input type="checkbox"/> 1500-1599        | <input checked="" type="checkbox"/> AGRICULTURE         | <input type="checkbox"/> ECONOMICS              | <input type="checkbox"/> LITERATURE             | <input type="checkbox"/> SCULPTURE                 |  |
| <input type="checkbox"/> 1600-1699        | <input checked="" type="checkbox"/> ARCHITECTURE        | <input type="checkbox"/> EDUCATION              | <input type="checkbox"/> MILITARY               | <input type="checkbox"/> SOCIAL/HUMANITARIAN       |  |
| <input type="checkbox"/> 1700-1799        | <input type="checkbox"/> ART                            | <input type="checkbox"/> ENGINEERING            | <input type="checkbox"/> MUSIC                  | <input type="checkbox"/> THEATER                   |  |
| <input type="checkbox"/> 1800-1899        | <input checked="" type="checkbox"/> COMMERCE            | <input type="checkbox"/> EXPLORATION/SETTLEMENT | <input type="checkbox"/> PHILOSOPHY             | <input checked="" type="checkbox"/> TRANSPORTATION |  |
| <input checked="" type="checkbox"/> 1900- | <input type="checkbox"/> COMMUNICATIONS                 | <input type="checkbox"/> INDUSTRY               | <input type="checkbox"/> POLITICS/GOVERNMENT    | <input type="checkbox"/> OTHER (SPECIFY)           |  |
|   |   | <input type="checkbox"/> INVENTION              |   |  |  |

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SPECIFIC DATES

BUILDER/ARCHITECT

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STATEMENT OF SIGNIFICANCE

With the advent of irrigation in the 1890's and early 1900's Fresno County began its transformation from a desert region to one of the richest agricultural counties in the United States. The population of Fresno county nearly doubled during the first decade of the twentieth century from 37,862 to 75,657, and the city of Fresno was the hub of all of the new and increasing agricultural and commercial activity. At this same time, the very first years of the 1900's, the Santa Fe Railway came to Fresno and the opportunity for direct transportation between Fresno and other cities became an incentive for even more growth in agriculture and commercial output.

It was during these boom years in Fresno's history that the three buildings that today comprise the Warehouse Row Historic District were initially constructed. They were built to accommodate the needs of a burgeoning population, but today they stand as a significant reminder of Fresno's early beginnings as a center of agriculture, transportation, and commerce.

In the fierce heats of Fresno's summers, ice has always been an indispensable commodity, especially so in the early 1900's. The Fresno Consumers Ice Co. was begun in 1903 under the name of the San Joaquin Ice Co. It was advertised at that time as the largest creamery on the Pacific Coast, but the next year, 1904, the name of the company was changed to the Fresno Consumers Ice Co. It concentrated solely on the manufacturing of ice, the first ice plant in

## 9 MAJOR BIBLIOGRAPHICAL REFERENCES

Vandor, Paul E. History of Fresno County, and the San Joaquin Valley with Biographical Sketches, Los Angeles, Historic Record Co., 1919, 2 vol.

Fresno County Historical Society. List of Historic Sites and Buildings in Fresno County. Fresno, California, 1977. (Continued)

## 10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY 1.45

UTM REFERENCES

A 1/1 2511760 4016900  
ZONE EASTING NORTHING

B           
ZONE EASTING NORTHING

VERBAL BOUNDARY DESCRIPTION

That property bounded on the southwest by "P" Street,  
on the northwest by Inyo Street, on the northeast by S.  
Santa Fe Ave., and on the southeast by Mono Street.

### LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

| STATE | CODE | COUNTY | CODE |
|-------|------|--------|------|
|-------|------|--------|------|

| STATE | CODE | COUNTY | CODE |
|-------|------|--------|------|
|-------|------|--------|------|

## 11 FORM PREPARED BY

NAME / TITLE

Jack Weyant

ORGANIZATION

Warehouse Row Development Co.

DATE

June 1, 1977

STREET & NUMBER

5335 N. McCall

TELEPHONE

(209) 229-1565

CITY OR TOWN

Clovis

STATE

California 93612

## 12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL   

STATE   

LOCAL X

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

*K. Weyant*

TITLE State Historic Preservation Officer

DATE November 17, 1977

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

*W. Weyant*

DATE

*11/24/78*

DIRECTOR, OFFICE OF ANTHROPOLOGY AND HISTORIC PRESERVATION

KEEPER OF THE NATIONAL REGISTER

ATTEST

*Warehouse Row Development Co.*

DATE

*3-14-78*

KEEPER OF THE NATIONAL REGISTER

UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

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new height.

Next to the Swift Co. plant is the Fresno Consumers Ice Co. building, which was built by T.J. Hammond in 1903. The Ice House was constructed in a manner similar to the other structures in the district. It is a rectangular two and three story building with a full basement, flat roof, and a number of loading docks. The walls are made of 8" brick put in the stretcher bond pattern, and there is some Queen Anne style brick detailing along the cornice. The double-hung two sash windows are arched with radiating brick trim. In 1910, a power house was added to the building, and in 1914 a garage and office space were added. The cold storage space was enlarged in 1916, and again in 1928 when a three story poured concrete structure was added to the original Ice House.

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Fresno to do so. It was also the first ice company in Fresno to make home deliveries. Horse drawn wagons were used until 1924 when the company made the transition to trucks. At its peak, the Fresno Consumers Ice Co. had a production capacity of 30 tons per day, using the can system of ice production, and its work force grew from 250 in 1903 to 2000 employees during the 1920's and 1930's. In 1946, the company made the transition from ice production to cold storage, but by then it had already made its mark in the commercial development of Fresno. It served Fresans for over forty years, and in a valley famous for its heat and shipping of agricultural products the Fresno Consumers Ice Co. supplied an indispensable product.

Another important link in the agricultural and commercial development of Fresno was the Swift Co. meat packing plant. It was first started in 1910 under the name of the Western Meat Co. In 1932, the company was sold to Swift and Co., concentrated primarily on poultry production. In 1945, the plant was converted completely over to turkey processing. In that same year, ice production ceased at the Fresno Consumers Ice Co. plant, and the Swift Co. then leased the building to store and refrigerate fresh frozed turkeys. A hatchery was constructed at 745 "P" Street, directly across the street from the Swift plant.

During the next decade the Swift Co. became an integral part of the turkey industry in the San Joaquin Valley. Swift's own hatchery increased poult production by 1,350,000 birds per year. The company would buy the eggs, hatch them, and then sell them to valley farmers to raise to maturity. Swift then bought them back and processed them at their plant. To handle the increased processing, an eviscerating plant

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was built across the street from the Swift plant and next door to the hatchery. In 1951, to convey the turkeys from the eviscerating plant to the freezing and storage units in the Swift plant, a tunnel was built under "P" Street to connect the two buildings. The frozen birds were shipped to markets throughout California, and until 1960 when the Swift Company relocated, the processing plant on "P" Street was a major focal point for the turkey industry in Fresno and throughout the San Joaquin Valley.

Another important part of the commercial history of Fresno belongs to the Wormser Furniture Co. The business was begun in 1903 by Sigmund Wormser, a noted Fresno business leader who first arrived in Fresno in 1889 and helped organize the Oil City Petrol Company, now Standard Oil Co., Section 28. He was also the organizer of the Raisin City Realty Co., but in 1903 he opened the Wormser Furniture Company which was an immediate success. It eventually became one of the largest businesses of its kind in the state of California. During those years, the Merchants Association of Fresno was formed and Wormser was elected its first president. Sigmund Wormser retired in 1922, and died in 1927. Today the Wormser Furniture Co. warehouse, one of the best preserved examples of Fresno's commercial architecture at the turn of the century, is the last structural reminder of an outstanding commercial enterprise and the man who began it.

In 1899, the Santa Fe Railway came to Fresno, and the opportunity for direct transportation between Fresno and other cities became a major incentive for locating commercial structures alongside the Santa Fe tracks. All three buildings in

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the Warehouse Row Historic District are located where they are because the railroad provided easy shipment of their goods. The Wormser Furniture Co. became such a large enterprise because the company, with its warehouse right next to the railroad tracks, could transport what was bought and sold more easily. Swift and Co. took advantage of the railway and the entire state became a market for the turkeys that were processed at the Fresno plant. The Fresno Consumers Ice Co. used the railway system as a wholesaler of ice, and later, when being used primarily for cold storage, farmers sent agricultural produce into Fresno to be stored and kept frozen.

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Major Bibliographical References      continued

**CONTINUATION SHEET**

ITEM NUMBER 9      PAGE 2

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Fresno Bee. "Swift Company Opens Fresno Turkey Hatchery."  
McClatchy Newspapers, Fresno, California, February 10,  
1946, p. 7-C.

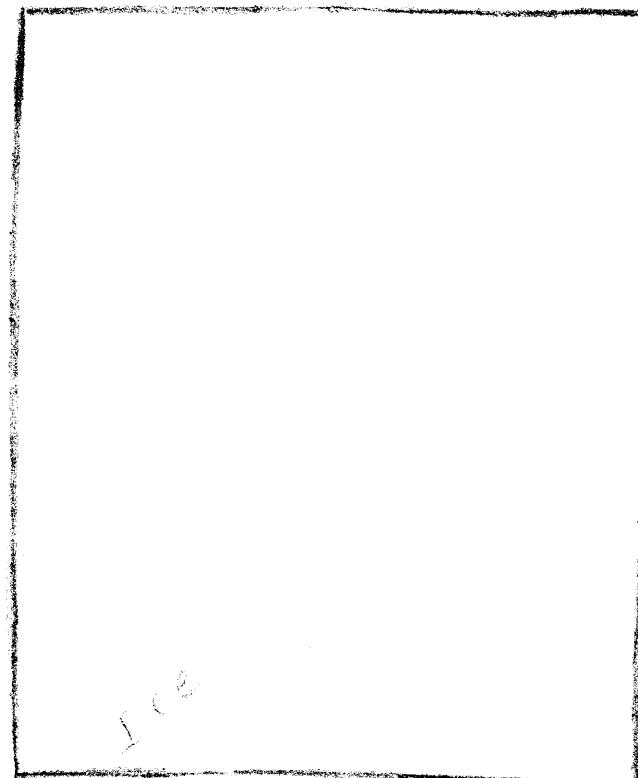
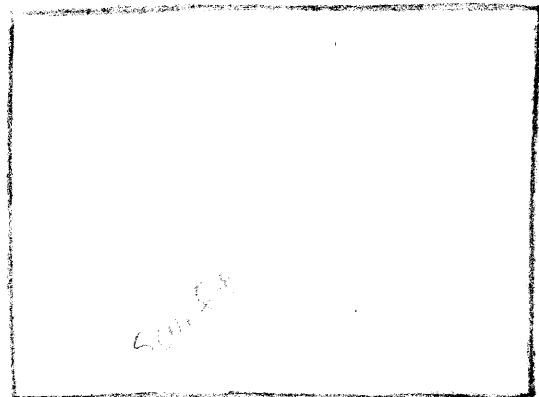
Fresno Bee. "Swift Company Opens Fresno Turkey Plant."  
McClatchy Newspapers, Fresno, California, November 11,  
1945, p. 5-C.

Fresno Bee. "Swift Takes Over Fresno Property of Western  
Meat." McClatchy Newspapers, Fresno, California, November  
3, 1932, p. 3-A.

WAREHOUSE Row  
HISTORIC DISTRICT



1 NYO



P Street



- 1) Swift meat packing plant,  
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph credit: Jack Weyant
- 4) May, 1977
- 5) Fresno City and County Historical  
Society

NOV 18 1977

- 6) Rear view of Swift plant as seen from  
from S. Santa Fe Ave. Fresno  
Fresno Consumers Ice Co. building  
on the left, and Wormser Warehouse  
on the right. Camera is pointed  
south.
- 7) Photograph number: 108 MAR 24 1978



- 1) Fresno Consumers Ice Co. building,  
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph credit: Jack Weyant
- 4) May, 1977
- 5) Fresno City and County Historical  
Society

- 6) Southeast side of Fresno Consumers  
Ice Co. building, along Mono St.  
Camera is pointed west.
- 7) Photograph Number: 2 *78*

NOV 18 1977

MAR 24 1978



FRESNO CONSUMERS ICE CO.

- 1) Fresno Consumers Ice Co. building,  
Warehouse Row, Historic District
- 2) Fresno, Ca.
- 3) Photograph credit: Jack Weyant.
- 4) May, 1977
- 5) Fresno City and County Historical  
Society

MAR 24 1978

- 6) Southwest view of Fresno Consumers  
Ice Co. building, along "P" St.  
Camera is pointed east.
- 7) Photograph Number: 3, 8

NOV 18 1977



- 1) Wormser Warehouse,  
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph Credit: Jack Weyant
- 4) May, 1977
- 5) Fresno City and County Historical  
Society

MAR 24 1978

- 6) Front view of Wormser Warehouse,  
as seen from the corner of "P"  
and Inyo Streets. Camera is pointed  
east.
- 7) Photograph Number: 4<sup>18</sup>NOV 18 1977



- 1) Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph credit:  
Jack Weyant **MAR 24 1978**
- 4) May, 1977 **NOV 18 1977**

- 5) Fresno City and County Hi Historical Society
- 6) Northeast side of entire District, along Santa Fe Ave. Camera is pointed Southwest.
- 7) Photograph Number: 518

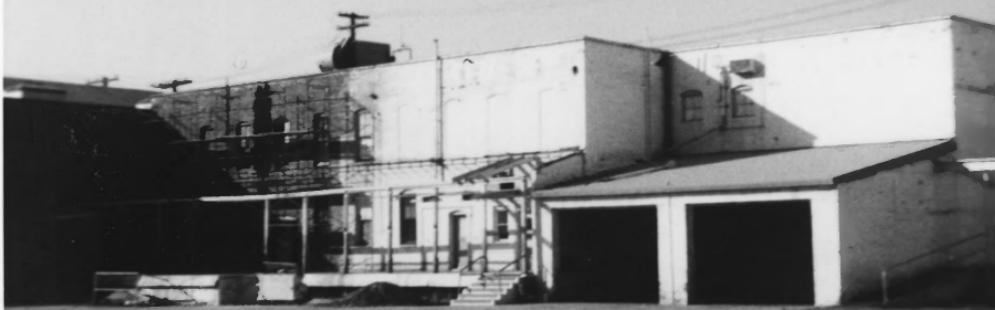


- 1) Wormser Warehouse,  
Warehouse Row Historic  
District.
- 2) Fresno, Ca.
- 3) Photograph credit:  
Jack Weyant

NOV 18 1977

- 4) May, 1977
- 5) Fresno City and County  
Historical Society
- 6) Rear view of Wormser  
Warehouse, along Santa  
Fe Ave. Camera is  
pointed Southwest.
- 7) Photograph Number: 6  
98

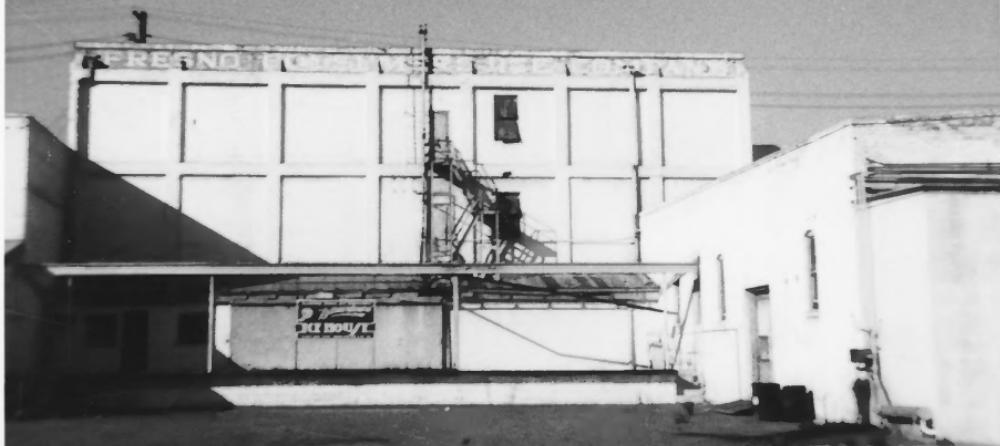
MAR 24 1978



- 1) Swift Meat Packing  
Plant, Warehouse Row  
Historic District
- 2) Fresno, Ca.
- 3) Photograph Credit:  
Jack Weyant
- 4) May, 1977 **NOV 18 1977**

- 5) Fresno City and County  
Historical Society
- 6) Front view of Swift Meat  
Packing Plant, along "P"  
Street. Camera is pointed  
North
- 7) Photograph Number: 7 *78*

MAR 24 1978



- 1) Fresno Consumers Ice Co.  
Building, Warehouse Row  
Historic District
- 2) Fresno, Ca.
- 3) Photograph Credit:  
Jack Weyant
- 4) May, 1977 **NOV 18 1977**

- 5) Fresno City and County  
Historical Society
- 6) Front view of Fresno  
Consumers Ice Co. Camera  
is pointed Northwest,  
along "P" Street.
- 7) Photograph Number: 8 **q8**  
**MAR 24 1978**


## **EXHIBIT C:**







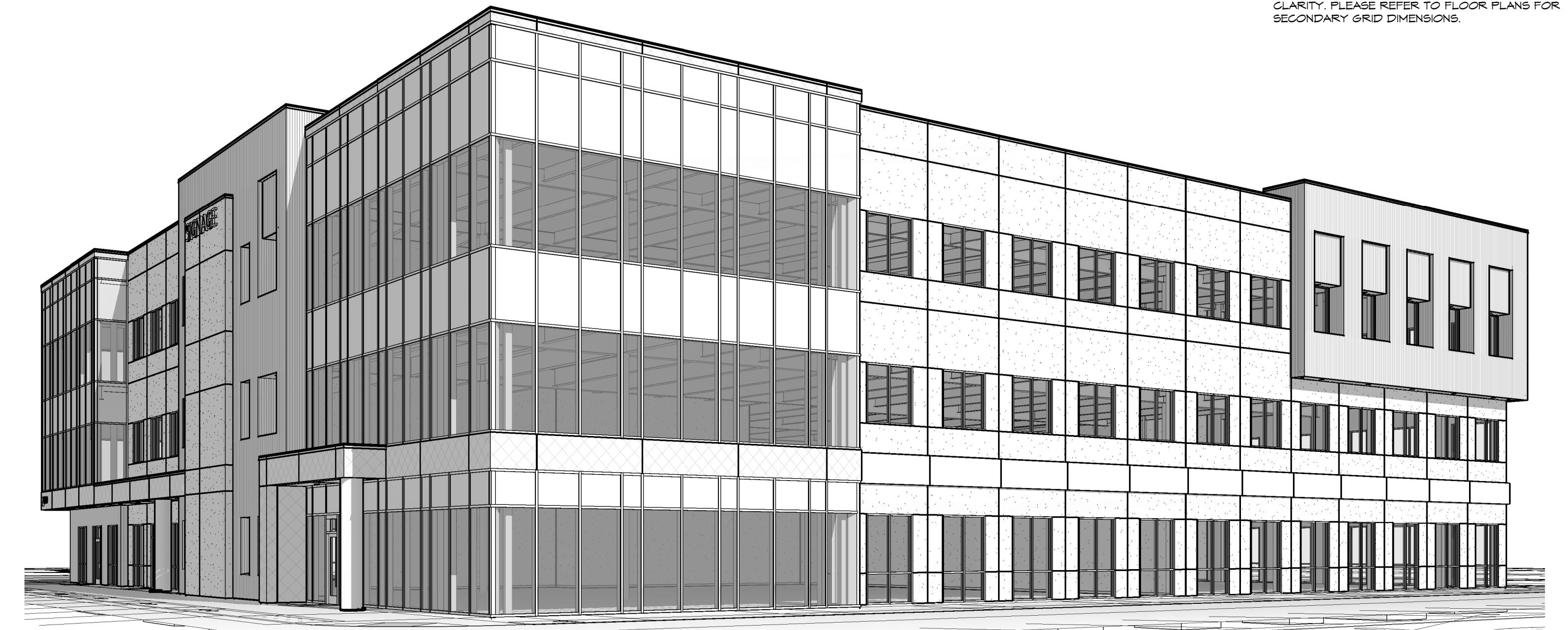






Typical Elevation

1/8" = 1'-0"



## Keyed Elevation Notes

1. 3-COAT STUCCO FINISH (LIGHT SAND TEXTURE, TYPICAL) OR WIRE MESH OR WEATHER BARRIER (TYVEK OR APPROVED EQUAL) OR SHEATHING. PROVIDE GSM KEEF SCREED AT BASE (TYP.). REFER TO COLOR/MATERIAL SCHEDULE FOR SPECIFIC COLOR. LATHE TO COMPLY W/ LATEST CBC CHAPTER 25.
2. METAL PANEL SYSTEM. REFER TO DETAIL FOR PATTERN LAYOUT AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
3. ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KNAUF TRU-FAB® 451 SERIES 2" x 4 1/2" X 1/2") WITH DUAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
4. FRAMED AGENT BAND PROVIDED 3-COAT STUCCO FINISH (SMOOTH NO TEXTURE) OR WIRE MESH OR WEATHER BARRIER (TYVEK OR APPROVED EQUAL) OR SHEATHING. REFER TO COLOR/MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION. LATHE TO COMPLY W/ LATEST CBC CHAPTER 25.
5. METAL ROOF SCREEN. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
6. ACM PANEL SYSTEM. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
7. SPANDREL GLAZING PANEL. REFER TO MATERIAL FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
8. ANODIZED ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KNAUF 1600® SERIES 2 1/2" X 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
9. GFM PARAPET CAP FLASHING. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
10. ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
11. LOCATION OF DOOR AND FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
12. EXPANSION JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
13. ACM PANEL JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
14. 42" HIGH, 1/2" TEMPERED LAMINATED GLASS GUARDRAIL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
15. LOCATION OF OVERFLOW LEADER FROM ROOF DECK DRAIN ABOVE. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PAINT ALL EXPOSED MATERIAL (INCLUDING INTERIOR SURFACE) WITH 2 COATS ENAMEL TO MATCH ADJACENT SURFACE.
16. POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTION'S SIGNAGE ORDINANCE.
17. STREET ADDRESS NUMERALS LOCATED SO AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD. NUMBERS TO BE CLEAR ANODIZED ALUMINUM FINISH (12" HIGH TRUAN PRO MEDIUM FONT).

Project  
Warehouse Row / New Office Building  
700 P Street  
Fresno, California 93721

Architect

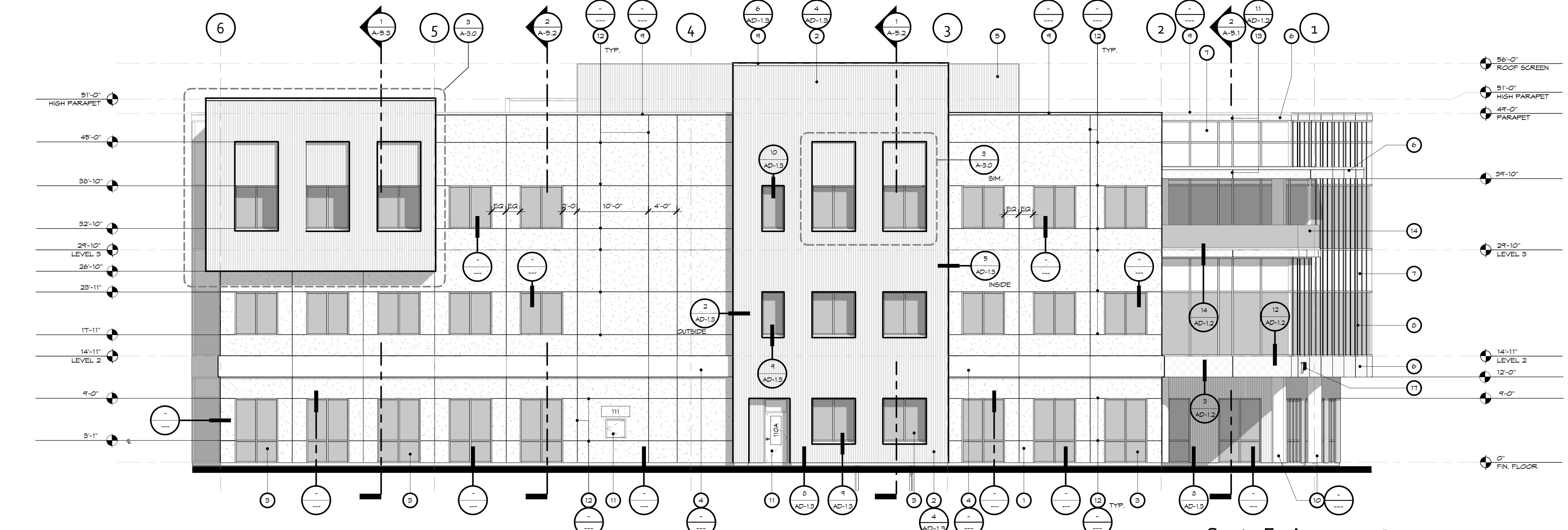
Owner  
Baltara Enterprises LP  
2025 N. Gateway #101  
Fresno, California 93727

Publishing Status  
Schematic  
Design Develop'mt  
Site Plan Review  
Bidding  
Plan Check

Revisions

Scale  
1/8" = 1'-0"  
Project Manager  
TODD CLARK  
Project Number  
18-029  
Sheet

A-3.0

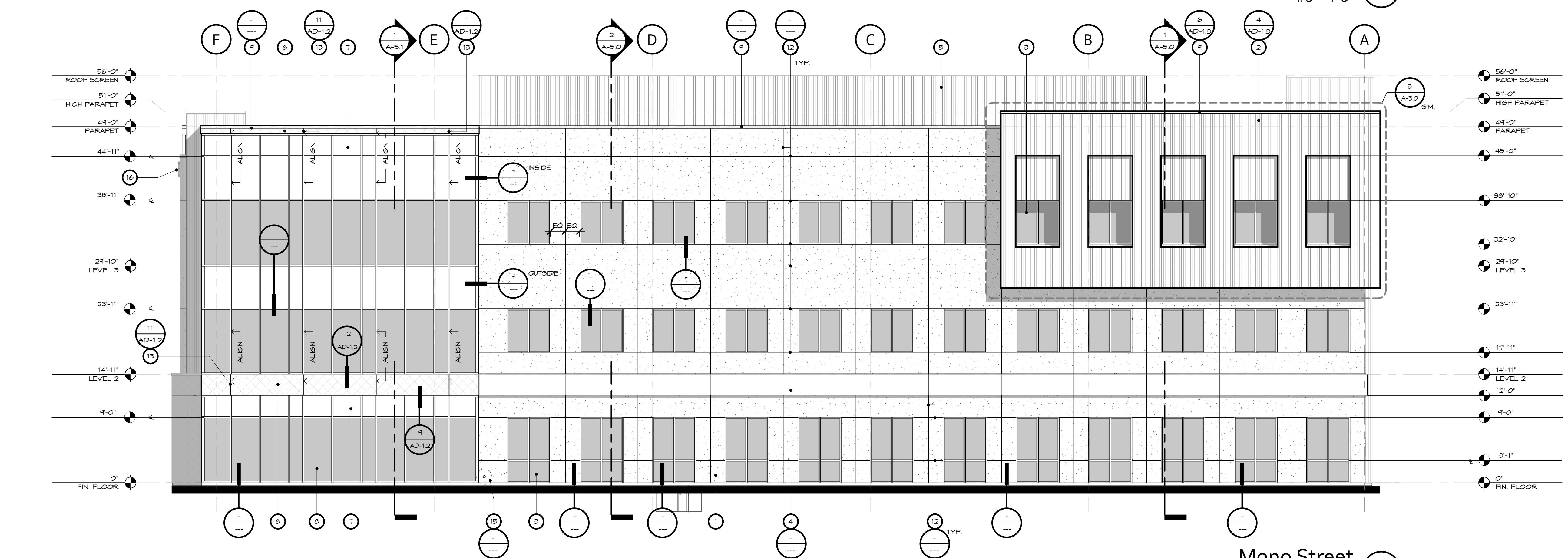


Sante Fe Avenue

1/8" = 1'-0"

NOTES:

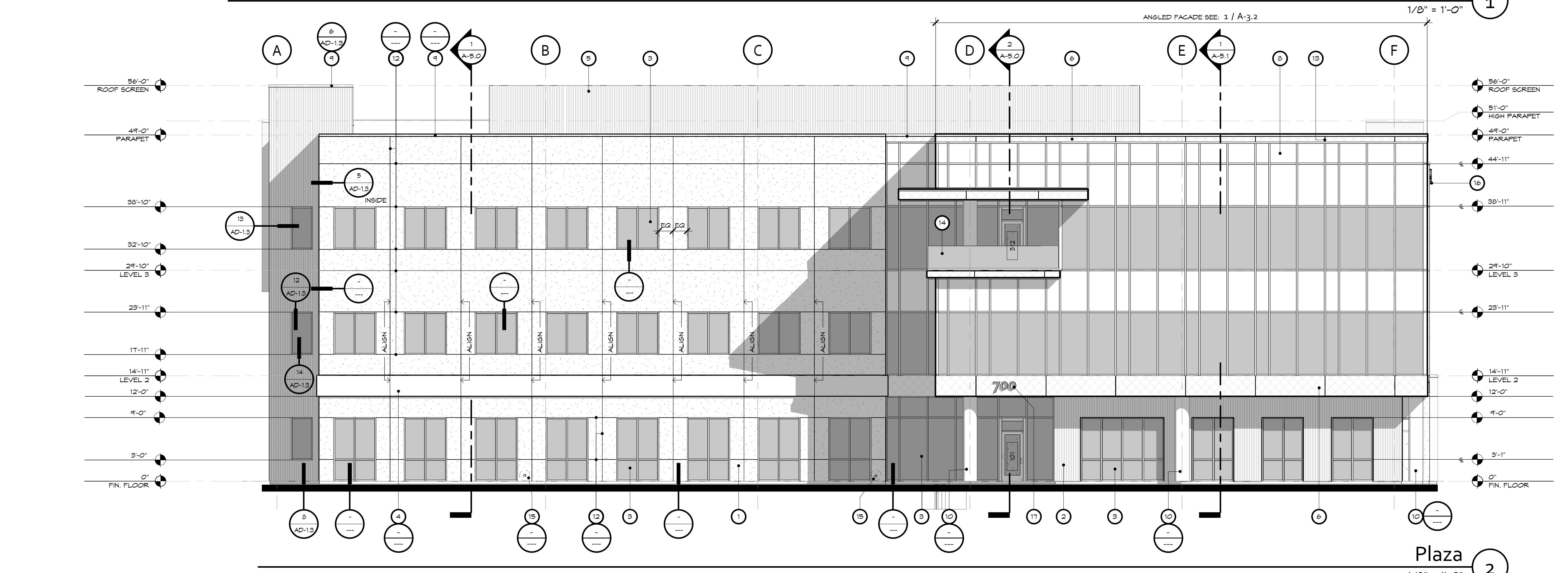
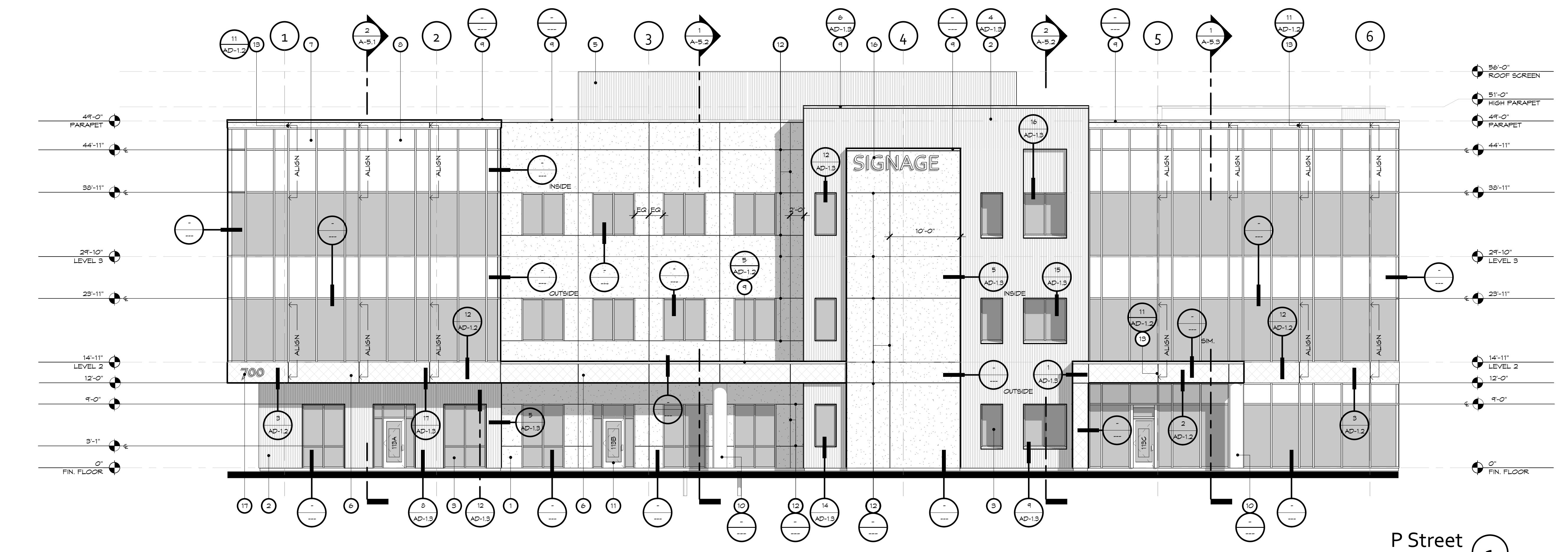
1. ALL COLOR SELECTIONS TO BE APPROVED BY THE CITY OF FRESNO, AND THE OWNER PRIOR TO APPLICATION. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL, ALLOW 3 DAYS MINIMUM FOR RESPONSE.
2. U.O.N. STUCCO TEXTURE TO BE LIGHT SAND FINISH. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
3. CONTRACTOR TO PROVIDE 12 X 10' PAINT AND OR INTEGRAL COLOR STUCCO SAMPLES ON COMPLETED WALL SURFACE OF EACH COLOR FOR REVIEW AND APPROVAL. SELECT A LESS OVERWHELMING COLOR PALETTE. COLOR PALETTE SHOULD SHOW 3 COLORS DIRECTLY ADJACENT TO EACH OTHER (AS POSSIBLE). ARCHITECT TO BE GIVEN 24 HOUR NOTICE FOR REQUESTED FIELD REVIEW.



Mono Street

1/8" = 1'-0"

Exterior Elevations



Exterior Elevations

A-3.1

### Keyed Elevation Notes

NOTE:  
SECONDARY GRID LINES HAVE BEEN REMOVED FOR CLARITY. PLEASE REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION.

1. 3-COAT STUCCO FINISH (LIGHT SAND TEXTURE, TYPICAL) OR WIRE MESH OR WEATHER BARRIER (TYVEK OR APPROVED EQUAL) OR SHEATHING. PROVIDE GSM KEEF SCREEN AT BASE (TYP.). REFER TO COLOR/MATERIAL SCHEDULE FOR SPECIFIC COLOR, LATH TO COMPLY w/ LATEST CBC CHAPTER 2.
2. METAL PANEL SYSTEM. REFER TO DETAIL FOR PATTERN LAYOUT AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
3. ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KANNEER TRI-FAB® 451 SERIES 2" x 4 1/2" X 1 1/2") WITH DUAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
4. FRAMED AGENT BAND PROVIDED 3-COAT STUCCO FINISH (SMOOTH NO TEXTURE) OR WIRE MESH OR WEATHER BARRIER (TYVEK OR APPROVED EQUAL) OR SHEATHING. REFER TO COLOR/MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION. LATHE TO COMPLY w/ LATEST CBC CHAPTER 2.
5. METAL ROOF SCREEN. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
6. ACM PANEL SYSTEM. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
7. SPANDREL GLAZING PANEL. REFER TO MATERIAL FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
8. ANODIZED ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KANNEER 1600® SERIES 2" x 1/2" X 1 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
9. GSM PARAPET CAP FLASHING. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
10. ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
11. STOREFRONT DOOR. PROVIDE WIDE STYLE FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
12. EXPANSION JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
13. ACM PANEL JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
14. 42" HIGH, 1/2" TEMPERED LAMINATED GLASS GUARDRAIL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
15. LOCATION OF OVERFLOW LEADER FROM ROOF DECK DRAIN ABOVE. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PAINT ALL EXPOSED MATERIAL (INCLUDING INTERIOR SURFACE) WITH 2 COATS ENAMEL TO MATCH ADJACENT SURFACE.
16. POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTION'S SIGNAGE ORDINANCE.
17. STREET ADDRESS NUMERALS LOCATED SO AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD. NUMBERS TO BE CLEAR ANODIZED ALUMINUM FINISH (12" HIGH TRUAN PRO MEDIUM FONT).

Project

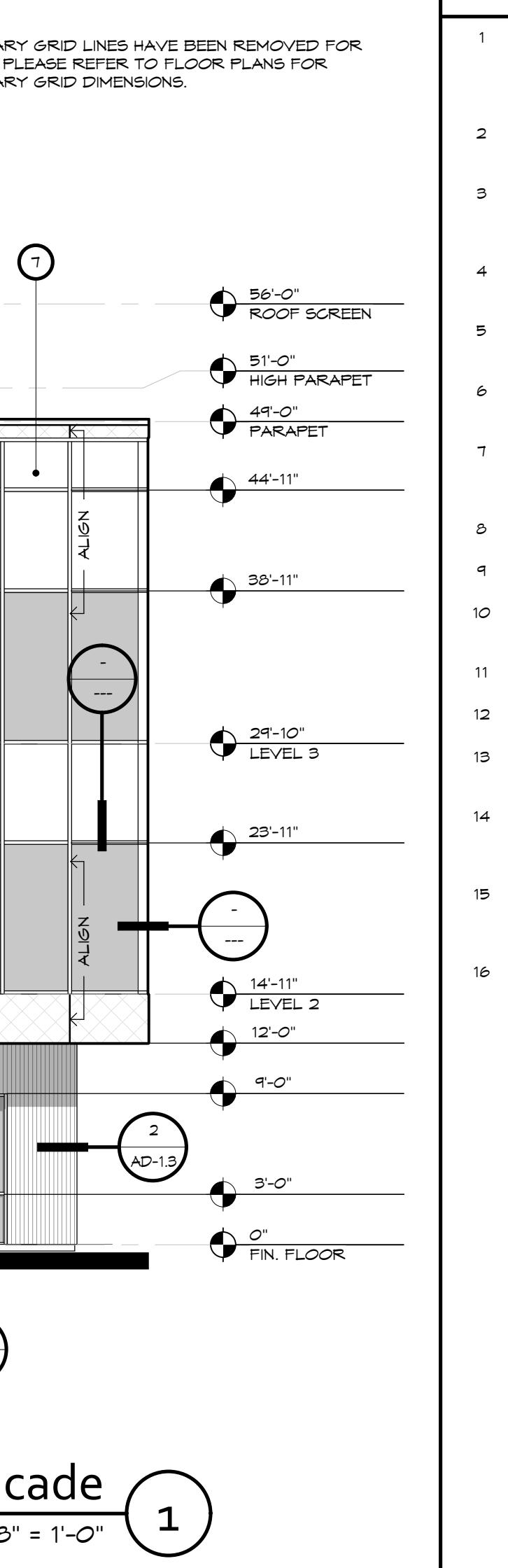
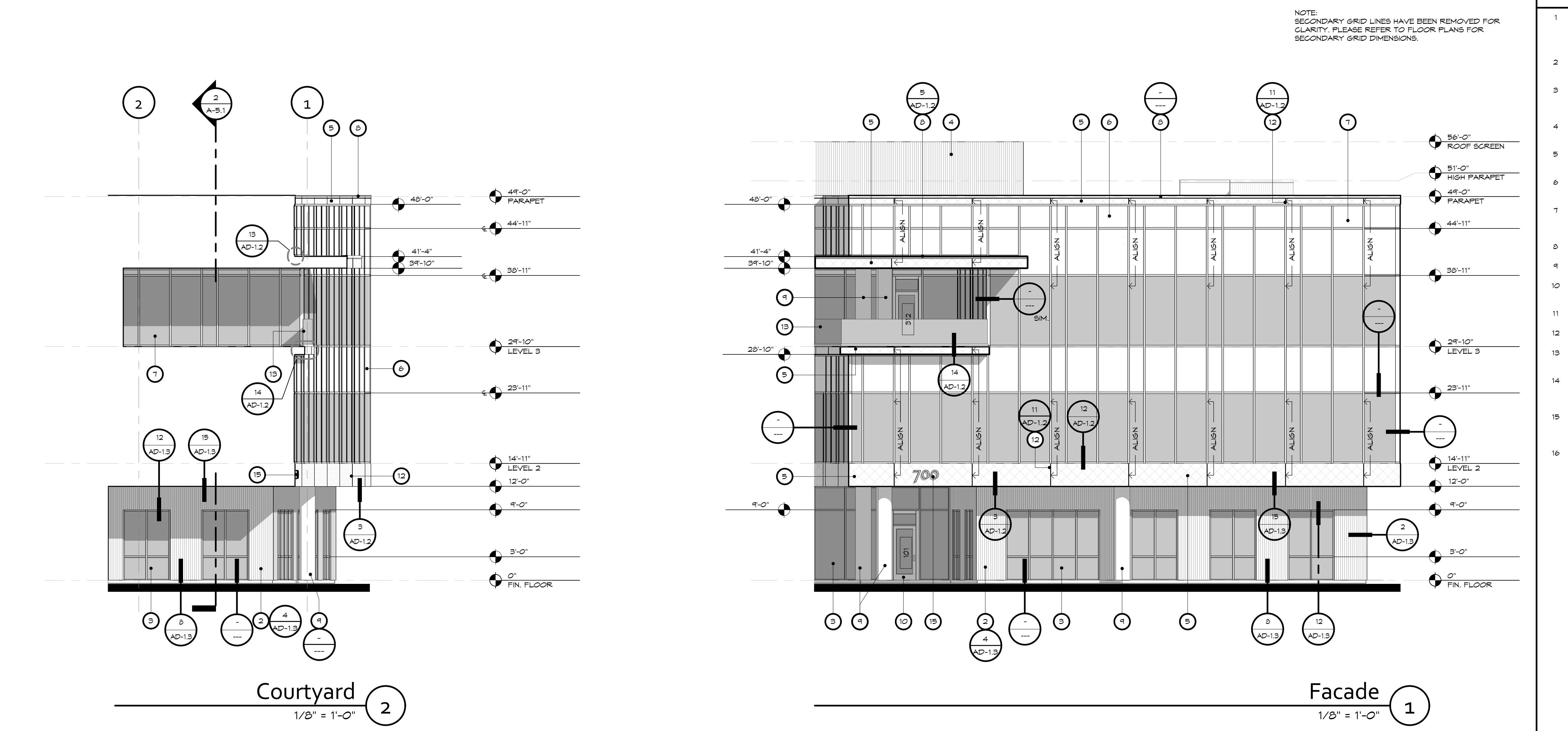
Warehouse Row / New Office Building  
700 P Street  
Fresno, California 93721

Owner  
Baltara Enterprises LP  
2025 N. Gateway #101  
Fresno, California 93727

Publishing Status  
Schematic  
Design Develop'mt  
Site Plan Review  
Bidding  
Plan Check  
Revisions

Scale  
1/8" = 1'-0"  
Project Manager  
TODD CLARK  
Project Number  
18-029  
Sheet

A-3.1



| Keyed Elevation Notes |  |
|-----------------------|--|
| 1                     | 3-COAT STUCCO FINISH (LIGHT SAND TEXTURE, TYPICAL) OR WIRE MESH OR WEATHER BARRIER (TYPEK OR APPROVED EQUAL) OR SHEATHING. PROVIDE GSM KEEF SCREED AT BASE (TYP.). REFER TO COLOR/MATERIAL SCHEDULE FOR SPECIFIC COLOR, LATH TO COMPLY w/ LATEST CBC CHAPTER 25. |
| 2                     | METAL PANEL SYSTEM. REFER TO DETAIL FOR PATTERN LAYOUT AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.   |
| 3                     | ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KANNEER TRIFAB® 451 SERIES 2' x 4 1/2') WITH DUAL FANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.   |
| 4                     | METAL ROOF SCREEN. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.  |
| 5                     | ACM PANEL SYSTEM. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.   |
| 6                     | SPANDREL GLAZING PANEL. REFER TO MATERIAL FINISH SCHEDULE FOR ADDITIONAL INFORMATION.  |
| 7                     | ANODIZED ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KANNEER "1600" SERIES 2' x 1 1/2') WITH DUAL FANE GLAZING. REFER TO DETAILS AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.   |
| 8                     | GSM PARAPET CAR FLASHING. REFER TO DETAIL FOR ADDITIONAL INFORMATION.  |
| 9                     | ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.   |
| 10                    | STOREFRONT DOOR. PROVIDE WIDE STYLE FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.  |
| 11                    | EXPANSION JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.   |
| 12                    | ACM PANEL JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.   |
| 13                    | 42" HIGH, 1/2" TEMPERED LAMINATED GLASS GUARDRAIL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.   |
| 14                    | POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTION'S SIGNAGE ORDINANCE.   |
| 15                    | STREET ADDRESS NUMBERS LOCATED SO AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD. NUMBERS TO BE CLEAR ANODIZED ALUMINUM FINISH (12" HIGH TRAJAN PRO MEDIUM FONT).  |
| 16                    | LOCATION OF DOOR AND FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.   |

Project  
Warehouse Row / New Office Building  
700 P Street  
Fresno, California 93721

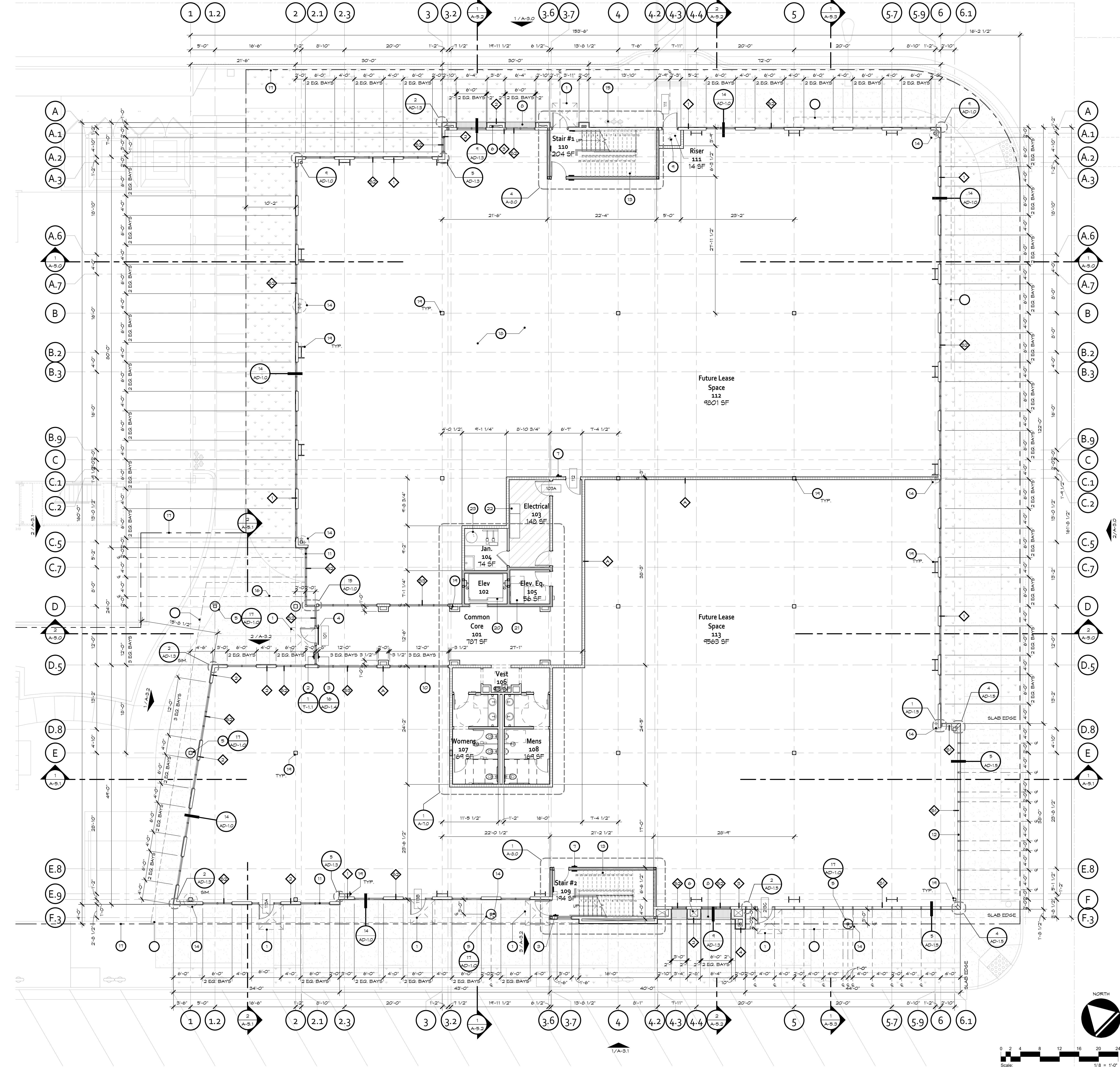
Owner  
Baltara Enterprises LP  
2025 N. Gateway #101  
Fresno, California 93727

Publishing Status  
Schematic  
Design Develop'mt  
Site Plan Review  
Bidding  
Plan Check  
Revisions

Scale  
1/8" = 1'-0"  
Project Manager  
TODD CLARK  
Project Number  
18-028  
Sheet

A-3.2

Exterior Elevations



Ground Floor Plan

Keyed Floor Plan Notes

- DASHED BOX SHOWS AREA OF 5'-0" INDE x 5'-0" DEEP LEVEL LANDING AT DOOR (6'-0" x 8'-0" AT DOUBLE DOORS). FLOOR SURFACE TO MANTAIN A 2% MAX SLOPE FROM BUILDING.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TACTILE EXIT SIGNAGE. REFER TO DETAIL. SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 115-103.1, 2010 C.D.C.
- PROVIDE SIGN ABOVE DOOR STATING THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED IN 1 INCH HIGH (MINIMUM) LETTERS ON CONTRASTING BACKGROUND.
- ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- VOID SPACE IN FRAMING. PROVIDE FIRE BLOCKING VERTICALLY AT SOFFIT, CEILING AND FLOOR, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 12 FEET, PER SECTION 110.2.2, 2010 C.D.C.
- TACTILE EXIT SIGNAGE. REFER TO DETAIL. SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 115-103.1, 2010 C.D.C.
- METAL PANEL SLOPE SILL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- FIRE SPRINKLER RISER. REFER TO FIRE DRAWINGS FOR ADDITIONAL INFORMATION.
- ALUMINUM CENTER LOADED STOREFRONT (KNAUFER TRI-FAB® 450 SERIES 2" x 4 1/2") WITH SINGLE PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- ALUMINUM CENTER LOADED STOREFRONT (KNAUFER TRI-FAB® 451 SERIES 2" x 4 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- ALUMINUM FRONT CURTAIN WALL SYSTEM (KNAUFER 1800® SERIES 2 1/2" x 1 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- STAR SYSTEM. REFER STRUCTURAL DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION.
- ROOF DRAIN LEADERS FROM DRAIN ABOVE ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET POINT OR TERMINATION (DRAIN LOCATION SHOWN INSIDE OF BUILDING FOR CLARITY ONLY). REFER TO ROOF PLAN AND PLUMBEING DRAWINGS FOR ADDITIONAL INFORMATION.
- GAS METERS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CONCRETE FLOORWORK 5% SLOPE MAX. AND 2% CROSS SLOPE MAX. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- EXISTING PROPERTY LINE.
- CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS AND SOILS REPORT FOR PAD PREPARATION AND SLAB REQUIREMENTS.
- STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ELEVATOR SHAFT AND CAB. REFER TO SECTION AND DETAILS FOR ADDITIONAL INFORMATION.
- ELEVATOR PUMP EQUIPMENT. REFER TO MANUFACTURES SPECIFICATIONS FOR REQUIREMENTS.
- SWITCHGEAR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- BOOSTER PUMP. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

Project

Warehouse Row / New Shell Building  
700 P Street  
Fresno, California 93721

Owner

Baltara Enterprises LP  
2025 N. Gateway #101  
Fresno, California 93727

Publishing Status

Schematic

Design Develop'mt

Site Plan Review

Bidding

Plan Check

Revisions

Scale

1/8" = 1'-0"

Project Manager

TODD CLARK

Project Number

10-029

Sheet

A-1.0

Architect

iT ARCHITECTURE

1465 North Van Ness Avenue  
Fresno, California 93728  
559.442.4642  
559.485.9081  
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Legend

101 DOOR TAG - REFER TO DOOR SCHEDULE SHEET A-6.0  
WALL TAG - REFER TO WALL LEGEND SHEET T-1.0  
11 SPECIVITY TAG - REFER TO ACCESSORY SCHEDULE SHEET A-7.0

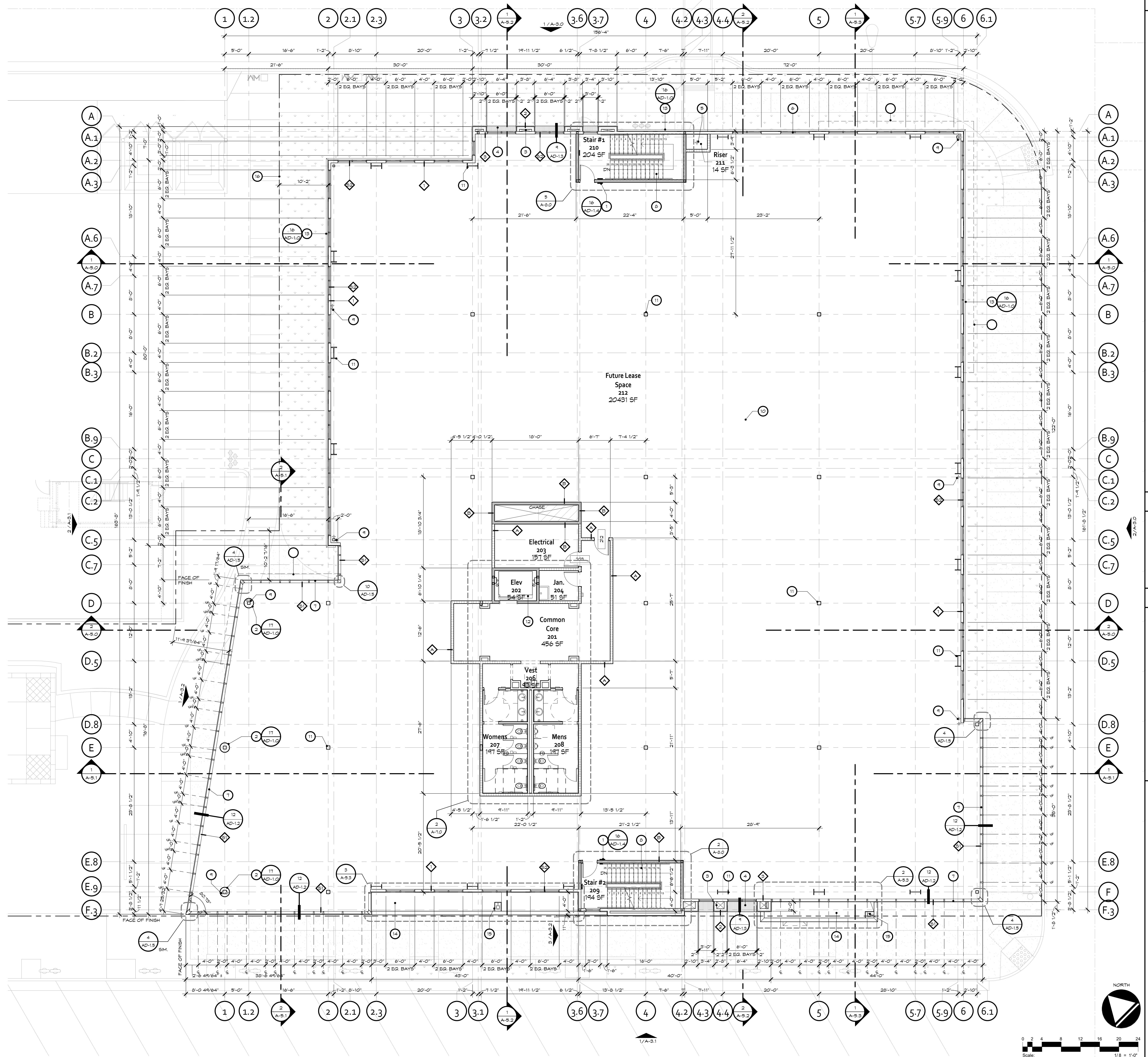
General Floor Plan Notes

- PLANS ARE NOT TO SCALE - INDICATED DIMENSIONS SHALL GOVERN.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
- GENERAL CONTRACTOR SHALL INTERFACE WITH PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, & FIXTURE SUPPLIERS.
- GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
- ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1/AD-1.0.
- GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR TENANT SUITE MATCH IN COLOR. (EXAMPLE: CHAT PLATES, T-STATS, ETC.)
- ALL DIMENSIONS ARE FROM FACE OF STUD / CENTERLINE OF COLUMN U.N.O.
- PROVIDE MIN. 2A-100G PORTABLE FIRE EXTINGUISHER (NFPA 10). ONE EXTINGUISHER IS REQUIRED FOR 3,200 SF. OF PORTION THEREOF OF SPACE. IF TRAVEL DISTANCE NOT TO EXCEED 75 FEET, 2010 CFC SECTION 906.3, ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENTS.

GENERAL CONTRACTOR SHALL REFER TO SAFETY GLAZING DETAIL FOR INFORMATION AND REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF CALIFORNIA BUILDING CODE.

NOTE:  
GENERAL CONTRACTOR TO PREPARE SOUL / TILL AREAS AND PROVIDE  
FIRE AND VACUUM BARRIER AND PREPARE A SOLE REPORT 104-202 AS  
PREPARED BY TECHNICON ENGINEERING SERVICES, INC. DATED APRIL 14  
2004, UPDATED ON AUGUST 13, 2010 TES NO 100593.001. Tel: (559) 276-8311.

TITLE-24 ENERGY COMPLIANCE LISTINGS: U-FACTORS: SHGC: VT:  
EXTERIOR FIXED GLAZING (TINTED): 0.57 0.40 0.63  
GENERAL INSULATION NOTES:  
GENERAL CONTRACTOR TO PROVIDE RIGGED ROOF INSULATION AND  
WALL BATT INSULATION IN ALL EXTERIOR WALLS AS REQUIRED WITHIN  
THE TITLE 24 ENERGY COMPLIANCE REPORT.



Second Floor Plan

Keyed Floor Plan Notes

- 1 TACTILE TENT STAR DOWN SIGNAGE. REFER TO DETAIL SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 11B-103.1, 2016 C.B.C.
- 2 ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 3 VOID SPACE IN FRAMING. PROVIDE FIRE BLOCKING VERTICALLY AT SOFFIT / CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET, PER SECTION 11B.2.2, 2016 C.B.C.
- 4 METAL PANEL SLOPE SILL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 5 FIRE SPRINKLER RISER. REFER TO FIRE DRAWINGS FOR ADDITIONAL INFORMATION.
- 6 ALUMINUM CENTER LOADED STOREFRONT (KNAUFER TRI-FAB® 481 SERIES 2' x 4 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 7 ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KNAUFER 1607 SERIES 2' x 1 1/2" x 1 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 8 STAIR SYSTEM. REFER STRUCTURAL DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION.
- 9 ROOF DRAIN LEADER FROM DRAIN ABOVE ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF THE BUILDING FOR CLARITY ONLY). REFER TO ROOF PLAN AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 LIGHTWEIGHT CONCRETE OVER METAL DECK. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 ELEVATOR SHAFT AND CAB. REFER TO SECTION AND DETAILS FOR ADDITIONAL INFORMATION.
- 13 FRAMED ACCENT BAND PROVIDED 3-COAT STUCCO FINISH (SMOOTH NO TEXTURE) 2/4 WIRE MESH OR WEATHER BARRIER (TYVEK OR APPROVED EQUAL) / SHEATHING. REFER TO DETAIL AND COLOR/MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION. LATHE TO COMPLY IV/IV. LATEST CEC CHAPTER 25.
- 14 HEAVY GAUGE SLIP SHEET MATERIAL AND CRUSHED ROCK OVER SINGLE FLY T.P.O. OVER LANDSCAPE DECK. ON ROOF AREAS, CRUSHED ROCK TO MATCH THAT SPECIFIED PER LANDSCAPE DRAWINGS.
- 15 ROOF DRAIN - OVERFLOW INLET (IV. C1) LEADERS RUN E. P. LEADER DOWN THROUGH DRAWDRAINS AND DAYLIGHT AT LOCATION SHOWN ON ROOF PLAN. ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF THE BUILDING FOR CLARITY ONLY). OVERFLOW LEADERS TO DAYLIGHT AT 11' 0" FROM GROUND. SOFFIT VENTAGE AND DRAIN LEADERS TO DAYLIGHT (WALLS). PAINT ALL EXPOSED MATERIALS (INCLUDING INTERIOR OF OVERFLOW) WITH (2) COATS OF ENAMEL TO MATCH ADJACENT PLASTER FINISH. REFER TO PLUMBING PLANS FOR ROOF DRAIN SIZE SPECIFICATION AND FOR DRAIN PIPE SIZE. (PROVIDE TRANSITION TO 3 1/2" TO PASSAGE BELOW WALLS).
- 16 EXISTING PROPERTY LINE.

**it** ARCHITECTURE  
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Fresno, California 93727

Publishing Status  
Schematic  
Design Develop't  
Site Plan Review  
Bidding  
Plan Check  
Revisions

GENERAL CONTRACTOR SHALL REFER TO SAFETY GLAZING DETAIL FOR INFORMATION AND REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF CALIFORNIA BUILDING CODE.

NOTE:

GENERAL CONTRACTOR TO PREPARE SOIL / FILL AREAS AND PROVIDE DRAIN AND VAPOR BARRIER AS DESCRIBED IN A SOIL REPORT TES-104-202 AS PREPARED BY TECHNICON ENGINEERING SERVICES, INC. DATED APRIL 14, 2004, UPDATED ON AUGUST 13, 2010 TES NO 100-53.001, Tel: (559) 276-4311.

TITLE-24 ENERGY COMPLIANCE LISTINGS: U-FACTORS: SHGC: VT:  
EXTERIOR FIXED GLAZING (TINTED): 0.57 0.40 0.63

GENERAL INSULATION NOTES:  
GENERAL CONTRACTOR TO PROVIDE RIGID ROOF INSULATION AND WALL, FLOOR, CEILINGS, AND ALL EXTERIOR WALLS AS REQUIRED WITHIN THE TITLE 24 ENERGY COMPLIANCE REPORT.

Scale 1/8 = 1'-0"  
Project Manager TODD CLARK  
Project Number 10-029  
Sheet

A-1.1

Legend

- 101 DOOR TAG - REFER TO DOOR SCHEDULE SHEET A-6.0
- WALL TAG - REFER TO WALL LEGEND SHEET T-1.0
- 11 SPECIALLY TAG - REFER TO ACCESSORY SCHEDULE SHEET A-7.0

General Floor Plan Notes

- 1 PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
- 2 GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
- 3 GENERAL CONTRACTOR SHALL INTERFACE WITH PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS.
- 4 GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, FIXTURE SUPPLIERS.
- 5 GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
- 6 ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1A-1D.
- 7 GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR TENANT SUITE MATCH IN COLOR. (EXAMPLE: PLATE, T-STATS, ETC.)
- 8 ALL DIMENSIONS ARE FROM FACE OF STUD / CENTERLINE OF COLUMN UNLESS OTHERWISE STATED.
- 9 PROVIDE MIN. 2A 10B-5 PORTABLE FIRE EXTINGUISHER (NFFA 10). ONE EXTINGUISHER IS REQUIRED FOR 200-5 SF OF PORTION OF AREA OF SPACE WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET. 2016 CFC, SECTION R60.3. ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENTS.

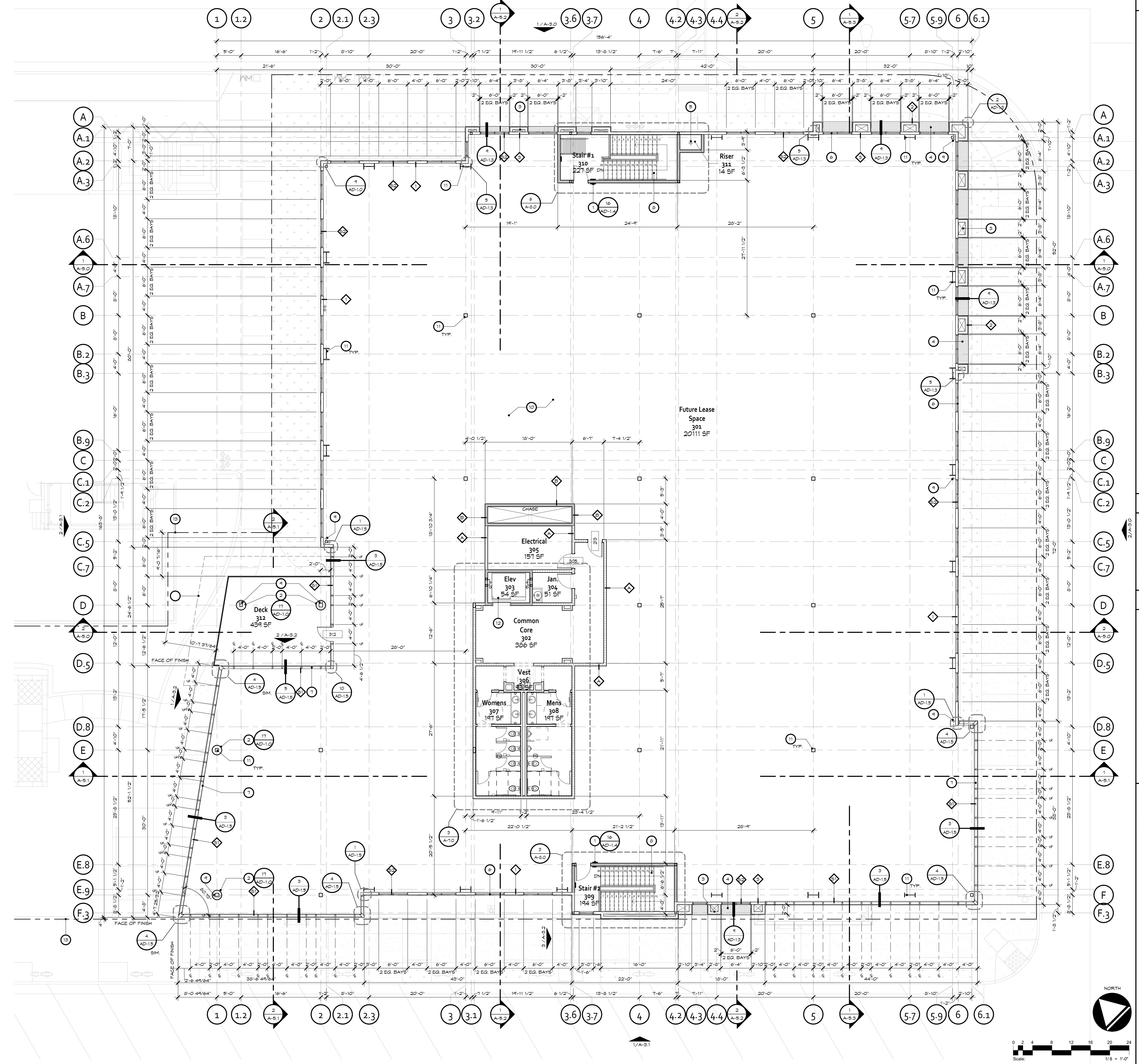
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TITLE-24 ENERGY COMPLIANCE LISTINGS: U-FACTORS: SHGC: VT:  
EXTERIOR FIXED GLAZING (TINTED): 0.57 0.40 0.63

GENERAL INSULATION NOTES:  
GENERAL CONTRACTOR TO PROVIDE RIGID ROOF INSULATION AND WALL, FLOOR, CEILINGS, AND ALL EXTERIOR WALLS AS REQUIRED WITHIN THE TITLE 24 ENERGY COMPLIANCE REPORT.

Scale 1/8 = 1'-0"  
Project Manager TODD CLARK  
Project Number 10-029  
Sheet



Third Floor Plan

Keyed Floor Plan Notes

- 1 TACTILE TENT STAR DOWN SIGNAGE. REFER TO DETAIL SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 11B-103.1, 2016 C.B.C.
- 2 ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 3 VOID SPACE IN FRAMING. PROVIDE FIRE BLOCKING VERTICALLY AT SOFFIT / CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET, PER SECTION 11B.2.2, 2016 C.B.C.
- 4 METAL PANEL SLOPE SILL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 5 FIRE SPRINKLER RISER. REFER TO FIRE DRAWINGS FOR ADDITIONAL INFORMATION.
- 6 ALUMINUM CENTER LOADED STOREFRONT (KNAUFER TRI-FAB® 481 SERIES 2' x 4 1/2' x 1 1/2') WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 7 ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KNAUFER 1600® SERIES 2 1/2' x 1 1/2') WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 8 STAIR SYSTEM. REFER STRUCTURAL DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION.
- 9 ROOF DRAIN LEADER FROM DRAIN ABOVE ALL SECTIONS OF DRAIN LEADERS TO BE CONCENTRATED AT THE POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF TYPING FOR CLARITY ONLY). REFER TO ROOF PLAN AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 LIGHTWEIGHT CONCRETE OVER METAL DECK. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 ELEVATOR SHAFT AND CAB. REFER TO SECTION AND DETAILS FOR ADDITIONAL INFORMATION.
- 13 EXISTING PROPERTY LINE.

Project: Warehouse Row / New Shell Building  
700 P Street  
Fresno, California 93721

Owner: Baltara Enterprises LP  
2025 N. Gateway #101  
Fresno, California 93727

Publishing Status:  
Schematic  
Design Develop't  
Site Plan Review  
Bidding  
Plan Check  
Revisions

Scale: 1/8" = 1'-0"  
Project Manager: TODD CLARK  
Project Number: 18-028  
Sheet: A-1.2

Architect: it ARCHITECTURE

1465 North Van Ness Avenue  
Fresno, California 93728  
559.442.4642  
559.485.9081  
www.itarchinc.com

Legend

- 101 DOOR TAG - REFER TO DOOR SCHEDULE SHEET A-6.0
- 102 WALL TAG - REFER TO WALL LEGEND SHEET T-1.0
- 103 SPECIVITY TAG - REFER TO ACCESSORY SCHEDULE SHEET A-7.0

General Floor Plan Notes

- 1 PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
- 2 GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
- 3 GENERAL CONTRACTOR SHALL INTERFACE WITH PLUMBING, MECHANICAL AND ELECTRICAL PROVIDERS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS.
- 4 GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, & FIXTURE SUPPLIERS.
- 5 GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
- 6 ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1/AD-1.0.
- 7 GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR SUITE MATCH THE COLOR (EXAMPLE: CHATEAU PLATES, T-SLOTS, ETC.)
- 8 ALL DIMENSIONS ARE FROM FACE OF STUD / CENTERLINE OF COLUMN U.N.O.
- 9 PROVIDE MIN. 2A-100G PORTABLE FIRE EXTINGUISHER (NFPA 10). ONE EXTINGUISHER IS REQUIRED FOR 3,200 SF. OF PORTION THEREOF OF SPACE, WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET. 2016 CFC SECTION 903.6. ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENTS.

GENERAL CONTRACTOR SHALL REFER TO SAFETY GLAZING DETAIL FOR INFORMATION AND REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF CALIFORNIA BUILDING CODE.

NOTE:  
GENERAL CONTRACTOR TO PREPARE SOIL / FILL AREAS AND PROVIDE  
PIPE AND VARIOUS BARRIERS AS DESCRIBED IN A SOIL REPORT 104-202 AS  
PREPARED BY TECHNICON ENGINEERING SERVICES, INC. DATED APRIL 14  
2004, UPDATED ON AUGUST 13, 2010 TES NO 100593.001. Tel: (559) 276-8311.

TITLE-24 ENERGY COMPLIANCE LISTINGS: U-FACTORS: SHGC: VT:  
EXTERIOR FIXED GLAZING (TINTED): 0.57 0.40 0.63  
GENERAL INSULATION NOTES:  
GENERAL CONTRACTOR TO PROVIDE RIGID ROOF INSULATION AND  
WALL BATT INSULATION IN ALL EXTERIOR WALLS AS REQUIRED WITHIN  
THE TITLE 24 ENERGY COMPLIANCE REPORT.

Third Floor Plan

F101-Projects\2018\18-028\700 P st\Drawings\Digital Model\18-028.rvt

WAREHOUSE  
ROW

702-764 P STREET  
FRESNO,  
CA 93721

## REFERENCE NOTES SCHEDULE

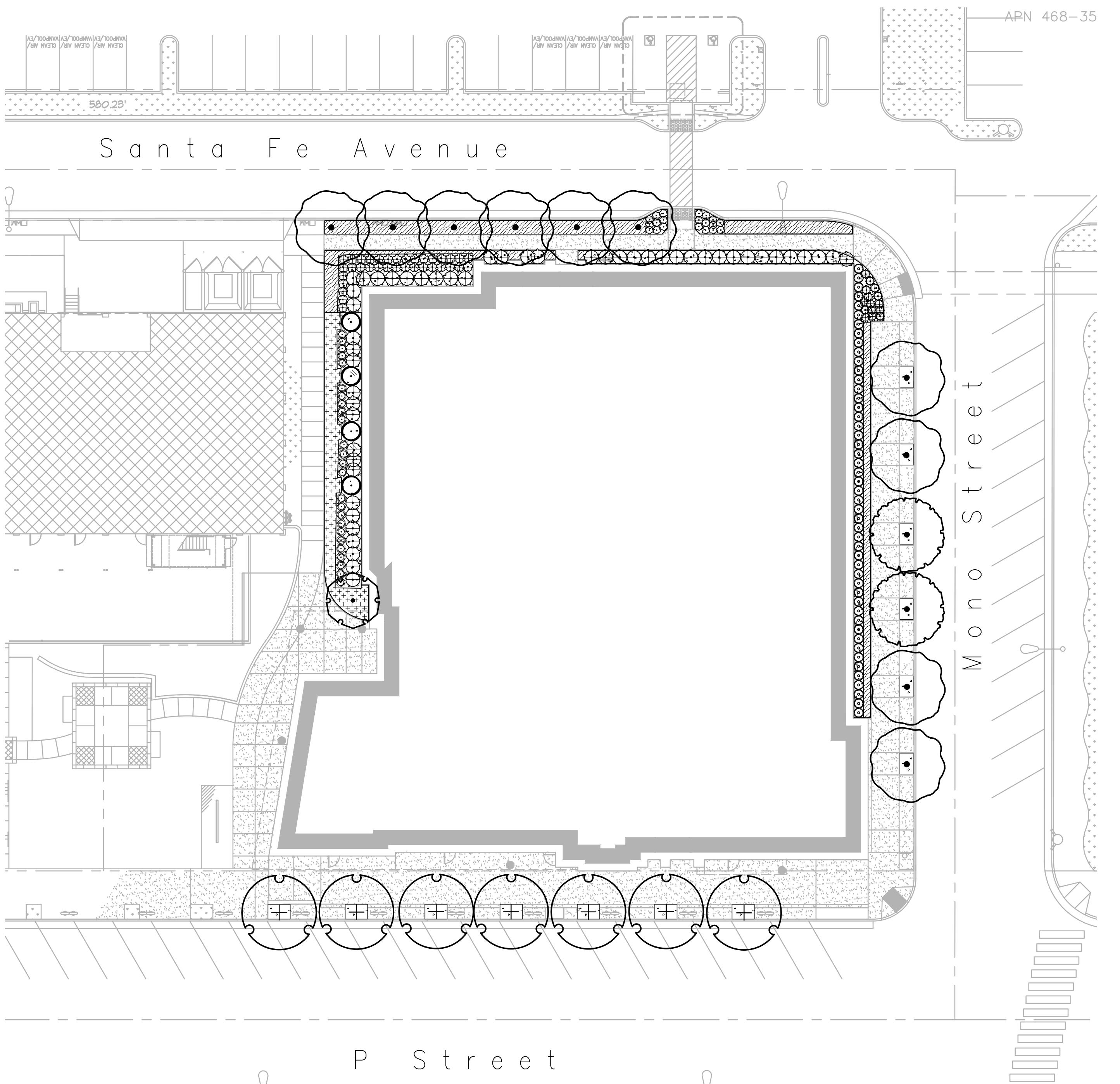
| SYMBOL | DESCRIPTION   | QTY     |
|--------|---------------|---------|
|        | MULCH 3" DEEP | 1688 SF |

## PLANT SCHEDULE

| TREES         | BOTANICAL NAME   | CONT   | WATER USE | QTY     |
|---------------|--|--------|-----------|---------|
|               |  |        |           | SIZE    |
|               | CERCIS OCCIDENTALIS<br>WESTERN REDBUD MULTI-TRUNK                | 15 GAL | L         | 1       |
|               | CUPRESSUS SEMPERVIRENS TINY TOWER™<br>TINY TOWER ITALIAN CYPRESS | 15 GAL | L         | 4       |
|               | GINKGO BILOBA 'AUTUMN GOLD'™<br>MAIDENHAIR TREE                  | 15 GAL | L         | 2       |
|               | PISTACIA CHINENSIS 'KEITH DAVEY'<br>KEITH DAVEY CHINESE PISTACHE | 15 GAL | L         | 10      |
| SHRUBS        | BOTANICAL NAME   | CONT   | WATER USE | QTY     |
|               |  |        |           | SIZE    |
|               | CALLISTEMON CITRINUS 'LITTLE JOHN'<br>DWARF BOTTLE BRUSH         | 5 GAL  | L         | 50      |
|               | DIETES BICOLOR<br>FORTNIGHT LILY                                 | 1 GAL  | L         | 20      |
|               | LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'™<br>CIMARRON                 | 5 GAL  | L         | 49      |
|               | LEYMUS CONDENSATUS 'CANYON PRINCE'<br>NATIVE BLUE RYE            | 1 GAL  | L         | 25      |
|               | MUHLENBERGIA CAPILLARIS 'REGAL MIST'™<br>MUHLY                   | 5 GAL  | L         | 35      |
|               | MUHLENBERGIA RIGENS<br>DEER GRASS                                | 1 GAL  | L         | 15      |
| GROUND COVERS | BOTANICAL NAME   | CONT   | WATER USE | SPACING |
|               |  |        |           | QTY     |
|               | ARTEMISIA X 'POWIS CASTLE'<br>POWIS CASTLE ARTEMISIA             | 1 GAL  | L         | 326 SF  |
|               | MYOPORUM PARVIFOLIUM 'PINK'<br>TRAILING MYOPORUM                 | 1 GAL  | L         | 753 SF  |

## EXISTING PLANTING

| SYMBOL | DESCRIPTION          | QTY |
|--------|----------------------|-----|
|        | EXISTING STREET TREE | 7   |

designlab **252**

P.O. Box 27616 Fresno, CA 93729  
Studio: 559.472.9966 Fax: 559.472.9969



drawn by: **SA** checked by: **PB**

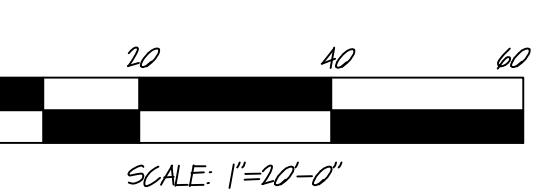
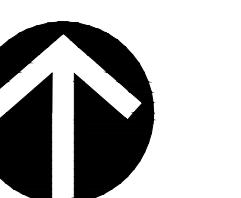
submittal: date:  
No. 1 08/07/2018  
No. 2 XX/XX/XXXX  
No. 3 XX/XX/XXXX  
No. 4 08/07/2018

scale: 1'=20'-0"

sheet title:

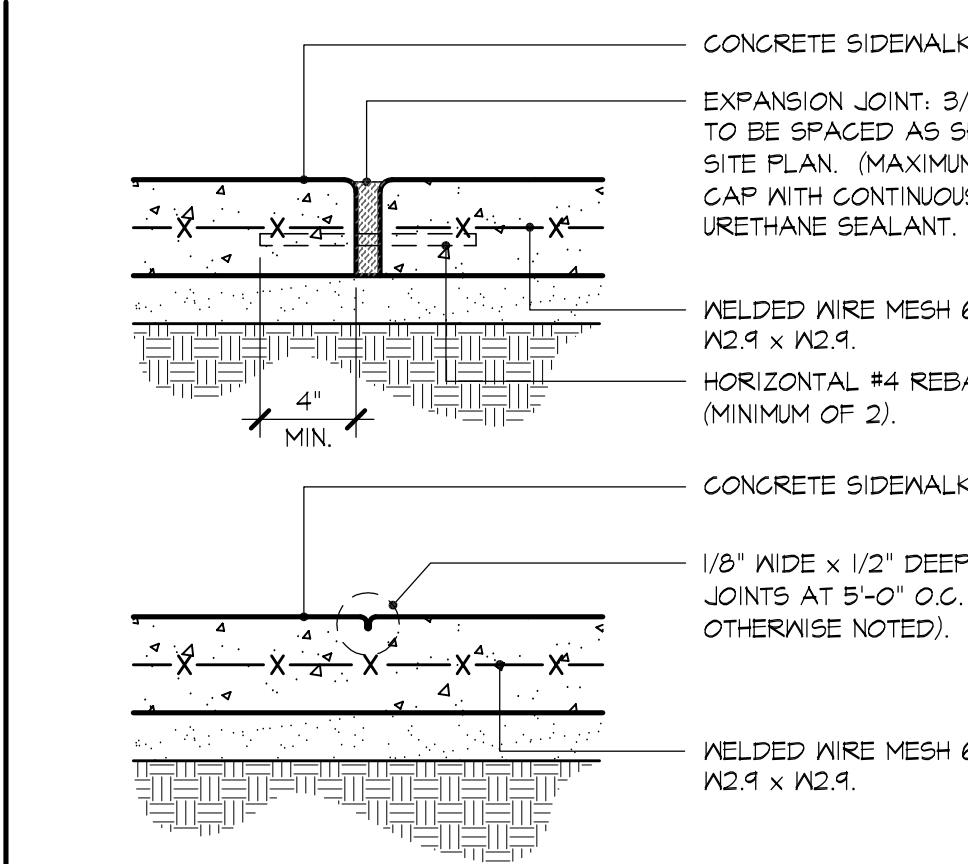
LANDSCAPE  
SITE PLAN

sheet no.



SP-1

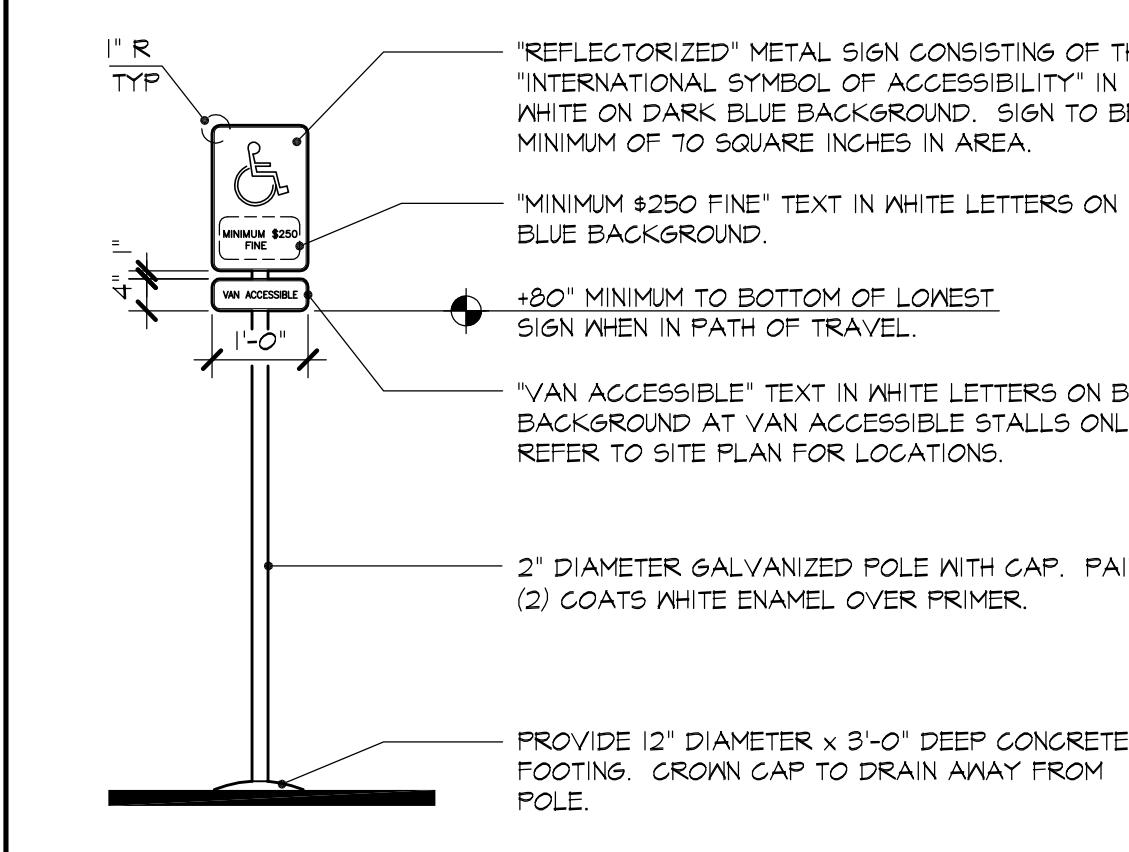
project no. 18-07-005



Troweled Joint / Exp. Joint

1 1/2"

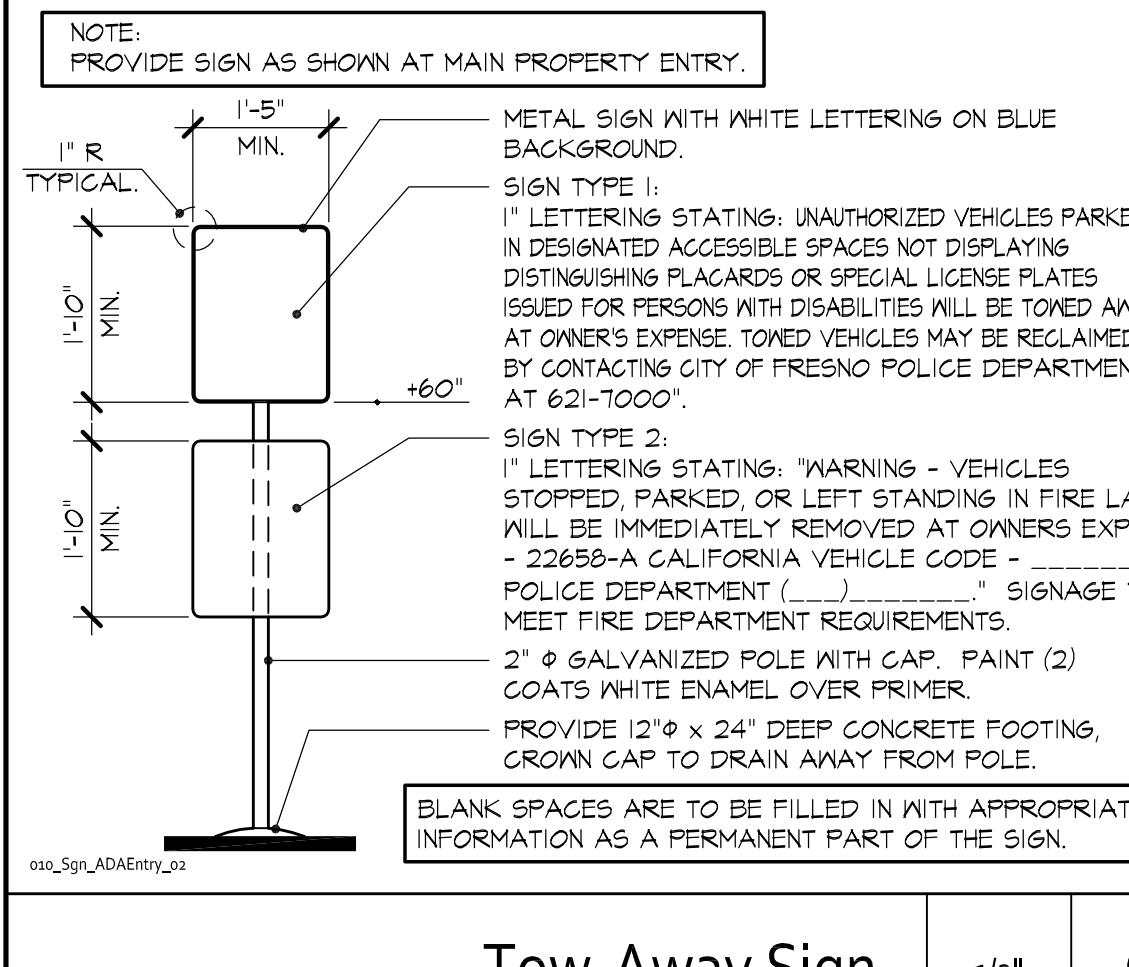
7



Accessible Stall Sign

1/2"

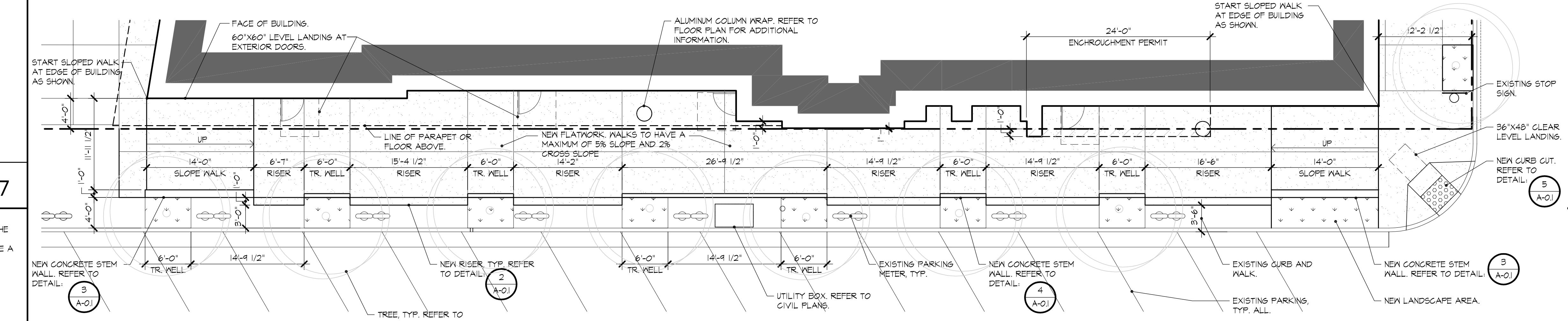
8



Tow-Away Sign

1 1/2"

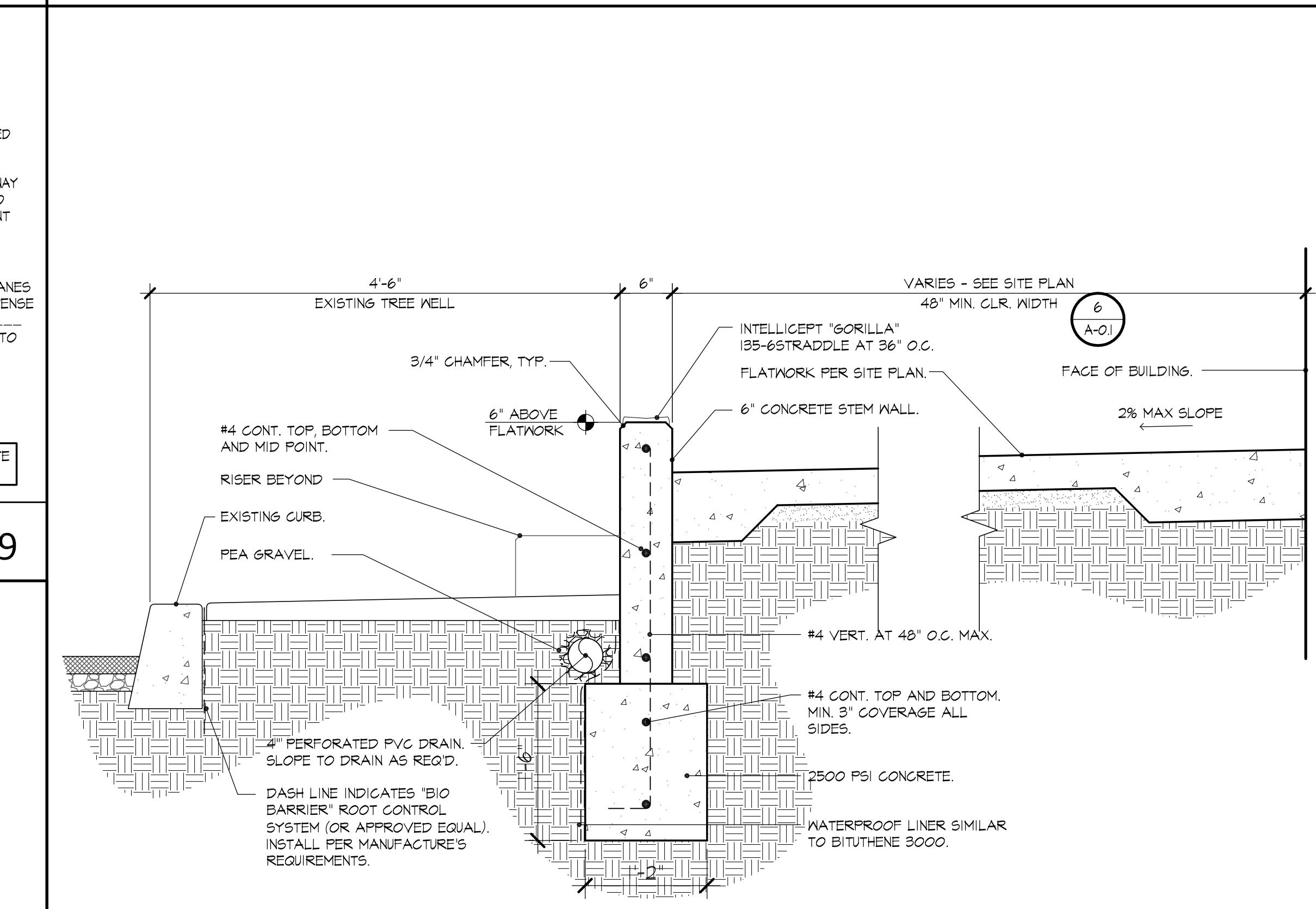
9



Enlarged Partial Site Plan

1/8"

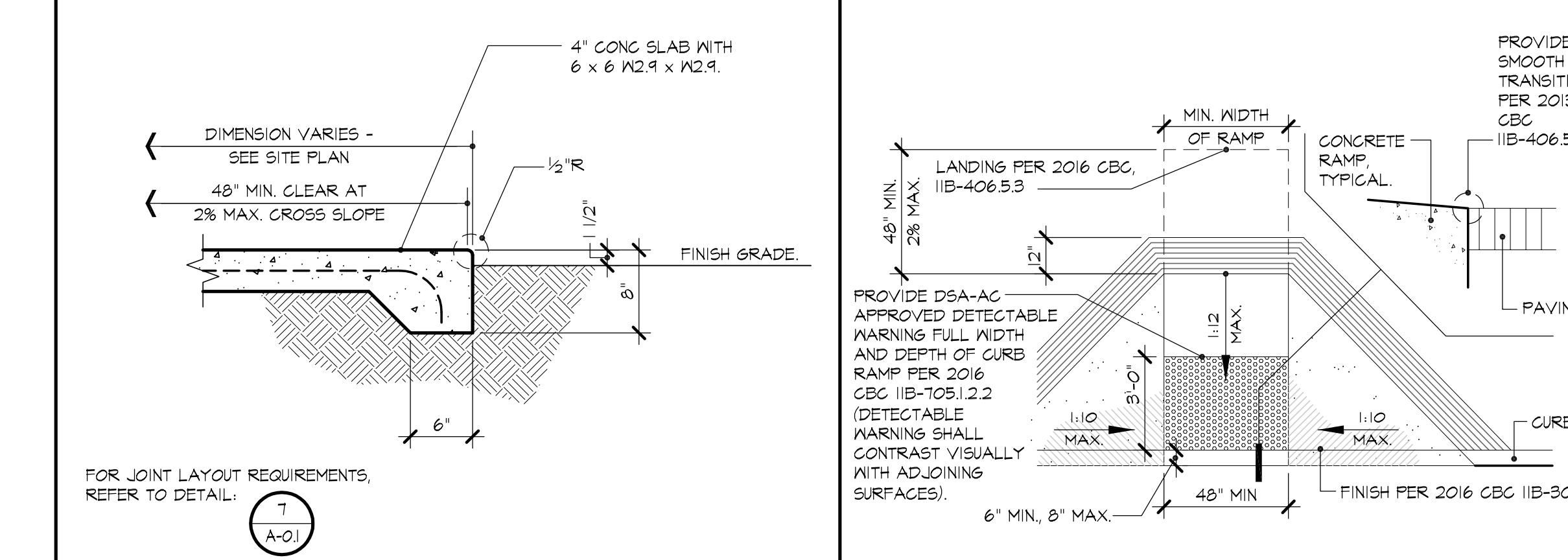
1



6" Stem Wall Section

1"=1'-0"

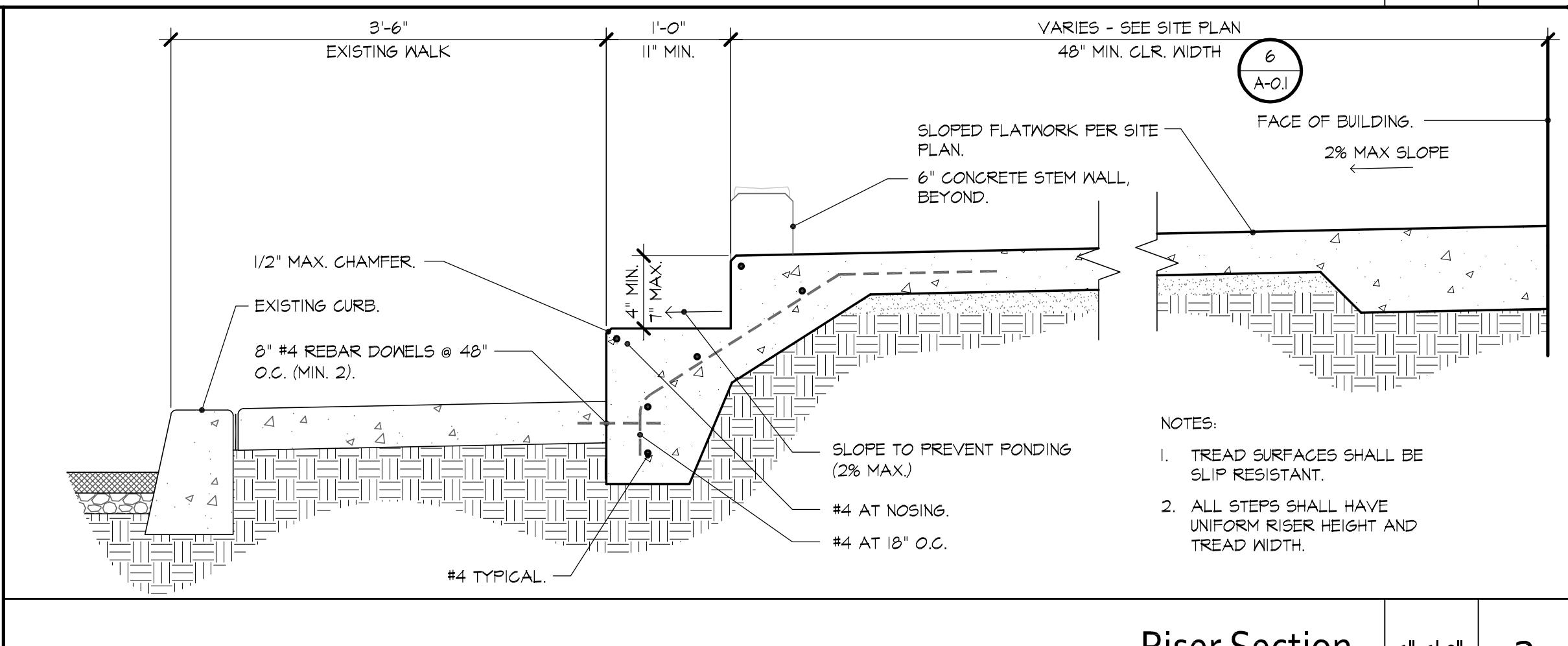
4



Concrete Walk Edge

1"

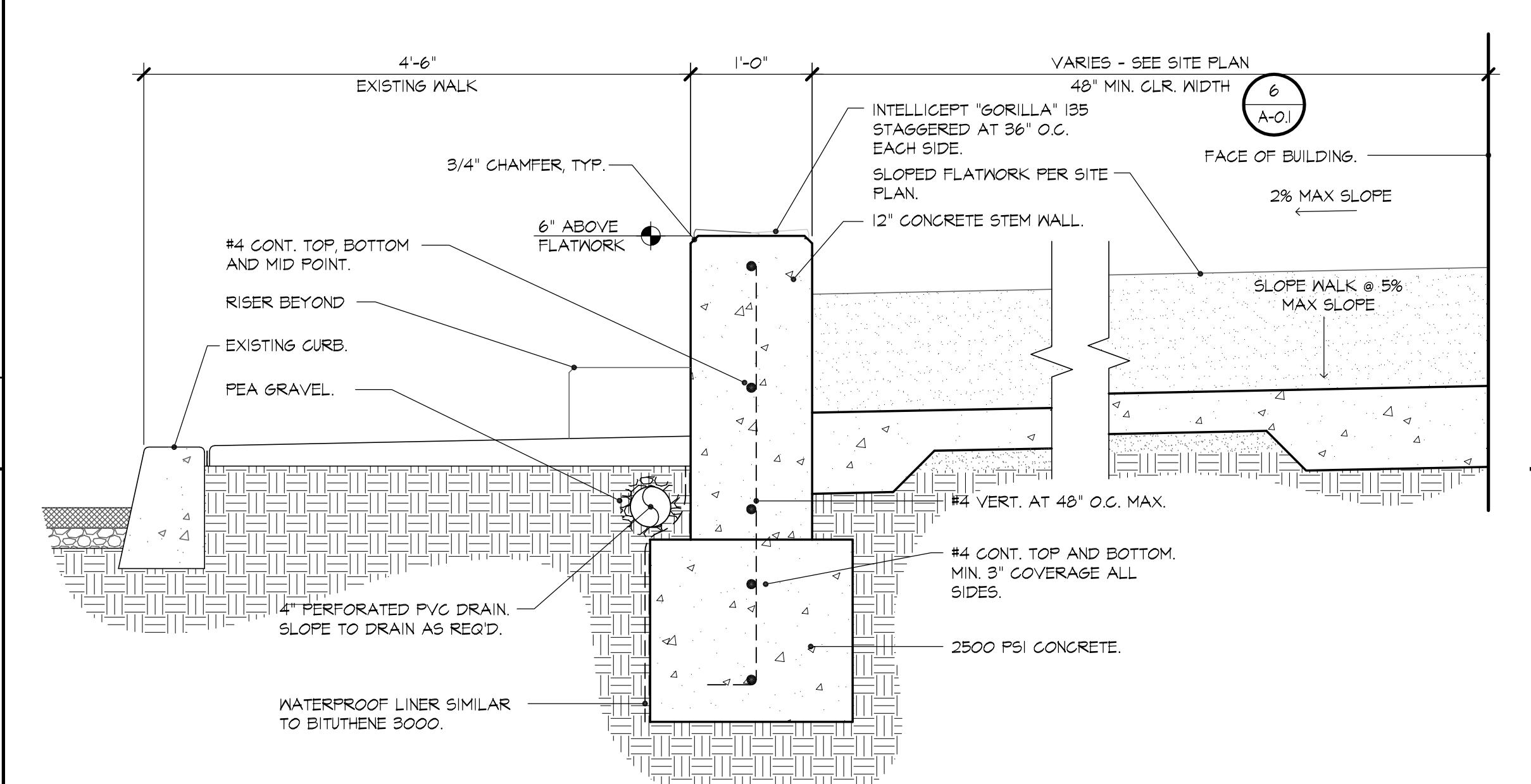
6



Riser Section

1"=1'-0"

2



Sloped Walk Section

1"=1'-0"

3

Curb-Cut Ramp

1/4"

5

August 14, 2018

PROJECT DESCRIPTION and OPERATIONS STATEMENT  
Proposed Class-A Office Building  
700 P Street  
Fresno, California

**1. Proposed Facility:**

Proposed is one three story Office Building on currently vacant land.

**2. The Property:**

This project is located at the N corner of P and Mono Streets in Fresno, California. The current land use data is as follows:

- APN # 468-166-12
- Address: 700 P Street Fresno, CA 93721
- Zoning: DTG/DT
- Land Use: Downtown General
- Community Plan area: Downtown
- Specific Plan: None

**3. The Product:**

The proposed Building is to be used as general office space with emphasis on Government Agency type Tenants.

**4. Operational Time Limits:**

The Proposed Facilities hours of operation will be Monday through Friday from 8:00 am to 5:00 pm for a total of 9 hours per day.

**5. Special activities and/or events:**

There are no special activities or events planned for this facility.

**6. Employees and Staff:**

Being initially constructed as a "shell building" the number of employees and staff is currently unknown, however CBC occupancy is proposed as 'B'. Assuming the CBC load value of 100 sf/occ. With a nominal circulation/common area load factor of 30% the proposed 46,572 SF usable area would generate approx. 466 occupants for both staff and visitors combined.

**7. Materials, equipment and supplies:**

No materials, equipment or supplies above that which is normally used in typical office type businesses are anticipated.

**8. Service and Delivery Vehicles:**

Deliveries shall be brought to the facility in small trucks and vehicles under 2-tons in size. Solid waste collection is via Santa Fe Avenue.

**9. The Structure:**

The proposed Building is a moment frame structure with a combination of metal and stucco siding with glass curtain walls.

**10. Environmental impact – Sound:**

The proposed Facility does not anticipate generating any noise above what would be normal for its proposed use and deemed to be no more obnoxious than that generated by surrounding properties.

**11. Environmental impact – HAZMAT:**

The proposed Facility will not generate any Hazardous materials. All generated waste products will be able to be disposed in standard City approved waste and recycle containers.

It is our hope that all parties involved will view the proposed project favorably. Should you have any questions or need further information, please do not hesitate to contact our office.

Sincerely,

---

William Dyck, Owner

August 14, 2018

PLANNED DEVELOPMENT PERMIT NARRATIVE

Proposed Class-A Office Building

700 'P' Street

Fresno, California

- Proposed Facility:

This project is proposing to construct a 3-story office building of approximately 67,000 square feet on undeveloped land.

- The Property:

This project is located at 700 'P' Street in Fresno, California. The current land use data is as follows:

- APN # 468-166-12
- Address: 700 'P' Street Fresno, CA 93721
- Zoning: DTG/DT
- Existing Land Use: Vacant
- Community Plan area: Downtown
- Specific Plan: N/A

To whom it may concern:

We propose to build a new 66,500 square foot, 3-story structure on vacant land, adjacent to an existing commercial office complex. The adjacent buildings are the result of adaptive reuse, consisting of 3 warehouse/industrial buildings from the early 1900's and one recent infill section (to replace a building that had collapsed).

Our proposed building represents both the completion of a full block for offices and an architectural tie-in by material and design-element similarities.

The overall 'P' Street building frontage will wrap around an open plaza of public spaces, and the new building will incorporate multiple tenant entries and active spaces. Because of a 12" grade offset between the existing public walk/curb height and the new building's finish floor, we will 'raise' the walk of the 'P' Street façade to the building's floor level. This is necessary for 'active space' access from the walk. We have covered a portion of the walk by 4'.0" cantilever of the upper floors and then we have added a running canopy, 5'.0" deep for an additional section of the façade. A third entry has a separate canopy of 4' x 22'. We acknowledge that these dimensions are slightly short of the 10 foot dimension defined in the Development Standards Checklist for a gallery or arcade. The property line location is 13' x 6" from the curb and the overhead canopy and floor cantilevers are within inches of this boundary. The third entry's canopy will encroach by a foot to provide the CBC required 4 foot entry cover.

We have provided a mix of materials (on all facades) including curtainwall glazing, stucco, and metal paneling. We hope to add both interest and an architectural tie-in to the adjacent development. The variety of exterior materials used, the offset of the façade elements and the

combination of open 'plaza' space with semi-covered public walks will provide a superior pedestrian experience along 'P' street.

The façade facing both Mono Street and Sante Fe Avenue will include a similar combination of materials and offsets to provide interest, but without the frequency of tenant entry points. There is no street parking adjacent to the facility on either Mono or Sante Fe, and so the possibility of public activity is small.

It is our hope that all parties will review our project proposal favorably. If you have any questions or need further information, please contact our office.

It is our hope that all parties involved will view the proposed project favorably. Should you have any questions or need further information, please do not hesitate to contact our office.

Sincerely,

---

William Dyck, Owner

## Owner's Letter of Authorization

### NAME AND ADDRESS OF OWNER(S) OF THE PROPERTY

Name: Baltara Enterprises, LP  
Address: 2025 N. Gateway Avenue, Suite #101  
City: Fresno State: CA Zipcode: 93727  
Phone: 288-3925 Email: will@summafresno.com

To Whom It May Concern:

As owner(s) of the property located at 700 'P' Street - Fresno, CA 93721  
I/we authorize iT Architecture, Inc. to act as Agent for the following permit(s):  
for all aspects on the above noted property.

---

---

Sincerely,

Will Dyke

Owner's Printed Name



Owner's Signature

08/07/2018

Date