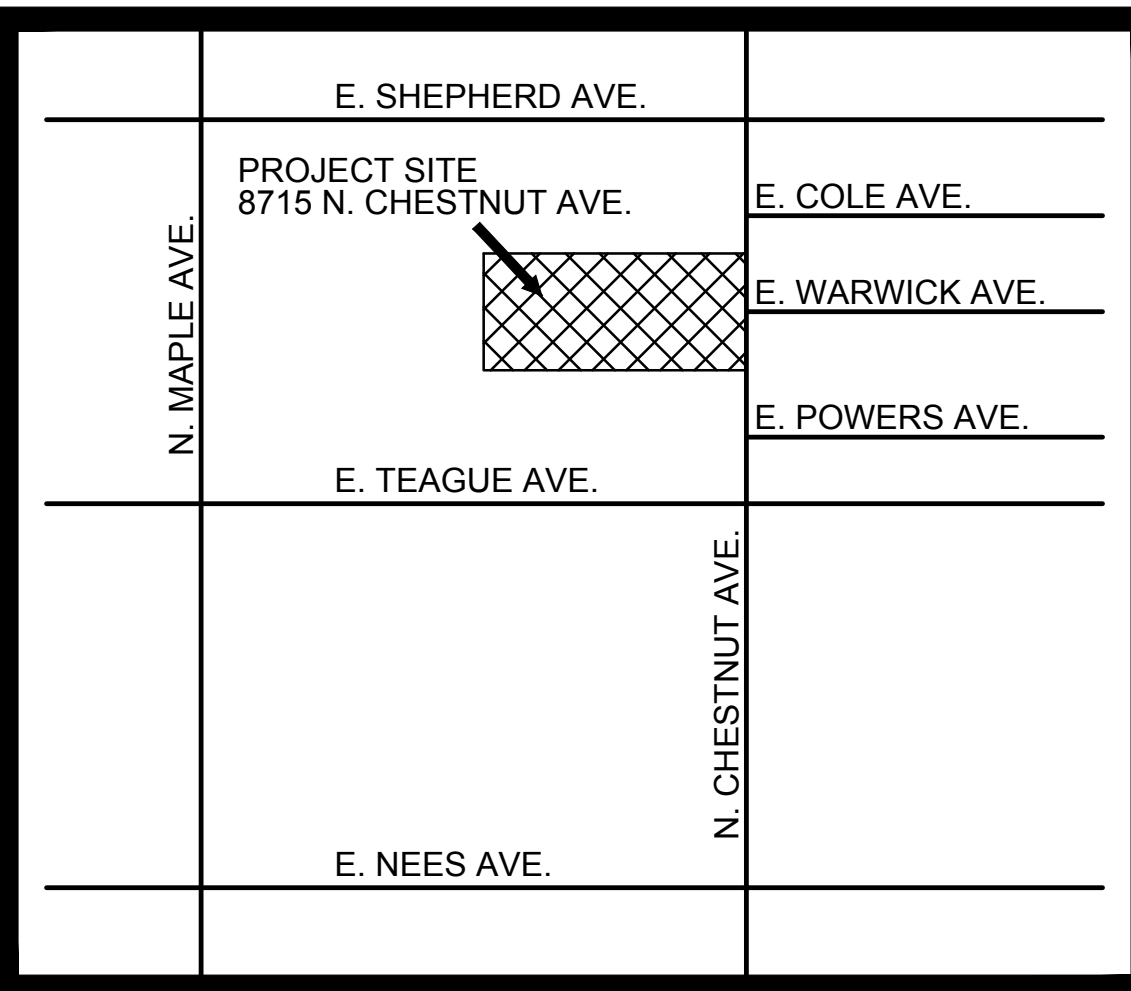


Exhibit D – Exhibits (Site Plan, Elevations, Floor Plans, and Landscape Plan)



VICINITY MAP
NO SCALE

GENERAL NOTES

- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 0107 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED PERSONS ARE TO WALK BEHIND PARKING VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- IF ARCHAEOLOGICAL AND/OR ANNUAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (559) 452-4000) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INSTITUTE CENTER (PHONE: (209) 644-2299) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANNUAL FOSSILS ARE DISCOVERED, THE MUSEUM OF PALEONTOLOGY (U.C. BERKELEY) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- OUTDOOR STORAGE OF MATERIALS OTHER THAN LOADING & UNLOADING IS PROHIBITED. ALL OTHER MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- DEEDS (OR EASEMENTS) FOR THE REQUIRED DEDICATIONS SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMIT.
- EXISTING TREE WELL SIZE TO BE VERIFIED BY CONSTRUCTION MANAGER.
- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THIS SPECIAL PERMIT IS GRANTED, AND THE CONDITIONS IMPOSED, BASED UPON THE OPERATION STATEMENT PROVIDED BY THE APPLICANT, AND THE OPERATION STATEMENT IS MATERIAL TO THE ISSUANCE OF THIS SPECIAL PERMIT. UNLESS THE CONDITIONS OF APPROVAL SPECIFICALLY REQUIRE OPERATION INCONSISTENT WITH THE OPERATION STATEMENT, A NEW OR REVISED SPECIAL PERMIT IS REQUIRED IF THE OPERATION OF THIS ESTABLISHMENT CHANGES OR BECOMES INCONSISTENT WITH THE OPERATION STATEMENT. FAILURE TO OPERATE IN ACCORDANCE WITH THE CONDITIONS AND REQUIREMENTS IMPOSED MAY RESULT IN REVOCATION OF THE SPECIAL PERMIT OR ANY OTHER ENFORCEMENT REMEDY AVAILABLE UNDER THE LAW. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THIS SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE REQUIRED-LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE) ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTSIDES OF THE BUILDINGS. ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPARTMENT.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS. DEPICT ALL PROPOSED LIGHTS ON THE SITE PLAN.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES, OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- NO LAND SHALL BE USED, AND NO STRUCTURE SHALL BE CONSTRUCTED, OCCUPIED, ENLARGED, ALTERED, DEMOLISHED, OR MOVED IN ANY ZONING DISTRICT, EXCEPT IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE. SPECIFIC USES OF LAND, BUILDINGS, AND STRUCTURES LISTED AS PROHIBITED IN ANY ZONING DISTRICT ARE HEREBY DECLARED TO BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE.
- ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND WOULD BE SUBJECT TO A NEW SPECIAL PERMIT.
- A PERMIT GRANTED UNDER THIS CODE SHALL AUTOMATICALLY EXPIRE IF IT IS NOT EXERCISED OR EXTENDED WITHIN THREE YEARS OF ITS ISSUANCE. REFER TO SECTION 5-0-03, EXPIRATION OF PLANNING ENTITLEMENTS, FOR MORE INFORMATION ABOUT THE EXPIRE OF RIGHTS.
- NO TREE FOR WHICH A TREE REMOVAL PERMIT IS REQUIRED SHALL BE REMOVED UNTIL ALL CONDITIONS OF THE PERMIT HAVE BEEN SATISFIED AND THE DECISION HAS BECOME FINAL. IN ADDITION, TREES APPROVED FOR REMOVAL IN CONJUNCTION WITH A DEVELOPMENT APPLICATION SHALL NOT BE REMOVED BEFORE THE ISSUANCE OF A BUILDING PERMIT OR UNLESS ALL OF THE CONDITIONS OF APPROVAL OF THE DEVELOPMENT APPLICATIONS ARE SATISFIED.
- NEW LANDSCAPING SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO PROVIDE ADEQUATE AND EFFICIENT COVERAGE OF ALL PLANT MATERIAL. IRRIGATION SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE AND/OR THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND/OR THE CALIFORNIA PLUMBING CODE AS MAY BE AMENDED.
- FUTURE TENANT IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT TO ENSURE THAT ADEQUATE OFF-STREET PARKING IS PROVIDED.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
- BICYCLE PARKING SPACES SHALL BE SUPPLIED ACCORDING TO TABLE 5-242D-1. REQUIRED ON-SITE BICYCLE PARKING SPACES OF THE FRESNO MUNICIPAL CODE (MPC) EACH BICYCLE PARKING SPACE SHALL BE A MINIMUM OF 30 INCHES IN WIDTH AND EIGHT FEET IN LENGTH AND SHALL BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE. AT LEAST 30 INCHES OF CLEARANCE SHALL BE PROVIDED BETWEEN BICYCLE PARKING SPACES AND ADJACENT WALLS, POLES, LANDSCAPING, STREET FURNITURE, DRIVE AXLES, AND PEDESTRIAN WAYS AND AT LEAST FIVE FEET FROM VEHICLE PARKING SPACES TO ALLOW FOR THE MANEUVERING OF BIKES. OVERHEAD CLEARANCE SHALL BE A MINIMUM OF SEVEN FEET. A MINIMUM FIVE FOOT ASLE BETWEEN EACH ROW OF BICYCLE PARKING SHALL BE PROVIDED FOR BICYCLE MANEUVERING INTO PEDESTRIAN WAYS, LANDSCAPED AREAS, OR OTHER REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMAL TO STRUCTURES.
- SCREEN ALL ROOF-MOUNTED EQUIPMENT FROM THE VIEW OF PUBLIC RIGHTS-OF-WAY. DEPICT ALL MECHANICAL EQUIPMENT ON SITE PLAN AND ELEVATIONS.
- THIS PROJECT WAS REVIEWED BY THE FIRE DEPARTMENT ONLY FOR REQUIREMENTS RELATED TO WATER SUPPLY, FIRE HYDRANTS, AND FIRE APPARATUS ACCESS TO THE BUILDING(S) ON SITE. REVIEW FOR COMPLIANCE WITH FIRE AND LIFE SAFETY REQUIREMENTS FOR THE BUILDING INTERIOR AND ITS INTENDED USE ARE REVIEWED BY BOTH THE FIRE DEPARTMENT AND THE BUILDING AND SAFETY SECTION OF THE DEVELOPMENT AND RESOURCE MANAGEMENT WITH A SUBMITTAL FOR BUILDING PLAN REVIEW IS MADE AS REQUIRED BY THE CALIFORNIA BUILDING CODE BY THE ARCHITECT OR ENGINEER OF RECORD FOR THE BUILDING.
- IF VIDEO SURVEILLANCE CAMERAS ARE REQUIRED OR INSTALLED, PROVIDE SIGNS UNDER THE SURVEILLANCE CAMERAS WHICH NOTIFY THE PUBLIC THAT THE SUBJECT PROPERTY IS MONITORED BY VIDEO SURVEILLANCE.
- THE OWNER/OCCUPANT SHALL PROPERLY MAINTAIN ALL LANDSCAPING TO ASSURE CONTINUOUS HEALTHY PLANT GROWTH. ANY UNHEALTHY OR DEAD LANDSCAPING SHALL BE REMOVED AND REPLANTED BY THE OWNER IN ACCORDANCE WITH APPROVED LANDSCAPE PLANS.
- VEHICLE REPAIR ACTIVITY SHALL BE LIMITED TO VEHICLES AND MOTORIZED EQUIPMENT USED EXCLUSIVELY ON SITE ONLY. INOPERATIVE VEHICLES AND EQUIPMENT SHALL BE REMOVED OR STORED WITHIN AN ENCLOSED BUILDING ONLY. LANDSCAPE PLANS.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS APPLICATION.
- SHOULD ANY UNDERGROUND STORAGE TANK(S) BE FOUND DURING THE PROJECT, THE APPLICANT SHALL APPLY FOR AND SECURE AN UNDERGROUND STORAGE TANK REMOVAL PERMIT FROM THE FRESNO COUNTY DEPARTMENT OF PUBLIC HEALTH, ENVIRONMENTAL HEALTH DIVISION. CONTACT THE CERTIFIED UNIFIED PROGRAM AGENCY AT (559) 600-3271 FOR MORE INFORMATION.

APPL. NO. P21-06232 EXHIBIT A-1 DATE 07/20/2020
 PLANNING REVIEW BY _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 APPROVED BY _____ DATE _____
 CITY OF FRESNO DARM DEPT

SITE DETAILS:

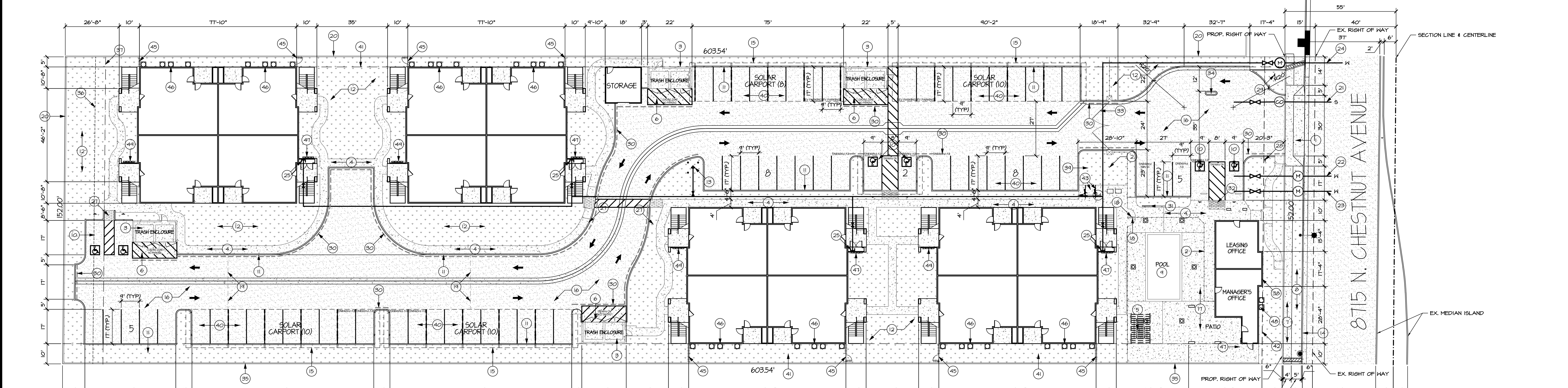
SITE AREA: 41,130 SQ. FT. (2.1 AC)
 PROPOSED SITE COVERAGE: 24,915 SQ.FT. (27.8%)
 PROPOSED DUNA DENSITY: 32 DU / 2.11 AC (15.16 DUNA)
 SETBACKS REQ. FRONT: 10FT MIN. SIDE: 4FT MIN. REAR: 20FT. 10FT TOTAL. 20FT MAX. 10FT TOTAL.
 SETBACKS PROVIDED: FRONT: 20' SIDE: 5' & 10' REAR: 26'-8"
 PARKING REQ. 10 COVERED X 32DU = 32 STALLS. 0.5 UNCOVERED SURF X 32DU = 16 STALLS. TOTAL REQUIRED = 48 STALLS.
 PARKING PROVIDED: 40 CARPORT SPACES. 12 ACCESSIBLE CARPORT SPACES. 28 OPEN SPACES. (4 ACCESSIBLE OPEN SPACES). TOTAL SPACES PROVIDED = 68.
 EV PARKING REQ.: 40 CARPORT SPACES X 10% = 4. 28 OPEN SPACES X 10% = 3. TOTAL EV SPACES REQUIRED = 7.
 EV PARKING PROVIDED: 10 CARPORT SPACES. 4 OPEN SPACES. TOTAL EV SPACES PROVIDED = 14.
 BICYCLE PARKING REQ. 2 SPACES MIN. PARKING PROVIDED:
 OPEN SPACE REQ. 20% OF LOT AREA. LOT AREA 41,130 SQ. FT. X 0.2 = 18,340 SQ.FT.
 OPEN SPACE PROVIDED: PRIVATE OPEN SPACE: 4,828 SQ. FT. COMMON OPEN SPACE: 14,287 SQ. FT. TOTAL OPEN SPACE: 19,165 SQ. FT.

PROJECT DIRECTORY

OWNER: FRESNO/NEWBURY LP. 1554 SHAW AVENUE CLOVIS, CA 95319 (559) 765-4603 johnmashley@fahoo.com
 ARCHITECT: VILLA DI UBALDO UBALDO GARCIA HERNANDEZ PO BOX 925 MADRERA, CA 93639 (559) 271-5534 Villad@ubaldodh@hotmail.com

PROJECT DATA

SITE ADDRESS: 8715 N. CHESTNUT AVENUE FRESNO, CA 93614
 APN: 403-532-28
 EXISTING ZONING: RS-4(M)
 PROPOSED ZONING: RM-1(MEDIUM HIGH DENSITY)
 EXISTING GENERAL PLAN LAND USE: RESIDENTIAL MEDIUM - LOW DENSITY
 PROPOSED GENERAL PLAN LAND USE: RESIDENTIAL MULTI-FAMILY MEDIUM HIGH DENSITY
 OCCUPANCY: R-2
 LEGAL DESCRIPTION: THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF FRESNO, CITY OF FRESNO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: THE NORTH 153 FEET OF LOT 12 OF GARFIELD PARK COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE 66 OF RECORDS OF SURVEYS IN THE OFFICE OF THE FRESNO COUNTY RECORDS.
 APN: 403-532-28



KEY NOTES:

1	PROPOSED 30FT CONCRETE DRIVEWAY APPROACH PER CITY STANDARDS	12	LANDSCAPE AREA PER LANDSCAPE PLANS	21	PROPOSED 4FT WIDE CONCRETE RAMP W/ TRUNCATED DORIES PER DETAIL 6(A)/2	42	10FT FRONT BUILDING SETBACK
2	PROPOSED 6FT HORIZONTAL IRON FENCE PER CITY STANDARDS	13	FIRE HYDRANT & CONCRETE BOLLARDS PER CITY STANDARDS	22	POLE MOUNTED ACCESSIBLE ENTRANCE SIGN AT DRIVEWAY PER DETAIL 4(A)/2	43	PROPOSED MAIL BOXES PER CITY STANDARDS
3	PROPOSED 22'-0" X 10'-0" TRASH ENCLOSURE PER CITY STANDARDS	14	NEW CURB & BUTTER PER CITY STANDARDS	23	POLE MOUNTED CVC 22658 FIRE LANE TOW AWAY WARNING SIGN PER CIVIL DRAWINGS & CITY STANDARDS	44	8FT VEHICLE OVERHANG. NO OBSTRUCTIONS ARE PERMITTED OVER THE OVERHANG
4	PROPOSED 4FT X 10FT FREESTANDING SOLAR CARPORT PER CARPORT PLANS & CITY STANDARDS	15	DESIGNATE CURBS AS FIRE LANES WITH RED CURBS AND "NO PARKING FIRE LANE" IN 3-IN WHITE LETTERS EVERY 50 FT. PER CITY STANDARDS	24	TRUNCATED DORIES PER DETAIL 2(A)/2	45	4FT HIGH HOOD GATE PER DETAIL 1(A)/2
5	4FT WIDE MIN. CONCRETE HALFWAY PER 2018 CBC	16	GRAPHIC ADDRESS DIRECTORY PER CITY STANDARDS	25	PROPOSED 24FT AUTOMATIC GATE PER CITY STANDARDS	46	GROUND MOUNTED MECHANICAL CONDENSERS SCREENED WITH 1/2" HOOD FENCE PER DETAIL 1(A)/2
6	4FT WIDE ACCESSIBLE PATH OF TRAVEL. THE ACCESSIBLE PATH OF TRAVEL AS DELINEATED IS A BARRIER-FREE ROUTE 48" MINIMUM IN WIDTH WITH NO ADMITT LEVEL CHANGES EXCEEDING 1/2" UNLESS DEVELOPED AT A 1:12 MAXIMUM SLOPE, AND NO VERTICAL LEVEL CHANGES EXCEEDING 1/4". THE GROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL DOES NOT EXCEED 3%. THE SURFACE IS FIRM, STABLE AND SLIP RESISTANT. THE ACCESSIBLE PATH OF TRAVEL IS FREE OF OBSTRUCTING OBSTRUCTIONS BELOW 40" AND OBJECTS PROTRUDING GREATER THAN 4" FROM A HALL ABOVE 27" AFF. AND BELOW 80", 4" WHITE STRIPES AT 36" O.C.	17	COMMUNITY PATIO & POOL DECK AREA PER 2018 CBC	26	PROPOSED 20FT F.I.D. EASEMENT PER CIVIL DRAWINGS	47	HALL MOUNTED ELECTRICAL EQUIPMENT (NOT VISIBLE FROM PUBLIC RIGHT OF WAY)
7	LOADING AREA "NO PARKING"	18	4FT X 6FT HORIZONTAL IRON GATE PER DETAIL 6(A)/2 & 9(A)/2 (SEE SHT. A13 FOR ADA COMPLIANCE)	27	PROPOSED 20FT F.I.D. EASEMENT PER CIVIL DRAWINGS	48	GROUND MOUNTED MECHANICAL CONDENSERS SCREENED WITH LANDSCAPING PER LANDSCAPE PLANS
8	4FT WIDE CONCRETE SIDEWALK PER CITY STANDARDS	19	FIRE DEPARTMENT "T" TURNAROUND AREA PER 2018 CBC & CITY STANDARDS	28	PROPOSED 6FT HIGH CMU WALL PER CITY STANDARDS	49	GAS METERS (NOT VISIBLE FROM PUBLIC RIGHT OF WAY)
9	5FT WIDE PLANTER PER LANDSCAPE PLANS & CITY STANDARDS	20	12" HIGH CMU WALL PER CITY STANDARDS	29	EXISTING 6FT F.I.D. EASEMENT PER CIVIL DRAWINGS	50	10FT BUFFER ZONE BUILDING SETBACK
10	16'-0" X 32'-0" SHADING POOL PER 2018 CBC	21	PROPOSED 6" SEWER LATERAL WITH A TWO WAY CLEAN-OUT PER CIVIL DRAWINGS & CITY STANDARDS	30	PROPOSED 20FT F.I.D. EASEMENT PER CIVIL DRAWINGS	51	
11	ACCESSIBLE PARKING STALL W/ CONCRETE PAVING PER 2018 CBC & DETAIL 2(A)/2	22	PROPOSED 1/2" LANDSCAPING WATER MAIN W/ BACK-FLOW PREVENTER PER CIVIL DRAWINGS & CITY STANDARDS	31	PROPOSED 20FT F.I.D. EASEMENT PER CIVIL DRAWINGS	52	
		23	PROPOSED 4" DOMESTIC WATER MAIN W/ BACK-FLOW PREVENTER PER CIVIL DRAWINGS & CITY STANDARDS	32	PROPOSED 10FT X 6FT MONUMENT SIGN UNDER SEPARATE PERMIT	53	
		24	PROPOSED 8" FIRE SPRINKLER WATER MAIN W/ BACK-FLOW PREVENTER PER CIVIL DRAWINGS & CITY STANDARDS	33	PROPOSED BICYCLE PARKING STALL PER CITY STANDARDS	54	
		25	PROPOSED 2" FIRE SPRINKLER WATER RISER PER FIRE SPRINKLER PLANS	34	PROPOSED PARKING STALL PER P-31, P-22, AND P-23 CITY STANDARDS	55	
		26	4FT WIDE MIN. CONCRETE HALFWAY PER CIVIL DRAWINGS & CITY STANDARDS	35	5FT SIDE BUILDING SETBACK	56	

Proposed Site Plan

Villa Di Ubaldo
 Architecture, Engineering & Development
 Ubald Garcia Hernandez
 Architect Lic. No. C-35319
 PO BOX 925 MADRERA, CA 93639
 Tel: (559) 871-5534
 Email: villad@ubaldodh@hotmail.com



OWNER/BUILDER:
FRESNO/NEWBURY LP.
 1554 SHAW AVENUE CLOVIS, CA 95319
 Phone: (559) 765-4603
 EMAIL: johnmashley@fahoo.com

DATE: 10/3/2020
 SCALE: 1" = 20'-0"
 SHEET: FRESNO/NEWBURY LP. SHEET
A1.1

SCALE: 1" = 20'-0"



Front & Rear Elevation

SCALE: 1/4" = 1'-0"



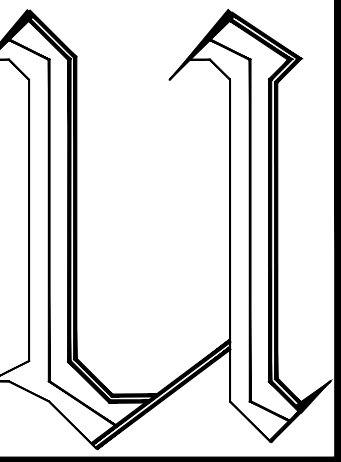
Side Elevations

SCALE: 1/4" = 1'-0"

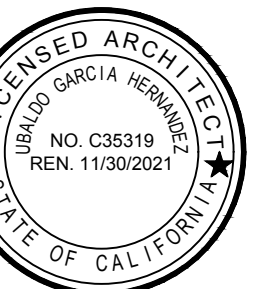
APPL. NO. P21-06232	EXHIBIT E-1	DATE 08/30/2022
PLANNING REVIEW BY _____	DATE _____	
TRAFFIC ENG. _____	DATE _____	
APPROVED BY _____	DATE _____	
CITY OF FRESNO DARM DEPT		

Exterior Elevations

SCALE: 1/4" = 1'-0"



Villa Di Ubaldo
 Architecture, Engineering & Development
 PO BOX 925 Ubaldo Garcia Hernandez Tel. (559) 871-5534
 MADERA, CA 93639 Architect Lic. No. C-35319 Email: villedubaldo@hotmail.com



REVISIONS:

OWNER/BUILDER:
FRESNO / NEWBURY LP.
 1554 SHAW AVENUE
 CLOVIS, CA 93611
 Phone: (559) 765-4603
 EMAIL: johmashley1@yahoo.com

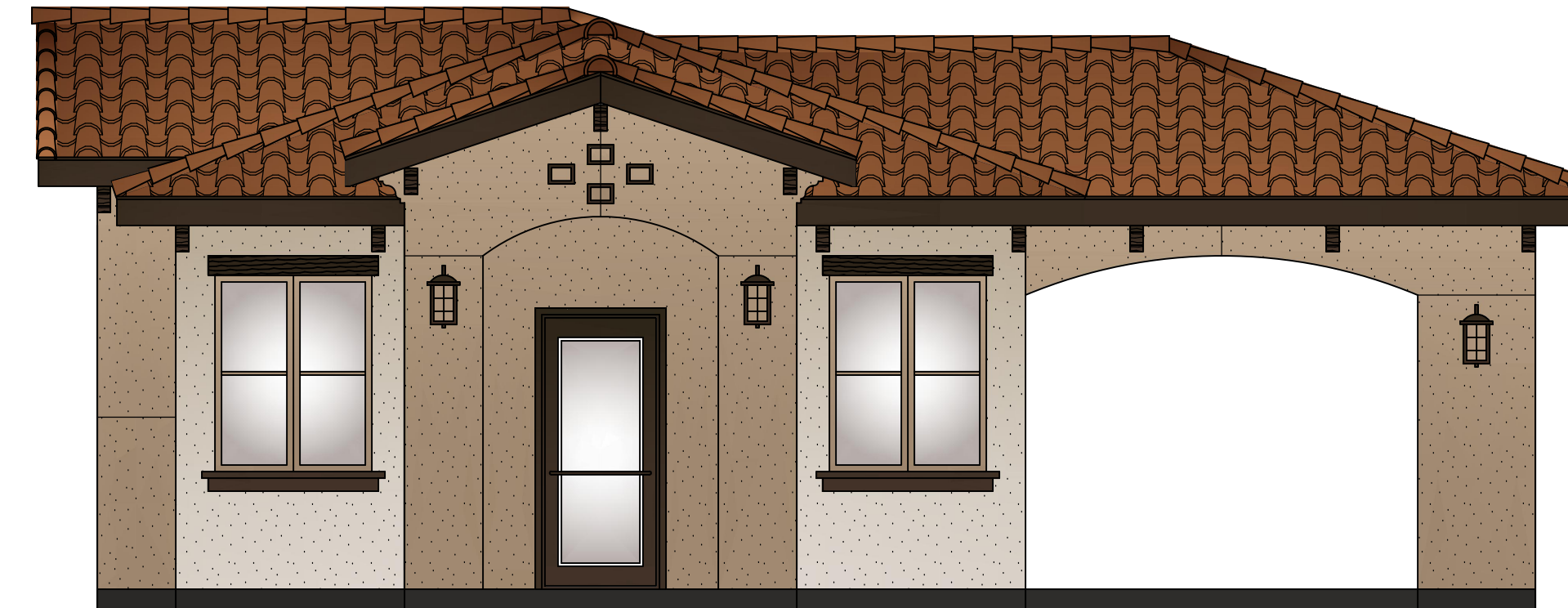
DATE 10/3/2020
 SCALE 1/4" = 1'-0"
 JOB NO. FRESNO/NEWBURY LP.
 SHEET

A5.0



Left Side Elevation

SCALE: 1/4" = 1'-0"



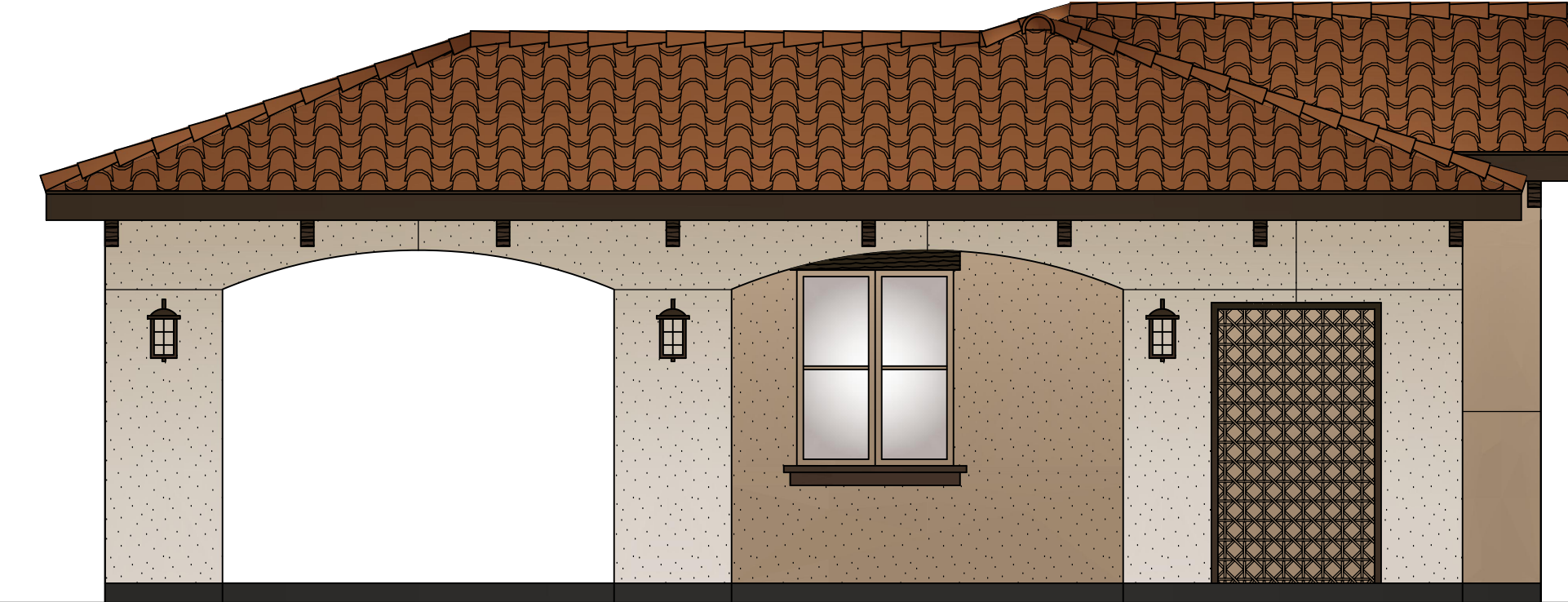
Front Elevation

SCALE: 1/4" = 1'-0"



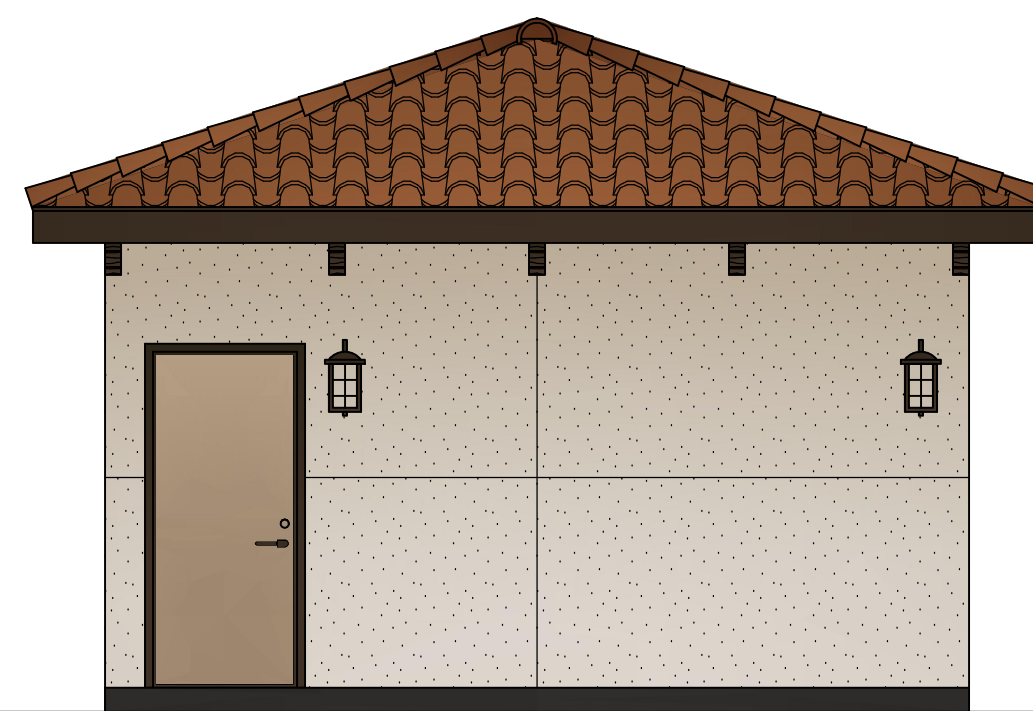
Right Side Elevation

SCALE: 1/4" = 1'-0"



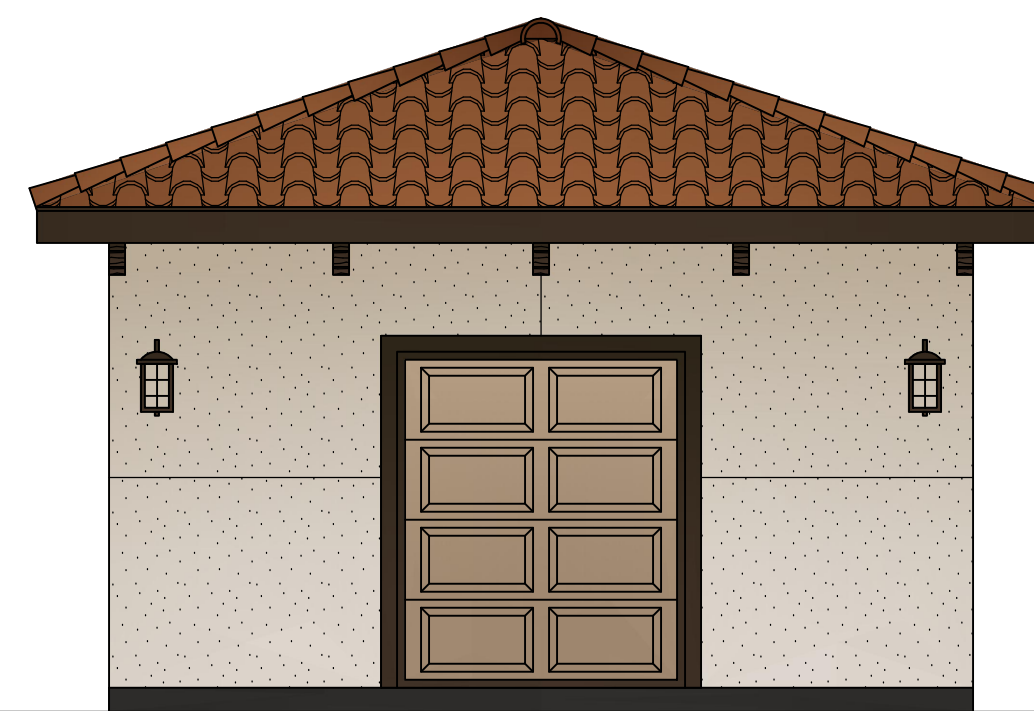
Rear Elevation

SCALE: 1/4" = 1'-0"



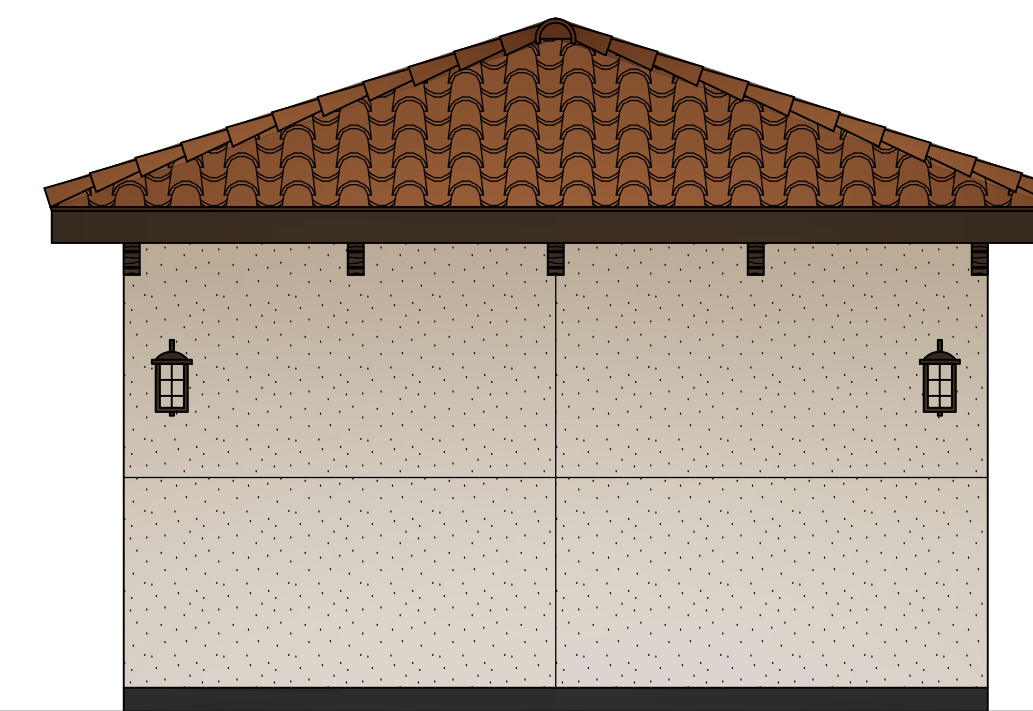
Storage Left Elevation

SCALE: 1/4" = 1'-0"



Storage Front Elevation

SCALE: 1/4" = 1'-0"



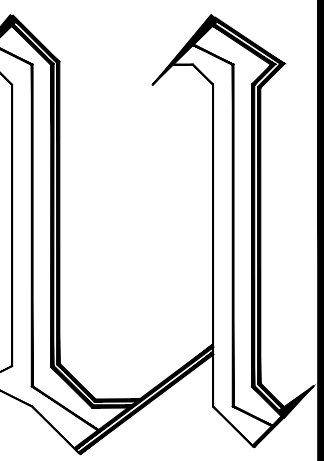
Right Side & Rear Elevation

SCALE: 1/4" = 1'-0"

APPL. NO. P21-06232	EXHIBIT E-2	DATE 08/09/2022
PLANNING REVIEW BY	DATE	
TRAFFIC ENG.	DATE	
APPROVED BY	DATE	
CITY OF FRESNO DARM DEPT		

Community Building & Storage Exterior Elevations

SCALE: 1/4" = 1'-0"



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 Architect Lic. No. C-35319

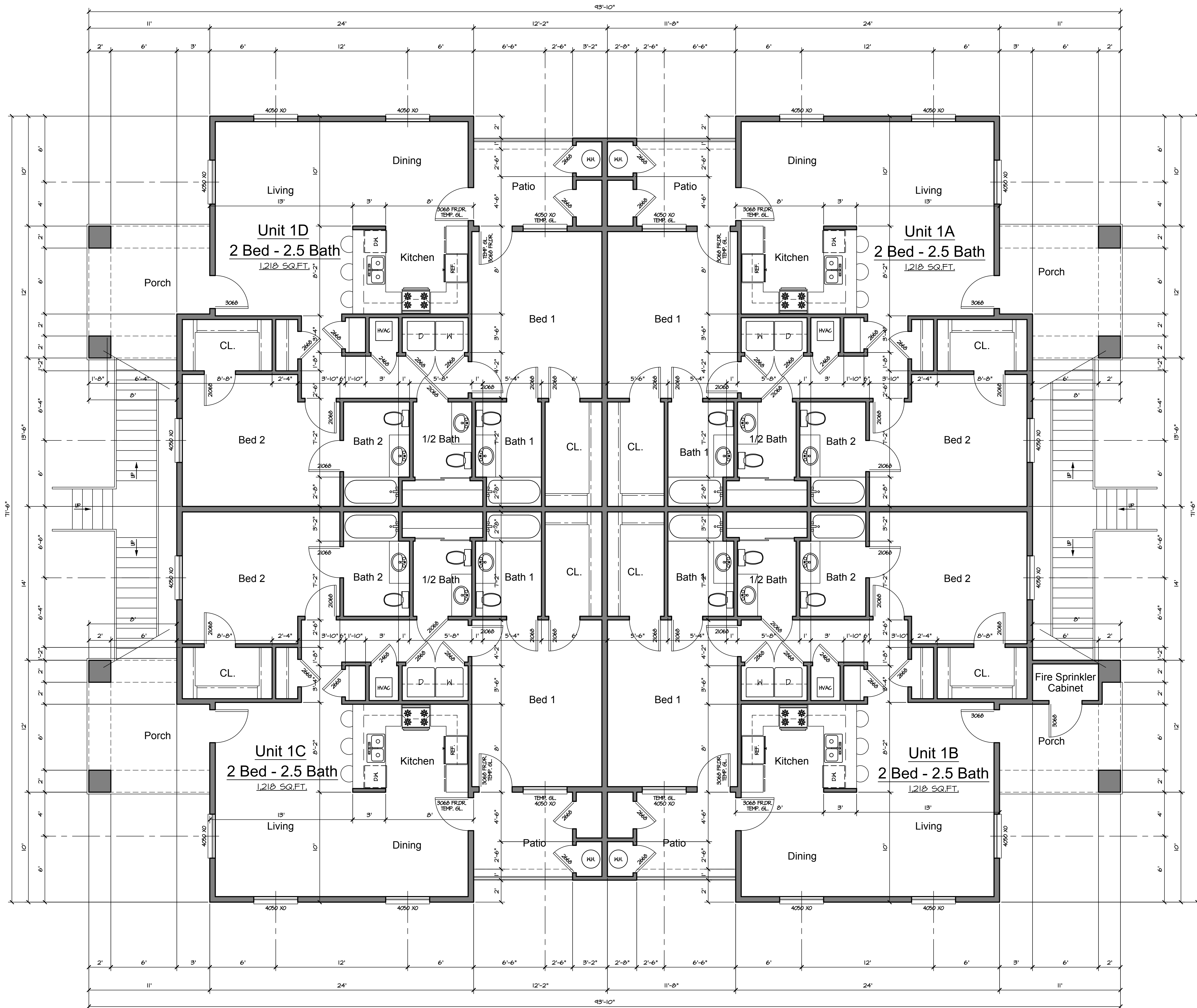


REVISIONS:

OWNER/BUILDER:
FRESNO/NEWBURY LP.
 1554 SHAW AVENUE
 CLOVIS, CA 93611
 Phone: (559) 765-4603
 EMAIL: johnmashley1@yahoo.com

DATE	10/3/2020
SCALE	1/4" = 1'-0"
JOB NO.	FRESNO/NEWBURY LP.
SHEET	

A5.1



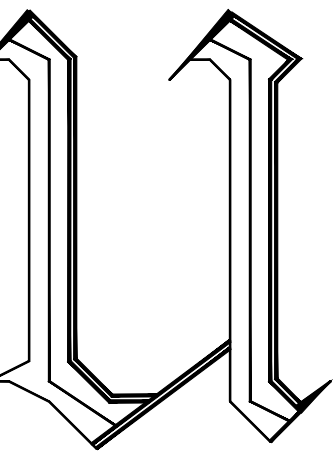
Building Area:

UNIT 1A LIVING SPACE:	1,218 sq. ft.
UNIT 1A PORCH:	120 sq. ft.
UNIT 1A PATIO:	95 sq. ft.
UNIT 1B LIVING SPACE:	1,218 sq. ft.
UNIT 1B PORCH:	120 sq. ft.
UNIT 1B PATIO:	95 sq. ft.
UNIT 1C LIVING SPACE:	1,218 sq. ft.
UNIT 1C PORCH:	120 sq. ft.
UNIT 1C PATIO:	95 sq. ft.
UNIT 2A LIVING SPACE:	1,218 sq. ft.
UNIT 2A PORCH:	120 sq. ft.
UNIT 2A PATIO:	95 sq. ft.
UNIT 2B LIVING SPACE:	1,218 sq. ft.
UNIT 2B PORCH:	120 sq. ft.
UNIT 2B PATIO:	95 sq. ft.
UNIT 2C LIVING SPACE:	1,218 sq. ft.
UNIT 2C PORCH:	120 sq. ft.
UNIT 2C PATIO:	95 sq. ft.
TOTAL LIVING AREA:	4,744 sq. ft.
TOTAL BUILDING AREA:	11,464 sq. ft.

1st Floor Plan

2-UNIT APARTMENT BUILDING

SCALE: 1/4" = 1'-0"



Villa Di Ubaldo
 Architecture, Engineering & Development
 PO BOX 925 Ubaldo Garcia Hernandez Tel. (559) 871-5534
 MADERA, CA 93639 Architect Lic. No. C-35319 Email: villedubaldo@hotmail.com

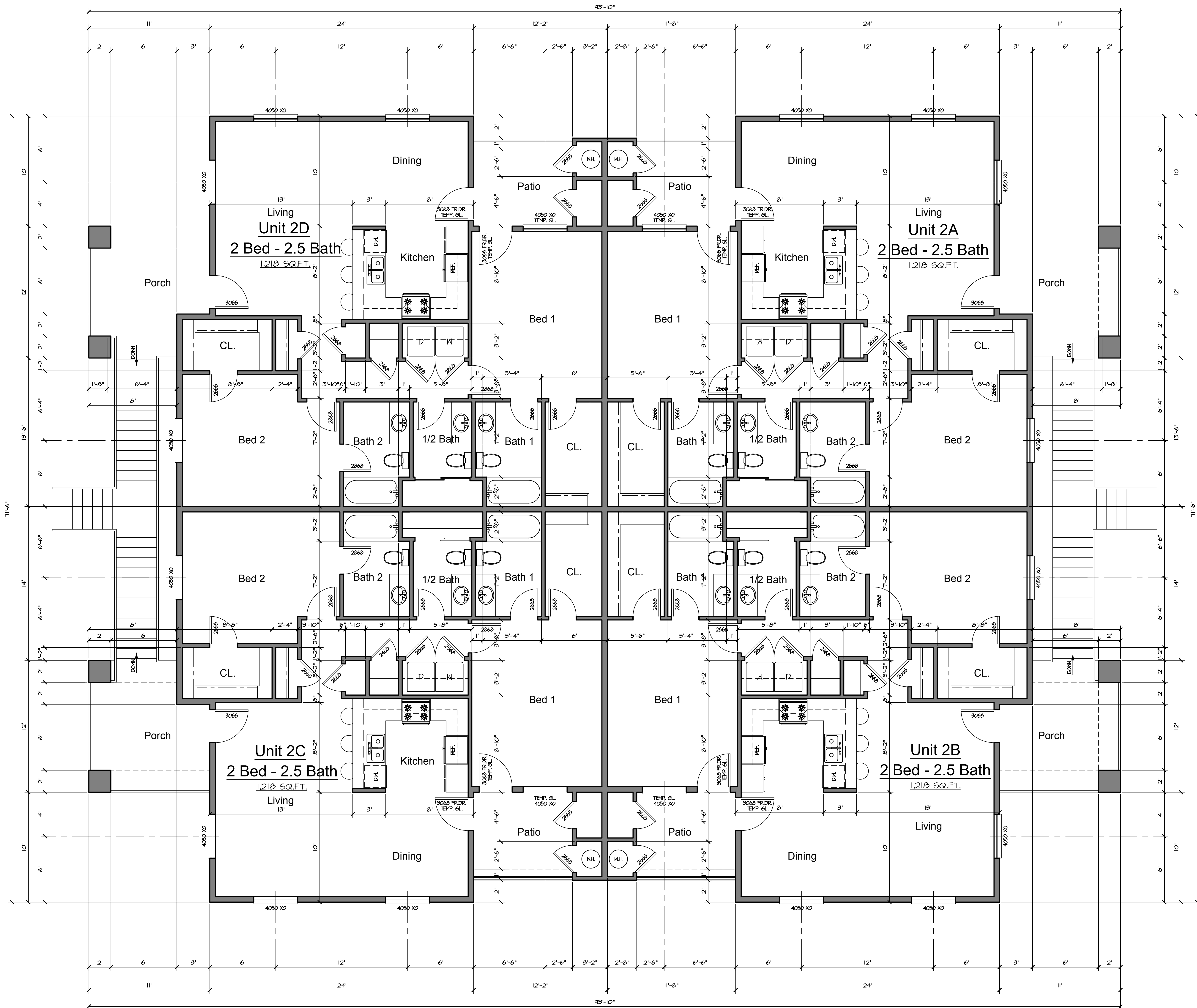


REVISIONS:

OWNER/BUILDER:
FRESNO / NEWBURY LP.
 Phone: (559) 765-4603
 EMAIL: johmashley1@yahoo.com
 1554 SHAW AVENUE
 CLOVIS, CA 93611

DATE: 10/3/2020
 SCALE: 1/4" = 1'-0"
 JOB NO: FRESNO/NEWBURY LP
 SHEET

A3.1



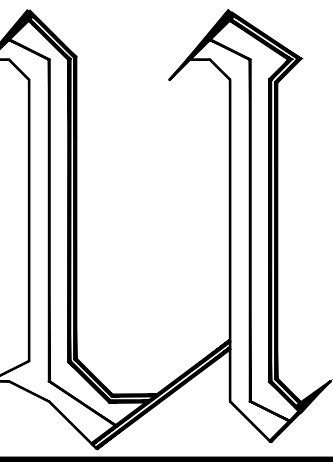
Building Area:

UNIT 1A LIVING SPACE:	1,218 sq. ft.
UNIT 1A PORCH:	120 sq. ft.
UNIT 1A PATIO:	95 sq. ft.
UNIT 1B LIVING SPACE:	1,218 sq. ft.
UNIT 1B PORCH:	120 sq. ft.
UNIT 1B PATIO:	95 sq. ft.
UNIT 1C LIVING SPACE:	1,218 sq. ft.
UNIT 1C PORCH:	120 sq. ft.
UNIT 1C PATIO:	95 sq. ft.
UNIT 2A LIVING SPACE:	1,218 sq. ft.
UNIT 2A PORCH:	120 sq. ft.
UNIT 2A PATIO:	95 sq. ft.
UNIT 2B LIVING SPACE:	1,218 sq. ft.
UNIT 2B PORCH:	120 sq. ft.
UNIT 2B PATIO:	95 sq. ft.
UNIT 2C LIVING SPACE:	1,218 sq. ft.
UNIT 2C PORCH:	120 sq. ft.
UNIT 2C PATIO:	95 sq. ft.
TOTAL LIVING AREA:	4,744 sq. ft.
TOTAL BUILDING AREA:	11,464 sq. ft.

2nd Floor Plan

8-UNIT APARTMENT BUILDING

SCALE: 1/4" = 1'-0"



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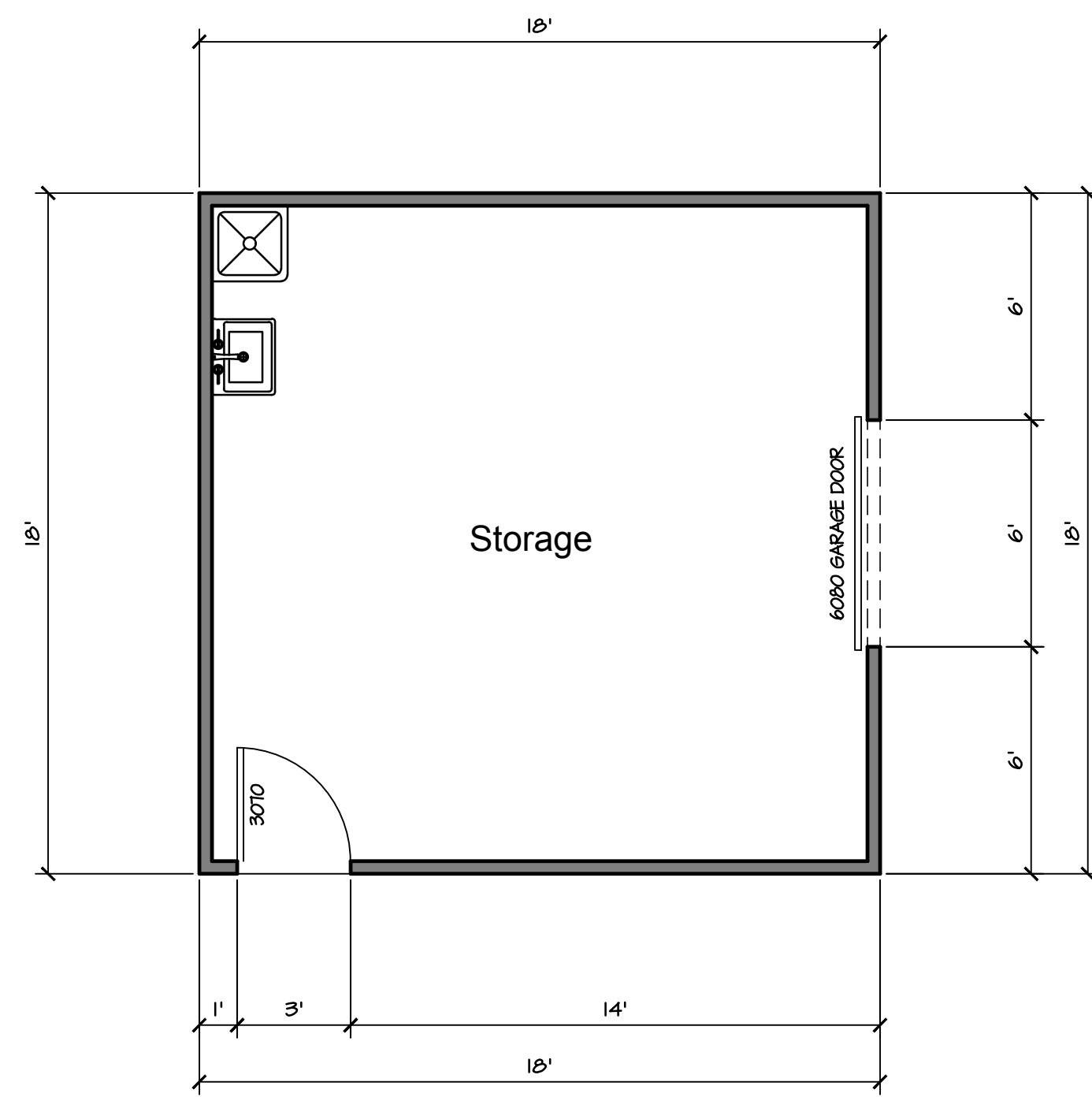
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 EMAIL: johmashley1@yahoo.com

1554 SHAW AVENUE
 CLOVIS, CA 93611

DATE
 10 / 3 / 2020
 SCALE
 1/4" = 1'-0"
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 SHEET

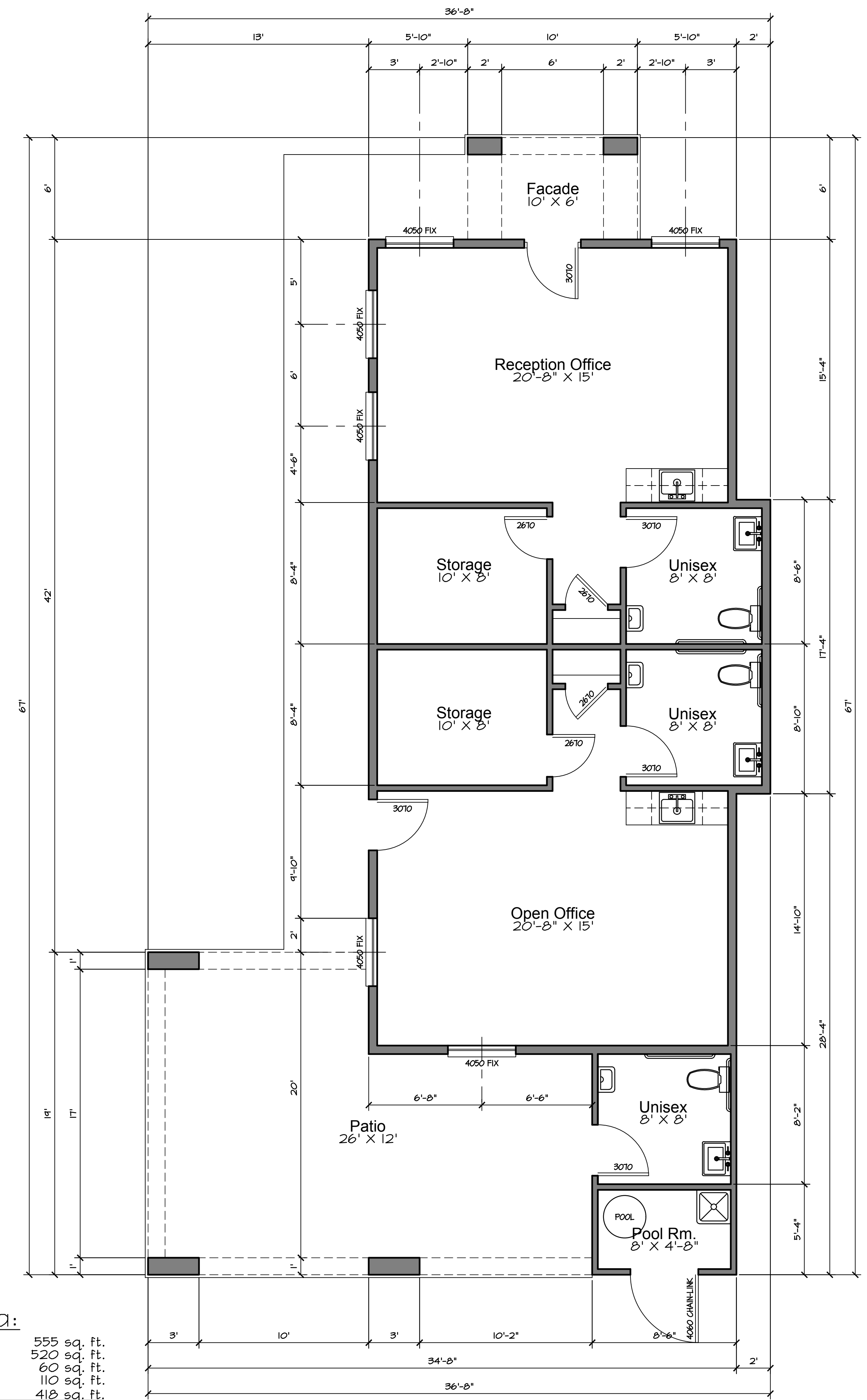
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Storage Floor Plan

TOTAL BUILDING AREA: 324 SQ.FT.

Building Area:	
LEASING OFFICE:	555 sq. ft.
MANAGEMENT OFFICE:	520 sq. ft.
FACADE:	60 sq. ft.
MECH RM & POOL BATH:	110 sq. ft.
PATIO:	418 sq. ft.
TOTAL BUILDING AREA:	1663 sq. ft.

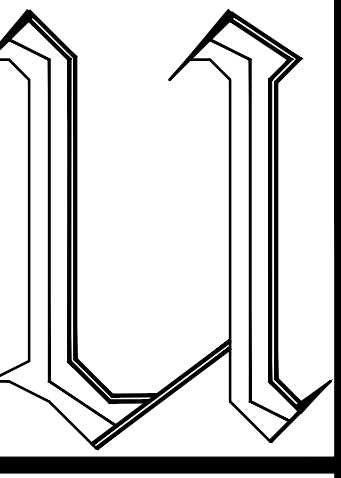


Community Building Floor Plan

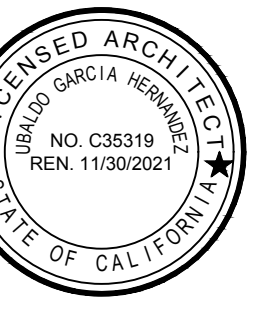
TOTAL BUILDING AREA: 1,628 SQ.FT.

Community Building & Storage Floor Plan

SCALE: 1/4" = 1'-0"



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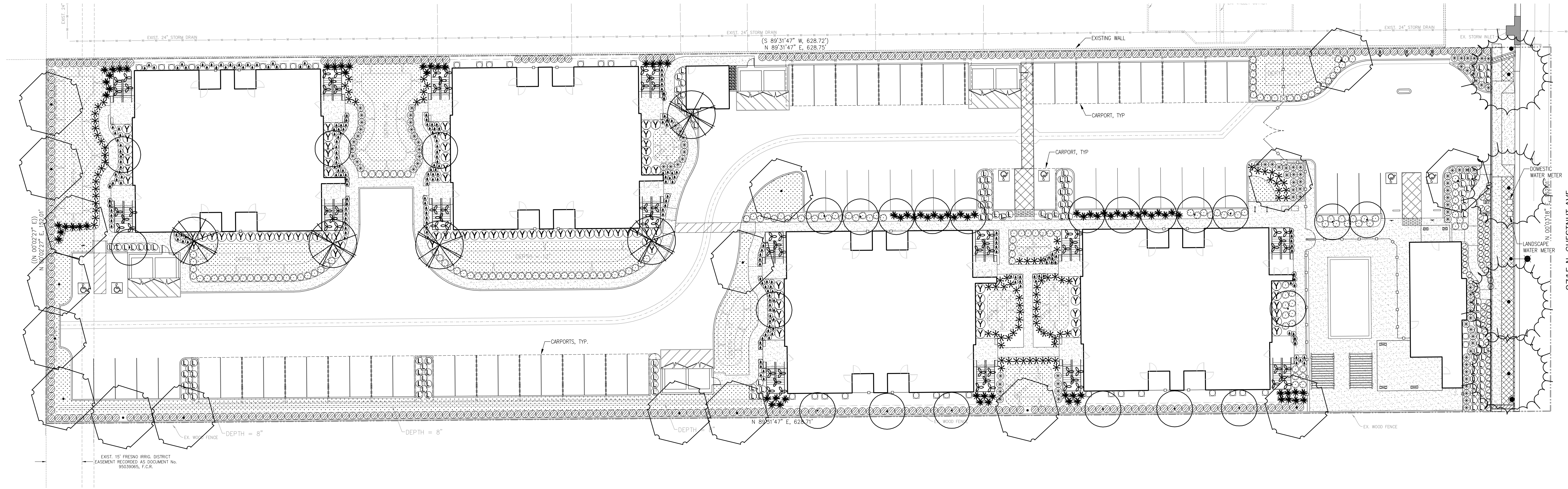
OWNER/BUILDER:
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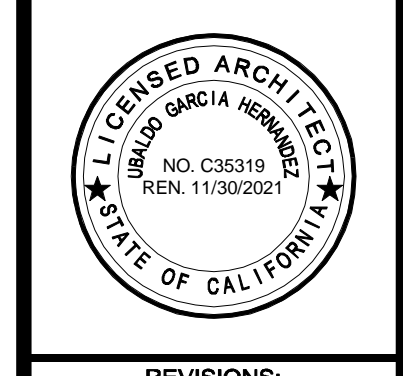
DATE: 10/3/2020
 SCALE: 1/4" = 1'-0"
 JOB NO: FRESNO/NEWBURY LP
 SHEET

A3.3



APPL. NO. P22-01086 EXHIBIT L DATE 03/15/2022
 PLANNING REVIEW BY DATE
 TRAFFIC ENG. DATE
 APPROVED BY DATE
 CITY OF FRESNO DARM DEPT

Villa Di Ubaldo
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REVISIONS:
 (1) 7/19/22 - SPR PC-1 REVISIONS

PLANTING LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	WTR-USE / QTY	SPC
(Symbol)	CERIS 'OKLAHOMA'	OKLAHOMA REDBUD	15 GAL.	MED 24	
(Symbol)	LAURUS NOBILIS	SWEET BAY LAUREL	15 GAL.	LOW 5	
(Symbol)	PISTACHIA CHINENSIS	CHINESE PISTACHE	15 GAL.	LOW 17	
(Symbol)	QUERCUS SUBER	CORK OAK	15 GAL.	LOW 4	
(Symbol)	ASPARAGUS DENSIFLORUS 'MERS'	MER FERN	1 GAL.	MED 79	
(Symbol)	CERATOPHYLLUM HARRINGTONIA 'FLANA'	YEW	5 GAL.	LOW 97	
(Symbol)	LANTANA S. 'MONNA'	WHITE TRAILING LANTANA	1 GAL.	LOW 120	
(Symbol)	LIQULISTRIUM JAPONICA 'TOKANUM'	WAXLEAF PRIVET	5 GAL.	LOW 366	
(Symbol)	LIRIOPE MUSCARI 'VAREGATA'	VARI-GATED LILY TURFGRASS	1 GAL.	MED 228	
(Symbol)	LOMANDRA L. 'PLATINUM BEAUTY'	PLATINUM BEAUTY LOMANDRA	1 GAL.	LOW 81	
(Symbol)	MYOPORUM PARVIFOLIUM	TRAILING MYOPORUM	1 GAL.	LOW 70 @ 3' O.C.	
(Symbol)	OLEA EUROPEA 'MONIKA'	LITTLE OLIVE	5 GAL.	LOW 95	
(Symbol)	PHILA 'KALPA'	KURUPA GROUNDCOVER	PLUG/LINERS	LOW 8,548 SF @ 12" O.C.	
(Symbol)	SALVA L. 'SANTITA BAREBARE'	SANTA BARBARA MEXICAN SAGE	5 GAL.	LOW 161	
(Symbol)	SALVA LUGNOSA	BOG SAGE	5 GAL.	LOW 94	
(Symbol)	TULBACHIA VIOACEA	SOCIETY GARLIC	1 GAL.	LOW 60	
(Symbol)		DECOMPOSED GRANITE, 2 INCH THICK, 31 SF			

SHADE CALCULATIONS

962 SF		707 SF		314 SF	
30FT + DIAM.		20 - 30 FT DIAM.		15 - 20 FT DIAM.	
% OF SHADE	QTY	% OF SHADE	QTY	% OF SHADE	QTY
FULL	17	FULL	5	FULL	17
HALF	0	HALF		HALF	0
QTR	0	QTR		QTR	
TOTAL	17	TOTAL	5	TOTAL	17
PISTACHIA	17	LAURIS	5	CERCIS	24
QUERCUS	4				
TOTAL	21	TOTAL	5	TOTAL	24

Shade Calculations

Parking Lot Area:	31,747 sf
50% Shade Requirement:	15,874 sf
A) Building Shade Area:	7,591 sf
1) Large Trees (30' + Dia.)	
Qty	Tree Area
17 @ 962 =	16,354 sf
0 @ 481 =	- sf
0 @ 241 =	- sf
2) Medium Tree (20'-30' Dia.)	
Qty	Tree Area
5 @ 707 =	3,535 sf
0 @ 354 =	- sf
0 @ 177 =	- sf
3) Small Tree (15'-20' Dia.)	
Qty	Tree Area
17 @ 314 =	5,338 sf
0 @ 157 =	- sf
0 @ 79 =	- sf
Total Shade Tree Qty: 39	25,227 sf : Total Shade Provided

79% of parking lot is shaded MORE than the required 50%

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 EMAIL: johmashley1@yahoo.com

DATE: 03/15/2022
 SCALE: 1" = 20'-0"
 JOB NO: FRESNO/NEWBURY LP.
 SHEET: LP-1

Conceptual Landscape Plan

SCALE: 1" = 20'-0"