

Exhibit K

DEPARTMENT OF PUBLIC WORKS

TO: Mindi Mariboho, Development Services Coordinator
Planning and Development

FROM: Hilary Kimber, Parks Supervisor II (559.621.1345)
Public Works, Street Maintenance Division

DATE: **June 24, 2019** **UPDATED JUNE 1, 2020**

SUBJECT: **Tract 6276**; (APN: 512-021-26 & 50S) located on the northwest corner of N. Grantland Ave. and W. Gettysburg Ave. Alignment. The Department of Public Works has reviewed the Tentative Subdivision Tract Map submitted by Gary G. Gianetta on plans dated January 24, 2020. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street right-of-ways, landscape easements, outlots and median islands:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with FMC 12-306-23, Water Efficient Landscape Standards and AB 1881.

The designated street tree for North Grantland Avenue (Outlot A) is:

To be determined based on the proximity to the 60" sewer main, 14" water main, 48", FID pipeline and overhead utilities. This is a designated trail section and the map shows a 12'/12'/12' pattern (to be verified by Traffic Engineering) with a 26' wide median island.

Section A-A on Loop Road shows a 12'/12'/12' sidewalk pattern with a 14' wide median island.

There is no designated street tree for Loop Rd. at this time.

Outlots B & C may or may not have street tree requirements based on the location of the FID canal and other underground utilities.

2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Public Planting and Utility Easement.
 - a. Street tree inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
 - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."

- c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.
- d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city controlled property is in conformance with the Specifications of the City of Fresno.
- e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.

BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS

- 1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Home Owner's Association.
- 2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to a Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.
 - A. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with AB1881, water efficient landscaping.
 - B. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.
 - C. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the side walk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.
 - D. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.
 - E. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.
 - F. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

MEDIAN ISLAND LANDSCAPE REQUIREMENTS

1. When median islands front onto the proposed development project, applicants shall submit Plans to the Public Works/Engineering Services showing the location and configuration of all median islands fronting the proposed project.
2. The Public Works Department will review and evaluate existing median island(s) for a determination of all required improvements prior to approval of Final Map.
3. Landscape and irrigation is required on all new construction of median islands and shall be applied in accordance with the City of Fresno, Public Works Department Standards & Specifications and FMC sections 12-306-24 and 12-306-23 and AB 1881. The Public Works Department requires all proposed median islands to be constructed with a one foot wide colored concrete strips, flush along curb edge, in a 12 inch by 12 inch brick red slate pattern.
4. Trees shall not be planted in sections which are less than eight (8) feet wide unless approved by the Public Works Department. Sections less than eight (8) feet shall be capped with concrete as an integral part of the off site improvements, whether the median is landscaped or not.

OUTLOTS

1. The Department of Public Works will not be responsible for the maintenance of any outlots if they are not included into the Community Facilities District (CFD). If the outlots are to be included into the CFD, the Department of Public Works will require approved landscape and irrigation plans to be submitted with landscape buffer plans prior to inclusion into the CFD.
2. Outlots which are utilized for water well purposes **will not** be included in the CFD. The Water Division Department in Public Utilities will provide the maintenance of all plant material on the well site.

TRAIL REQUIREMENTS

1. The trail shall be constructed in accordance with the "Master Trails Manual" and the Public Works Department standards. The subdivider is responsible for the trail construction. The subdivider is responsible for all landscape and irrigation improvements for and within the trail. Construction plans shall be submitted and shall include landscaping and automatic drip irrigation design. Trail cross-sections will be required with submittal of Street Plans and Landscaping/Irrigation Plans for review and approval. These plans shall be in compliance with current City standards and approved by the Department of Public Works. Landscaping within the regional/multipurpose trail shall include large, medium and low-growing shrubs planted from 3 to 6 feet apart depending on variety, and trees spaced approximately 25 to 45 feet apart to provide 50% shade coverage onto the planting area and pathway. Landscaping adjacent to walls or fences shall comply with "Landscaped Buffer Development Standards." All planting areas shall be irrigated with an automatic system.

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Scott L. Mozier, P.E.
Public Works Director

October 23, 2020

Chris Lang, Planner II
Planning and Development Department
2600 Fresno Street, 3rd Floor
Fresno, CA 93721

SUBJECT: REVIEW OF THE TRAFFIC IMPACT ANALYSIS (TIA) DATED NOVEMBER 27, 2020 FOR THE PROPOSED PARC WEST DEVELOPMENT LOCATED ON THE NORTHWEST QUADRANT OF GRANTLAND AVENUE AND ASHLAN AVENUE TIS 20-010, P19-00417

PROJECT OVERVIEW

Traffic Operations and Planning staff has reviewed the Traffic Impact Analysis (TIA) prepared by JLB Traffic Engineering, Inc. for the proposed Parc West Development , “project”, which plans to develop up to 722 single-family dwelling units and a 1.819 acre neighborhood park on the northwest quadrant of Grantland Avenue and Ashlan Avenue. The approximately 160 acre site is currently vacant.

The project is proposing to amend the General Plan for approximately 11 acres of the 160 acre site to allow the northwest corner of Grantland Avenue at Ashlan Avenue to be developed with

The TIA evaluated the impacts of the project by analyzing 17 intersections and 12 roadway segments in the vicinity of the project during the AM and PM peak hours. Vehicle trips projected to be generated by the project were calculated using the ITE Trip Generation Manual, 10th Edition. The table below includes the daily (ADT), AM and PM peak hour trips projected to be generated by proposed project as shown in the TIS.

Land Use	Size	ADT	Weekday					
			AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Existing General Plan Designations								
Single Family Detached Housing (ITE Code 210)	678 DU	6,396	125	376	501	423	248	671
Shopping Center (ITE Code 820)	125,780 SF	4,748	73	45	118	230	249	479
Total		11,144	198	421	619	653	497	1,150
Proposed General Plan Designations								
Phase I								

Single Family Detached Housing (ITE Code 210)	84 DU	793	15	47	62	52	31	83
Phase II								
Single Family Detached Housing (ITE Code 210)	381 DU	3,597	71	211	282	238	139	377
Remaining Build-Out Phase								
Single Family Detached Housing (ITE Code 210)	379 DU	3,578	70	210	280	236	139	375
Public Park (ITE Code 411)	1.819 acres	1	0	0	0	0	0	0
Total at Build-Out	844 DU	7,968	156	468	624	526	309	835
Difference		-3,176	-42	47	5	-127	-188	-315

DU = dwelling units SF = square feet

GENERAL COMMENTS and CONDITIONS

1. This project shall pay its Traffic Signal Mitigation Impact (TSMI) Fee per the Master Fee Schedule at the time of building permit.

The TSMI fee facilitates project impact mitigation to the City of Fresno Traffic Signal infrastructure so that costs are applied to each new project/building based on the generated ADT. The TSMI fee is credited against traffic signal installation/modifications and/or Intelligent Transportation System (ITS) improvements (constructed at their ultimate location) that plan to build out the General Plan circulation element and are included in the Nexus Study for the TSMI fee. If the project is conditioned with traffic signal improvements in excess of their TSMI fee amount, the applicant may apply for fee credits (security/bonding and/or developer agreement required) and/or reimbursement for work in excess of their fee as long as the infrastructure is in place at the ultimate location. The applicant should work with the Public Works Department and identify, with a Professional Engineers estimate, the costs associated with the improvements prior to paying the TSMI fee to determine any applicable fee credits and/or reimbursements.

For project specific impacts that are not consistent with the General Plan, Public Works Standards, and/or are not incorporated into the TSMI fees, the infrastructure costs will not be eligible. Failure to pay this fee or construct improvements that are credited/reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence.

Improvements at the following study intersections are included in the TSMI fee program:

- Garfield Avenue at Shaw Avenue
- Grantland Avenue at Barstow Avenue
- Grantland Avenue at Shaw Avenue
- Grantland Avenue at Ashlan Avenue
- Grantland Avenue at Dakota Avenue
- Grantland Avenue at Shields Avenue
- Veterans Boulevard at Gettysburg Avenue

- Veterans Boulevard at Shaw Avenue
 - Bryan Avenue at Shaw Avenue
 - Bryan Avenue at Gettysburg Avenue
 - Bryan Avenue at Ashlan Avenue
 - Hayes Avenue at Shaw Avenue
 - Hayes Avenue at Ashlan Avenue
 - Polk Avenue at Ashlan Avenue
 - Cornelia Avenue at Ashlan Avenue
2. This project shall pay its Fresno Major Street Impact (FMSI) Fee, which will be determined at time of building permit. This FMSI fee is creditable towards major street roadway improvements included in the nexus study for the FMSI fee.
 3. The project shall pay the Regional Transportation Mitigation Fee (RTMF). Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. Provide proof of payment or exemption, based on vesting rights, prior to issuance of building permits.
 4. Effective July 1, 2020 the City's Master Fee Schedule has been revised to show updated fees for Traffic Study review. The proposed project shall pay the \$1,055 Traffic Study review fee for review of the document. Proof of payment shall be provided to the Traffic Operations and Planning Division.
 5. The proposed project shall install a traffic signal with protected left-turn phasing per City of Fresno standards at the intersection of Grantland Avenue and the Loop Road/Indianapolis Avenue alignment prior to the issuance of building permits for 100 homes. This improvement will improve the crossing conditions for students. The traffic signal poles shall be installed in the ultimate location and may require the acquisition of right-of-way. The intersection shall be constructed to include the following configuration:
 - Eastbound – one (1) left-turn lane and one (1) shared through-right turn lane
 - Westbound – one (1) left-turn lane and one (1) shared through-right turn lane
 - Northbound – one (1) left-turn lane, two (2) through lanes and one (1) right-turn lane
 - Southbound – one (1) left-turn lane, two (2) through lanes and one (1) right-turn lane
 - Bike lanes shall be provided in all directions
 6. The proposed project shall install a traffic signal with protected left-turn phasing per City of Fresno standards at the intersection of Grantland Avenue and Ashlan Avenue prior to the issuance of building permits for 200 homes. This improvement will improve the crossing conditions for students. The traffic signal poles shall be installed in the ultimate location and may require the acquisition of right-of-way. The intersection shall be constructed to include the following configuration:
 - Eastbound – one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
 - Westbound – one (1) left-turn lane, one (1) through lane and one (1) right-turn lane

- Northbound – one (1) left-turn lane, two (2) through lanes and one (1) right turn lane
 - Southbound – one (1) left-turn lane, two (2) through lanes and one (1) right turn lane
 - Bike lanes shall be provided in all directions
7. The proposed project shall construct the intersection of Grantland Avenue at Gettysburg Avenue, including the installation a traffic signal with protected left-turn phasing per City of Fresno standards, prior to the issuance of building permits for 450 homes. These improvements will improve the crossing conditions for students. The intersection and the traffic signal poles shall be constructed/installed in the ultimate location and may require the acquisition of right-of-way. The intersection shall be constructed to include the following configuration:
- Eastbound – one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
 - Westbound – one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
 - Northbound – one (1) left-turn lane, two (2) through lanes and one (1) right turn lane
 - Southbound – one (1) left-turn lane, two (2) through lanes and one (1) right turn lane
 - Bike lanes shall be provided in all directions
8. The proposed project shall install a traffic signal with protected left-turn phasing per City of Fresno standards at the intersection of Grantland Avenue and Shields Avenue prior to the issuance of building permits for 650 homes. The traffic signal poles shall be installed in the ultimate location and may require the acquisition of right-of-way. The intersection shall be constructed to include the following configuration:
- Eastbound – one (1) left-turn lane, one (1) through lane and one (1) right turn lane
 - Westbound – one (1) left-turn lane, one (1) through lane and one (1) right turn lane
 - Northbound – one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
 - Southbound – one (1) left-turn lane, one (1) through lane and one (1) right-turn lane
9. The proposed project shall construct the roadway segment of Veterans Boulevard from Gettysburg Avenue to Shaw Avenue prior to the issuance of 650 building permits. The segment shall be constructed to include one (1) 17' travel lane in each direction, shoulders and a median island.
10. The City of Fresno is currently partnering with Caltrans to identify feasible design options to improve operations at the State Route 99 at Shaw Avenue interchange and Polk Avenue at Shaw Avenue area.

11. The proposed project shall make necessary improvements and right-of-way and public easement dedications along adjacent public street(s) and within the site boundaries per City of Fresno standards/requirements.
12. The proposed site plan shall be reviewed and approved by the City of Fresno Traffic Operations and Planning Division, Traffic Planning Section.

If you have any further questions regarding this matter, please contact me at (559) 621-8792 or jill.gormley@fresno.gov .

Sincerely,

Jill Gormley, TE
City Traffic Engineer / Traffic Operations & Planning Manager
Public Works Department, Traffic Operations & Planning Services

C: Copy filed with Traffic Impact Study
Louise Gilio, Traffic Planning Supervisor
Harman Dhaliwal, PE
Andrew Benelli, Assistant Director
Francisco Magos, Engineering Services Manager
Jason Camit, Chief Surveyor
Brian Spaunhurst, Fresno County Planning

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Scott L. Mozier, P.E.
Public Works Director

November 19, 2020

Will Tackett, Supervising Planner
Development and Resources Management Department
2600 Fresno Street, 3rd Floor
Fresno, CA 93721

SUBJECT: REVIEW OF THE TRAFFIC IMPACT ANALYSIS (TIA) DATED DECEMBER 17, 2018 FOR THE PROPOSED TRACT 6212 ON THE WEST SIDE OF GRANTLAND AVENUE BETWEEN THE GETTYSBURG AVENUE ALIGNMENT AND ASHLAN AVENUE
TIS 19-002, P19-00418

PROJECT OVERVIEW

Traffic Operations and Planning staff has reviewed the Traffic Impact Analysis (TIA) prepared by JLB Traffic Engineering, Inc. for the proposed Tract 6212, “project”, which plans to construct 84 single-family dwelling units on the west side of Grantland Avenue between the Gettysburg Avenue alignment and Ashlan Avenue. The project is part of the 160 acre Parc West development. The site is currently vacant.

The TIA evaluated the project by analyzing 17 intersections and 12 roadway segments in the vicinity of the project during the AM and PM peak hours. Vehicle trips projected to be generated by the project were calculated using the ITE Trip Generation Manual, 10th Edition. The table below includes the daily (ADT), AM and PM peak hour trips projected to be generated by the proposed project as shown in the TIA:

Land Use	Size	ADT	Weekday					
			AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Single-Family Detached Housing (ITE Code 210)	84 DU	793	15	47	62	52	31	83

DU = dwelling units

GENERAL COMMENTS and CONDITIONS

1. This project shall pay its Traffic Signal Mitigation Impact (TSMI) Fee per single-family dwelling units, per the Master Fee Schedule at the time of building permit.

The TSMI fee facilitates project impact mitigation to the City of Fresno Traffic Signal infrastructure so that costs are applied to each new project/building based on the

generated ADT. The TSMI fee is credited against traffic signal installation/modifications and/or Intelligent Transportation System (ITS) improvements (constructed at their ultimate location) that plan to build out the General Plan circulation element and are included in the Nexus Study for the TSMI fee. If the project is conditioned with traffic signal improvements in excess of their TSMI fee amount, the applicant may apply for fee credits (security/bonding and/or developer agreement required) and/or reimbursement for work in excess of their fee as long as the infrastructure is in place at the ultimate location. The applicant should work with the Public Works Department and identify, with a Professional Engineers estimate, the costs associated with the improvements prior to paying the TSMI fee to determine any applicable fee credits and/or reimbursements.

For project specific impacts that are not consistent with the General Plan, Public Works Standards, and/or are not incorporated into the TSMI fees, the infrastructure costs will not be eligible. Failure to pay this fee or construct improvements that are credited/reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence.

Improvements at the following study intersections are included in the TSMI fee program:

- Garfield Avenue at Shaw Avenue
- Grantland Avenue at Barstow Avenue
- Grantland Avenue at Shaw Avenue
- Grantland Avenue at Ashlan Avenue
- Grantland Avenue at Dakota Avenue
- Grantland Avenue at Shields Avenue
- Veterans Boulevard at Gettysburg Avenue
- Veterans Boulevard at Shaw Avenue
- Bryan Avenue at Shaw Avenue
- Bryan Avenue at Gettysburg Avenue
- Bryan Avenue at Ashlan Avenue
- Hayes Avenue at Shaw Avenue
- Hayes Avenue at Ashlan Avenue
- Polk Avenue at Ashlan Avenue
- Cornelia Avenue at Ashlan Avenue

2. This project shall pay its Fresno Major Street Impact (FMSI) Fee, which will be determined at time of building permit. This FMSI fee is creditable towards major street roadway improvements included in the nexus study for the FMSI fee.
3. The project shall pay the Regional Transportation Mitigation Fee (RTMF). Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. Provide proof of payment or exemption, based on vesting rights, prior to issuance of building permits.
4. Effective July 1, 2020 the City's Master Fee Schedule has been revised to show updated fees for Traffic Study review. The proposed project shall pay the \$780 Traffic Study review fee for review of the document. Proof of payment shall be provided to the Traffic Operations and Planning Division.

5. The proposed project shall install a traffic signal with protected left-turn phasing per City of Fresno standards at the intersection of Grantland Avenue and the Loop Road/Indianapolis Avenue alignment. This improvement will improve the crossing conditions for students. The traffic signal poles shall be installed in the ultimate location and may require the acquisition of right-of-way. Traffic signal improvements at this intersection are not included in the current TSMI Fee and are not reimbursable. The intersection shall be constructed to include the following configuration:
 - Eastbound – one (1) left-turn lane and one (1) shared through-right turn lane
 - Westbound – one (1) left-turn lane and one (1) shared through-right turn lane
 - Northbound – one (1) left-turn lane, two (2) through lanes and one (1) right-turn lane
 - Southbound – one (1) left-turn lane, two (2) through lanes and one (1) right-turn lane
 - Bike lanes shall be provided in all directions
6. Traffic signal plans shall be submitted and approved prior to processing of the final map.
7. The proposed project shall comply with the traffic conditions of approval for the Parc West Development issued October 23, 2020.
8. The proposed project shall make necessary improvements and right-of-way and public easement dedications along adjacent public street(s) and within the site boundaries per City of Fresno standards/requirements.
9. The proposed site plan shall be reviewed and approved by the City of Fresno Traffic Operations and Planning Division, Traffic Planning Section.

If you have any further questions regarding this matter, please contact me at (559) 621-8792 or jill.gormley@fresno.gov .

Sincerely,

Jill Gormley, TE
City Traffic Engineer / Traffic Operations & Planning Manager
Public Works Department, Traffic Operations & Planning Services

C: Copy filed with Traffic Impact Study
Louise Gilio, Traffic Planning Supervisor
Harman Dhaliwal, PE
Andrew Benelli, Assistant Director
Francisco Magos, Engineering Services Manager
Jason Camit, Chief Surveyor
Brian Spaunhurst, Fresno County Planning



DATE: **November 20, 2020**

TO: Will Tackett, Planning Manager
Planning and Development Department

THROUGH: Andrew Benelli, PE, Assistant Director, City Engineer *agb*
Public Works Department, Traffic Engineering Operations and Planning Division

FROM: Louise Gilio, Traffic Planning Supervisor
Public Works Department, Traffic Engineering Operations and Planning Division

SUBJECT: Public Works Conditions of Approval for **T-6212 / P19-00418** an **84-lot** single family subdivision at 4445 North Grantland Avenue (Granville Homes / Giannetta)

The Public Works Department, Traffic Engineering Operations and Planning Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

Attention Planner: Applicant to provide the following information prior to submitting the Final Map.
This can result in additional conditions of approval.

1. A General Plan Amendment is required to establish this configuration.
2. Provide a dimension on the eastern property line.
3. Verify the net and gross areas. This map and previous versions have changed but the lots have not. A trail has been added to the Loop Road but the lot configuration on the new map has not changed. Verify horizontal control.
4. Identify FID easement on the plan. Will it affect this map?
5. Loop Road: Obtain a street name.
 - Show a 26' BPLE outside of the street right of way.
 - Match T-6212, T-6276 and GPA cross sections.
 - Revise to show 36' from center line to right of way.
6. Loop Road at Grantland:
 - Widen to provide for a right turn lane and bus bay at Grantland.
7. Loop Road at North "A" Avenue:
 - Identify all 4 returns
 - install a barricade at the back of the western return
8. Grantland at the Loop Road: Identify bus bay and right turn lane.
9. Outlots B and C: This open space is not eligible for Park Impact Fee credits.
10. North "A" Avenue: Provide a cross section that meets Public Works minimum standards.
11. Local Streets: Revise the cross sections to provide a minimum of **7'** from flow line to back of walk, where sidewalk **and** utilities are to be constructed.

12. Grantland Avenue cross section:
 - Identify the trail with a **26'** Bike, Pedestrian and Landscape Easement (**BPLE**).
 - Identify r/w and delete PL.
 - Provide reference to Public Works Standards.
 - Delete reference to "sidewalk".
13. Identify a temporary onsite storm water basin per Public Works Standard **P-97** for review and approval from Public Works.

General Conditions:

1. Street Dedications: Provide corner cut dedications at all intersections for accessibility ramps.
2. Right of way: All right-of-way "outside" of the subdivision border shall either be acquired **prior** to recordation of Final Map, or a deposit equal to the value of the right-of-way and an estimate of the City staff time necessary to acquire the right-of-way shall be submitted **prior** to recordation of the Final Map.
3. Local to Collector Street Intersections: The intersection of two local continuous streets shall have a minimum of **160'** offset measured from center line to center line.
4. Traffic Calming: Traffic calming shall be provided for local street lengths exceeding **800'** and four way intersections. Design to be approved on the street plans.
5. Outlots: If the subdivider seeks to dedicate to the City, in fee, an outlot for open space purposes, subdivider shall prove to the City that the outlot is free of toxic or hazardous materials pursuant to the requirements of *City Administrative Order 8-1*, including, but not limited to, performing a Phase I Soils Investigation. The soils Investigation report shall be submitted to the Public Works Department for review and approval. The subdivider must obtain Public Works approval of the soils investigation report and complete any mitigation work identified by the soils investigation **prior** to subdivider's submittal of the Final Map to the Public Works Department. Any and all costs associated of the soils investigation and any required mitigation work shall be performed at the sole expense of the subdivider.
6. Encroachment Covenants: The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment covenant is approved by the City of Fresno Public Works Department, Engineering Services Division, **(559) 621-8681**. Encroachment covenants must be approved prior to issuance of building permits.
7. Street widening and transitions shall also include utility relocations and necessary dedications.
8. Overhead Utilities: Underground all existing offsite overhead utilities with the limits of this map in accordance with *Fresno Municipal Code Section 15-4114*.
9. Irrigation /Canal Requirements: The developer shall enter into an agreement with the Fresno Irrigation District (FID) providing for piping the canal(s) and submit an executed copy of the agreement or commitment letter from FID to the Public Works Department. All piping shall be located outside of the proposed street right of way. Any piping across city streets shall be rubber gasketed reinforced concrete pipe (RGRCP) constructed perpendicular to the street. Submit engineered plans to Public Works

Department, Engineering Services Division for review and approval. Identify the proposed easement and provide a final cross sectional detail on the map.

10. When permanent facilities are not available from the Fresno Metropolitan Flood Control District, the applicant shall identify a temporary onsite storm water basin per Public Works Standard **P-97** for review and approval from Public Works.
11. Plan Submittal: Submit the following plans, as applicable, in a single package, to the Public Works Department for review and approval: Street: construction, signing, striping, traffic signal and streetlight and Trail: construction, grading, lighting, striping, signing, landscape and irrigation.
12. Backing onto a major street: Backing onto a major street is prohibited.
13. The first order of work shall include a minimum of two points of vehicular access to the major streets for **any** phase of this development.
14. Intersection Visibility: Maintain visibility at all intersections as described in the *Fresno Municipal Code Section 15-2018*.

Frontage Improvement Requirements:

Public Streets:

Grantland Avenue: Super Arterial

1. Dedication Requirements:
 - a. Dedicate **67'-74'** of property, from center line, for public street purposes, **within the limits of this application**, per Public Works Standard **P-51**, **P-69** and **P-70**. Center line shall be established per Official Plan Line, book 8 / page 34.
 - b. Dedicate a **26'** (minimum) easement for Bike, Pedestrian and Landscape (BPLE) purposes **only**. (Additional right of way may be required for grading and drainage purposes.) Reference Public Works Standard **P-60**.
 - c. Relinquish direct access rights to Grantland Avenue from all lots within this subdivision.
2. Construction Requirements:
 - a. Construct concrete curb and gutter to Public Works Standard **P-5** and **P-52**. The curb shall be constructed to a **10'** pattern.
 - b. Construct a **12'** wide Bike and Pedestrian **Class I Trail**, complete with lighting, signing, striping and landscaping, per the *Fresno General Plan, the Public Works Standards P-58, P-60, P-61 and the Caltrans Highway Design Manual*. Identify route on the map plan complete with a cross section. Construct an expressway barrier fence within the limits of the application, per Public Works Standards **P-74 and P-75**, as applicable.
 - c. Construct **20'** of permanent paving within the limits of this subdivision.
 - d. Construct a **20'** wide Emergency Vehicle Access per Public Works Standard **P-67**.
 - e. Construct standard curb ramps per Public Works Standards.
 - f. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this subdivision. Spacing and design shall conform to Public Works Standard **E-7** for Arterial Streets.

Loop Road: modified 2-lane Collector w/median (GPA required) South side

1. Dedication Requirements:
 - a. Dedicate **36'- 44'** of property, from center line, for public street purposes, within the limits of this application, per modified Public Works Standards **P-54, P-69** and **P-70**.
 - b. Dedicate a **26'** (minimum) easement for Bike, Pedestrian and Landscape (BPLE) purposes **only**. (Additional right of way may be required for grading and drainage purposes.)
2. Construction Requirements:
 - a. Construct **19'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - b. Construct (2) standard curb returns with ramps at the entrance, per Public Works Standard **P-28**.
 - c. Construct concrete curb and gutter to *Public Works Standard P-5*. The curb shall be constructed to a **10'** pattern.
 - d. Construct a **12'** wide Bike and Pedestrian Class I Trail, complete with lighting, signing, striping and landscaping, per the *Fresno General Plan, Multi-Purpose Trails Plan Map, Public Works Standards P-58, P-60, P-61* and *Chapter 1000 of the Caltrans Highway Design Manual*. Identify route on the site plan complete with a cross section.
 - e. Construct an underground street lighting system to Public Works Standard **E-2** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-9** for Locals.

Interior Streets:

1. Entry Street: Dedicate **66'** of property for street right of way and provide a cross section on the map to meet Public Works minimum standards.
2. **47.2' Interior Streets:** Local Street with parking on both sides: The proposed cross section is not part of the Public Works Standards. Dedicate **49'** for public street purposes. Revise the cross section to provide a minimum of **7'** from the flow line to the back of easement to accommodate sidewalks with utilities.
3. All streets and pedestrian ways shall connect to other streets and pedestrian ways to form a continuous vehicular and pedestrian network with connections within the subdivision and to adjacent development. Pedestrian paths of travel must meet current accessibility regulations. Sidewalks are recommended on both sides of the street. Identify ramps within the proposed subdivision wherever sidewalks are provided.
4. Provide a **10'** visibility triangle at all driveways.
5. Dead-end Streets:
 - Any temporary dead-end streets created by this subdivision shall be properly barricaded in accordance with the Public Works Standard **P-100**.
 - Provide a temporary cul-de-sac with a **40'** minimum radius near lot **33**.
6. Emergency Vehicle Access is required: Dedicate a pedestrian easement to provide accessibility behind the ramp and construct a concrete Emergency Vehicle Access (EVA) per Public Works Standard **P-67**.

Specific Mitigation Requirements:

- **Within the subdivision border-**

1. Relinquish direct vehicular access to **lot 10**.

- **Inside and Outside the subdivision border-**

Comply with the mitigation measure requirements of the Traffic Operations and Planning Manager in the Development Departments FASTER System. Reference **TIS 20-010**.

1. Grantland at the Loop Road:
 - a. Major Street non-reimbursable.
 - b. Dedicate the entire intersection, complete with ramps, right turn lanes and bus bays, if not existing.
 - c. Construct all four curb returns at the ultimate location.
 - d. Provide north-bound and south-bound left turn lanes.
 - e. Design with a full median opening to allow for left turns-in and left turns-out.
2. Loop Road:
 - a. Major Street non-reimbursable.
 - b. Provide a barricade at the west end of the intersection of the Loop Road and North "A" Avenue.

- **Outside the subdivision border-**

1. Loop Road: North side
 - a. Construct concrete curb, gutter and a **6'** sidewalk to *Public Works Standard P-5 and P-53*. The curb shall be constructed to a **12'** residential pattern (**5.5' – 6' - .5'**). Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, Section 26-2.11(C).
 - b. Construct (2) standard curb ramps per Public Works Standard **P-28** at North "A" Avenue.
 - c. Dedicate and construct a bus bay at the northwest corner of the Loop Road and Grantland.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay the current Traffic Signal Mitigation Impact Fee (TSMI Fee) at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual for **84 single family units** (fee rate as shown in the Master Fee Schedule). In some cases, traffic signals may be conditioned on multiple maps. If the signal is existing at the time of the final map, the applicant would be not be required to construct the signal but would be required to pay the applicable fee.

Fresno Major Street Impact (FMSI) Fee : This Map is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees. In some cases, center section improvements or bridges may be conditioned on multiple maps. If the improvements are

existing at the time of the final map, the applicant would be not be required to construct them, but would be required to pay the applicable fee.

Fresno Major Street Impact (FMSI) Requirements:

Grantland Avenue: Arterial (New Growth Area / Regional Street)

1. Where missing, dedicate and construct (3) 12' southbound travel lanes and a 5' shoulder center section travel lanes and a raised concrete median island within the limits of this subdivision. Construct a raised concrete median with 250' left turn pockets at all major intersections. Details of said street and right of way shall be depicted on the approved final tract map and street plans. If not existing, an additional 8' dedication is required beyond the edge of pavement. Dedication shall be sufficient to accommodate arterial standard and any other grading or transitions as necessary based on a **55** MPH design speed.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to certificate of occupancy.



**DEPARTMENT OF PUBLIC UTILITIES
MEMORANDUM**

DATE: November 20, 2020

TO: CHRIS LANG – Planner III
Planning & Development Dept/Current Planning

FROM: KEVIN GRAY, Supervising Engineering Technician
Department of Public Utilities – Utilities Planning & Engineering

THRU: ROBERT A. DIAZ, Supervising Engineering Technician
Department of Public Utilities – Utilities Planning & Engineering

SUBJECT: DPU CONDITIONS OF APPROVAL P19-00418 TRACT 6212

Water Requirements

City of Fresno Water Division approves of the proposed project, subject to the following water conditions listed below:

1. Install a 16-inch water main (including installation of City fire hydrants) in Loop Road from the existing 14-inch water main located in North Grantland Avenue, west across the project frontage.
2. Water mains (including installation of City fire hydrants) shall be extended within the proposed tract to provide service to each lot.
3. Installation of water service(s) & meter box(es) shall be required.
4. Construct a water supply well(s) on a site(s) dedicated to the City of Fresno. The well(s) shall be capable of producing a total of 1,875 gallons per minute. Well sites shall be of a size and at a location acceptable to the Water Systems Manager. The cost of acquiring the well site(s) and construction of the well(s) shall be reimbursed from the UGM Water Supply Well Service Area Fund 301s, in accordance with established UGM policies.
5. Water well construction shall include wellhead treatment facilities, if required. The cost for constructing wellhead treatment facilities shall be reimbursed from UGM Wellhead Treatment Service Area Fund 301s, in accordance with established UGM policies.
6. Destruct any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-81 and 74-90 or current revisions issued by California Department of Water Resources and City of Fresno standards.

MEMORANDUM

CHRIS LANG – Planner III

Planning & Development Dept/Current Planning

November 20, 2020

DPU CONDITIONS OF APPROVAL FOR P19-00418 TRACT 6212

Page 2 of 4

7. Two independent sources of water, meeting Federal and State Drinking Water Act Standards, are required to serve the tract including any subsequent phases thereof. The two-source requirement may be accomplished through any combination of water main extensions, construction of supply wells, or other acceptable sources of water supply approved by the Assistant Public Utilities Director.
8. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed addition and/or modification to the City Water System. Depict neighboring parcels and proposed plans for their continued service.
9. All Public water facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.
10. The water supply requirements for this project are as follows:
11. The project applicant shall be required to pay Water Capacity Fee charges for the installation of new water services and meters to serve the property.
 - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
 - b. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule.
 - c. The City reserves the right to require an applicant to increase or decrease the size of a water meter for a project or a property to ensure that the meter is properly sized to accommodate fire protection requirements, and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
 - d. The Water Capacity Fee Charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
12. The project applicant shall be required to pay all other water-related fees and charges in accordance with the City's Master Fee Schedule and Municipal Code

MEMORANDUM

CHRIS LANG – Planner III

Planning & Development Dept/Current Planning

November 20, 2020

DPU CONDITIONS OF APPROVAL FOR P19-00418 TRACT 6212

Page 3 of 4

Sewer Requirements

The nearest sanitary sewer main to serve the proposed project is a 60-inch sewer trunk located in North Grantland Avenue. Sanitary sewer facilities are available to provide service to the site subject to the following requirements:

1. Construct a 10-inch sanitary sewer main (including sewer house branches to adjacent properties) in East “Loop Road” from the existing 60-inch trunk located North Grantland Avenue to the west property line of said project.
2. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
3. All underground utilities shall be installed prior to permanent street paving.
4. All sanitary sewer mains shall be extended within the proposed tract to provide service to each lot.
5. A Preliminary sewer design layout shall be prepared by the Developer’s Engineer and submitted to the Department of Public Utilities for review and conceptual approvals prior to submittal or acceptance of the developers final map and engineered plan & profile improvement drawing for City review.
6. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed additions to the City Sewer System.
7. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.
8. Installation of sewer house branch(s) shall be required.
9. Separate sewer house branches are required for each lot.
10. Sanitary sewer connection to the existing Rehabbed 60-inch sewer trunk shall be required to be constructed by machine coring and epoxy coating the area of the 36-inch Trunk.
11. Connection to the existing 60-inch sewer trunk in S. Grantland Avenue shall be oversized sewer manhole connection per Public Works Standards S-4.
12. All sewer main easements shall be clear and unobstructed by buildings or other structures. No fencing or wall shall either enclose or be located above the sewer main. The planting plan, for any proposed landscape within the easement, shall be approved by the Department of Public Utilities. No Trees shall be located within 8

MEMORANDUM

CHRIS LANG – Planner III

Planning & Development Dept/Current Planning

November 20, 2020

DPU CONDITIONS OF APPROVAL FOR P19-00418 TRACT 6212

Page 4 of 4

feet of the sewer main.

13. Future sewer easement may be required pending on alignment of final map in reference to existing 60-in sewer trunk. Proposed easement will be decided during the plan check process.
14. In the event City damages any street, sidewalk, landscaping or other improvements in exercising reasonable care, use and enjoyment of the Sewer Main Easement, City shall not be obligated to restore any street, sidewalk, landscaping or other improvements so damaged. City shall have the right, without notice and at the property owner's expense, to remove from the Sewer Main Easement any building, fence, tree, or other encroachment not approved by City's Director of Public Utilities.
15. The Sewer Main Easement shall be maintained by the property owner free of any surface obstructions, except for those that may be approved by City's Director of Public Utilities, so that City may have vehicular access to and through the Sewer Main Easement at all times.
16. Street work permit is required for any work in the Right-of-Way.
17. On-site sanitary sewer facilities shall be private.
18. Abandon any existing on-site private septic systems.

Sanitary Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Sewer Lateral Charge.
2. Sewer Oversize Area #39.
3. Wastewater Facilities Charge (Residential Only)
4. Trunk Sewer Charge: Grantland

Solid Waste Requirements

- Tract Map #6212 will be serviced as Single Family Residential properties with Basic Container Service. Property owners will receive 3 containers to be used as follows: 1 Gray container for solid waste, 1 Green container for green waste and 1 Blue container for recyclable material.

DPU Solid Waste

February 25, 2019

Kevin Gray

Comments:

Solid Waste Requirements

Tract 6276 will be serviced as Single Family Residential properties with Basic Container Service. Property owners will receive 3 containers to be used as follows: 1 Gray container for solid waste, 1 Green container for green waste and 1 Blue container for recyclable material.

Fresno Fire Department

February 19, 2019

Byron Beagles

Comments:

1. This tract is within 3.0 miles of permanent fire station 18 currently under construction at 6605 W. Shaw Ave and is currently also within 3 miles of temporary FS 18.
2. Each lot is subject to the city wide Fire Service Impact Fee.
3. Provide public fire hydrants with two sources of water per Public Utilities and FFD Standards.
4. Fire hydrants shall be in service and all-weather access with two points of connection to public streets shall be provided before delivery of combustible material to the jobsite.
5. If this tract is proposed to start construction before the adjacent "Loop Road" is completed to a second point of access, a temporary EVA will be needed to access N. Grantland from North "D" Ave. The EVA needs to be located at least 150 feet north of the loop road. This EVA could also be utilized to access the existing 14" public water main in N. Grantland Ave for a permanent or temporary second source of water. A connection to West "G" Avenue through Outlot A would be acceptable.
6. The east side of North "D" Avenue and the north side of West Avenue "E" must have east curbs painted red or posted with no stopping any time/tow-away signs per Public Works standards. The curbs on the opposite side of the median entry street also need to be marked in a similar manner. Proposed interior streets with the exception of "D" and "E" are proposed with wedged curbs and a street width of 35 feet and parking on both sides is acceptable.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

File No. 210.45

Page 1 of 5

PUBLIC AGENCY

WILL TACKETT
DEVELOPMENT SERVICES/PLANNING
CITY OF FRESNO
2600 FRESNO STREET, ROOM 3043
FRESNO, CA 93721-3604

DEVELOPER

JEFF ROBERTS, ASSEMI GROUP, INC.
1396 W. HERNDON AVE.
FRESNO, CA 93711

PROJECT NO: **6212**

ADDRESS: **4445 N. GRANTLAND AVE.**

APN: **512-021-26**

SENT: *2/20/19*

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)
CD	\$176,225.00	NOR Review	\$749.00 To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$2,092.00 Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review	For amount of fee, refer to www.fresnofloodcontrol.org for form to fill out and submit with first storm drain plan submittal (blank copy attached).
Total Drainage Fee: \$176,225.00		Total Service Charge: \$2,841.00	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/19 based on the site plan submitted to the District on 2/05/19 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

FR TRACT No. 6212

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Page 2 of 5

Approval of this development shall be conditioned upon compliance with these District Requirements.

1. a. Drainage from the site shall
 b. Grading and drainage patterns shall be as identified on Exhibit No. 1
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
 Developer shall construct facilities as shown on Exhibit No. 1 as MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER.
 None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
 Grading Plan
 Street Plan
 Storm Drain Plan
 Water & Sewer Plan
 Final Map
 Drainage Report (to be submitted with tentative map)
 Other
 None Required

4. Availability of drainage facilities:
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
 d. See Exhibit No. 2.

5. The proposed development:
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
 Does not appear to be located within a flood prone area.

6. The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

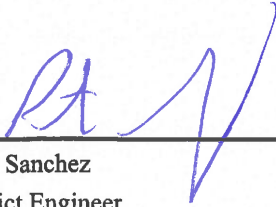
FR TRACT No. 6212

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Page 3 of 5

FR
TRACT
No. 6212

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.


Peter Sanchez
District Engineer


Rick Lyons
Project Engineer

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 4 of 5

CC:

GVM INVESTMENTS LLC

1396 W. HERNDON, #101

FRESNO, CA 93711

FR TRACT No. 6212

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees in the amount identified below for Storm Drain Review. The fee shall be paid to the District by Developer with first plan submittal. Checks shall be made out to Fresno Metropolitan Flood Control District.

Application No. FR TRACT 6212

Name / Business JEFF ROBERTS, ASSEMI GROUP, INC.

Project Address 4445 N. GRANTLAND AVE.

Project APN(s) 512-021-26

Project Acres (gross) 17.43

Please fill in the table below of proposed storm drain facilities to be constructed with this development and return completed form with first plan submittal. If you have any questions or concerns regarding the construction of facilities list, you can contact the Fresno Metropolitan Flood Control District at 559-456-3292.

Table with 5 columns: Description, Qty, Unit, Price, Amount

Estimated Construction Cost

Fee equals lesser of

\$375.00 plus 3% of the estimated construction costs Total (\$300.00 gross per acre) \$5,229.00

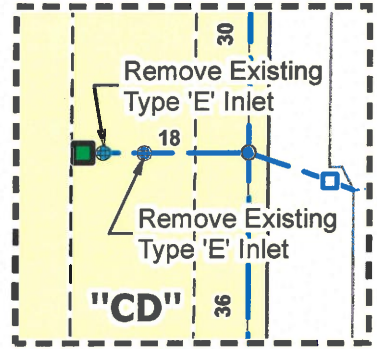
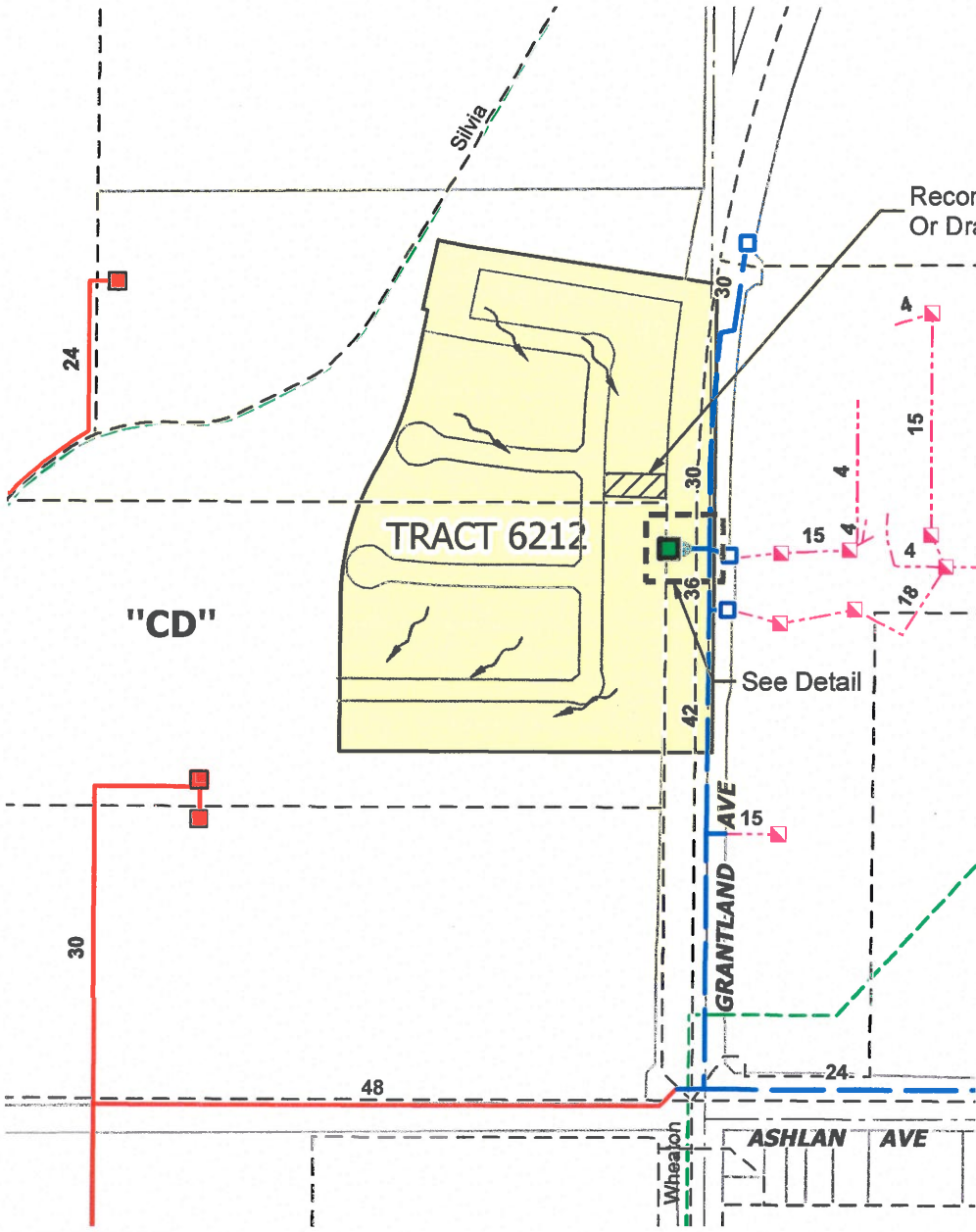
Amount Due

Storm Drain Facilities Cost Sheet

- 15" Concrete Pipes \$72.00 LF
18" Concrete Pipes \$76.00 LF
24" Concrete Pipes \$85.00 LF
30" Concrete Pipes \$101.00 LF
36" Concrete Pipes \$120.00 LF
42" Concrete Pipes \$139.00 LF
48" Concrete Pipes \$163.00 LF
54" Concrete Pipes \$198.00 LF
60" Concrete Pipes \$233.00 LF
66" Concrete Pipes \$275.00 LF
72" Concrete Pipes \$317.00 LF
84" Concrete Pipes \$354.00 LF
96" Concrete Pipes \$384.00 LF
15" Jacked Pipes \$555.00 LF
18" Jacked Pipes \$608.00 LF
24" Jacked Pipes \$687.00 LF
30" Jacked Pipes \$766.00 LF
36" Jacked Pipes \$846.00 LF
42" Jacked Pipes \$898.00 LF
48" Jacked Pipes \$951.00 LF
54" Jacked Pipes \$1,031.00 LF
60" Jacked Pipes \$1,110.00 LF
66" Jacked Pipes \$1,216.00 LF
72" Jacked Pipes \$1,374.00 LF
84" Jacked Pipes \$1,533.00 LF
Manholes \$4,000.00 EA
Inlets & Laterals \$4,450.00 EA
Outfalls \$11,000.00 EA
Canal Outfalls \$15,000.00 EA
Basin Excavation \$0.75 CY
IMPROVEMENTS ADJACENT TO BASIN
Fence, Pad, and Gate \$20.00 LF
Mowstrip \$18.00 LF
Arterial Paving \$74.00 LF
Local Paving \$48.00 LF
Curb and Gutter \$25.00 LF
Sidewalk \$50.00 LF
Sewer Line \$21.00 LF
Water Line \$24.00 LF
Street Lights \$65.00 LF
Pump Station/Intake \$400,000.00 EA

FR TRACT No. 6212

NOTE: THIS MAP IS SCHEMATIC. DISTANCES, AMOUNT OF CREDITABLE FACILITIES, AND LOCATION OF INLET BOUNDARIES ARE APPROXIMATE.



N
1" = 100'
DETAIL

LEGEND

- Creditable Facilities (Master Plan Facilities To Be Constructed By Developer) - Pipeline (Size Shown) & Inlet
- Existing Master Plan Facilities
- Future Master Plan Facilities
- Private Facilities
- Existing FID Facilities
- Inlet Boundary
- Direction Of Drainage

N
1" = 400'

TRACT 6212
DRAINAGE AREA "CD"

EXHIBIT NO. 1
FRESNO METROPOLITAN FLOOD CONTROL DISTRICT



OTHER REQUIREMENTS
EXHIBIT NO. 2

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

The District recommends a stub street or drainage channel from Tract 6212 to Grantland Avenue as shown on Exhibit No. 1. This is necessary to provide surface drainage from the north area of Tract 6212 to the Master Plan inlet in Grantland Avenue. If the stub street or drainage channel is not constructed, then the developer will be responsible for extending a Non-Master Plan storm drain pipeline and inlet (not eligible for fee credit) to pickup surface drainage from the north area of Tract 6212.

Lot coverage must be provided to the District prior to submittal of improvement plans. The final drainage fee will be calculated commensurate with the lot coverage provided by the developer. If the lot coverage indicates a density higher than Master Planned, mitigation may be required. The lot coverage calculated by the District includes the front yard walkway, sidewalk walkway and the rear yard patio equaling an additional 6% of impervious area in addition to the City's typical lot coverage calculation.

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.

Development No. Tract 6212

County Health

February 11, 2019

County of Fresno Department of Public Health

Comments:

Recommended Conditions of Approval:

- Construction permits for the proposed hotel should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the proposed hotel should be subject to assurance that the City of Fresno community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- If the applicant proposes to use and/or store hazardous materials and/or hazardous wastes, they shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the California Health and Safety Code (HSC), Division 20, Chapter 6.95, Section 25507 (<http://cers.calepa.ca.gov/>). Contact the Certified Unified Program Agency at (559) 600-3271 for more information.
- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

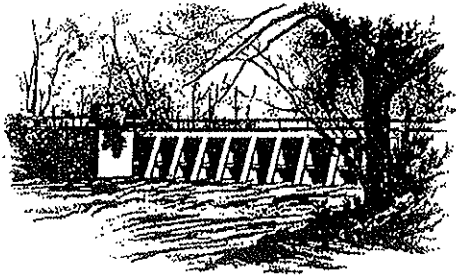
Fresno Irrigation District

February 20, 2019

Fresno Irrigation District

Comments:

FID previously reviewed and commented on the subject property on October 4, 2013 as Vesting Tentative Tract Map 5915. Those comments and conditions still apply.



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF
FRESNO
IRRIGATION DISTRICT

TELEPHONE (559) 233-7161
FAX (559) 233-8227
2907 S. MAPLE AVENUE
FRESNO, CALIFORNIA 93725-2208

October 4, 2013

Mr. Will Tackett
City of Fresno
Planning & Development Department
2600 Fresno Street, Third Floor
Fresno, CA 93721-3604

RE: Vesting Tentative Map of Tract No. 5915/UGM – Westlake Development
N/E of Shields and Garfield
FID's Silvia Canal No. 47, Minor Thornton Canal No. 459 and Wheaton Canal
No. 518 (private)

Dear Mr. Tackett:

The Fresno Irrigation District (FID) has reviewed the Vesting Tentative Map of Tract 5915/UGM for the Westlake Development Project located west of State Route 99 bounded by Gettysburg, Shields, Garfield, and Grantland avenues which impacts FID's Silvia No. 47 Canal and Minor Thornton No. 459 Canal.

This site was previously reviewed and commented on by FID on February 1, 2008 as EIR 10140, VTTM 5915, A-07-12, and R-07-008, and a copy is attached for your review. The same conditions still apply.

1. Exclusive FID pipeline easements shall have the following widths (revising what was stated in the February 1, 2008 response letter):
 - a. Pipelines greater than 24-inches in diameter but less than or equal to 36-inches in diameter shall have a minimum easement width of 30 feet. FID may consider reducing the easement width to 15 feet if the pipeline is aligned adjacent to a major road right-of-way.
 - b. Pipelines greater than 36-inches in diameter shall have a minimum easement width of 40 feet. FID may consider reducing the easement width to 20 feet if the pipeline is aligned adjacent to a major road right-of-way.

Wfidsbs03\Eng\Agencies\FresnoCity\Tract Map\Westlake Development Project - TM5915.docx

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President STEVEN BALLS
JEFFERY NEELY, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

2. As shown on the site plan, the portion of the proposed FID pipeline alignment or easement along the Gettysburg Avenue alignment may be within residential backyards or within a corridor with uncertain use. The abandoned railroad right-of-way is also located along this alignment. FID has experienced numerous issues with its pipelines in residential backyards, primarily due to unauthorized encroachments such as trees, pools, concrete pads, small sheds/structures, and other encroachments which may damage the pipe or hinder FID access and maintenance. Pipeline issues involving trees have also been experienced by FID when FID pipeline easements are in common use with public landscape easements.

In recent years, the most significant issue has been caused by tree root intrusion into pipe joints. The roots enter through the rubber gasketed joint, thus creating a non-water tight joint causing leaks. If the roots continue to grow, the roots will eventually clog the pipe and reduce the flow capacity of the pipeline. This problem causes disruption to FID's customers, including the City's groundwater recharge basins, and may impact the City's stormwater routing capability (on the canals that are used to route stormwater). Significant pipeline damage often occurs by the time this problem is identified by FID and can be very costly to make the necessary repairs. Subsequent pipeline repairs can be very disruptive to adjacent homeowners and public infrastructure, as well as to FID's operations. The leaking pipelines and pipeline repairs also increase the liability of all parties involved.

The developer will need to address these concerns, and FID has several suggestions (listed in order of preference).

- a. Realign the pipeline away from residential backyards and trees - This would be FID's preference. The advantage is the City and FID would have better control over encroachments as well as better access to patrol and maintain the easement. If there is a leak, the damage would be minimized. Trees would be located outside the FID easement.
- b. Slurry backfill joints or the entire Rubber Gasketed Reinforced Concrete Pipe (RGRCP) - FID currently requires its pipelines meet ASTM C-361 RGRCP standards. Concrete pipe is typically manufactured in eight- or twelve-foot sections, which means tree roots can enter pipelines every eight to twelve feet. FID will accept either having the entire pipe backfilled with concrete slurry mix to one foot above the outside top of the pipe, or pouring concrete slurry collars around the pipe joints. If the Developer chooses this slurry backfill/collar alternative, additional concerns should be evaluated by all parties related to long term maintenance, additional loading to the pipe and joints due to encroachments, etc.

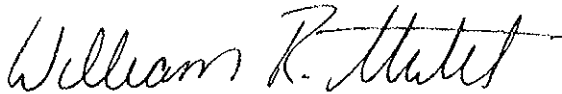
- c. Install a jointless pipe (i.e. HDPE with fusion weld joints) - HDPE (High-Density Polyethylene) is stronger than PVC pipe, which makes it more suitable to be placed in urban areas. In addition, the jointless design of fusion welded pipe reduces the risk of root intrusion. FID does not currently have or allow HDPE pipelines, so there will be a significant learning curve related to HDPE pipeline design, strength/longevity, and future maintenance. If the Developer chooses this alternative, all parties need to further evaluate the potential issues including long term maintenance, repair methods, materials, etc.
3. FID will require the City to enter into common use agreements with FID in accordance with FID standards wherever FID easements and City rights-of-way or easements are in common use. FID assumes the Silvia No. 47 and Minor Thornton No. 459 canals will be relocated to run along the Gettysburg and Garfield Avenue alignments as part of the Project, with pipeline easements in common use with City rights-of-way or easements. FID also recommends the FID pipeline be centered within the FID easement. FID easement width requirements are stated in Condition No. 1 above. FID will require a 40-foot wide pipeline easement for the portion of the FID pipeline along the Gettysburg Avenue alignment due to not being adjacent to a major road right-of-way.
4. FID recommends the Silvia and Minor-Thorton canal culverts along the Garfield alignment to be replaced. See the attached exhibit map. If the City chooses not to require the pipe as part of this Project, the City will need to replace these culverts during the road improvement process.
5. It is FID's understanding that the Developer is aware that the landowner immediately northwest of the intersection of the Garfield and Gettysburg Avenue alignments (APN 512-021-21, Frank Ciano) is interested in having a new turnout constructed off the new pipeline near this intersection. The Developer will be responsible for contacting and coordinating with Mr. Ciano regarding the design of his turnout. FID will review the design of improvements within FID's easements. The costs related to this new turnout will be the responsibility of the Developer and/or the landowner.
6. The Fresno Metropolitan Flood Control District (FMFCD) has masterplanned a basin (Basin EN) northwest of the intersection of the Gettysburg and Garfield alignments at APN 512-021-21 (mentioned in Comment No. 6 above). FMFCD has planned to interconnect this basin with the Minor-Thorton Canal using a 24-inch diameter pipeline. FID recommends that the Developer contact FMFCD at this time to determine if FMFCD would like to participate with the construction of the new landowner turnout that would serve APN 512-021-21 so that the turnout's size is appropriate for also serving the planned FMFCD basin.

Mr. Will Tackett
RE:VTTM 5915 Granville at Westlake
October 4, 2013
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7. FMFCD's masterplanned Basin CD is planned to be relocated south of Shields Avenue. FID understands that Basin CD would receive water from the Westlake pond and not be plumbed directly to an FID facility. Thus, this would require water to flow from FID's pipeline and through the Westlake pond in order to reach Basin CD. FID has concerns about the means by which water will be conveyed through the lake to the FMFCD Basin CD, as this is not a typical configuration for an FID-to-FMFCD facility interconnection. However, FID understands that there will be an FMFCD storm drain pipeline along Garfield Avenue, and FMFCD may desire to have an interconnection between this FMFCD pipeline and the Silvia Canal. The Developer should discuss this issue with FMFCD to determine if FMFCD would like to have this direct connection between an FID and FMFCD facility.
8. For informational purposes, a portion of the privately owned Wheaton No. 518 pipeline traverses the subject property as shown on the attached FID exhibit map. FID does not own, operate or maintain this private pipeline. If there are still users on this private line, it will need to remain active. FID can supply the Developer with a list of users for this private line.

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Adam Claes at 233-7161 extension 7404 or aclaes@fresnoirrigation.com.

Sincerely,

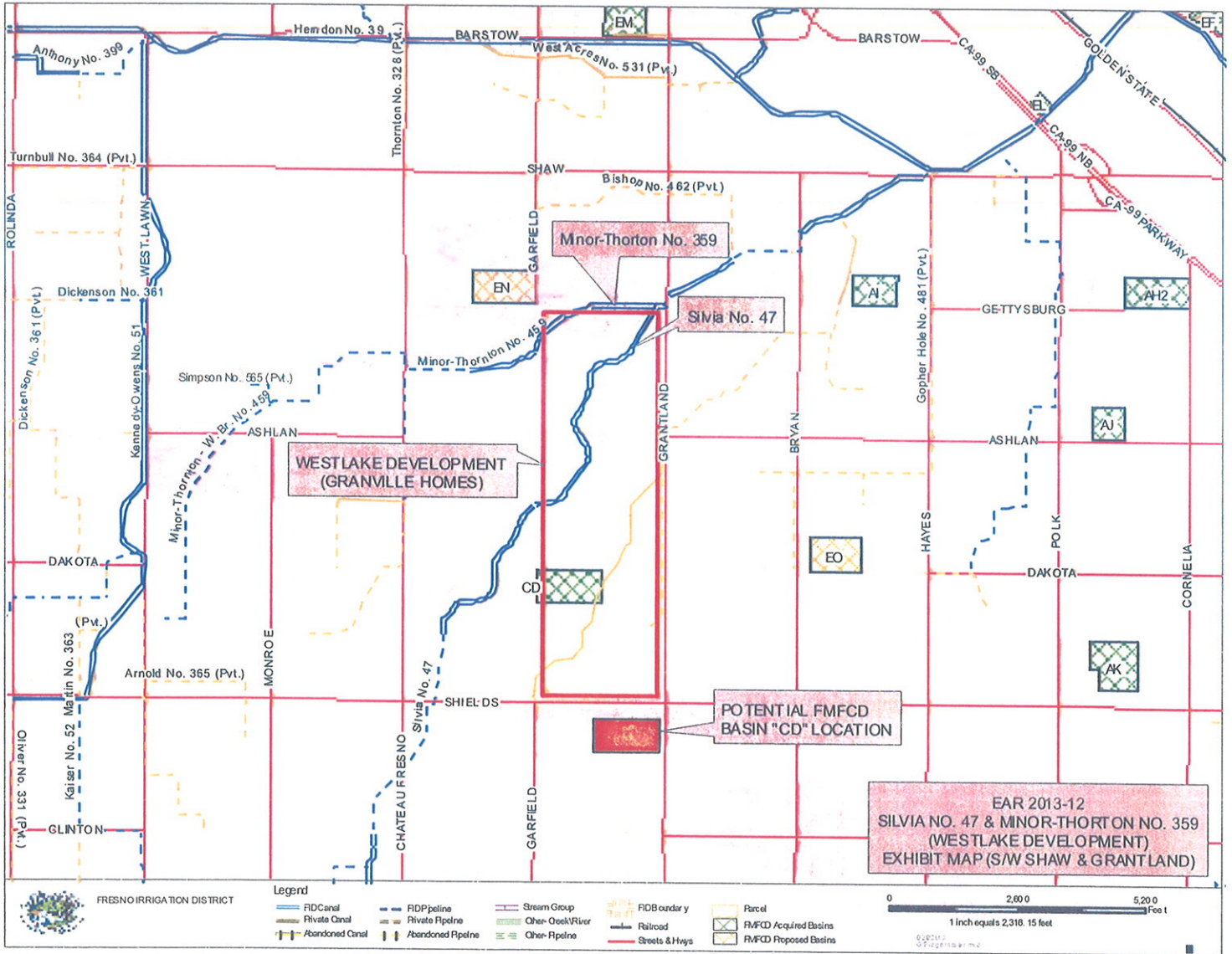


William R. Stretch, P.E.
Assistant General Manager - Operations

cc: Granville Homes, Applicant
Gary Giannetta, Giannetta Engineering

Enclosures:

1. FID Exhibit Map
2. August 1, 2013 City of Fresno Request for Comments, Conditions, Environmental Assessment for Vesting Tentative Map of Tract No. 5915/UGM
3. February 1, 2008 FID Conditions letter, EIR 10140, VTTM 5915, A-07-12, and R-07-008





DATE: April 19, 2019

TO: Alondra Williams, Development Services/Planning
Development and Resource Management Department

FROM: Randy Guill, Supervising Engineering Technician
Public Works Department, Traffic Operations and Planning Division

SUBJECT: PUBLIC WORKS CONDITIONS OF APPROVAL FOR VESTING TENTATIVE TRACT MAP NO. 6212 REGARDING MAINTENANCE REQUIREMENTS

LOCATION: 4445 N. GRANTLAND AVENUE.
APN: 512-021-50S

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the exhibits submitted for this development.

ATTENTION:			
The item below requires a separate process with additional costs and timelines. In order to avoid delays with the final map approval, the following item shall be submitted for processing to the Public Works Department, Traffic and Engineering Services Division prior to final map approval.			
X	CFD Annexation Request Package	Ann Lillie	(559) 621-8690 ann.lillie@fresno.gov

The Community Facilities District annexation process takes from three to four months and SHALL be completed prior to final map approval. INCOMPLETE Community Facilities District (“CFD”) Annexation Request submittals may cause delays to the annexation process and final map approval.

All applicable construction plans for this development shall be submitted to the appropriate City Department for review and approval **prior** to the CFD process.

- a. Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process and the approval of the final map.
- b. Proposed park amenities shall be reviewed and approved by the Building & Safety Services Division or as approved in writing by the City Engineer at time of submittal for the CFD process and prior to final map approval.**

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

Any change affecting the items in these conditions shall require a revision of this letter.

1. The Property Owner’s Maintenance Requirements

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements (“Services”) associated with all new Single-Family developments are the ultimate responsibility

of the Developer. The Developer shall provide these Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 11 ("CFD No. 11").

The following public improvements (Existing and Proposed) are eligible for Services by CFD No. 11 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within the street rights-of-way and landscape easements; including without limitation, the median island (1/2, if fronting only one side of median), parkways, buffers, street entry medians and sides (**10' wide minimum landscaped areas allowed**) in **all Local and Major Streets**.
- All landscaping, trees, irrigation systems, hardscaping and amenities within Outlots, open spaces and trails.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, median island concrete maintenance band and cap (1/2, if fronting only one side of median), and street lights in **all Major Streets**.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, and street entry and interior median island curbing and hardscape, street paving, street name signage and street lights in **all Local Streets**.

2. The Property Owner may choose to do one or both of the following:

- a. The Property Owner may petition the City of Fresno to request annexation to CFD No. 11 by completing and submitting an Annexation Request Package to the Public Works Department, Traffic and Engineering Services Division for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Developer Doorway.
 - **Proceedings to annex the final map to CFD No. 11 SHALL NOT commence** unless the final map is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.
 - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 11 are not subject to change and after acceptance for processing.**
 - Public improvements not listed above will require written approval by the Public Works Department Director or his designee.
 - All areas not within the dedicated street rights-of-way approved for Services by CFD No. 11, including but not limited to outlots, trails and landscaped areas, shall be dedicated in fee to the City of Fresno, dedicated as a public easement for maintenance purposes or as approved by the Public Works Department City Engineer.
- b. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 11 for Services **SHALL** be included in the DCC&Rs or some other City approved mechanism for the required Services associated with this development. Contact the Planner in the Development and Resource Management Department for more details.

For questions regarding these conditions please contact me at (559) 621-8690 or ann.lillie@fresno.gov