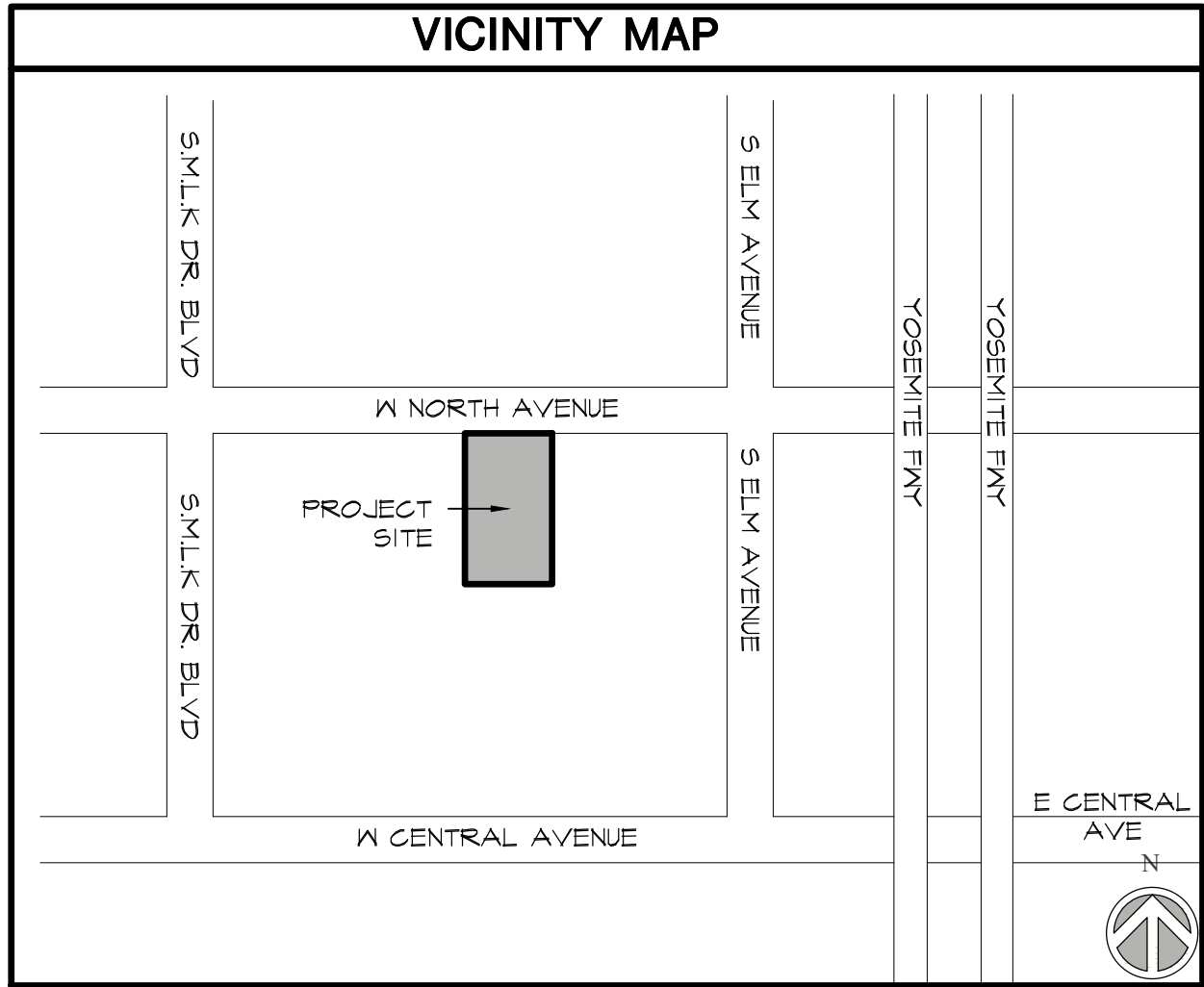


Exhibit D



GENERAL NOTES:

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK.
- REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED PER FNC 15-211.
- UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER FRESNO MUNICIPAL CODE SECTION 15-2011 AND PUBLIC WORKS POLICY NO. 260.01.
- SUBMIT STREET CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT.
- PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
- CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT 554-621-8800, 10 WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
- ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
- ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY LAWS AND REGULATIONS.
- SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT.
- SUBMIT SIGNING AND STRIPING PLANS TO THE PUBLIC WORKS DEPARTMENT. COMPLY WITH THE CURRENT CALTRANS STANDARDS.

LEGAL DESCRIPTION:

- THE LAND REFERRED TO HEREIN BELOW IS SUBMITTED IN THE CITY OF FRESNO, COUNTY OF FRESNO STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 65 OF CENTRAL CALIFORNIA COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE OF PLATS, FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 65 DISTANT 797 FEET WEST OF THE NORTHEAST CORNER THEREOF; THENCE SOUTH ON A LINE PARALLEL TO AND DISTANT 797 FEET WEST OF THE EAST LINE OF SAID LOT 41 FEET; THENCE WEST A DISTANCE OF 233 FEET; THENCE NORTH 417 FEET TO THE NORTH LINE OF SAID LOT; THENCE ALONG SAID NORTH LINE EAST A DISTANCE OF 233 FEET TO THE POINT OF BEGINNING.

CONSTRUCTION REQUIREMENTS:

CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STD E-1 & E-7A.

NOTE ON PLANS: REQUIRED FIRE APPARATUS ACCESS LANES SHALL BE PROVIDED YEAR-ROUND AND MAINTAINED WITH AN APPROVED ALL-WEATHER SURFACE CAPABLE OF SUPPORTING 80,000-POUND VEHICLES. THE FIRE APPARATUS ACCESS LANES SHALL BE A MINIMUM OF 4-INCH BASE ROCK OVER COMPACTED OR UNDISTURBED NATIVE SOIL OR PER APPROVED ENGINEERING PLANS WITH A MINIMUM OF 24 FEET OF CLEAR WIDTH OR OTHER APPROVED METHOD, WHICH WOULD PREVENT SHOULDER DEGRADATION. (FPD DEVELOPMENT POLICY 409.002)

NOTE ON PLANS: PROVIDE APPROVED POLICE/FIRE BYPASS LOCK (BESTA PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL INTB2) ON DRIVE ACCESS GATE(S). ALL ELECTRIFIED GATES SHALL BE EQUIPPED WITH THE BEST ELECTRIC CYLINDER LOCK INTB2. A KNOX PADLOCK MAY NOT BE USED IN PLACE OF THE BEST PADLOCK MODEL 218700. THESE LOCKS CAN BE PURCHASED ONLY THROUGH SIERRA LOCK & GLASS, 1560 N. PALM AVENUE, FRESNO, CA 93728.

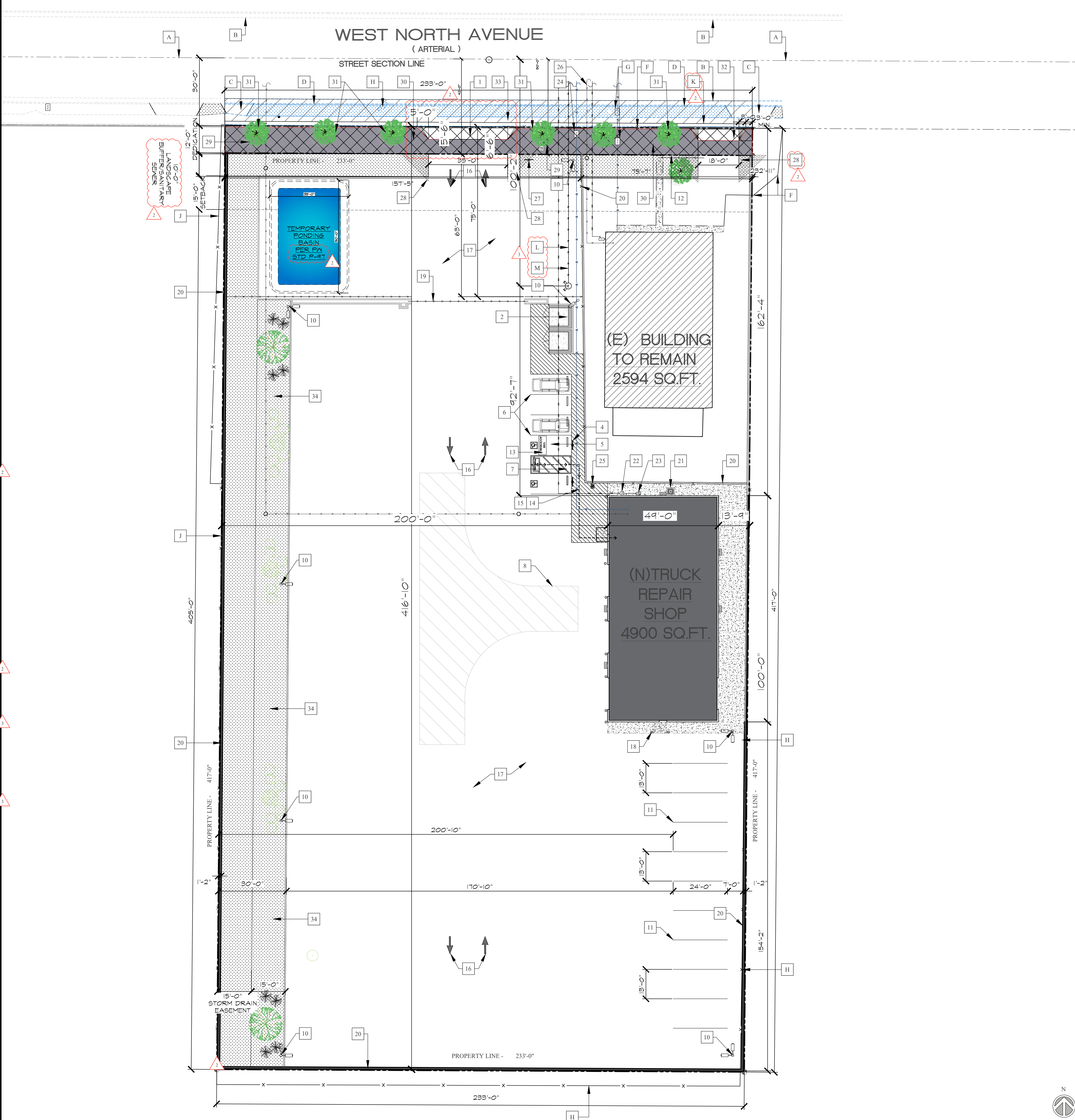
APPL. NO. P23-03606 EXHIBIT A-1 DATE 3/25/2025

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

COND. APPROVED BY _____ DATE _____

CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



SITE PLAN KEYED NOTES (EX. ITEMS)

EX. ITEM	DESCRIPTION
(E)	INDICATES STREET SECTION LINES
(E)	EDGE OF AC PAVING.
(E)	DRIVEWAY APPROACHES TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
(E)	6" HIGH CONC. CURB AND GUTTER TO DEMO.
(E)	6'-0" HIGH WROUGHT IRON FENCE TO DEMO.
(E)	WATER METER TO RELOCATE TO NEW ROW.
(E)	UTILITY POLE TO BE UNDERGROUND.
(E)	6'-0" CHAIN LINK FENCE TO DEMO.
(E)	4' WIDE SIDEWALK TO BE DEMOLISHED AND REPLACED AS APPLICABLE PER PW STD P-5 AND P-48.
(N)	6" INCH FIRE LINE WITH 1800 GPM FIRE FLOW.
(N)	FIRE HYDRANT

SITE PLAN KEYED NOTES

EX. ITEM	DESCRIPTION
(N)	35'-0" WIDE COMMERCIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PW STANDARDS P-2 & P-6.
(N)	TRASH ENCLOSURE AS PER CITY OF FRESNO STANDARDS P-39A
(N)	TOW-AWAY SIGN. REFER TO DETAIL 5/A/3.
(N)	ACCESSIBILITY SIGN. REFER TO DETAIL 5 AND 6/A/3.
(N)	ACCESSIBILITY PARKING STALL. REFER TO DETAIL 5/A/3.
(N)	4' WIDE PAINTED PARKING STRIPES.
(N)	6" HIGH CONCRETE WHEEL STOP. REFER TO DETAIL 5/A/3.
(N)	INDICATES HAMMERHEAD TURN-AROUND APPARATUS.
(N)	RECESSED CONCRETE TRUCK DOCK 15'-0" X TO 6'-0".
(N)	HOODED LIGHT.
(N)	18' X 24' BO TAIL TRUCK PARKING.
(N)	6'-0" HIGH CHAIN LINK FENCING WITH SLATS. RESIDENTIAL VEHICLE ACCESS GATE(S) SHALL BE LOCKED/UNLOCKED FROM PRIVATE PROPERTY OR PARKED ON STREET. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
(N)	8'-0" (MIN) WIDE ACCESSIBLE UNLOADING ZONE ADJACENT TO VAN STALL LOCATION.
(N)	ACCESSIBLE PATH OF TRAVEL
(N)	PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1/2" MAXIMUM SLOPE EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL. P.O.T. IS A MINIMUM OF 48" WIDE (N) A SLIP RESISTANT SURFACE (N) A 5% MAX. SLOPE AND 1:48 MAX. CROSS SLOPE. PASSING SPACES OF 60" X 60" MIN. ARE TO BE LOCATED NOT MORE THAN 200' APART. WALKS (N) CONT. GRADIENTS ARE TO HAVE A 60" IN LENGTH OF LEVEL AREAS NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. ABOVE FINISHED FLOOR AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM THE WALL VERTICAL SURFACE FROM 27" ABOVE THE FLOOR SURFACE TO 80" ABOVE THE FLOOR SURFACE. THERE IS TO BE NO DROP-OFF GREATER THAN 4" AT THE EDGE OF WALK OR LANDINGS UNLESS IDENTIFIED BY A GUARD, A HANDRAIL OR A 6" HIGH MIN. WARNING CURB ABOVE THE WALK. ARCHITECT, CONTRACTOR, AND/OR SUB-CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
(N)	DIRECTIONAL ARROW - REFER TO DETAIL T/A/3
(N)	A/C DRIVE PER PW STD P-21 AT MIN.
(N)	BOLLARD(S) - REFER TO DETAIL 1/A/3
(N)	7'-0" HIGH SLIDING WROUGHT IRON GATE W/LOCK. ALL VEHICLE ACCESS GATE(S) SHALL BE OPENED AS THE FIRST ORDER OF OPERATING BUSINESS AND SHALL REMAIN OPEN DURING OPERATING HOURS. THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
(N)	7'-0" HIGH CMU WALL
(N)	LOCATION OF HVAC UNIT(S) MOUNTED ON CONCRETE SLAB.
(N)	LOCATION OF ELECTRICAL METER
(N)	LOCATION OF GAS METER
(N)	LOCATION OF WATER METER TO BE INSTALLED BY CITY FORCES
(N)	SHORT/LONG TERM BIKE PARKING (N) 1) TWO-BIKE CAPACITY RACK SEE GAL-OR-GRN 5106 41.2 & 5106 41.5
(N)	6" SEWER SERVICE LATERAL WITH CLEAN OUT PER CITY STD 6-1.5-8 & 5-8
(N)	30" STATE STANDARD "STOP" SIGN AT THE LOCATION SHOWN. SIGN POST DETAILS PER PW STD P-88
(N)	12' X 12' VISIBILITY TRIANGLE
(N)	HATCH INDICATES DEDICATION
(N)	CONSTRUCT CONCRETE CURB, GUTTER AND SIDEWALK TO A 12" COMMERCIAL PATTERN PER PW STD P-5
(N)	TREE WELLS TO BE CONSTRUCTED PER PW STD P-8 AND STANDARD SPECIFICATION SECTION 26-2.11. *TREE WELLS ARE TO BE COORDINATED WITH STREET LIGHT DESIGN.*
(N)	18'-0" WIDE RESIDENTIAL DRIVEWAY APPROACH AS PER CITY OF FRESNO PW STANDARDS P-1 & P-6
(N)	CONSTRUCT 20' OF PERMANENT PAVING PER PW STD P-50
(N)	15'-0" LANDSCAPE BUFFER

CVEAS
CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.
2511 LOSAN STREET Tel: (554) 841-8811
SELMA, CA 93662 Fax: (554) 841-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT
TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-020-33

DATE SIGNED: 2/25/2025

Revisions: _____ Date: _____

SITE PLAN

CVEAS JOB #: 23063

DATE: 2/25/2025

PLANNING SUBMITTAL #: _____

PLAN CHECK SUBMITTAL #: _____

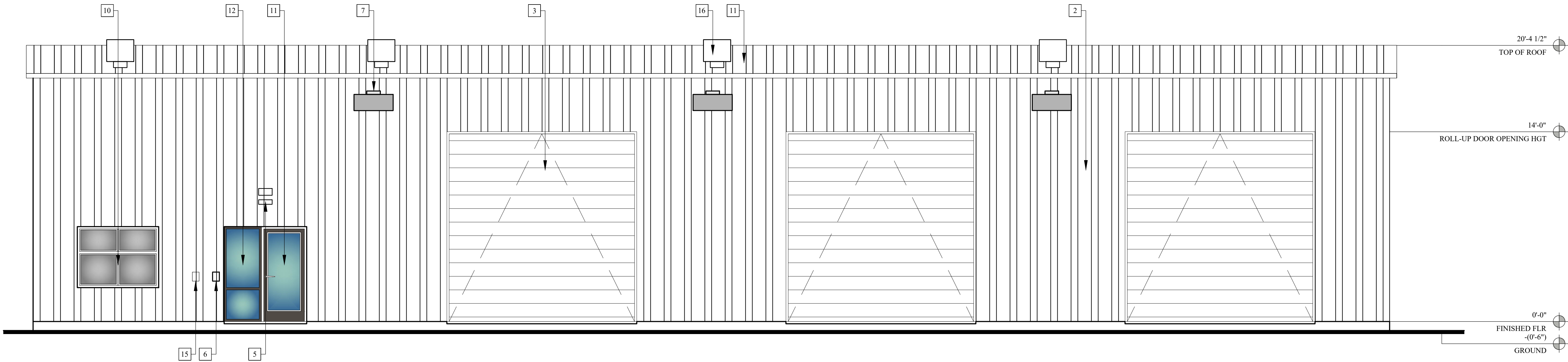
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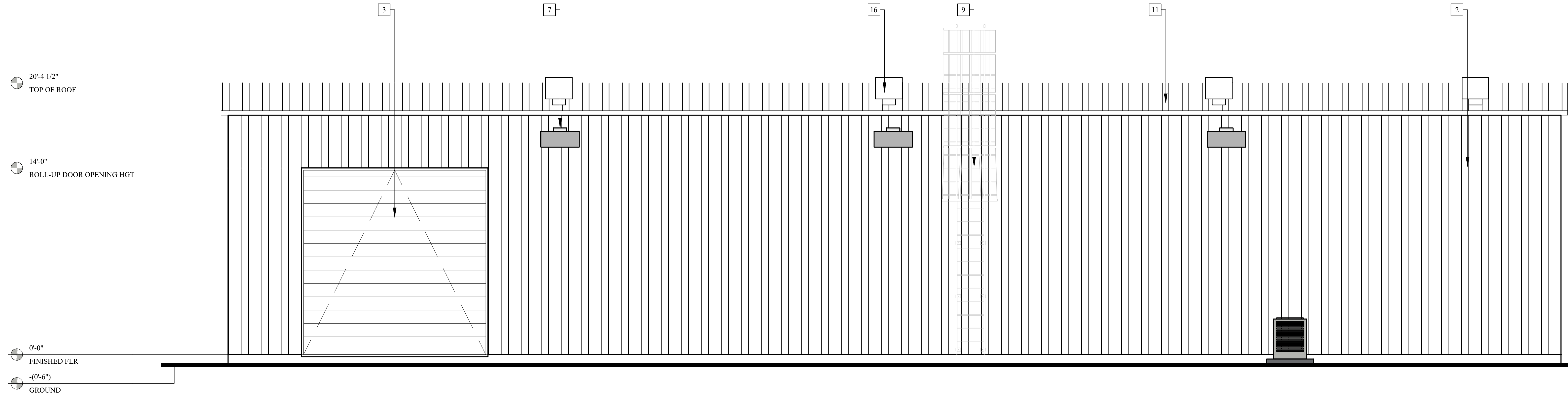
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CVEAS. REPRODUCTION OR USE THEREOF IS NOT PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.



FRONT ELEVATION - WEST

A

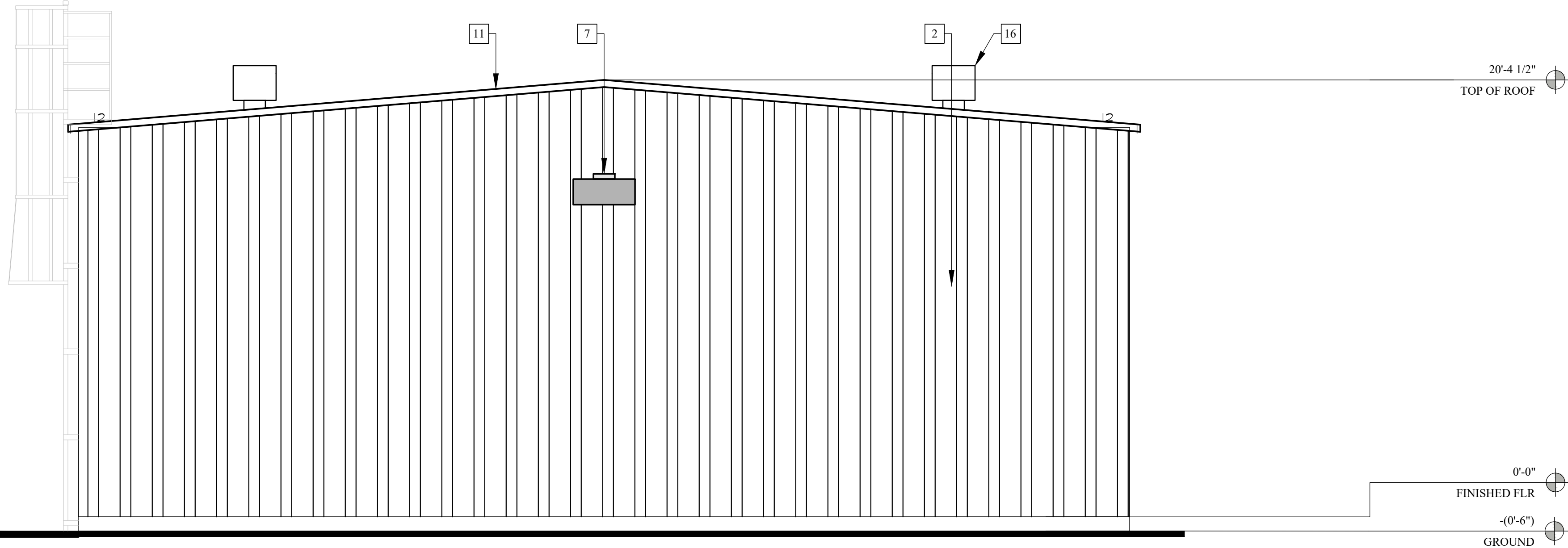
SCALE: 1/4" = 1'-0"



REAR ELEVATION - EAST

C

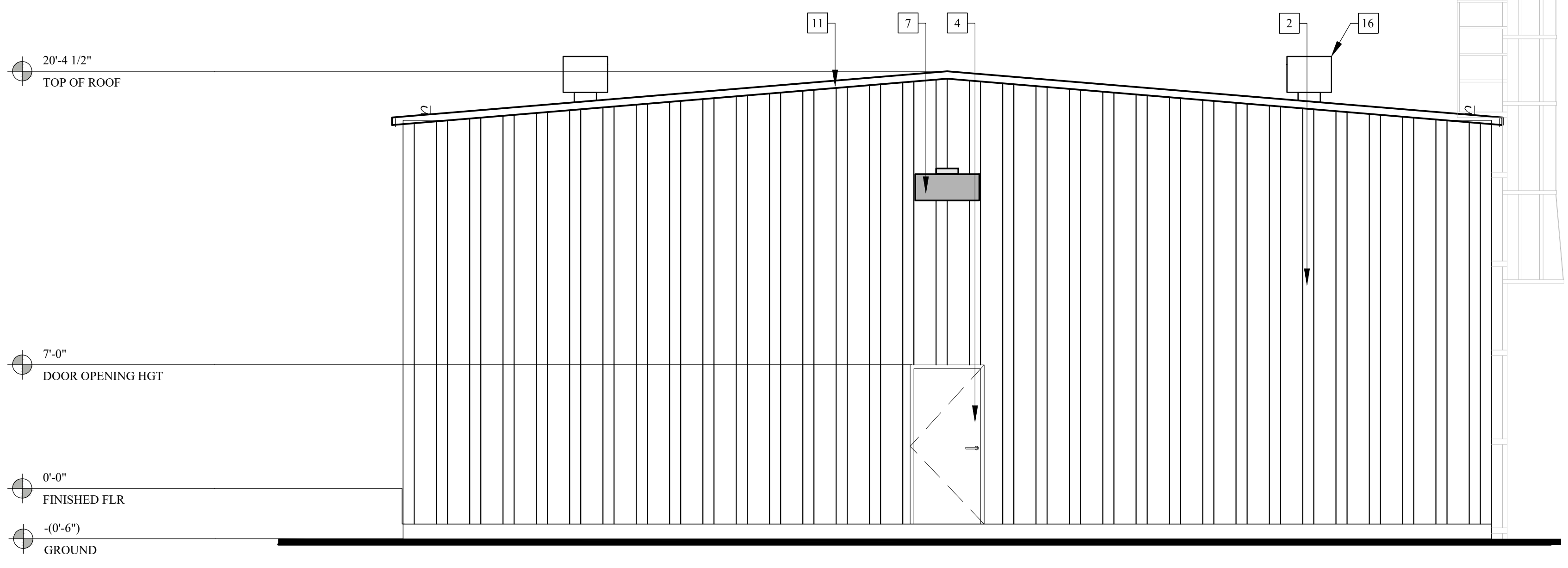
SCALE: 1/4" = 1'-0"



SIDE ELEVATIONS - NORTH

B

SCALE: 1/4" = 1'-0"



SIDE ELEVATIONS - SOUTH

D

SCALE: 1/4" = 1'-0"

ELEVATION KEYED NOTES

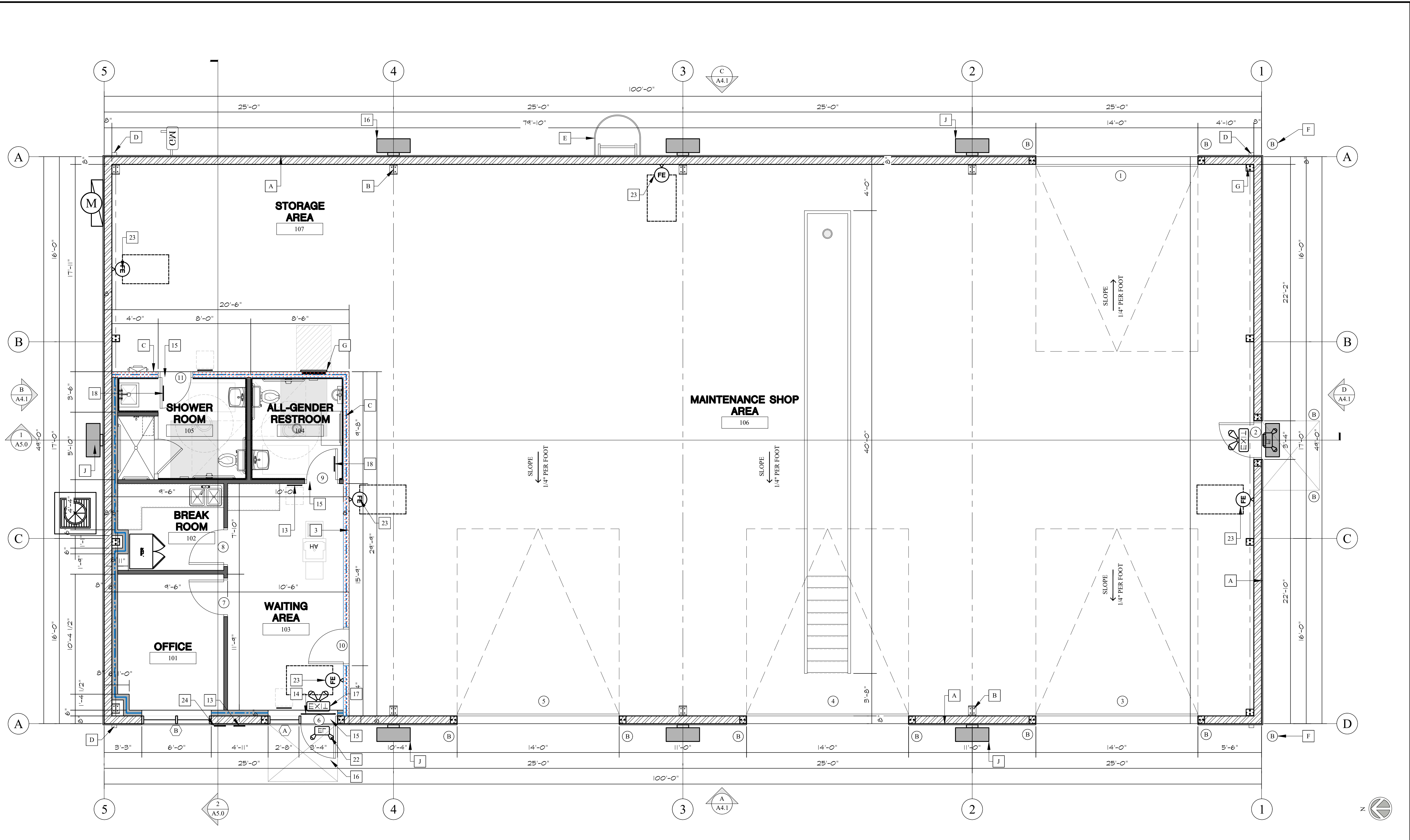
- | | |
|----|--|
| 1 | PRE FINISHED CORRUGATED METAL ROOFING |
| 2 | PRE FINISHED CORRUGATED METAL SIDING |
| 3 | PRE FINISHED METAL ROLL UP DOOR. REFER TO DOOR SCHEDULE. |
| 4 | HOLLOW METAL DOOR - REFER TO DOOR SCHEDULE. |
| 5 | STREET ADDRESS - SEE COVER SHEET GENERAL NOTES FOR MORE INFORMATION. |
| 6 | KNOX BOX - SEE FLOOR PLAN FOR MORE INFO. |
| 7 | WALL PACK LIGHT. |
| 8 | PRE FINISHED METAL DOWNSPOUTS SEE ROOF PLANS FOR MORE INFO. |
| 9 | INDICATES ROOF ACCESS LADDER |
| 10 | 6040 WINDOW - REFER TO SCHEDULE. |
| 11 | 3070 STOREFRONT DOOR W/ 10' HIGH KICKPLATE - REFER TO SCHEDULE. |
| 12 | 2470 WINDOW - REFER TO SCHEDULE. |
| 13 | NOT USED |
| 14 | NOT USED |
| 15 | BUILDING SIGNAGE - SEE FLOOR PLAN FOR MORE INFO. |
| 16 | TURBO VENT |

APPL. NO. P23-03606 EXHIBIT E-1 DATE 1/11/2025
PLANNING REVIEW BY _____ DATE _____
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CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

Revisions	Date

ELEVATIONS	
CVEAS JOB #:	23063
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SCALE:	

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE REPRODUCED OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CVEAS. ANY REPRODUCTION OR USE THEREOF IS NOT PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPL. NO. P23-03606 EXHIBIT F-1 DATE 1/31/2025
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FLOOR PLAN KEYED NOTES	
1	FASTENERS IN PRESERVATIVE-TREATED WOOD SHALL BE APPROVED SILICON BRONZE OR COPPER STAINLESS STEEL OR HOT-DIPPED ZINC-COATED GALVANIZED STEEL.
2	ALL FINISHED MATERIALS (ADHESIVE, SEALANTS, CAULKS, PAINTS, CARPETS, RESILIENT FLOORING, COMPOSITE WOOD PRODUCTS) SHALL COMPLY WITH CAL-GREEN 5504.4.
3	THIS PROJECT HAS BEEN DESIGNATED WITH A UNIFORM LOAD OF 15 POUNDS PER SQUARE-FOOT TO SUPPORT THE ADDED LOADS OF A FIRE-SPRINKLER SYSTEM. THE MAIN FRAMING MEMBERS HAVE BEEN DESIGNED TO SUPPORT THE CONCENTRATED LOADS OF A SPRINKLER SYSTEM.
4	PROVIDE FIRE BLOCKING AT ALL FLOOR AND CEILING LEVELS AND AT TEN-FOOT INTERVALS.
5	ALL WEATHER STRIPPING, CAULKING, AND SEALING OF EXTERIOR DOOR(S), WINDOW(S), AND BUILDING ENVELOPE OPENING(S), AS REQUIRED BY STANDARDS. SHALL BE SUBJECT TO FIELD INSPECTION.
6	OPEN-ABLE WINDOW AREA SHALL BE GREATER THAN OR EQUAL TO ONE-SIXTEENTH (1/16) OF THE FLOOR AREA. (CBC 1209.3)
7	POWER DRIVEN FASTENERS: NAILJET PINS NO. 3850 AT BEARING WALLS 18" O.C. AND NON-BEARING WALLS.
8	ALL WINDOW/DOOR FLASHING REFER TO DETAIL 9/D2.
9	PROVIDE PEDESTRIAN EXIT FROM THE GARAGE OF THE SIZE TO PERMIT THE INSTALLATION OF A 36" X 80" DOOR AND THE HARDWARE MAY NOT BE LOCKABLE.
10	ALL GLASS IN DOORS MUST BE LABELED SAFETY GLASS OR TEMPERED GLASS.
11	FLOOR PROJECTIONS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH, INCLUDING BUT NOT LIMITED TO BALCONIES, LANDINGS, DECKS, AND STAIRS SHALL BE CONSTRUCTED OF NATURALLY DURABLE WOOD, PRESERVATIVE-TREATED WOOD, CORROSION-RESISTANT STEEL, OR SIMILAR APPROVED MATERIALS AT OPEN DECK AREA.
12	SLAB SURFACE MUST SLOPE TO DRAIN 1/4" PER FOOT.
13	INSTALL 12-INCH HIGH ADDRESS ON THE BUILDING IF NOT EXISTING. A SEPARATE SUITE SIGN SHALL BE TACTILE WITH SUITE NUMBERS IN RAISED NUMBERS AND BRAILLE AT THE MAIN ENTRY IF NOT EXISTING.
14	IN BUILDING(S) IN OCCUPANCY GROUP A HAVING AN OCCUPANCY LOAD OF 300 OR LESS GROUPS B, F, M, AND S, AND IN PLACES OF RELIGIOUS WORSHIP, THE MAIN DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED: A. THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED; B. A READILY VISIBLE DURABLE SIGN POSTED OVER THE PRIMARY DOOR, AT EACH SPACE STATING "THIS DOOR SHALL REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" WITH 1" HIGH LETTERS ON A CONTRASTING BACKGROUND; C. THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE FIRE CODE OFFICIAL FOR DUE CAUSE.
15	THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/2 INCH ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY / ACCESSIBLE PARKING STALL INTO THE BUILDING OR RESTROOMS.
16	INSTALL 6" X 6" ACCESSIBILITY SIGN AT FRONT MAIN ENTRANCE.
17	PROVIDE ILLUMINATED EXIT SIGNS AT EXTERIOR EXIT DOORS WITH A BATTERY BACKUP OR AN APPROVED ALTERNATIVE.
18	NEW TACTILE DOOR SIGN(S) ON RESTROOM ENTRY DOORS. REFER TO DETAIL 2/D1.
19	6'X5' LANDING AREA.
20	PROVIDE THE FOLLOWING FOR FLOORS AND WALLS IN WATER CLOSET COMPARTMENTS: A. FLOORS: TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 5 INCHES. B. WALLS: WALLS WITHIN 2 FEET OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE SMOOTH, HARD ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SMOOTH, HARD NONABSORBENT SURFACE TO A HEIGHT OF 4 FEET. THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
21	EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT SHALL HAVE A TACTILE EXIT SIGN WITH THE WORD "EXIT" IN RAISED CHARACTER.
22	PROVIDE EMERGENCY LIGHTS WITH A BATTERY BACKUP OR AN APPROVED ALTERNATIVE.
23	INSTALL 4A-40BC FIRE EXTINGUISHERS (MAXIMUM 50 FOOT TRAVEL DISTANCE FROM ANY POINT IN THE BUILDING). SHALL BE INSTALLED SO THAT THE TOP IS NOT MORE THAN 5 FEET ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 3 FEET.
24	PROVIDE KNOX BOX AT MAIN ENTRY AND INSTALLED AT 66" ABOVE FINISHED GRADE, UNLESS EXISTING. SECTION 506.1.

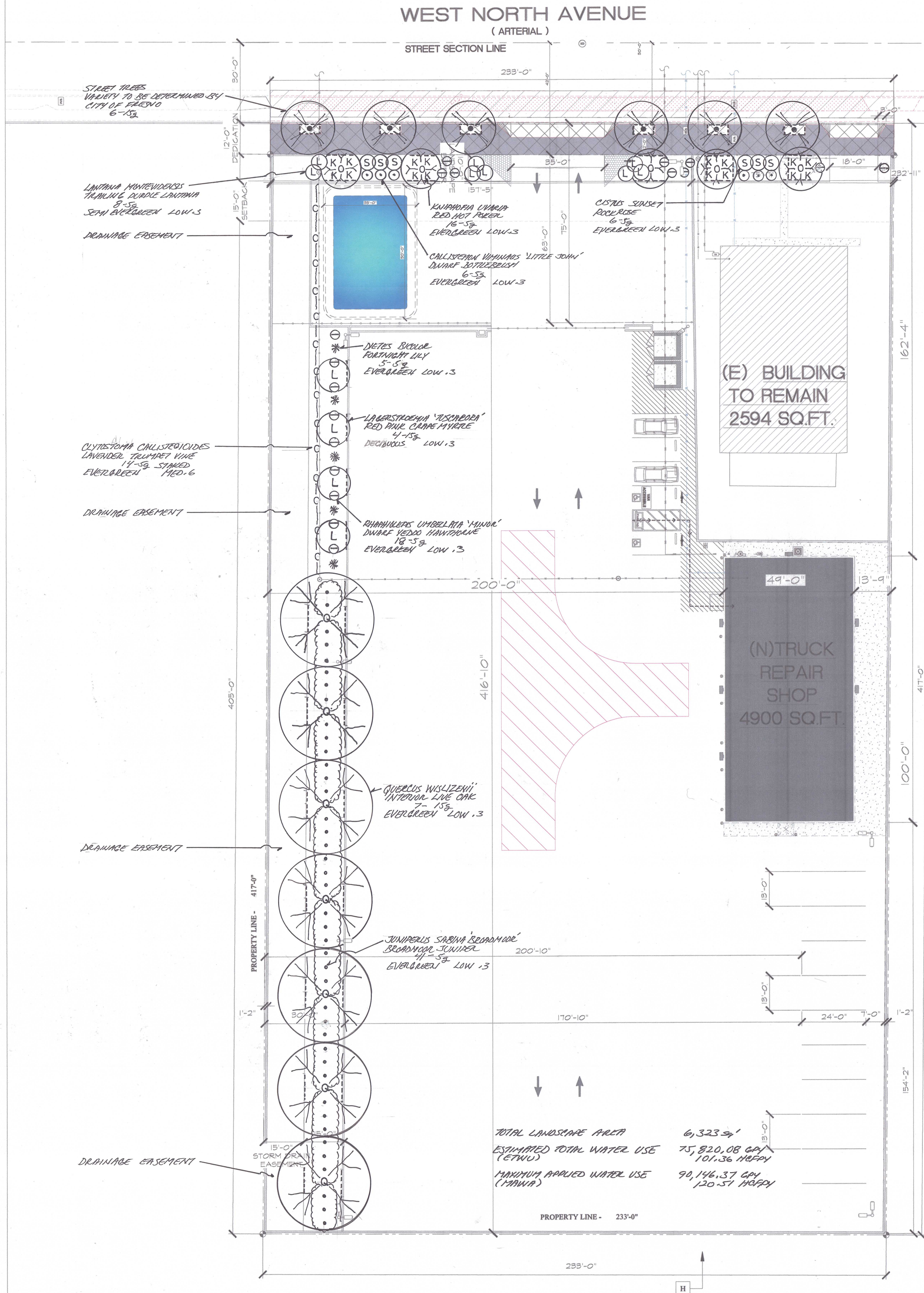
FLOOR PLAN KEYED NOTES	
A	PRE-FINISHED CORRUGATED METAL SIDING.
B	STEEL FRAME SYSTEM - REFER TO STRUCTURAL PLANS.
C	1-HOUR FIRE RATED EXTERIOR WALL. REFER TO FLOOR PLAN(S) FOR ADDITIONAL INFORMATION.
D	PRE-FINISHED METAL DOWNSPOUT ASSEMBLY.
E	LOCATION OF PAINTED ROOF ACCESS LADDER. PRE-FAB LADDERS BY O'KEEFE'S INC. OR EQUAL.
F	6" METAL BOLLARDS W/ CONCRETE. REFER TO DETAIL.
G	LOCATION ELECTRICAL PANEL(S). REFER TO ELECTRICAL PLANS FOR ADDTNL INFO.
H	METAL C-CHANNEL FRAME - REFER TO STRUCTURAL PLANS.
J	WALL PACK LIGHT.

INSULATION LEGEND	
DESCRIPTION	TYPE
WALL INSULATION	R-19

WALL LEGEND	
SYMBOL	DESCRIPTION
	NEW EXTERIOR WALL: 2x6 DF #2 WOOD STUD AT 16" O.C. EXTERIOR SIDE - 7/8" MIN. THICKNESS OVER 1/2" GA. x 1-1/2" HEXAGONAL PAPER-BACKED WIRE LATH OVER 2-LAYERS OF TYPE "D" PAPER UNDERLAYMENT OVER FLYWOOD SHEATHING. INTERIOR SIDE - 1/2" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING. PROVIDE INSULATION PER TITLE 24.
	NEW INTERIOR WALL: 2x4 DF #2 WOOD STUD AT 16" O.C. 5/8" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	NEW INTERIOR BEARING WALL: 2x6 DF #2 WOOD STUD AT 16" O.C. BOTH SIDES - 5/8" DRYWALL WITH SCREWS REFER TO STRUCTURAL PLANS FOR NAILING.
	NEW 1-HOUR RATED SEPARATION WALL: 2x6 DF #2 WOOD STUD AT 16" O.C. BOTH SIDES - 5/8" TYPE "X" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	NEW METAL EXTERIOR WALL:

Revisions	Date

PROPOSED FLOOR PLAN	
CVEAS JOB #:	23063
DATE:	1/31/2025
PLANNING SUBMITTAL #:	
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DRAWN BY:	
CHECKED BY:	
SCALE:	



- (1) THE VARIETY OF THE SIX (6) STREET TREES TO BE DETERMINED BY THE CITY OF FLESDO.
- (2) THE LANDSCAPE DESIGN PLAN SHALL MEET ALL REQUIREMENTS OF THE TOWN OF WINTER EFFICIENT LANDSCAPE ORDINANCE.
- (3) A SEPARATE WINTER HYDRAULIC DESIGN TO LANDSCAPE ONLY IS REQUIRED. (MUNICO 492.7)
- (4) A SOIL ANALYSIS REPORT WITH RECOMMENDATIONS IS REQUIRED. (MUNICO 492.5)
- (5) ROOT BARRIERS REQUIRED ON ALL TREES LOCATED WITHIN TEN FEET (10') OF AVOID SURFACES, WALKER MANILURES, AND SILVER LINER DRAINAGE SYSTEMS.
SEE FOOT (10') MINIMUM LANDSCAPE LENGTH.
- (6) ALL LANDSCAPE AREAS (INCLUDING DRAINAGE EROSION) TO RECEIVE A THREE (3) INCH (3") LAYER OF DECOMPOSITIVE MULCH. (MUNICO 492.6)


- (1) AN AUTOMATED IRRIGATION SYSTEM TO BE INSTALLED. IRRIGATION SYSTEM TO MEET ALL REQUIREMENTS OF THE MOORE WINTER EFFICIENT LANDSCAPE ORDINANCE.
- (2) A SEPARATE IRRIGATION SYSTEM AND WINTER METER FOR THE SIX (6) STREET TREES TO BE INSTALLED.
- (3) IRRIGATION SYSTEMS TO BE DRIP/IRRIGATION SYSTEMS
- (4) AN IRRIGATION AUDIT REPORT IS REQUIRED.

(1) A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE, MEETING ALL THE REQUIREMENTS OF THE HAZEL WATERS EFFICIENT LANDSCAPE ORDINANCE, SHALL BE SUBMITTED.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE
MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND
SUBMIT A COMPLETE LANDSCAPE DESIGN, IRRIGATION DESIGN,
LANDSCAPE DOCUMENTATION PACKAGE.

01/29/25

APPL. NO. P23-03606 EXHIBIT L-1 DATE 1/31/2025
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 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

 **CVEAS**
CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.
111 LOGAN STREET Tel: (559) 891-8811
FARMERSVILLE, CA 93662 Fax: (559) 891-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT: TRUCK MAINTENANCE SHOP FOR
DEEPAK KAUSHAL
121 W NORTH AVENUE
FRESNO, CA 93706
APN: 329-02-033



TE SIGNED: 1/21/2025

Revisions:	Date:

CVEAS JOB # : 23063

DATE: 1/21/2025

PLANNING SUBMITTAL #:

PLAN CHECK SUBMITTAL #:

DRAWN BY:

CHECKED BY:

SCALE:

1.0

Operational Statement Form

Please use this form to clearly explain the proposed project. This information will assist all individuals, departments and agencies in their review and drafting of comments, conditions, suggestions or recommendations. The goal is to facilitate an accurate and complete description of your project in order to avoid unnecessary delays in gathering additional information. If you have any questions about the requested information, please call Development Services at (559) 621-8277.

Note: If the Operational Statement is not submitted or if the submittal is illegible, unclear or incomplete, the review of your project will not be accepted for processing.

Project Description:

Truck Maintenance Shop is being submitted by Brenda Ramirez of CVEAS, INC on behalf of Mandeep Kaushal and pertains to 2.22 acres of property located at 121 W. North Ave.
APN: 329-020-33 and is zoned BP with a planned land use of business

The applicant is requesting authorization to:

Construct a new 100'x49' metal building.

The proposed development will consist of
A new metal building to be used as a truck repair garage.

The existing site currently consists of a house with 0 existing parking spaces
The proposed hours of operation are from 8am to 6pm on Monday - Friday
Other facts pertinent to this project are as follows:

The project site is partially developed. The existing house on site is to remain.

- Project Narrative:** *(communicate in detail all characteristics of your project; provide as much detail as possible; include basic information such as applicant/project name, business, product or service, anticipated traffic- customers, deliveries, etc., any special events, number of employees, required equipment, on-site storage, demolition or adaptive reuse of existing structures, noise generation, any hazardous materials, etc.)*

The undeveloped part of the lot is to be improved to accommodate the metal building. New parking will be incorporated to the site, 3 standard stalls, 2 ADA, and 9 truck parking stalls. There will be a new trash enclosure constructed meeting City's standards. New lighting will be added following the parking layout. The site is to be gated and surrounded by a 7' high block wall.
Business hours will be from 8am-6AM. There will be 4 employees.
The shop will mainly be used for oil changes and tire repairs. Most of the parking spaces will be used by clients getting repairs or by the owner's personal trucks.
No demolition is anticipated.



2600 Fresno Street-Third Floor
Fresno, California 93721-3604
(559) 621-8277

Planning & Development Department

Jennifer K. Clark, AICP, HDFP
Director

Letter of Owner Authorization

Name and Address of Owner(s) of the Property

Name: Mandeep Kaushal

Address: 121 West North Ave.

City: Fresno State: CA Zip Code: 93706

Phone: 559-495-8803 Email: deepkaushal84@gmail.com

To Whom It May Concern:

As owner(s) of the property located at 121 West North Ave.

I/we authorize Brenda Ramirez to act as Agent for the following permits:

Truck Maintenance Shop @

121 West North Ave.

Sincerely,

Mandeep Kaushal
Owner's Printed Name

[Signature]
Owner's Signature

10/19/22
Date