

SEE SHEET A1-1 FOR CONTINUATION

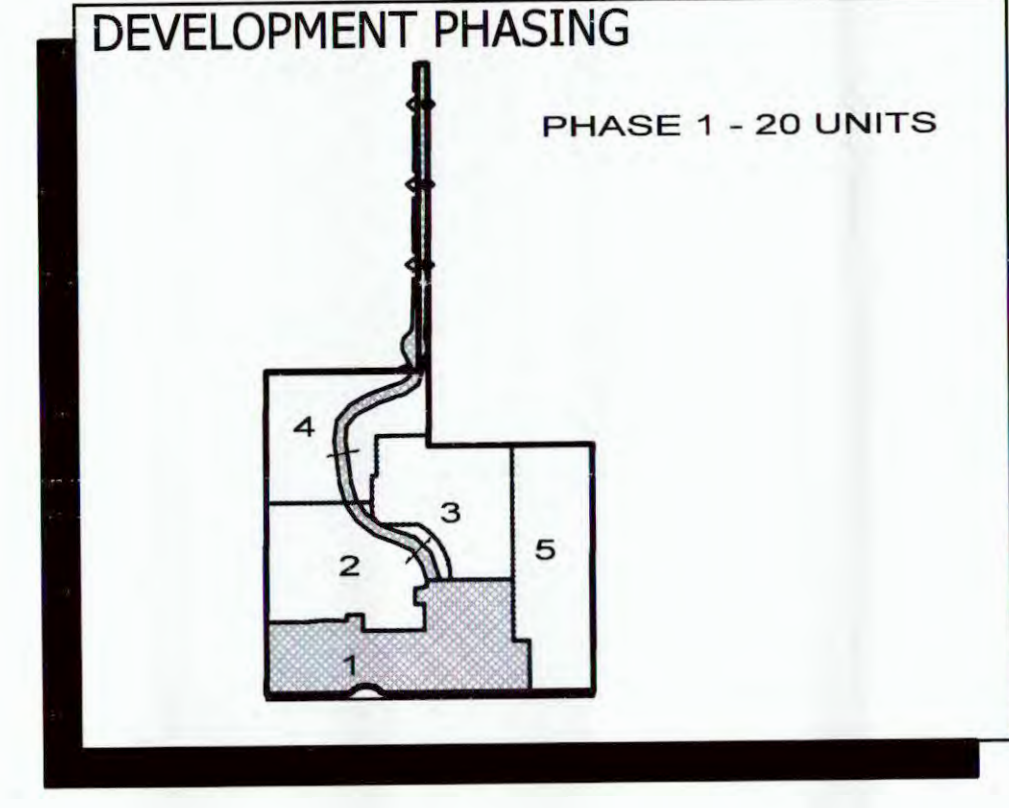
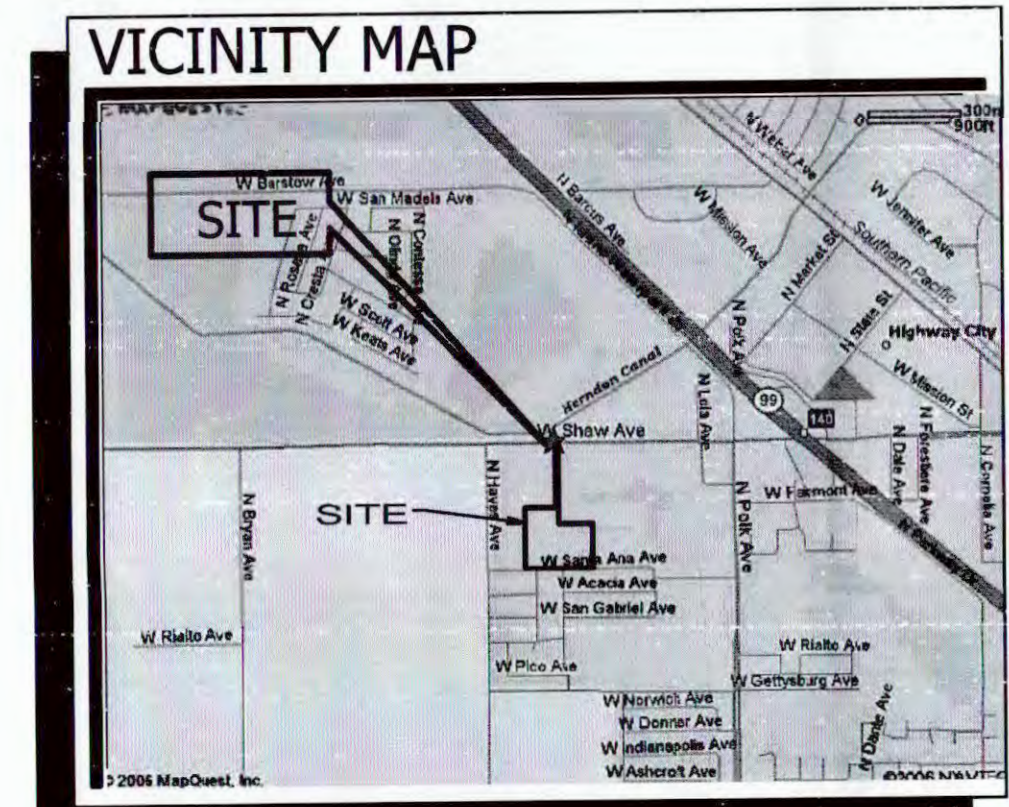
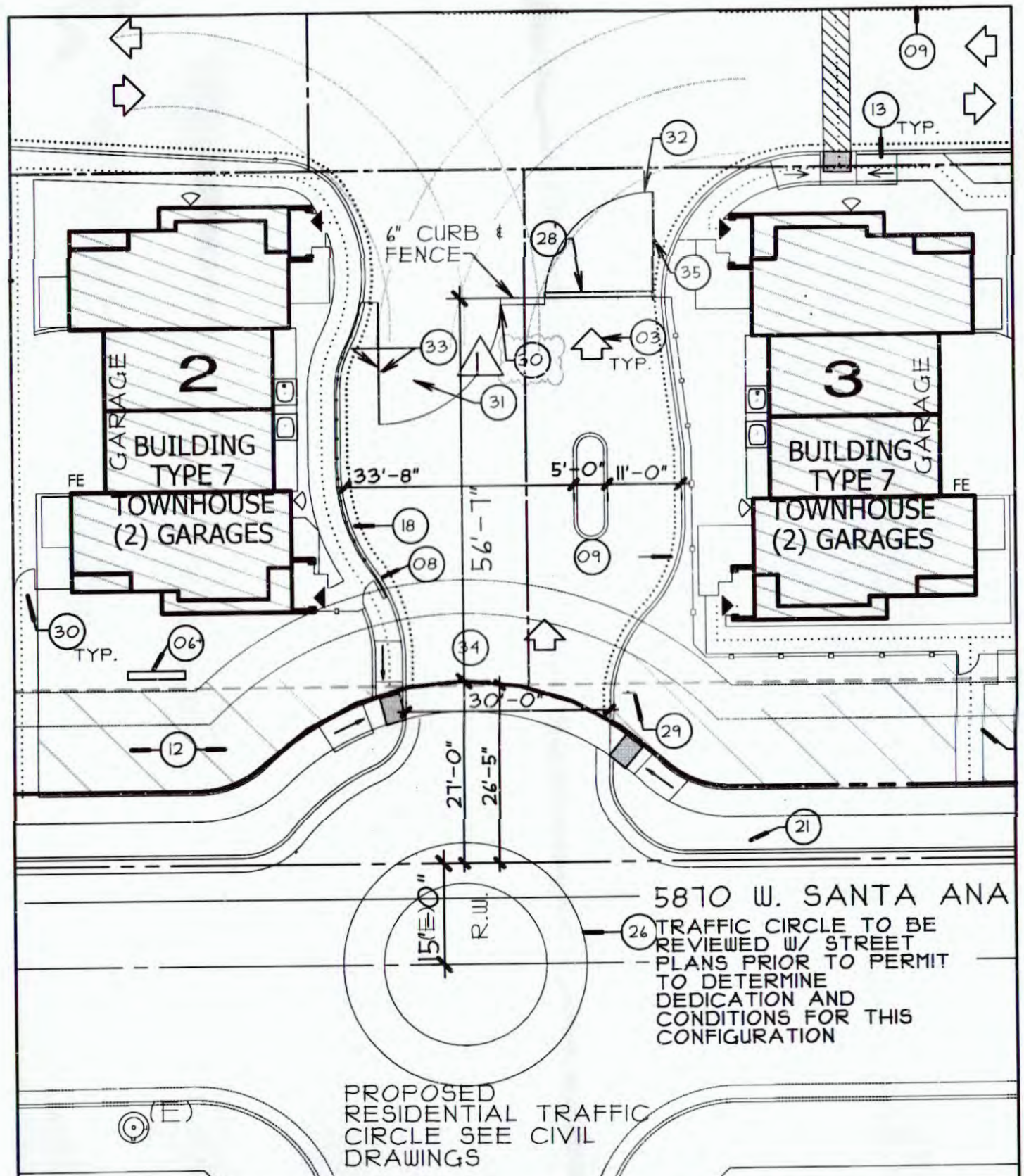
SJVAPCD CONSTRUCTION ACTIVITY MITIGATION MEASURES:

LIMIT AREA SUBJECT TO EXCAVATION, GRADING, AND OTHER CONSTRUCTION ACTIVITY AT ANY ONE TIME. LIMIT THE HOURS OF OPERATION OF HEAVY DUTY EQUIPMENT AND/OR THE AMOUNT OF EQUIPMENT IN USE. REPLACE FOSIL-FUELED EQUIPMENT WITH ELECTRICALLY DRIVEN EQUIVALENTS (PROVIDED THEY ARE NOT RUN IN A PORTABLE OR SET MODE). REQUIRE THAT ALL DIESEL ENGINES BE SHUT OFF WHEN NOT IN USE TO REDUCE EMISSIONS FROM IDLING. CURTAIL CONSTRUCTION DURING PERIODS OF HIGH AMBIENT POLLUTANT CONCENTRATIONS. THIS MAY INCLUDE ROADWAYS, AND SPARE THE AIR DAYS DECLARED BY THE DISTRICT. IMPLEMENT ACTIVITY MANAGEMENT (E.G. RESCHEDULING ACTIVITIES TO REDUCE SHORT-TERM IMPACTS). DURING THE 3000 BEAR ROAD IMPROVEMENT PROJECT CONSTRUCTION PERIOD TO MINIMIZE THE OFF ROAD TRUCKS SHOULD BE EQUIPPED WITH ON-ROAD ENGINES WHEN POSSIBLE. MINIMIZE OBSTRUCTION OF TRAFFIC ON ADJACENT ROADWAYS.

BUILDING TYPE IDENTIFICATION

TYPE	BED	GARAGE	UNIT COUNT	# OF TOWNHOUSES	4+ GARAGES	2-3 GARAGES	PATIO	BUILDING
1	2	REAR	2-FLX	1	4/3	1/20	15	5/21
2	2	REAR	2-FLX	1	3/24	4/0	14	5/20

THE HIGHLIGHTED ROOMS ARE THE PROJECT SITE.

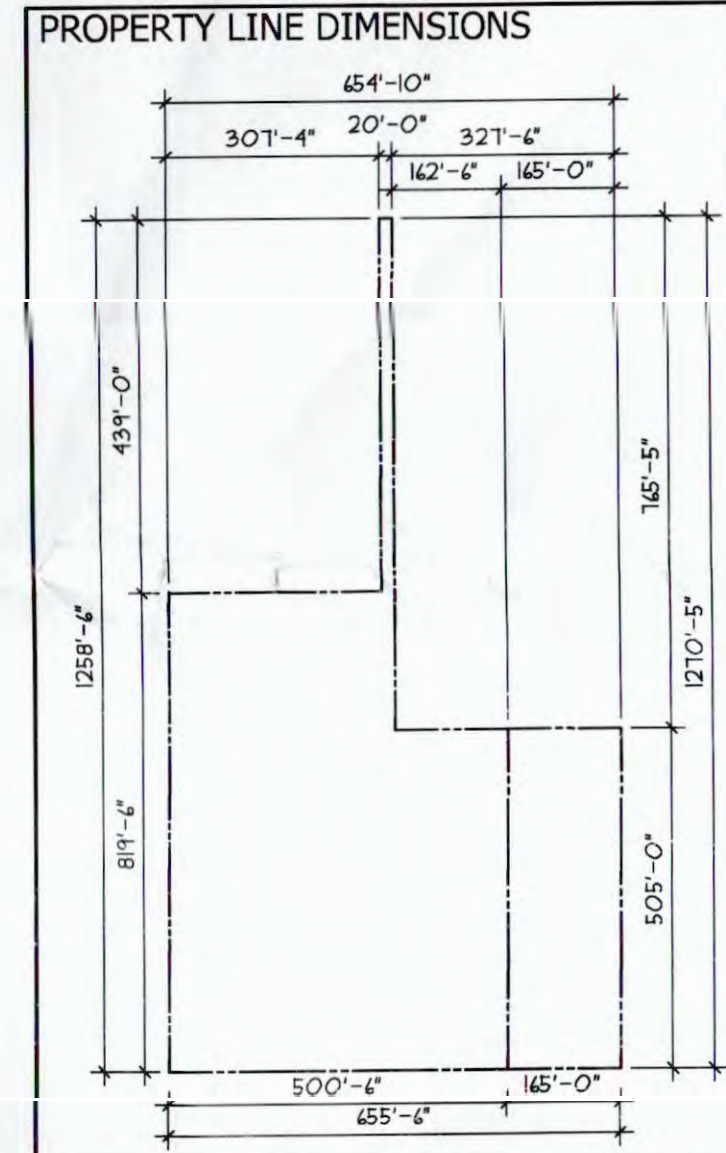
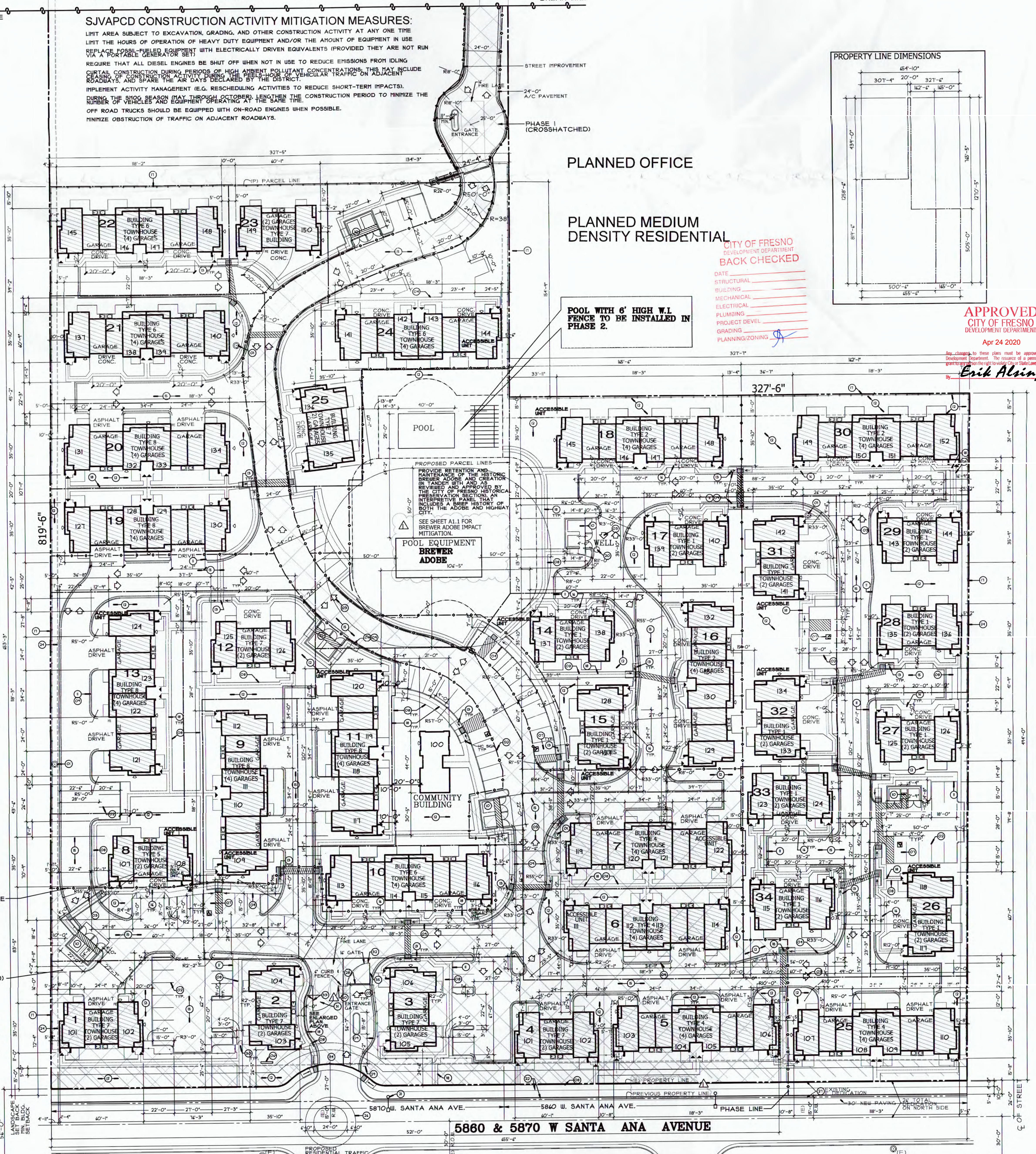


SEE SHEET A1-2 FOR PHASE I SITE PLAN

APPROVED BY: *Arduin* DATE: 9-20-19
 TRAFFIC ENG. DATE: 9-20-19
 CIVIL ENG. DATE: 9-20-19
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

PARKING DURING PHASING

PHASE	# OF UNITS	REQUIRED	PROVIDED	TOTAL
1	20	30	38	38
TOTAL	20	30	38	



SITE KEYNOTES

- PROVIDE 2500 GPM FIRE HYDRANTS PER PUBLIC WORKS STANDARD WITH TWO SOURCES OF WATER.
- PAINTED PARKING STALL STRIPE
- PAINTED DIRECTION ARROW
- CURB, GUTTER & WALK PER PUBLIC WORKS STDS.
- DELETED
- DELETED
- HANDICAP PARKING STALL SEE DETAIL 5 46/AS-1 CONCRETE WALK
- FIRE LANE - RED CURB 1/2"
- TRANSIT ENCLOSURE WITH 4" THICK CONCRETE PAD, TYP.
- 6" CONCRETE CURB
- LANDSCAPE AREA SEE SHEET LU
- APPROXIMATE DASH SEE DETAIL 38/AS-1
- DELETED
- ASPHALT PAVING PER PUB STD P-22, P-23, P-24 CROSS SLOPE NOT TO EXCEED 1/20. TYPICAL
- 4" HIGH WOOD FENCE ALONG THE EAST, WEST, AND NORTH PROPERTY LINES
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC RIGHT OF WAY
- DELETED
- ABANDON (E) WELL AND CAP PER CITY OF FRESNO REQUIREMENTS
- INSTALL STREET LIGHTS ON ALL FRONTS TO CITY STANDARDS AS DETERMINED BY THE CITY TRAFFIC ENGINEER. STREET LIGHTING PLANS ARE REQUIRED AND MUST BE PROVIDED BY THE APPLICANT. DISAPPEARING CURBING SERVICES PRIOR TO CONSTRUCTION
- CONSTRUCT CURB GUTTER SIDEWALK 4" PAVING TO PUB STD P-5 & P-50
- CONSTRUCT A 30' APPROACH PER PUB STD P-2 P-4
- 5' BUILDING SETBACK
- 4' HIGH VIEW FENCE
- CONSTRUCT A TRAFFIC CIRCLE SUBMIT FOR APPROVAL
- EXISTING STREET DEDICATION
- DIRECTIONAL TRAFFIC SPIKE CONTROLLER
- PROVIDE 17X22" SIGN AT ALL PUBLIC INTERSECTIONS. SIGNAGE SHALL BE PROVIDED BY THE APPLICANT. SIGNAGE SHALL BE REMOVED AT OWNERS RISK - 2248 CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 42-3200
- PROVIDE APPROVED POLICE/FIRE BYPASS LOCK. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER SWITCH MODEL WITHIN DRIVE ACCESS GARAGE. ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY THE APPLICANT. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER LOCK WITH 2" THICK CONCRETE PAD IN PLACE OF THE BEST PRACTICE MODEL 2000 SERIES. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER SWITCH OR THE BEST PRACTICE MODEL 2000 SERIES. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER SWITCH OR THE BEST PRACTICE MODEL 2000 SERIES. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER SWITCH OR THE BEST PRACTICE MODEL 2000 SERIES.
- ELECTRICAL SERVICES SHALL BE PROVIDED BY THE APPLICANT. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER SWITCH OR THE BEST PRACTICE MODEL 2000 SERIES. PROVIDE APPROVED MODEL 2000 SERIES OR ELECTRIC CYLINDER SWITCH OR THE BEST PRACTICE MODEL 2000 SERIES.
- RESIDENT GATE (ENTRANCE ONLY)
- SIGN MOUNTED ON GATE ENTRY/EXIT FOR EMERGENCY VEHICLE ACCESS ONLY
- PROPOSED STREET TYPE APPROACH PER PUB STD P-2
- SIGN MOUNTED ON GATE "NO EXIT" 12" HIGH LETTERS
- LOCATION OF FIRE EXTINGUISHER IN CABINET 2A-1000
- ON SITE LIGHTING
- BUILDING ENTRY
- TOTAL OF 10 THE 1/2" OUTLET SHALL FACE THE ACCESS
- FIRE LANE RED CURB WITH "FIRE LANE" IN 3" HIGH LETTERS EVERY 50'
- 1-HOUR FIRE RATED PARTITION WALLS 022 SEE SHEET FC-4 FOR MORE INFORMATION

SITE NOTES

- PAVING SHALL BE CONSISTENT WITH CITY OF FRESNO IMPROVEMENT STANDARDS.
- WHERE BACKUP IS LESS THAN 2" PROVIDE 5' MINIMUM OVERHANG. TYPICAL
- FIRE HYDRANTS SHALL BE TESTED AND APPROVED AND ALL ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- CROSS SLOPE OF ALL LANDINGS, RAMPS AND/OR WALKS TO BE 1/4" PER FOOT MAX.
- 3'-0" MIN. WALK AT SINGLE UNIT ENTRY.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET SURFACES DETERMINED BY THE CITY OF FRESNO PRIOR TO CONSTRUCTION.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS SHALL BE LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 424-2424.
- DEEDS OF EASEMENTS FOR THE REQUIRED CHANGES SHALL BE ENGINEERED AND SUBMITTED TO THE CITY OF FRESNO PRIOR TO COMMENCEMENT OF CONSTRUCTION PRIOR TO ISSUANCE OF BUILDING PERMITS.
- SEE SHEET A-1 FOR FIRE DEPARTMENT NOTES

PROJECT DATA

PROJECT OWNER: NAZEN AL-HENDI SUITE 103
 1551 104-100
 FRESNO, CA 93722

PROJECT ADDRESS: 5860 & 5870 W. SANTA ANA AVE
 FRESNO, CA 93722

APN #: 31140-04 & 31140-003

ZONING: R-2 UNIT/2100 SQ. FT. MAX. BUILDING HEIGHT: 35' MAX.

SETBACKS: FRONT: 20' SIDE: 5' REAR: 5'

ALLOWABLE UNITS:
 (50'-0" x 40'-0" = 332,000 SQ. FT.) +
 (40'-0" x 30'-0" = 330,000 SQ. FT.) =
 662,000 SQ. FT. / 2,100' = 315 UNITS MAX.

LOT SIZE (NET) : 8.1 ACRES
 AREA : 381,948 SQ. FT.
 LOT COVERAGE : 381,948 SQ. FT.
 2 PLEX: 381,948 SQ. FT. x 50% = 190,974 SQ. FT. ALLOWABLE
 2 PLEX: (1) 2 BED. APARTMENTS: 17,452 SQ. FT. (INT. UNITS)
 (1) 3 BED. APARTMENTS: 17,452 SQ. FT. (INT. UNITS)
 4 PLEX: (1) 2 BED. APARTMENTS: 17,452 SQ. FT. (INT. UNITS)
 (1) 3 BED. APARTMENTS: 17,452 SQ. FT. (INT. UNITS)
 (1) 3 BED. APARTMENTS: 20,171 SQ. FT. (INT. UNITS)
 (1) 3 BED. APARTMENTS: 13,360 SQ. FT. (INT. UNITS)

GARAGE: (1) 2 GARAGES: 3180 SQ. FT. TOTAL 143,480 SQ. FT.
 190,974 SQ. FT. / 143,480 SQ. FT. O.K.

USEABLE OPEN SPACE : 25%
 OPEN SPACE PROVIDED : 50.4%
 188,951 SQ. FT. / 143,480 SQ. FT. O.K.

PARKING DATA:

PARKING REQUIRED (1) 102 UNITS x 1.5 STALLS PER UNIT = 153 STALLS (1 COVERED STALL PER UNIT)
 PARKING PROVIDED (1) 153 STALLS PER UNIT COVERED STALLS (GARAGES)
 102 GARAGES = 102 STALLS
 UNCOVERED STALLS (INCL. 4 H/C) = 51 STALLS
 TOTAL STALLS PROVIDED = 153 STALLS

BUILDING DATA:

TOTAL NO. OF UNITS: 102 UNITS
 BUILDING HEIGHT: 35'-0" MAX.

SITE PLAN
 SCALE: 1"=30'-0"

SITE PLAN

MICHAEL D. JUNDT S.E. 63396
 TERRY MOORE P.E. 56592
 JAMES GLINN C9269

CASA DI FORTUNA
 architecture
 engineering
 forensic science

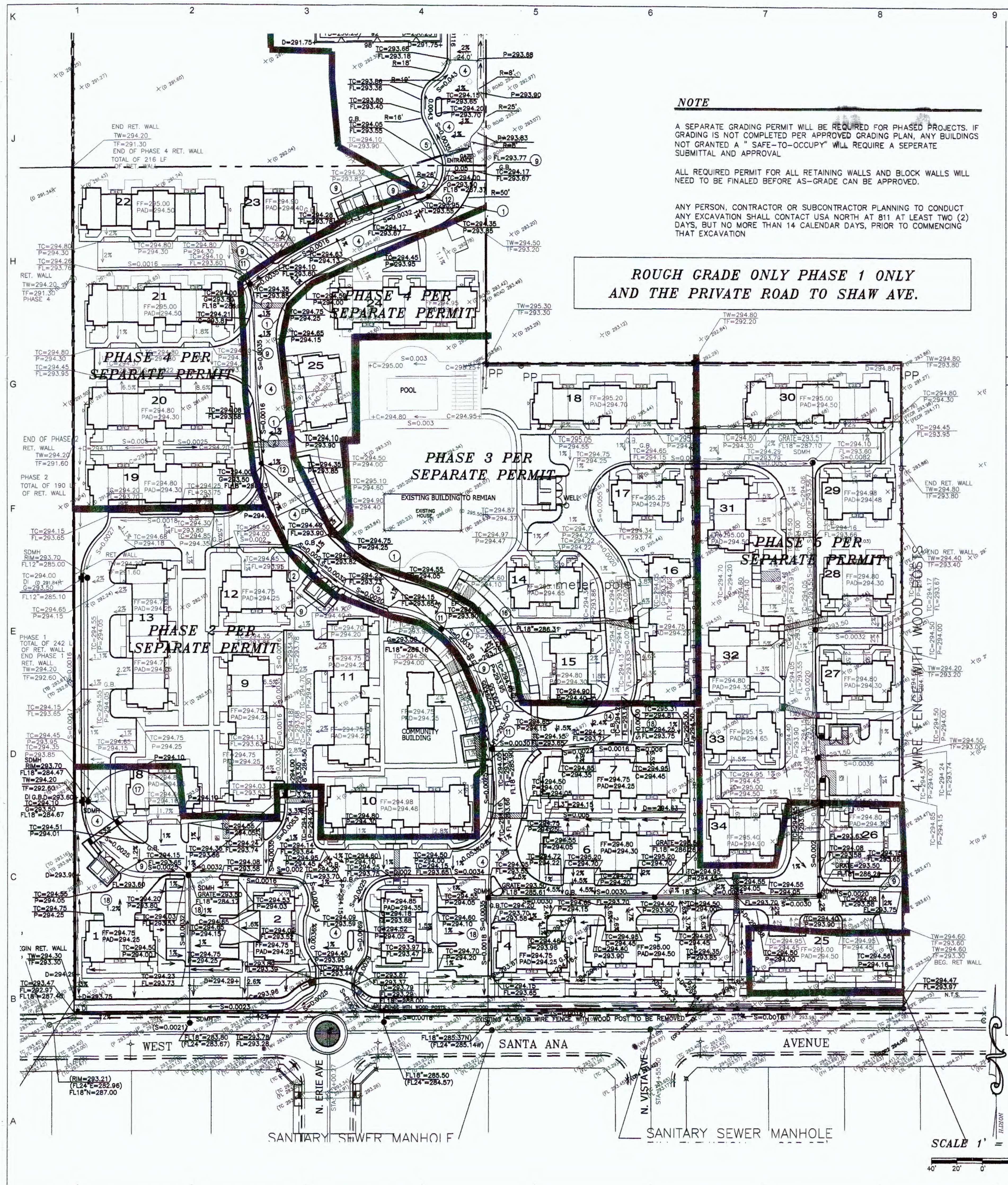
ASSOCIATED DESIGN AND ENGINEERING INC.
 351 WEST CROMWELL AVE. SUITE 108 ■ FRESNO, CA 93711 ■ OFFICE: 559.431.2389 ■ FAX: 555.431.2074 ■ office@adecinc.biz ■ http://adecinc.biz

REVISIONS

NO.	DESCRIPTION	DATE
1	PLAN CHECK	9-5-19

A1.0

JOB NO. M15001SITE
 DATE 8/17/2019



NOTE

A SEPARATE GRADING PERMIT WILL BE REQUIRED FOR PHASED PROJECTS. IF GRADING IS NOT COMPLETED PER APPROVED GRADING PLAN, ANY BUILDINGS NOT GRANTED A "SAFE-TO-OCCUPY" WILL REQUIRE A SEPARATE SUBMITTAL AND APPROVAL.

ALL REQUIRED PERMIT FOR ALL RETAINING WALLS AND BLOCK WALLS WILL NEED TO BE FINALED BEFORE AS-GRADE CAN BE APPROVED.

ANY PERSON, CONTRACTOR OR SUBCONTRACTOR PLANNING TO CONDUCT ANY EXCAVATION SHALL CONTACT USA NORTH AT 811 AT LEAST TWO (2) DAYS, BUT NO MORE THAN 14 CALENDAR DAYS, PRIOR TO COMMENCING THAT EXCAVATION

ROUGH GRADE ONLY PHASE 1 ONLY AND THE PRIVATE ROAD TO SHAW AVE.

NOTES

- AT THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MATERIAL TYPE FOR ALL EXISTING UNDERGROUND UTILITIES ON SITE, ACROSS THE SITE AND AT THE INDICATED POINTS OF CONNECTION. IF THE EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN THE CONTRACTOR SHALL NOTIFY RHL IMMEDIATELY. THE CONTRACTOR SHALL VERIFY THAT THE NEW UTILITY SERVICE WILL MEET THE INDICATED PIPE SIZES.
- ALL WORK SHALL BE PER OSHA AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE CITY AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY EXCEPT FOR THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
- NEW CONCRETE PAVING TO BE SEALED ENTIRELY WITH C & L COATING W/8-4 AQUA-CRETE. SEAL ALL CONCRETE JOINTS PER CLIENTS REPRESENTATIVE'S DIRECTION.

GENERAL NOTES

- PAD ELEVATIONS ARE DEPENDENT UPON THICKNESS OF FLOOR SYSTEMS SPECIFIED BY BUILDING ARCHITECT'S. FINISHED GRADE SHALL BE 8 INCHES BELOW BUILDING FINISHED FLOOR. MAINTAIN A MINIMUM OF 2% SLOPE AWAY FROM BUILDING FOR A MINIMUM OF 10 FEET OR TO TOP OF ADJACENT CURB.
- ALL GRADING SHALL COMPLY WITH CHAPTER 33 OF THE 2016 CALIFORNIA BUILDING CODE.
- CONTRACTOR TO PROVIDE COMPACTING REPORTS, FOR ALL LOOSE FILLS, PREPARED BY AN APPROVED TESTING AGENCY.
- ESTIMATED GRADING QUANTITIES: FOR THE OVERALL PROJECT:
CUT 28,700 CU. YDS. FILL 39,000 CU. YDS.
PHASE 1 QUANTITIES: CUT 8200 CU. YDS. FILL 14500 CU. YDS.
NOTE: GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL BID QUANTITIES. 'R' VALUE FOR IMPORT BORROW TO BE 50 OR ABOVE.
- PROVIDE THE CITY OF FRESNO WITH "AS GRADED" PLANS UPON COMPLETION OF GRADING, AND BEFORE BUILDING PERMITS ARE OBTAINED. PRIOR TO FINAL OCCUPANCY.
- ANY VERTICAL CUT OR FILL DIFFERENTIAL EQUAL TO OR GREATER THAN TWELVE (12) INCHES BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL. DIFFERENTIALS LESS THAN TWELVE (12) INCHES ARE TO HAVE A MAXIMUM SLOPE OF ONE (1) VERTICAL TO TWO (2) HORIZONTAL.
- THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT AND PAY THE PLAN FEE PRIOR TO GRADING.
- SUBGRADE TO BE COMPACTED TO 95% RELATIVE COMPACTION BASED ON ASTM D-1557-78. PROVIDE THE CMMH COMPACTION REPORTS PREPARED BY A CITY APPROVED TESTING AGENCY.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF WORK SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR DUST CONTROL FOR THE DURATION OF THE WORK. DUST CONTROL MEASURES SHALL BE FULLY AND ADEQUATELY CARRIED OUT ON WEEKDAYS, WEEKENDS AND HOLIDAYS, AND WHEN NECESSARY, BEFORE AND AFTER NORMAL WORKING HOURS.
- THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF THE SPECIFICATIONS ENTITLED CITY OF FRESNO, REVISED, IN SO FAR AS THE SAME, MAY APPLY, WHICH SPECIFICATIONS, HEREIN AFTER ARE REFERRED TO AS THE STANDARD SPECIFICATIONS.
- A "HOLD ON OCCUPANCY" WILL BE IN EFFECT UNTIL SUCH TIME AS THIS DEVELOPMENT IS CERTIFIED "AS GRADED" BY THE CITY OF FRESNO.
- 48 HOURS BEFORE EXCAVATING CALL U.S.A. TOLL FREE (800) 642-2444 UNDERGROUND SERVICE ALERT.
- COMPACTION REPORT TO BE PREPARED BY AN APPROVED TESTING AGENCY THIS GRADING PLAN IS FOR APPROVAL OF ON-SITE ELEVATIONS ONLY. THE ELEVATIONS SHOWN WITH IN THE PUBLIC RIGHT-OF-WAY REQUIRE SEPARATE PUBLIC WORKS DEPARTMENT APPROVAL & PERMIT. ANY NOTES THAT APPLY TO THE PUBLIC RIGHT-OF-WAY ARE FOR ARE FOR REFERENCE ONLY. IF ON-SITE ELEVATIONS SHOWN DO NOT CONDUCE WITH APPROVED STREET PLANS, AN APPROVED AMENDMENT IS REQUIRED.
- THESE PLANS ARE FOR ON-SITE WORK ONLY. OFF-SITE WORK ARE BY OTHER PLANS AND PERMITS
- ALL GRADING WORK SHALL COMPLY WITH ALL RECOMMENDATION AND SPECIFICATIONS AND REQUIREMENT IN SOIL REPORT PREPARED BY SALEM ENGINEERING GROUP PROJECT NO 1-216-503 DATED MAY 26, 2016.
- OVER EXCAVATE BUILDING PAD AREA TO A MIN. DEPTH OF 2 FEET BELOW STRIPPED GROUND SURFACE. OVER EXCAVATION SHOULD EXTEND A MIN. OF 5 FEET BEYOND THE PERIMETER OF THE BUILDING. PER THE SOIL REPORT PREPARED BY SALEM ENGINEERING GROUP DATED MAY 26, 2016.
- ALL PARKING AND BUILDING AREA SHOULD BE SCARIFIED TO A MIN. DEPTH OF SIX INCHES, AS SPECIFIED IN SOIL REPORT PREPARED BY SALEM ENGINEERING GROUP DATED MAY 16, 2016.
- A SEPARATE GRADING PERMIT WILL BE REQUIRED FOR PHASED PROJECTS. IF GRADING IS NOT COMPLETED PER APPROVED GRADING PLAN, ANY BUILDINGS NOT GRANTED A "SAFE-TO-OCCUPY" WILL REQUIRE A SEPARATE SUBMITTAL AND APPROVAL

LEGEND

0.00 (E) OR (0.00)	EXISTING SPOT ELEVATION		
0.00	PROPOSED ELEVATION		
N 0° 0' 00" W	DIRECTION OF DRAINAGE FLOW		
G.B.	GRADE BREAK		
	LIMIT OF WORK		
	EXISTING DRAIN INLET		
BW	BACK OF WALK	LIP	EDGE OF SWALE OR GUTTER
FG	FINISH GRADE	TC	TOP OF CURB
FL	FLOW LINE	TG	TOP OF GRATE
GB	GRADE BREAK	TW	TOP OF WALL
IE	INVERT ELEVATION	FS	TOP OF SLAB
EG	EXISTING GRADE	(E)	EXISTING WALL HEIGHT
FH	FIRE HYDRANT	H	ROOF DRAIN
HP	HIGH POINT	C/P	CONCRETE MEETS PAVEMENT
TF	TOP OF FOOTING	C	CONCRETE
TF	TOP OF FOOTING	G	GUTTER
CB	CATCH BASIN	PAD	DIRT PAD
		FF	FINISHED FLOOR
		D	DIRT
		P	FINISHED PAVEMENT ELEVATION

PHASE MAP

- CONSTRUCT CONCRETE CURB PER DETAIL 6 ON SHEET C-9.
- CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL 9 ON SHEET C-9.
- CONSTRUCT DRIVEWAY PER SEPARATE OFF-SITE STREET PLANS.
- CONSTRUCT HEAVY AC PAVEMENT SECTION PER DETAIL 7 ON SHEET C-9
- CONSTRUCT FENCE AND GATES PER ARCHITECTURAL PLANS AND DETAILS
- EXISTING FENCE TO REMAIN, BELONG TO ADJACENT PROPERTY'S OWNERSHIP.
- CONTRACTOR TO OBTAIN ENCROACHMENT PERMIT FROM THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT PRIOR TO ANY OFF-SITE WORK
- CONSTRUCT 3' WIDE DIRT SWALE AT MIN SLOPE S=0.005 PER DETAIL 2 ON SHEET C-9.
- CONSTRUCT 4 FEET WIDE VALLEY GUTTER PER DETAIL 13 ON SHEET C-9
- INSTALL 18" R.C.P.R.G. CL 4 AT MIN. SLOPE S=0.003 PER FMFCD (TOTAL OF 180 LF)
- CONSTRUCT 48" STORM DRAIN MANHOLE WITH OPEN GRATE PER FMFCD STANDARD TYPE E. (TOTAL OF 6 MANHOLE)
- CONSTRUCT STORM DRAIN INLET PER FMFCD STANDARD TYPE D (TOTAL OF 1 INLET)
- REMOVE ANY EXISTING UNDERGROUND SEPTIC TANK IF ANY PER FRESNO COUNTY HEALTH DEPT. REQUIREMENT.
- REMOVE ANY EXISTING UNDERGROUND OLD IRRIGATION SYSTEM.
- REMOVE ANY EXISTING OLD FENCE CROSSING THE SITE
- INSTALL TEMP. CONC. AND MORTAR PLUG AT THE END OF 18" PIPE (TOTAL OF 3 PLUGS)
- BUILDING PAD FOR BUILDING 8 TO BE BUILT AT A FUTURE PHASE 2
- CONSTRUCT LIGHT AC PAVEMENT SECTION IN CAR PARKING LOT AREAS PER DETAIL 8 ON SHEET C-9

APPROVED
CITY OF FRESNO
DEVELOPMENT DEPARTMENT
Apr 24 2020
Any changes to these plans must be approved by the Development Department. The issuance of a permit does not grant to any person the right to violate City or State laws.
By Erik Alsing

NEW SUBMITTAL AND NEW PERMIT WILL BE REQUIRED FOR PHASE 2, PHASE 3, PHASE 4 AND PHASE 5

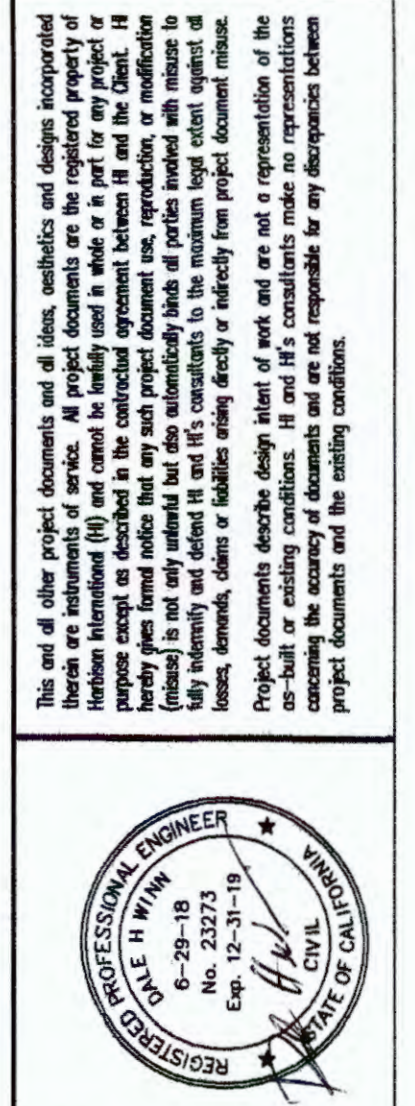
OVERALL GRADING AND DRAINAGE PLAN
VESTING SUBDIVISION MAP
OF
TRACT 5608
PLANNED UNIT DEVELOPMENT
CITY OF FRESNO
FRESNO COUNTY, CALIFORNIA

All on site utility and street are private
SEE SHEET 4 FOR PHASE 1 FINAL GRADING

SCALE 1" = 40'

PLOT DATE: 10-04-17 JOB. NO.: 16-101

CUP: C-06-252
GRADING PERMIT NO.17-12803

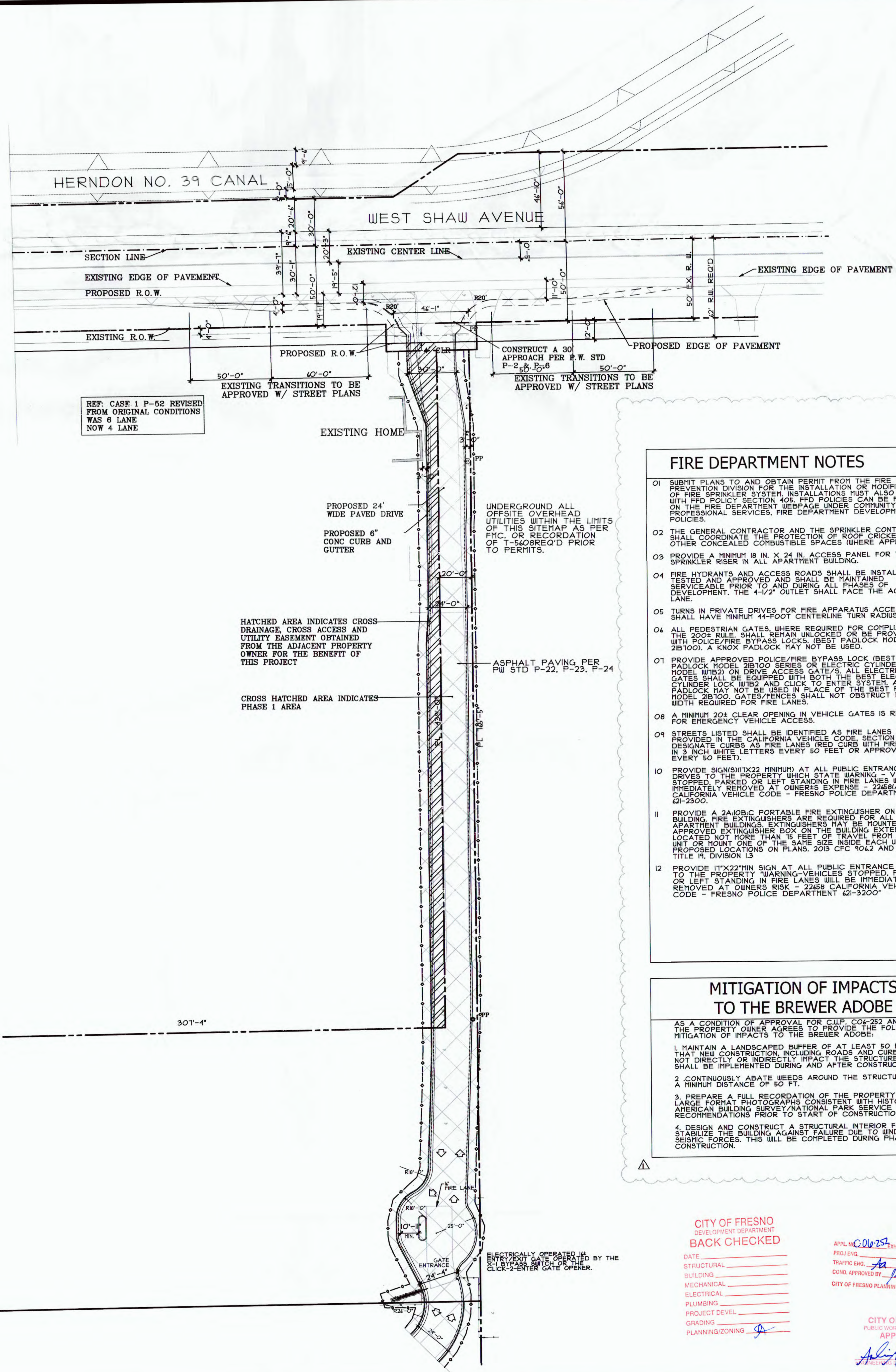


HARBISON INTERNATIONAL INC.,
ENGINEERS - SURVEYORS - PLANNERS
2755 E. SHAW AVE., SUITE 101, FRESNO, CA 93710
PHONE: (559) 294-7485 FAX: (559) 294-7481



VESTING SUBDIVISION TRACT 5608
PLANNED UNIT DEVELOPMENT
MASTER GRADING PLANS
FRESNO, CALIFORNIA

REVISIONS	Date
No.	Date
Drawn: JMM	Approved: MAH
Project No. 16-101	Date: 2-13-17
Date: 5-25-17	Date: 9-05-17
Date: 9-05-17	Date: 10-4-17
Date: 11-24-17	Date: 3-14-18
Title	GRADING PLAN
Sheet No.	C-3
	OF 10 SHEETS



REF. CASE 1 P-52 REVISED FROM ORIGINAL CONDITIONS WAS 6 LANE NOW 4 LANE

- ### FIRE DEPARTMENT NOTES
- SUBMIT PLANS TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION FOR THE INSTALLATION OR MODIFICATION OF FIRE SPRINKLER SYSTEM INSTALLATIONS MUST ALSO COMPLY WITH FPD POLICY SECTION 405. FPD POLICIES CAN BE FOUND ON THE FIRE DEPARTMENT WEBSITE UNDER COMMUNITY AND PROFESSIONAL SERVICES, FIRE DEPARTMENT DEVELOPMENT POLICIES.
 - THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF CRICKETS OR OTHER CONCEALED COMBUSTIBLE SPACES (WHERE APPLICABLE).
 - PROVIDE A MINIMUM 18 IN. X 24 IN. ACCESS PANEL FOR THE FIRE SPRINKLER RISER IN ALL APARTMENT BUILDING.
 - FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED, TESTED AND APPROVED AND SHALL BE MAINTAINED SERVICEABLE PRIOR TO AND DURING ALL PHASES OF DEVELOPMENT. THE 1/2" OUTLET SHALL FACE THE ACCESS LANE.
 - URNS IN PRIVATE DRIVES FOR FIRE APPARATUS ACCESS SHALL HAVE MINIMUM 44-FOOT CENTERLINE TURN RADIUS.
 - ALL PEDESTRIAN GATES, WHERE REQUIRED FOR COMPLIANCE OF THE 2002 RULE, SHALL REMAIN UNLOCKED OR BE PROVIDED WITH POLICE/FIRE BYPASS LOCKS. (BEST PADLOCK MODEL 2100). A KNOX PADLOCK MAY NOT BE USED.
 - PROVIDE APPROVED POLICE/FIRE BYPASS LOCK (BEST PADLOCK MODEL 2100 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1102) ON DRIVE ACCESS GATES. ALL ELECTRIFIED GATES SHALL BE EQUIPPED WITH BOTH THE BEST ELECTRICAL CYLINDER LOCK 1102 AND CLICK TO ENTER SYSTEM. A KNOX PADLOCK MAY NOT BE USED IN PLACE OF THE BEST PADLOCK MODEL 2100. GATES/FENCES SHALL NOT OBSTRUCT MINIMUM WIDTH REQUIRED FOR FIRE LANES.
 - A MINIMUM 20' CLEAR OPENING IN VEHICLE GATES IS REQUIRED FOR EMERGENCY VEHICLE ACCESS.
 - STREETS LISTED SHALL BE IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE SECTION 22500.1. DESIGNATE CURBS AS FIRE LANES (RED CURB WITH FIRE LANE IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGNS EVERY 50 FEET).
 - PROVIDE SIGN(S) (1'X2'2" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY WHICH STATE WARNING - VEHICLES STOPPED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNERS EXPENSE - 2268(A) CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 42-2200.
 - PROVIDE A 2A10B-C PORTABLE FIRE EXTINGUISHER ON EACH BUILDING. FIRE EXTINGUISHERS ARE REQUIRED FOR ALL R-2 APARTMENT BUILDINGS. EXTINGUISHERS MAY BE MOUNTED IN AN APPROVED EXTINGUISHER BOX ON THE BUILDING EXTERIOR LOCATED NOT MORE THAN 15 FEET FROM EACH UNIT OR POINT ONE OF THE SAME SIZE INSIDE EACH UNIT. SHOW PROPOSED LOCATIONS ON PLANS. 2013 CFC 40K2 AND CCR, TITLE 19, DIVISION 13.
 - PROVIDE 1'X2'2" MIN SIGN AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY "WARNING-VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNERS RISK - 2268 CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 42-3200"

- ### MITIGATION OF IMPACTS TO THE BREWER ADOBE
- AS A CONDITION OF APPROVAL FOR CULP, COI-252 AND T-5408 THE PROPERTY OWNER AGREES TO PROVIDE THE FOLLOWING MITIGATION OF IMPACTS TO THE BREWER ADOBE:
- MAINTAIN A LANDSCAPED BUFFER OF AT LEAST 50 FEET SO THAT NEW CONSTRUCTION, INCLUDING ROADS AND CURBS, WILL NOT DIRECTLY OR INDIRECTLY IMPACT THE STRUCTURE. THIS SHALL BE IMPLEMENTED DURING AND AFTER CONSTRUCTION.
 - CONTINUOUSLY ABATE WEEDS AROUND THE STRUCTURE FOR A MINIMUM DISTANCE OF 50 FT.
 - PREPARE A FULL RECORDATION OF THE PROPERTY USING LARGE FORMAT PHOTOGRAPHS CONSISTENT WITH HISTORICAL AMERICAN BUILDING SURVEY/NATIONAL PARK SERVICE RECOMMENDATIONS PRIOR TO START OF CONSTRUCTION.
 - DESIGN AND CONSTRUCT A STRUCTURAL INTERIOR FRAME TO STABILIZE THE BUILDING AGAINST FAILURE DUE TO WIND AND SEISMIC FORCES. THIS WILL BE COMPLETED DURING PHASE 1 CONSTRUCTION.

APPROVED
CITY OF FRESNO
DEVELOPMENT DEPARTMENT
Apr 24 2020
By: Erik Alving

CITY OF FRESNO
DEVELOPMENT DEPARTMENT
BACK CHECKED

DATE: _____
STRUCTURAL: _____
BUILDING: _____
MECHANICAL: _____
ELECTRICAL: _____
PLUMBING: _____
PROJECT DEVEL: _____
GRADING: _____
PLANNING/ZONING: _____

APPL. NO. C010254
PROJ. ENG. DATE 9-20-19
TRAFFIC ENG. DATE 9-20-19
COND. APPROVED BY DATE 9-20-19
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

CITY OF FRESNO
PUBLIC WORKS DEPARTMENT
APPROVED
DATE 9-20-19

ALL WORK SHOWN ON THIS SHEET SHALL BE COMPLETED IN PHASE 1

EXTENSION OF SITE TO SHAW AVENUE
SCALE 1" = 30'

CASA DI FORTUNA
architecture
engineering
forensic sciences

ASSOCIATED DESIGN AND ENGINEERING INC.
351 WEST CROMWELL AVE. SUITE 108 ■ FRESNO, CA 93711 ■ OFFICE 559.431.2369 ■ FAX 559.431.2074 ■ office@adeinc.biz ■ <http://adeinc.biz>

REGISTERED PROFESSIONAL ENGINEER
MICHAEL B. JUNDT
NO. 5338
EXP. 8-30-19
STRUCTURAL
STATE OF CALIFORNIA

REVISIONS	
▲	PLAN CHECK 10/07/16
▲	
▲	
▲	
▲	

SHEET **A1.1**

JOB NO. M15001SITE
DATE 9/10/2019

MICHAEL D. JUNDT S.E.S33906
TERRY MOORE P.E. 56582
JAMES QUINN C97269