

**GENERAL NOTES:** DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE CONDITIONS OF APPROVAL FOR SITE PLAN REVIEW, ZONING AND AMENDMENT APPLICATIONS, S-X, R-X, AND A-X, RESPECTIVELY AND ALL APPLICABLE ATTACHMENTS, THERE TO.

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL BUILDING AUTHORITIES. NOTICES OF THESE STANDARDS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:
  - 2016 CALIFORNIA BUILDING CODE
  - 2016 CALIFORNIA MECHANICAL CODE
  - 2016 CALIFORNIA ELECTRICAL CODE
  - 2016 CALIFORNIA FIRE CODE
  - 2016 CALIFORNIA ELECTRICAL CODE
  - 2016 CALIFORNIA FIRE CODE
  - 2016 CALIFORNIA ADMINISTRATIVE CODE
  - CITY OF FRESNO ORDINANCES
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN.
- CONTRACTOR IS TO VERIFY ALL EXISTING FIELD DIMENSIONS, CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- PROVIDE A MINIMUM OF 28 DAYS FROM BUILDINGS FOR A DISTANCE OF 5'-0" RIGHT-OF-WAY.
- NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
- ALL CURBS AND GUTTERS TO BE CONSTRUCTED PER CITY OF FRESNO STDS. ALL CURBS AND GUTTERS TO BE CONSTRUCTED PRIOR TO PLACEMENT OF A.C. PAVING.
- THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICES, CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF A.C. PAVING.
- CONTRACTOR TO PROVIDE THE BUILDING DEPT. WITH SOIL COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY FOR ANY FILL AREAS ON SITE.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED BY PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE OFF-SITE CONCRETE STREET SURF AND DRIVEWAYS TO BE IMPASSABLE FOR FIRE APPARATUS. THE PUBLIC DEPARTMENT CONSTRUCTION MANAGEMENT DIVISION (559) 621-2500, PEDESTRIAN PATHS OF TRAVEL, MUST ALLOW 10" CLEARANCE UNDER ALL REGULATIONS. ALL EXISTING SIGNAGE IN EXCESS OF 10" MINIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
- CONTACT SOLID WASTE DIVISION AT 624-1811 FOR CONDITIONS TO ESTABLISH ACCESS AND IMPROVEMENTS REQUIRED AS APPROVED BY PROVIDING DISPOSAL SERVICE.
- WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS ALL EXISTING UNDERGROUND FACILITIES SHALL BE IDENTIFIED BY AN UNDERGROUND SERVICES ALERT (USA) CALL 1-800-642-2444.
- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE TREE DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND ON OCCUPANCY SHALL BE MAINTAINED THROUGHOUT THE DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE DEVELOPMENT SERVICES DIVISION, DEVELOPMENT DEPT.
- NO STRUCTURES OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPED AREAS, INCLUDING UTILITY BOXES, TRANSFORMERS, METER PANS, EXCEPT THE BACKFLOW PREVENTION DEVICES, ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPED AREAS OR SETBACKS OR ON THE STREET FRONTAGES OF THE BUILDINGS. ALL TRANSFORMERS SHALL BE SHOWN ON THE E.T.C. PLAN. THE BACKFLOW DEVICES SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- ON-SITE PAVING AND MARKINGS TO BE PER CITY OF FRESNO PUBLIC WORKS STANDARDS (P-2), P-2, P-2 & P-23.
- WINDOW SIGNS ARE LIMITED TO 4.50 FEET IN AREA. PROVIDING INFORMATION ABOUT HOURS OF OPERATION, EMERGENCY, SALE OR RENTAL INFORMATION ONLY. EXTERIOR BANNERS ANNOUNCING SPECIAL EVENTS SUCH AS GRAND OPENINGS, NEW MANAGEMENT, ARE PERMITTED FOR 30 DAYS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION. ATTACHED TO THE BUILDINGS AND NOT EXCEEDING 30 SQUARE FEET IN AREA.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSEL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATION, OR CONSTRUCTION WORK, SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORNER SHALL BE IMMEDIATELY CONTACTED (559) 268-0099. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS IDENTIFIED AS AMERICAN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION PHONE (916) 653-4052 SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY / SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER PHONE (909) 644-2289 SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO FURTHER SITE INVESTIGATION OR SITE AVOIDANCE / PRESERVATION.
- ANIMAL FOSSELS ARE UNLICENSED. THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- ALL ACCESSIBLE STAIRS SHALL COMPLY WITH CALIFORNIA TITLE 24 AND SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESS AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-07 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON FOOT POLES.
- OPEN STREET CUTS ARE NOT PERMITTED. ALL UTILITY CONNECTIONS MUST BE SLOPED.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT OR STREET CONSTRUCTION PLANS REQUIRED AND APPROVED BY THE CITY ENGINEER. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHTS OF WAY (INCLUDING PEDESTRIAN AND UTILITY EASEMENTS) REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF THE WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
- WALKWAYS CONNECTING ACCESSIBLE ENTRANCES AND OTHER FEATURES CANNOT SLOPE MORE THAN 5% IN THE DIRECTION OF TRAVEL NOR HAVE CROSS SLOPES EXCEEDING 2%.
- CONNECTION TO THE CITY OF FRESNO WATER AND SEWER SYSTEM IS REQUIRED.
- ALL GROUND FLOOR EXTERIOR DOORS SHALL HAVE LEVEL LANDINGS AND CONNECT TO ACCESSIBLE PATHS. WALKWAYS SHALL NOT HAVE CHANGES IN LEVELS GREATER THAN 1/2" UNLESS LEVELS WITH A SLOPE GREATER THAN 1 (VERTICAL) IN 2 (HORIZONTAL). CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A SLOPED SURFACE NOT GREATER THAN 1 (VERTICAL) IN 2 (HORIZONTAL) OR A SLOPE OR BY A RAMP, ELEVATOR, OR SPECIAL ACCESS LIFT.
- A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED. CONTACT WATER DIVISION AT 559-488-6671 FOR REQUIREMENTS. DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED TO INSTALL DEVICE. BACKFLOW PREVENTION DEVICES REQUIRED SHALL BE INSTALLED AT THE CONSUMER'S EXPENSE BY A QUALIFIED JOURNEYMAN PLUMBER CERTIFIED AS COMPETENT FOR SUCH PURPOSES BY THE WATER SYSTEM MANAGER. BACKFLOW DEVICES FOR SUCH PURPOSES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION A MINIMUM OF 5 DAYS PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION.
- THE CONTRACTOR IS REQUIRED TO REQUEST A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL CONTACT THE BUILDING, PLANNING AND ENGINEERING DEPARTMENTS INDIVIDUALLY TO REQUEST A FINAL INSPECTION. INSPECTION REQUESTS SHALL BE MADE TO THE DEPARTMENTS INDIVIDUALLY AT LEAST 24 HOURS IN ADVANCE.
- SEPARATE PERMITS ARE REQUIRED FOR DRAINAGE & GRADING.
- APPROVED CENTRAL STATION MONITORS OF THE FIRE SPRINKLER SYSTEM IS REQUIRED.

**KEYED NOTES:** FOR SHEET A1.1

- CONCRETE CURB AND GUTTER TO REMAIN.
- CONCRETE CURB, GUTTER AND SIDEWALK TO REMAIN. (N) CONCRETE SIDEWALK TO TRANSITION TO EXISTING.
- FIRE HYDRANT TO REMAIN.
- 6'-0" HT. CMU WALL TO REMAIN.
- RELOCATE EXISTING STREET LIGHT ON EXISTING METAL POLE. SEE CIVIL DRAWING FOR NEW LOCATION.
- RAISED MEDIAN WITH CONCRETE CURBS AND (N) LANDSCAPING OR CONCRETE FILL TO REMAIN.
- PAINTED LINES - STREET MARKINGS.
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- CONCRETE CURB, GUTTER, PLANT STRIP, AND SIDEWALK PER PW STD P-5. SIDEWALK TO BE 4'-0" WIDE. SEE CIVIL DRAWINGS.
- ACCESSIBLE PARKING STALLS WITH STRIP LOCATED 5'-0" WEST OF PARALLEL INDICATED, HORIZONTAL CURB RAMP, AND 5'-0" SYMBOL ON PAVEMENT.
- STREET WALK DRIVE APPROACH PER PW STD P-7 AT PROPOSED BULLARD AVENUE.
- DASHED LINE INDICATES 5'-0" MINIMUM SETBACK OF MULTIFAMILY RESIDENTIAL FROM SINGLE FAMILY LOT.
- ACCESSIBILITY SIGN MOUNTED ON POLE AT SITE ENTRY WITH EMERGENCY ACCESS SIGN MOUNTED ON SEPARATE POLE.
- ACCESSIBILITY SIGN MOUNTED ON POLE AT SITE ENTRY WITH EMERGENCY ACCESS SIGN MOUNTED ON SEPARATE POLE.
- MAIN VEHICULAR ENTRY EGRESS WITH SECURITY GATE PER CITY STDS. MOTORCYCLE SWING GATE EQUIPMENT SHALL COMPLY WITH FIRE DEPT REQUIREMENTS (MOTION SENSOR & REMOTE ACTIVATED ENTRY / KEY PAD / REMOTE ACTIVATED ENTRY).
- PEDESTRIAN GATES THAT ARE LOCKED AND ARE REQUIRED FOR BUILDING ACCESS SHALL HAVE A FIRE POLICE PADLOCK OR APPROVED LOCK BOX.
- DIRECTORY SIGN.
- STAMPED AND COLORED CONCRETE AT MAIN ENTRY.
- 4'-0" HT. W/ FENCE WITH 24" SO. DECO. PLASTERS WITH STONE VENEER AND DECO. CAPS AT GATED ENTRY.
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- SECONDARY VEHICULAR ENTRY EGRESS WITH SECURITY GATE PER CITY STDS. MOTORCYCLE SWING GATE EQUIPMENT SHALL COMPLY WITH FIRE DEPT REQUIREMENTS (MOTION SENSOR & REMOTE ACTIVATED ENTRY / REMOTE ACTIVATED ENTRY).
- DRIVEWAY APPROACH PER PW STDS P-2 & P-6 AT BULLARD AVENUE ACCESS AND FIGARDEN DRIVE.
- BIKE PARKING TO BE MOUNTED ON CONCRETE PAD. TRANSFORMERS, UTILITY BOXES, OR OTHER POWER TOWER, DOWN LINES AND CHANG (TYP. OF LOCATIONS PER CITY STDS).
- OFF-SITE PERMITS, CURB, GUTTER, SIDEWALK, PAVING, STREET LIGHTS, STREET STRIPS, ETC. TO BE CONSTRUCTED PER STREET IMPROVEMENT PLANS.
- ASPHALT PAVING PER CITY OF FRESNO PW STDS P-21, P-22 & P-23.
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- DASHED LINES AT PORTIONS OF CURBS ON SITE PLAN INDICATES CURBS TO BE PAINTED RED WITH THE WORDS FIRE LANE - NO PARKING PAINTED IN WHITE ON THE FACE OF THE CURB. PER FIRE DEPT REQUIREMENTS. SEE DETAIL 4-5 & 4-6.
- DOUBLE RAMP AT CONCRETE WALK AT PARKING.
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- 7'-0" CONCRETE WALK AT PARKING.
- FIRE HYDRANT PER CITY STD W-3. SEE FIRE DEPT NOTES AND PW STD FOR ADDITIONAL REQUIREMENTS.
- TRASH ENCLOSURE WITH CONCRETE APRON PER CITY STDS P-33, P-34, & P-35. ENCLOSURE TO BE CONSTRUCTED AS REQUIRED BY THE SPECIAL PERMIT TO THE SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- OPEN PARKING STALL. 8' x 12' PER CITY STD.
- LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.
- RETURNED CURB RAMP. 1:12 MAX. SLOPE.
- 18" x 36" CARPORT WITH SURFACE MOUNTED LIGHT FIXTURES AT BOTTOM SIDE OF ROOF.
- ON-SITE LIGHTING. APPROXIMATE LOCATIONS OF BUILDING MOUNTED LIGHTING AND POLE MOUNTED LIGHTING. FINAL LOCATION TO BE VERIFIED BY ELECTRICAL ENGINEER FOR PROPER LIGHTING COVERAGE.
- 6" HT. CONCRETE CURB.
- PRELIMINARY TRANSPORTER LOCATION. FINAL LOCATIONS TO BE VERIFIED WITH RISE AND SITE UTILITY DESIGNER.
- 4'-0" HT. W/ WROUGHT IRON FENCE AND GATE AT POOL AREA.
- SWIMMING POOL AND POOL EQUIPMENT TO BE CONSTRUCTED VIA SEPARATE PLANS. SUBMITTALS, APPROVALS AND PERMITS. SWIMMING POOL PLANS AND POOL EQUIPMENT TO BE SUBMITTED TO THE COUNTY OF FRESNO HEALTH DEPT AND THE CITY OF FRESNO BUILDING DEPT FOR REVIEW, APPROVAL AND PERMITS OBTAINED BY THE SWIMMING POOL CONTRACTOR.
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- PROPOSED FUTURE LOCATIONS OF EV CHARGING STATIONS PER 2016 CODES. SEE ELECTRICAL DRAWINGS FOR NECESSARY ELECTRICAL EQUIPMENT, CHARGING PRESTALS, SIGNAGE, AND PAVEMENT MARKINGS TO BE INSTALLED IN FUTURE. 7-STALLS.

**LEGAL DESCRIPTION:**

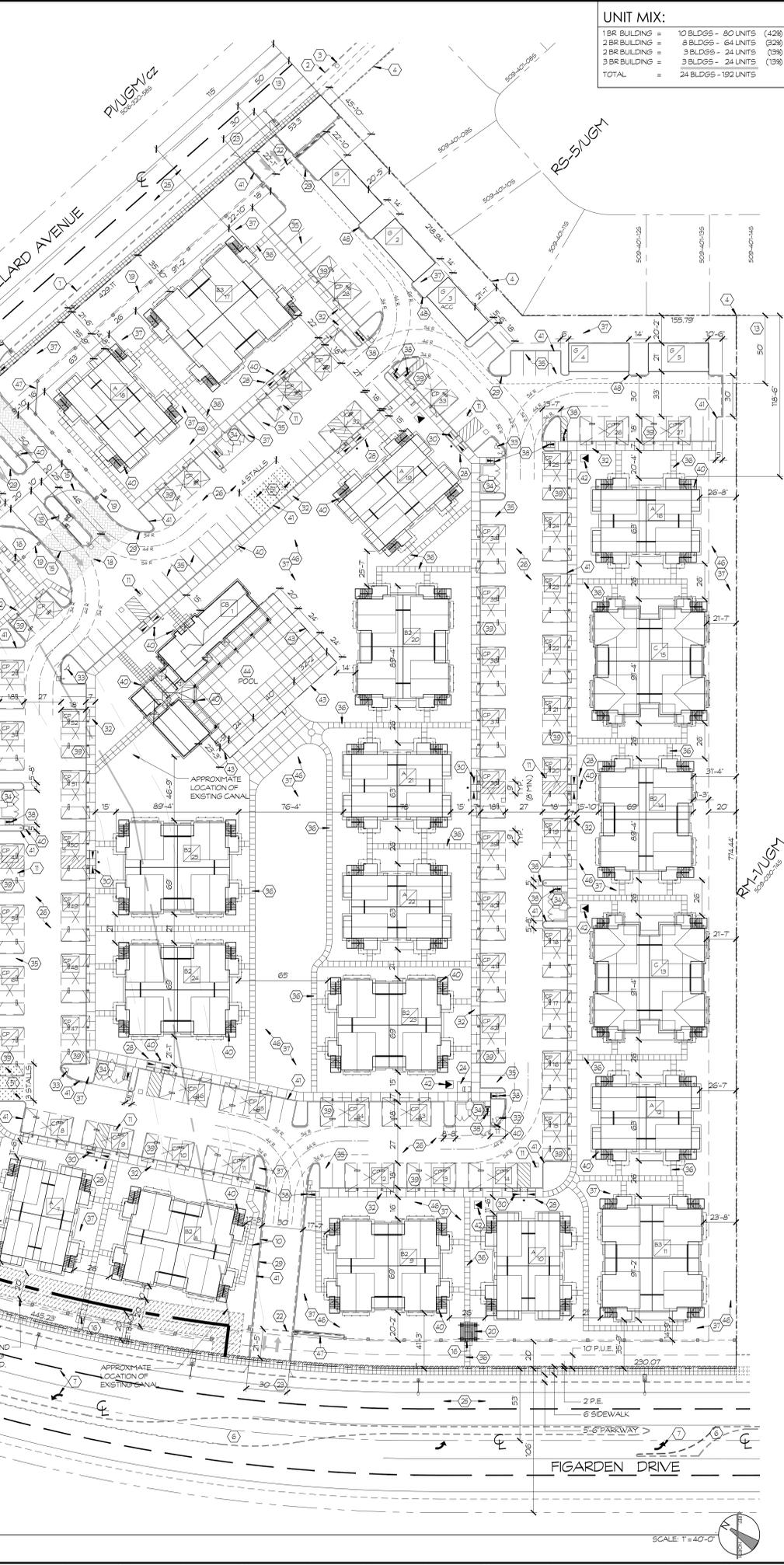
PARCEL A OF LOT LINE ADJUSTMENT NO. 2013-14, AS PER DOCUMENT RECORDED MARCH 10, 2014, AS DOCUMENT NO. 2014-020808 OF OFFICIAL RECORDS OF FRESNO COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF PARCEL A OF LOT LINE ADJUSTMENT NO. 2013-14, RECORDED DECEMBER 14, 2012, AS DOCUMENT NO. 2012-018057 OF OFFICIAL RECORDS, TOGETHER WITH THAT PORTION OF PARCEL A OF LOT LINE ADJUSTMENT NO. 2013-10, RECORDED OCTOBER 28, 2013, AS DOCUMENT NO. 2013-014809 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

A PORTION OF PARCEL A OF PARCEL MAP NO. 2006-20, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, RECORDED BOOK 71 OF PARCEL MAPS AT PAGES 46 THROUGH 48 FRESNO COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF PARCEL A OF SAID PARCEL MAP NO. 2006-20, SAID CORNER BEING ON THE NORTHEASTERN RIGHT OF WAY LINE OF NORTH FIGARDEN DRIVE, THENCE NORTH 38°59'13" EAST, ALONG THE NORTHEASTERN BOUNDARY LINE OF PARCEL A OF SAID PARCEL MAP NO. 2006-20, A DISTANCE OF 53.59 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF WEST BULLARD AVENUE, THENCE NORTH 14°34'38" EAST, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, A DISTANCE OF 429.1 FEET, THENCE NORTH 86°47'07" EAST, CONTINUING ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 53.30 FEET TO THE MOST NORTHERLY CORNER OF PARCEL A OF SAID PARCEL MAP NO. 2006-20, THENCE SOUTH 03°12'33" EAST, ALONG THE EASTERLY BOUNDARY LINE OF SAID PARCEL A, A DISTANCE OF 216.84 FEET TO AN ANGLE POINT IN THE NORTHEASTERN BOUNDARY OF SAID PARCEL A, THENCE SOUTH 51°06'22" EAST, ALONG THE NORTHEASTERN BOUNDARY OF SAID PARCEL A, A DISTANCE OF 166.19 FEET TO THE CORNER OF PARCEL A OF SAID PARCEL MAP NO. 2006-20, THENCE SOUTH 03°12'33" WEST, ALONG THE WESTERLY BOUNDARY OF SAID PARCEL A, A DISTANCE OF 174.44 FEET TO A POINT ON THE NORTHEASTERN RIGHT OF WAY LINE OF NORTH FIGARDEN DRIVE, THENCE NORTH 51°07'47" WEST, ALONG SAID NORTHEASTERN RIGHT OF WAY LINE, A DISTANCE OF 230.07 FEET TO THE BEGINNING OF A TANGENT CURVE CURVING TO THE NORTHEAST, HAVING A RADIUS OF 100.00 FEET, THENCE NORTHWESTERLY ALONG SAID CURVE AND ALONG SAID RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 22°14'26", AN ARC DISTANCE OF 448.23 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES AND MINERALS OF ANY KIND OF CHARACTER, IN, ON, OR THEREUNDER, AS RESERVED IN DEEDS OF RECORD.



**UNIT MIX:**

1 BR BUILDING =	10 BLDGS - 80 UNITS (428)
2 BR BUILDING =	8 BLDGS - 64 UNITS (528)
3 BR BUILDING =	3 BLDGS - 24 UNITS (138)
3 BR BUILDING =	3 BLDGS - 24 UNITS (138)
<b>TOTAL =</b>	<b>24 BLDGS - 192 UNITS</b>

**PROJECT DATA**

PROPOSED 2 STORY FLAT APARTMENT COMMUNITY  
 SITE ADDRESS: 4259 W. BULLARD AVENUE (SEC BULLARD & FIGARDEN)  
 FRESNO, CA

A.P.N.: 509-030-755

OWNER: SPENCER ENTERPRISES, INC.  
 ATTN: STEVE SPENCER  
 5286 E. HOME AVENUE  
 FRESNO, CA 93721  
 TEL: (559) 252-4043

EXISTING ZONING: CC / URM / cz  
 EX. GEN. PLAN DESIG.: COMMUNITY COMMERCIAL

PROPOSED ZONING: RM-2 / URM  
 PROPOSED DENSITY: 16.24 D.U./AC.  
 ALLOWABLE DENSITY: 16.00 D.U./AC.

PROPOSED GEN. PLAN DESIG.: RESIDENTIAL - URBAN NEIGHBORHOOD

**BUILDING DATA:**

OCCUPANCY USE	OCCUPANCY	NUMBER OF STORES
DWELLING UNITS	R-2	TWO STORY
COMMUNITY BUILDING	A-3	SINGLE STORY
GARAGES & CARPORTS	U-1	SINGLE STORY

CONSTRUCTION TYPE: DWELLING UNITS - COMMUNITY BUILDING, GARAGES & CARPORTS  
 5B

**PARKING:**

REQUIRED PARKING: 1.0 STALLS / D.U. FOR 1-BR & 2-BR (1 STALL/D.U. TO BE COVERED)  
 1.5 STALLS / D.U. FOR 3-BR (1 STALL/D.U. TO BE COVERED)  
 1.0 STALLS / 2-D.U. FOR GUEST PARKING

1 BR & 2 BR	168 UNITS x 1.0 D.U. =	OPEN	COVERED
3 BR	= 24 UNITS x 1.5 D.U. =	0 STALLS	168 STALLS
GUEST	= 192 UNITS / 2 D.U. =	12 STALLS	24 STALLS
		96 STALLS	0 STALLS
<b>TOTAL STALLS REQUIRED =</b>		<b>108 STALLS</b>	<b>192 STALLS = 300 STALLS</b>

**PROVIDED PARKING:**

OPEN STALLS	COVERED
OPEN STALLS (50 CARPORTS) =	108 STALLS
GARAGE STALLS (5 GARAGES) =	20 STALLS
<b>TOTAL STALLS PROVIDED =</b>	<b>108 STALLS + 220 STALLS = 328 STALLS (0.71 STALLS/D.U.)</b>

**SITE AREA AND COVERAGE:**

SITE AREA: ± 11.82 ACRES (± 514,932 S.F.)  
 SITE COVERAGE: ± 32.6 %

**OPEN SPACE:**

REQUIRED OPEN SPACE (15% REQMT)  
 SITE AREA OF 514,932 S.F. x 15% = 77,240 S.F.  
 80% OF REQUIRED OPEN SPACE TO BE OPEN TO THE SKY (71,240 x 80% = 61,392 S.F.)  
 TOTAL OPEN SPACE REQUIRED = 77,240 S.F.

**PROPOSED OPEN SPACE**

SITE AREA	514,932 S.F.
GROUND FLOOR BUILDING AREA (LIVING AREA, HVAC PADS, STAIRS, GARAGES, COMMUNITY BUILDING)	= (139,901 S.F.)
PAVED AREA (DRIVE ASLES, PARKING, TRASH ENCLOSURE, FINER PLANTERS, & ENTRY PLANTERS)	= (23,338 S.F.)
REQUIRED FRONT & REAR YARD AREA (8' WIDE AVE. & FIGARDEN DRIVE FRONTAGES)	= (29,239 S.F.)
AREA BEHIND BETWEEN GARAGES & PARKING AT NORTH P.L. (ADD'L MISC AREAS WITH LESS THAN A 20'-0" MIN DIMENSION)	= (194,030 S.F.)
COMM. BLDG. STRUCT. PUBLIC OPEN SPACE (LOBBY, LOUNGE, EXERCISE ROOM, PATIO, RESTROOMS)	= 31,740 S.F.
<b>TOTAL PUBLIC &amp; PRIVATE OPEN SPACE =</b>	<b>4,202 S.F.</b>

PERCENTAGE OF OPEN SPACE = 229,972 S.F. / ± 514,932 S.F. = ± 44.6 %

**PROPOSED BUILDING AREA:**

**BUILDING 'A'** - ACCESSIBLE AREA FOR SCHOOL FEES: (4x759) + (4x774) = 6,132 SF  
 BUILDING TYPE 'A' IS COMPOSED OF 4 UNITS 'A', 1BR, DWELLING UNITS WITH 4 UNITS AT THE FIRST FLOOR AND 4 UNITS AT THE SECOND FLOOR.

1st FLOOR W/ PORCH & PATIO: 4 x (759 + 155.5) S.F. = 3,658.5 S.F.  
 2nd FLOOR W/ PORCH & BALCONY: 4 x (774 + 155.5) S.F. = 3,719.5 S.F.  
 SUB-TOTAL OF 3 TYPE 'A' BUILDINGS: 80 DWELLING UNITS = 7,378 S.F. \*\*\*

**BUILDING 'B2'** - ACCESSIBLE AREA FOR SCHOOL FEES: (4x1,079.25) + (4x1,106.25) = 8,742 SF  
 BUILDING TYPE 'B2' IS COMPOSED OF 8 TYPE 'B2', 2BR, DWELLING UNITS WITH 4 UNITS AT THE FIRST FLOOR AND 4 UNITS AT THE SECOND FLOOR.

1st FLOOR W/ PORCH & PATIO: 4 x (1,079.25 + 175.75) S.F. = 5,020 S.F.  
 2nd FLOOR W/ PORCH & BALCONY: 4 x (1,106.25 + 175.75) S.F. = 5,128 S.F.  
 SUB-TOTAL OF 8 TYPE 'B2' BUILDINGS: 64 DWELLING UNITS = 10,148 S.F. \*\*\*

**BUILDING 'B3'** - ACCESSIBLE AREA FOR SCHOOL FEES: (4x1,233.2) + (4x1,253.2) = 9,943.2 SF  
 BUILDING TYPE 'B3' IS COMPOSED OF 8 TYPE 'B3', 2BR, DWELLING UNITS WITH 4 UNITS AT THE FIRST FLOOR AND 4 UNITS AT THE SECOND FLOOR.

1st FLOOR W/ PORCH & PATIO: 4 x (1,233.2 + 172.6) S.F. = 5,620 S.F.  
 2nd FLOOR W/ PORCH & BALCONY: 4 x (1,253.2 + 172.6) S.F. = 5,704 S.F.  
 SUB-TOTAL OF 8 TYPE 'B3' BUILDINGS: 64 DWELLING UNITS = 11,324 S.F. \*\*\*

**BUILDING 'C'** - ACCESSIBLE AREA FOR SCHOOL FEES: (4x1,326.2) + (4x1,353.2) = 10,717.6 SF  
 BUILDING TYPE 'C' IS COMPOSED OF 8 TYPE 'C', 3BR, DWELLING UNITS WITH 4 UNITS AT THE FIRST FLOOR AND 4 UNITS AT THE SECOND FLOOR.

1st FLOOR W/ PORCH & PATIO: 4 x (1,326.2 + 162.86) S.F. = 5,956 S.F.  
 2nd FLOOR W/ PORCH & BALCONY: 4 x (1,353.2 + 162.86) S.F. = 6,064 S.F.  
 SUB-TOTAL OF 3 TYPE 'C' BUILDINGS: 24 DWELLING UNITS = 12,020 S.F. \*\*\*

**TOTAL GROSS RESIDENTIAL:** 192 DWELLING UNITS = 224,976 S.F. \*\*\*

**DWELLING UNITS (RESIDENTIAL AREA):** LIVING AREA ONLY = 193,238.60 S.F.

**COMMUNITY BUILDINGS (A-3 AREA):**  
 COMMUNITY BUILDING: (4,959 S.F.)  
 COMMUNITY LOUNGE / EXERCISE ROOM / DAY ROOM COVERED PATIO, OFFICE, STORAGE, JANITOR & MISC. = 2,034 S.F.  
 2,925 S.F. = 4,959 S.F.

**TOTAL COMMUNITY BUILDING AREA:** = 4,959 S.F.

**GARAGES & CARPORTS (U-1 AREA):**  
 TYP. 4-STALL GARAGE BLDG (4 AT 924 S.F. EACH) = 3,696 S.F.  
 TYP. 3-STALL ACCESSIBLE GARAGE BLDG (AT 924 EA) = 924 S.F.  
 TYP. 4-STALL CARPORT (52 AT 735 S.F. EACH) = 36,220 S.F.  
**TOTAL GARAGE/CARPORT AREA:** = 42,840 S.F.

**TOTAL GROSS BUILDING AREA (TOTAL GROSS BUILDING FOOTPRINT AREA):** = 272,776 S.F.  
 = 168,147 S.F.

**SIMPBK**  
 7780 4th STREET, FRESNO, CALIFORNIA 93711  
 559.484.8400  
 559.484.8407 www.simpbk.com

REGISTERED ARCHITECT  
 STATE OF CALIFORNIA  
 C 15885  
 9-30-19

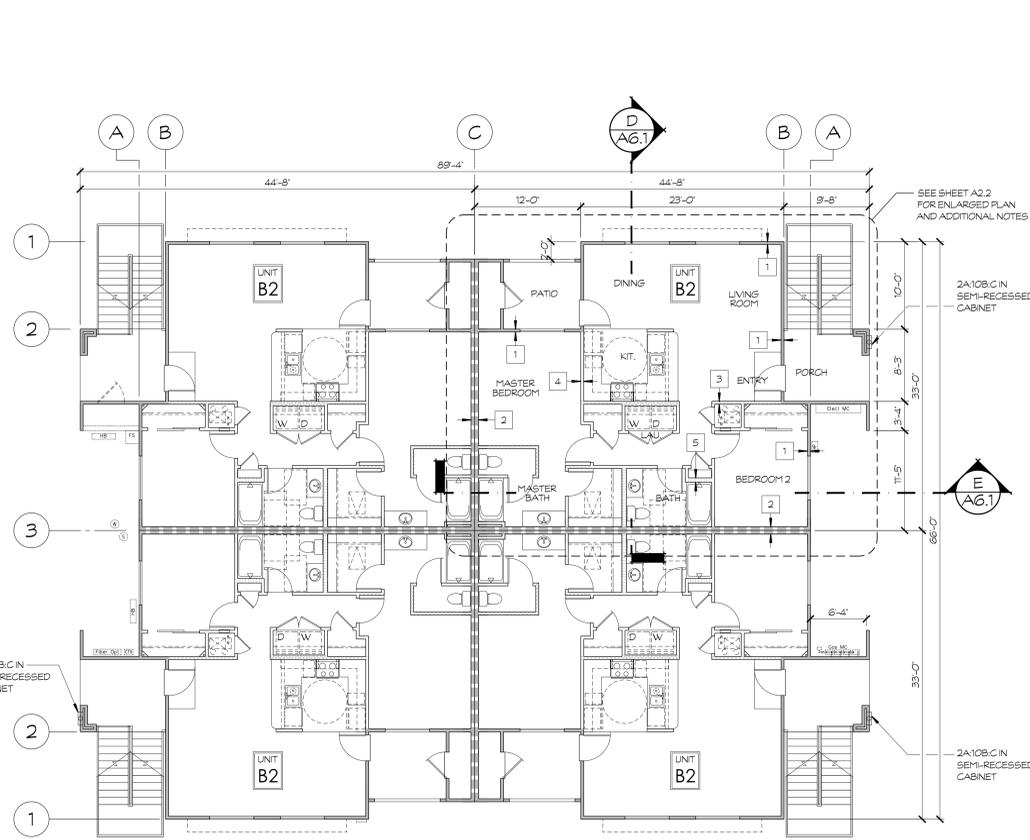
**BULLARD - FIGARDEN APTS**  
 4259 W. BULLARD AVENUE (SEC BULLARD & FIGARDEN)  
 FRESNO, CA 93722

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
01	04-29-19	PLANNING SUBMITTAL			

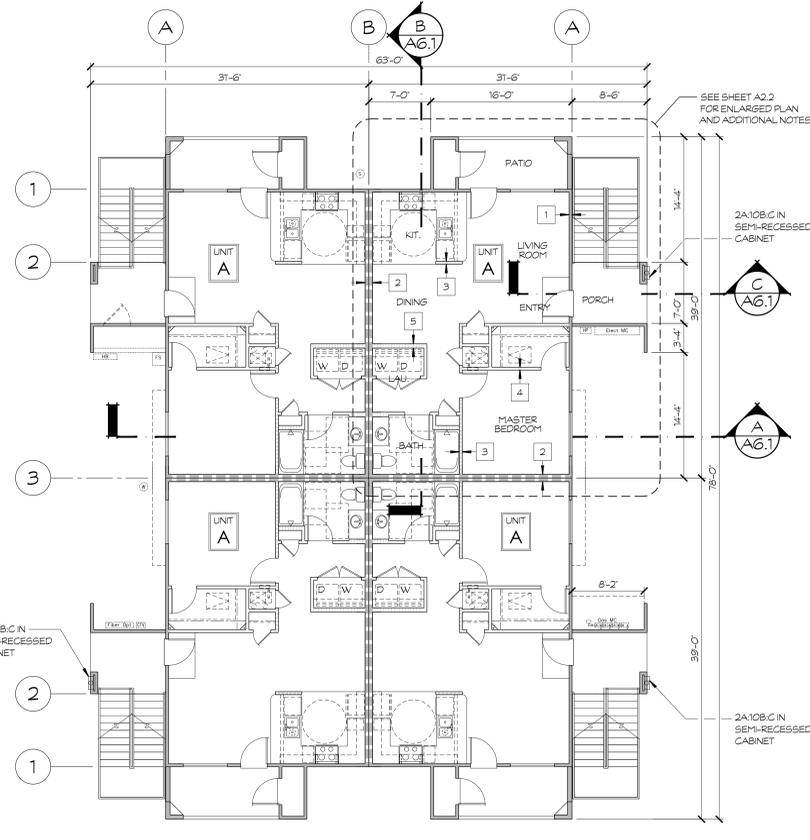
**SITE PLAN** SHEET NUMBER

JOHN SMITH PROJECT ARCHITECT 19-12 PROJECT NUMBER SHEET NUMBER  
 BRYAN SASSANO DRAWN BY T = 40'-0" SCALE SHEET NUMBER  
 CHECKED BY 04.29.19 DATE

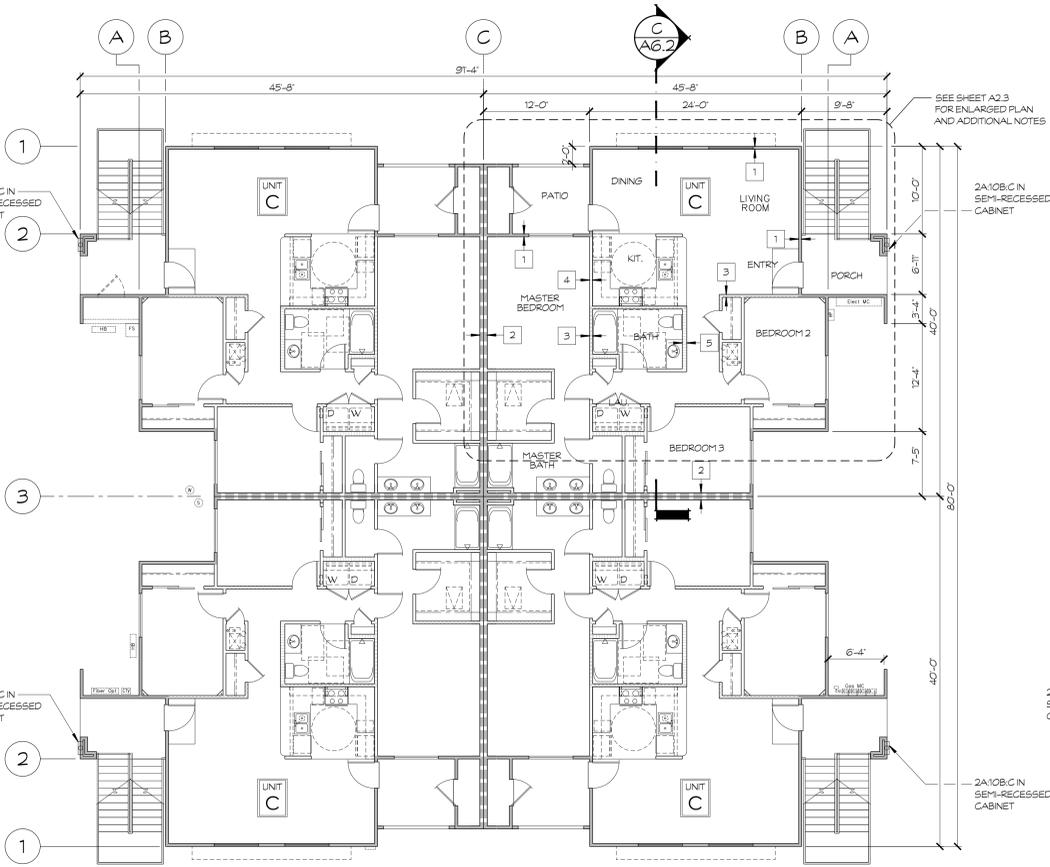
**A1.1**



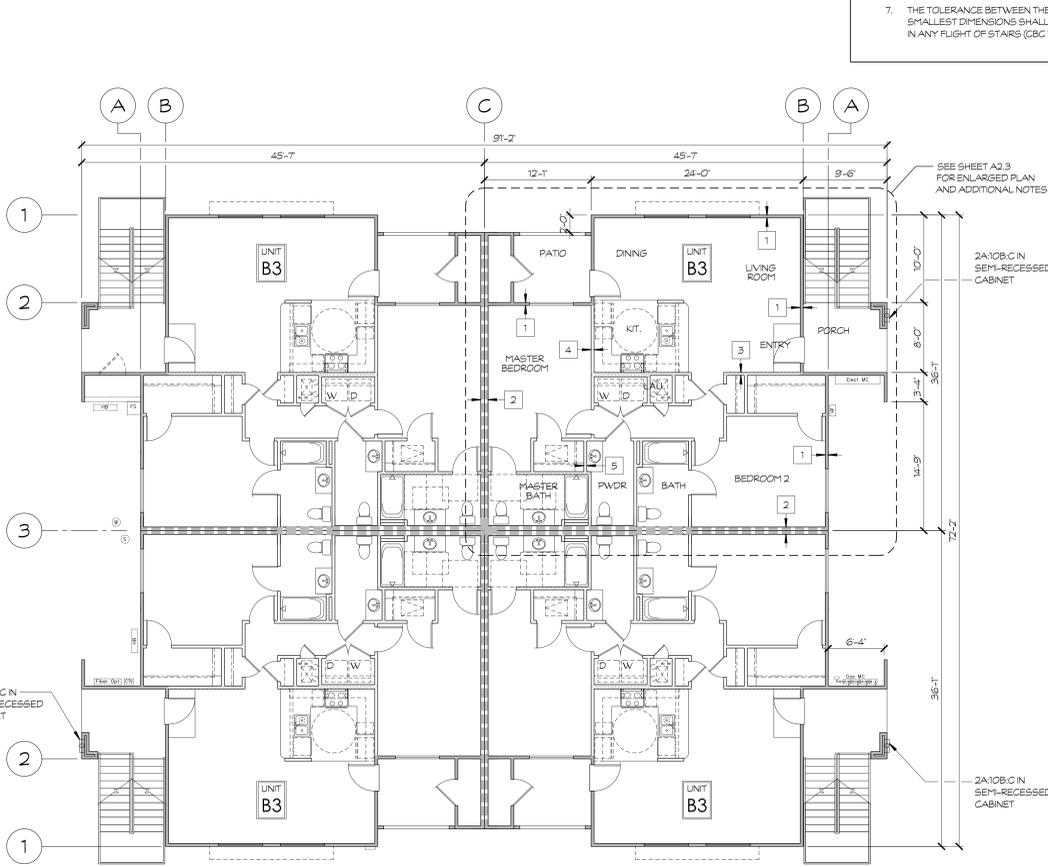
**FLOOR PLAN**  
BUILDING 'B2' 1ST FLOOR  
SCALE: 1/8" = 1'-0"



**FLOOR PLAN**  
BUILDING 'A1' 1ST FLOOR  
SCALE: 1/8" = 1'-0"



**FLOOR PLAN**  
BUILDING 'C' 1ST FLOOR  
SCALE: 1/8" = 1'-0"

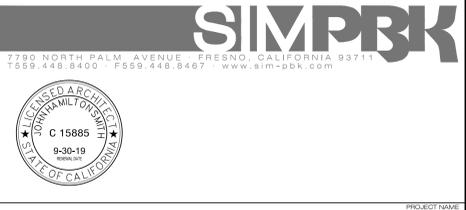


**FLOOR PLAN**  
BUILDING 'B3' 1ST FLOOR  
SCALE: 1/8" = 1'-0"

- WALL LEGEND**
- 1 EXTERIOR WALL, 2x4 AT 16" O.C.
  - 2 WALL ASSEMBLY TYPE SEE SHEET A8.1
  - 3 1-HR DWELLING SEPARATION FIRE PARTITION
  - 4 2x4 FRAMING AT 16" O.C. DOUBLE WALL SYSTEM
  - 5 WALL ASSEMBLY TYPE SEE SHEET A8.1
  - 6 INTERIOR BEARING WALL, 2x4 FRAMING AT 16" O.C.
  - 7 WALL ASSEMBLY TYPE SEE SHEET A8.1
  - 8 INTERIOR NON-BEARING WALL, 2x4 FRAMING AT 16" O.C.
  - 9 WALL ASSEMBLY TYPE SEE SHEET A8.1
  - 10 INTERIOR PLUMBING WALL, 2x6 FRAMING AT 16" O.C.
  - 11 WALL ASSEMBLY TYPE SEE SHEET A8.1
- INSULATION NOTES**
1. R-38 BATT INSULATION AT ROOFS
  2. R-13 BATT INSULATION AT WALLS
  3. R-19 THERMAL SOUND BATT INSULATION AT FLOOR AND CEILING ASSEMBLY
  4. 3/2" SOUND BATT INSULATION AT 1-HR DWELLING SEPARATION FIRE PARTITIONS
- GENERAL NOTES**
1. DRAWINGS ARE NOT TO BE SCALED, DIMENSIONS GOVERN.
  2. SEE TYPICAL UNIT FLOOR PLANS FOR TYPICAL NOTES, DIMS, ETC.
  3. FIRE BLOCKS SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES, AT CEILINGS AND FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL FIREBLOCKING SHALL BE CONSTRUCTED PER CBC 708.
  4. PROVIDE DRAFT STOPS AT 1-HR DWELLING SEPARATION FIRE PARTITIONS SEPARATING UNITS DRAFTSTOPS SHALL EXTEND THROUGH ATTIC SPACE TO UNDERSIDE OF ROOF DECK. PER CBC 708.3
  5. CONTRACTOR SHALL PROVIDE AND INSTALL UNIT NUMBERS AT EACH INDIVIDUAL DWELLING UNIT ON THE FACE OF THE UNIT ENTRY DOOR IN CONTRASTING COLOR USING THREE INCH (3") NUMBERS OR LETTERS. VERIFY ALPHANUMERIC NUMERICAL SEQUENCING WITH OWNER.
  6. -
  7. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST DIMENSIONS SHALL NOT EXCEED 3/8" IN ANY FLIGHT OF STAIRS (CBC 1009.3.2)

- CALGREEN RESIDENTIAL MANDATORY MEASURES**
- ITEMS ON THIS LIST SHALL BE CONSIDERED REQUIRED ITEMS. THE CONSTRUCTION SUPERINTENDENT SHALL COMPLY WITH AND/OR PROVIDE DOCUMENTATION VERIFYING COMPLIANCE.
- MATERIAL CONSERVATION AND RESOURCE EFFICIENCY**
- ENHANCED DURABILITY AND REDUCED MAINTENANCE
- 4.406.1 ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF ROBBETS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING
- 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
- A. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE OR
  - B. A CONSTRUCTION WASTE MANAGEMENT PLAN PER SECTION 4.408.2, OR
  - C. A WASTE MANAGEMENT COMPANY PER SECTION 4.408.3, OR
  - D. THE WASTE STREAM REDUCTION ALTERNATIVE PER SECTION 4.408.4.
- BUILDING MAINTENANCE AND OPERATION
- 4.410.1 AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
- ENVIRONMENTAL QUALITY**
- POLLUTANT CONTROL
- 4.504.1 DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- 4.504.2.1 ADHESIVES, SEALANTS AND GASKETS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS
- 4.504.2.2 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS
- 4.504.2.3 AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED HRLIMITS FOR ROOF AND OTHER TOXIC COMPOUNDS.
- 4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- 4.504.3 CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS
- 4.504.4 50 PERCENT OF FLOOR AREA RECEIVING RESIDENT FLOORINGS SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFI) FLOORSCORE PROGRAM, OR MEET CALIFORNIA DEPT. OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FOR INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
- 4.504.5 PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDBOARD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS
- INTERIOR MOISTURE CONTROL
- 4.505.2 VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS
- 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE
- ENVIRONMENTAL COMFORT
- 4.507.1 WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2
- 4.507.2 DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
- A. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2004 OR EQUIVALENT.
  - B. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2009 OR EQUIVALENT.
  - C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2004 OR EQUIVALENT.
- INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS**
- QUALIFICATIONS
- 702.1 HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS
- 702.2 SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
- VERIFICATIONS
- 703.1 VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

- SYMBOL LEGEND**
- DOOR SYMBOL - SEE SHEET A7.1 FOR DOOR SCHEDULE.
  - WINDOW SYMBOL - SEE SHEET A7.1 FOR WINDOW SCHEDULE.
  - ▲ INTERIOR ELEVATION SYMBOL - SEE SHEET A5.3 (SEE A5.1 FOR PATIO & ALCOVE ELEVATIONS)
  - KEY NOTES - SEE THIS SHEET
  - X WALL ASSEMBLIES - SEE SHEET A8.1



**BULLARD - FIGARDEN APTS**  
4299 W. BULLARD AVENUE (SEC BULLARD & FIGARDEN)  
FRESNO, CA 93722

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
1	04.29.19	PLANNING SUBMITTAL			

**BUILDING FLOOR PLANS**  
BUILDING 'A', 'B2', 'B3', & 'C'

PROJECT ARCHITECT: JOHN SMITH (19-12)  
PROJECT NUMBER: 19-12  
DRAWN BY: BRYAN SASSANO  
SCALE: AS NOTED  
CHECKED BY: BRYAN SASSANO  
DATE: 04.29.19

SHEET NUMBER: **A2.1**

COMMUNITY BUILDING INTERIOR FINISH SCHEDULE										
SPACE NAME	FLOOR MATERIAL	FINISH	BASE		WALLS		CEILING		HEIGHT	
			MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
COMMUNITY BUILDING										
FOYER/ENTRY	LVT	FF	WOOD	PSG	4"	GB	TT/PLF	GB	TT/PLF	VARIES
LOUNGE	LVT	FF	WOOD	PSG	4"	GB	TT/PLF	GB	TT/PLF	VARIES
HALL	LVT	FF	WOOD	PSG	4"	GB	TT/PLF	GB	TT/PLF	9'-0"
OFFICES	CARPET	FF	WOOD	PSG	4"	GB	TT/PLF	GB	TT/PLF	9'-0"
JANITOR	VCT	FF	TSR	FF	4"	GB (WR)/FRP	TT/PSG	GB (WR)	TT/PSG	9'-0"
MENS	CT	FF	CT	FF	+6" COVERED	GB (WR)/CT	TT/PSG	GB (WR)	TT/PSG	9'-0"
WOMENS	CT	FF	CT	FF	+6" COVERED	GB (WR)/CT	TT/PSG	GB (WR)	TT/PSG	9'-0"
TEL/ELEC. EG.	CONCRETE	S	TSR	FF	4"	GB	TT/PSG	GB	TT/PSG	9'-0"
WATER HEATER	CONCRETE	S	TSR	FF	4"	GB (WR)/FRP	TT/PSG	GB (WR)	TT/PSG	9'-0"
STOR.	VCT	FF	TSR	FF	4"	GB	TT/PLF	GB	TT/PLF	9'-0"
EXERCISE RM.	LVT	FF	WOOD	PSG	4"	GB	TT/PLF	GB	TT/PLF	9'-0"

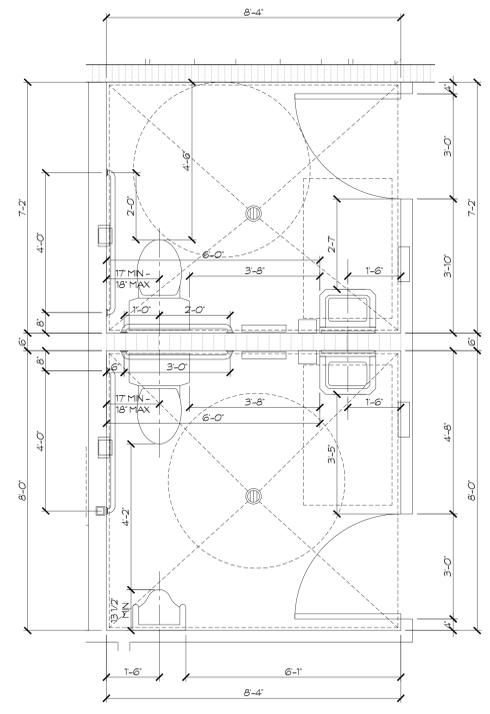
PLF	PAINT LATEX FLAT ENAMEL	VCT	VINYL COMPOSITION TILE	TSR	TOP SET RUBBER TAPE AND TEXTURE
PSG	PAINTED SEMI GLOSS	WR	MOISTURE RESISTANT TYPE GYP. BD.	TT	TAPE ONLY
FF	FACTORY FINISH	TO	TAPE ONLY	CT	CERAMIC TILE NON-SLIP, THIN SET, WITH INTEGRAL 6" HIGH COVERED BASE AT RESTROOMS
FRP	FIBERGLASS REINFORCED PLASTIC	S	SEALED CONCRETE		
GB	GYP. BOARD	ST	STEEL TROWEL		

ACCESSORIES SCHEDULE		OCCUPANT LOAD AT COMMUNITY BLDG	
TOILET & BATH ACCESSORIES (BOBRICK ACCESSORIES) UNLESS NOTED OTHERWISE SAME ACCESSORIES TO BE USED IN MENS AND WOMENS RESTROOMS.			
(A1)	48" GRAB BAR	B-6806 48"	
(A2)	36" GRAB BAR	B-6806 36"	
(A3)	RECESSED TOILET TISSUE DISPENSER	B-4366	
(A4)	SEAT-COVER DISPENSER SURFACE MOUNTED	B-4221	
(A5)	RECESSED PAPER TOWEL DISPENSER & WASTE RECEPTACLE	B-36903	
(A6)	SOAP DISPENSER SURFACE MOUNTED	B-4112	
(A7)	CHANNEL FRAME MIRROR	B-165 2436	
(A8)	MOP HANGER	B-223 X 36	
(A9)	---	---	

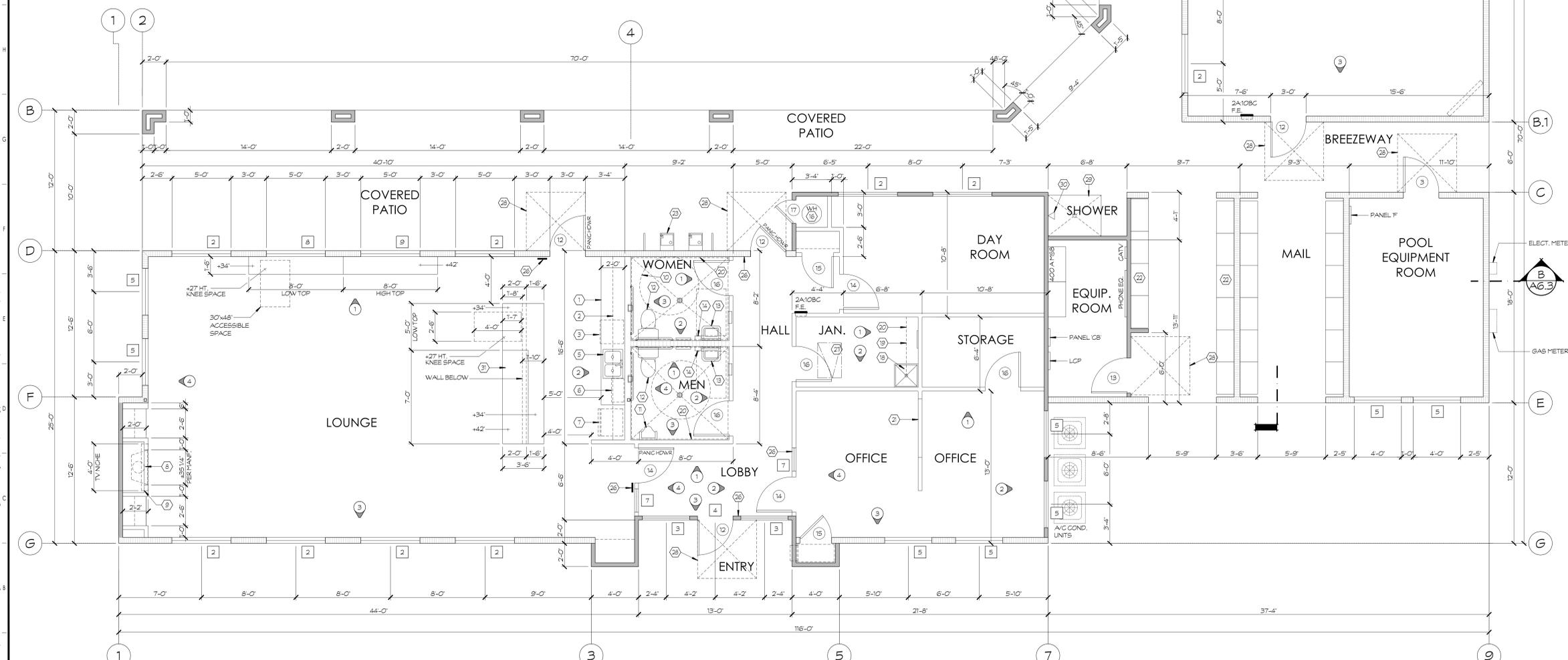
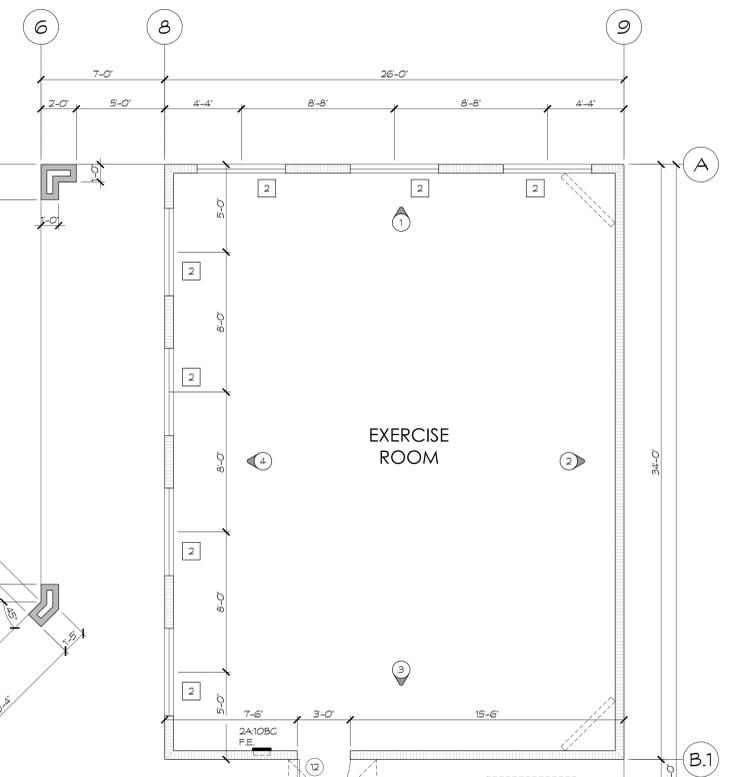
  

INSULATION NOTES (COMMUNITY BLDG)	
1.	R-38 BATT INSULATION AT ROOFS (COMMUNITY BLDG)
2.	R-21 BATT INSULATION AT EXTERIOR WALLS, 2x6 AT 16" O.C. (COMMUNITY BLDG)
3.	R-15 BATT INSULATION AT EXTERIOR WALLS, 2x4 AT 16" O.C. (COMMUNITY BLDG)



FINISHES		
CARPET:	ENGINEERED FLOORS STYLE: E34 FINALLY HERE COLOR: 763 IRONSIDE	PANT-2: BENJAMIN MOORE HC-173 EDGE COB GRAY
CABINETS:	JOW CABINETS COFFEE/BEECH/ALPINE	PANT-3: PPS PPG14-06 WINTER FEATHER
HARD FLOOR:	MOHAWK HOT & HEAVY COLLECTION 132 VERA	VCT: ARM-STRONG CHROMA SPN 54604 MONOTYPE
GRANITE:	SUPPLIED BY: SPENCER ENTERPRISES	TILE-1: CREATIVE TILE FLY TERRA 12" X 12"
PANT-1:	BENJAMIN MOORE OC-57 WHITE HERON	TILE-2: CREATIVE TILE FLY TERRA 12" X 24"
G-1 GROUT:	LATCRETE NATURAL GRAY #24	TILE-3: DALTILE #L31 GENELLE WHITE HONED 4" X 36" FIREPLACE
G-2 GROUT:	CUSTOM #386 OYSTER GRAY FIREPLACE	

- ### KEYNOTES
- 24" DEEP BASE CABINET
  - 12" DEEP UPPER CABINET
  - DISH-WASHER
  - PAPER TOWEL DISPENSER
  - 2 COMPARTMENT KITCHEN SINK
  - MICROWAVE OVEN
  - REFRIGERATOR
  - PRE-FABRICATED GAS FIREPLACE
  - TELEVISION SET (BY OWNER)
  - 60" DIA. ACCESSIBLE CLEARANCE
  - URINAL. SEE PLUMBING DRAWINGS
  - WATER CLOSET. SEE PLUMBING DRAWINGS
  - LAVATORY. SEE PLUMBING DRAWINGS
  - MIRROR
  - ILLUMINATED EXT. SIGN. SEE ELECT. DWGS.
  - WATER HEATER. SEE PLUMBING DRAWINGS
  - MECHANICAL PLATFORM IN ATTIC. SEE MECH. DWGS.
  - MOP SINK. SEE PLUMBING DWGS.
  - SHelf
  - FRP BOARD OVER WR. GYP. BD.
  - PASS-THRU OPENING
  - WALL MOUNTED ADA MAILBOX SYSTEM (SALSBURY INDUSTRIES, ITEMS & MODEL NUMBERS (OR EQUAL) - SEE DETAIL 14/A1.6 FOR REACHING LIMITS OF MAILBOXES)
  - H/LOW ACCESSIBLE DRINKING FOUNTAINS. SEE DETAIL 24/A4
  - EXTERIOR ACCESSIBLE SHOWER. SEE DETAIL ON A1/4
  - PROVIDE OCCUPANT SIGN. \*MAXIMUM OF 63 OCCUPANTS FOR TABLES AND CHAIRS/35 OCCUPANTS-CHAIRS ONLY
  - PROVIDE 'EXIT' OR 'EXIT ROUTE' SIGNAGE. SEE DETAIL 24/A7.2
  - 24" X 36" ATTIC ACCESS. SEE DETAIL 5/A8.4
  - INDICATES 5' X 5' LEVEL LANDING AT EXT. DOORS, TYP.
  - 4'-6" X 3'-6" SHOWER WITH SLOPED FLOOR TO DRAIN. CERAMIC TILE AT WALLS & FLOOR, WITH FOLDING SEAT & GRAB BARS. SEE 14/A.4
  - TEMPERED WATER TO SHOWER HEAD
  - BASE CABINET WITH RAISED SNACK COUNTER/SERVING COUNTER. SEE SHEET A5.3 FOR COUNTER ELEVATIONS



### WALL LEGEND

	EXTERIOR WALL, 2x4 AT 16" O.C. WALL ASSEMBLY TYPE SEE SHEET A8.1	1
	1-HR DWELLING SEPARATION FIRE PARTITION	
	2x4 FRAMING AT 16" O.C., DOUBLE WALL SYSTEM WALL ASSEMBLY TYPE SEE SHEET A8.1	2
	EXTERIOR WALL, 2x6 AT 16" O.C. WALL ASSEMBLY TYPE SEE SHEET A8.1	6
	INTERIOR BEARING WALL, 2x4 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE SEE SHEET A8.1	3
	INTERIOR NON-BEARING WALL, 2x4 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE SEE SHEET A8.1	4
	INTERIOR PLUMBING WALL, 2x6 FRAMING AT 16" O.C. WALL ASSEMBLY TYPE SEE SHEET A8.1	5

### SYMBOL LEGEND

	DOOR SYMBOL - SEE SHEET A7.1 FOR DOOR SCHEDULE.
	WINDOW SYMBOL - SEE SHEET A7.1 FOR WINDOW SCHEDULE.
	INTERIOR ELEVATION SYMBOL - SEE SHEET A5.5 & A5.6
	KEY NOTES SEE THIS SHEET
	WALL ASSEMBLIES SEE SHEET A8.1

7780 NORTH PALM AVENUE, FRESNO, CALIFORNIA 93711  
TESS: 448.8400, FSS: 448.8497, WWW.SIMPBK.COM

**REGISTERED ARCHITECT**  
JOHN WILSON  
STATE OF CALIFORNIA  
C 15885  
9-30-19

**PROJECT NAME**  
BULLARD - FIGARDEN APTS  
4299 W. BULLARD AVENUE (SEC BULLARD & FIGARDEN)  
FRESNO, CA 93722

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**FLOOR PLAN**  
COMMUNITY BUILDING

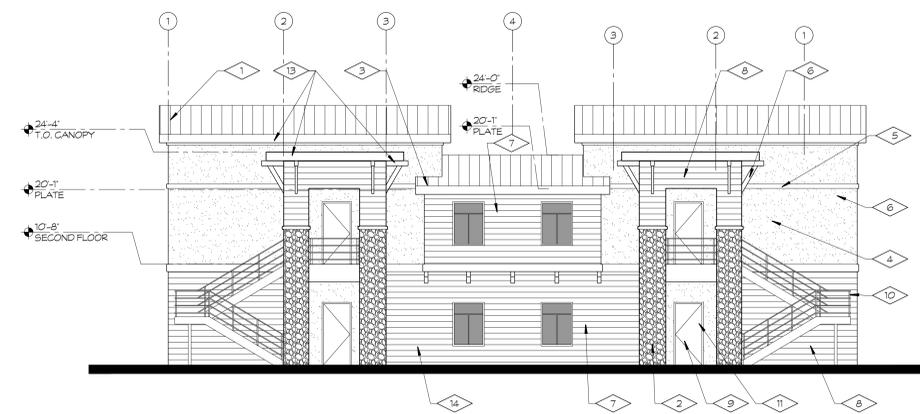
**JOHN SMITH** PROJECT ARCHITECT 19-12 PROJECT NUMBER  
**BRYAN SASSANO** DRAWN BY AS NOTED SCALE  
CHECKED BY 04.29.19 DATE

**A2.4**



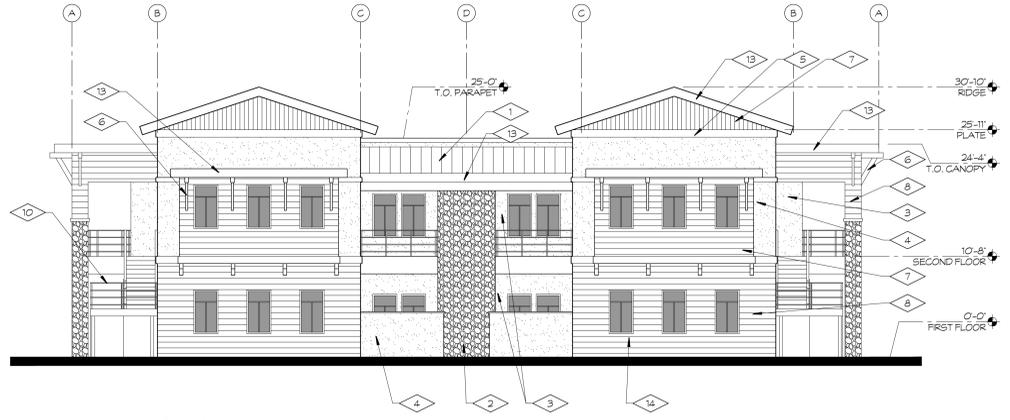
**BUILDING A**  
FRONT ELEVATION

1/8" = 1'-0"



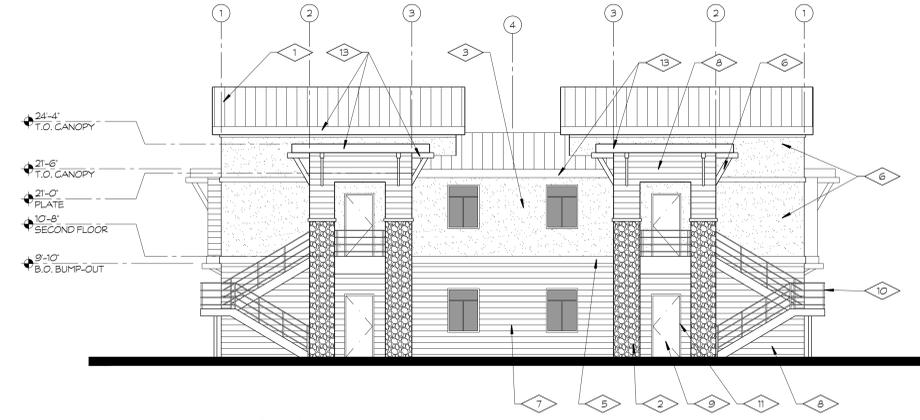
**BUILDING A**  
SIDE ELEVATION

1/8" = 1'-0"



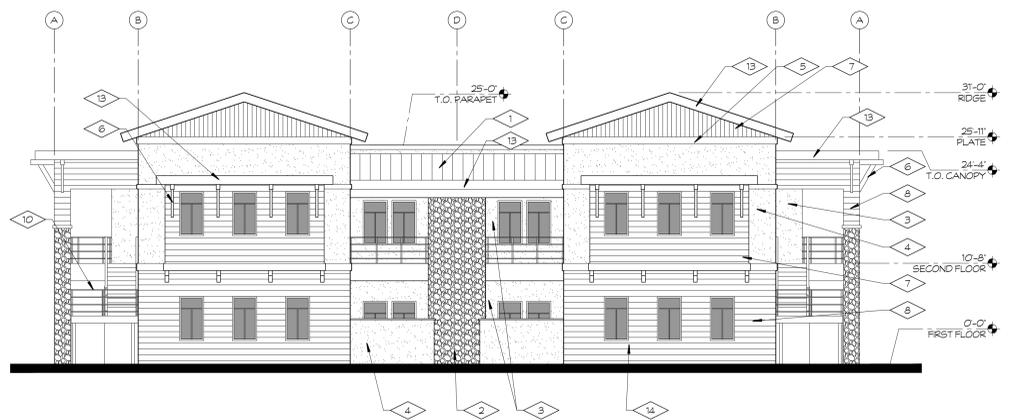
**BUILDING B2**  
FRONT ELEVATION

1/8" = 1'-0"



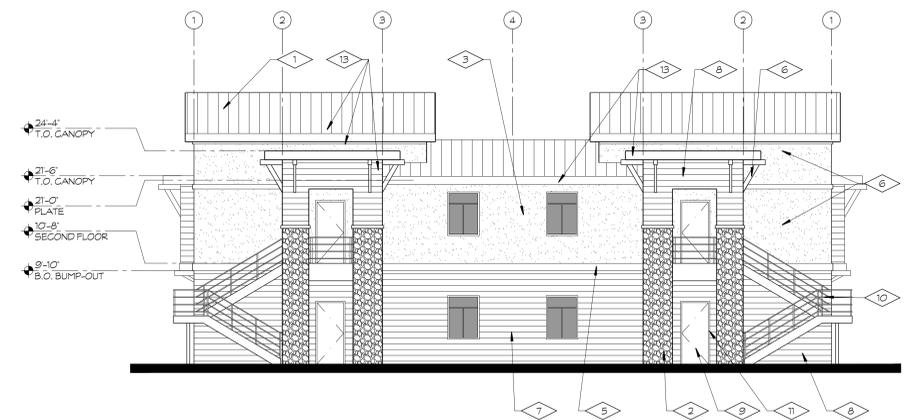
**BUILDING B2**  
SIDE ELEVATION

1/8" = 1'-0"



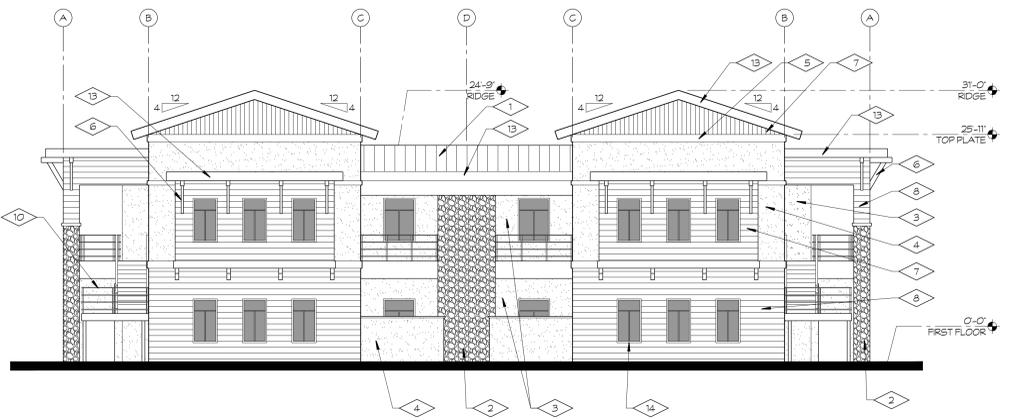
**BUILDING B3**  
FRONT ELEVATION

1/8" = 1'-0"



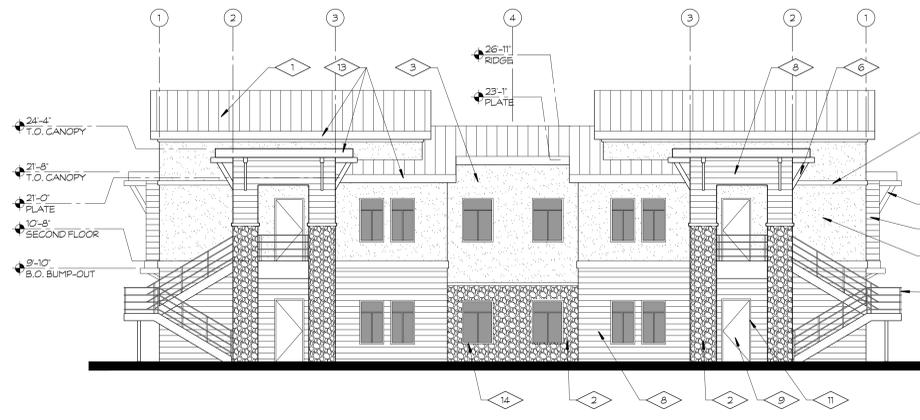
**BUILDING B2**  
SIDE ELEVATION

1/8" = 1'-0"



**BUILDING C**  
FRONT ELEVATION

1/8" = 1'-0"



**BUILDING C**  
SIDE ELEVATION

1/8" = 1'-0"

**EXTERIOR FINISHES**

	MATERIAL	DESCRIPTION/ COLOR
1	STANDING SEAM METAL ROOFING	GARLAND CADET GRAY
2	CAST STONE VENEER	ELDORADO STONE - EUROPEAN LEDGE GLAZIER
3	STUCCO, PAINTED	DUNN EDWARDS PAINT - DARK SEPA #DE6138
4	STUCCO, INTEGRAL STUCCO	BLUE EAGLE STUCCO - COLOR MATCH TO: BENJAMIN MOORE-REVERE FEWTER #HG-173
5	FOAM TRIM, PAINTED	BENJAMIN MOORE PAINT - DOVE WING #OC-18
6	PAINTED WOOD OUTRIGGER	DUNN EDWARDS PAINT - DARK SEPA #DE6138
7	PAINTED SIDING	BENJAMIN MOORE PAINT - DOVE WING #OC-18
8	PAINTED SIDING	BENJAMIN MOORE PAINT - CHELSEA GRAY #HC-168
9	METAL DOOR, PAINTED	SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
10	METAL HANDRAILS, PAINTED	SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
11	METAL DOOR FRAME, PAINTED	SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
12	VENT TRIM, PAINTED	BENJAMIN MOORE PAINT - DOVE WING #OC-18
13	FASCIA	SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
14	VINYL WINDOW	WHITE FRAME
15	STUCCO EXPANSION JOINT	PAINTED TO MATCH ADJACENT STUCCO
16	METAL GARAGE DOOR, PAINTED	BENJAMIN MOORE PAINT - DOVE WING #OC-18
17	METAL CARPORT, PAINTED	PAINTED TO MATCH BUILDING COLOR BENJAMIN MOORE PAINT - REVERE FEWTER #HG-172
18	APT. DOOR	FINISH TO BE SELECTED
19	DRINKING FOUNTAIN	SEE PLUMBING FIXTURE SCHEDULE
20	MECH. UNIT W/ SCREEN	SEE MECHANICAL PLANS FOR HVAC UNIT SEE DETAIL 18/A14 FOR SCREEN
21	GARAGE - EXTERIOR LIGHT	FIXTURE TO BE SELECTED BY OWNER
22	METAL DOORS/FRAMES	THAT ARE NOT APT DOORS WILL MATCH STUCCO



**BULLARD - FIGARDEN APTS**  
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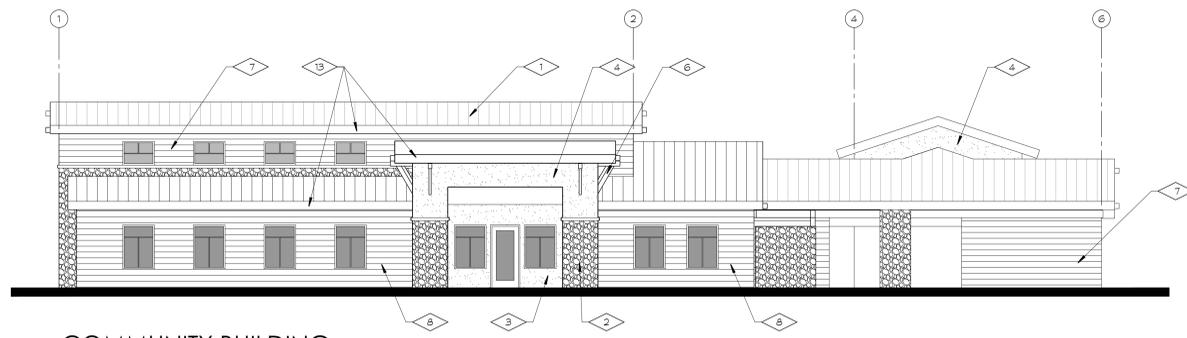
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
1	04.29.19	PLANNING SUBMITTAL			

PROJECT NAME: BULLARD - FIGARDEN APTS  
PROJECT NUMBER: 19-12  
SHEET NUMBER: A5.1

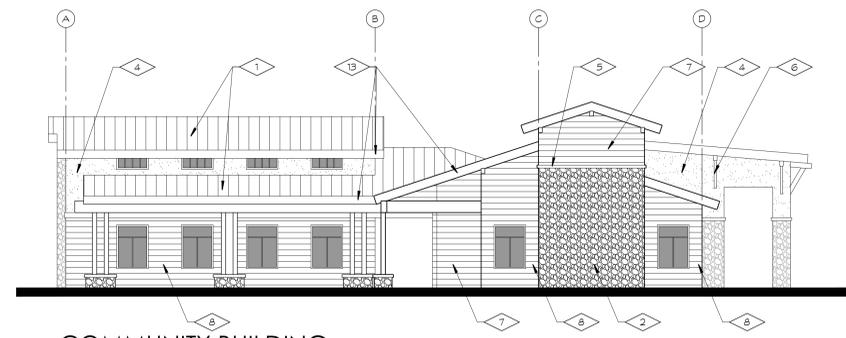
JOHN SMITH PROJECT ARCHITECT 19-12  
BRYAN SASSANO DRAWN BY AS NOTED SCALE  
CHECKED BY: 04.29.19 DATE

**EXTERIOR FINISHES**

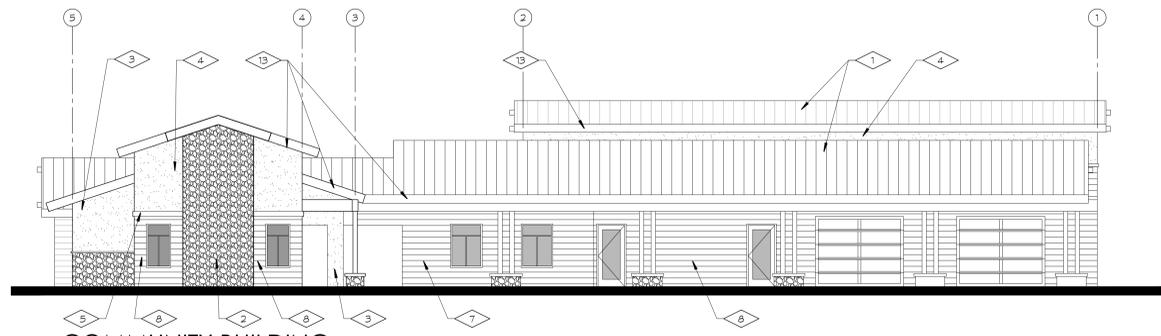
MATERIAL	DESCRIPTION/ COLOR
1	STANDING SEAM METAL ROOFING GARLAND GADET GRAY
2	CAST STONE VENEER ELDORADO STONE - EUROPEAN LEDGE GLAZIER
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6	PAINTED WOOD OUTRIGGER DUNN EDWARDS PAINT - DARK SEPA #DE6138
7	PAINTED SIDING BENJAMIN MOORE PAINT - DOVE WING #OC-18
8	PAINTED SIDING BENJAMIN MOORE PAINT - CHELSEA GRAY #HC-168
9	METAL DOOR, PAINTED SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
10	METAL HANDRAILS, PAINTED SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
11	METAL DOOR FRAME, PAINTED SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
12	VENT TRM, PAINTED BENJAMIN MOORE PAINT - DOVE WING #OC-18
13	FASCIA SHERWIN WILLIAMS PAINT - PORPOISE #SW7047
14	VINYL WINDOW WHITE FRAME
15	STUCCO EXPANSION JOINT PAINTED TO MATCH ADJACENT STUCCO
16	METAL GARAGE DOOR, PAINTED BENJAMIN MOORE PAINT - DOVE WING #OC-18
17	METAL CARPORT, PAINTED PAINTED TO MATCH BUILDING COLOR BENJAMIN MOORE PAINT - REVERE FEWTER #HC-172
18	APT. DOOR FINISH TO BE SELECTED
19	DRINKING FOUNTAIN SEE PLUMBING FIXTURE SCHEDULE
20	MECH. UNIT W/ SCREEN SEE MECHANICAL PLANS FOR HVAC UNIT SEE DETAIL 18/A14 FOR SCREEN
21	GARAGE - EXTERIOR LIGHT FIXTURE TO BE SELECTED BY OWNER
22	METAL DOORS/FRAMES THAT ARE NOT APT DOORS WILL MATCH STUCCO



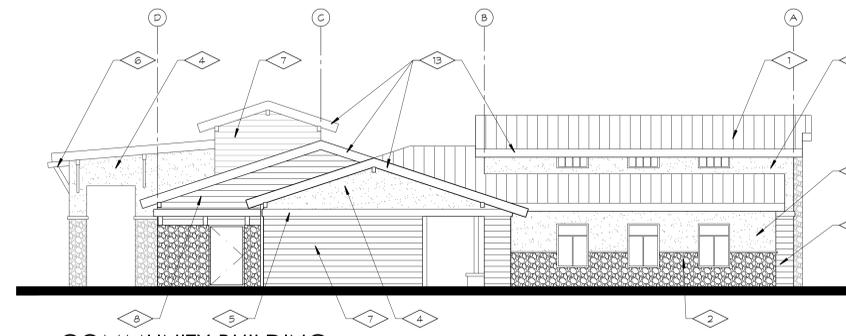
**COMMUNITY BUILDING**  
SOUTH ELEVATION



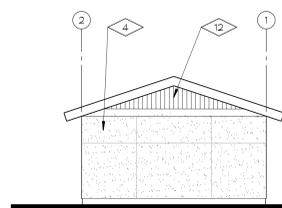
**COMMUNITY BUILDING**  
WEST ELEVATION



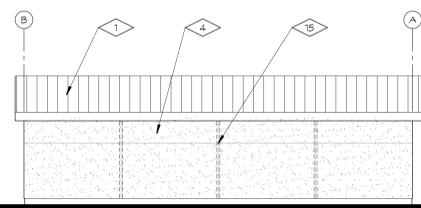
**COMMUNITY BUILDING**  
NORTH ELEVATION



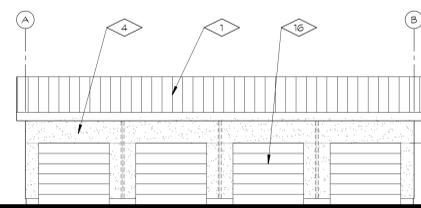
**COMMUNITY BUILDING**  
EAST ELEVATION



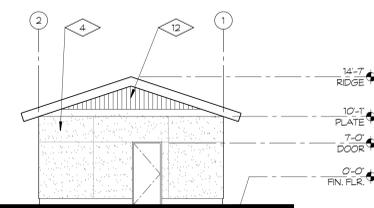
**GARAGE**  
SIDE ELEVATION



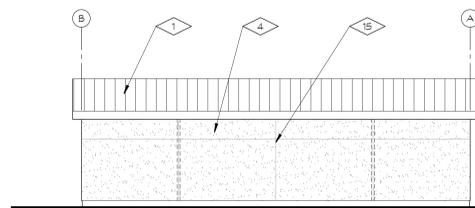
**GARAGE**  
REAR ELEVATION



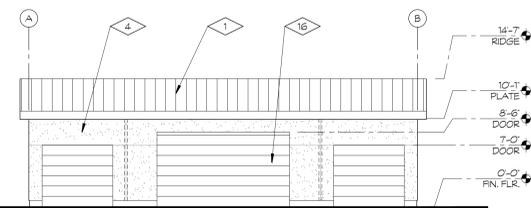
**GARAGE**  
FRONT ELEVATION



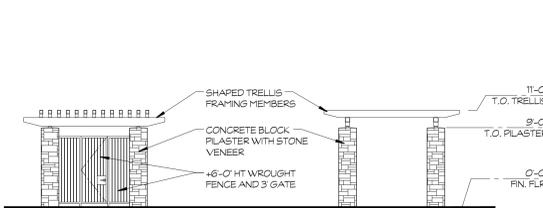
**GARAGE**  
SIDE ELEVATION



**GARAGE (ACCESSIBLE)**  
REAR ELEVATION

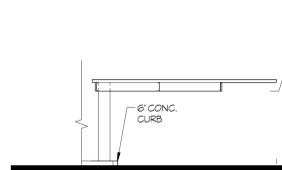


**GARAGE (ACCESSIBLE)**  
REAR ELEVATION

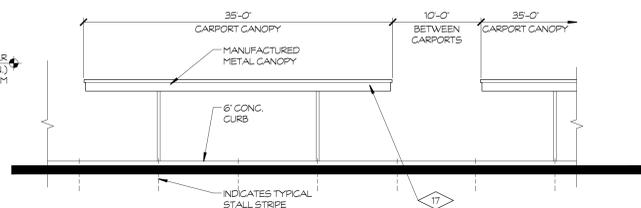


**ENTRY TRELLIS**  
FRONT ELEVATION

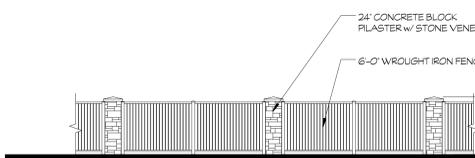
**ENTRY TRELLIS**  
SIDE ELEVATION



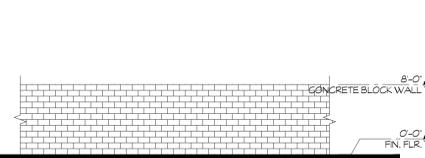
**CARPORT**  
SIDE ELEVATION



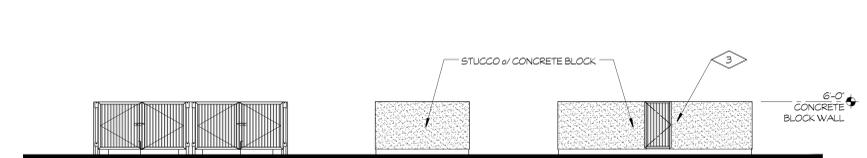
**CARPORT**  
FRONT ELEVATION



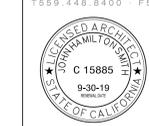
**DECORATIVE W.I. FENCE**  
ELEVATION



**CONCRETE BLOCK FENCE**  
ELEVATION



**TRASH ENCLOSURE**  
ELEVATION



**BULLARD - FIGARDEN APTS**  
4299 W. BULLARD AVENUE (SEC BULLARD & FIGARDEN)  
FRESNO, CA 93722

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
04-29-19		PLANNING SUBMITTAL			

PROJECT NAME: BULLARD - FIGARDEN APTS  
PROJECT NUMBER: 19-12  
PROJECT ARCHITECT: JOHN SMITH  
DRAWN BY: BRYAN SASSANO  
CHECKED BY: BRYAN SASSANO  
DATE: 04-29-19  
SCALE: AS NOTED  
SHEET NUMBER: A5.2