

Exhibit 3A

**TOWER DISTRICT DESIGN REVIEW COMMITTEE  
MEETING AGENDA**

**Tuesday May 7, 2024 – 5:00 p.m.**

**THIS MEETING WILL OCCUR IN PERSON AND ELECTRONIC.**

**To participate in person: CITY HALL (2600 FRESNO ST, FRESNO, CA 93721),  
ROOM 2165.**

**To participate electronically via Zoom:  
ZOOM MEETING & PHONE INSTRUCTIONS**

[Click here to register and join meeting:](#)

Join by phone: +1 669 900 9128

*\* To view exhibits, please visit <https://fresno.legistar.com/calendar.aspx>,  
select “Tower District Design Review Committee” in the dropdown menu,  
then click “Meeting Details” for the applicable meeting date.*

**I. CALL TO ORDER & ROLL CALL**

*This meeting was called to order at 5:00 p.m. with a master roll call.*

*Present – 4: Daniel Renteria, Michael Clifton, Tom Key, Robert Hernandez*

*Absent – 1: Jasjit Kamboj*

*Staff: Luke Risner*

**II. APPROVAL OF AGENDA**

*Committee member Clifton moved and Committee member Key seconded the motion to approve the agenda for May 7, 2024. The motion carried four votes to zero.*

**III. APPROVAL OF THE MINUTES**

*Committee member Key moved and Committee member Clifton seconded the motion to approve the minutes from the April 2, 2024 meeting. The motion carried four votes to zero.*

**IV. CONTINUED MATTERS**

*None.*

**V. PROJECT REVIEW**

*These items will be reviewed by the Committee and may be subject to a vote of the Committee. Applicants and/or their representatives are asked to be in attendance to discuss these projects.*

**A. Root Access Hackerspace Signage**

**Location: 1476 N Van Ness Ave**

**TOWER DISTRICT DESIGN REVIEW COMMITTEE**

**MEETING AGENDA**

**Tuesday May 7, 2024 – 5:00 p.m.**

**Applicant: Derek Payton**

New signage for Root Access Hackerspace.

*Staff gave a brief presentation on the proposed signage improvements in the absence of the project applicant.*

*Committee member Key moved to recommend approval of the proposed signage, and Committee member Clifton seconded the motion.*

Vote Tally

*Ayes (4): Key (motion), Clifton (second), Renteria, Hernandez*

*Noes (0): None*

*Abstain (0): None*

*Absent (1): Kamboj*

**B. Solar Cantilevered Carport**

**Location: 1369 N San Pablo Ave**

**Applicant: De Alba Architecture**

New solar carport cantilevered off the side of the existing single-family residence located at 1369 N San Pablo Ave.

*Staff gave a brief presentation on the proposed signage improvements in the absence of the project applicant.*

*Committee member Clifton moved to not recommend approval of the proposed solar cantilevered carport, and Committee member Key seconded the motion.*

Vote Tally

*Ayes (0): None*

*Noes (4): Clifton (motion), Key (second), Renteria, Hernandez*

*Abstain (0): None*

*Absent (2): Kamboj*

**C. Repeat Performance Signage**

**Location: 1429 N Van Ness Ave**

**Applicant: Gwynn Clark**

New signage for Repeat Performance

*Staff gave a brief presentation on the proposed signage improvements in the absence of the project applicant.*

**TOWER DISTRICT DESIGN REVIEW COMMITTEE  
MEETING AGENDA  
Tuesday May 7, 2024 – 5:00 p.m.**

*Committee member Key moved to recommend approval of the proposed solar cantilevered carport, and Committee member Renteria seconded the motion.*

*Vote Tally*

*Ayes (4): Key (motion), Renteria (second), Clifton, Hernandez*

*Noes (0): None*

*Abstain (0): None*

*Absent (1): Kamboj*

**VI. UNSCHEDULED COMMUNICATIONS**

*None.*

**VII. ADJOURNMENT**

The Committee, having concluded all business, adjourned at 5:42 p.m.

Respectfully,

*Valeria Ramirez*

Valeria Ramirez  
Committee Staff Liaison



Exhibit 5A



# LEAP RESIDENCE ADDITION & REMODEL

## 815 N. ADOLINE, FRESNO CA 93728

**H.B. Rodriguez**  
Drafting & Design

1049 E. Manhattan Ave. / Fresno, CA 93720  
Hillary Rodriguez: 559.476.6806 • Hillary.drafting@gmail.com

*Hillary Rodriguez*

CODES	REQUIRED APPROVALS	PROJECT DESCRIPTION	VICINITY MAP	INDEX
<p><b>PARTIAL LIST OF APPLICABLE CODES</b></p> <p>2022 California Administrative Code (CAC), Part 1, Title 24 C.C.R. 2022 California Building Code (CBC), Part 2, Title 24 C.C.R. (2018 International Building Code Volumes 1-2) 2022 California Electrical Code (CEC), Part 3, Title 24 C.C.R. (2017 National Electrical Code and 2016 California Amendments) 2022 California Mechanical Code (CMC) Part 4, Title 24 C.C.R. (2018 Uniform Mechanical Code) 2022 California Plumbing Code (CPC), Part 5, Title 24 C.C.R. (2018 Uniform Plumbing Code) 2022 California Energy Code (CEC), Part 6, Title 24 C.C.R. 2022 California Historical Building Code (CHBC), Part 8 Title 24, CCR 2022 California Fire Code, Part 9, Title 24 C.C.R. (2015 International Fire Code) 2022 California Existing Building Code (CEBC), Part 10, Title 24 CCR 2022 California Green Building Standards Code, Part 11, Title 24 C.C.R. (2018 International Building Code) 2022 California Referenced Standards, Part 12, Title 24 C.C.R. Title 19 C.C.R., Public Safety, State Fire Marshal Regulations. 2013 ASME A17.1 Safety Code For Elevators And Escalators</p>	<p><b>PARTIAL LIST OF APPLICABLE STANDARDS</b></p> <p>ADDITIONAL NFPA APPLICABLE CODES SHALL BE LISTED IN THE PROJECT SPECIFICATION SECTIONS OF THE PROJECT MANUAL.</p> <p>NFPA 13 Automatic Fire Sprinkler Systems NFPA 14 Standpipe and Hose Systems NFPA 17 Dry Chemical Extinguishing Systems NFPA 17a Wet Chemical Extinguishing Systems NFPA 20 Stationary Pumps for Fire Protection NFPA 22 Water Tanks for Private Fire Protection NFPA 24 Private Fire Mains &amp; Their Appurtenances NFPA 25 Standard for Inspection, Testing and Maintenance of Water-Based Fire Protection Systems NFPA 72 National Fire Alarm &amp; Signaling Code NFPA 80 Fire Doors and Other Opening Protectives NFPA 92 Standard for Smoke Control Systems NFPA 99 Health Care Facilities Code NFPA 253 Critical Radiant Flux of Floor Covering Systems NFPA 2001 Clean Agent Fire Extinguishing Systems</p> <p>FOR A COMPLETE LIST OF APPLICABLE NFPA STANDARDS REFER TO 2022 CBC (SFM) CHAPTER 35 AND CALIFORNIA FIRE CODE CHAPTER 80.</p>	<p>1. CALGreen CERTIFICATION. THE FOLLOWING DOCUMENTATION SHALL BE PROVIDED TO THE CITY OF FRESNO PRIOR TO INSPECTION: A. INDOOR WATER USE (FINAL INSPECTION) B. MOISTURE CONTENT OF BUILDING MATERIALS <b>BY THIRD PARTY SPECIAL INSPECTOR</b> (INSULATION INSPECTION) C. ADHESIVE AND SEALANT VOC LIMITS (FINAL INSPECTION) D. PAINTS AND COATINGS VOC LIMITS (FINAL INSPECTION) E. COMPOSITE WOOD PRODUCTS (FRAME INSPECTION) F. CARPET AND FLOORING CERTIFICATION (FINAL INSPECTION)</p> <p>2. HERS VERIFICATION. THE FOLLOWING DOCUMENTATION SHALL BE PROVIDED TO THE CITY OF FRESNO PRIOR TO PROJECT FINAL. A. A REGISTERED COPY OF THE CF-3R FORM FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.</p> <p>3. A STATEMENT OF SPECIAL INSPECTION WILL BE PROVIDED TO THE CITY OF FRESNO PRIOR TO PROJECT FINAL. THE STATEMENT SHALL IDENTIFY THE SCOPE OF WORK; LIST THE INDIVIDUAL(S) PERFORMING THE INSPECTIONS; INCLUDE CURRENT INDIVIDUAL CERTIFICATIONS AS WELL AS THE LABORATORY'S CERTIFICATION. THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED FOR THIS PROJECT: A. EPOXY HOLD DOWNS.</p>	<p>PROJECT SCOPE: THE SCOPE OF THIS PROJECT IS TO ADD AN NEW MASTER BATHROOM AND CLOSET ON TO THE EXISTING RESIDENCE, AS WELL AS ENDED THE EXISTING KITCHEN AND ADD A 1/2 GUEST BATHROOM.</p> <p><b>BUILDING ANALYSIS</b></p> <p>ADDRESS: 815 N. ADOLINE FRESNO CA. 93728 CITY: FRESNO APN: 450-242-05 OCCUPANCY: SINGLE FAMILY RESIDENTIAL ZONING: R-1 TYPE OF CONSTRUCTION: TYPE V AUTOMATIC SPRINKLERED: NO HEIGHT: SINGLE STORY BUILDING EXISTING BUILDING SQ FT: 926 S.F. ADDITION SQ FT: 694 S.F. REMODELLED AREA SQ FT: 71 S.F.</p>	<p><b>ARCHITECTURAL</b></p> <p>G0.01 COVER SHEET CALGREEN.01 CALGREEN DOCUMENTS CALGREEN.02 CALGREEN DOCUMENTS A1.10 SITE PLAN A2.01 DEMOLITION FLOOR PLAN A2.02 REMODEL FLOOR PLAN, WINDOW &amp; DOOR SCHEDULES A3.01 REFLECTED CEILING PLAN AND ROOF PLAN A4.01 FLOOR AND ROOF FRAMING PLANS A5.01 EXTERIOR ELEVATIONS A5.02 INTERIOR ELEVATIONS, FINISH SCHEDULE A6.10 SECTIONS A7.01 FLOORING FINISH PLAN A10.01 WALL DETAILS A10.02 WALL, CEILING AND MISC. DETAILS A10.03 OPENINGS, CASEWORK &amp; MISC. DETAILS</p> <p><b>STRUCTURAL</b></p> <p>S-0 STRUCTURAL NOTES S-1 FOUNDATION &amp; SUBFLOOR PLAN S-2 ROOF FRAMING PLAN S-D1 STRUCTURAL DETAILS S-D2 STRUCTURAL DETAILS</p> <p><b>MECHANICAL &amp; PLUMBING</b></p> <p>MP.01 MECHANICAL &amp; PLUMBING P-1 PLUMBING ISOMETRIC &amp; CALCS</p> <p><b>ELECTRICAL</b></p> <p>E1.0 NOTES E1.1 ELECTRICAL PLAN</p> <p><b>ENERGY DOCUMENTS</b></p> <p>T24.1 TITLE 24 DOCUMENTS T24.2 TITLE 24 DOCUMENTS T24.3 TITLE 24 DOCUMENTS</p>
<b>DEFERRED APPROVALS</b>				

**PROJECT**

**LEAP RESIDENCE**  
ADDITION AND REMODEL

815 N. ADOLINE AVE.  
FRESNO, CA 93728

**OWNER**  
**LYELL & MELISSA LEAP**  
815 N. ADOLINE AVE. / FRESNO, CA 93728  
559.770.7082

Project Number: **1001001**

Revisions Issued:

No.	Issued
1	PLANCHHECK #001 12.07.2023

Project Team:

**ARCHITECTURAL DRAFTING & DESIGNER**  
**HILLARY B. RODRIGUEZ**  
1049 E. MANHATTAN AVE. / FRESNO, CA 93720  
559.473.6806

**STRUCTURAL**  
**KYLE M. POPE**  
1250 SUNNYSIDE AVE. SUITE 105 / CLOVIS, CA 93611  
(559) 385-5110

**ELECTRICAL**  
**VALLEY UNIQUE ELECTRIC, INC.**  
75 PARK CREEK DR. / CLOVIS, CA 93611  
(559) 277-2000

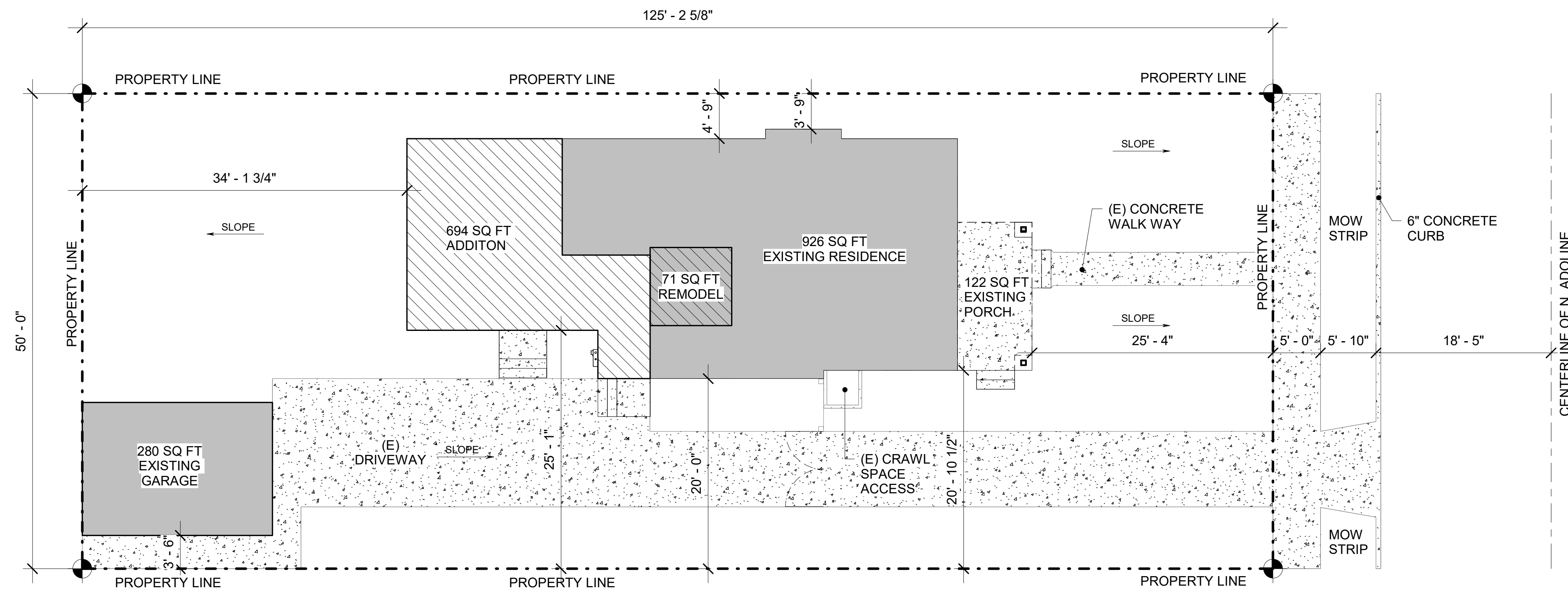
SYMBOLS	ABBREVIATIONS	GENERAL NOTES
<p><b>NORTH ARROW</b> OVERLAY ARROW INDICATES TRUE NORTH SHADED AREA INDICATES PLAN NORTH</p> <p><b>ELEVATION CALLOUT</b> INDICATES A SIMILAR CONDITION LOCATION ON SHEET SHEET WHERE SECTION IS DRAWN</p> <p><b>SECTION CALLOUT</b> INDICATES A SIMILAR CONDITION LOCATION ON SHEET SHEET WHERE SECTION IS DRAWN</p> <p><b>DETAIL CALLOUT</b> INDICATES A SIMILAR CONDITION LOCATION ON SHEET SHEET WHERE SECTION IS DRAWN</p> <p><b>CONTROL OR DATUM POINT</b> NAME OF ELEVATION (IF APPLICABLE) ELEVATION ABOVE FINISHED FLOOR</p> <p><b>GRID BUBBLE</b> EXISTING BUILDING GRID SYMBOL GRID NUMBER NEW BUILDING GRID SYMBOL</p> <p><b>DOOR CALLOUT</b> DOOR NUMBER</p> <p><b>INTERIOR FINISH CALLOUT</b> MATERIAL FINISH TYPE</p> <p><b>WINDOW CALLOUT</b> WINDOW NUMBER</p> <p><b>EQUIPMENT TYPE CALLOUT</b> REFER TO EQUIPMENT SCHEDULE</p> <p><b>WALL TYPE CALLOUT</b> REFER TO WALL TYPE SCHEDULE</p>	<p><b>KEYNOTE</b> DEMO KEYNOTE NUMBER (SEE LEGEND ON SHEET) NEW WORK KEYNOTE NUMBER (SEE LEGEND ON SHEET)</p> <p><b>ROOM EXITING INFORMATION</b> ROOM NAME ROOM NUMBER AREA (SQ FT) OCCUPANT LOAD FACTOR (REFER TO TABLE 1004.1.1) OCCUPANT LOAD (AREA DIVIDED BY LOAD FACTOR) NUMBER OF EXITS REQUIRED (REFER TO TABLE 1015.1)</p> <p><b>WIC CASEWORK TAG</b> MANUFACTURER REFERENCE AND MODEL NUMBER MODIFICATION NOTE CABINET DEPTH CABINET HEIGHT CABINET WIDTH</p> <p><b>DISCIPLINE</b> G GENERAL C CIVIL L LANDSCAPE A ARCHITECTURE I INTERIORS Q EQUIPMENT S STRUCTURAL P PLUMBING M MECHANICAL E ELECTRICAL FA FIRE ALARM T TELECOM</p> <p><b>SHEET TYPE</b> 0 CODE ANALYSIS, NOTES 1 SITE PLAN 2 FLOOR PLAN 3 CEILING PLAN &amp;/OR ROOF PLAN 4 FRAMING PLANS 5 ELEVATIONS 6 SECTIONS 7 ENLARGED PLANS 8 MISC. 9 SCHEDULES 10 DETAILS</p> <p><b>BUILDING LETTER/SEGMENT (USER DEFINED)</b> USED ONLY IF REQUIRED. IF NOT, COLUMN IS OMITTED.</p> <p><b>SHEET TYPE</b> BUILDING LETTER (IF APPLICABLE) DISCIPLINE USER DEFINED (IF APPLICABLE)</p> <p><b>FLOOR LEVEL</b> SERIES / ORDER SEGMENT</p>	<p><b>SUMMARY OF WORK</b></p> <ol style="list-style-type: none"> <li>ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS. THE ELECTRICAL, MECHANICAL, AND OTHER DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. DRAWING DIVISIONS ARE NOT INTENDED TO DIVIDE THE CONSTRUCTION WORK BY TRADE OR CONTRACT. CONTRACTOR WILL COORDINATE ALL WORK WITH THE ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE WORK. NOTIFY THE ARCHITECT FOR CLARIFICATION OF DISCOVERED DISCREPANCIES. WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.</li> <li>THE SPECIFICATIONS ARE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. FOR SPECIFIC REQUIREMENTS OF MATERIAL, WORKMANSHIP, AND PERFORMANCE, REFER TO SPECIFICATIONS AND GENERAL REQUIREMENTS.</li> <li>ALL DIMENSIONS ARE TO "FACE OF STUD" OR FROM "GRID LINES" IN NEW CONSTRUCTION AND "FACE OF FINISH" IN EXISTING CONDITION, UNLESS NOTED OTHERWISE.</li> <li>WRITTEN DIMENSIONS ON DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS TO DETERMINE THE FINAL WORKING DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.</li> <li>HEIGHTS ARE DIMENSIONED FROM "ABOVE FINISH FLOOR", UNLESS NOTED OTHERWISE.</li> <li>IN THE EVENT THAT CERTAIN FEATURES OF THE WORK ARE NOT FULLY SHOWN OR DETAILED ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN.</li> <li>ITEMS NOT IDENTIFIED AS "EXISTING" ARE INTENDED AS NEW AND TO BE PROVIDED AS PART OF THIS PROJECT. "TYPICAL" SHALL MEAN IDENTICAL FOR ALL SAME CONDITIONS. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.</li> </ol> <p><b>CONTRACTORS MANAGEMENT &amp; COORDINATION</b></p> <ol style="list-style-type: none"> <li>THE GENERAL CONTRACTOR WILL BE REQUIRED TO ATTEND ANY PROJECT CONSTRUCTION MEETINGS THAT ARE SCHEDULED THROUGHOUT THE COURSE OF THE PROJECT. HE/SHE WILL PROVIDE AND DISTRIBUTE MEETING NOTES TO ALL PARTIES INVOLVED.</li> <li>CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, FOR ACCURACY AND CONFIRMING THAT WORK IS CONSTRUCTIBLE AS SHOWN PRIOR TO PROCEEDING WITH THE WORK. FOR QUESTIONS REGARDING THE CONTRACT DOCUMENTS OR OTHER COORDINATION QUESTIONS, OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.</li> <li>CONTRACTOR SHALL INFORM THE ARCHITECT OF CONFLICTS THAT EXIST IN LOCATIONS OF MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, AND FIRE SPRINKLER EQUIPMENT. CONFIRM REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT IS PROVIDED.</li> <li>CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK, OR TO MAKE ITS MANY PARTS FIT TOGETHER PROPERLY. PROTECT ADJACENT CONSTRUCTION FROM DAMAGE, CUTTING AND WEAKENING OF EXISTING STRUCTURAL COMPONENTS, WALLS, FLOORS, AND ROOF MEMBERS IS PROHIBITED UNLESS FULLY DETAILED ON THE PLANS.</li> </ol> <p><b>REGULATORY REQUIREMENTS</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR IS RESPONSIBLE FOR PROVIDING WORK AND MATERIALS IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL REGULATORY AGENCIES AND APPLICABLE BUILDING CODES.</li> <li>CONSTRUCTION TECHNIQUES, MATERIALS AND FINISHES TO BE INSTALLED AS REQUIRED BY THE APPROPRIATE CODE AUTHORITIES. INSTALLATION SHALL FOLLOW THE STANDARDS OF THE INDUSTRY IN ADDITION TO MEETING OR EXCEEDING THE DESIGN STANDARDS.</li> <li>THE INTENT OF THE CONSTRUCTION DOCUMENTS IS TO RECONSTRUCT THE HOSPITAL BUILDING IN ACCORDANCE WITH THE 2019 CBC. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE APPROVED CONSTRUCTION DOCUMENTS, WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH THE 2019 CBC, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY OS. ALL CBC SECTIONS 107 AND 116.</li> </ol> <p><b>OWNER FURNISHED ITEMS</b></p> <ol style="list-style-type: none"> <li>WORK INDICATED AS "OWNER FURNISHED/CONTRACTOR INSTALLED", AND "OWNER FURNISHED/OWNER INSTALLED" SHALL MEET ALL APPLICABLE CODES AND REGULATORY REQUIREMENTS INDICATED WITHIN THESE DOCUMENTS AND SHALL BE INSTALLED AND FULLY OPERATIONAL PRIOR TO FINAL APPROVAL OF THIS PROJECT.</li> </ol> <p><b>WARRANTIES</b></p> <ol style="list-style-type: none"> <li>ALL WARRANTY DOCUMENTATION AS REQUIRED BY CONTRACT DOCUMENTS SHALL BE TURNED OVER TO THE OWNER BEFORE FINAL PAYMENT.</li> </ol> <p><b>FIRESTOPPING</b></p> <ol style="list-style-type: none"> <li>ALL PENETRATIONS THROUGH FIRE-RATED FLOORS AND WALLS SHALL BE FIRE-STOPPED WITH AN UNDERWRITERS LABORATORY TESTED THROUGH PENETRATION FIRE-STOP SYSTEM RATED EQUAL TO OR GREATER THAN THE FIRE RATING OF THE FLOOR OR WALL BEING PENETRATED.</li> <li>APPLICABLE FIRE STOP SYSTEM DESIGNS TO BE REVIEWED AND APPROVED BY THE INSPECTOR-OF-RECORD AND OSHPD FIRE MARSHAL PRIOR TO INSTALLATION.</li> <li>THE CONTRACTOR SHALL PROVIDE A COPY OF ALL APPROVED TESTED, LISTED DESIGNS ON THE JOB SITE FOR USE BY "OSHPD FIELD PERSONNEL"</li> </ol> <p><b>STRUCTURAL NOTES</b></p> <ol style="list-style-type: none"> <li>"WHEN INSTALLING DRILLED IN ANCHORS AND/OR POWDER DRIVING PINS IN EXISTING NO-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCEMENT BARS. WHEN INSTALLING THEM INTO EXISTING PRESTRESSED CONCRETE (PRE- OR POST-TENSIONED) LOCATE THE PRESTRESSED TENDONS BY USING A NON-DESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXERCISE EXTREME CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN."</li> </ol> <p><b>FIRE DEPARTMENT NOTES</b></p> <ol style="list-style-type: none"> <li>EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY (GYM); SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT.</li> <li>IN EVERY A, E, I, R-1, R-2, R-3.1 AND R-4 OCCUPANCIES ALL DECORATIVE MATERIALS SHALL BE OF NON-COMBUSTIBLE OR APPROVED FLAME RETARDANT TREATED MATERIALS.</li> </ol> <p>THIS PERMIT DOES NOT INCLUDE ANY HIGH-PILE STORAGE (PER CFC) OR RACK STORAGE OVER 8 FEET IN HEIGHT. ANY SUCH PROPOSED STORAGE WILL REQUIRE SUBMITTAL OF PLANS AND APPLICATION FOR PERMITS.</p>

**PERMITS CHECKED**

DEVELOPMENT DEPARTMENT  
Do NOT replace sheets with "BACK CHECKED" stamps (please re-visit)  
Date of re-submission: \_\_\_\_\_  
DATE: May 22 2024

# G0.01





**LEGEND**

- PROPERTY LINE
- [Hatched Box] ITEM TO BE DEMOLISHED AND/OR REMOVED

**PROJECT INFORMATION**

FOOTAGE	
EXISTING RESIDENCE	926 SQ FT
EXISTING FRONT PORCH	122 SQ FT
EXISTING GARAGE	280 SQ FT
ADDITION	694 SQ FT
TOTAL SQUARE FOOTAGE	2022 SQ FT
LOT AREA	6261 SQ FT
LOT COVERAGE	32%

**SITE PLAN NOTES**

- LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM ALL FOUNDATIONS AT A SLOPE OF 5% WITHIN 10 FEET OF THE BUILDING. (CRC R401.3).
- IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING.
- ALL SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5% DIRECTED TOWARDS THE STREET.

**PROJECT**  
**LEAP RESIDENCE**  
**ADDITION AND REMODEL**  
 815 N. ADOLINE AVE.  
 FRESNO, CA 93728

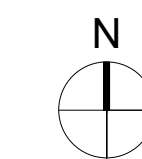
Project Number: **1001001**

Revisions Issued:  
 No. Issued

Agency Approval:

Sheet Title:  
**SITE PLAN**

Sheet Number:



**BACK CHECKED**  
 City of **FRESNO**  
 DEVELOPMENT DEPARTMENT  
 Do NOT replace sheets with "BACK CHECKED" stamp unless revising. Include this sheet with complete building set at time of re-submittal.  
 DATE: **May 22 2024**

**SITE PLAN**

**1**  
 1/8" = 1'-0"

**PROJECT**  
**LEAP RESIDENCE**  
**ADDITION AND REMODEL**  
 815 N. ADOLINE AVE.  
 FRESNO, CA 93728

Project Number: **1001001**

Revisions Issued:

No.	Issued

Agency Approval:

Sheet Title:  
**DEMOLITION FLOOR PLAN**

Sheet Number:

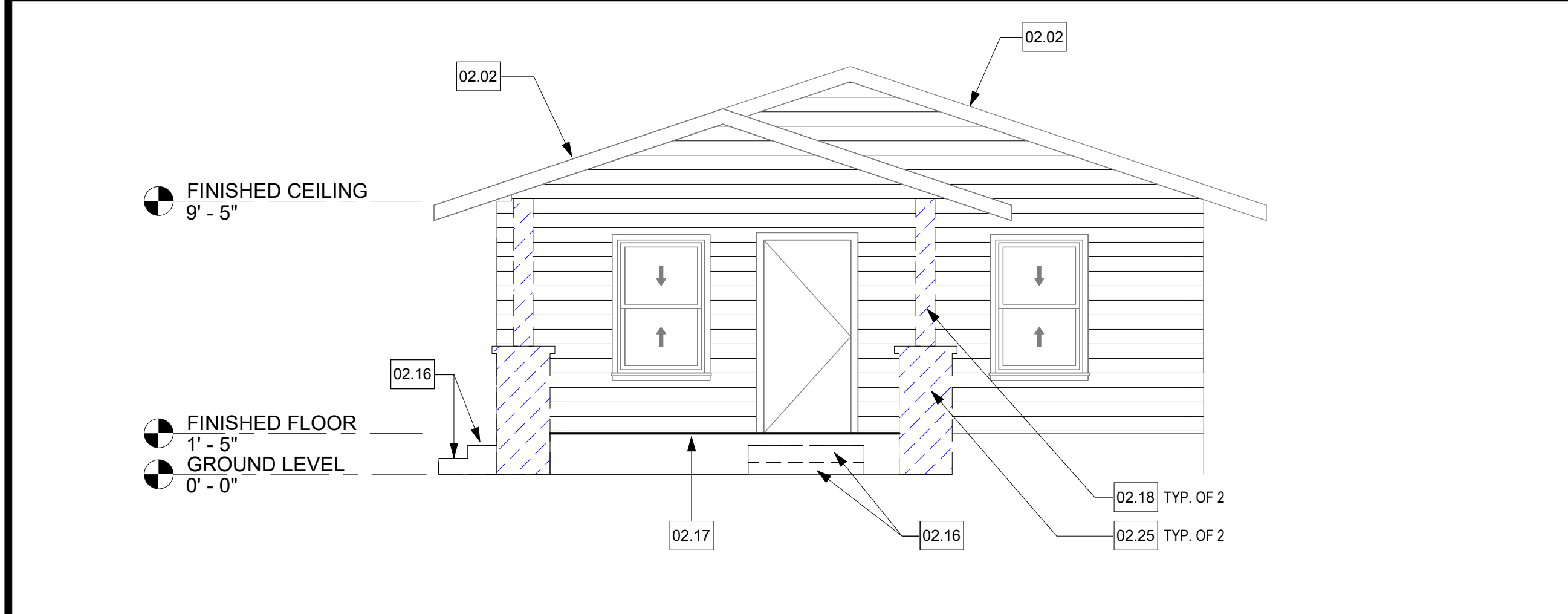
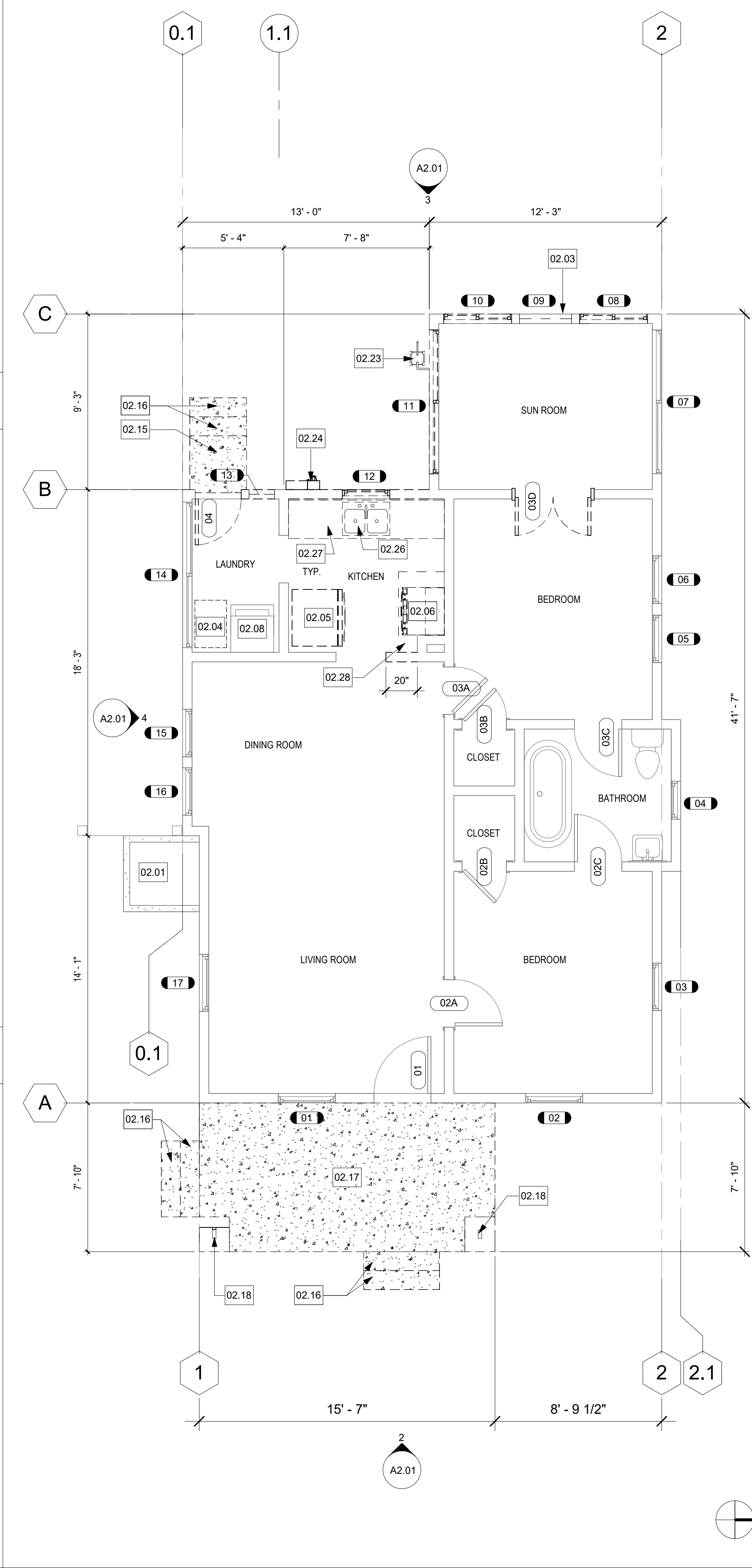
**A2.01**

**LEGEND**

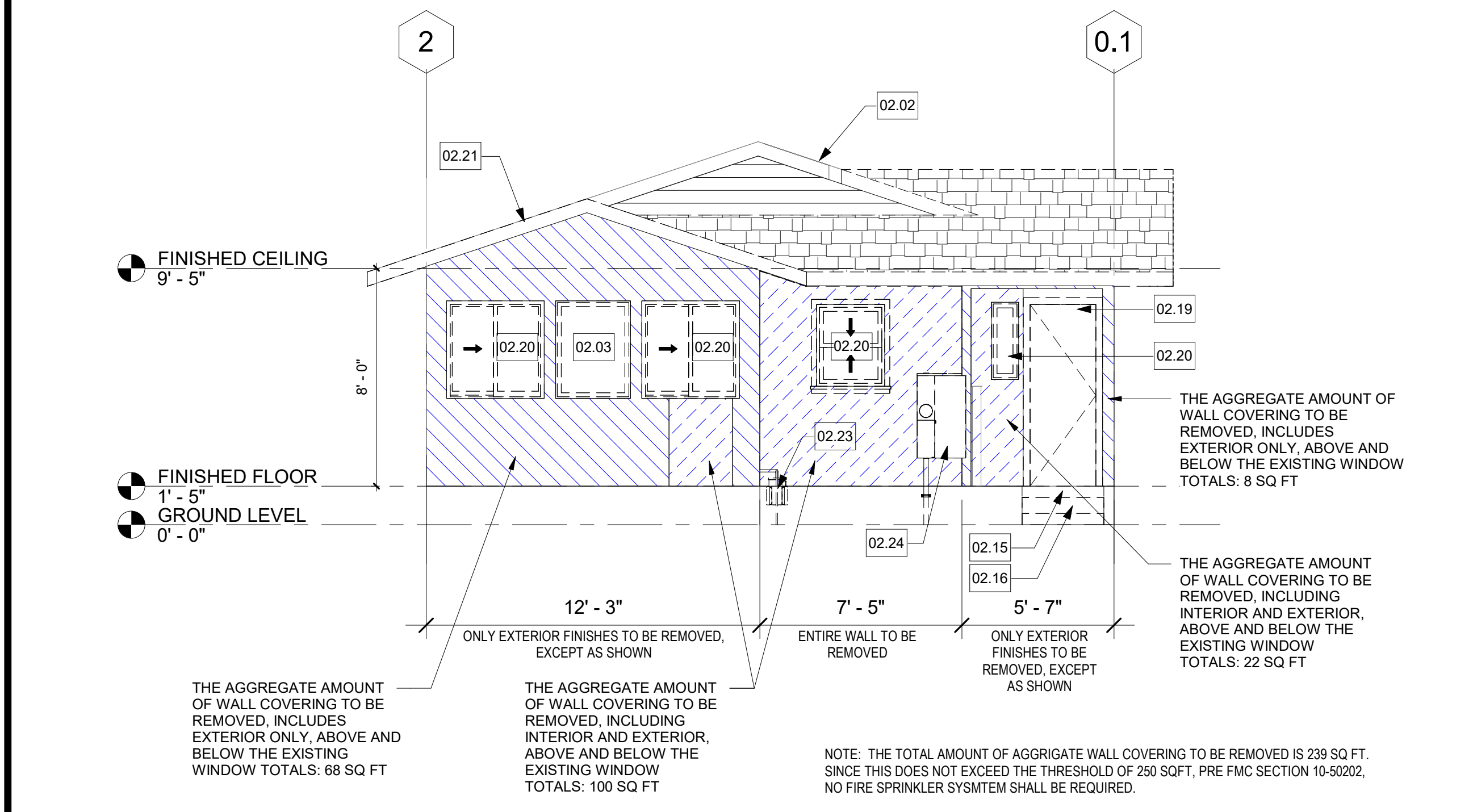
SYMBOL	DESCRIPTION
	NEW WALL. SEE WALL LEGEND ON SHEET A10.01
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMO

- KEYNOTES**
- | NO.   | Note - Detail   |
|-------|---|
| 02.01 | (E) UNDER FLOOR ACCESS TO REMAIN "AS IS, NO CHANGE"   |
| 02.02 | (E) ROOF STRUCTURE TO REMAIN, NO CHANGE. PROTECT FROM SELECTIVE DEMOLITION.                                 |
| 02.03 | (E) WINDOW TO BE RELOCATED. PROTECT FROM SELECTIVE DEMOLITION.  |
| 02.04 | (E) ATTIC ACCESS IN CEILING TO REMAIN.  |
| 02.05 | (E) REFRIGERATOR TO BE RELOCATED. REFER TO REMODEL PLAN, SHEET A2.01, FOR (N) LOCATION.                     |
| 02.06 | (E) OVEN/RANGE TO BE RELOCATED. REFER TO REMODEL PLAN, SHEET A2.01, FOR (N) LOCATION.                       |
| 02.08 | (E) WASHER/DRYER TO REMAIN.   |
| 02.15 | SELECTIVE DEMOLITION, (E) CONCRETE LANDING TO BE REMOVED.   |
| 02.16 | SELECTIVE DEMOLITION, (E) CONCRETE STEPS TO BE REMOVED.   |
| 02.17 | SELECTIVE DEMOLITION, (E) CONCRETE PATIO TO BE REMOVED AND REPLACED.  |
| 02.18 | SELECTIVE DEMOLITION, (E) POST TO BE REPLACED. REFER TO STRUCTURAL.   |
| 02.19 | SELECTIVE DEMOLITION, (E) DOOR TO BE REMOVED.   |
| 02.20 | SELECTIVE DEMOLITION, (E) WINDOW TO BE REMOVED. PROTECT AND RETURN TO OWNER.                                |
| 02.21 | SELECTIVE DEMOLITION, (E) ROOF STRUCTURE TO BE REMOVED, PROTECT SURROUNDING ROOF FROM SELECTIVE DEMOLITION. |
| 02.23 | SELECTIVE DEMOLITION, (E) GAS METER TO BE RELOCATED. REFER TO PLUMBING SHEETS.                              |
| 02.24 | SELECTIVE DEMOLITION, (E) ELECTRICAL PANEL TO BE RELOCATED. REFER TO ELECTRICAL SHEETS.                     |
| 02.25 | SELECTIVE DEMOLITION, (E) POST SURROUND TO BE REPLACED.   |
| 02.26 | SELECTIVE DEMOLITION, (E) KITCHEN SINK TO BE RELOCATED, REFER TO REMODEL FLOOR PLAN SHEET A2.02.            |
| 02.27 | SELECTIVE DEMOLITION, (E) COUNTERTOP AND CABINTRY TO BE REMOVED.  |
| 02.28 | SELECTIVE DEMOLITION, (E) ABANDONED CHIMNEY FLUE TO BE REMOVED, SEAL (E) CHIMNEY.                           |

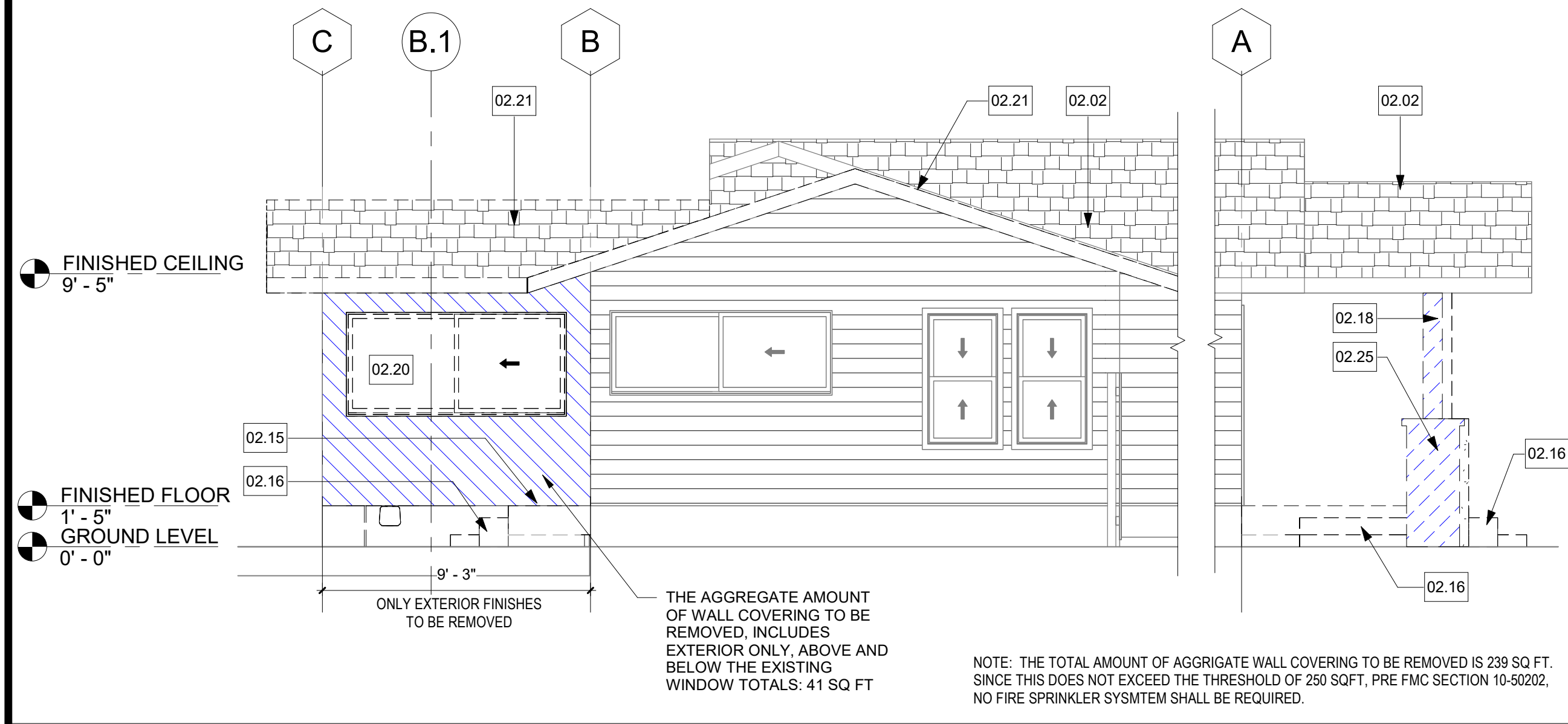
- DEMOLITION NOTES**
- FULLY COORDINATE CONSTRUCTION SEQUENCING WITH OWNER'S REPRESENTATIVE. SUBMIT CONSTRUCTION SEQUENCING SCHEDULE FOR APPROVAL BY OWNER PRIOR TO START OF CONSTRUCTION.
  - INSPECT CONDITION OF (E) WALLS AND SLABS PRIOR TO CONSTRUCTION TO IDENTIFY NON-COMPLIANT PENETRATIONS OR CONDITIONS.
  - IDENTIFY AND CONFIRM ALL CONDUITS AND CABLING RUNS THAT ENTERS INTO, PASSES THROUGH PENETRATES OR TERMINATES INTO AREA OF WORK.
  - RESTORE FINISHES DAMAGED DURING INSTALLATION AND CONSTRUCTION PERIOD SO NO EVIDENCE REMAINS OF CORRECTION WORK.



**DEMOLITION ELEVATION - EAST 2**  
 1/4" = 1'-0"



**DEMOLITION ELEVATION - WEST 3**  
 1/4" = 1'-0"



**DEMOLITION ELEVATION - SOUTH 4**  
 1/4" = 1'-0"





**PROJECT**  
**LEAP RESIDENCE**  
**ADDITION AND REMODEL**  
 815 N. ADOLINE AVE.  
 FRESNO, CA 93728

Project Number: **1001001**

Revisions Issued:  
 No. Issued

Agency Approval:

Sheet Title:  
**REMODEL FLOOR PLAN, WINDOW & DOOR SCHEDULES**

Sheet Number:

**A2.02**

**EXTERIOR DOORS**

- DOORS TO BE CERTIFIED AND LABELED.
- ALL EXTERIOR DOORS SHALL BE DEADBOLTED.
- GLASS DOORS SHALL HAVE DUAL PANE, TEMPERED GLASS.
- STEEL PLATE SHALL BE INSTALLED @ DEAD BOLT STRIKER WITH SOLID SHIMS 6" ABOVE & BELOW STRIKER WITH (2) #8 X 2" SCREWS @ EACH SHIM.
- 1" MAX. STEPDOWN MEASURED FROM TOP OF THRESHOLD TO EXTERIOR LANDING.
- ALL EXTERIOR DOORS SHALL BE SOLID CORE WITH WEATHERSTRIPPING

**WINDOWS GLAZING**

- WINDOWS TO BE CERTIFIED AND LABELED.
- ALL GLAZING TO BE DUAL PANE.
- GLAZING IN ENCLOSURES FOR, OR WALLS FACING, BATH TUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

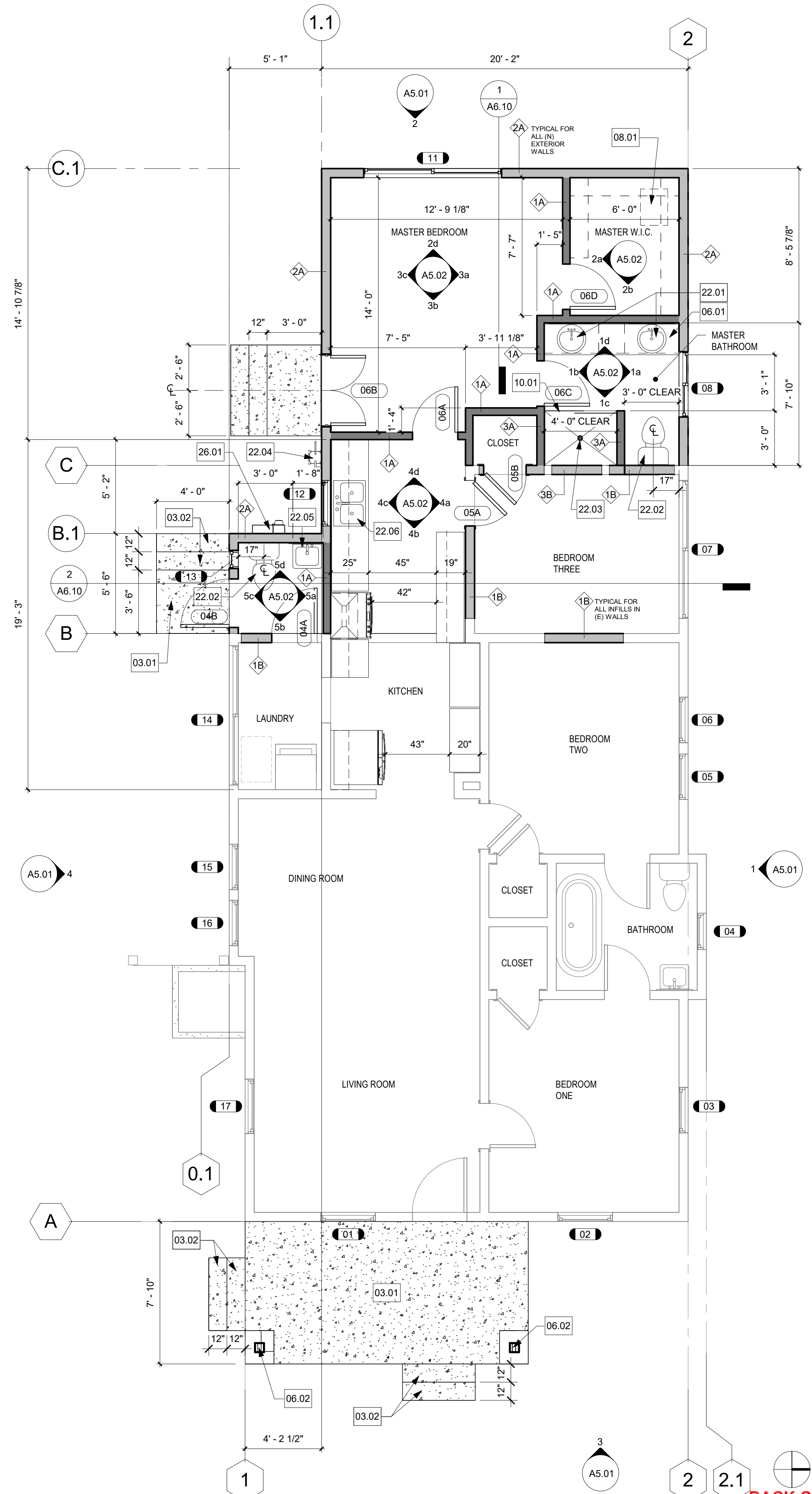
**ENERGY COMPLIANCE**

**ENERGY COMPLIANCE**  
 WALL INSULATION: R-15 UNFACED BATT W/ 1/2" DENSGLASS SHEATHING  
 ATTIC INSULATION: R-30  
 FLOOR INSULATION: R-19  
 WINDOWS: SHGC .67  
 U FACTOR .58  
 COMPLETED CF-4R FORM TO BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.  
 AFTER INSTALLING WATER HEATING SYSTEMS, FENESTRATION, AND HVAC EQUIPMENT, THE INSTALLER SHALL SUBMIT AND "INSTALLATION CERTIFICATE" (CF-6R FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, (MANUFACTURER, MODEL, AND EFFICIENCIES, U-VALUES AND SHGC-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. (CEES SECTION 10-103(A)(3))

DOOR SCHEDULE				
DOOR NUMBER	DOOR WIDTH	DOOR HEIGHT	FRAME TYPE / PANEL TYPE	Comments
01	3' - 0"	6' - 8"	HINGED	
02A	2' - 6"	6' - 8"	HINGED	
02B	2' - 4"	6' - 8"	HINGED	
02C	2' - 6"	6' - 8"	HINGED	
03A	2' - 6"	6' - 8"	HINGED	
03B	2' - 4"	6' - 8"	HINGED	
03C	2' - 6"	6' - 8"	HINGED	
03D	4' - 0"	6' - 8"	HINGED	TO BE REMOVED
04	2' - 5"	6' - 8"	HINGED	TO BE REMOVED
04A	2' - 6"	6' - 8"	HINGED	
04B	2' - 8"	6' - 8"	HINGED	
05A	2' - 6"	6' - 8"	HINGED	
05B	2' - 4"	6' - 8"	HINGED	
06A	2' - 6"	6' - 8"	HINGED	
06B	4' - 0"	6' - 8"	HINGED	
06C	2' - 6"	6' - 8"	HINGED	
06D	2' - 6"	6' - 8"	HINGED	

WINDOW SCHEDULE				
Mark	WIDTH	HEIGHT	CONSTRUCTION TYPE	Comments
01	3' - 0"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
02	3' - 0"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
03	2' - 6"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
04	2' - 0"	3' - 0"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
05	2' - 6"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
06	2' - 6"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
07	7' - 7"	3' - 7"	VINYL FRAME, SLIDER	EXISTING TO REMAIN.
08	3' - 7"	3' - 7"	VINYL FRAME, SLIDER	EXISTING TO BE RELOCATED. ADD 5M COAT TO FROST EXISTING GLASS
09	2' - 9"	3' - 7"	VINYL FRAME, FIXED	EXISTING TO BE RELOCATED
10	3' - 7"	3' - 7"	VINYL FRAME, SLIDER	EXISTING TO BE REMOVED
11	7' - 7"	3' - 7"	VINYL FRAME, SLIDER	EXISTING TO BE RELOCATED.
12	2' - 6"	3' - 0"	VINYL FRAME, DOUBLE HUNG	EXISTING TO BE REMOVED
13	1' - 0"	2' - 10"	VINYL FRAME, FIXED	EXISTING TO BE RELOCATED. ADD 5M COAT TO FROST EXISTING GLASS
14	7' - 8"	2' - 11"	VINYL FRAME, SLIDER	EXISTING TO REMAIN.
15	2' - 6"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
16	2' - 6"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.
17	3' - 0"	4' - 7"	VINYL FRAME, DOUBLE HUNG	EXISTING TO REMAIN.

NOTE:  
 INSTALLED FENESTRATION PRODUCTS, INCLUDING GLAZED DOORS, SHALL HAVE AN AREA WEIGHTED AVERAGE U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) MEETING THE APPLICABLE FENESTRATION VALUES IN CBC TABLE 150.1-A OR B AND SHALL BE DETERMINED IN ACCORDANCE WITH CBC SECTIONS 110.6(a)2 AND 110.6(a)3.



**REMODEL FLOOR PLAN**

**BACK CHECKER**  
 City of Fresno  
 DEVELOPMENT DEPARTMENT  
 Do NOT stamp or sign BACK CHECKER forms. Include line of re-submission.  
 DATE: **May 22 2024**

Exhibit 5B

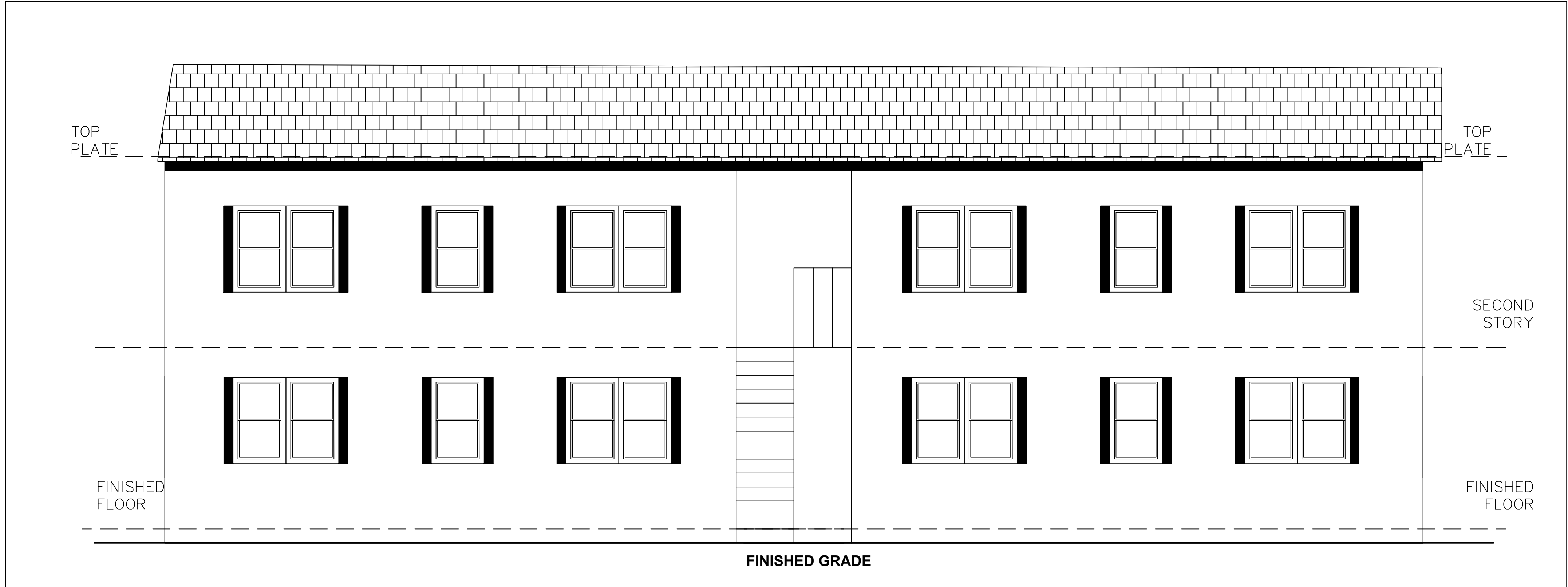
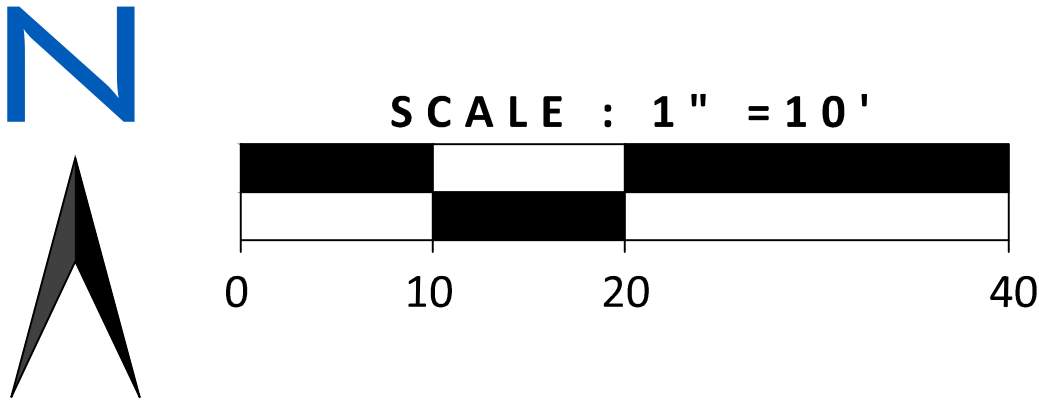
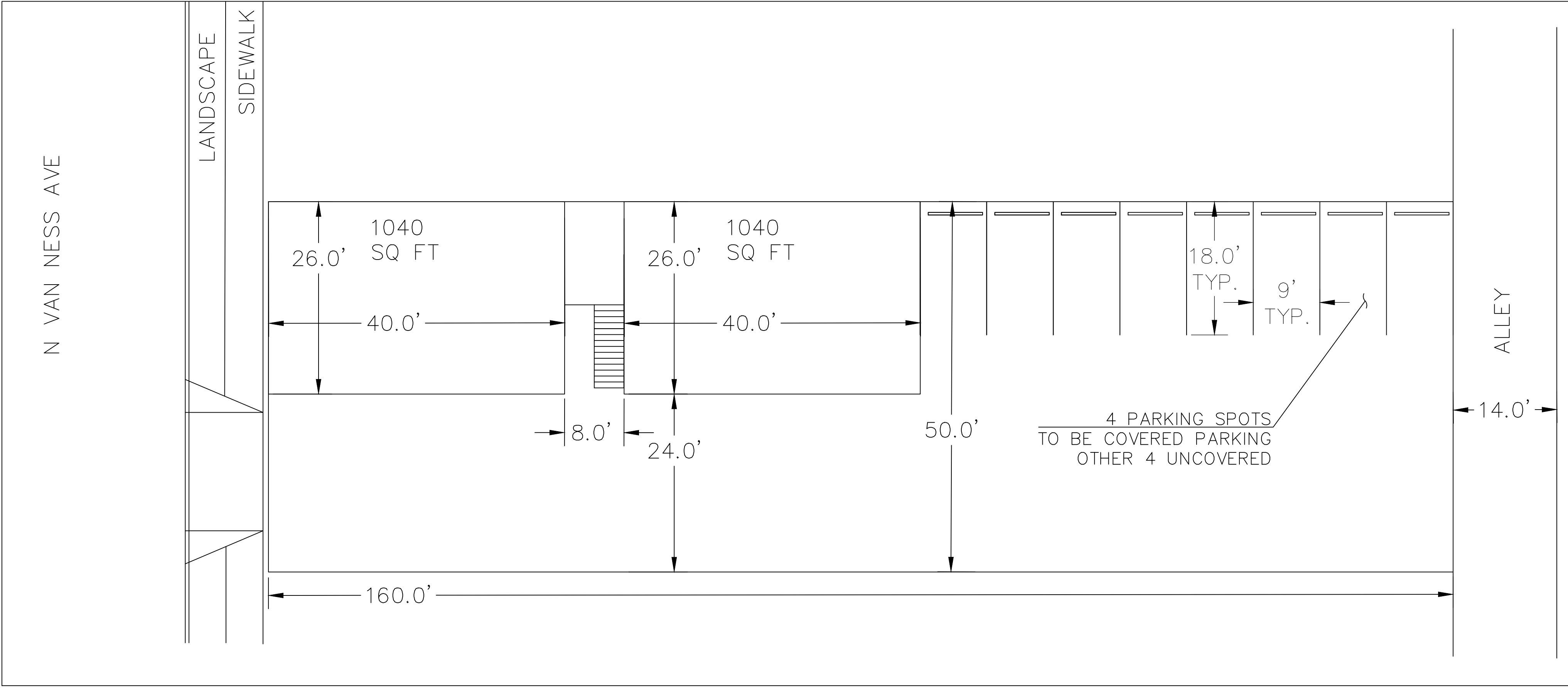
# Site Plan for 712 N Van Ness Ave, Fresno, CA 932728

**PROPOSED USE:**

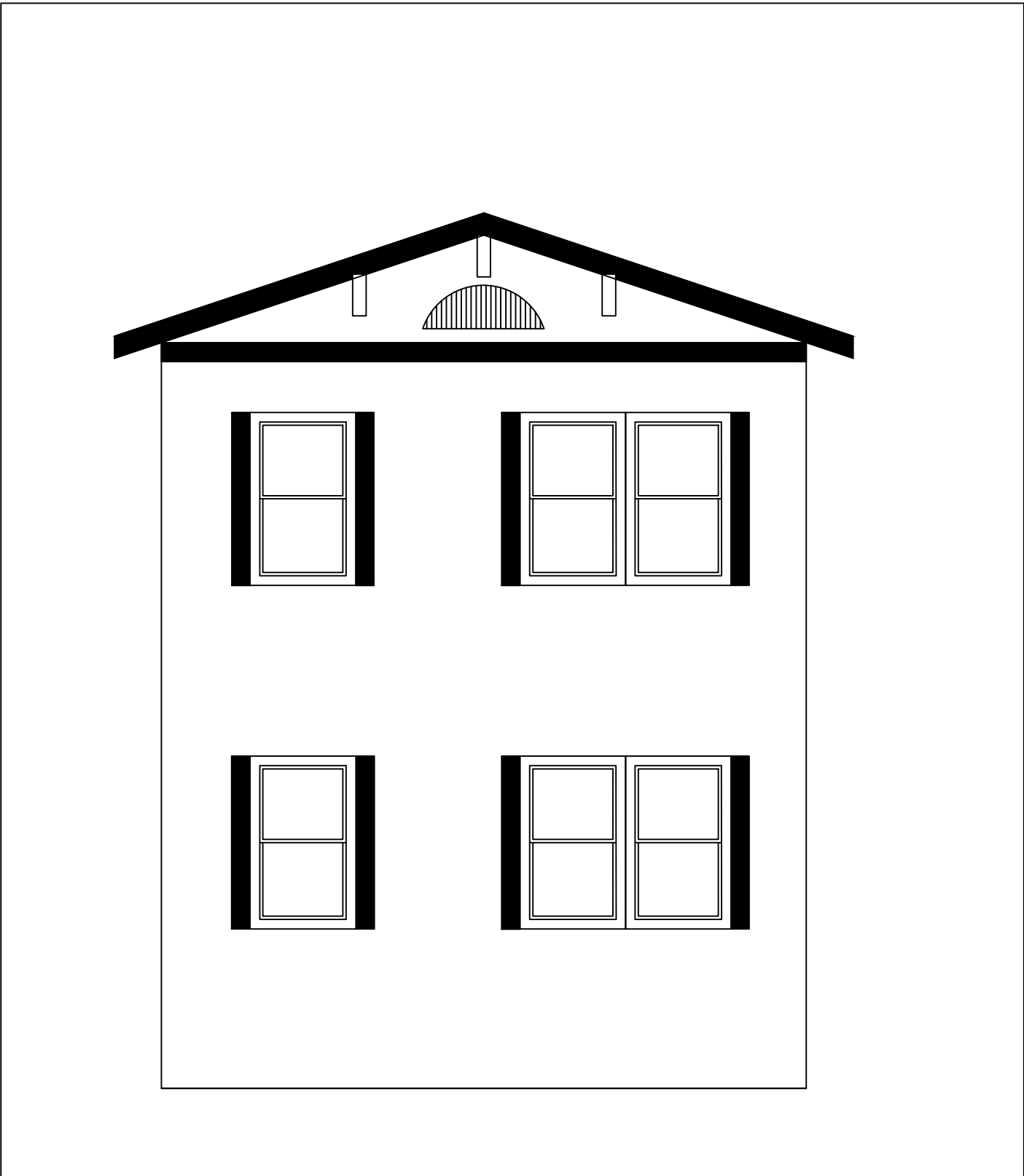
FOUR UNITS IN (2) TWO STORY BUILDINGS SIDE BY SIDE. ALL FOUR UNITS ARE THREE BEDROOM TWO BATH 1040 SQUARE FEET EACH.

**PARKING**

FOUR ONSITE COVERED PARKING SPOTS AND FOUR ONSITE UNCOVERED PARKING SPOTS.

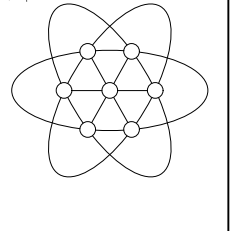


SIDE ELEVATION



ELEVATION FACING STREET

TOTAL ENGINEERING SOLUTIONS, INC.  
710 VAN NESS AVE, SUITE 108  
FRESNO, CA  
TEL: 559.233.2222  
EMAIL: TEAM@TOTALENGINEERING.COM



PREPARED FOR:  
**CITY OF FRESNO**

NO.	DATE	REVISION

S-1  
PRELIMINARY SITE PLAN AND LAYOUT  
712 N VAN NESS AVE, FRESNO, CA 93228

Date  
6/15/2024  
Scale  
ON\_SHEET  
Sheet No.  
1 OF 1  
File No.  
2024\_FVN

Exhibit 5C





Fresno | San Francisco

5547 N. Golden State Blvd.  
 Fresno, CA  
 USA 93722  
 T 559 275 7500  
 F 559 275 4431  
 cnisign.com

Contact: Arlen Tanielian  
 arlen@cnisign.com

**Repeat Performance**  
 1429 N. Van Ness Ave.  
 Fresno CA 93728

This sign is intended to be installed in accordance with the requirements of article 600 of the national electric code including proper grounding and bonding of the sign.  
 The colors printed on this page are strictly representational and should not be copied or reproduced in any way/or use in connection with this project. Refer to color spec. sheet for proper number match and system selection.  
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No.	Description	Date

Project Number: 24045      Scale: As Noted

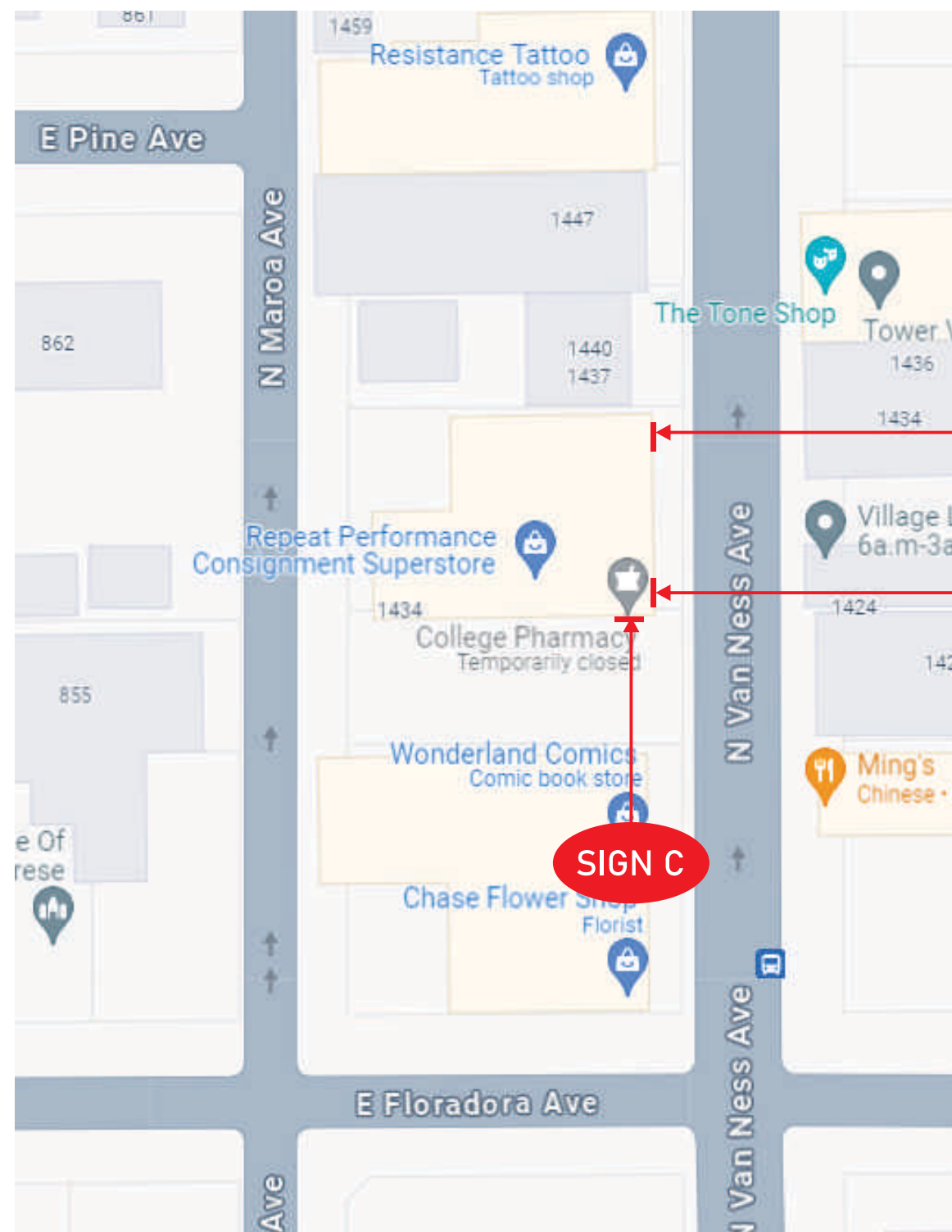
Sheet Title: Site Map

Sheet Number: 1

Approved By:      Date: 5-22-24



Contractors Lic. No. 570342



SIGN B

SIGN A

SIGN C





SIGN A

SIGN B



REMOVE EXISTING CABINET SIGN

REMOVE EXISTING ALARM BOX

EAST ELEVATION - EXISTING CONDITIONS.



REAR ELEVATION ROOF & WALL SIGNS/FRAME TO REMAIN IN PLACE.

REAR ELEVATION - EXISTING CONDITIONS.



Fresno | San Francisco

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Fresno, CA  
USA 93722  
T 559 275 7500  
F 559 275 4431  
cnisign.com

Contact: Arlen Tanielian  
arlen@cnisign.com

**Repeat Performance**

1429 N. Van Ness Ave.  
Fresno CA 93728

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No.	Description	Date

Project Number: 24045	Scale: As Noted
Sheet Title: Sign A & B - South Elevation	
Sheet Number: 2	
Approved By:	Date: 5-22-24



Contractors Lic. No. 570342

A East Elevation  
1/8" = 1'-0"



**SIGN C**



Fresno | San Francisco

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Fresno, CA  
USA 93722  
T 559 275 7500  
F 559 275 4431  
cnisign.com

Contact: Arlen Tanielian  
arlen@cnisign.com

**Repeat Performance**  
1429 N. Van Ness Ave.  
Fresno CA 93728

This sign is intended to be installed in accordance with the requirements of article 600 of the national electric code including proper grounding and bonding of the sign.  
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No.	Description	Date

Project Number: 24045      Scale: As Noted

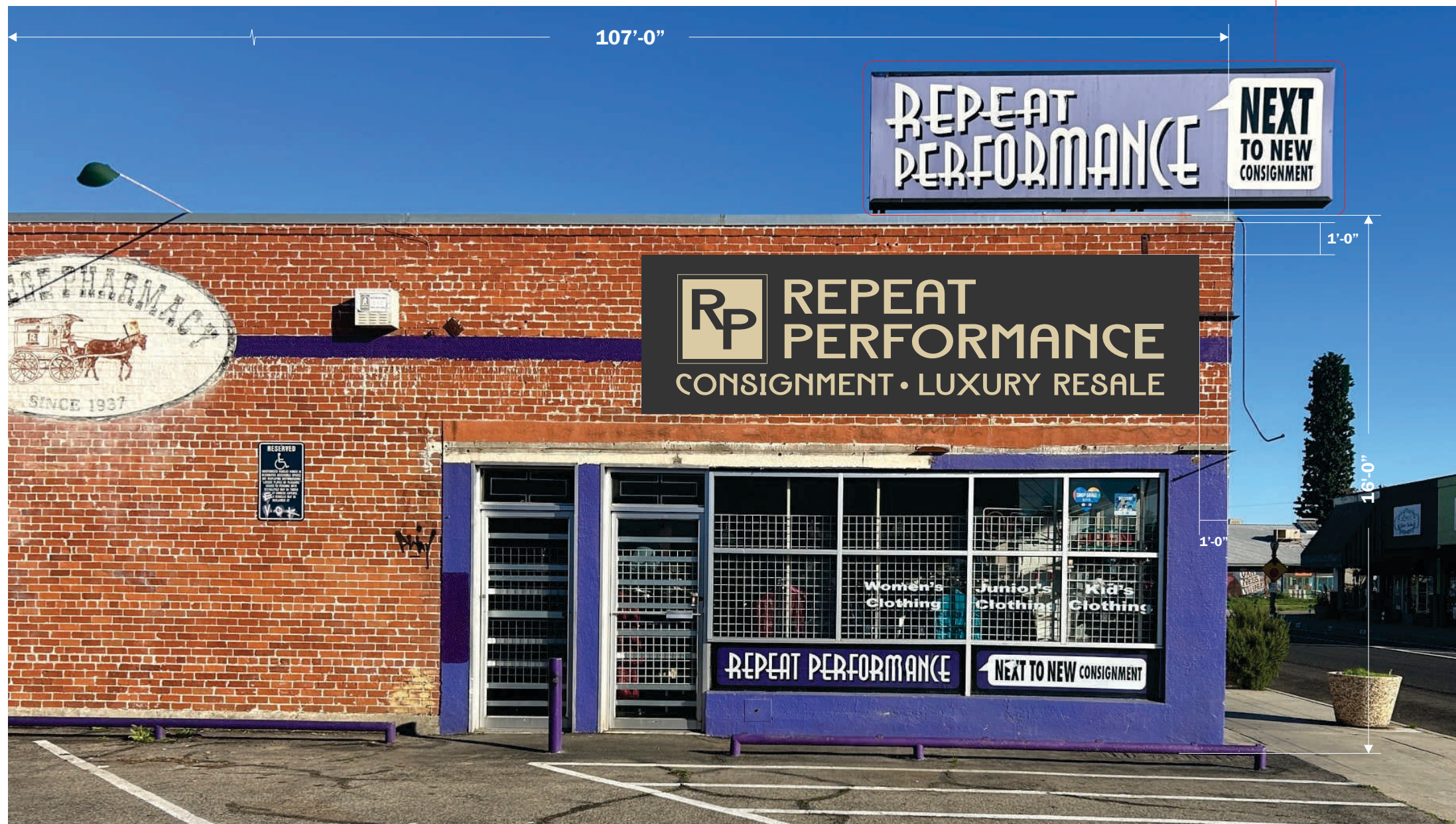
Sheet Title: Sign C - South Elevation

Sheet Number: 3

Approved By:      Date: 5-22-24



Contractors Lic. No. 570342

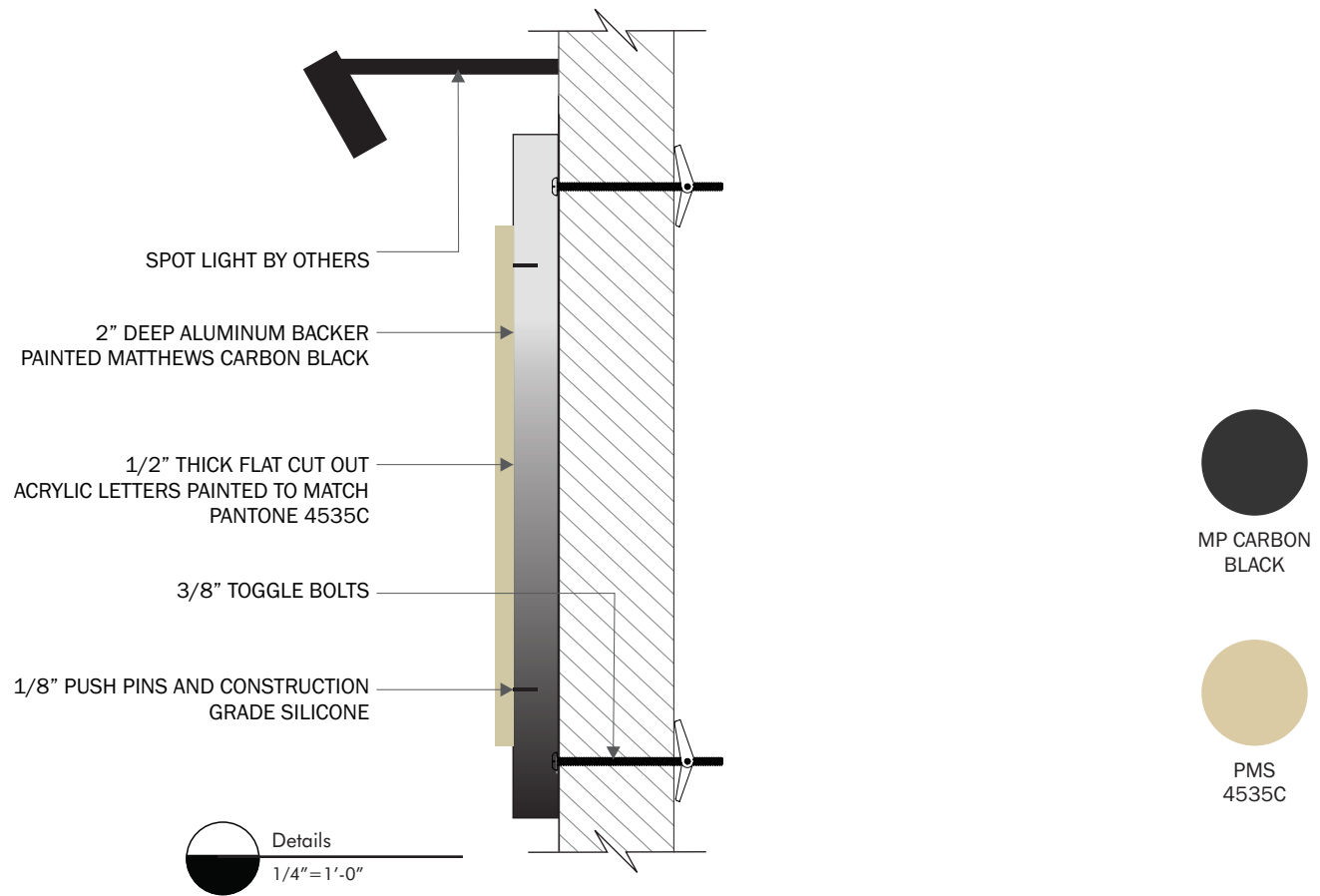


**REMOVE EXISTING  
CABINET SIGN**

**C** South Elevation  
1/4" = 1'-0"



**SIGN A**



Details  
1/4" = 1'-0"



A Dimensions  
3/4" = 1'-0"

**Sq. Ft.: 56.0**



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 Fresno, CA  
 USA 93722  
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 F 559 275 4431  
 cnisign.com  
 Contact: Arlen Tanielian  
 arlen@cnisign.com

**Repeat Performance**  
 1429 N. Van Ness Ave.  
 Fresno CA 93728

This sign is intended to be installed in accordance with the requirements of article 600 of the national electric code including proper grounding and bonding of the sign.  
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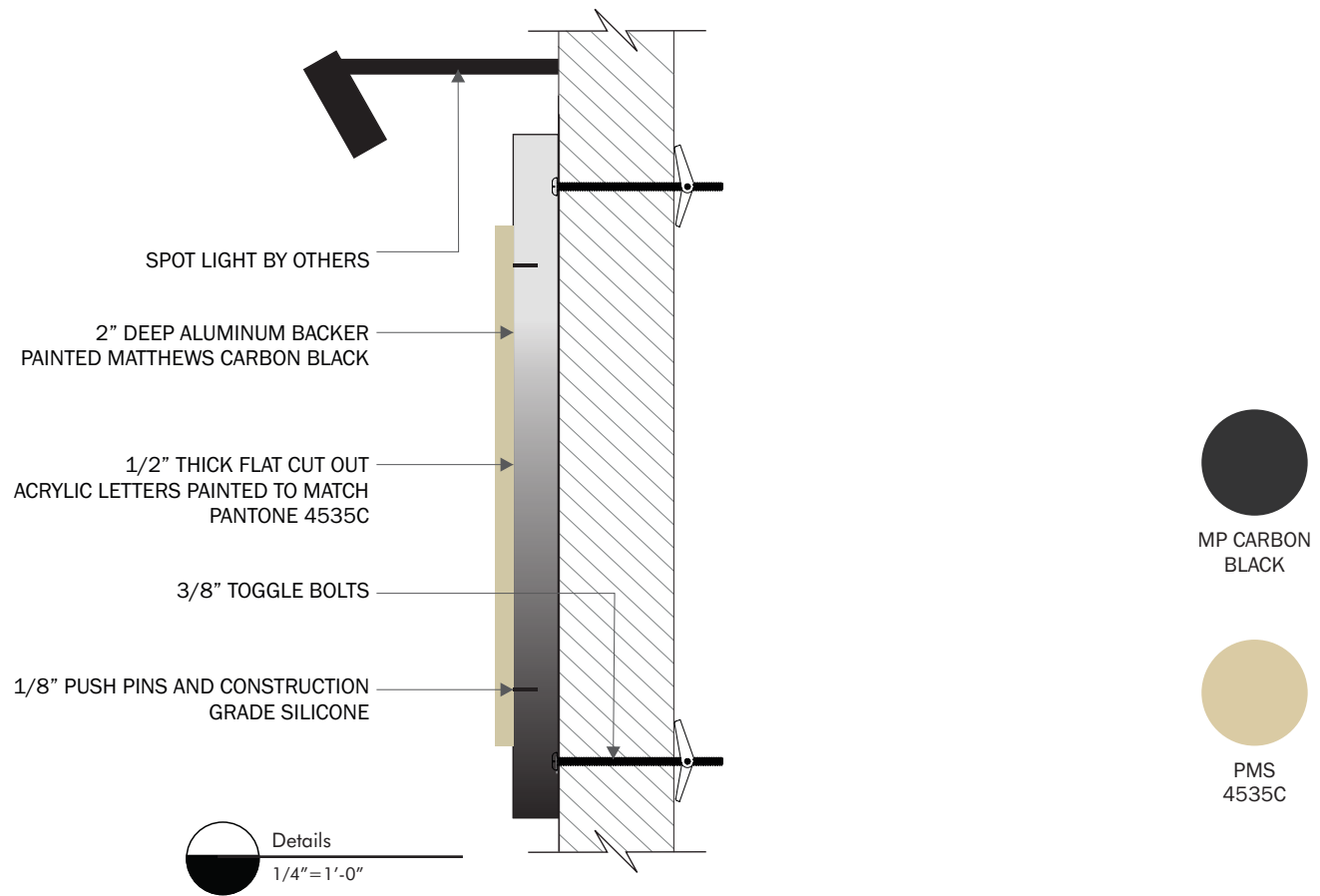
No.	Description	Date

Project Number: 24045      Scale: As Noted  
 Sheet Title: Sign A - Dimensions & Details  
 Sheet Number: 4  
 Approved By:      Date: 5-22-24



Contractors Lic. No. 570342

**SIGN B**



**B** Dimensions  
3/4" = 1'-0"

**Sq. Ft.: 32.41**



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 Fresno, CA  
 USA 93722  
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 F 559 275 4431  
 cnisign.com  
 Contact: Arlen Tanielian  
 arlen@cnisign.com

**Repeat Performance**  
 1429 N. Van Ness Ave.  
 Fresno CA 93728

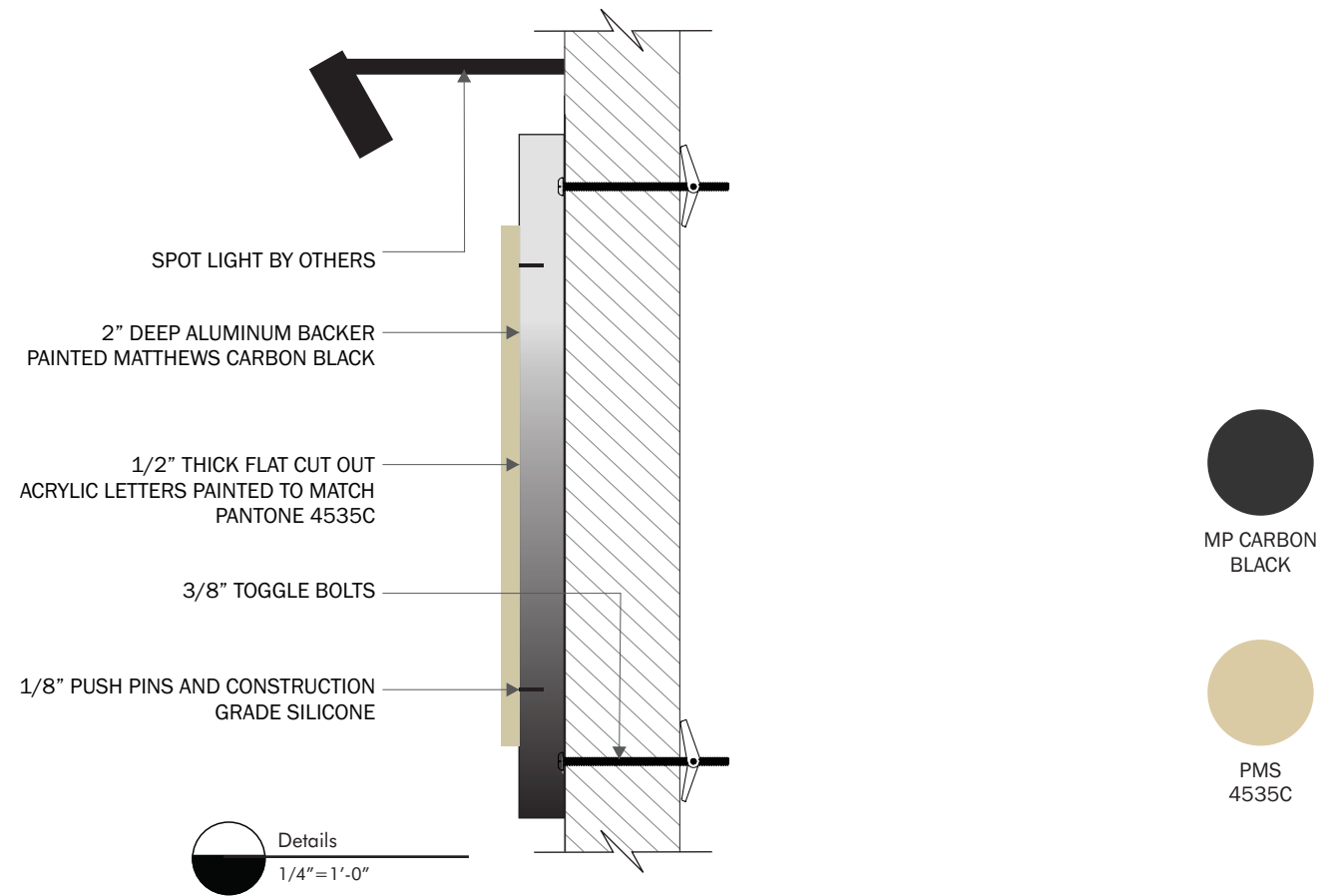
This sign is intended to be installed in accordance with the requirements of article 600 of the national electric code including proper grounding and bonding of the sign.  
 The colors printed on this page are strictly representational and should not be copied or reproduced in any way/or use in connection with this project. Refer to color spec. sheet for proper number match and system selection.  
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No.	Description	Date

Project Number: 24045      Scale: As Noted  
 Sheet Title: Sign B - Dimensions & Details  
 Sheet Number: 5  
 Approved By:      Date: 5-22-24



Contractors Lic. No. 570342



**Sq. Ft.: 87.5**

**C** Dimensions  
1/2" = 1'-0"



EST. 1974

Fresno | San Francisco

5547 N. Golden State Blvd.  
Fresno, CA  
USA 93722  
T 559 275 7500  
F 559 275 4431  
cnisign.com

Contact: Arlen Tanielian  
arlen@cnisign.com

**Repeat Performance**  
1429 N. Van Ness Ave.  
Fresno CA 93728

This sign is intended to be installed in accordance with the requirements of article 600 of the national electric code including proper grounding and bonding of the sign.  
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No.	Description	Date

Project Number: 24045      Scale: As Noted

Sheet Title:  
Sign C - Dimensions & Details

Sheet Number:  
6

Approved By:      Date:  
5-22-24



Contractors Lic. No. 570342

Exhibit 5D











# LATHAPRA

## FASTWALL SANDED STUCCO BASE COAT

Net Weight  
80 lbs | 36 kg



### COVERAGE CHART

Application	1-Coat	2-Coat	3-Coat
Block Wall Coat	50	100	300
Scratch & Brown	40	80	240
1-Coat	27	54	162

**APPLICATIONS**  
Scratch & Brown  
1-Coat  
Block Wall Coat



Net Weight  
80 lbs | 36 kg

Scratch & Brown  
1-Coat  
Block Wall Coat  
(CMU)



FASTWALL SANDED STUCCO BASE COAT

# LATHAPRA



Net Weight  
80 lbs | 36 kg

Application	1-Coat	2-Coat	3-Coat
Block Wall Coat	50	100	300
Scratch & Brown	40	80	240
1-Coat	27	54	162

**APPLICATIONS**  
Scratch & Brown  
1-Coat  
Block Wall Coat  
(CMU)



Net Weight  
80 lbs | 36 kg

Scratch & Brown  
1-Coat  
Block Wall Coat  
(CMU)



FASTWALL SANDED STUCCO BASE COAT

Application	1-Coat	2-Coat	3-Coat
Block Wall Coat	50	100	300
Scratch & Brown	40	80	240
1-Coat	27	54	162

**APPLICATIONS**  
Scratch & Brown  
1-Coat  
Block Wall Coat  
(CMU)

# LATHAPRA

## FASTWALL SANDED STUCCO BASE COAT

Net Weight  
80 lbs | 36 kg









Exhibit 5E



601 E. Olive Avenue - Fresno, California

Exterior Sign Program

November 17, 2023

May 29, 2024

June 14, 2024



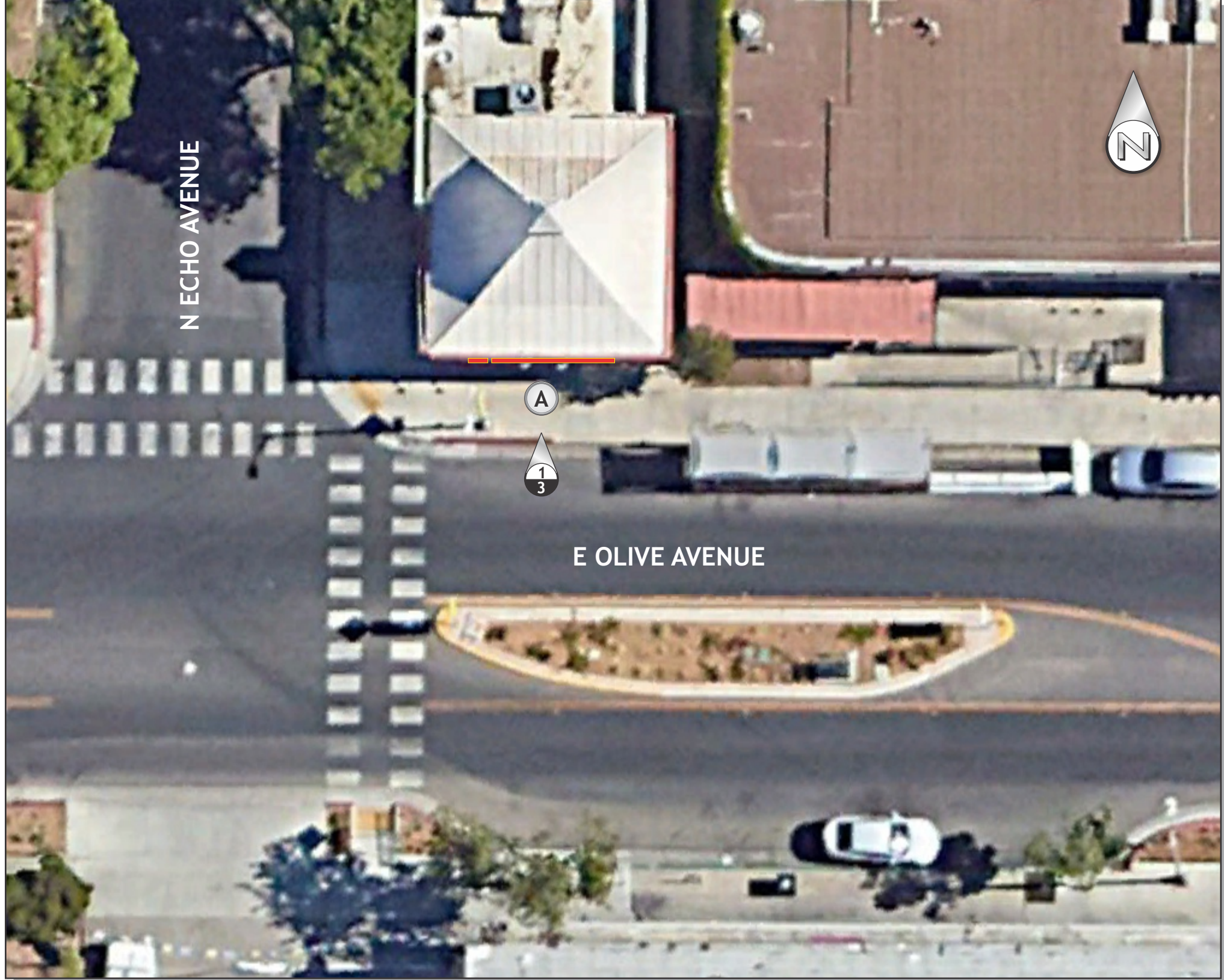
This original unpublished drawing is submitted for use in connection with a project being designed for you by Fluoresco. It is not to be shown to anyone outside of your organization, reproduced or used in any fashion without expressed written approval.

PROJECT Noodle Express  
 LOCATION 601 E. Olive Avenue - Fresno, CA 93728  
 SCALE As Noted SALESPERSON Larry Cooper  
 DATE Nov 17, 2023 FILE NAME Noodle Express2.cdr

DESIGNER Miguel Reiman  
 DWG # 11984

REVISED	6
2	7
3	8
4	9
5	PAGE 1 OF 5





SCOPE OF WORK			
Sign type	Description	Qty	Page
	Cover Page		1
	Table of contents - Site Map		2
	South Elevation		3
A	Internally Illuminated Channel Letters & Logo	1	4



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**PROJECT** Noodle Express

**LOCATION** 601 E. Olive Avenue - Fresno, CA 93728

**SCALE** As Noted

**DATE** Nov 17, 2023

**DWG #** 11984

**DESIGNER** Miguel Reiman

**SALESPERSON** Larry Cooper

**FILE NAME** Noodle Express2.cdr

6	7	8	9	PAGE 2 OF 5
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1 SOUTH ELEVATION

34.00' sq ft  
Scale: 1/4" = 1'-0"

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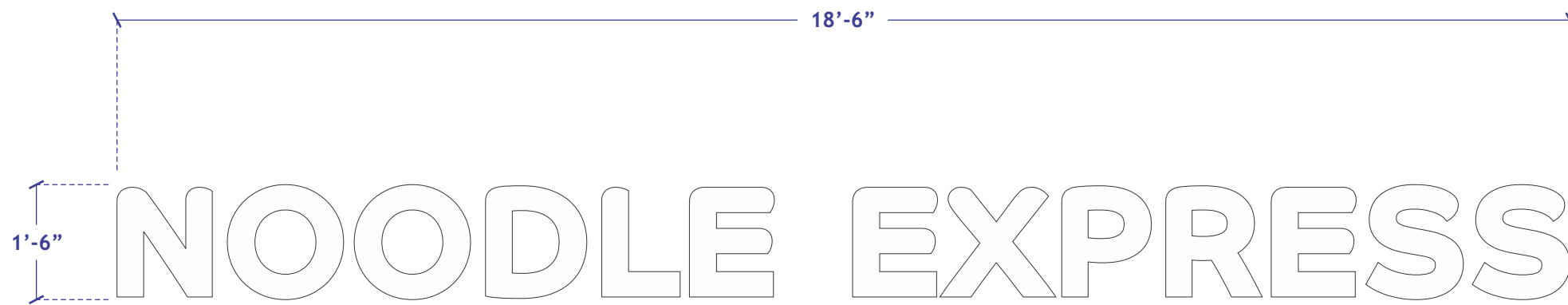
PROJECT: Noodle Express  
 LOCATION: 601 E. Olive Avenue - Fresno, CA 93728  
 SCALE: As Noted  
 DATE: Nov 17, 2023

DWG # 11984  
 DESIGNER: Miguel Reiman  
 SALESPERSON: Larry Cooper  
 FILE NAME: Noodle Express2.cdr

REVISION	6	
	7	
	8	
	9	
	5	
	4	
	3	
	2	

PAGE 3 OF 5





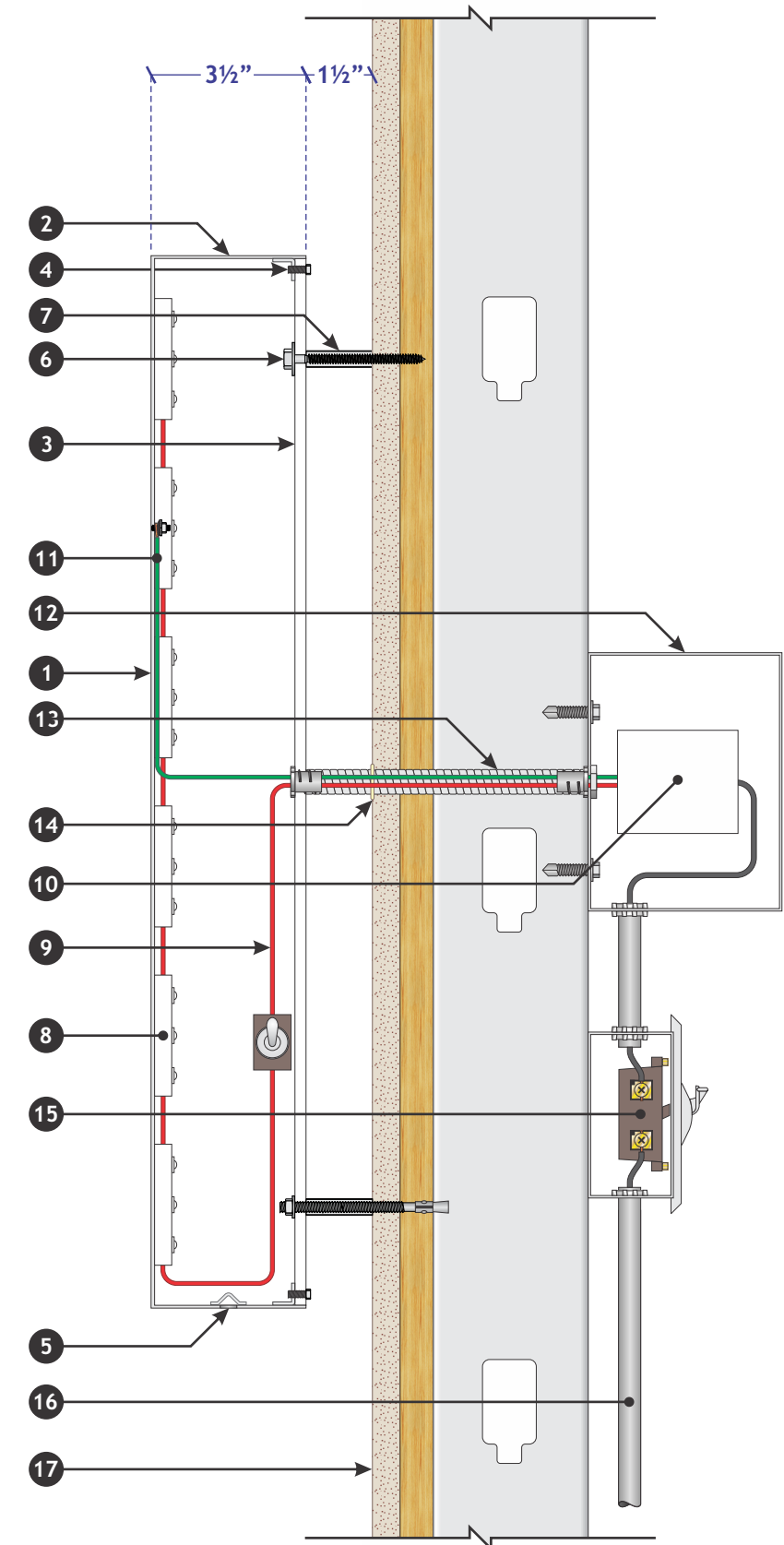
## 1 HALO ILLUMINATED CHANNEL LETTERS

One set required

27.75' ⌈

Scale: 1/2" = 1'-0"

1. .080" aluminum letter face painted satin white.
2. 3 1/2" deep .063" aluminum returns painted satin white.
3. 1/4" thick translucent white acrylic.
4. Angle clip with hexagonal screw.
5. 1/4" weep hole with light tight baffle.
6. 3/16" x 3" long lag bolt (minimum 3 per letter).
7. 1 1/2" x 3/8" diameter spacer painted to match finished wall surface.
8. 6500K White LED module
9. Low voltage secondary power supply
10. UL listed LED transformer.
11. Ground wire.
12. Galvanized vented transformer housing.
13. Electrical conduit.
14. All building penetrations are to be sealed and watertight via 1/8" bead of SikaFlex 1A elastomeric sealant.
15. Emergency disconnect switch in primary electrical circuit.
16. Primary electrical circuit.
17. Finished building surface.

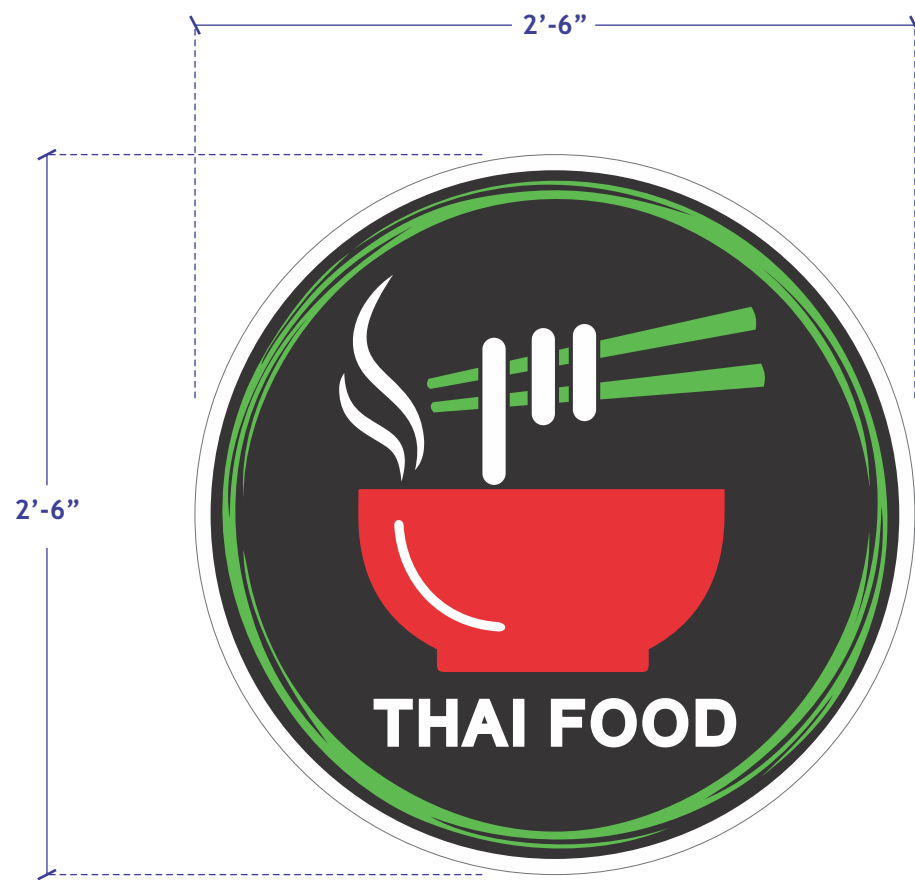


## 2 SECTION

Scale: 3" = 1'-0"



6	7	8	9	PAGE 4	OF 5
REVISIONS					
2	3	4	5		
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PROJECT Noodle Express		DWG # 11984			
LOCATION 601 E. Olive Avenue - Fresno, CA 93728		DESIGNER Miguel Reiman			
SCALE As Noted		SALESPERSON Larry Cooper			
DATE Nov 17, 2023		FILE NAME Noodle Express2.cdr			



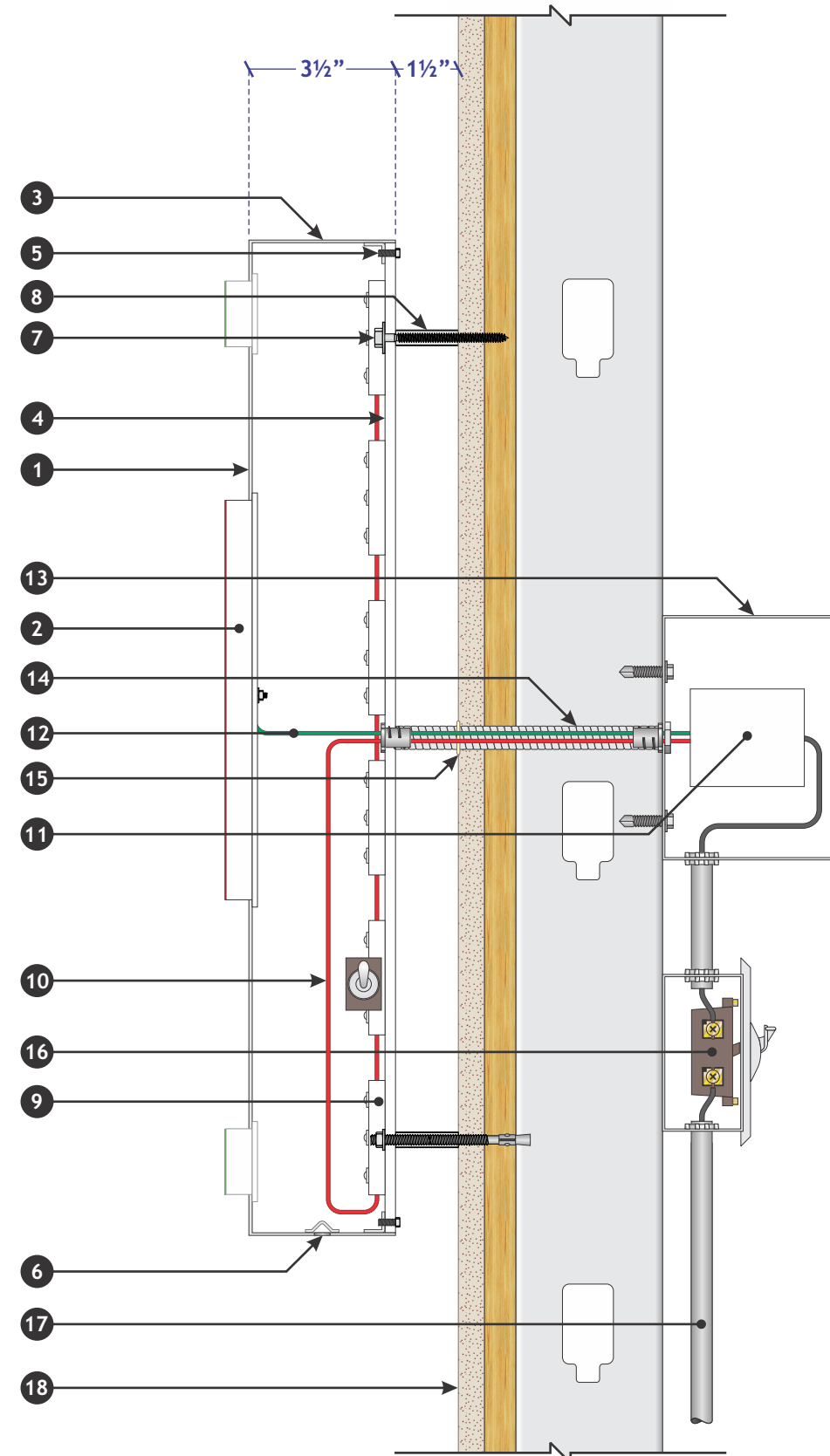
**1 DUAL ILLUMINATED CHANNEL PLAQUE**

One set required

6.25'

Scale: 1 1/2" = 1'-0"

1. .080" aluminum letter face routed for push through copy.
2. 3/4" thick clear acrylic copy with translucent colored vinyl overlay.
3. 3 1/2" deep .063" aluminum returns painted satin white.
4. 1/4" thick translucent white acrylic back.
5. Angle clip with hexagonal screw.
6. 1/4" weep hole with light tight baffle.
7. 3/16" x 3" long lag bolt (minimum 3 per letter).
8. 1 1/2" x 3/8" diameter spacer painted to match finished wall surface.
9. 6500K White LED module
10. Low voltage secondary power supply
11. UL listed LED transformer.
12. Ground wire.
13. Galvanized vented transformer housing.
14. Electrical conduit.
15. All building penetrations are to be sealed and watertight via 1/8" bead of SikaFlex 1A elastomeric sealant.
16. Emergency disconnect switch in primary electrical circuit.
17. Primary electrical circuit.
18. Finished building surface.



**2 SECTION**

Scale: 3" = 1'-0"

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PROJECT: Noodle Express  
 LOCATION: 601 E. Olive Avenue - Fresno, CA 93728  
 SCALE: As Noted  
 DATE: Nov 17, 2023

DWG # 11984  
 DESIGNER: Miguel Reiman  
 SALESPERSON: Larry Cooper  
 FILE NAME: Noodle Express2.cdr

REVISIONS:

6	
7	
8	
9	
5	
4	
3	
2	

PAGE 5 OF 5

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 An Everbrite Company