



APPL. NO. P22-04092 EXHIBIT O DATE 01/24/2023
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

Operational Statement

Spokeasy Public House - Bar/Tavern
1472 N. Van Ness, Fresno, CA 93728

Project Description:

- Amendment to current Conditional Use Permit to include backyard patio seating
- Zoning District: CMS Commercial - Main Street
- Specific Plan: Tower District

A Conditional Use Permit is being submitted by Mike Adame of FUWRXBKBILT, LLC doing business as Spokeasy Public House and pertains to 0.14 acres of property located at 1472 N. Van Ness in Fresno, CA; APN 451-122-21 and is zoned CMS with current land use of a Bar/Tavern with a type 40 license for on/off site sale of beer is requesting authorization to:

Amend current Conditional Use Permit to include outdoor seating in current existing backyard patio, adding approximately 30 seats.

Spokeasy Public House is requesting to keep the same type of license that they currently have at this location - **Type 40 - On-sale beer.**

The hours of operations are: (no changes are proposed)

- Monday to Wednesday, 3pm-12am
- Thursday to Saturday, 1pm-12am
- Sunday, 1pm-7pm

Other facts pertinent to this project are as follows:

- Spokeasy Public House is a neighborhood bar serving the community for 10+ years and specializes in craft beer selections from the US and around the world
- No changes are proposed to the daily operations of the bar
- Current staff consists of 3 employees of which currently own and run day to day operations
- Amendment to current Conditional Use Permit is requested in conjunction with current bar operating hours

Site Plan: Existing



Site Date Table

Building Address: 1472 North Van Ness Avenue, Fresno CA 93728
APN: 451-122-21
Planned Land Use: Commercial – Main Street
Zone District: CMS (<i>Commercial – Main Street</i>)
Community Plan Area: Fresno High-Roeding Community Plan
Specific Plan Area: Tower District Specific Plan
Lot Area: 0.14 Acres
Existing Use: Multi-Tenant Commercial Building

Project Date Table

Existing Building/Tenant SF: approx. ±1,065 S.F.
Existing Use: Spokeasy Public House - Bar w/ State of California Alcohol Beverage Control Type 40 (Beer Only) Alcohol License; no outdoor patio
Proposed Use: Spokeasy Pubic House - Bar w/ State of California Alcohol Beverage Control Type 40 (Beer Only) Alcohol License; with outdoor patio
Proposed Expansion Area: approx. 915 S.F.

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CITY OF FRESNO DARM DEPT		

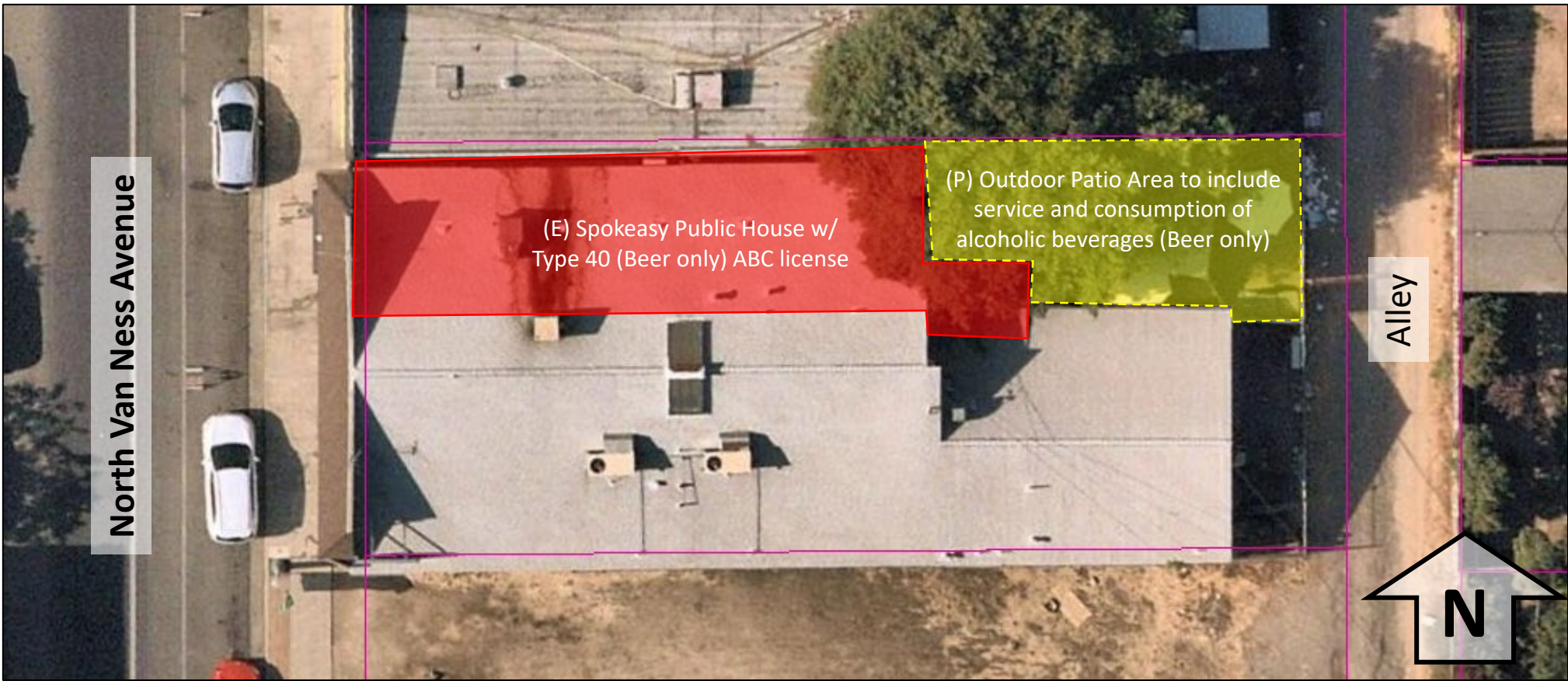
Applicant/Business Owner
Mike Adame
Spokeasy Public House
1472 North Van Ness Avenue
Fresno, CA 93728

Owner
David Owens
5521 Rogue River
Gold Hill, OR 97525

Conditional Use Permit Submittal
Request to add Outdoor Dining Patio
Area and expand sale, service, &
consumption area of existing Type 40
ABC license to include patio area

Sheet A-1

Site Plan: Existing vs. Proposed Bar Service Area



Project Date Table

Existing Building/Tenant SF: approx. ±1,065 S.F.
Existing Interior Bar Service Area: approx. ±915 S.F.
Total Service Area: approx. ±1,980
Additional Info: No other on or off-site improvements proposed

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CITY OF FRESNO DARM DEPT

Owner

David Owens
5521 Rogue River
Gold Hill, OR 97525

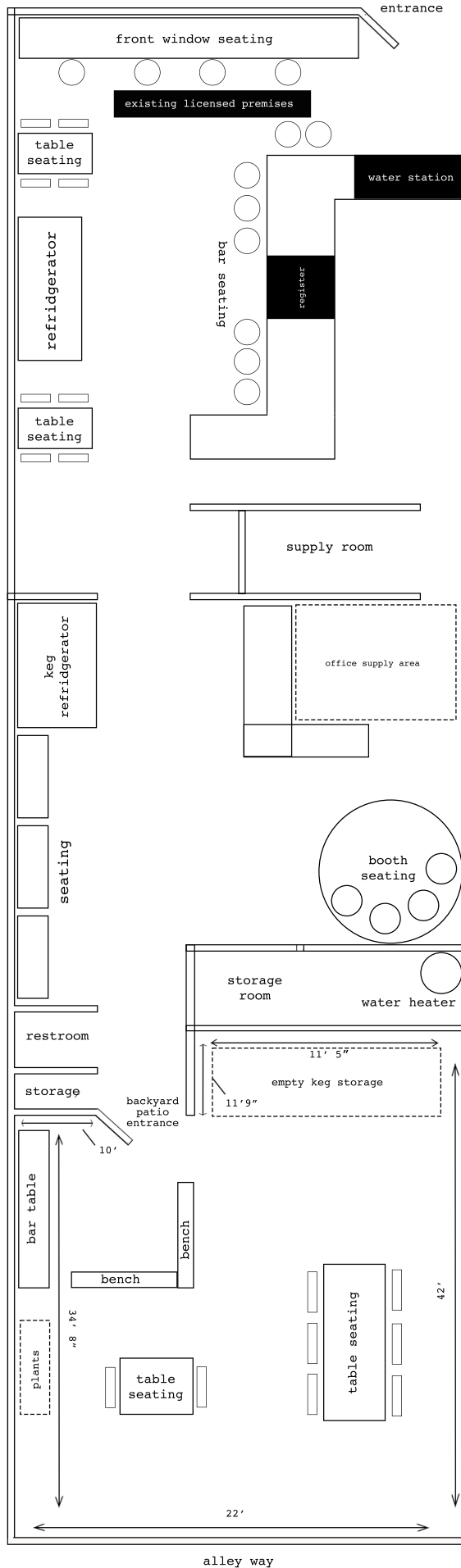
Applicant/Business Owner

Mike Adame
Spokeasy Public House
1472 North Van Ness Avenue
Fresno, CA 93728

Conditional Use Permit Submittal

Request to add Outdoor Dining Patio
Area and expand sale, service, &
consumption area of existing Type 40
ABC license to include patio area

Floor Plan



APPL. NO. P22-04092 EXHIBIT F DATE 01/24/2023

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CITY OF FRESNO DARM DEPT

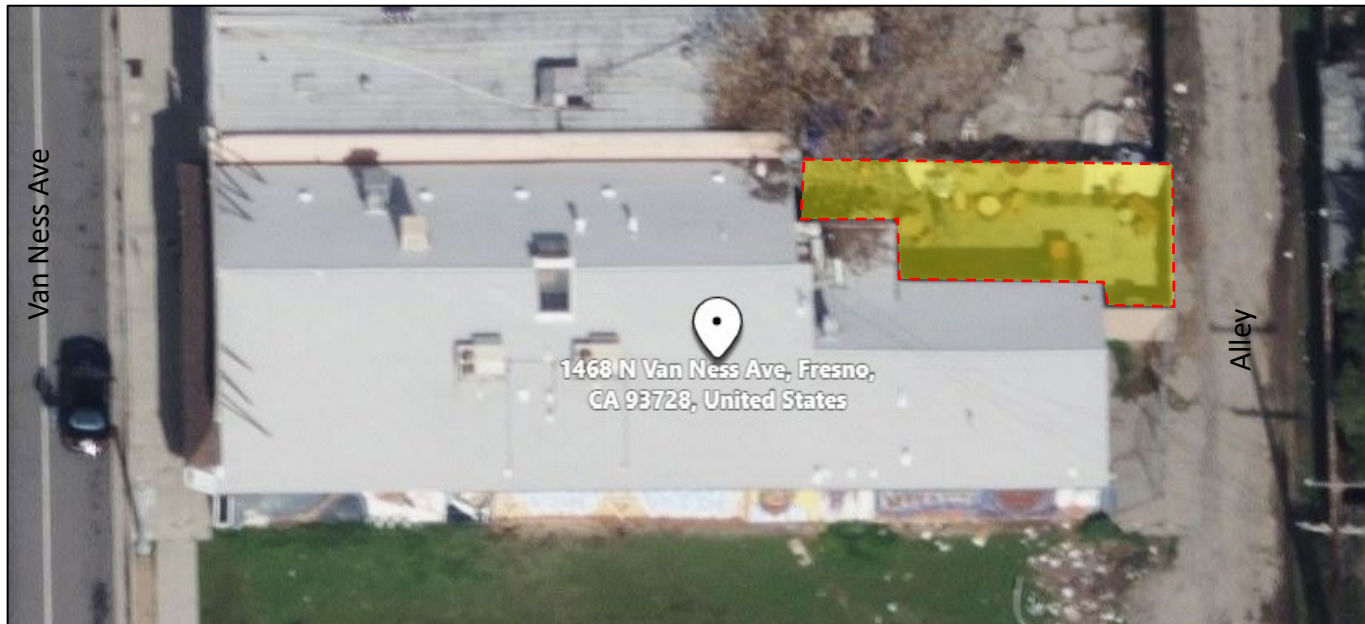


Street View from Van Ness (looking east)

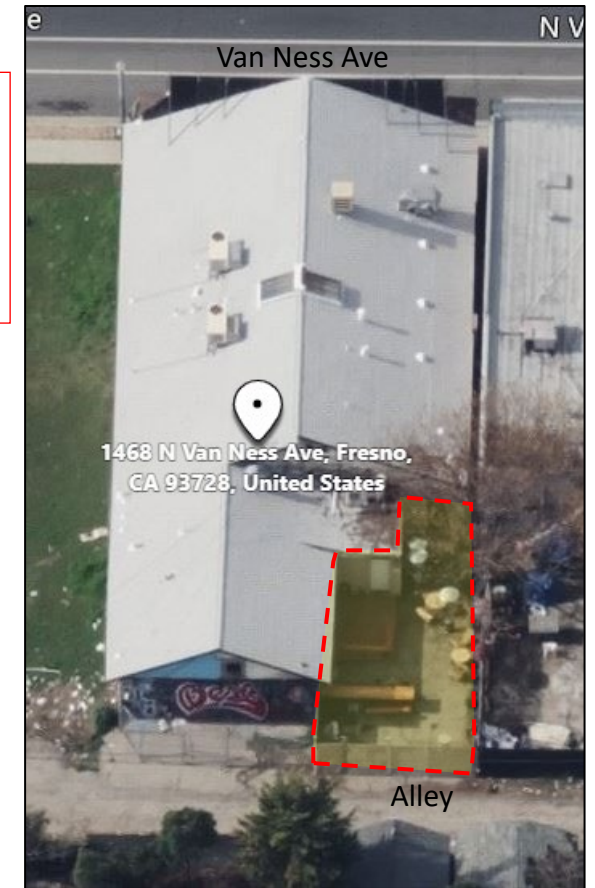
Elevations

APPL. NO. P22-04092 EXHIBIT E DATE 01/24/2023
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CITY OF FRESNO DARM DEPT



Birds eye view looking north



Birds eye view looking west

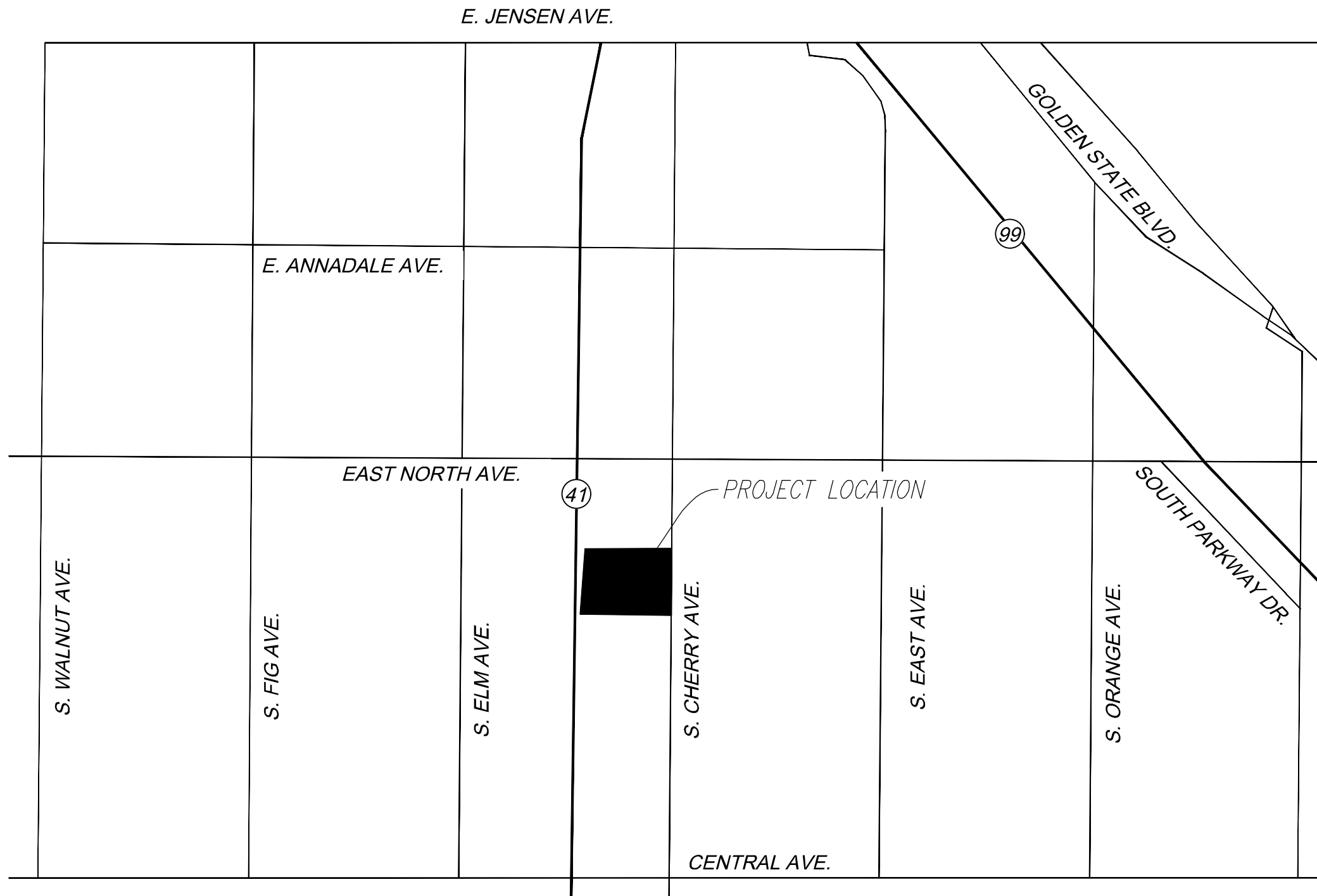
Central Transport Regional Facility Operational Statement

Applicant:	Crown Enterprises, Inc.
Representative:	Precision Civil Engineering
APN:	329-100-52
Location:	West of Cherry Avenue between North Avenue and Central Avenue in Fresno, CA
Zoning:	A Rezone/Pre-Zone Application is submitted concurrently with the Development Permit Application to pre-zone the subject property to IH – Heavy Industrial Zone District
Existing Land Use	Vacant
Planned Land Use	Employment – Heavy Industrial
Proposed Land Use	Regional Facility for less-than-truckload freight services
Project Description	<p>The Development Permit Application is filed by Precision Civil Engineering on behalf of Crown Enterprises, Inc. (Applicant) and pertains to approximately ± 15.22-acres of property located west of Cherry Avenue between North Avenue and Central Avenue in Fresno, CA (APN: 329-100-52). The site is located within the city's sphere of influence and its planned land use designation is Employment – Heavy Industrial. A Pre-Zone/Rezone Application and Annexation Application are being submitted concurrently with the Development Application.</p> <p>The Applicant proposes the development of a long-term regional facility for Central Transport (Tenant) that will provide for less-than-truckload (LTL) freight services for local and nationally based businesses. This development is needed to replace a facility previously occupied by Central Transport and owned by Crown Enterprises that was vacated to make way for the high-speed rail project (E Muscat Avenue and S Cedar Avenue). The proposed scope of the development will include an administrative office, cross-dock transfer platform, fleet maintenance shop, and a diesel fuel system for fleet equipment.</p> <p>The development will consist of approximately 3,200 sf. administrative office, 68,570 sf. cross-dock transfer platform, 11,880 sf. fleet maintenance shop, 3,494 sf office, —parking for fleet tractors (29), fleet trailers (150), and automobiles (84), and a diesel fuel system for fleet equipment. Access to and from the site for fleet tractors and trailers will be provided via one (1) ingress/egress location on Cherry Avenue; a separate parking lot for automobiles will be provided with a separate ingress/egress location with access to Cherry Avenue.</p> <p>Central Transport will operate 24 hours per day, Monday through Friday, and Saturday mornings, and will consist of 70 to 80 employees.</p>

The current property is legally described in a deed document recorded on January 5, 1970 per Instrument No. 578 in Book 5748, Page 303 of Official Records and can be conclusively presumed to have been lawfully created. This document is available in the linked title report.

CROWN ENTERPRISES LOGISTICS FACILITY
CROWN ENTERPRISES, INC. RELOCATION AND
ANNEXATION PROJECT

APPL. NO. P23-00149 EXHIBIT A-1 DATE 03/02/2023
PLANNING REVIEW BY John George DATE _____
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CITY OF FRESNO DARM DEPT



VICINITY MAP
NOT TO SCALE

SITE INFORMATION

ASSESSOR'S PARCEL NUMBERS
329-100-52 (±15.2 ACRES)
SITE LOCATION
EAST NORTH AVENUE & SOUTH CHERRY AVENUE
FRESNO, CA 93706
EXISTING ZONING: AL-20 LIMITED AGRICULTURAL (COUNTY)
PROPOSED ZONING: IH HEAVY INDUSTRIAL (CITY)
OWNER
CROWN ENTERPRISE, LLC
12225 STEPHENS ROAD
WARREN, MI 48089
PARKING STALLS
TOTAL PROPOSED PARKING STALLS: 263
TRACTOR PARKING STALLS: 29
TRAILER PARKING STALLS: 150 (INCLUDES 13 FUTURE STALLS)
AUTO PARKING STALLS: 84
BUILDING INFORMATION
PROPOSED NO. OF UNITS: 2
TOTAL SQ. FT. OF UNITS: 80,450 SQ. FT. = 1.85 AC
PAVING
TOTAL PROPOSED PAVED AREA: 506,201 SQ. FT. = 11.62 AC
LANDSCAPING
TOTAL PROPOSED LANDSCAPE AREA: 42,408 SQ. FT. = 0.97 AC

GENERAL NOTES:

- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE CURRENT PLANNING DIVISION.
- PER CORRESPONDENCE WITH CITY OF FRESNO ARCHITECT, NO ACCESSIBLE STALLS REQUIRED IN PARKING LOTS FOR THIS SITE. REFERENCE TO CBC 11A & B.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- IF ARCHEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHEOLOGICAL MATERIAL IS POSSIBLE NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916)-653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805)-644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHEOLOGISTS. AN ARCHEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST, OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDER-GROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
- THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING OCCUPIED PER FMC 13-211.
- UNDERGROUND ALL EXISTING OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER FRESNO MUNICIPAL CODE SECTION 15-2017 AND PUBLIC WORKS POLICY NO. 260.01.
- CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AT (559)-621-8800, 10 WORKING DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
- PRIVATE FIRE HYDRANT AND ALL WEATHER FIRE ACCESS SHALL BE IN SERVICE PRIOR TO THE DELIVERY OF COMBUSTIBLE MATERIAL TO THE JOBSITE.
- APPLICANTS ARE ENCOURAGED TO PROVIDE SHARED VEHICLE AND PEDESTRIAN ACCESS BETWEEN ADJACENT PROPERTIES FOR CONVENIENCE, SAFETY, AND EFFICIENT CIRCULATION. A JOINT ACCESS COVENANT SHALL BE REQUIRED.
- INSTALLATION OF CIV 22658 FIRE LANE TOWNSHIP WARNING SIGNS ARE REQUIRED AT EACH DRIVEWAY ENTRANCE.
- SUBMIT PUBLIC IMPROVEMENTS TO THE PUBLIC WORKS DEPARTMENT.
- SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT.
- SUBMIT TRAIL CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT.
- SUBMIT SIGNING AND STRIPING PLANS TO THE PUBLIC WORKS DEPARTMENT. COMPLY WITH THE CURRENT CALTRANS STANDARDS.
- PROVIDE A 4' MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, TO MEET CURRENT ACCESSIBILITY REGULATIONS. A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
- ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.

LEGAL DESCRIPTION:

REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF FRESNO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 35 OF CENTRAL CALIFORNIA COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 2 PAGE 1 OF PLATS, FRESNO COUNTY RECORDS;
EXCEPTING THEREFROM THE NORTH 160 FEET OF THE EAST 200 FEET THEREOF;
ALSO EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS:
COMMENCING FOR REFERENCE AT THE NORTHWEST CORNER OF SECTION 27, TOWNSHIP 14 SOUTH, RANGE 20 EAST, MOUNT Diablo BASE AND MERIDIAN, SAID NORTHWEST CORNER BEING AT COORDINATES Y = 495.68430 FEET AND X = 1.76843610 FEET; THENCE ALONG THE NORTH LINE OF SAID SECTION, SOUTH 89° 41' 48" EAST 1324.35 FEET TO THE WEST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SAID SECTION; THENCE ALONG SAID WEST LINE, SOUTH 0° 31' 20" WEST 1318.35 FEET TO THE NORTHWEST CORNER OF SAID LOT, LAST SAID NORTHWEST CORNER BEING THE TRUE POINT OF BEGINNING; THENCE ALONG THE NORTH LINE OF SAID LOT, SOUTH 89° 42' 55" EAST 240.10 FEET; THENCE SOUTH 5° 21' 59" WEST, A DISTANCE OF 541.92 FEET; THENCE ALONG A LINE PARALLEL WITH AND 97 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE CENTERLINE OF THE DEPARTMENT OF PUBLIC WORKS SURVEY FROM THE KINGS COUNTY LINE TO "P" STREET IN FRESNO, ROAD VI-FRE-125-B (NOW 06-FRE-41), SOUTH 0° 29' 30" WEST 119.35 FEET TO THE SOUTH LINE OF SAID LOT; THENCE ALONG SAID SOUTH LINE NORTH 89° 43' 28" WEST, 194.40 FEET TO THE WEST LINE OF SAID LOT; THENCE ALONG LAST SAID WEST LINE NORTH 0° 31' 20" EAST 659.18 FEET TO THE TRUE POINT OF BEGINNING.
ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA AS FULLY DESCRIBED IN GRANT DEED RECORDED MARCH 18, 1996 AS INSTRUMENT NO. 98-34963, OF OFFICIAL RECORDS.
ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF FRESNO, A MUNICIPAL CORPORATION AS FULLY DESCRIBED IN GRANT DEED RECORDED APRIL 18, 2007 AS INSTRUMENT NO. 07-77589, OF OFFICIAL RECORDS.
APN: 329-100-52



PROJECT TITLE:	CENTRAL TRANSPORT REGIONAL FACILITY
SHEET DESCRIPTION:	COVER SHEET
CITY OF:	FRESNO
COUNTY OF:	FRESNO

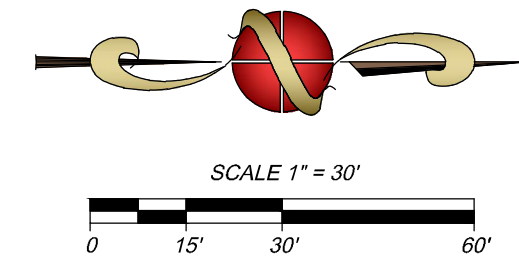
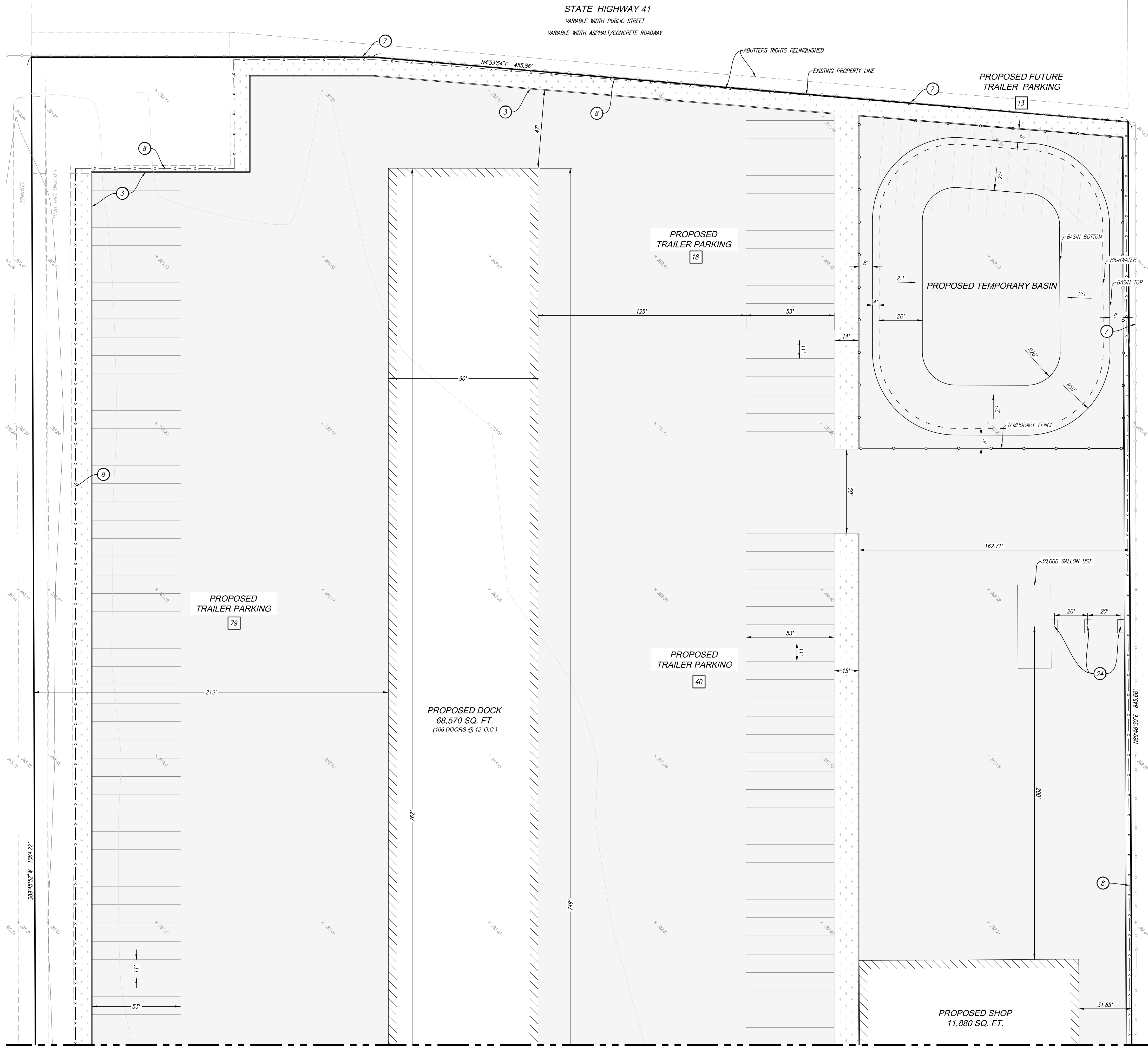
PREPARED FOR:
CROWN ENTERPRISES, LLC.
12225 STEPHENS ROAD
WARREN, MI 48089

REVISIONS

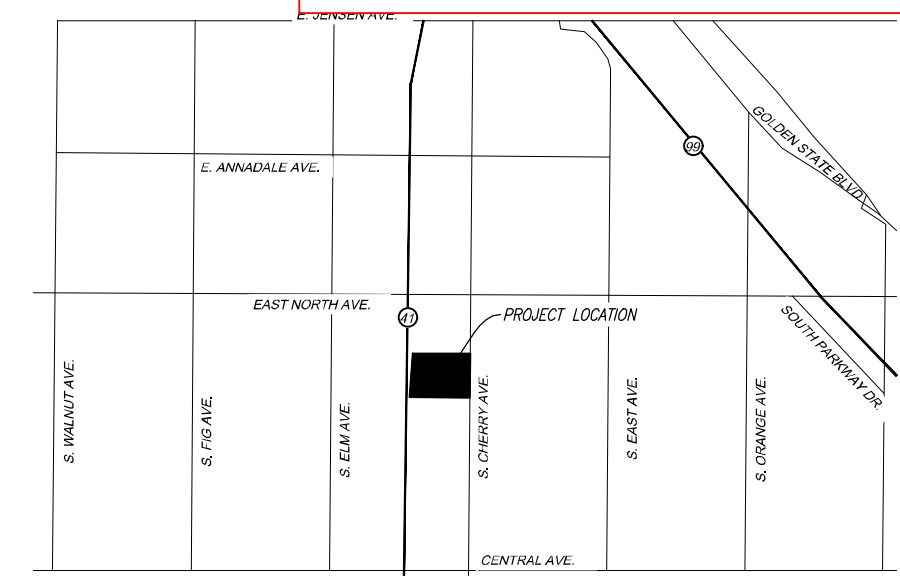
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DATE: **10/25/2022**

SHEET NUMBER:
1 OF 3
JOB NUMBER:
20-270

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APPL. NO. P23-00149 EXHIBIT A-2 DATE 03/02/2023
PLANNING REVIEW BY John George DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT



LEGEND:

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING RIGHT OF WAY
- PROPOSED FENCE
- EXISTING CHAIN LINK FENCE
- PROPOSED CONCRETE
- PROPOSED AC PAVING PER CITY OF FRESNO STDS. P-21, P-22, AND P-23.
- PROPOSED LANDSCAPE AREA
- INDICATES NUMBER OF PARKING STALLS IN DESIGNATED AREA
- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE SIDEWALK

CONSTRUCTION NOTES:

- PROPOSED PEDESTRIAN CROSS WALK STRIPING
- PROPOSED PEDESTRIAN CONCRETE CROSS WALK
- PROPOSED 6" CONCRETE CURB PER CITY OF FRESNO STD. P-5
- PROPOSED 15" WROUGHT IRON DOUBLE SWING GATE
- PROPOSED PAINTED DIRECTIONAL ARROWS
- PROPOSED 12" CONCRETE WALKWAY PER CITY OF FRESNO STD. P-9
- EXISTING CHAIN LINK FENCE TO REMAIN AND BE PROTECTED
- PROPOSED 6" CHAIN LINK FENCE TO BE INSTALLED
- EXISTING WATER VALVE TO REMAIN AND BE PROTECTED
- EXISTING WATER METER TO BE RELOCATED BEHIND CURB
- EXISTING STAND PIPE TO REMAIN AND BE PROTECTED
- NOT USED
- EXISTING BACK-FLOW PREVENTOR TO REMAIN AND BE PROTECTED
- EXISTING GUYWIRE TO REMAIN AND BE PROTECTED
- NOT USED
- EXISTING FIRE HYDRANT TO BE RELOCATED BEHIND CURB AND GUTTER
- EXISTING BOLLARDS TO BE REMOVED
- EXISTING BLOCK WALL TO REMAIN AND BE PROTECTED
- PROPOSED RECYCLING COMPACTOR, SIZE & TYPE TO BE DETERMINED
- PROPOSED 4" VALLEY GUTTER PER CITY OF FRESNO STD. P-10.
- PROPOSED CONCRETE CURB AND GUTTER PER CITY OF FRESNO STD. P-5.
- PROPOSED MODIFIED CURB RAMP PER CITY OF FRESNO STD. P-29
- PROPOSED ACCESS GATE CONTROL PANEL
- PROPOSED FUEL SYSTEM
- PROPOSED TRASH COMPACTOR, SIZE & TYPE TO BE DETERMINED

MATCHLINE (SHEET 2)

PLANNING SURVEYING CIVIL ENGINEERING
1234 O STREET, FRESNO, CALIFORNIA 93721
TEL: 559-449-4500 FAX: 559-449-4515
WWW.PRECISIONENG.NET

PRECISION
CIVIL ENGINEERING, INC.

PROJECT TITLE: CENTRAL TRANSPORT REGIONAL FACILITY
SHEET DESCRIPTION: EAST SITE PLAN
COUNTY OF: FRESNO

PREPARED FOR:
CROWN ENTERPRISES, LLC.
12225 STEPHENS ROAD
WARREN, MI 48089

REVISIONS

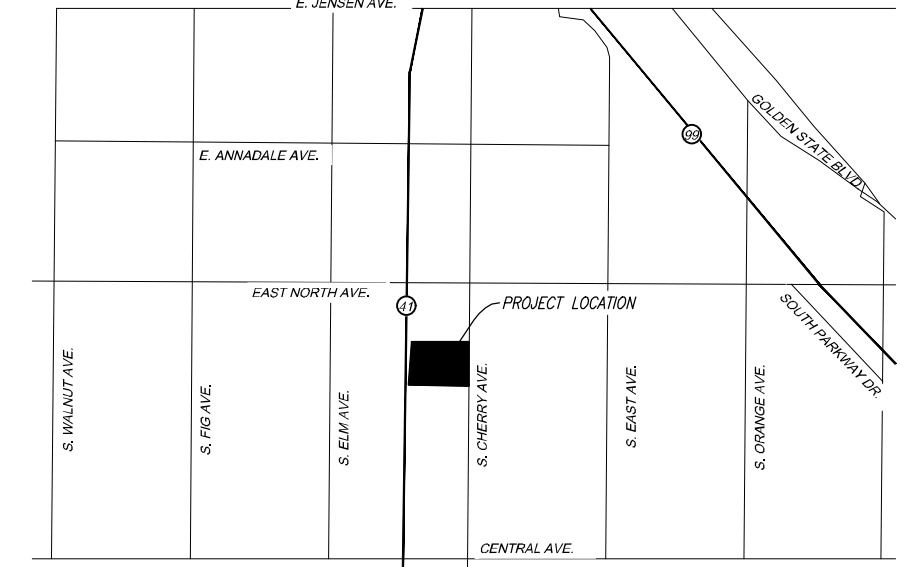
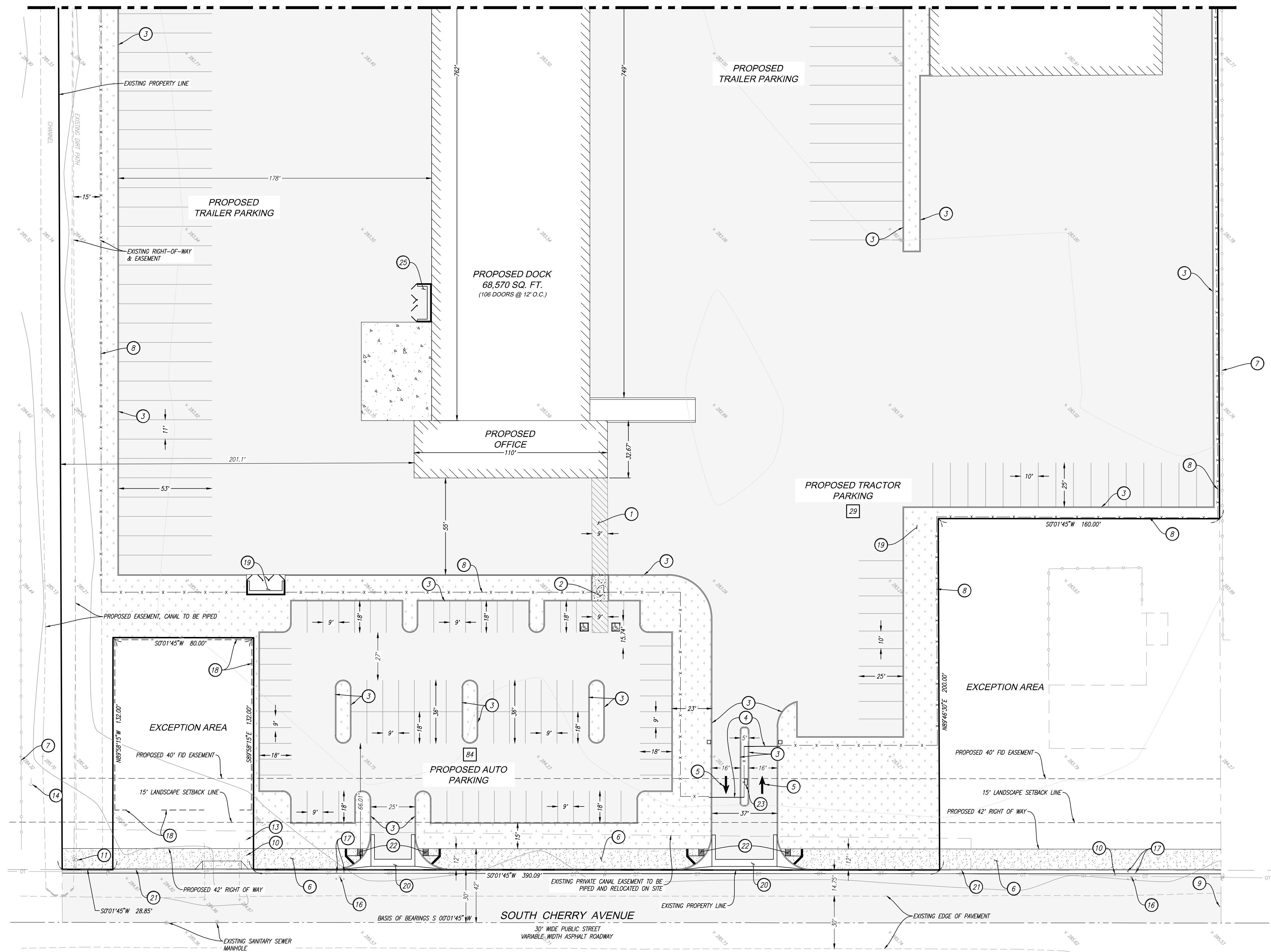
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DATE: 10/25/2022

SHEET NUMBER:
3 OF 3

JOB NUMBER:
20-270

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MATCHLINE (SHEET 1)



VICINITY MAP
NOT TO SCALE

LEGEND:

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING RIGHT OF WAY
- PROPOSED FENCE
- EXISTING CHAIN LINK FENCE
- PROPOSED CONCRETE
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- PROPOSED PAINTED DIRECTIONAL ARROWS
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- EXISTING WATER METER TO BE RELOCATED BEHIND CURB
- EXISTING STAND PIPE TO REMAIN AND BE PROTECTED
- NOT USED
- EXISTING BACK-FLOW PREVENTOR TO REMAIN AND BE PROTECTED
- EXISTING GUYWIRE TO REMAIN AND BE PROTECTED
- NOT USED
- EXISTING FIRE HYDRANT TO BE RELOCATED BEHIND CURB AND GUTTER
- EXISTING BOLLARDS TO BE REMOVED
- EXISTING BLOCK WALL TO REMAIN AND BE PROTECTED
- PROPOSED RECYCLING COMPACTOR, SIZE & TYPE TO BE DETERMINED
- PROPOSED 4" VALLEY GUTTER PER CITY OF FRESNO STD. P-10.
- PROPOSED CONCRETE CURB AND GUTTER PER CITY OF FRESNO STD. P-5.
- PROPOSED MODIFIED CURB RAMP PER CITY OF FRESNO STD. P-29
- PROPOSED ACCESS GATE CONTROL PANEL
- PROPOSED FUEL SYSTEM
- PROPOSED TRASH COMPACTOR, SIZE & TYPE TO BE DETERMINED



SCALE 1" = 30'

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CITY OF FRESNO DARM DEPT		

PLANNING SURVEYING CIVIL ENGINEERING
7234 O STREET, FRESNO, CALIFORNIA 93721
TEL: 559-449-4500 FAX: 559-449-4515
WWW.PRECISIONENG.NET



PROJECT TITLE: CENTRAL TRANSPORT REGIONAL FACILITY

SITE PLAN

COUNTY OF: FRESNO

SHEET DESCRIPTION:

CITY OF: FRESNO

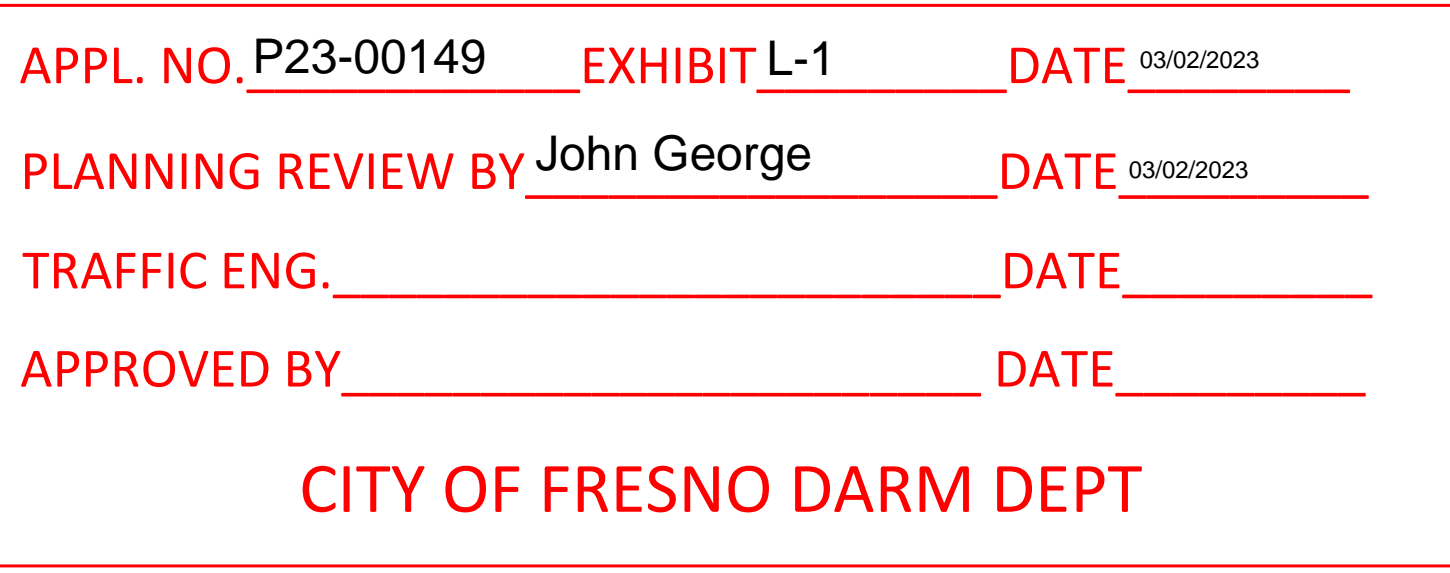
PREPARED FOR:
CROWN ENTERPRISES, LLC.
12225 STEPHENS ROAD
WARREN, MI 48089








REVISIONS

DRAWN BY: BDP
CHECKED BY: -
DATE: 10/25/2022

SHEET NUMBER:
2 OF 3

JOB NUMBER:
20-270



PLANT LEGEND					
SYMBOL	SIZE	QTY	SCIENTIFIC NAME COMMON NAME	COMMENTS	PROCES VALUE
TREES					
TREES SHALL BE PLANTED AS PER CITY OF FRESCO STANDARD DETAIL. VERIFY ALL QUANTITIES.					
TREES: ROOF BARRIERS SHALL BE INSTALLED AS PER CITY OF FRESCO STANDARD DETAIL.					
	15 CAL	18	POSTOE X WITH BASTY / HYBRID POSTOE	STANDARD	LOW
	15 CAL	14	ULMUS MELANOPHYLLA PROSPEROR / PROSPEROR ELM	STANDARD	LOW
	15 CAL	5	PNUS CANCELOSUS / CANNY ISLAND PINE	STANDARD	LOW
SHRUBS					
SHRUBS SHALL BE PLANTED AS PER CITY OF FRESCO STANDARD DETAIL. VERIFY ALL QUANTITIES.					
	5 DAL	935	LAVINIA NEW GOLD / GOLD TRAILING LAVENDER	2.00	LOW 1174.58
	1 GAL	1163	CALLUNADOSTIS X ACUTIFOLIA 'WAXE' / TEASER REED GRASS	1.00	LOW 3851.8
	5 DAL	1006	ROSA SR. 'HEART' / FLUMER CARPET REED LANDSCAPE ROSE	2.00	MED 12635.4
					TOTAL: 28000.0
GROUND COVER					
	50 SQ. FT.	47656	3 INCHES X 6 OF MULCH IN ALL PLANTERS - MULCH ON BARK	348	CUMC YIELD



PROJECT TITLE: CENTRAL TRANSPORT REGIONAL FACILITY	
SHEET DESCRIPTION: CONCEPTUAL LANDSCAPE PLAN	
CITY OF	COUNTY OF

ORDERED FOR:
CROWN ENTERPRISES, LLC.
12225 STEPHENS ROAD
WARREN, MI 48089

REVISIONS

DRAWN BY: LC
CHECKED BY: MB
DATE: 10/25/2022

SHEET NUMBER:
1 OF 2

JOB NUMBER:
20-270

P:\CIVIL\20\PROJECTS\2020\2020-270\PRODUCTION DRAWINGS\LANDSCAPE\20-270 LANDSCAPE PLANS.DWG 10/25/2022 2:15:56 PM



APPL. NO. <u>P23-00149</u>	EXHIBIT <u>L-2</u>	DATE <u>03/02/2023</u>
PLANNING REVIEW BY <u>John George</u>	DATE <u>03/02/2023</u>	
TRAFFIC ENG. _____	DATE _____	
APPROVED BY _____	DATE _____	
CITY OF FRESNO DARM DEPT		



PROSPECTOR ELM



PROSPECTOR ELM



HYBRID PISTACHE



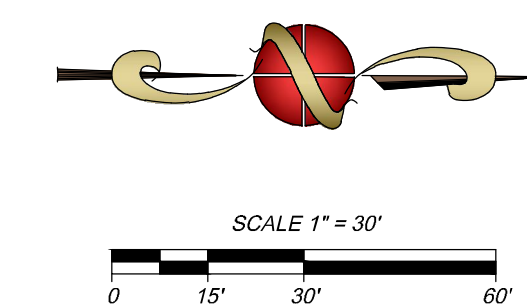
FEATHER REED GRASS

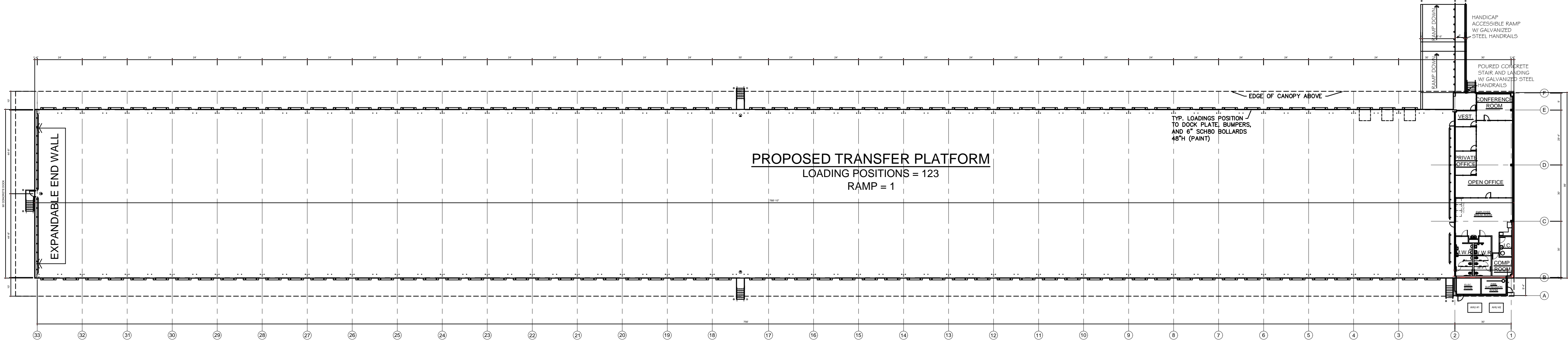


GOLD TRAILING LANTANA



FLOWER CARPET RED LANDSCAPE ROSE

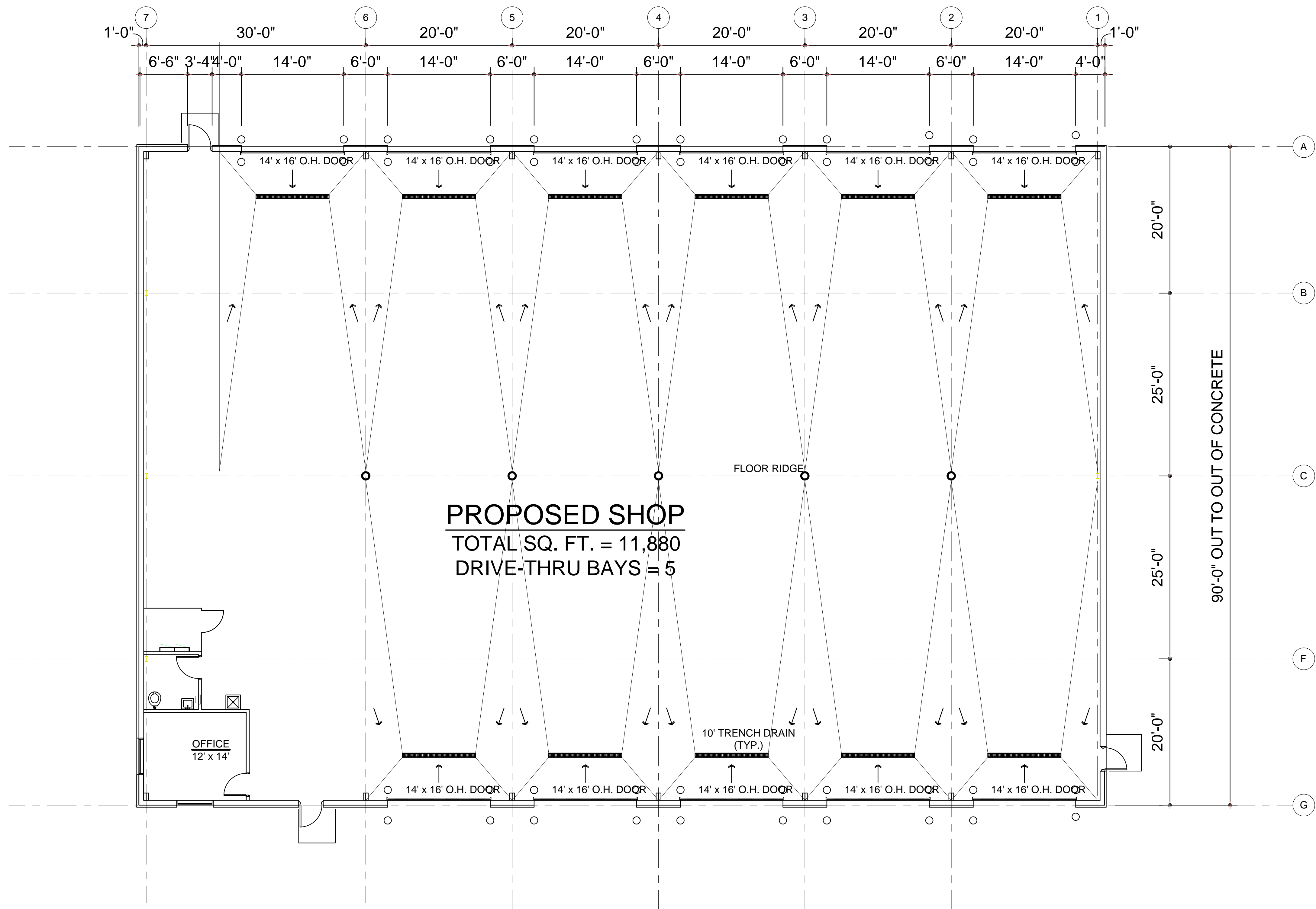





FLOOR PLAN

FIRE PROTECTION NOTE:
ENTIRE BUILDING TO BE PROTECTED WITH
AUTOMATIC FIRE SPRINKLER SYSTEM:
DOCK: ORDINARY HAZARD GROUP 2 OCCUPANCY
OFFICE: LIGHT HAZARD OCCUPANCY

DATE	REVISION
PROPOSED CROSS DOCK Cherry Avenue Fresno, CA	
Crown Enterprises, LLC 12225 Stephens Warren, Michigan	
PRELIMINARY FLOOR PLAN	
DRAWN BY	DATE 7-9-2021
A.1	



 **PROPOSED FLOOR PLAN**
SCALE: 1/8" = 1'-0"

DATE	REVISION		
		Proposed Shop	DRAWN BY
		Cherry Ave.	Fresno, CA
		Crown Enterprises, Inc.	DATE
		12225 Stephens	07-13-2021
		Proposed Floor Plan	A.4

APPL. NO. P23-00149

EXHIBIT E-1

DATE 03/02/2023

PLANNING REVIEW BY John George

DATE 03/02/2023

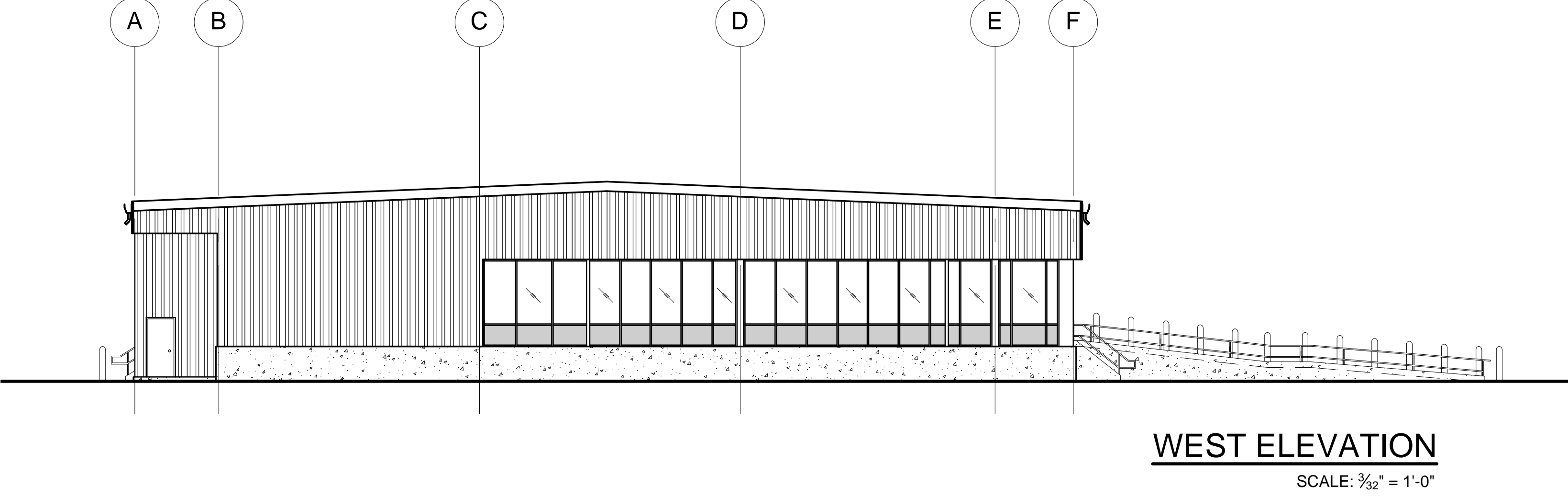
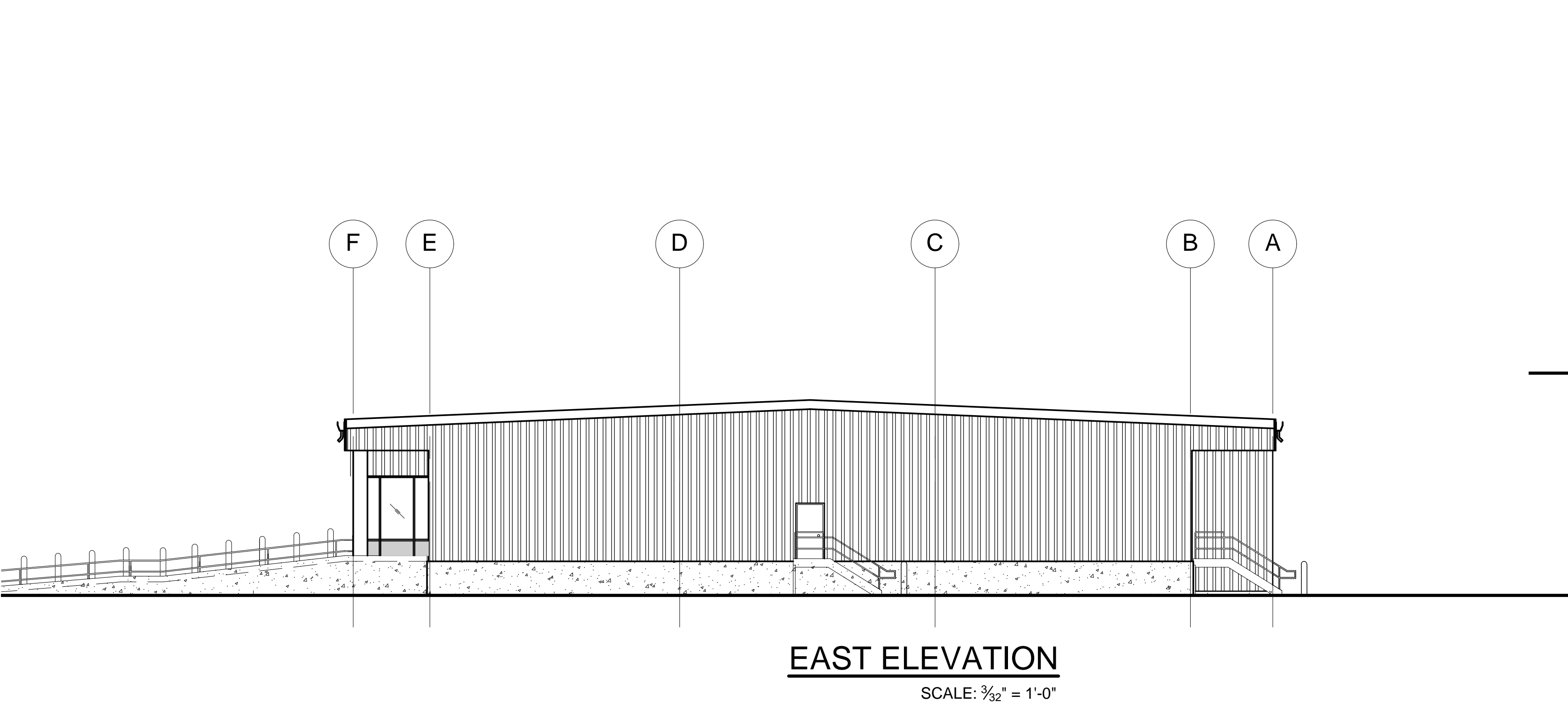
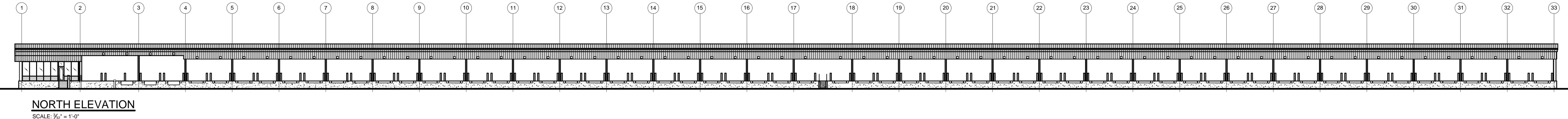
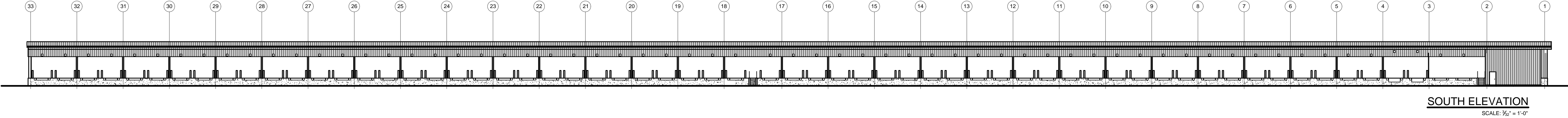
TRAFFIC ENG.

DATE

APPROVED BY

DATE

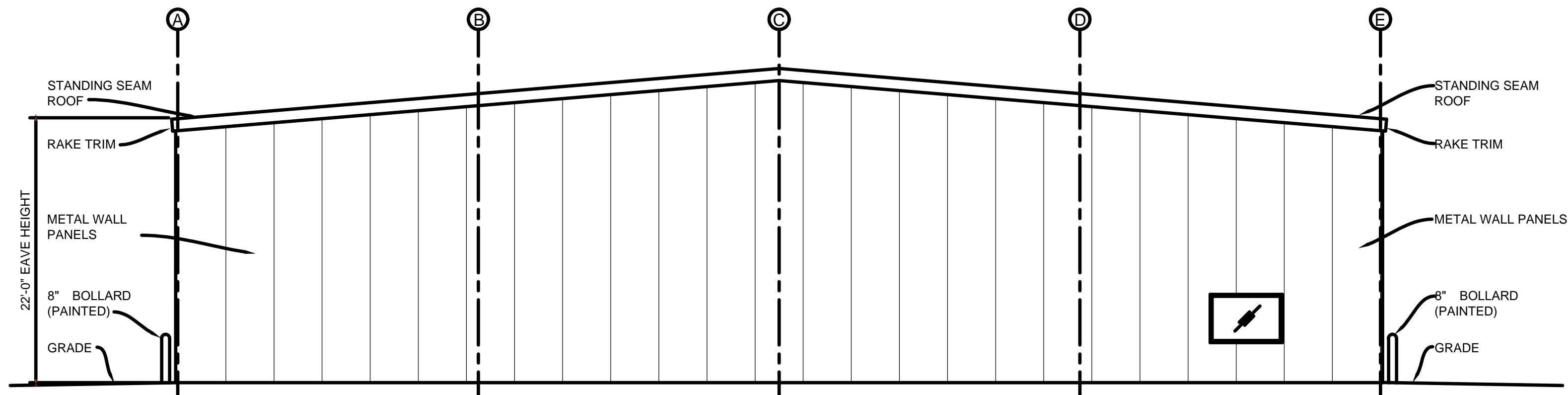
CITY OF FRESNO DARM DEPT



DATE	REVISION	DRAWN BY
Proposed Cross Dock		
Cherry Ave. Fresno, CA		
Crown Enterprises, Inc.		DATE
12225 Stephens Warren, Michigan		07-09-2021
Building Elevations		A.2

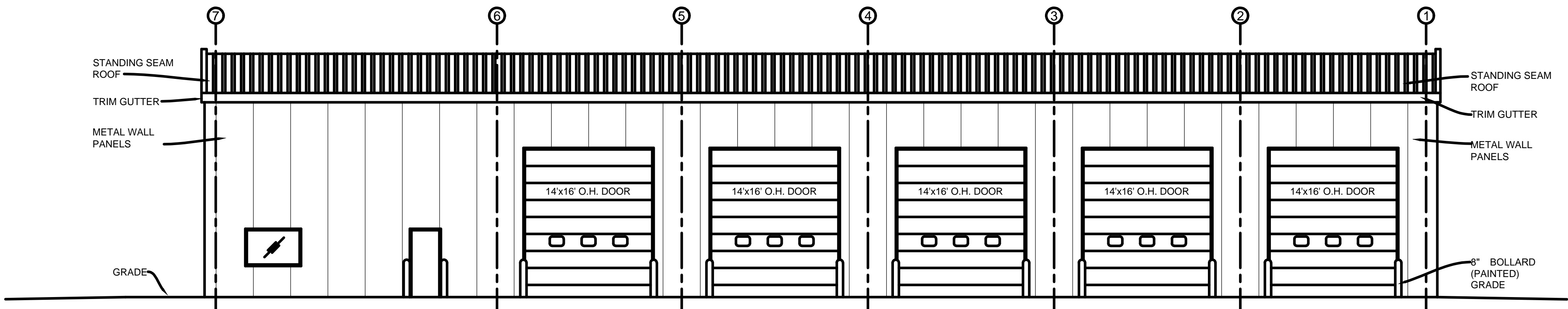
APPL. NO. P23-00149 EXHIBIT E-2 DATE 03/02/2023
PLANNING REVIEW BY John George DATE 03/02/2023
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT



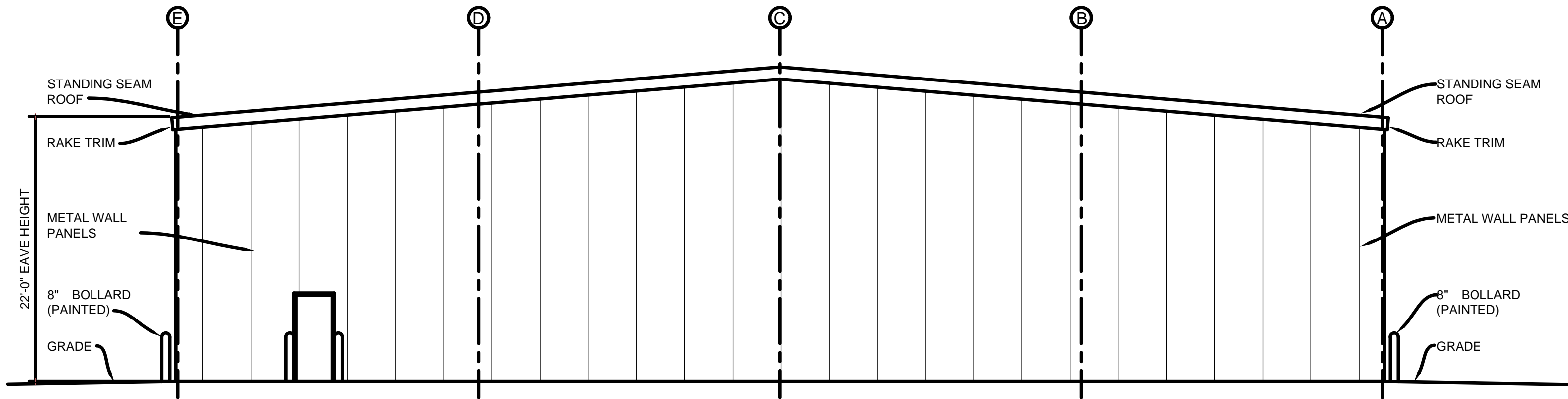
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



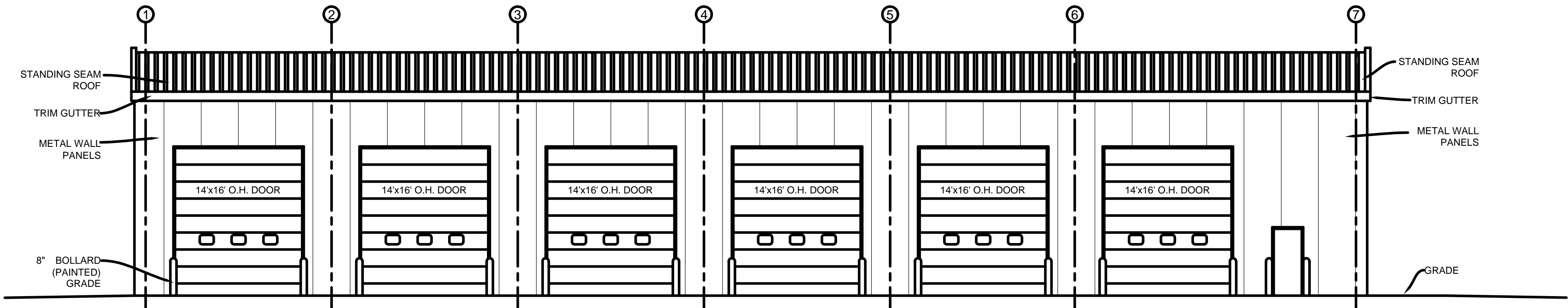
EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

EAST ELEVATION

SCALE: 1/8" = 1'-0"

DATE	REVISION		
		PROPOSED SHOP	DRAWN BY
		Cherry Ave.	Fresno, CA
		CROWN ENTERPRISES INC.	DATE
		12225 Stephens	07-13-2021
		Exterior Elevations	A.5