

Exhibit C

Project Plan Exhibits

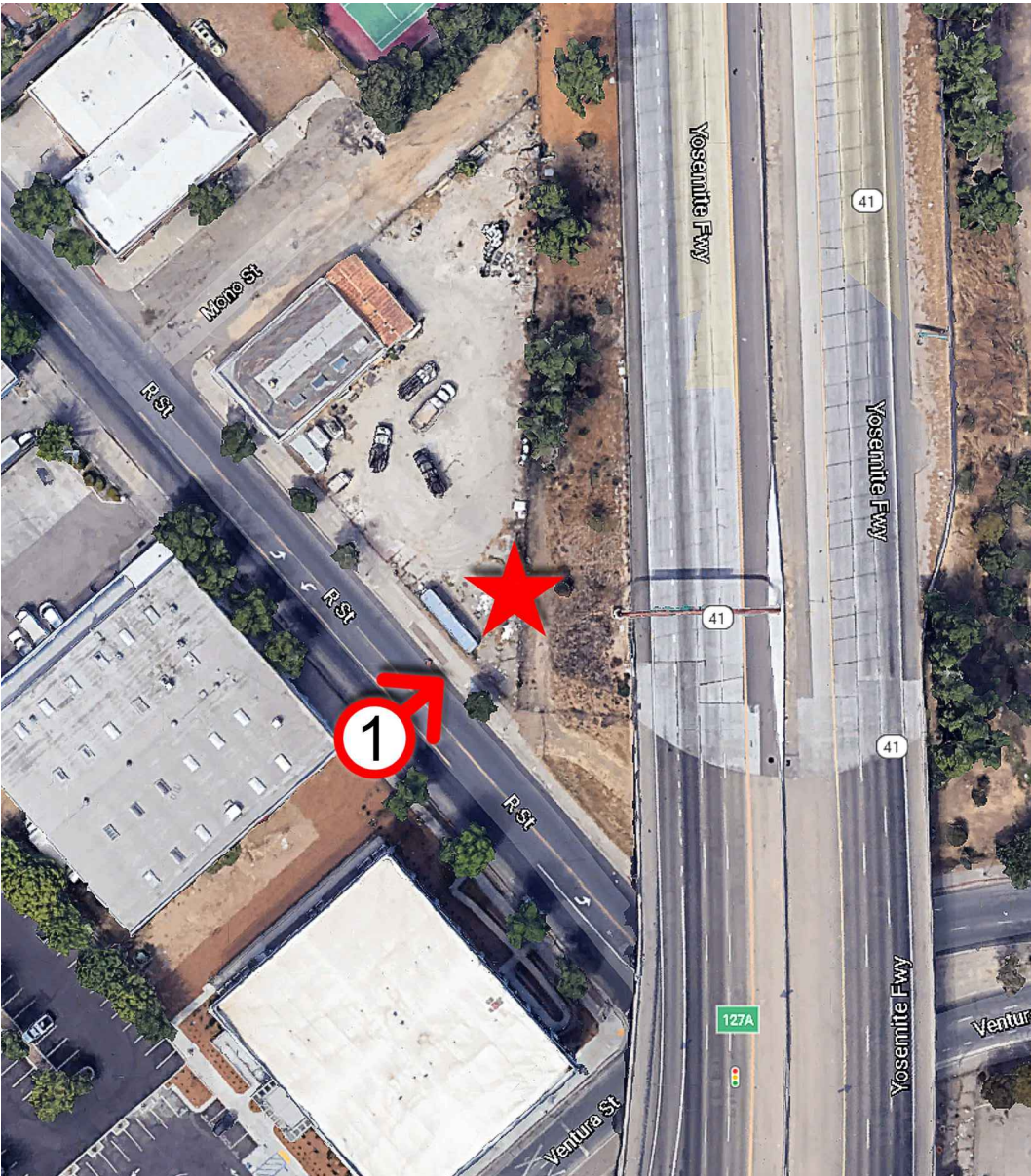
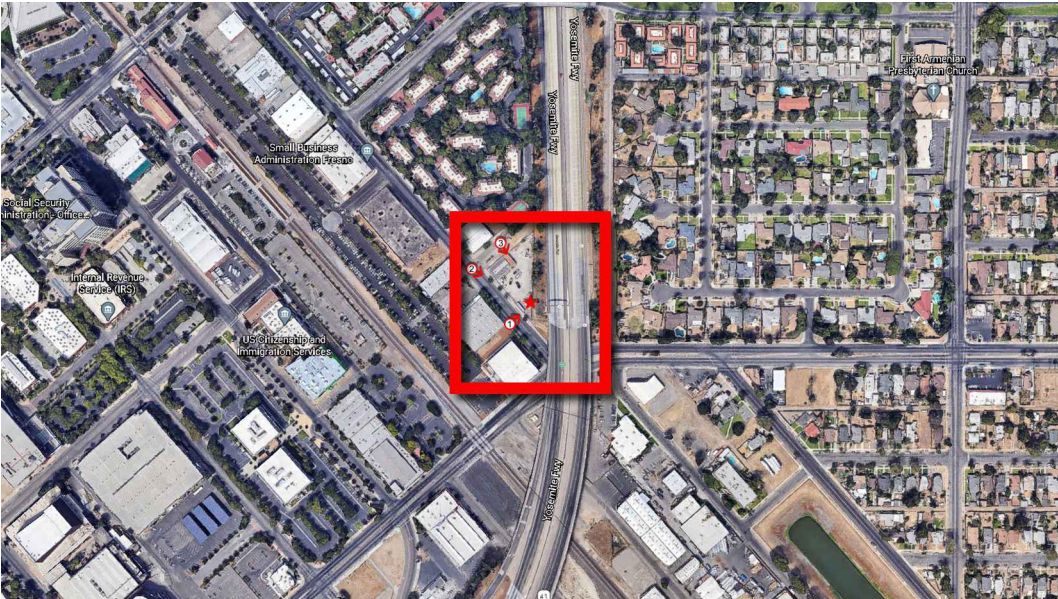
(Photo Simulations, RF Study, Noise Study, Alternative Site Analysis, Operational Statement, Site Plan, Elevations, Landscape Plan)



DOWNTOWN FRESNO
PSL # 655464
662 R STREET
FRESNO, CA 93721



PHOTOSIMULATION VIEWPOINT 1



NEW



EXISTING



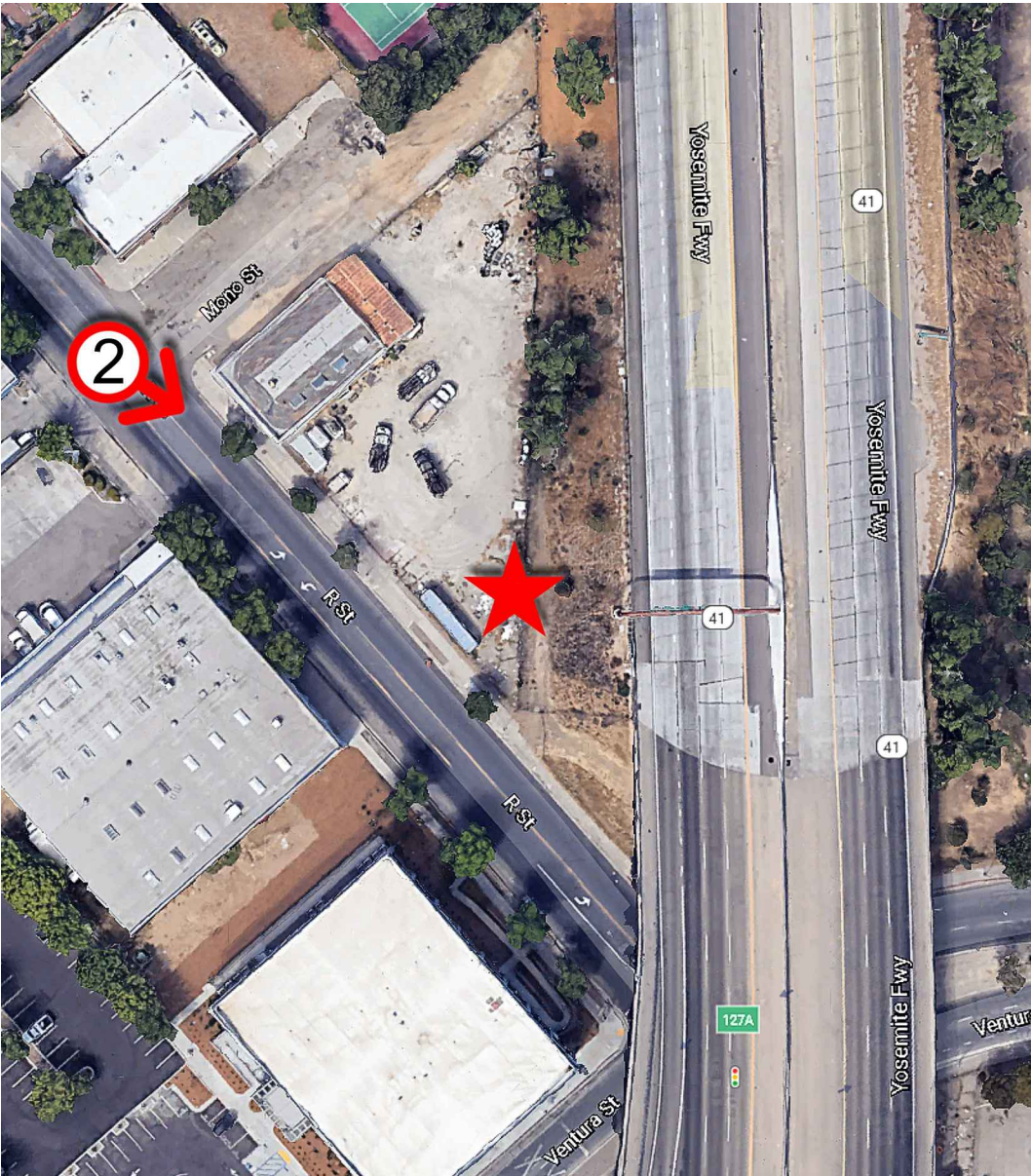
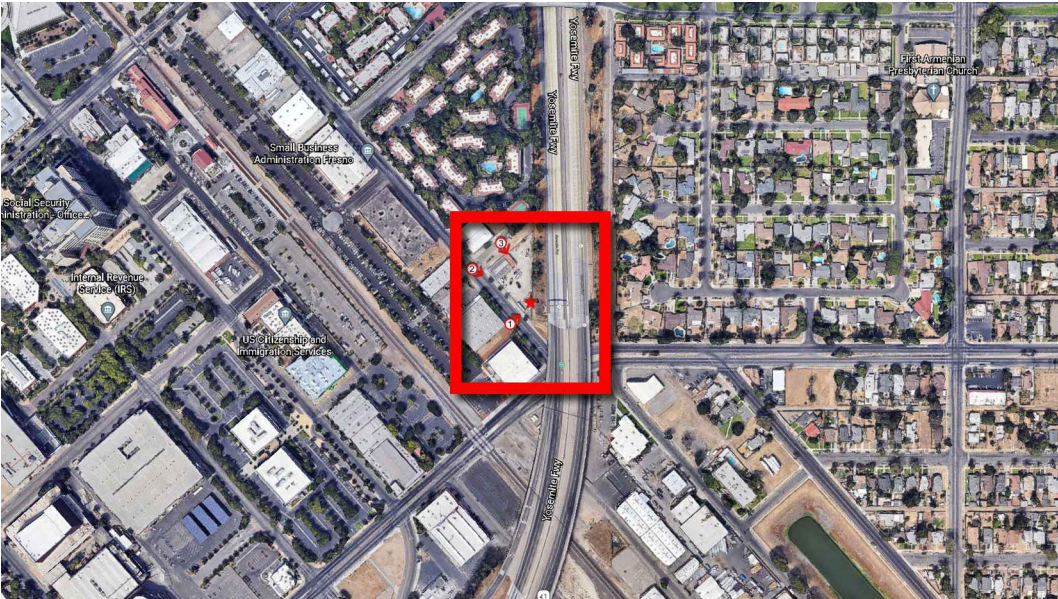
DISCLAIMER: THIS PHOTOSIMULATION IS INTENDED AS A GRAPHICAL REPRESENTATION OF EXISTING AND PROPOSED SITE CONDITIONS BASED ON THE PROJECT / DRAWING PLANS. IT IS NOT INTENDED FOR CONSTRUCTION. ACTUAL, FINAL CONSTRUCTION MAY VARY



DOWNTOWN FRESNO
PSL # 655464
662 R STREET
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PHOTOSIMULATION VIEWPOINT 2



NEW VERIZON (9) PANEL ANTENNAS,
(12) RADIOS, (2) RAYCAP AND (1) 2'-0"Ø
MICROWAVE ANTENNA ON
NEW 80'-0" HIGH MONOPINE

- NOTE:**
NEW VERIZON WIRELESS EQUIPMENT LOCATED
WITHIN NEW 16'-8" x 22'-0" CMU WALL ENCLOSURE
W/ ANTI GRAFFITI PAINT & CHAIN-LINK ROOF
(EQUIPMENT NOT VISIBLE IN CURRENT VIEW)
- NEW OUTDOOR EQUIPMENT ON CONCRETE PAD
 - NEW ELECTRICAL METER, TELCO BOX AND
INTERSECT CABINET ON NEW H-FRAME
 - NEW ICEBRIDGE W/ GPS ANTENNA
 - NEW (2) RAYCAPS
 - NEW 80'-0" HIGH MONOPINE



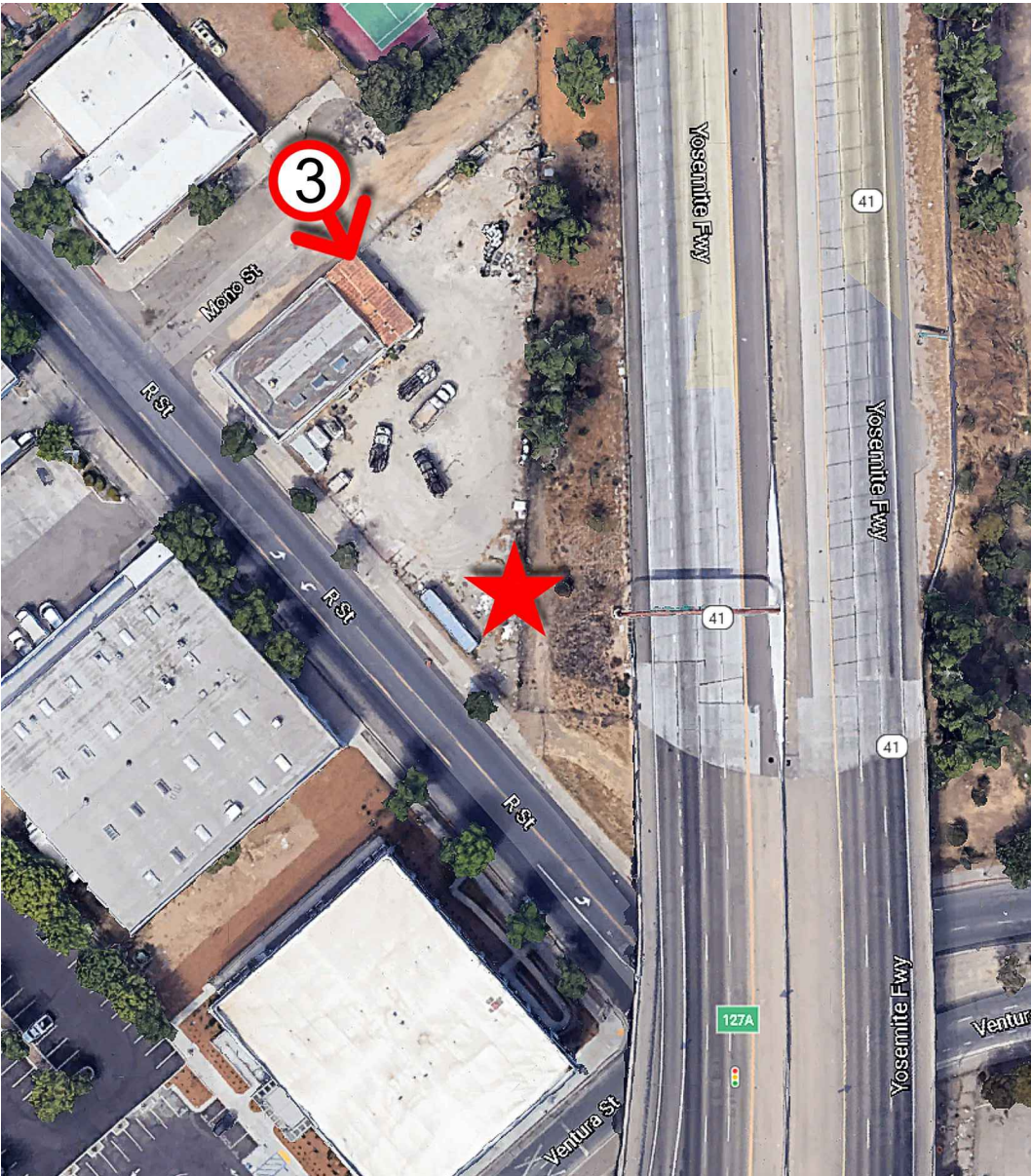
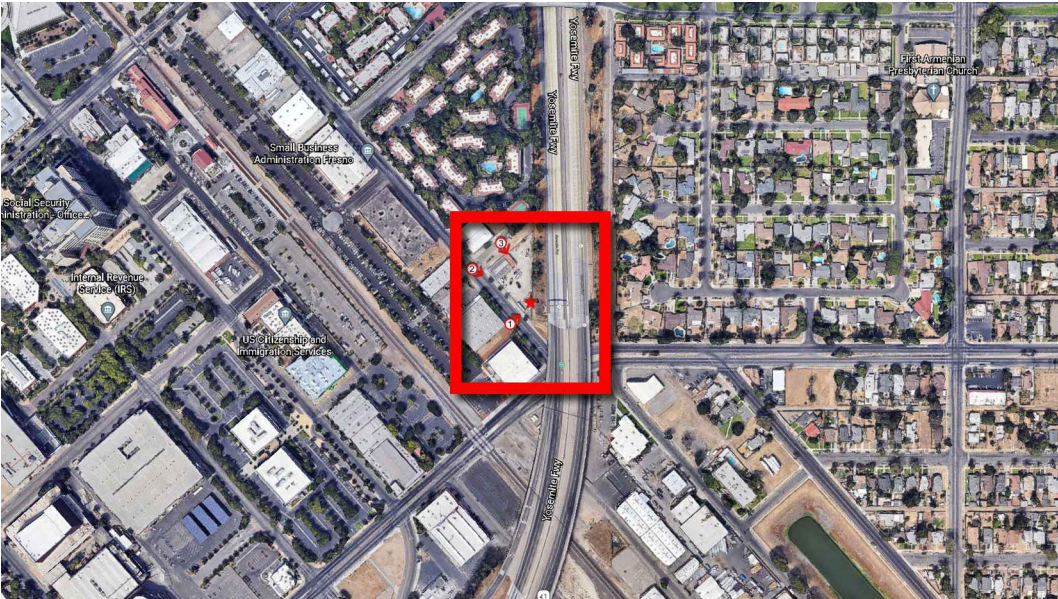
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DOWNTOWN FRESNO
PSL # 655464
662 R STREET
FRESNO, CA 93721



PHOTOSIMULATION VIEWPOINT 3



NEW VERIZON (9) PANEL ANTENNAS,
(12) RADIOS, (2) RAYCAP AND (1) 2'-0"Ø
MICROWAVE ANTENNA ON
NEW 80'-0" HIGH MONOPINE

- NOTE:
NEW VERIZON WIRELESS EQUIPMENT LOCATED
WITHIN NEW 16'-8" x 22'-0" CMU WALL ENCLOSURE
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 - NEW 80'-0" HIGH MONOPINE



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WATERFORD

Radio Frequency Emissions Compliance Report For Verizon Wireless

Site Name: Downtown Fresno

Site Structure Type: Monopole

Address: 662 R Street

Latitude: 36.737039

Fresno, CA 93721

Longitude: -119.777958

Report Date: March 3, 2021

Project: New Build

Compliance Statement

Based on information provided by Verizon Wireless and predictive modeling, the Downtown Fresno installation proposed by Verizon Wireless will be compliant with Radiofrequency Radiation Exposure Limits of 47 C.F.R. §§ 1.1307(b)(3) and 1.1310. The proposed operation will not expose members of the General Public to hazardous levels of RF energy at ground level or in adjacent buildings. As predicted RF power densities will not exceed the FCC General Population limits, no mitigation action other than restricting access to the tower is required to achieve or maintain compliance.

Certification

I, David C. Cotton, Jr., am the reviewer and approver of this report and am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation, specifically in accordance with FCC's OET Bulletin 65. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

General Summary

The compliance framework is derived from the Federal Communications Commission (FCC) Rules and Regulations for preventing human exposure in excess of the applicable Maximum Permissible Exposure ("MPE") limits. At any location at this site, the power density resulting from each transmitter may be expressed as a percentage of the frequency-specific limits and added to determine if 100% of the exposure limit has been exceeded. The FCC Rules define two tiers of permissible exposure differentiated by the situation in which the exposure takes place and/or the status of the individuals who are subject to exposure. General Population / Uncontrolled exposure limits apply to those situations in which persons may not be aware of the presence of electromagnetic energy, where exposure is not employment-related, or where persons cannot exercise control over their exposure. Occupational / Controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment, have been made fully aware of the potential for exposure, and can exercise control over their exposure. Based on the criteria for these classifications, the FCC General Population limit is considered to be a level that is safe for continuous exposure time. The FCC General Population limit is 5 times more restrictive than the Occupational limits.

Table 1: FCC Limits

Frequency (MHz)	<i>Limits for General Population/ Uncontrolled Exposure</i>		<i>Limits for Occupational/ Controlled Exposure</i>	
	Power Density (mW/cm ²)	Averaging Time (minutes)	Power Density (mW/cm ²)	Averaging Time (minutes)
30-300	0.2	30	1	6
300-1500	f/1500	30	f/300	6
1500-100,000	1.0	30	5.0	6

f=Frequency (MHz)

In situations where the predicted MPE exceeds the General Population threshold in an accessible area as a result of emissions from multiple transmitters, FCC licensees that contribute greater than 5% of the aggregate MPE share responsibility for mitigation.

Based on the computational guidelines set forth in FCC OET Bulletin 65, Waterford Consultants, LLC has developed software to predict the overall Maximum Permissible Exposure possible at any location given the spatial orientation and operating parameters of multiple RF sources. The power density in the Far Field of an RF source is specified by OET-65 Equation 5 as follows:

$$S = \frac{EIRP}{4 \cdot \pi \cdot R^2} \text{ (mW/cm}^2\text{)}$$

where EIRP is the Effective Radiated Power relative to an isotropic antenna and R is the distance between the antenna and point of study. Additionally, consideration is given to the manufacturers' horizontal and vertical antenna patterns as well as radiation reflection. At any location, the predicted power density in the Far Field is the spatial average of points within a 0 to 6-foot vertical profile that a person would occupy. Near field power density is based on OET-65 Equation 20 stated as

$$S = \left(\frac{180}{\theta_{BW}} \right) \cdot \frac{100 \cdot P_{in}}{\pi \cdot R \cdot h} \text{ (mW/cm}^2\text{)}$$

where P_{in} is the power input to the antenna, θ_{BW} is the horizontal pattern beamwidth and h is the aperture length.

Some antennas employ beamforming technology where RF energy allocated to each customer device is dynamically directed toward their location. In the analysis presented herein, predicted exposure levels are based on all beams at full utilization (i.e. full power) simultaneously focused in any direction. As this condition is unlikely to occur, the actual power density levels at ground and at adjacent structures are expected to be less than the levels reported below. These theoretical results represent maximum-case predictions as all RF emitters are assumed to be operating at 100% duty cycle.

For any area in excess of 100% General Population MPE, access controls with appropriate RF alerting signage must be put in place and maintained to restrict access to authorized personnel. Signage must be posted to be visible upon approach from any direction to provide notification of potential conditions within these areas. Subject to other site security requirements, occupational personnel should be trained in RF safety and equipped with personal protective equipment (e.g. RF personal monitor) designed for safe work in the vicinity of RF emitters. Controls such as physical barriers to entry imposed by locked doors, hatches and ladders or other access control mechanisms may be supplemented by alarms that alert the individual and notify site management of a breach in access control. Waterford Consultants, LLC recommends that any work activity in these designated areas or in front of any transmitting antennas be coordinated with all wireless tenants.

Analysis

Verizon Wireless proposes the following installation at this location:

- (9) NEW VERIZON WIRELESS 8' HIGH PANEL ANTENNAS
- (9) NEW VERIZON WIRELESS RADIOS
- (1) NEW VERIZON WIRELESS 2'Ø MICROWAVE ANTENNA

The antennas will be mounted on a 75-foot Monopole with centerlines 72 & 61-feet above ground level. Proposed antenna operating parameters are listed in Appendix A. Other appurtenances such as GPS antennas, RRUs and hybrid cable below the antennas are not sources of RF emissions. No other antennas are known to be operating in the vicinity of this site.

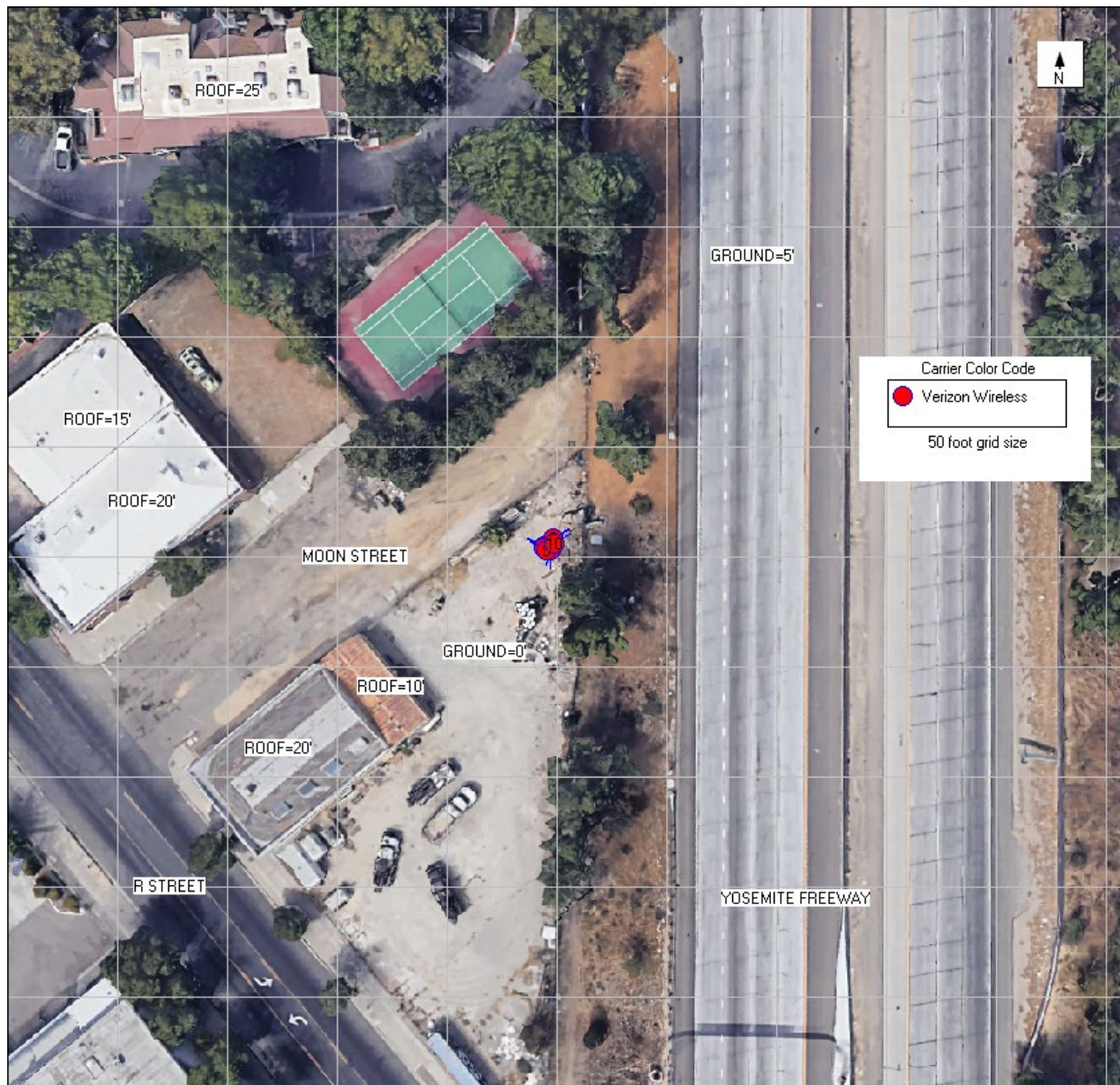


Figure 1: Antenna Locations

Power density decreases significantly with distance from any antenna. The panel-type antennas to be employed at this site are highly directional by design and the orientation in azimuth and mounting elevation, as documented, serves to reduce the potential to exceed MPE limits at any location other than directly in front of the antennas. For accessible areas at ground level, the maximum predicted power density level resulting from all Verizon Wireless operations is 18.0278% of the FCC General Population limits. Incident at adjacent buildings depicted in Figure 1, the maximum predicted power density level resulting from all Verizon Wireless operations is 20.9679% of the FCC General Population limits. The proposed operation will not expose members of the General Public to hazardous levels of RF energy at ground level or in adjacent buildings. As predicted RF power densities will not exceed the FCC General Population limits, no mitigation action other than restricting access to the tower is required to achieve or maintain compliance.

Appendix A: Operating Parameters Considered in this Analysis

Antenna #:	Carrier:	Manufacturer	Pattern:	Band (MHz):	Mech Az (deg):	Mech DT (deg):	H BW (deg):	Length (ft):	TPO (W):	Channels:	Loss (dB):	Gain (dBd):	ERP (W):	EIRP (W):	Rad Center (ft):
1	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 00DT	700	60	0	66	6	40	4	0.5	12.49	2530	4151	72
1	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 00DT	1900	60	0	59	6	40	4	0.5	15.72	5323	8732	72
1	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 04DT	3100	60	0	40	6	5	4	0.5	14.74	531	871	72
2	Verizon	COMMSCOPE	NHH-65B-R2B 00DT	850	60	0	60	6	40	4	0.5	12.7	2655	4356	72
2	Verizon	COMMSCOPE	NHH-65B-R2B 00DT	2100	60	0	64	6	40	4	0.5	16.22	5972	9798	72
3	Verizon	ERICSSON	VZE01	< 6 GHz Licensed	60	0	11	2.8	339	1	0	21.4	46795	76771	72
4	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 00DT	700	190	0	66	6	40	4	0.5	12.49	2530	4151	72
4	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 00DT	1900	190	0	59	6	40	4	0.5	15.72	5323	8732	72
4	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 04DT	3100	190	0	40	6	5	4	0.5	14.74	531	871	72
5	Verizon	COMMSCOPE	NHH-65B-R2B 00DT	850	190	0	60	6	40	4	0.5	12.7	2655	4356	72
5	Verizon	COMMSCOPE	NHH-65B-R2B 00DT	2100	190	0	64	6	40	4	0.5	16.22	5972	9798	72
6	Verizon	ERICSSON	VZE01	< 6 GHz Licensed	180	0	11	2.8	339	1	0	21.4	46795	76771	72
7	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 00DT	700	300	0	66	6	40	4	0.5	12.49	2530	4151	72
7	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 00DT	1900	300	0	59	6	40	4	0.5	15.72	5323	8732	72
7	Verizon	COMMSCOPE	NHHSS-65B-R2BT4 04DT	3100	300	0	40	6	5	4	0.5	14.74	531	871	72
8	Verizon	COMMSCOPE	NHH-65B-R2B 00DT	850	300	0	60	6	40	4	0.5	12.7	2655	4356	72
8	Verizon	COMMSCOPE	NHH-65B-R2B 00DT	2100	300	0	64	6	40	4	0.5	16.22	5972	9798	72
9	Verizon	ERICSSON	VZE01	< 6 GHz Licensed	300	0	11	2.8	339	1	0	21.4	46795	76771	72
10	Verizon	ANDREW	VHLP2-18	18000	60	0	2.1	2	0.2	1	0	37	1002	1644	61

Colocated antenna parameters based on industry standards



April 30, 2021

Adriana Villalobos
SAC Wireless

Re: **Noise Assessment Letter**
VERIZON Site 655464 Downtown Fresno
662 R Street, Fresno, CA 93721

Downtown Fresno is a proposed VERIZON telecommunications macro site located in the City of Fresno, CA. VERIZON is proposing to add rack type cabinets with cabinet mounted A/C units, and a new emergency backup generator. Based on our review of the project drawings and technical specifications, the following is a summary of our noise assessment of the proposed equipment. Per City of Fresno Code of Ordinance, the following excerpt of the code defines noise level performance standards as follows:

Article 25 Performance Standards
Table 15-2506-D of City of Fresno Municipal Code

TABLE 15-2506-D: NOISE EXPOSURE FROM STATIONARY NOISE SOURCES ¹		
	Daytime 7:00 am—10:00 pm	Nighttime 10:00 pm—7:00 am
Hourly Equivalent Sound Level (Leq), dBA	50	45
Maximum Sound Level (Lmax), dBA	70	60
Notes: 1. As determined at outdoor activity areas. Where the location of outdoor activity areas is unknown or not applicable, the noise exposure standard shall be applied at the property line of the receiving land use.		

NOISE ANALYSIS

Of the supporting equipment planned for this project, Table 1 below presents the primary noise sources of concern.



Table 1 – Supporting Equipment Noise Data

Noise Source	Equipment Type	Make	Model	Size	Manufacturer's Published Noise Data (dBA)	Noise Data Reference Distance (ft)
A	Cabinet AC Unit	Marvair or equal	ECUA012ACA	12K BTUs	51.5	5
B	Generator	Generac	SD030	30 kW	66 ^[1]	23

[1] Sound pressure is based on Gen Set with Level 2 sound attenuated enclosure, full-load operating conditions.

Our review of the package did not reveal any other significant noise sources. The equipment is proposed to be installed on ground of SE corner of 662 R Street. Property is adjacent to Yosemite Fwy, but ambient noise is not considered in this study.

To properly present this assessment, our noise modeling has assumed following scenarios: 1) the generator is operating in the full-load condition; 2) three Marvair units running continuously; 3) Ambient noise is not considered 4) other existing on-site equipment creating noises are ignored and 5) despite the long setbacks to the adjacent property lines, our analysis does not include noise reduction factors such as air attenuation, vegetation, and ground effects, which become significant at large distances.

The site and its adjacent properties are located within the City of Fresno, and the telecommunication site sits within APN 468-11-17. The nearest adjacent property line with a residence on the property is located to the North (APN 468-430) approximately **283.00 feet** from the equipment.

Generator is for emergency backup during power failure conditions. Generator is exercised once a week for one hour maximum during daytime hours only. A/C units can all run simultaneously. Unit will run during day and nighttime. Noise levels measurements per Table 1, calculated to the property line of the nearest residence, is as follows:

Noise Source 'A' – A/C Unit = 19.0 dBA

Noise Source 'B' – Generator = 44.0 dBA

Combined Sources – **Total of 44.0 dBA**

Based on City of Fresno's ordinance, the maximum noise level is 70 dBA's during daytime and 60 dBA's at night. The combined anticipated level of the A/C unit and the Generator both meet the City's daytime and nighttime standard even though only the A/C units are expected to run simultaneously at



WATERFORD

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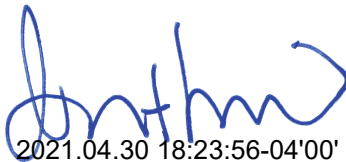
night. As sound pressure levels attenuate with increasing distance from the sound source, noise levels due to the supporting equipment at all remaining surrounding property lines, are anticipated to be less than 60 dBA, meeting the noise standards outlined in this report.

CONCLUSION

Based on the project documentation, our noise assessment indicates that the proposed VERIZON Telecommunications Facility complies with requirements mandated by City of Fresno at all adjacent 'Residential' property lines for all hourly noise metrics outlined in Table above. To avoid any misunderstanding, I hereby state that to the best of my knowledge, belief and professional judgment, this report represents an accurate appraisal of VERIZON's equipment, based upon careful evaluation of Manufacturer's data to the extent reasonably possible.

Please reach out if I can be of further assistance.

Respectfully Submitted
For the Firm,



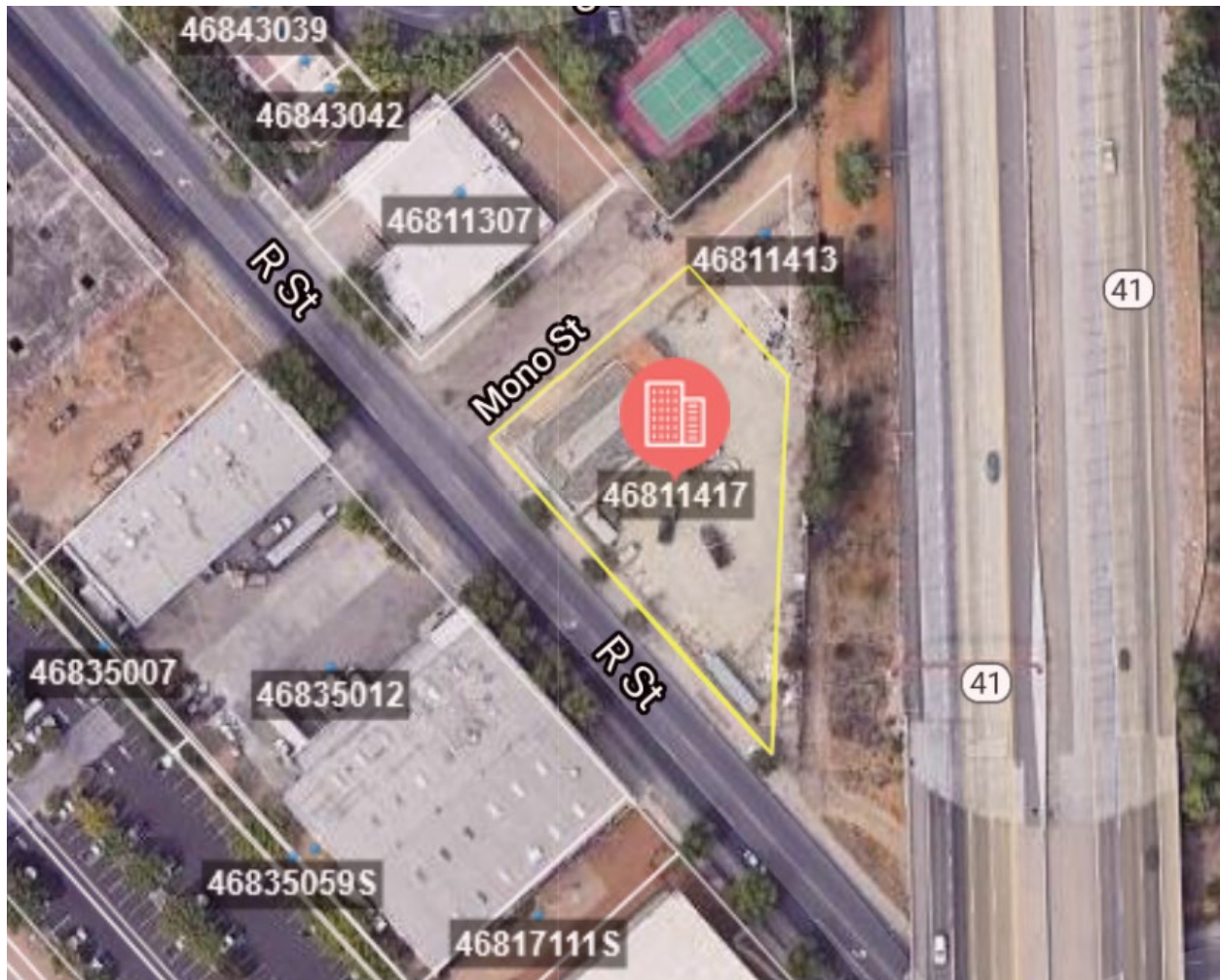
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Robert J Lara,

Alternative Candidate Analysis

verizon✓

Downtown Fresno
662 R. Street
FRESNO, CA 93721
APN 468-114-17



May 21, 2021

Summary of Site Evaluations

Conducted by: SAC Wireless

Introduction:

In early 2020, it became necessary for Verizon Wireless to pursue a new wireless facility in the Downtown Fresno area. Due to increased usage of wireless devices requiring cellular data, Verizon's existing site in the area is approaching overload, which will create disruptions to Verizon users, including personal, commercial, and emergency users. Therefore, Verizon Wireless is proposing a new wireless facility, which is described below, to provide offload capacity relief and improved coverage to the Downtown Fresno area. Through multiple conversations with the City of Fresno as well, the pressing needs of the constituents were made known to Verizon that an increase of coverage is needed in this area.

Based on a comprehensive search of available sites over the last couple of years and after careful location analysis, Verizon Wireless has concluded that the site at 662 R. Street APN 468-114-17 constitutes the least intrusive alternative to help fill the identified significant gap in coverage/capacity based on the guidelines set forth by the City of Fresno. Through this process, six (7) site alternatives were reviewed and eliminated based upon engineering analysis, lack of cooperation by potential landlords, or unresponsiveness by potential landlords. With these sites exhausted, Verizon Wireless proposes the use a camouflaged "monopine" installation on the address described above, which is located in an periphery commercial area; this property will be described further in this Alternatives Analysis. While it is not the only feasible site which meets the County of Fresno requirements, as well as the coverage and capacity needs of the community as well as emergency service providers, it is the only site candidate which reaches both the Radio Frequency Engineer (RF) coverage requirements while having Landlord interest.

I. Coverage/Capacity Gap

This project's primary objective is to provide much needed service in the Downtown Fresno area. Another objective is to offload the existing Del Webb tower site. There is also currently little to no 4G LTE AWS signal in the area. Coverage is limited to the street coverage, but there is no in vehicle or in building coverage in most areas of the proposed cell site location due to an increase of the use of wireless devices, as well as increased rates of streaming. Verizon Wireless recognizes that the need is high, which reduces its ability to provide stable service to Verizon customers in the area.

This also results in a disruption to access to emergency services; since many police, fire, and ambulance services use the Verizon 4G network to track their resources, dispatch assets, and relay data, should an emergency occur during a sector overload, the systems they rely on could be unusable. The site of Downtown Fresno at 662 R. Street APN 468-114-17 meets the required objectives as well as provides adequate coverage for emergency services.

II. Methodology

Once a significant coverage/capacity gap is determined, Verizon Wireless seeks to identify a site that will provide a solution through the "least intrusive means" based upon Verizon Wireless's experience with designing similar facilities and working within local regulations. In addition to seeking the "least intrusive" alternative, sites proposed by Verizon Wireless must be feasible. In this regard, Verizon Wireless reviews the topography, radio frequency propagation, elevation, height, available electrical and telephone utilities, access, and other critical factors such as a willing

landlord in completing its site analysis. Wherever feasible, Verizon Wireless seeks to identify collocation opportunities that allow placement of wireless facilities with minimal impacts. Two crown castle towers were in the Search Ring and two other major tower companies were right outside the Radio frequency engineer's coverage objective area. Two of the towers would have required a drop and swap in order to potentially reach the objectives of both the existing and future carriers. One of those given two was also too close to an existing site. The next best option was to find a suitable site where Verizon's location could be stealthed against the surrounding areas. Verizon was able to locate land on a downtown neighborhood zoned property to build a site with sufficient height needed to meet the coverage need while simultaneously fitting with the character and surroundings of the area.

III. Analysis

Verizon Wireless has sought a suitable location for a wireless facility to serve the agricultural, residential and commercial areas of the greater Downtown Fresno area, especially that on the western area. As collocation of facilities is generally preferred, Verizon Wireless first searched for collocation sites which could meet the needs of the coverage and capacity gap. With no feasible existing wireless towers available to co-locate, Verizon surveyed the coverage/capacity gap area for available building and ground sites for a new wireless facility. Verizon pursued ten potentially viable candidates, including the Harry and Ruth Moore property site at APN 468-114-17. The Moore site was chosen as the preferred location because it had the best location for wireless reach, appropriate height for coverage, and the least construction concerns. Verizon has a lease in place with the Moore family and will move directly to construction once zoning is approved.

The following is a summary of prior sites reviewed within the search area. Each of these sites were subsequently eliminated as candidates due to a variety of reasons, including but not limited to: technical deficiencies identified by the Radio Frequency Engineer (RF), lack of landlord response or unwillingness to have towers on their property, or better options for a given Landlord.

Site/Owner Name	Property Address	Landlord Interest?	RF Acceptance?	Reason for Elimination
Holmes Playground	APN: 468-383-04T	Yes	Yes	LL eventually was rejected at the state level secondary to state grant funding reimbursement requirement
Fresno Community Hospital	2823 Fresno Street, Fresno, CA 93721	No	Yes	Site meets RF objective but management of hospital had no desire for additional work to be done at or near the hospital during these times.
Fresno Veterans Memorial Auditorium	2425 Fresno St, Fresno, CA 93721	No	No	Site ultimately was too close to existing sites.
ATC #370343	337 M St, Fresno, CA 93721	N/A	No	Was not able to meet the RF objective secondary to being +/-1750' away from desired objective area.

Crown Castle #823003	645 R ST Fresno, California 93721	N/A	No	Was not able to meet the RF objective secondary to needing an extension to the existing tower which may not have been allowed both structurally or per requirements of JRX. Is the current tower too short for 6409 extension?
SBA #CA45974	2045 E. Belmont Ave, Fresno CA 93701	N/A	No	Was not able to meet the RF objective secondary to being +/-1000' away from desired objective area.
Crown Castle #845779	1223 P St. Fresno, California 937211	N/A	No	Was not able to meet the RF objective as it would be too close to an existing site which would not be allowed.
Jefferson Elementary	202 N Mariposa St, Fresno, CA 93701	N/A	No	It is recommended by the jurisdiction to avoid elementary school locations.
Der Property	418 N Fresno St, Fresno, CA 93701	N/A	No	Parcel too small secondary to setback requirements and too far from RF objective area
Yokomi Elementary	2323 E McKenzie Ave, Fresno, CA 93701	N/A		It is recommended by the jurisdiction to avoid elementary school locations.

A more detailed analysis of each of the candidates is below.

Summary of Candidates Reviewed

Proposed Candidate

Downtown Fresno - Moore

662 R Street, Fresno CA 93721

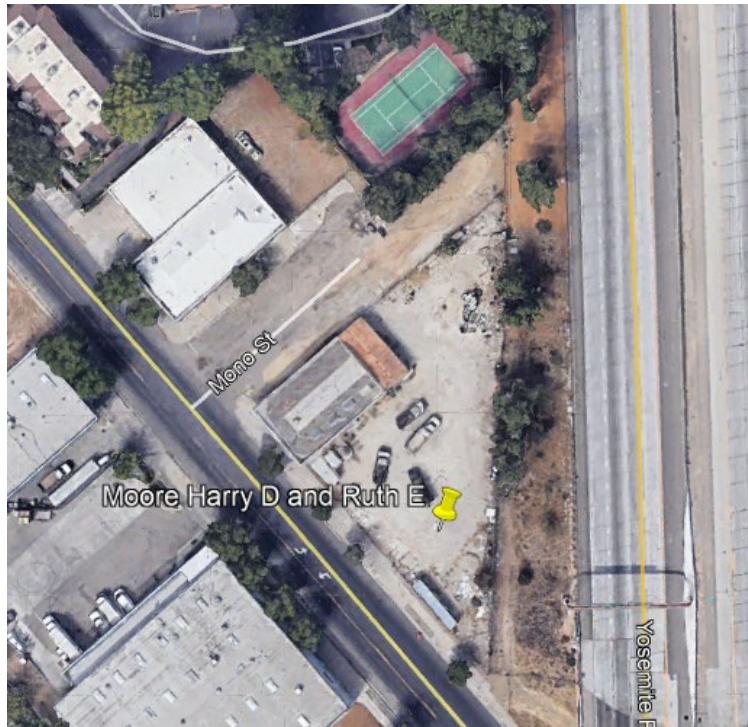
APN: 468-114-17

Height: 80'

Zoning: DTN - Downtown Neighborhood

Site Type: Camouflaged Monopine

Overhead View



Equipment Area



Disqualified Candidates:

- 1. Downtown Fresno - Holmes Playground**
468-383-04T
JRX: City of Fresno
Zoning: PR - Park and Recreational
Site Type: Camouflaged Monopine



Reason for Elimination:

Although the Landlord expressed interest at the City and County level, once it was proposed at the state level, it was made known that any grant money from the State of California given to the City of Fresno that paid for this said park would have to be reimbursed. Unfortunately this ruled out this candidate.

2. **Downtown Fresno – Fresno Community Hospital**

2823 Fresno Street, Fresno, CA ,93721

Zoning: PI - Public and Institutional

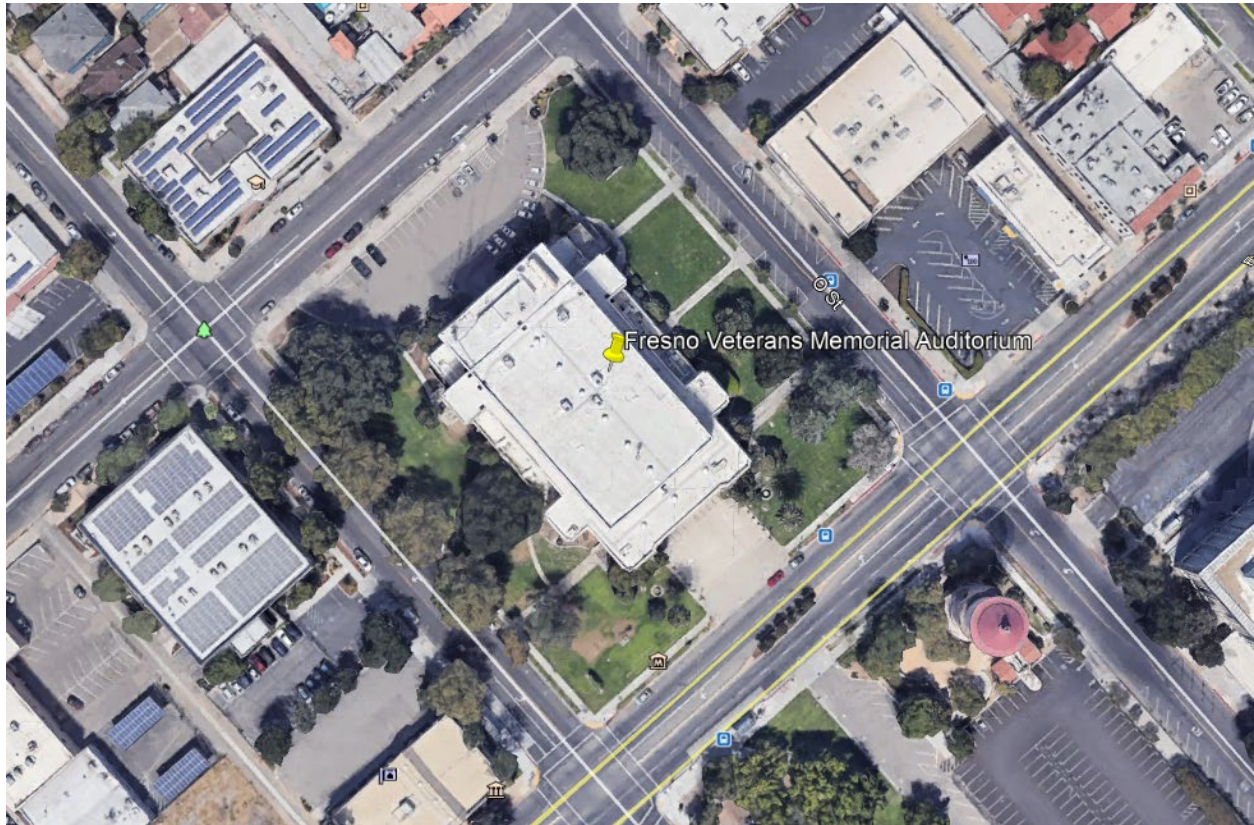
Site Type: Rooftop location



Reason for Elimination:

The Landlord (Hospital financial management team) said that secondary to the current pandemic and state of affairs, that no project of this sort could be explored as only necessary medical personnel could even be in and around the building let alone anything new. No site design visit was allowed secondary to the pandemic.

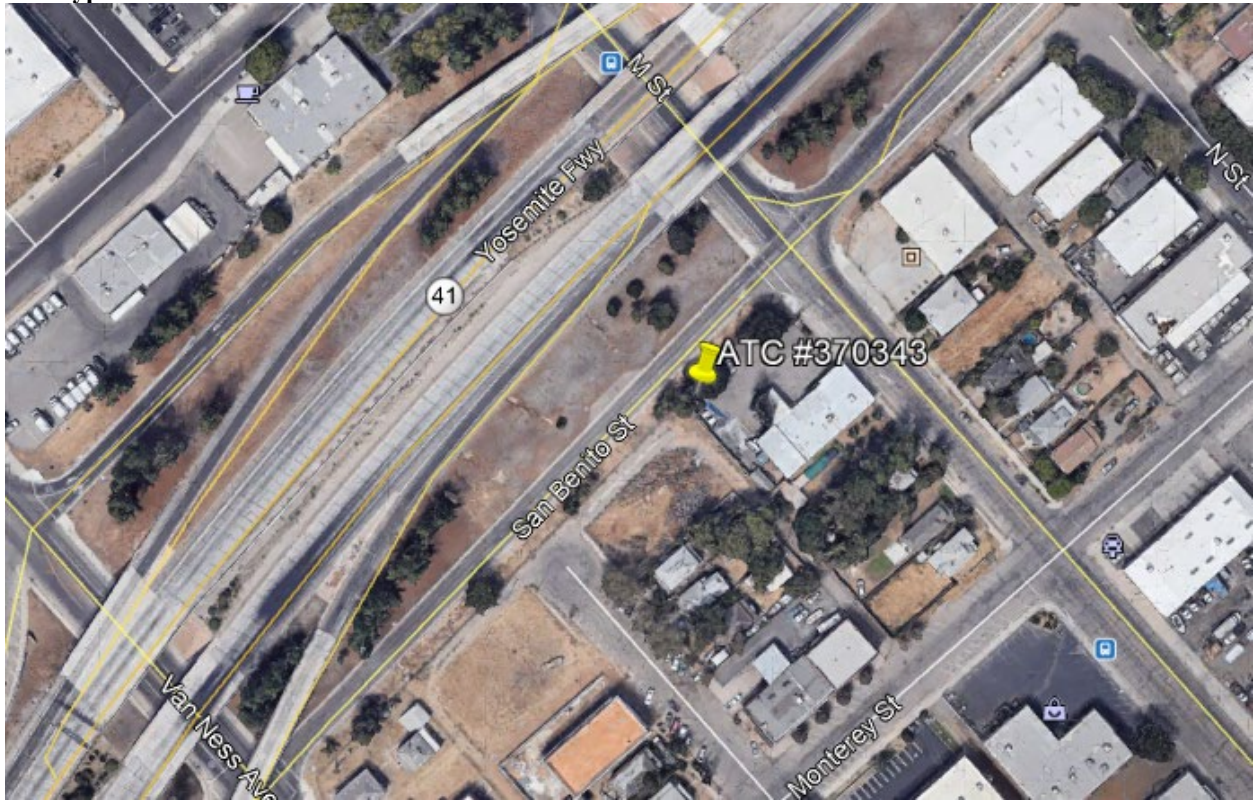
3. **Downtown Fresno – Fresno Veterans Memorial Auditorium**
2425 Fresno St, Fresno, CA 93721
Zoning: DTG - Downtown General Zoning
Site Type: Rooftop Location



Reason for Elimination:

This site ultimately was too close in the Search Ring to existing coverage locations and wouldn't help the eastern sector of the city.

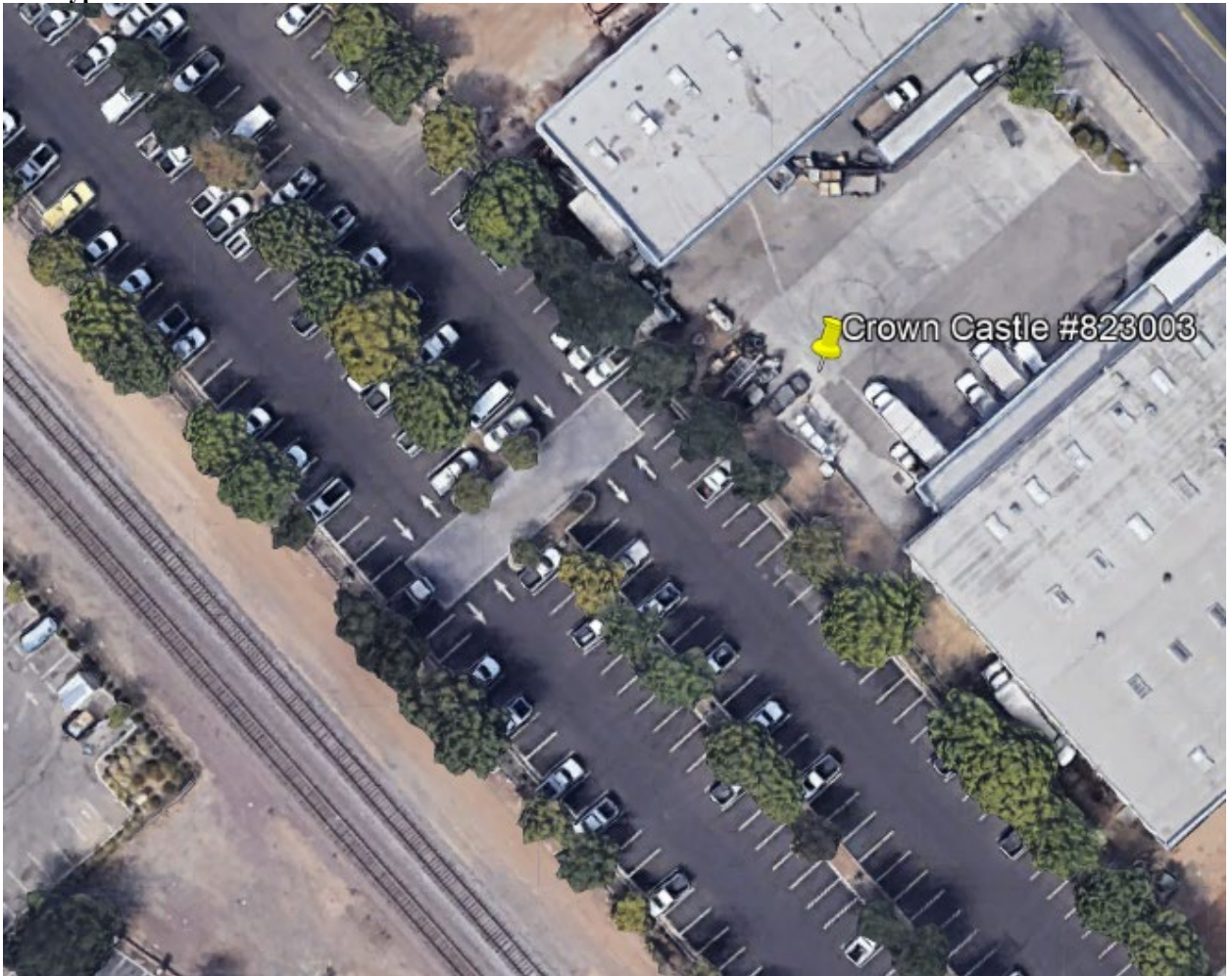
4. **Downtown Fresno – ATC #370343**
645 R ST Fresno, California 93721 - APN: 468-234-28
Zoning: DTN Downtown Neighborhood
Site Type: Colocation



Reason for Elimination:

This site ultimately will not meet the objective of the RF department at Verizon. This is +/-1750' away from desired search objective disqualifying it from use.

5. **Downtown Fresno - Crown Castle #823003**
645 R ST Fresno, California 93721, APN 468-350-12
Zoning: DTG - Downtown General
Site Type: Colocation



Reason for Elimination:

This site ultimately will not meet the objective of the RF department at Verizon. This tower would need an extension to which would possibly not reach structural objectives for the multiple carriers.

6. **Downtown Fresno - SBA #CA45974**
2045 E. Belmont Ave, Fresno CA 93701, APN 452-306-19
Zoning: NMX - Neighborhood Mixed Use
Site Type: Colocation



Reason for Elimination:

This site ultimately will not meet the objective of the RF department at Verizon. This proposed site is +/-1000' away from the desired RF objective area and would not be able to be pursued.

7. **Downtown Fresno - Crown Castle #845779**
1223 P St. Fresno, California 937211, APN 466-082-03
Zoning: DTG - Downtown General
Site Type: Colocation



Reason for Elimination:

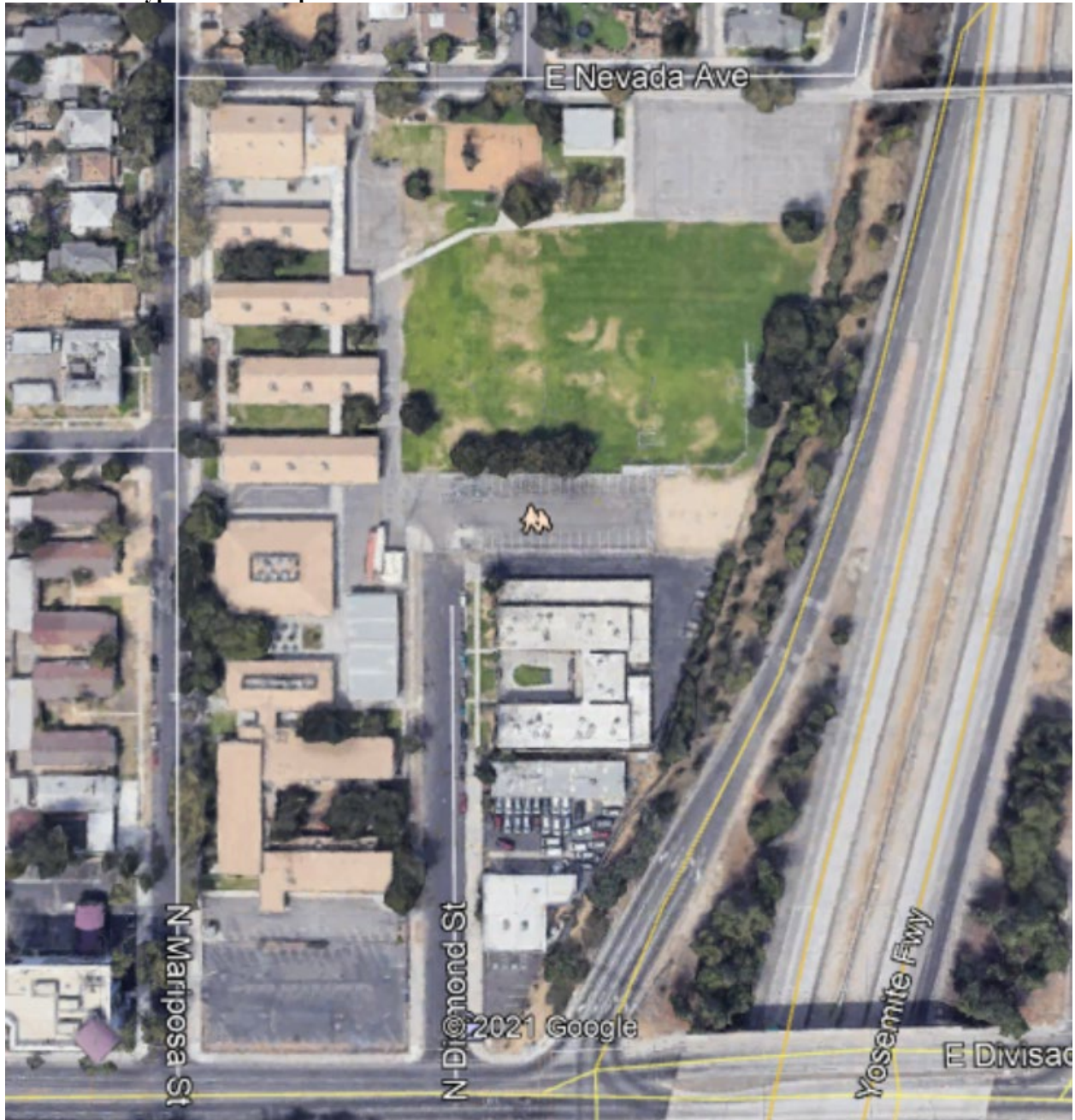
This site ultimately will not meet the objective of the RF department at Verizon. This tower is too close to other towers and would require a possible drop and swap should it have even be able to be used for RF purposes.

8. **Downtown Fresno – Der Property**
418 N Fresno St, Fresno, CA 93701, APN 459-093-23
Zoning: NMX – Neighborhood Mixed Use
Site Type: New Monopole



Reason for Elimination: Parcel too small secondary to setback requirements and too far from RF objective area

9. **Downtown Fresno – Jefferson Elementary**
202 N. Mariposa St, Fresno, CA 93701, APN 459-353-35
Zoning: PI – Public and Institutional
Site Type: New Monopole



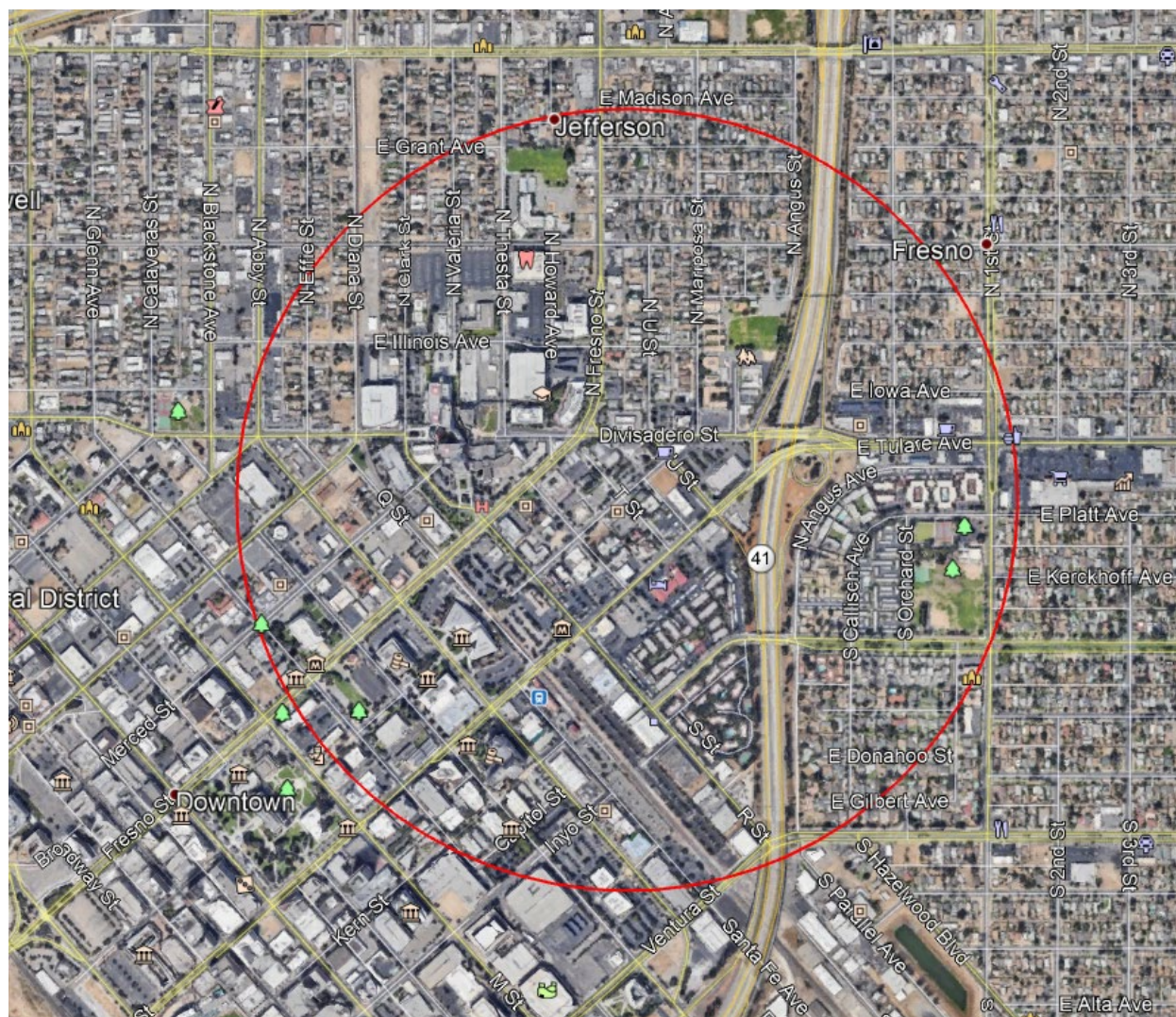
Reason for Elimination: It is recommended by the jurisdiction to avoid elementary school locations.

10. **Downtown Fresno – Yokomi Elementary**
2323 E McKenzie Ave, Fresno, CA 93701, APN 459-173-20
Zoning: PI – Public and Institutional
Site Type: New Monopole

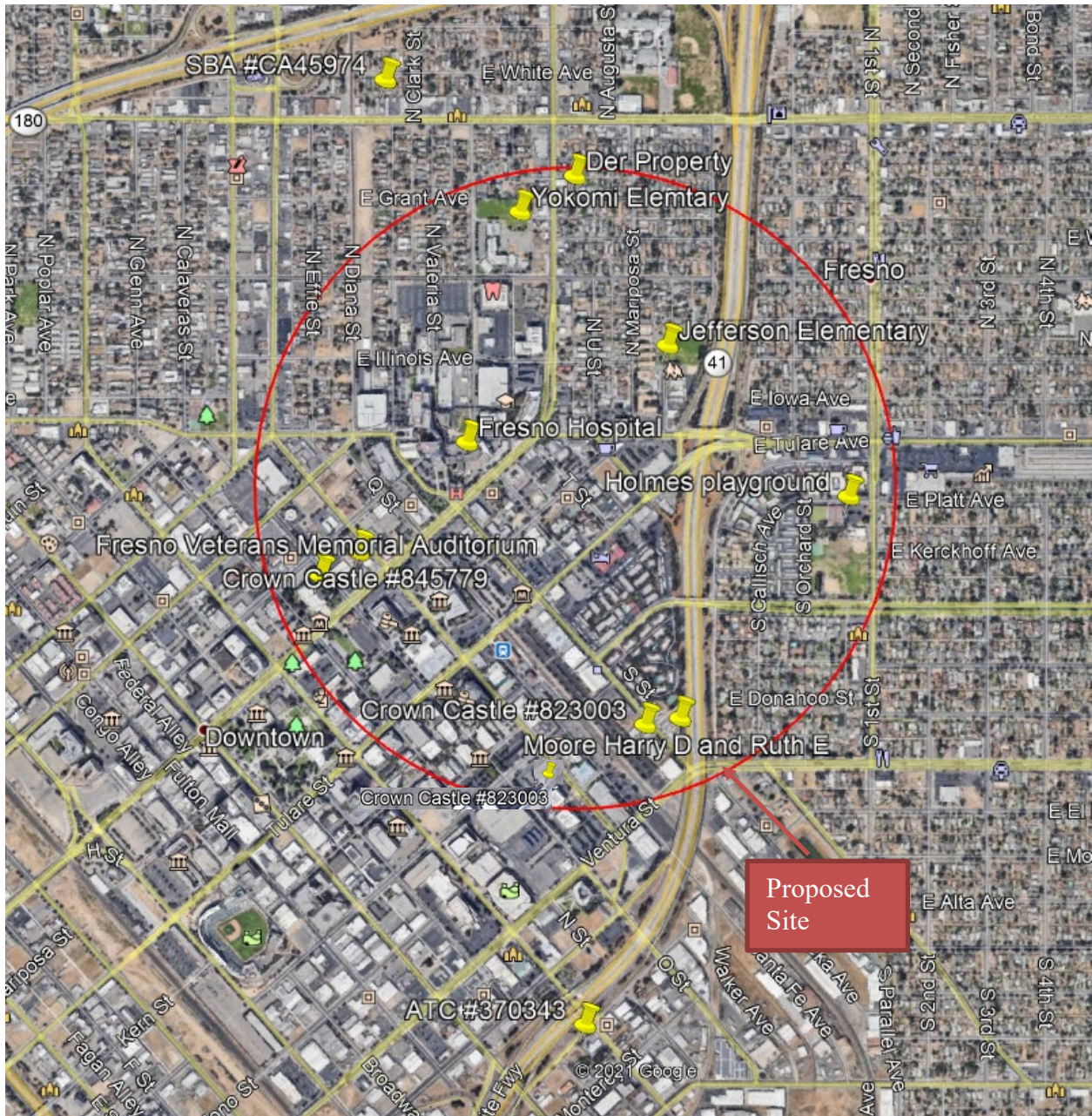


Reason for Elimination: It is recommended by the jurisdiction to avoid elementary school locations.

Downtown Fresno RF Search Ring Map



LOCATION MAP OF PROPOSED SITE AND ALTERNATIVES



Conclusion-

Verizon Wireless has pursued these 10 potential site alternatives within the identified significant coverage/capacity gap over the last couple of years, with each being subsequently eliminated due to issues such as poor radio frequency coverage such as the two Crown Castle Sites, the ATC site and the SBA site, proximity to other towers with similar signal such as at the Fresno Veterans Memorial Auditorium, the pandemic's effect on the ability of the Fresno Community Hospital to conduct the project, or the state itself needing reimbursement for the grant funds if a tower was placed on that land as detailed in this report. Based on this thorough analysis and evaluation, Verizon Wireless concludes that the proposed installation at 662 R. Street APN 468-114-17 is the most effective, least intrusive and most easily constructible site available to address the significant

gap in coverage/capacity and the community's wireless needs. This site also represents the best possible candidate based on its limited visual impact, ease of access, and proximity to an existing public utility station.

Operational Statement Form

Please use this form to clearly explain the proposed project. This information will assist all individuals, departments and agencies in their review and drafting of comments, conditions, suggestions or recommendations. The goal is to facilitate an accurate and complete description of your project in order to avoid unnecessary delays in gathering additional information. If you have any questions about the requested information, please call Development Services at (559) 621-8277.

Note: If the Operational Statement is not submitted or if the submittal is illegible, unclear or incomplete, the review of your project will not be accepted for processing.

Project Description:

Pre application is being submitted by Tricia Knight of SAC Wireless on behalf of
Verizon and pertains to .5 acres of property located at 662 R St
APN: 468-114-17 and is zoned Commercial with a planned land use of

The applicant is requesting authorization to: construct a new 80ft
monopine and associated equipment

The proposed development will consist of A new 80ft monopine with outdoor equipment

located at the base and surrounded a CMU wall with anti-graffiti coating and landscape buffer
The existing site currently consists of N/A with existing parking spaces
The proposed hours of operation are from to on 24/7

Other facts pertinent to this project are as follows:

An annual inspection will be conducted to ensure the mono-pine foliage continues to resemble a tree and fully screens all antennas and equipment

APPL. NO.	<u>P21-06304</u>	EXHIBIT	<u>O</u>	DATE	<u>01/07/2022</u>
PLANNING REVIEW BY				DATE	
TRAFFIC ENG.				DATE	
APPROVED BY				DATE	
CITY OF FRESNO DARM DEPT					

- Project Narrative:** *(communicate in detail all characteristics of your project; provide as much detail as possible; include basic information such as applicant/project name, business, product or service, anticipated traffic- customers, deliveries, etc., any special events, number of employees, required equipment, on-site storage, demolition or adaptive reuse of existing structures, noise generation, any hazardous materials, etc.)*

The proposed project consists of an 80ft monopine for Verizon Wireless which will further enhance the service to the immediate and surrounding areas.

APPL. NO. P21-06304

EXHIBIT A-1

DATE 02/16/2022

PLANNING REVIEW BY

DATE

TRAFFIC ENG.

DATE

APPROVED BY

DATE

CITY OF FRESNO DARM DEPT

verizon

DOWNTOWN FRESNO

PSL # 655464

640 R STREET (C/T)

FRESNO, CA 93721

811

Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (NORTH & CENTRAL) , CALL USA NORTH 811

TOLL FREE: 1-800-227-2600 OR
www.usanorth811.org

CALIFORNIA STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
2	02/03/2021	100% ZONING	FA
3	03/05/2021	REVISED 100% ZONING	FA
4	04/19/2021	REVISED 100% ZONING	FA
5	06/30/2021	REVISED 100% ZONING	FA
6	09/03/2021	REVISED 100% ZONING	FA
7	11/09/2021	REVISED 100% ZONING	FA
8	11/18/2021	REVISED 100% ZONING	FA
△	02/11/2022	PLANNING COMMENTS	FA

SAC

A NOKIA COMPANY

9020 ACTIVITY RD.
SAN DIEGO, CA 92126
www.sacw.com
619.736.3766

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

PROJECT TEAM

SITE ACQUISITION

SAC WIRELESS, LLC.
8880 CAL CENTER DRIVE
SUITE 170
SACRAMENTO, CA 95826
CONTACT: PETER ANTHONY FERRERI
TELEPHONE: (312) 690-4573
PETER.FERRERI@SACW.COM

PLANNING

TEK CONSULTING INC.
PERMIT PROCESSING SERVICES
123 SEACLIFF DR
PISMO BEACH, CA 93449
CONTACT: TRICIA KNIGHT
TELEPHONE: (805) 448-4221
FAX: (805) 889-2807
TEK-CONSULTING.NET

ARCHITECT:

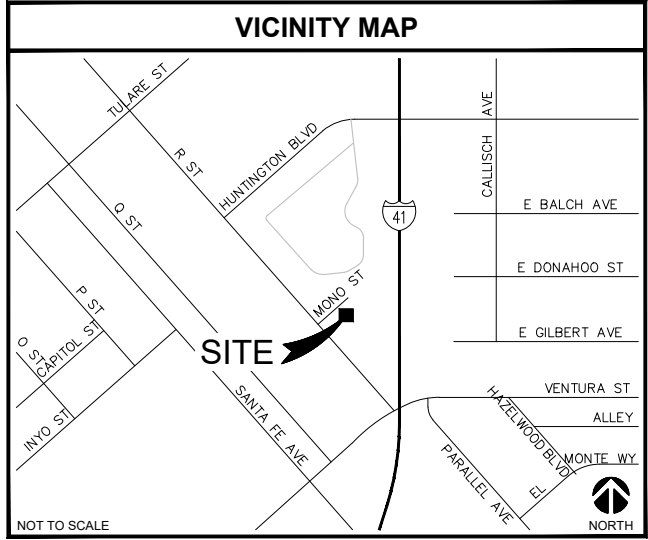
SAC AE DESIGN GROUP, INC
NESTOR POPOWYCH, AIA
9020 ACTIVITY RD.
SAN DIEGO, CA 92126
CONTACT: JULIAN BRIANO
TELEPHONE: (619) 736-3570 EXT.106
FAX: (619) 736-3106
JULIAN.BRIANO@SACW.COM

SURVEYOR:

SMITHCO SURVEYING ENGINEERING
P.O. BOX 81626
BAKERSFIELD, CA 93380
CONTACT: GREG SMITH, PLS
TELEPHONE: (661) 393-1217
GSMITH@SMITHCO.NET

UTILITY COORDINATOR:

SAC WIRELESS, LLC.
1057 LA VISTA ROAD
SANTA BARBARA, CA 93110
CONTACT: CRAIG ENGEL
TELEPHONE: (805) 440-0038
CRAIG.ENGEL@SACW.COM



DRIVING DIRECTIONS

FROM: 2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

TO: 640 R STREET (C/T)
FRESNO, CA 93721

1. HEAD SOUTHWEST ON MITCHELL DR

11. CONTINUE ONTO W NEES AVE

2. TURN LEFT ONTO N WIGET LN

12. CONTINUE ONTO 12TH ST

3. TURN RIGHT ONTO YGNACIO VALLEY RD

13. TURN RIGHT ONTO N ST

4. YGNACIO VALLEY RD TURNS RIGHT AND BECOMES HILLSIDE AVE

14. TURN LEFT ONTO 13TH ST

5. TURN LEFT ONTO THE INTERSTATE 680 S RAMP

15. CONTINUE ONTO AVE 7 1/2/FIREBAUGH BLVD

6. MERGE ONTO I-680 S

16. SLIGHT RIGHT ONTO AVE 7 1/2/FIREBAUGH AVE

7. TAKE EXIT 30A ON RIGHT TO MERGE ONTO I-680 E

17. TURN LEFT (SIGNS FOR CA-99 S)

8. TAKE THE INTERSTATE 580 EXIT ON RIGHT

18. SLIGHT RIGHT TO MERGE ONTO CA-99 S

CONTINUE ONTO I-680 E THEN ONTO I-5 S

19. TAKE EXIT 132A FOR VENTURA ST

9. TAKE EXIT 385 FOR NEES AVE TOWARD FIREBAUGH

20. TURN LEFT ONTO VENTURA ST

10. TURN LEFT ONTO PAUL NEGRA RD

21. TURN LEFT ONTO R ST

22. DESTINATION WILL BE ON THE RIGHT

PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- NEW VERIZON WIRELESS 16'-8" X 22'-0" EQUIPMENT ENCLOSURE INSIDE NEW VERIZON WIRELESS 688 SQ.FT LEASE AREA
- NEW VERIZON WIRELESS 8'-6" HIGH UMW WALL WITH GRAFFITI PAINT W/4" WIDE CHAIR-LINK ACCESS GATE
- NEW VERIZON WIRELESS OUTDOOR EQUIPMENT ON NEW 20'-0" X 8'-2" CONCRETE PAD
- NEW VERIZON WIRELESS 20KW DC POLAR POWER STANDBY GENERATOR W/54 GALLON DIESEL TANK (UL142) ON A NEW CONTAINMENT TRAY
- (1) NEW VERIZON WIRELESS GPS ANTENNA
- (1) NEW VERIZON WIRELESS ELECTRICAL METER BANK, INTERSECT CABINET & TELCO BOX ON NEW H-FRAME
- (1) NEW VERIZON WIRELESS 80'-0" HIGH MONOPINE
- (9) NEW VERIZON WIRELESS PANEL ANTENNAS
- (12) NEW VERIZON WIRELESS RADIOS & (4) NEW RAYCAPS 6627
- (1) NEW VERIZON WIRELESS 2'Ø MICROWAVE ANTENNA
- (2) NEW VERIZON WIRELESS HYBRID CABLES
- (4) NEW VERIZON WIRELESS SERVICE LIGHTS W/6-HOUR TIMER
- NEW VERIZON WIRELESS KNOX BOX & SES LOCKBOX
- NEW VERIZON WIRELESS 3'-0" WIDE PLANTER W/ LANDSCAPING & 6" RAISED CURB

PROJECT SUMMARY

APPLICANT/LESSEE

verizon

2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598
OFFICE: (925) 279-6000

ASSESSOR'S PARCEL NUMBER

468-114-13 & 468-114-17

APPLICANT'S REPRESENTATIVE

TEK CONSULTING INC.
PERMIT PROCESSING SERVICES
123 SEACLIFF DR
PISMO BEACH, CA 93449
CONTACT: TRICIA KNIGHT
TELEPHONE: (805) 448-4221
FAX: (805) 889-2807
TEK-CONSULTING.NET

PROPERTY OWNER:

OWNER: HARRY D. MOORE
& RUTH E. MOORE
ADDRESS: 2527 FRESNO ST
FRESNO, CA 93721
PHONE: (559) 970-7021
(559) 268-7021
TOLL FREE (800) 268-7021

PROPERTY INFORMATION:

SITE NAME: DOWNTOWN FRESNO
SITE NUMBER: 655464
SITE ADDRESS: 640 R STREET
FRESNO, CA 93721
TOWER ADDRESS: 640 R STREET (C/T)
FRESNO, CA 93721
JURISDICTION: CITY OF FRESNO

CONSTRUCTION INFORMATION

AREA OF CONSTRUCTION: 688 SQ. FT
OCCUPANCY: U
TYPE OF CONSTRUCTION: V-B
CURRENT ZONING: DTN/AH - DOWNTOWN NEIGHBORHOOD DISTRICT/APARTMENT HOUSE OVERLAY
ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ACCESSIBILITY NOT REQUIRED.

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS IF NOT FULL SIZE (24 X 36)

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. ALL WORK SHALL CONFORM TO 2019 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

2019 CALIFORNIA ADMINISTRATIVE CODE

2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA BUILDING CODES

2019 CALIFORNIA ENERGY CODE

2019 CALIFORNIA ELECTRICAL CODE

CITY & COUNTY ORDINANCES

SHEET	DESCRIPTION
T-1	TITLE SHEET
C-1	SITE SURVEY
C-2	SITE SURVEY
C-3	SITE SURVEY
A-1	SITE PLAN, CITY OF FRESNO NOTES & FRESNO FIRE DEPARTMENT NOTES
A-1.1	FUTURE SITE PLAN
A-1.2	ENLARGED SITE PLAN
A-2	EQUIPMENT & ANTENNAS LAYOUTS
A-3	NORTH & EAST ELEVATIONS
A-4	SOUTH & WEST ELEVATIONS
A-5	EQUIPMENT ELEVATIONS
E-1	1-LINE DIAGRAM, PANEL SCHEDULE & UTILITY NOTES
E-2	PG&E CONSTRUCTION SKETCH
L-1	SITE IRRIGATION PLAN & LANDSCAPE/IRRIGATION PLAN
L-2	LANDSCAPE DETAILS
ZONING DRAWINGS	

SAC WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
PLANNER:		
CONSTRUCTION:		
LANDLORD:		

VERIZON WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
CONSTRUCTION:		
RADIO:		
MICROWAVE:		
TELCO:		
EQUIPMENT:		
PROJECT ADMINISTRATOR:		
WO ADMINISTRATOR:		

DOWNTOWN FRESNO

PSL # 655464

640 R STREET (C/T)
FRESNO, CA 93721

SHEET TITLE:

TITLE SHEET

T-1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

NOTES:

APN: 468-114-13 & 468-114-17
OWNER(S): HARRY D. MOORE & RUTH E. MOORE, TRUSTEES UNDER THE HARRY D. MOORE & RUTH E. MOORE REVOCABLE LIVING TRUST AGREEMENT

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY OF ANY PARCEL OF LAND, NOR DOES IT IMPLY OR INFER THAT A BOUNDARY SURVEY WAS PERFORMED. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION. PROPERTY LINES AND LINES OF TITLE WERE NEITHER INVESTIGATED NOR SURVEYED AND SHALL BE CONSIDERED APPROXIMATE ONLY. NO PROPERTY MONUMENTS WERE SET.

THE EASEMENTS (IF ANY) THAT APPEAR ON THIS MAP HAVE BEEN PLOTTED BASED SOLELY ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT BY: FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 6358299, DATED AUGUST 18, 2020. WITHIN SAID TITLE REPORT THERE ARE ELEVEN (11) EXCEPTIONS LISTED, TWO (2) OF WHICH ARE EASEMENTS AND NONE (0) OF WHICH CAN NOT BE PLOTTED.

THE UNDERGROUND UTILITIES (IF ANY) THAT APPEAR ON THIS MAP HAVE BEEN LOCATED AND MARKED ON THE SURFACE BY AN INDEPENDENT PRIVATE UNDERGROUND LOCATING SERVICE. THESE MARKINGS HAVE BEEN SURVEYED AND SHOWN HEREON. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE MAP FOR COMMUNITY NO. 060048, PANEL NO. 2110H, DATED FEBRUARY 18, 2009 SHOWS THAT THE LOCATION OF THIS SITE FALLS WITHIN ZONE 'X', WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD HAZARD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1' OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE.

THE LATITUDE AND LONGITUDE AT THE LOCATION AS SHOWN WAS DETERMINED BY GPS OBSERVATIONS.

LAT. 36° 44' 10.86" N. NAD 83
LONG. 119° 46' 40.78" W. NAD 83
ELEV. 293.3' NAVD 88 (BASIS OF DRAWING)

The information shown above meets or exceeds the requirements set forth in FAA order 8260.19d for 1-A accuracy (± 20' horizontally and ± 3' vertically). The horizontal datum (coordinates) are expressed as degrees, minutes and seconds, to the nearest hundredth of a second. The vertical datum (heights) are expressed in feet and decimals thereof and are determined to the nearest 0.1 foot.

LESSOR'S PROPERTY LEGAL DESCRIPTION PER TITLE REPORT:

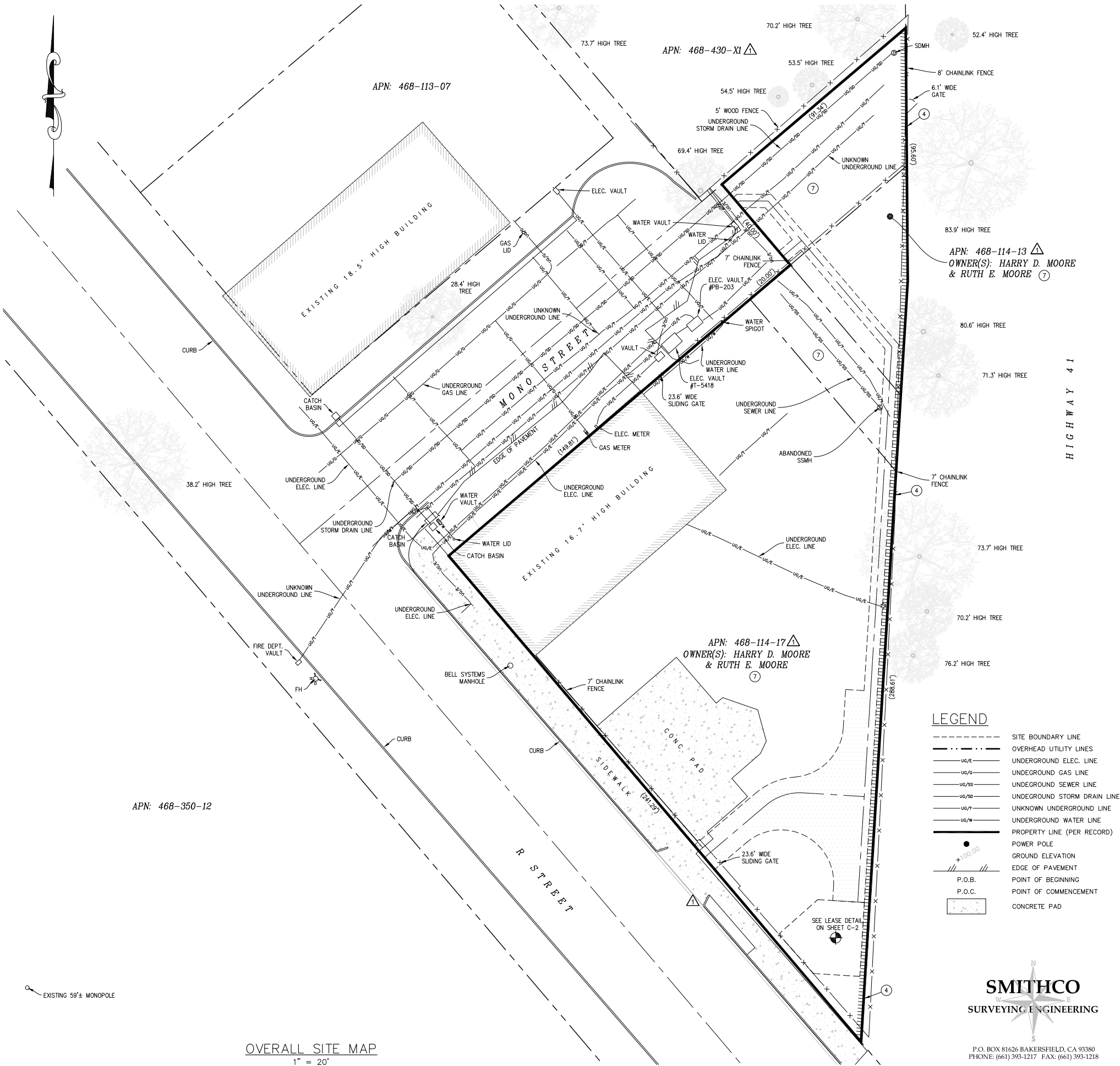
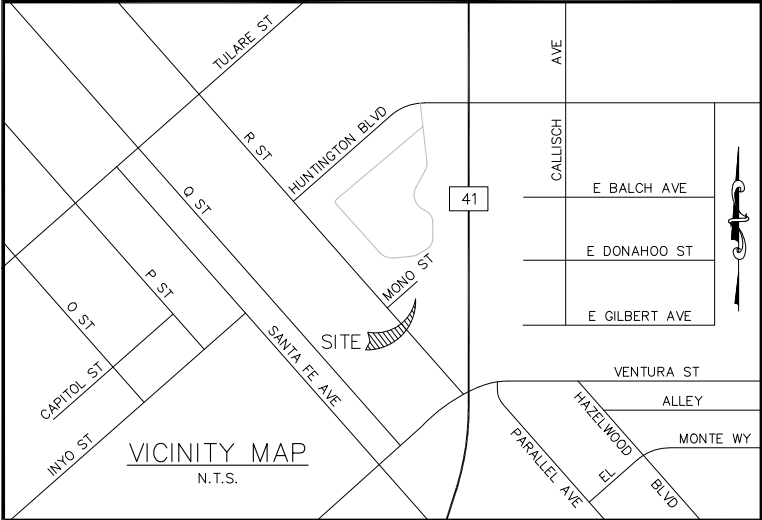
SEE SHEET C-3.

EASEMENT(S) PER TITLE REPORT:

SEE SHEET C-3.

APPL. NO. P21-06304 EXHIBIT A-2 DATE 02/16/2022
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT



ISSUE STATUS

REV	DATE	DESCRIPTION	BY
2	12/11/20	TITLE REVIEW	SL
3	03/01/21	UPDATE LEASE AREA	DA
4	09/14/21	UPDATE LEASE AREA	SL
5	09/15/21	REV. LEASE/ESMNTS	SL
6	09/22/21	ADD UTILITY ESMNT	SL
7	11/19/21	REV. ACCESS/UTILITY	SL
△	02/11/22	REV. PLANING COMMENTS	SL

SMITHCO JOB NO.: 82-1420



A&E DESIGN GROUP, INC.
5015 SHOREHAM PLACE STE. 150
SAN DIEGO, CA 92122
www.sacw.com
619.736.3766

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED

verizon

2785 MITCHELL DRIVE, BLDG. 9
WALNUT CREEK, CA 94598

655464
DOWNTOWN
FRESNO

640 R STREET (C/T)△
FRESNO, CA 93721

FRESNO COUNTY

SHEET TITLE:
SITE SURVEY
FOR EXAMINATION ONLY

C-1



P.O. BOX 81626 BAKERSFIELD, CA 93380
PHONE: (661) 393-1217 FAX: (661) 393-1218

PROPOSED VERIZON WIRELESS DEMISED PREMISES DESCRIPTION:

BEING A PORTION OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN THE GRANT DEED RECORDED FEBRUARY 5, 2008 AS DOCUMENT NO. 2008-0016733, FRESNO COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERLY MOST CORNER OF SAID PARCEL, THENCE N 03°30'29" E ALONG THE EAST LINE OF SAID PARCEL, A DISTANCE OF 24.79 FEET; THENCE LEAVING SAID EAST LINE, N 86°29'31" W, A DISTANCE OF 2.00 FEET TO THE POINT OF BEGINNING:

- COURSE 1) THENCE CONTINUING N 86°29'31" W, A DISTANCE OF 17.56 FEET;
COURSE 2) THENCE N 41°29'31" W, A DISTANCE OF 19.89 FEET;;
COURSE 3) THENCE N 48°30'29" E, A DISTANCE OF 19.71 FEET;
COURSE 4) THENCE S 86°29'31" E, A DISTANCE OF 15.19 FEET TO POINT 'A';
COURSE 5) THENCE CONTINUING S 86°29'31" E, A DISTANCE OF 2.50 FEET;
COURSE 6) THENCE S 03°30'29" E, A DISTANCE OF 28.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 690 SQUARE FEET, MORE OR LESS.

PROPOSED LESSEE ACCESS & UTILITY EASEMENT RIGHT-OF-WAY DESCRIPTION:

STRIP 1:

A 12.00 FOOT WIDE STRIP OF LAND OVER, ACROSS AND THROUGH A PORTION OF THE LAND DESCRIBED IN THE GRANT DEED RECORDED FEBRUARY 5, 2008 AS DOCUMENT NO. 2008-0016733, FRESNO COUNTY RECORDS, LYING 9.50 FEET LEFT AND 2.50 FEET RIGHT OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINBEFORE DESCRIBED POINT 'A':

- COURSE 1) THENCE N 03°30'29" E, A DISTANCE OF 40.00 FEET TO POINT 'B';
COURSE 2) THENCE CONTINUING N 03°30'29" E, A DISTANCE OF 40.00 FEET TO POINT 'C' AND THE TERMINUS OF THIS DESCRIPTION.

STRIP 2:

A 12.00 FOOT WIDE STRIP OF LAND OVER, ACROSS AND THROUGH A PORTION OF THE LAND DESCRIBED IN THE GRANT DEED RECORDED FEBRUARY 5, 2008 AS DOCUMENT NO. 2008-0016733, FRESNO COUNTY RECORDS, LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINBEFORE DESCRIBED POINT 'B':

- COURSE 1) THENCE N 86°29'31" W, A DISTANCE OF 23.11 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 20.00 FEET;
COURSE 2) THENCE SOUTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 43°49'55", AN ARC DISTANCE OF 15.30 FEET;
COURSE 3) THENCE S 49°40'34" W, A DISTANCE OF 30.48 FEET TO THE NORTH EAST LINE OF R STREET AND THE TERMINUS OF THIS DESCRIPTION.

TOGETHER WITH A TRIANGULAR SHAPED PARCEL OF LAND BOUNDED ON THE SOUTH BY THE NORTHERLY LINE OF THE ABOVE DESCRIBED STRIP NO. 2, AND BOUNDED ON THE EAST BY THE WESTERLY LINE OF THE ABOVE DESCRIBED STRIP NO. 1, AND BOUNDED ON THE NORTHWEST BY THE ARC OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 20.00 FEET, SAID CURVE BEING TANGENT TO SAID SOUTHERLY AND WESTERLY LINES.

TOGETHER WITH A TRIANGULAR SHAPED PARCEL OF LAND BOUNDED ON THE NORTHWEST BY THE SOUTHEASTERLY LINE OF THE ABOVE DESCRIBED STRIP NO. 2, AND BOUNDED ON THE WEST BY THE EASTERLY LINE OF THE ABOVE DESCRIBED STRIP NO. 1, AND BOUNDED ON THE SOUTHWEST BY THE ARC OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 20.00 FEET, SAID CURVE BEING TANGENT TO SAID SOUTHEASTERLY AND EASTERLY LINES.

PROPOSED LESSEE UTILITY EASEMENT RIGHT-OF-WAY DESCRIPTION:

A 5.00 FOOT WIDE STRIP OF LAND OVER, ACROSS AND THROUGH A PORTION OF THE LAND DESCRIBED IN THE GRANT DEED RECORDED FEBRUARY 5, 2008 AS DOCUMENT NO. 2008-0016733, FRESNO COUNTY RECORDS, LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINBEFORE DESCRIBED POINT 'C':

- OOURSE 1) THENCE N 03°30'29" E, A DISTANCE OF 130.50 FEET;
COURSE 2) THENCE N 40°20'02" W, A DISTANCE OF 52.72 FEET TO POINT 'D';
COURSE 3) THENCE CONTINUING N 40°20'02" W, A DISTANCE OF 19.61 FEET;
COURSE 4) THENCE N 89°51'24" W, A DISTANCE OF 10.86 FEET;
COURSE 5) THENCE S 49°39'58" W, A DISTANCE OF 1.02 FEET TO THE NORTHEAST LINE OF MONO STREET AND THE TERMINUS OF THIS DESCRIPTION.

TOGETHER WITH A 5.00 FOOT WIDE STRIP OF LAND OVER, ACROSS AND THROUGH A PORTION OF THE LAND DESCRIBED IN THE GRANT DEED RECORDED FEBRUARY 5, 2008 AS DOCUMENT NO. 2008-0016733, FRESNO COUNTY RECORDS, LYING 2.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINBEFORE DESCRIBED POINT 'D':

- COURSE 1) THENCE S 49°39'58" W, A DISTANCE OF 9.25 FEET TO THE NORTHEAST LINE OF MONO STREET AND THE TERMINUS OF THIS DESCRIPTION.

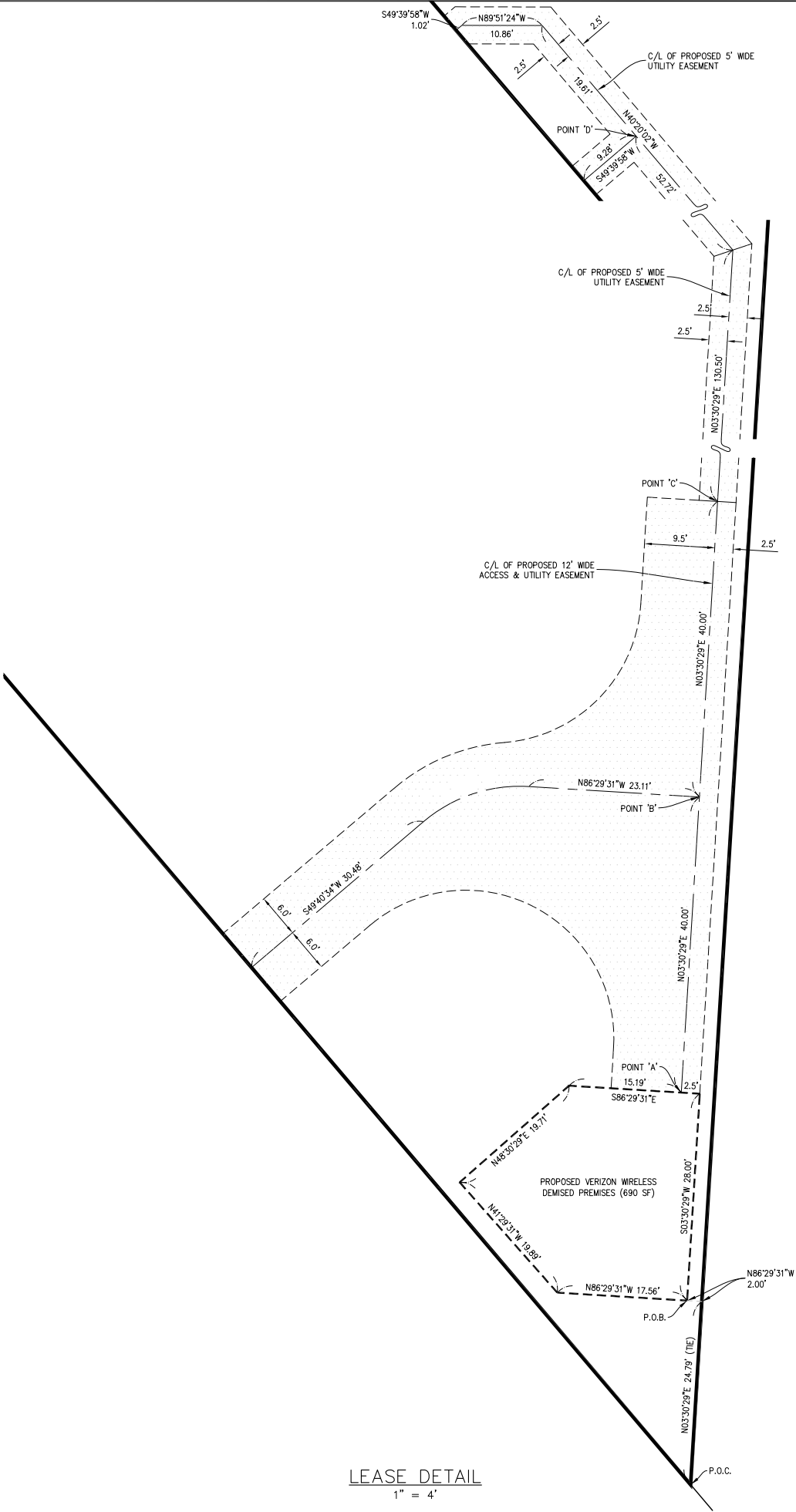
APPL. NO. P21-06304 EXHIBIT A-3 DATE 02/16/2022

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT



LEASE DETAIL
1" = 4'

LEGEND	
-----	SITE BOUNDARY LINE
_____	PROPERTY LINE (PER RECORD)
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT

SMITHCO
SURVEYING ENGINEERING

P.O. BOX 81626 BAKERSFIELD, CA 93380
PHONE: (661) 393-1217 FAX: (661) 393-1218

ISSUE STATUS

REV	DATE	DESCRIPTION	BY
0	09/23/20	PRELIMINARY	SL
1	11/12/20	LEASE/ESMNTS	SL
2	12/11/20	TITLE REVIEW	SL
3	03/01/21	UPDATE LEASE AREA	DA
4	09/14/21	UPDATE LEASE AREA	SL
5	09/15/21	REV. LEASE/ESMNTS	SL
6	09/22/21	ADD UTILITY ESMNT	SL
7	11/19/21	REV. ACCESS/UTILITY	SL

SMITHCO JOB NO.: 82-1420

A&E DESIGN GROUP, INC.

5015 SHOREHAM PLACE STE. 150
SAN DIEGO, CA 92122
www.sacw.com
619.736.3766

PROPRIETARY INFORMATION

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2785 MITCHELL DRIVE, BLDG. 9
WALNUT CREEK, CA 94598

655464
DOWNTOWN
FRESNO

640 R STREET (C/T)△
FRESNO, CA 93721

FRESNO COUNTY

SHEET TITLE:
SITE SURVEY
FOR EXAMINATION ONLY

C-2

LESSOR’S PROPERTY LEGAL DESCRIPTION PER TITLE REPORT:

REAL PROPERTY IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOTS 25 THROUGH 32, INCLUSIVE, IN BLOCK 159 OF THE CITY OF FRESNO, ACCORDING TO THE SUPPLEMENTAL MAP RECORDED IN BOOK 1, PAGE 26 OF PLATS, FRESNO COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION THEREOF DEEDED TO THE STATE OF CALIFORNIA, BY DEED RECORDED MAY 14, 1970 IN BOOK 5786, PAGE 303, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 25; THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOTS 25 TO 29, INCLUSIVE, NORTH 40° 58’ 41” WEST 114.61 FEET; THENCE SOUTH 2° 51’ 50” WEST, 159.04 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT 25; THENCE ALONG SAID SOUTHEASTERLY LINE NORTH 48° 58’ 02” EAST 110.17 FEET TO THE POINT OF BEGINNING.

LOTS 1 THROUGH 3, INCLUSIVE, AND LOTS 23 AND 24, INCLUSIVE, IN BLOCK 159, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 1, PAGE 26 OF PLATS, FRESNO COUNTY RECORDS.

TOGETHER WITH THAT PORTION OF THE UNDERLYING FEE OF THE ALLEY IN SAID BLOCK WHICH IS APPURTENANT TO SAID LOT 3 LYING NORTHWESTERLY OF THE SOUTHERLY PROLONGATION OF THE FOLLOWING DESCRIBED LINE:
NORTH 2° 51’ 50” EAST, 43.40 FEET; AND ALSO TOGETHER WITH THAT PORTION UNDERLYING FEE OF MONO STREET WHICH IS APPURTENANT TO SAID LOT 1 LYING SOUTHWESTERLY OF THE NORTHERLY PROLONGATION OF THE FOLLOWING DESCRIBED LINE: NORTH 1° 06’ 36” WEST, 43.44 FEET OF THE NORTHWESTERLY LINE OF SAID LOT 1.

EXCEPTING THEREFROM ALL THAT PORTION OF SAID LAND LYING SOUTHEASTERLY OF THE FOLLOWING THREE LINES.

- BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 24, THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 24, NORTH 48° 58’ 02” EAST, A DISTANCE OF 39.68 FEET TO THE MOST NORTHERLY TERMINUS OF LINE 1; THENCE SOUTH 2° 51’ 50” WEST, A DISTANCE OF 57.30 FEET TO THE SOUTHWESTERLY LINE OF SAID LOT 23, BEING THE MOST SOUTHERLY TERMINUS OF SAID LINE 1.
- BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 1, THENCE ALONG SAID SOUTHWESTERLY LINE OF SAID LOTS 1, 2 AND 3, SOUTH 40° 58’ 41” EAST, A DISTANCE OF 64.59 FEET TO THE MOST SOUTHERLY TERMINUS OF LINE 2; THENCE NORTH 2° 51' 50" EAST, A DISTANCE OF 43.40 FEET; THENCE NORTH 1° 06’ 36” WEST, A DISTANCE OF 43.44 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 1, BEING THE MOST NORTHERLY TERMINUS OF SAID LINE 2.
- BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 25, THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOTS 25 TO 29 INCLUSIVE, NORTH 40° 58' 41" WEST, A DISTANCE OF 114.61 FEET TO THE MOST NORTHERLY TERMINUS OF LINE 3; THENCE SOUTH 2° 51’ 50" WEST, A DISTANCE OF 159.04 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT 25, BEING THE SOUTHERLY TERMINUS OF SAID LINE 3.

APN: 468–114–13 (PORTION OF LOTS 1 THROUGH 3) AND 468–114–17 (LOTS 30 THROUGH 32 AND PORTION OF LOTS 23 THROUGH 29)

EASEMENT(S) PER TITLE REPORT:

4. ABUTTER’S RIGHTS OF INGRESS AND EGRESS TO OR FROM THE FREEWAY ADJOINING SAID LAND, ON THE NORTHEASTERLY LINE, EXCEPT AS THEREIN PROVIDED HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED MAY 14, 1970 AS BOOK 5768, PAGE 303 OF OFFICIAL RECORDS.
*** PLOTTED AS SHOWN HEREON ***

7. THE EFFECT OF A DOCUMENT ENTITLED "GRANT DEED", RECORDED FEBRUARY 5, 2008 AS INSTRUMENT NO. 08–0016733 OF OFFICIAL RECORDS.
*** PLOTTED AS SHOWN HEREON ***

APPL. NO. P21-06304 EXHIBIT A-4 DATE 02/16/2022

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

ISSUE STATUS

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SMITHCO JOB NO.: 82–1420



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DOWNTOWN
FRESNO

640 R STREET (C/T)△
FRESNO, CA 93721

FRESNO COUNTY

SHEET TITLE:

SITE SURVEY

FOR EXAMINATION ONLY

C-3

CITY OF FRESNO NOTES:

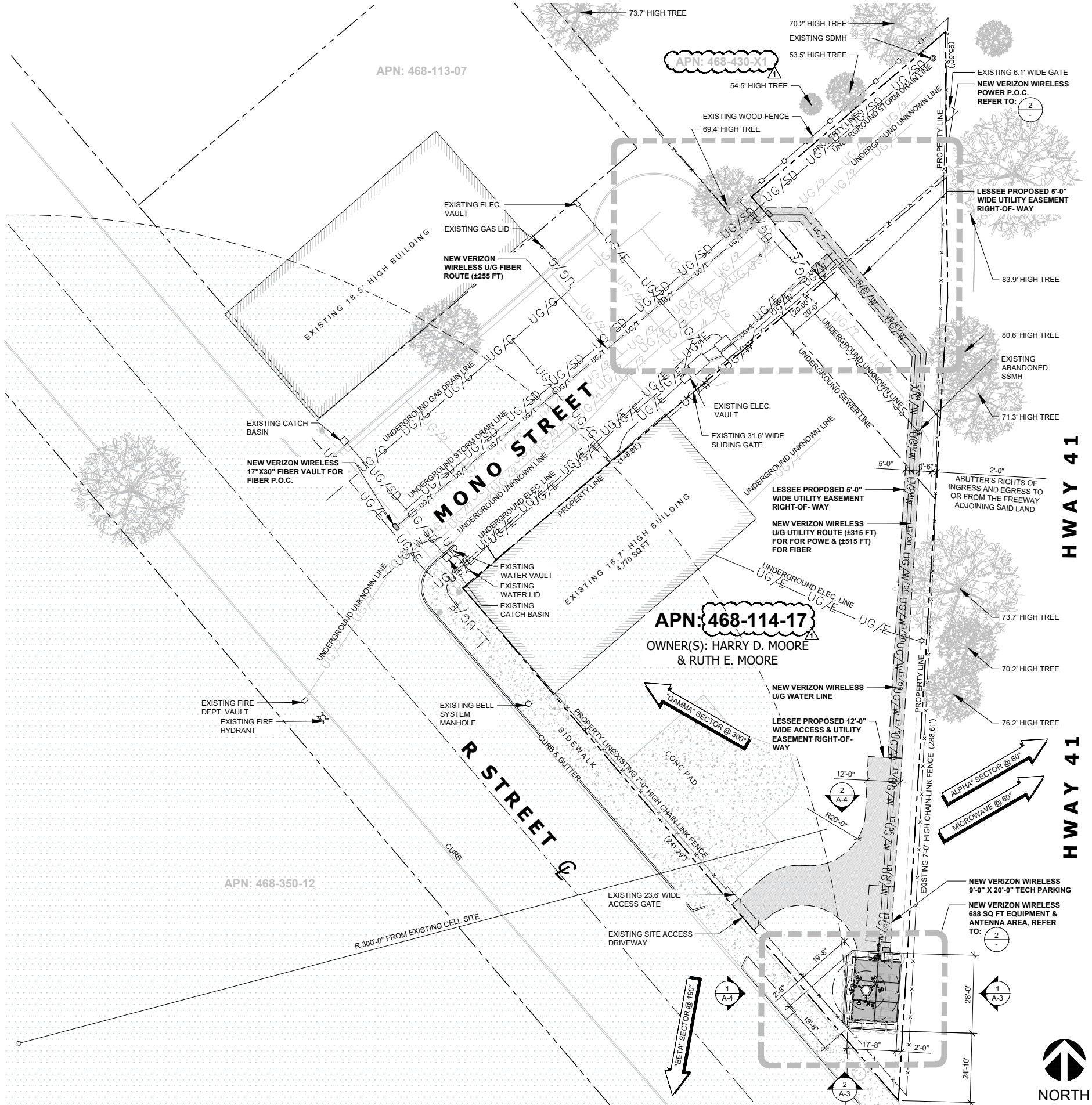
- "IN THE EVENT OF SITE ABANDONMENT OR EXPIRATION OF THE CONDITIONAL USE PERMIT, CARRIER OR ITS DESIGNEES SHALL REMOVE THE ANTENNAS AND ALL RELATED COMMUNICATION EQUIPMENT FROM THE SUBJECT PROPERTY WITHIN SIX MONTHS OF DETERMINATION BY THE PLANNING AND DEVELOPMENT DIRECTOR THAT THE PROPOSED FACILITIES ARE NO LONGER NEEDED, OR UTILIZED IN THE MANNER APPROVED BY THIS CONDITIONAL USE PERMIT."
- "DUE TO ENVIRONMENTAL FACTORS SUCH AS WIND, RAIN AND SUN, THE OWNER/APPLICANT SHALL MAINTAIN THE MONO-TREE TO ENSURE THAT THE FAUX FOLIAGE IS LUSH, CONTINUES TO RESEMBLE A TREE, AND FULLY SCREENS ALL ANTENNAS AND OTHER EQUIPMENT."
- "ALL MONO-TREE DESIGNS SHALL INCORPORATE APPROPRIATE THREE-DIMENSIONAL BARK CLADDING. THE DESIGN, NUMBER AND PLACEMENT OF ANY BRANCH-LIKE STRUCTURES AFFIXED TO THE SLIM LINE MONOPOLE SHALL INSURE THE ADEQUATE CAMOUFLAGING OF THE ANTENNAS, RELATED ELECTRICAL CABLES AND EQUIPMENT, AND THE ANTENNA AND EQUIPMENT MOUNTS."
- "ALL PROPOSED ANTENNA MOUNTS, RRUS / RRRHS, AND EXPOSED CABLES SHALL BE PAINTED TO MATCH MONOPINE AND BE FULLY WITHIN MONOPINE BRANCH RADIUS."
- "ALL PROPOSED ANTENNAS SHALL HAVE SOCKS TO MATCH THE COLOR AND TEXTURE OF THE MONOPINE FOLIAGE."

FRESNO FIRE DEPARTMENT NOTES:

- SUBMIT PLANS (THREE SETS) TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION FOR THE INSTALLATION OF THE ABOVE GROUND FUEL TANKS.
- NON-INTEGRAL DIESEL FUEL BASE TANKS FOR SUPPLYING GEN-SETS SHALL BE UL 2085 FIRE RESISTIVE TANKS OR UNDERGROUND TANKS INSTALLED PER THE 2019 CFC AND FMC, SECTION 10-52306.2.3.
- GEN-SET INSTALLATIONS REQUIRE A PLAN SUBMITTAL AND INSTALLATION PERMIT FROM THE BUILDING AND SAFETY SERVICES DIVISION OF THE PLANNING AND DEVELOPMENT DEPARTMENT. THIS SUBMITTAL IS ROUTED TO THE FFD FOR REVIEW. THE SUBMITTAL PACKAGE SHALL INCLUDE A COPY OF THE APPROVED ENTITLEMENT AS SUBMITTED TO PLANNING, THE MANUFACTURERS CUT SHEETS AND/OR DETAILS AND UL LISTING OF THE FUEL TANK TO PROPOSED FOR THE INSTALLATION.
- THE DIESEL FUEL TANK VENT LINE SHALL TERMINATE A MINIMUM OF 12 FEET ABOVE GRADE. 2019 CFC, SECTION 5704.2.7.3.3.
- INSTALLATIONS OF DIESEL FUEL SHALL BE PROTECTED FROM VEHICLE IMPACT BY BOLLARDS OR OTHER APPROVED PROTECTION. 2019 CFC, SECTION 5703.6.4 AND SECTION 312.
- DIESEL ENGINES SHALL COMPLY WITH THE SAN JOAQUIN AIR POLLUTION CONTROL DISTRICT REQUIREMENTS FOR STATIONARY INSTALLATIONS.
- A HAZARDOUS MATERIALS USE PERMIT FROM THE FFD IS REQUIRED FOR ALL DIESEL FUEL TANKS IN EXCESS OF 60 GALLONS CAPACITY.
- THE UL 142 FUEL TANKS SHALL HAVE INTEGRAL SECONDARY CONTAINMENT. 2019 FMC, SECTION 10-52306.2.3, (5).
- A MINIMUM CLEAR SPACE OF 3 FEET TO WALLS OR OTHER OBSTRUCTIONS SHALL BE PROVIDED AROUND THE GEN-SET FOR THE PURPOSES OF MAINTENANCE AND INSPECTION.
- OTHER STANDARDS REGARDING GEN-SET INSTALLATION INCLUDE NFPA 37-INSTALLATION AND USE OF STATIONARY COMBUSTION ENGINES AND GAS TURBINES AND NFPA 110-EMERGENCY AND STANDBY POWER SYSTEMS.

APPL. NO. P21-06304 EXHIBIT A-5 DATE 02/16/2022
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT

SITE PLAN, CITY OF FRESNO NOTES & FRESNO FIRE DEPARTMENT NOTES



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9	02/11/2022	PLANNING COMMENTS	FA



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9020 ACTIVITY RD.
SAN DIEGO, CA 92126
www.sacw.com
619.736.3766

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2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

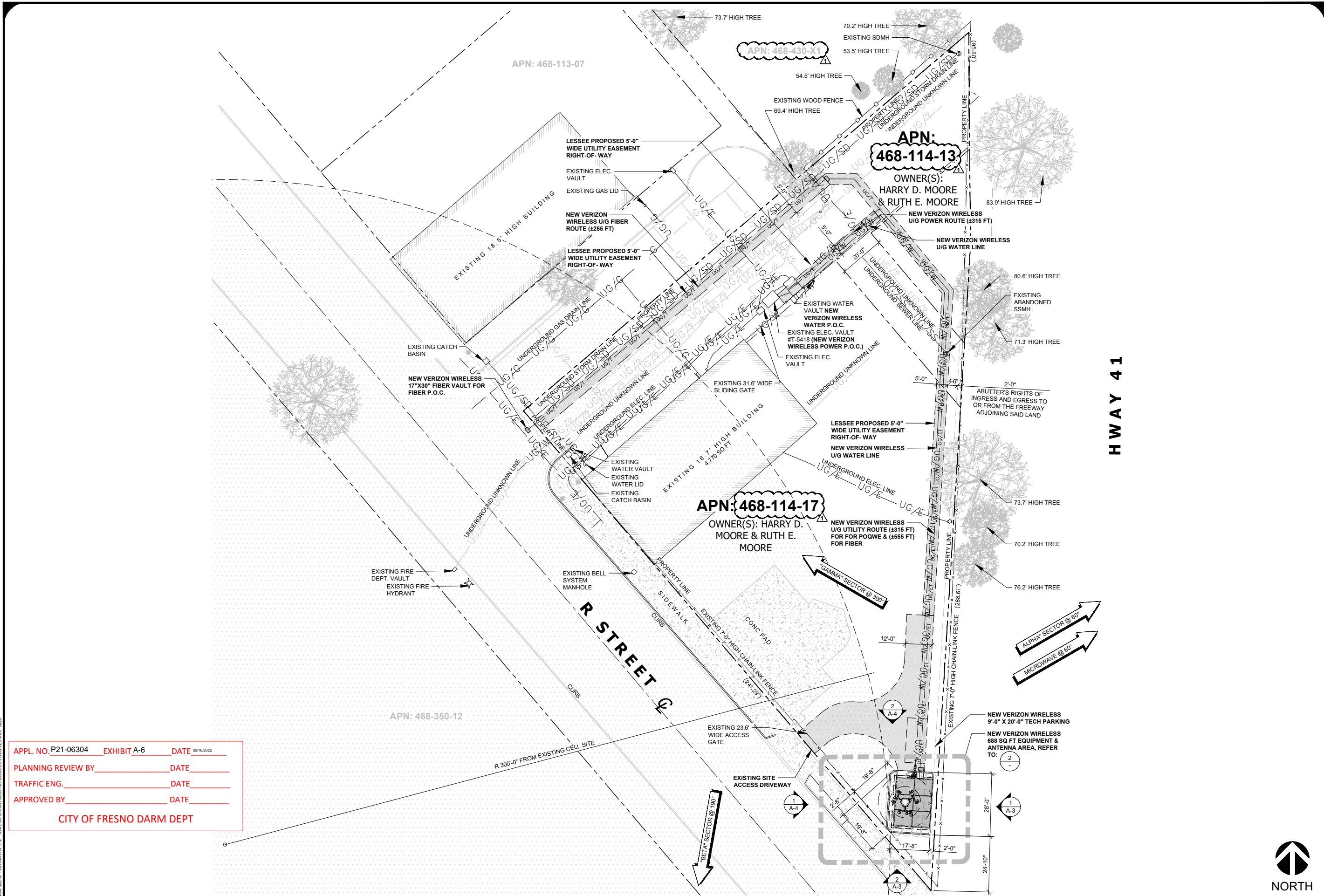
DOWNTOWN
FRESNO
PSL# 655464

640 R STREET (C/T)
FRESNO, CA 93721

SHEET TITLE:
SITE PLAN, CITY OF FRESNO
NOTES & FRESNO FIRE
DEPARTMENT NOTES

A-1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



APPL. NO. P21-06304	EXHIBIT A-6	DATE 02/16/2022
PLANNING REVIEW BY		DATE
TRAFFIC ENG.		DATE
APPROVED BY		DATE
CITY OF FRESNO DARM DEPT		

FUTURE SITE PLAN

20'0"

0

10'

20'

SCALE: 1" = 20'-0" (24x36)
(OR) 1/2" = 20'-0" (11x17)

1

ISSUE STATUS

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8	11/18/2021	REVISED 100% ZONING	FA
A	02/11/2022	PLANNING COMMENTS	FA

SAC

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2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

APN: 468-11-17
OWNER(S): HARRY D. MOORE & RUTH E. MOORE

DOWNTOWN
FRESNO
PSL# 655464
640 R STREET (C/T)
FRESNO, CA 93721

SHEET TITLE:
FUTURE SITE PLAN

A-1.1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

APPL. NO. P21-06304

EXHIBIT A-7

DATE 02/16/2022

PLANNING REVIEW BY

DATE

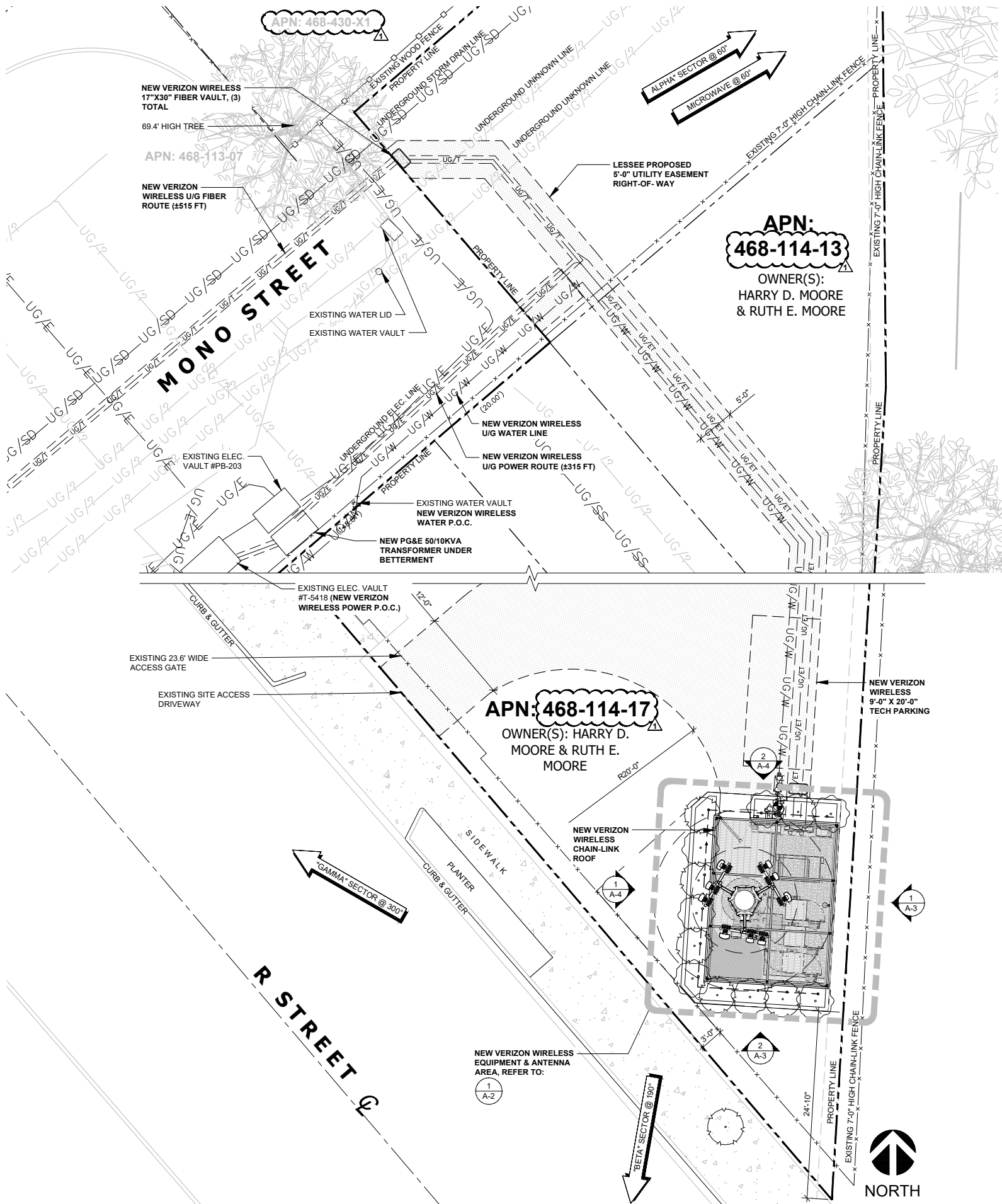
TRAFFIC ENG.

DATE

APPROVED BY

DATE

CITY OF FRESNO DARM DEPT



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DOWNTOWN
FRESNO
PSL# 655464
(640 R STREET (C/T))
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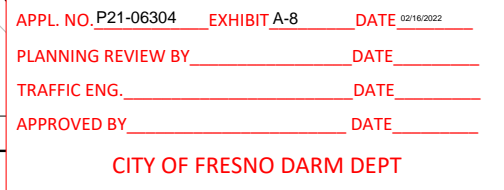
SHEET TITLE:
ENLARGED SITE PLAN

A-1.2

ENLARGED SITE PLAN

	SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17)	3
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0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17) **2**



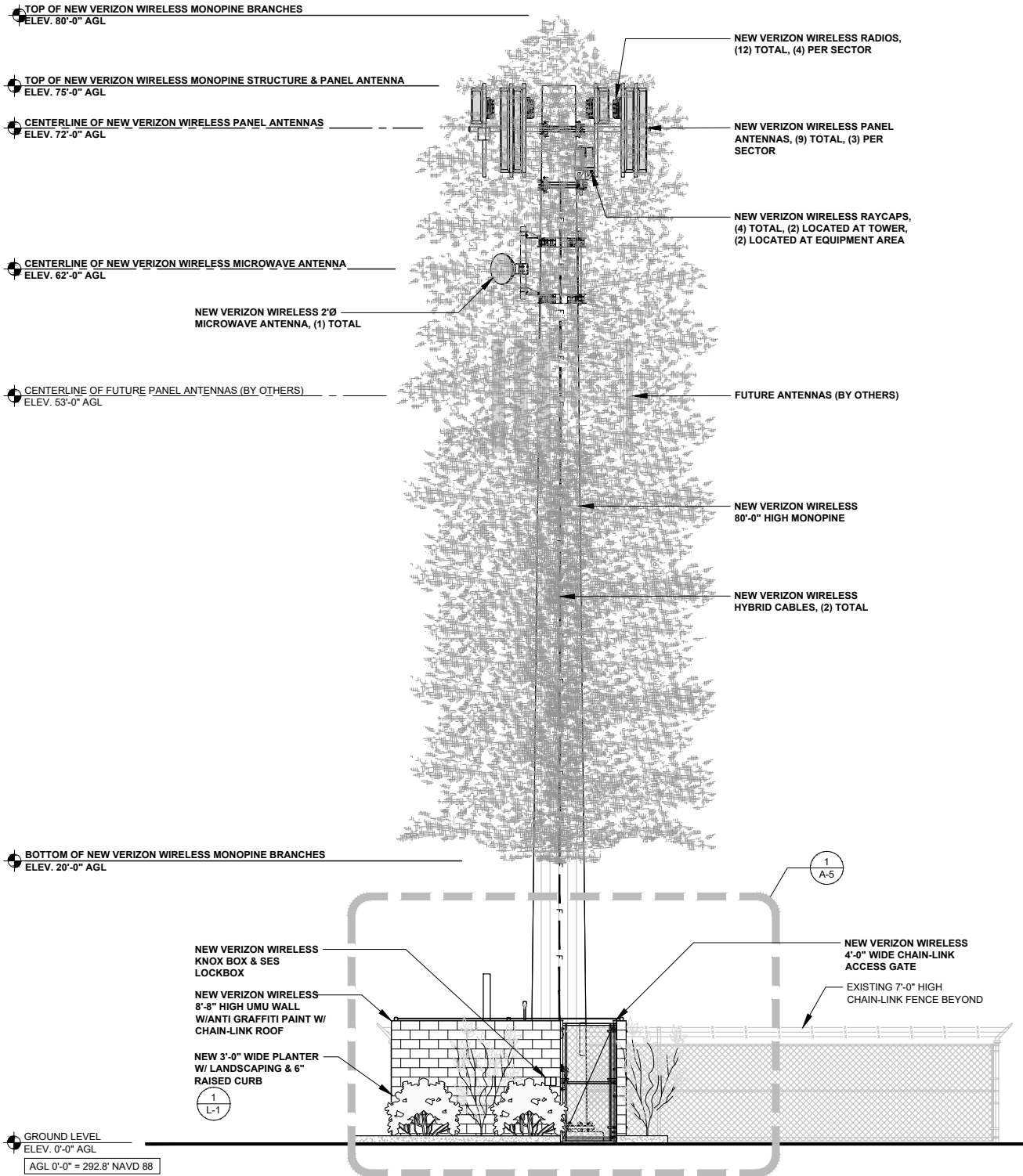
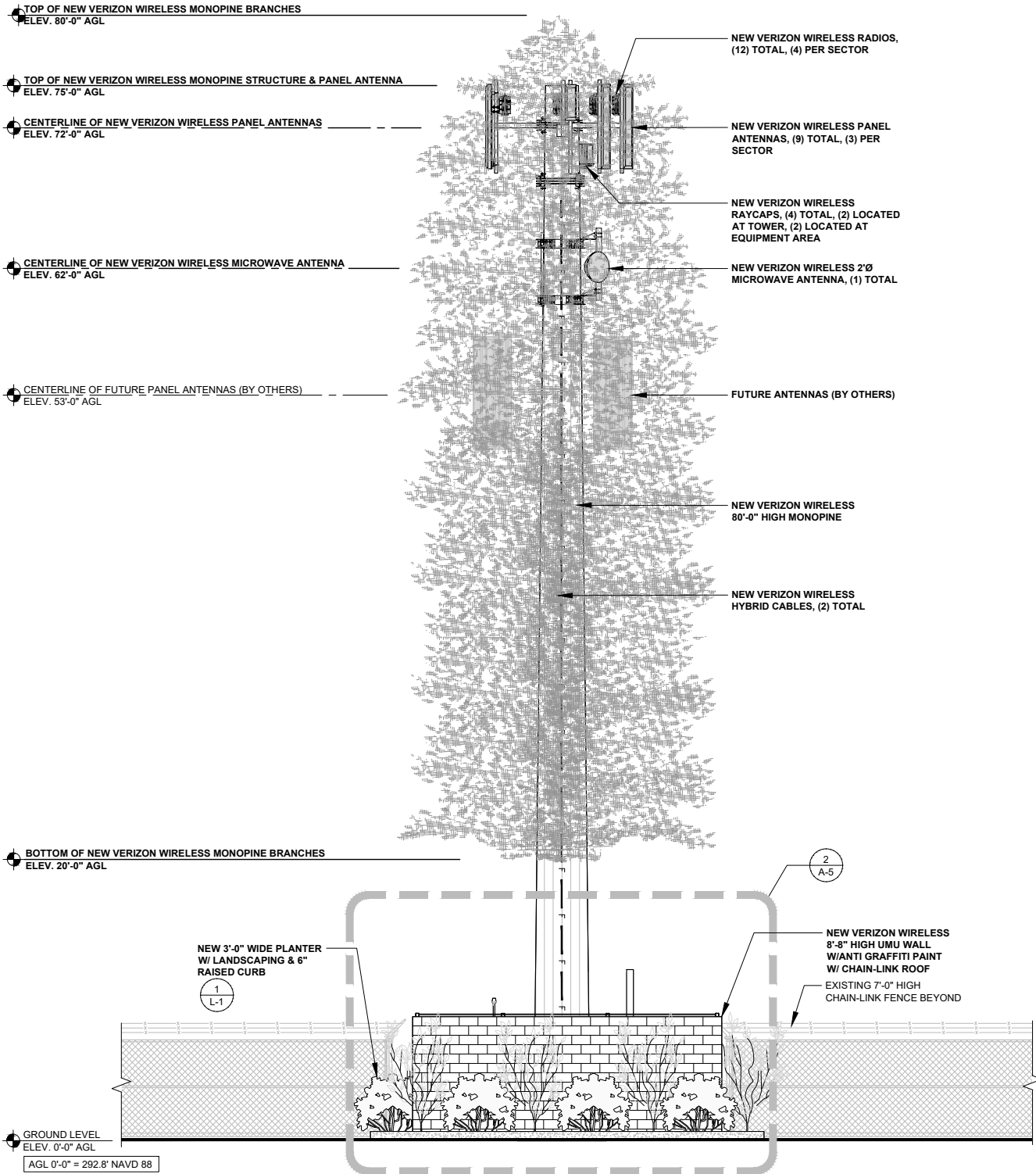
A-2

APPL. NO. P21-06304 EXHIBIT E-1 DATE 02/16/2022
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE

CITY OF FRESNO DARM DEPT

NOTES:

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- "ALL PROPOSED ANTENNAS SHALL HAVE SOCKS TO MATCH THE COLOR AND TEXTURE OF THE MONOPINE FOLIAGE."



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2785 MITCHELL DRIVE, BLDG 9
WALNUT CREEK, CA 94598

DOWNTOWN
FRESNO
PSL# 655464

640 R STREET (C/T)
FRESNO, CA 93721

SHEET TITLE:

NORTH & EAST
ELEVATIONS

A-3

EAST ELEVATION

0 1.5' 3' 5'

SCALE: 3/16" = 1'-0" (24x36)

(OR) 3/32" = 1'-0" (11x17)

2

NORTH ELEVATION

0 1.5' 3' 5'

SCALE: 3/16" = 1'-0" (24x36)

(OR) 3/32" = 1'-0" (11x17)

1

APPL. NO. P21-06304 EXHIBIT E-2 DATE 02/16/2022

PLANNING REVIEW BY DATE

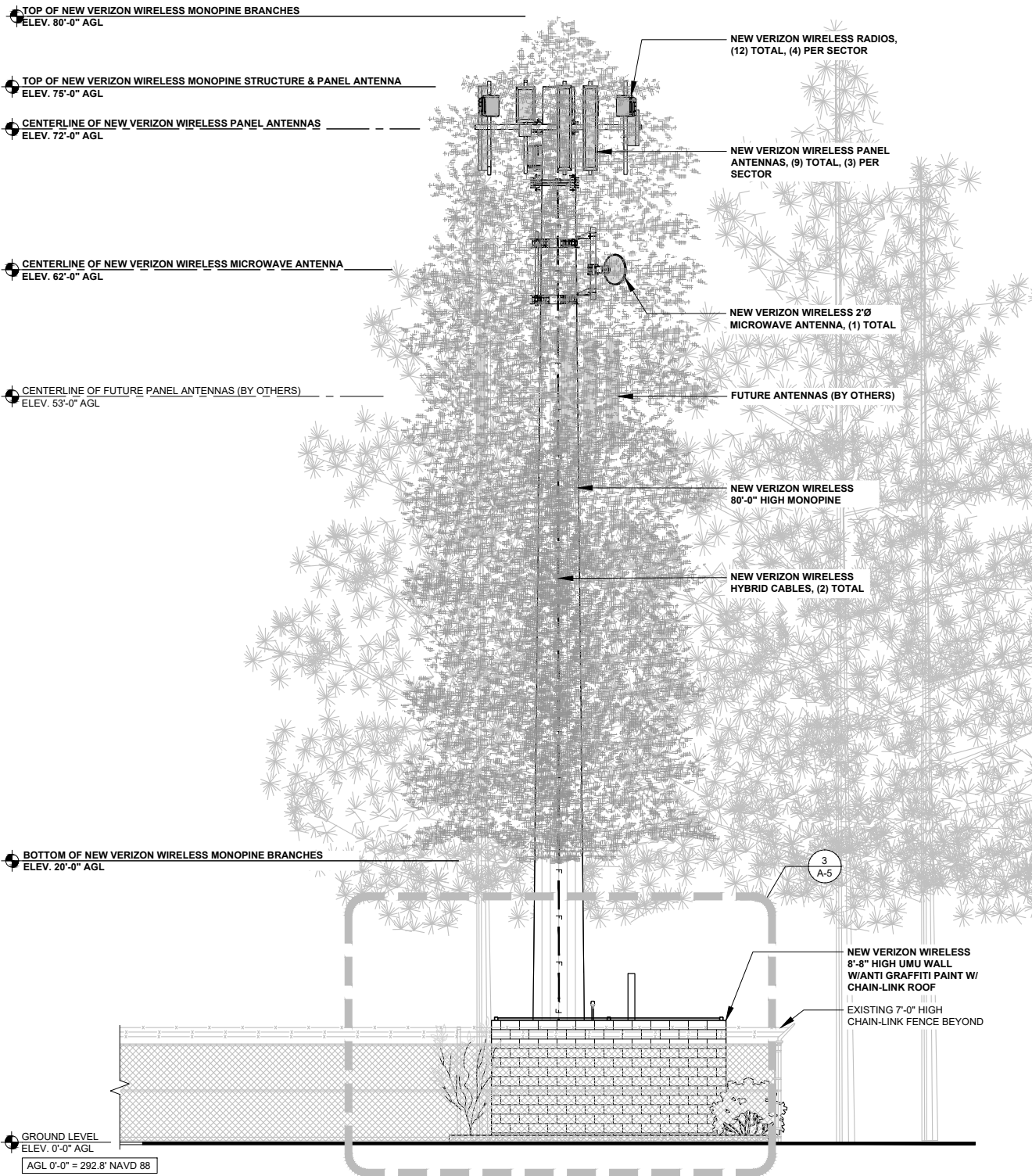
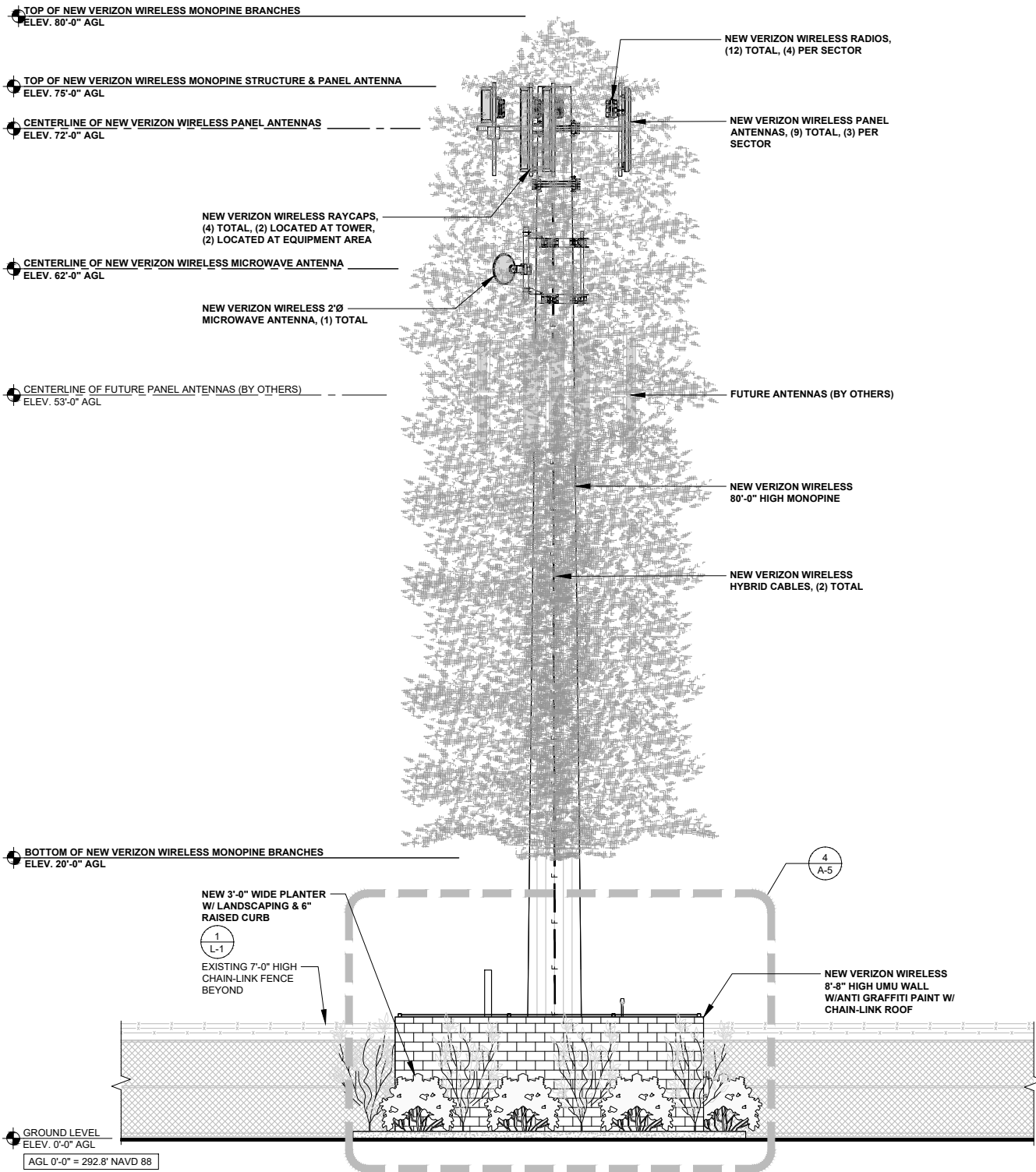
TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

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DOWNTOWN

FRESNO

PSL# 655464

640 R STREET (C/T)
FRESNO, CA 93721

SHEET TITLE:

SOUTH & WEST
ELEVATIONS

A-4

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WEST ELEVATION

0 1.5' 3' 5' SCALE: 3/16" = 1'-0" (24x36)

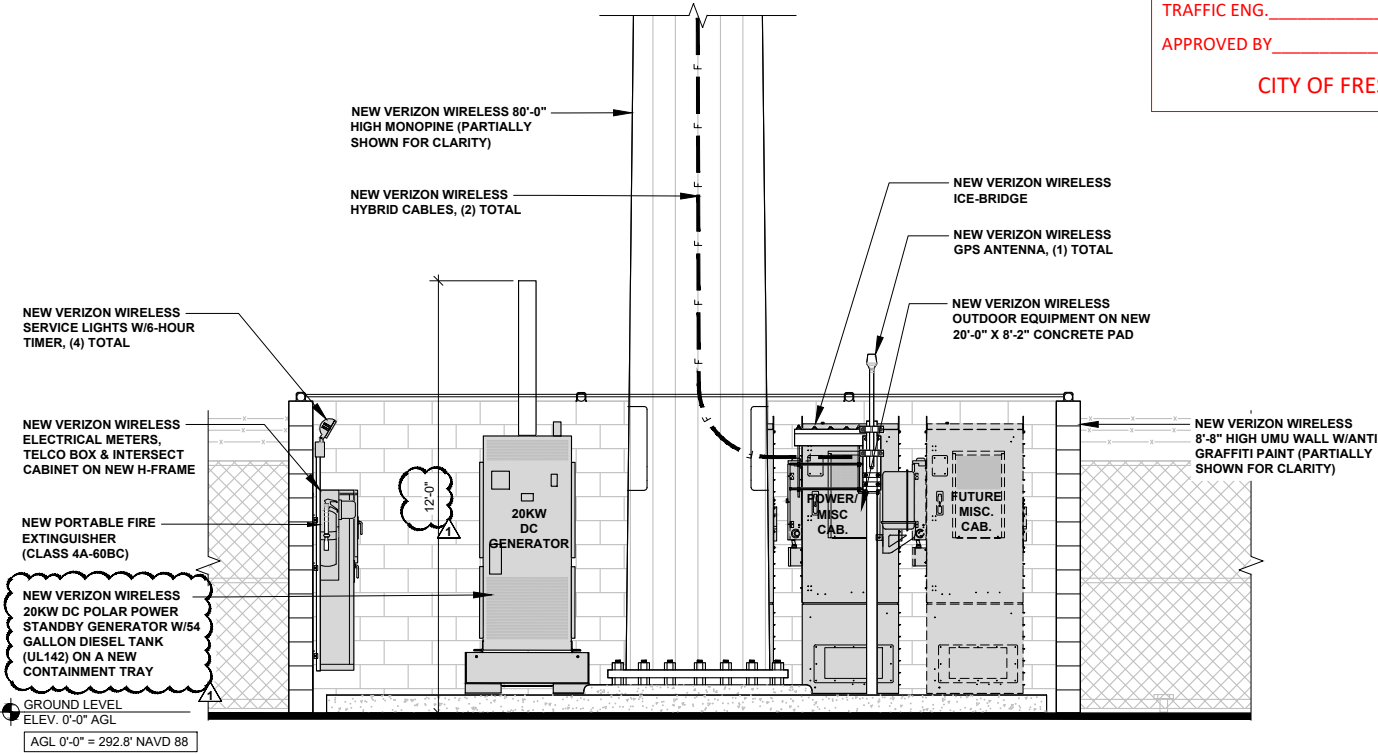
SOUTH ELEVATION

0 1.5' 3' 5' SCALE: 3/16" = 1'-0" (24x36)

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CITY OF FRESNO DARM DEPT



WEST EQUIPMENT ELEVATION

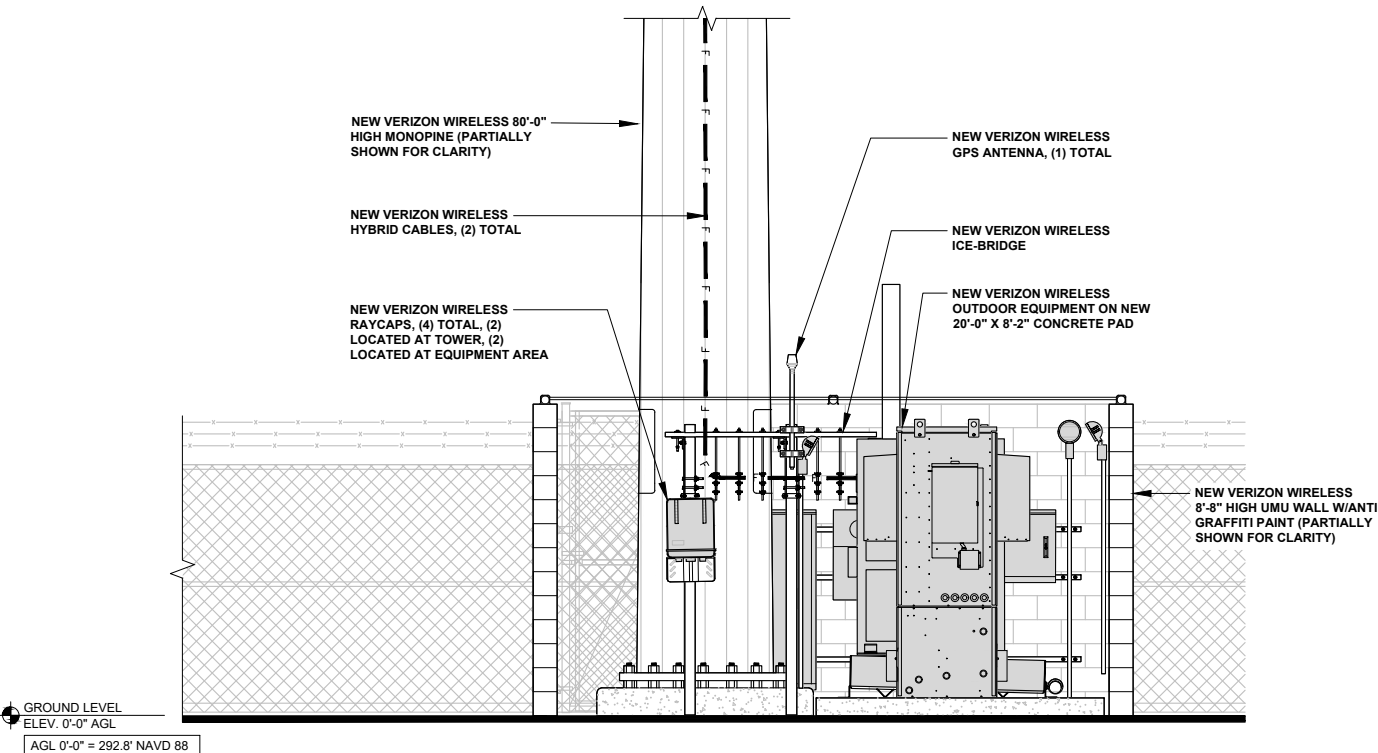
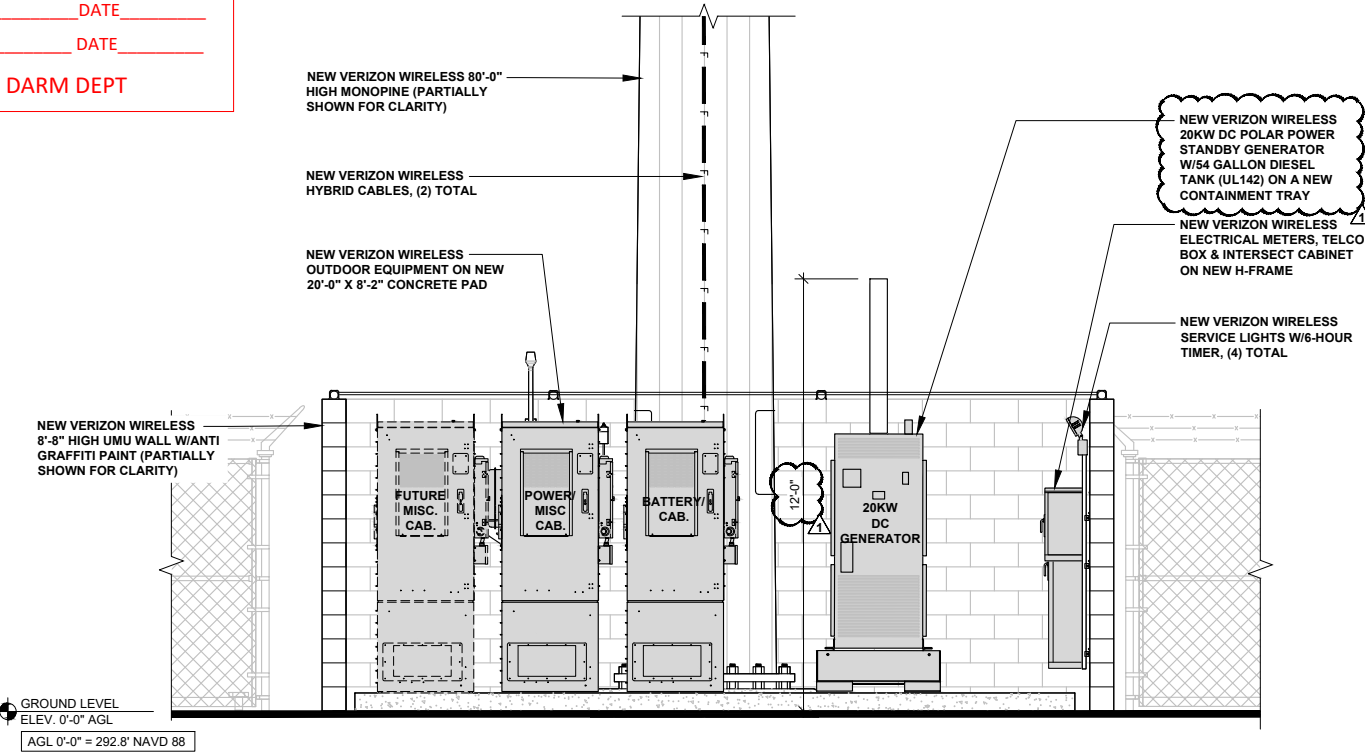
0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

4

EAST EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

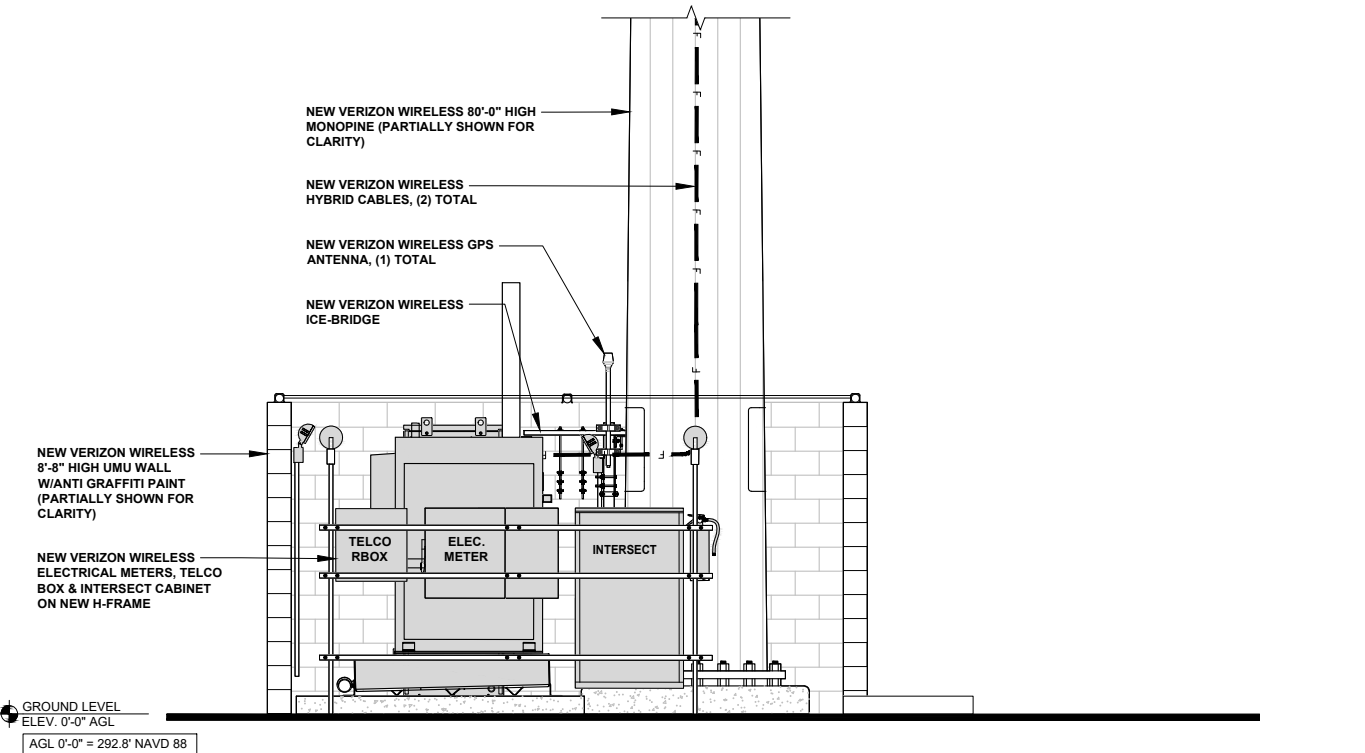
2



SOUTH EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

3



NORTH EQUIPMENT ELEVATION

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

1

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DOWNTOWN
FRESNO
PSL# 655464

640 R STREET (C/T)
FRESNO, CA 93721

SHEET TITLE:
EQUIPMENT
ELEVATIONS

A-5

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION, ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

ARCHITECT OR DEVELOPER SHALL PERFORM AN AGRONOMICAL SOILS TEST FOR FERTILITY AND TO DETERMINE DRAINAGE CAPABILITY. FOLLOW THE LAB SPECIFICATIONS DURING PLANTING. LAB SHALL BE INDEPENDENT FROM THE AMENDMENT SUPPLIER. GENERIC AMENDMENTS SHALL BE USED. PROOF OF AMENDMENTS USED SHALL BE PROVIDED TO THE CLIENT.

CONTRACTOR SHALL CAP, DIVERT AND/OR ADJUST ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE NEW PLANTINGS, ENOUGH WATER MUST BE APPLIED TO THE EXISTING PLANTINGS DURING AND AFTER CONSTRUCTION OPERATIONS TO INSURE PLANT SURVIVAL.

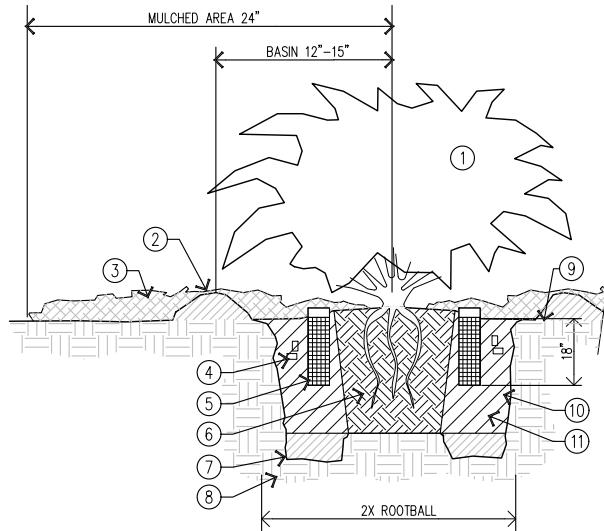
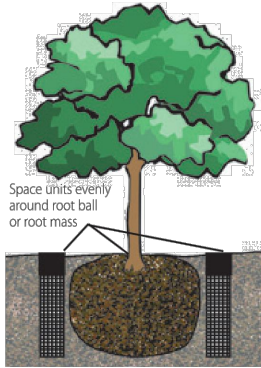
CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

GENERAL WATERING GUIDELINE AS FOLLOWS:
WARM WEATHER- FILL BASIN 2X/ WEEK
COOL WEATHER- FILL BASIN 1X/ WEEK

RAIN BIRD

RWS-M - Root Watering System

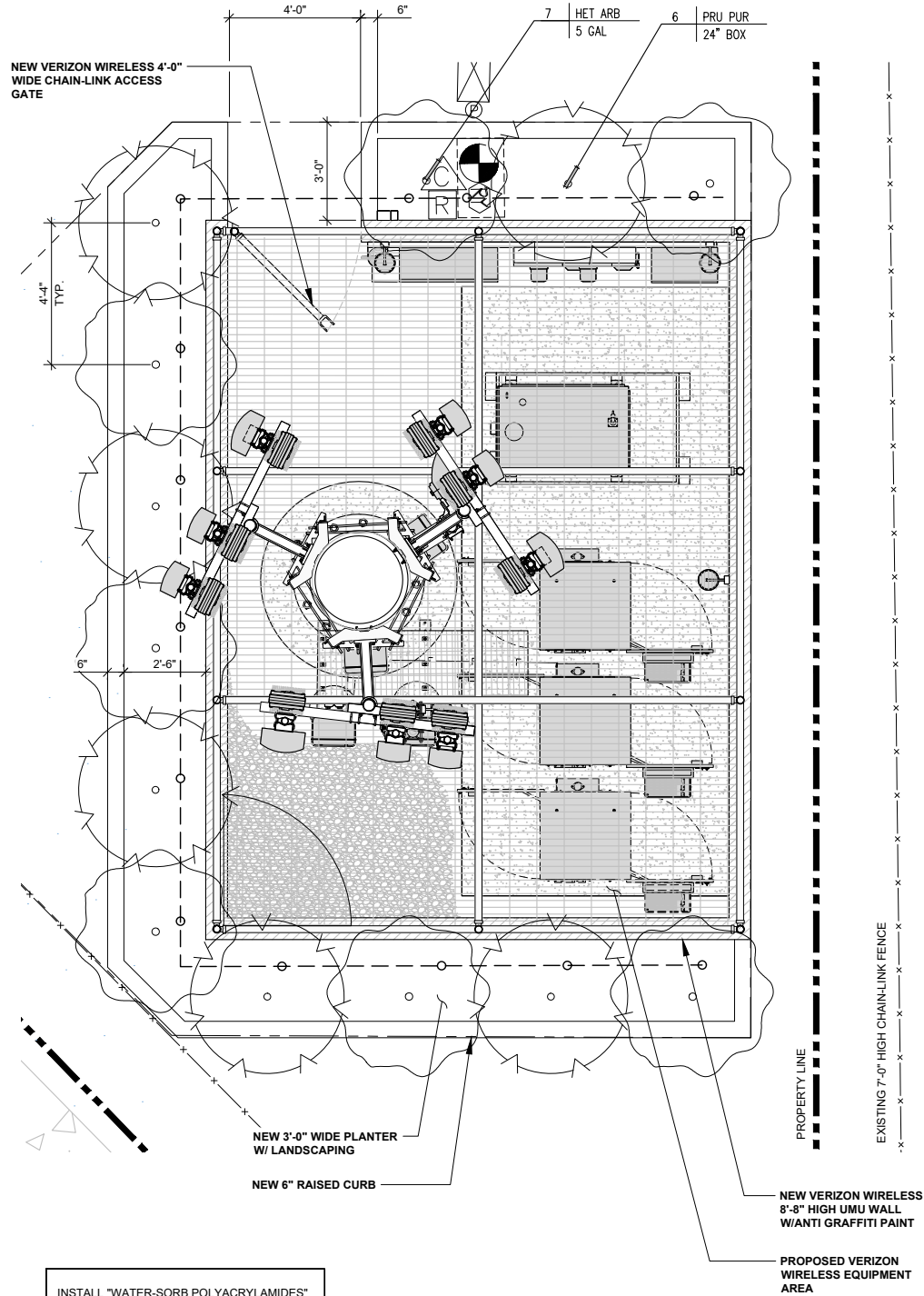
1. INSTALL RWS UNITS, EVENLY SPACED AND POSITIONED AGAINST ROOT BALL OR ROOT MASS. THE NUMBER OF RWS UNITS WILL VARY DEPENDING ON THE SIZE OF THE TREE AND WATERING REQUIREMENTS, BUT A MINIMUM OF 2-3 RWS UNITS IS RECOMMENDED PER TREE.
2. INSTALL OPTIONAL RWS-SOCK (PART NO. A22435) TO PREVENT SOIL INFILTRATION INTO TUBE.
3. PLACE UNITS VERTICALLY WITH TOP EVEN WITH GROUND SURFACE. THE RWS-M REQUIRES A 18" (45.7 CM) HOLE DEPTH. THE RWS REQUIRES A 36" (91.4 CM) HOLE DEPTH.
4. INSTALL GRATE UNTIL TOP SURFACE IS BELOW GRATE LOCK TABS. ASSURE TABS ARE SECURE OVER GRATE.
5. FILL AREA SURROUNDING UNIT WITH SOIL.
6. FOLLOW PLANTING GUIDELINES FOR SPECIFIC TREE SPECIES, AND FOR LOCAL CONDITIONS.



SECTION VIEW - N.T.S.

(A) PLANTING PITS

1. SHRUB, SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE, TYP.
2. 2"-3" DEEP SHALLOW BASIN 24" DIAMETER FORMED AROUND ROOTBALL
3. MULCH LAYER- 48" DIAMETER AREA AROUND PLANTINGS
4. FERTILIZER TABLETS
5. WATER-SORB POLYACRYLAMIDES INSIDE RAIN-BIRD RWS-M
6. ROOTBALL, UNTANGLE MATTED ROOTS AT EDGE WITH WATER FROM HOSE, DO NOT CRACK ROOTBALL
7. NATIVE SOIL, SCARIFY 6"-10"
8. NATIVE GRADE
9. FINISH GRADE
10. SCARIFY SIDES OF PLANT PIT
11. AMENDED BACKFILL, USE SAME SOIL REMOVED FROM PLANT PIT. REMOVE ROCKS BREAK-UP CLODS, ADD AMENDMENTS PER CURRENT SOILS REPORT SPECIFICATIONS



INSTALL "WATER-SORB POLYACRYLAMIDES" AT THE BASE OF EACH SHRUB, PER MANUFACTURER'S RECOMMENDATION.

APPL. NO. P21-06304 EXHIBIT L-1 DATE 02/16/2022
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____
CITY OF FRESNO DARM DEPT



ISSUE STATUS

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Δ	02/11/2022	PLANNING COMMENTS	FA



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619.736.3766

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WALNUT CREEK, CA 94598

DOWNTOWN
FRESNO
PSL# 655464

640 R STREET (CIT)
FRESNO, CA 93721

SHEET TITLE:

LANDSCAPE PLAN
& DETAILS

L-11

CONTRACTOR SHALL PROTECT ANY EXISTING LANDSCAPE AND HARDSCAPE FROM DAMAGE DURING CONSTRUCTION. ANY AREAS DAMAGED MUST BE RETURNED TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION OPERATIONS.

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CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND REGULATING SOIL MOISTURE CONTENT AND DRAINAGE UNTIL THE END OF CONTRACTED MAINTENANCE RESPONSIBILITY.

GENERAL WATERING GUIDELINE AS FOLLOWS:
WARM WEATHER- FILL BASIN 2X/ WEEK
COOL WEATHER- FILL BASIN 1X/ WEEK

CONTRACTOR SHALL CHECK SOIL MOISTURE AT LEAST WEEKLY WITH MOISTURE PROBE. SAMPLE THE ROOTBALL AND SURROUNDING SOIL. SOIL SHOULD BE MOIST THROUGHOUT THE SOIL PROFILE. THE ROOTBALL MUST NOT BE ALLOWED TO DRY OUT OR BE ALLOWED TO SIT IN STANDING WATER- EVER. ADJUST WATERING SCHEDULE BASED UPON RESULTS

NOTES FOR MODIFYING EXISTING SYSTEMS

THIS PROJECT IS A MODIFICATION OF AN EXISTING SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE CONDITIONS AND EQUIPMENT RELATED TO THIS SYSTEM. THIS VERIFICATION SHALL INCLUDE, BUT IS NOT LIMITED TO: THE EXISTING PRESSURE AND FLOW AVAILABLE, THE MAINLINE SIZE AND LOCATION, THE EXISTENCE, LOCATION AND FUNCTION OF VALVES, MASTER VALVES, BACKFLOW AND CONTROLLER. CONTRACTOR SHALL NOTIFY THE O.A.R. (OWNER'S AUTHORIZED REPRESENTATIVE) IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE FIELD VERIFICATION AND THE DRAWINGS.

WATER MUST BE PROVIDED TO ALL PLANT MATERIAL DURING AND AFTER CONSTRUCTION. THE TIMING AND AMOUNT OF WATER APPLIED SHALL MAINTAIN THE VEGETATION IN A HEALTHY, DISEASE RESISTANT CONDITION.

THE CONTRACTOR SHALL CUT, CAP AND OR DIVERT IRRIGATION LINES PRIOR TO ANY SITE DEMOLITION OR EXCAVATION IN ORDER TO PRESERVE WATERING TO THE REMAINING SITE AREAS DURING AND AFTER CONSTRUCTION.

THE CONTRACTOR SHALL ADD NEW HEADS TO MATCH THE EXISTING SYSTEM AND ADJUST/ RELOCATE EXISTING SPRINKLER HEADS TO ACCOMMODATE THE PROPOSED INSTALLATION AND INSURE 100% COVERAGE OF THE EXISTING AND NEW PLANTINGS. NEW HEADS MAY BE ADDED IN ONE OF THE FOLLOWING WAYS.

A CONNECT TO AN EXISTING LATERAL LINE* PROVIDING SIMILAR WATERING REQUIREMENTS AS THE PLANT MATERIAL PROPOSED AND ADD NEW HEADS TO MATCH THE EXISTING HEADS, OR THE HEADS THAT HAVE BEEN REMOVED.

B CONNECT TO THE PRESSURE MAINLINE* OF THE EXISTING IRRIGATION SYSTEM AFTER THE EXISTING BACKFLOW DEVICE AND RUN A CONTROL WIRE FROM THE EXISTING CONTROLLER TO THE NEW VALVE(S). ONLY POSSIBLE IF THERE ARE AVAILABLE STATION(S) ON THE EXISTING CONTROLLER OR THE CONTROLLER'S AVAILABLE STATIONS CAN BE INCREASED (UPGRADED).

C CONNECT TO THE EXISTING IRRIGATION WATER SOURCE* OR MAINLINE* AND PROVIDE A NEW BACKFLOW DEVICE AND AUTOMATIC CONTROLLER TO CONTROL THE VALVES.

*DO NOT EXCEED THE MAXIMUM GALLONS PER MINUTE AN EXISTING PIPE CAN PROVIDE (FLOW VELOCITY SHALL NOT BE GREATER THAN 5 FEET PER SECOND).

THE CONTRACTOR SHALL VERIFY IF THE EXISTING SYSTEM USES A MASTER VALVE - ANY NEW VALVES MUST BE CONNECTED BY WIRE TO THE MASTER VALVE AND CONTROLLER.

PLANTING LEGEND

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DETAIL	MATURE HxW	WUCOLS REG-RING
--------	-----	------------------------	---------	------	------	--------	------------	-----------------



HET ARB

HETEROMELES ARBUTIFOLIA
TOYON

5 GAL

12

A,B

10'x8'

4-L



RHA CAL

RHAMNUS CALIFORNIA "EVE CASE"
COFFEE BERRY

5 GAL

11

A

6'x6'

4-L

MULCH BARE GROUND BETWEEN ALL SHRUBS AND TREES 3" DEEP, BETWEEN GROUND COVERS 1-1/2" DEEP- USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE- APPROVED EQUAL.

QTY.

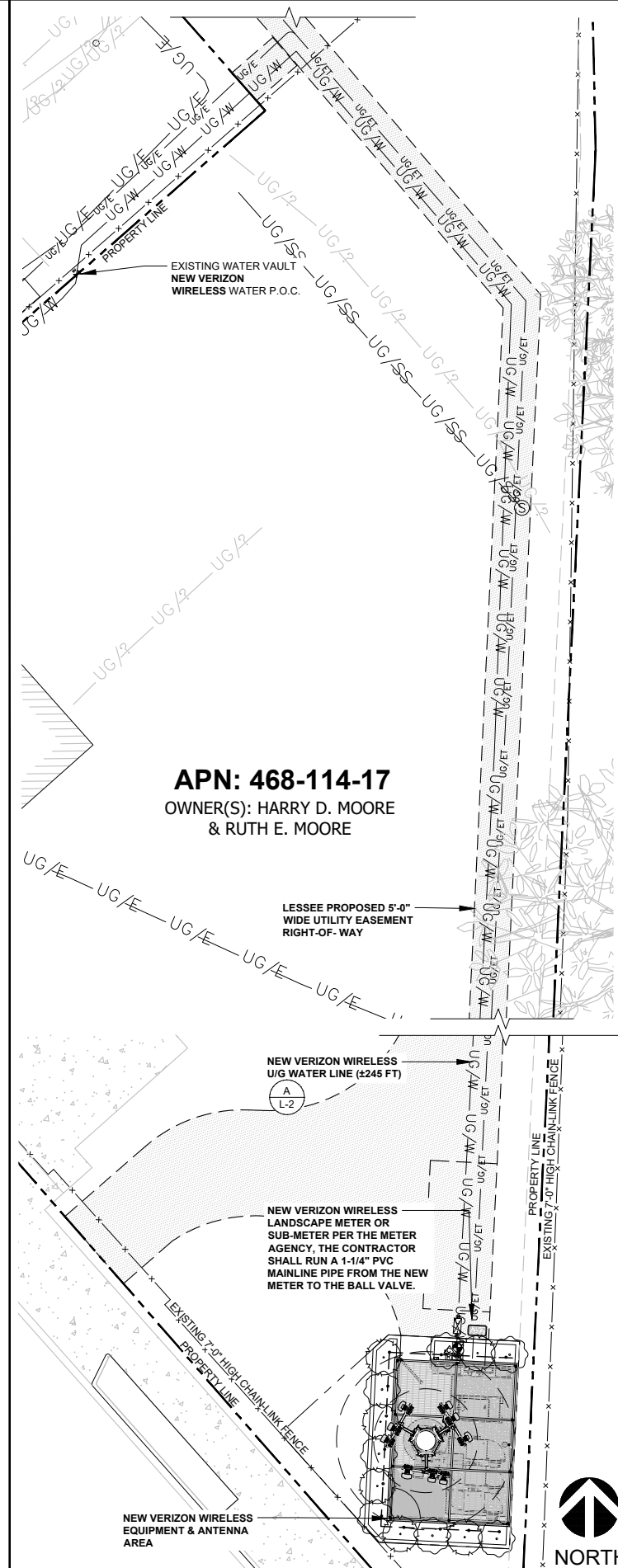
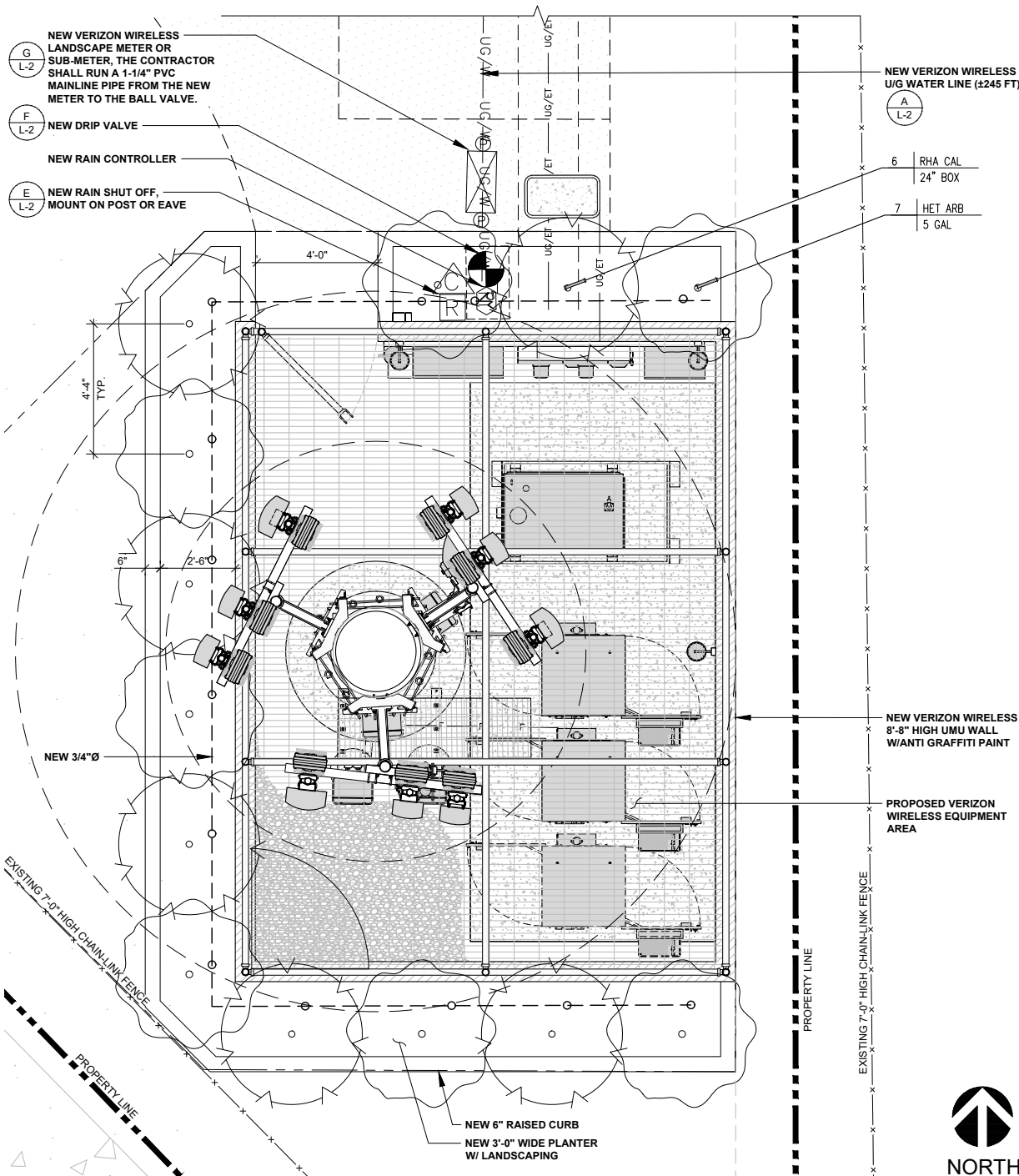
99

CEA HOR

1 GAL

KEY

SIZE



APPL. NO. P21-06304 EXHIBIT L-2 DATE 02/16/2022

PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

LANDSCAPE/IRRIGATION PLAN

0 1' 2' 3' SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

2

SITE IRRIGATION PLAN

0 3' 6' 12' SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

1

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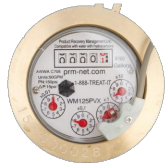
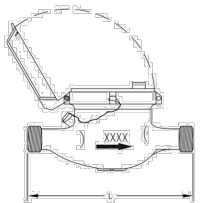
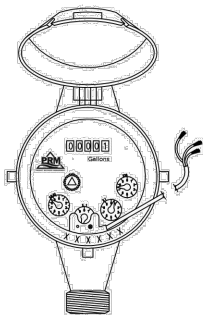
640 R STREET (CIT)
FRESNO, CA 93721

SHEET TITLE:

SITE IRRIGATION PLAN &
LANDSCAPE/IRRIGATION PLAN

L-1

Multi-Jet Water Meters with Pulse Output



Pulse Rates can be manually changed.

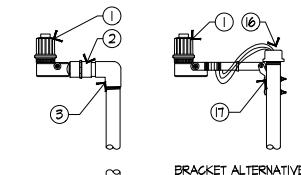
Factory Set Pulse Rates:
WM050PVX: 1 pulse per gallon
WM075PVX: 1 pulse per gallon
WM100PVX: 1 pulse per 10 gallons
WM125PVX: 1 pulse per 10 gallons
WM150PVX: 1 pulse per 10 gallons
WM200PVX: 1 pulse per 10 gallons

						Max. Flow	Nom. Flow Range
Part #:	Size:	Length (in)	Length with NPT adapters	Height (in)	Weight (lbs.)	Gallons Per Minute	
WM050PVX	1/2" NPT	7	10.5	4.75	3	10	1-10
WM075PVX	3/4" NPT	8	12	4.75	3.5	20	1-20
WM100PVX	1" NPT	10.5	14.5	4.5	5.5	30	2-30
WM125PVX	1-1/4" NPT	10.5	15.5	5	8	50	3-50
WM150PVX	1-1/2" NPT	12	18	6.5	12	75	4-75
WM200PVX	2" NPT	12	18	6.5	14	130	5-130

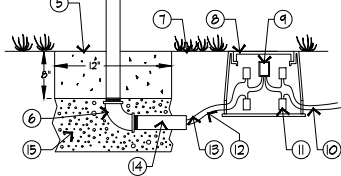
Information in this drawing is provided for reference only.

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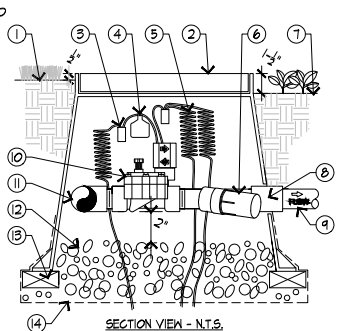
WATER METER



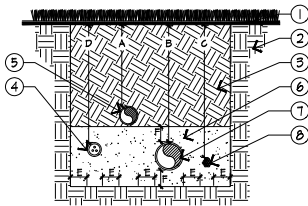
BRACKET ALTERNATIVE



RAIN SWITCH POLE MOUNT



DRIP VALVE ASSEMBLY



DIMENSION	A	B	C	D	E	F
1/2" TO 1 1/2" SIZE	12"	18"	18"	30"	4"	6"
2" TO 2 1/2" IN SIZE	12"	24"	24"	30"	4"	6"
3" AND LARGER	18"	24"	24"	30"	4"	6"

NOTE:
ALL PLASTIC PIPING SHALL BE SNAKED IN TRENCH. BUNDLE WIRING AND WRAP WITH TAPE AT TEN FOOT INTERVALS.
ALL MAINLINE PIPING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS.

PIPE AND WIRE TRENCHING

ALL SLEEVES SHALL BE NO SMALLER THAN 2" DIA. EXCEPT AS NOTED BELOW

IRRIGATION PIPING

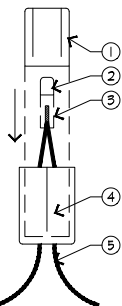
- ALL LATERAL LINE PIPE SHALL BE INSTALLED INSIDE A PVC SCH 40 SLEEVE
- FOR 1" THROUGH 2 1/2" PRESSURE SUPPLY LINE PIPE, INSTALL IN A MINIMUM 4" DIA. PVC SCH 40 SLEEVE
- FOR 3" AND LARGER DIA. PRESSURE SUPPLY LINE PIPE, INSTALL IN A MINIMUM 6" DIA. PVC CLASS 160 SLEEVE

WIRING CONDUIT

- FOR UP TO 20' #14 LOW VOLTAGE WIRES, INSTALL ONE 2" DIA PVC SCH 40 CONDUIT
- FOR 21 AND UP TO 40' #14 LOW VOLTAGE WIRES, INSTALL ONE 4" DIA PVC SCH 40 CONDUIT
- INSTALL ONE 3/4" PVC SCH 40 CONDUIT FOR FLOW SENSING CABLE.
- INSTALL ONE 3/4" PVC SCH 40 CONDUIT FOR MASTER VALVE WIRE.

NOTE: FLOW SENSING CABLE AND MASTER VALVE WIRES SHALL BE INSTALLED IN THEIR OWN CONDUIT SEPARATE AND APART FROM ALL OTHER WIRES.

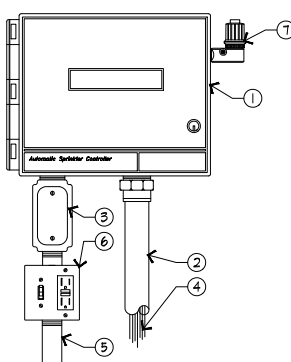
SLEEVE AND CONDUIT



- INNER CASE OF CONNECTOR
- COPPER SLEEVE CRIMP INSTALLED WITH RECOMMENDED TOOL
- STRIP AND TWIST WIRES FOR PROPER CONNECTION
- OUTER CASE OF CONNECTOR
- LOW VOLTAGE WIRES, 3 MAXIMUM

NOTE:
FILL INNER CASE WITH SEALER PRIOR TO FINAL ASSEMBLY.
ALL WIRE ROUTED BETWEEN CONTROLLER AND REMOTE CONTROL VALVES SHALL BE A CONTINUOUS RUN WITH NO WIRE SPLICES.
WIRE SPLICES SHALL ONLY OCCUR AT THE REMOTE CONTROL VALVE.

WATERPROOF WIRE SPLICE



- INDOOR/OUTDOOR IRRIGATION CONTROLLER, WALL MOUNTED IN LOCKING WEATHERPROOF CABINET
- 1-1/2" PVC SCH 40 CONDUIT AND FITTINGS
- JUNCTION BOX
- WIRES TO CONTROL VALVES.
- 1" PVC SCH 40 CONDUIT TO POWER SUPPLY.
- POWER SUPPLY AND RECEPTACLE
- RAIN SENSOR/WEATHER STATION. MAY BE MOUNTED TO CABINET OR REMOTELY TO EAVES, FENCE OR OTHER SUITABLE POLE. REFER TO MFG. SPECIFICATIONS

WALL MOUNT CONTROLLER

IRRIGATION SPECS.

I. GENERAL CONDITIONS

THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING WATER PRESSURE (P.S.I.) AND AVAILABLE FLOW (G.P.M.) PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL PRESSURE AND FLOW AVAILABLE WITH THOSE SHOWN IN THESE DRAWINGS. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREAS SIZE AND LAYOUT THAT WERE NOT CONSIDERED IN THE ORIGINAL DESIGN. NOTIFY THE O.A.R. OF SUCH OBSTRUCTIONS AND DIFFERENCES IMMEDIATELY.

IN THE EVENT THAT THE NOTIFICATIONS REQUIRED BY THESE NOTES ARE NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISION NECESSARY.

II. QUALITY ASSURANCE AND REQUIREMENTS

THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH THE TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

III. MATERIALS/ INSTALLATION

THE MAINLINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORSEEN OBSTACLES BELOW GRADE. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING. THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE FACTORY ASSEMBLED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION OF THE AUTOMATIC CONTROLLER AND THE BACKFLOW DEVICE SHALL BE APPROVED BY THE O.A.R. PRIOR TO INSTALLATION.

THE 120 VOLT ELECTRICAL CONNECTION FOR THE CONTROLLER SHALL BE FURNISHED BY OTHERS. THE CONTRACTOR SHALL COORDINATE THE ROUTE OF THE ELECTRICAL SERVICE TO THE APPROVED CONTROLLER LOCATION WITH THE GENERAL CONTRACTOR. THE SERVICE TO THE CONTROLLER JUNCTION BOX SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS TO THE AUTOMATIC CONTROLLERS FROM THE PROVIDED JUNCTION BOX.

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ALL WIRES FROM THE CONTROLLER TO THE AUTOMATIC VALVES SHALL BE COPPER, DIRECT BURIAL, MINIMUM #14 GAUGE. INSTALL IN THE SAME TRENCH AS THE MAINLINE WHERE POSSIBLE. COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE WIRES A MINIMUM OF TEN (10) FEET ON CENTER.

THE CONTRACTOR SHALL RUN THREE (3) SPARE WIRES AND ONE (1) COMMON WIRE FROM THE CONTROLLER TO EACH END OF THE MAIN LINE FOR FUTURE USE. EXTEND THE WIRES AN EXTRA TEN (10) FEET, MAKE A COIL, AND PLACE IN A RECTANGULAR PULL BOX. LABEL THE LID "SW".

ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2x) THE DIAMETER OF THE PIPE TO BE SLEEVED. SIZE WIRE SLEEVES SO THAT WIRES ARE NOT BOUND IN PIPE. MINIMUM COVERAGE FOR SLEEVES SHALL BE TWENTY FOUR (24) INCHES FOR SLEEVED LATERAL LINES, THIRTY (30) INCHES FOR 120 VOLT WIRING IN CONDUIT AND THIRTY SIX (36) INCHES FOR SLEEVED MAINLINE AND/OR CONTROL WIRING.

ALL LATERAL LINE PIPING UNDER PAVEMENT NOT SLEEVED, SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO PAVING.

DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM. TRENCH MUST BE FREE OF ROCKS, DEBRIS OR ANY SHARP OBJECTS. SNAKE PLASTIC PIPE IN TRENCH. MINIMUM COVERAGE FOR MAINLINE SIZES 1-1/2" AND SMALLER IS EIGHTEEN (18) INCHES. FOR SIZES 2" AND LARGER COVERAGE IS TWENTY FOUR (24) INCHES. FOR LATERAL LINES TWELVE (12) INCHES. 120 VOLT WIRING IN CONDUIT THIRTY (30) INCHES AND LOW VOLTAGE CONTROL WIRE TWELVE (12) INCHES MINIMUM OR THE SAME DEPTH AS THE MAINLINE. DO NOT INSTALL ANY PIPE OR WIRING DIRECTLY OVER ANOTHER.

BALL VALVES, GATE VALVES, REMOTE CONTROL VALVES (EXCEPT FOR ANTI-SIPHON TYPE) AND QUICK COUPLERS SHALL BE INSTALLED IN BELOW GRADE LOCKABLE BOXES MANUFACTURED BY AMETEK OR CARCON. USE ROUND BOXES FOR GATE VALVES, BALL VALVES AND QUICK COUPLERS AND RECTANGULAR BOXES FOR REMOTE CONTROL VALVES. VALVE BOX LIDS SHALL BE GREEN COLOR, LABELED "BV", "GV", "QC" OR "RCV" WITH CONTROLLER STATION NUMBER.

SET VALVE BOXES ONE (1) INCH ABOVE FINISH GRADE. SET VALVES AT SUFFICIENT DEPTH TO PROVIDE APPROPRIATE CLEARANCE BETWEEN THE COVER AND THE VALVE. INSTALL IRRIGATION EQUIPMENT SO THE VALVE BOXES FIT WITHOUT CUTTING THE WALLS OF THE VALVE BOXES. CUT VALVE BOXES SHALL BE REPLACED AT NO COST TO THE OWNER. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS, UNLESS DIRECTED OTHERWISE BY THE O.A.R.

ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE.

INSTALL ALL SPRINKLERS ON RISERS TWELVE (12) INCHES AWAY FROM WALLS AND STRUCTURES.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE (1) INCH ABOVE FINISH GRADE.

ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT PAVING.

AFTER RECEIVING NOTIFICATION BY THE O.A.R., THE CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS ONE QUARTER (1/4) INCH ABOVE FINISH GRADE.

INSTALL ANTI DRAIN VALVES TO ELIMINATE LOW HEAD DRAINAGE. ANTI DRAIN VALVE (ADV) UNITS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, CONTRACTOR SHALL VERIFY WITH ON SITE GRADES IF THERE IS AN ELEVATION DIFFERENCE OF TWO (2) FEET OR MORE BETWEEN THE HIGHEST AND LOWEST SPRINKLER HEAD ON A SYSTEM. INSTALL THE ADV WHERE NECESSARY.

ALL SOLVENT WELD PVC PRESSURE LINES AND FITTINGS MUST RECEIVE PRIMER BEFORE SOLVENT WELDING.

IV. ADJUSTING AND TESTING THE SYSTEM

AFTER PIPELINE ASSEMBLY THE CONTRACTOR SHALL THOROUGHLY FLUSH THE SYSTEM. WITH OPEN ENDS ALL CAPPED PRESSURE TEST FOR FOUR (4) HOURS AT 150 P.S.I.

AFTER COVERAGE AND PRESSURE TESTING THE CONTRACTOR SHALL INSTALL ALL TERMINAL FIXTURES AND PERFORM A COVERAGE TEST.

THE CONTRACTOR SHALL ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVERSPRAY. THIS SHALL INCLUDE THE USE OF VARIABLE ARC NOZZLES (VAN) AND PRESSURE COMPENSATING SCREENS (PCS). THE SELECTION OF THE BEST DEGREE OF ARC TO FIT THE SITE AND THROTTLING OF THE FLOW CONTROL AT EACH VALVE TO FIND THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

THE ENTIRE SYSTEM SHALL BE IN FULL AUTOMATIC OPERATION FOR ONE SEVEN (7) DAYS PRIOR TO ANY PLANTING.

V. SUBMITTALS

UPON COMPLETION THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. THESE AS-BUILTS SHALL SHOW THE LOCATIONS OF ALL POINTS OF CONNECTION, VALVES, CROSSINGS, QUICK COUPLERS AND OTHER MAINLINE COMPONENTS DIMENSIONED ACCURATELY FROM TWO (2) PERMANENT SITE OBJECTS. IN ADDITION THE CONTRACTOR SHALL SUPPLY TWO (2) CONTROLLER CHARTS SHOWING EACH VALVE'S COVERAGE AREA COLOR CODED TO THE CORRESPONDING CONTROLLER STATION.

THE CONTRACTOR MUST ALSO FURNISH TWO (2) SETS EACH OF THE FOLLOWING: ANY SPECIAL VALVE OR SPRINKLER ADJUSTMENT TOOLS, KEYS FOR THE CONTROLLER ENCLOSURES, QUICK COUPLER KEYS AND ANY OPERATION MANUALS FOR THE EQUIPMENT INSTALLED.

VI. GUARANTEE

THE CONTRACTOR'S WORK SHALL BE FULLY GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED AT NO COST TO THE OWNER.

VII. MAINTENANCE

A QUALIFIED SUPERVISOR SHALL BE RESPONSIBLE FOR OPERATING THE IRRIGATIONS SYSTEMS, ADJUSTING THE CONTROLLERS AND OBSERVING THE EFFECTIVENESS OF THE IRRIGATION SYSTEM.

CHART ALL CONTROLLER PROGRAMS, RECORDING DATE, TIME, LENGTH OF WATERING FOR EACH STATION. RESET CONTROLLER AT LEAST MONTHLY TO ACCOUNT FOR SEASONAL VARIATIONS.

INSPECT AND ADJUST THE ENTIRE IRRIGATION SYSTEM WEEKLY DURING APRIL THRU OCTOBER AND BI-WEEKLY FOR THE REST OF THE YEAR. CHECK FOR LEAKS, NET AND DRY SPOTS. USE A MOISTURE SENSING DEVICE TO EVALUATE ACTUAL SOIL MOISTURE. OBSERVE NOZZLES FOR PROPER PATTERN AND PRESSURE.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
2	02/03/2021	100% ZONING	FA
3	03/05/2021	REVISED 100% ZONING	FA
4	04/19/2021	REVISED 100% ZONING	FA
5	06/30/2021	REVISED 100% ZONING	FA
6	09/03/2021	REVISED 100% ZONING	FA
7	11/09/2021	REVISED 100% ZONING	FA
8	11/18/2021	REVISED 100% ZONING	FA
A	02/11/2022	PLANNING COMMENTS	FA



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PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED

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DOWNTOWN

FRESNO

PSL# 655464

640 R STREET (CIT)
FRESNO, CA 93721

SHEET TITLE:

LANDSCAPE DETAILS

L-2

LANDSCAPE DETAILS

APPL. NO. P21-06304 EXHIBIT L-3 DATE 02/16/2022

PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

0 3' 6' 12'
SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

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