

Exhibit F – Exhibits (Site Plan, Elevations, Floor Plans, and Landscape Plan)

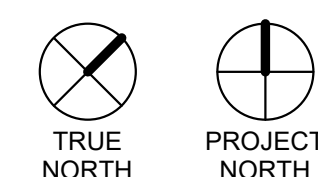
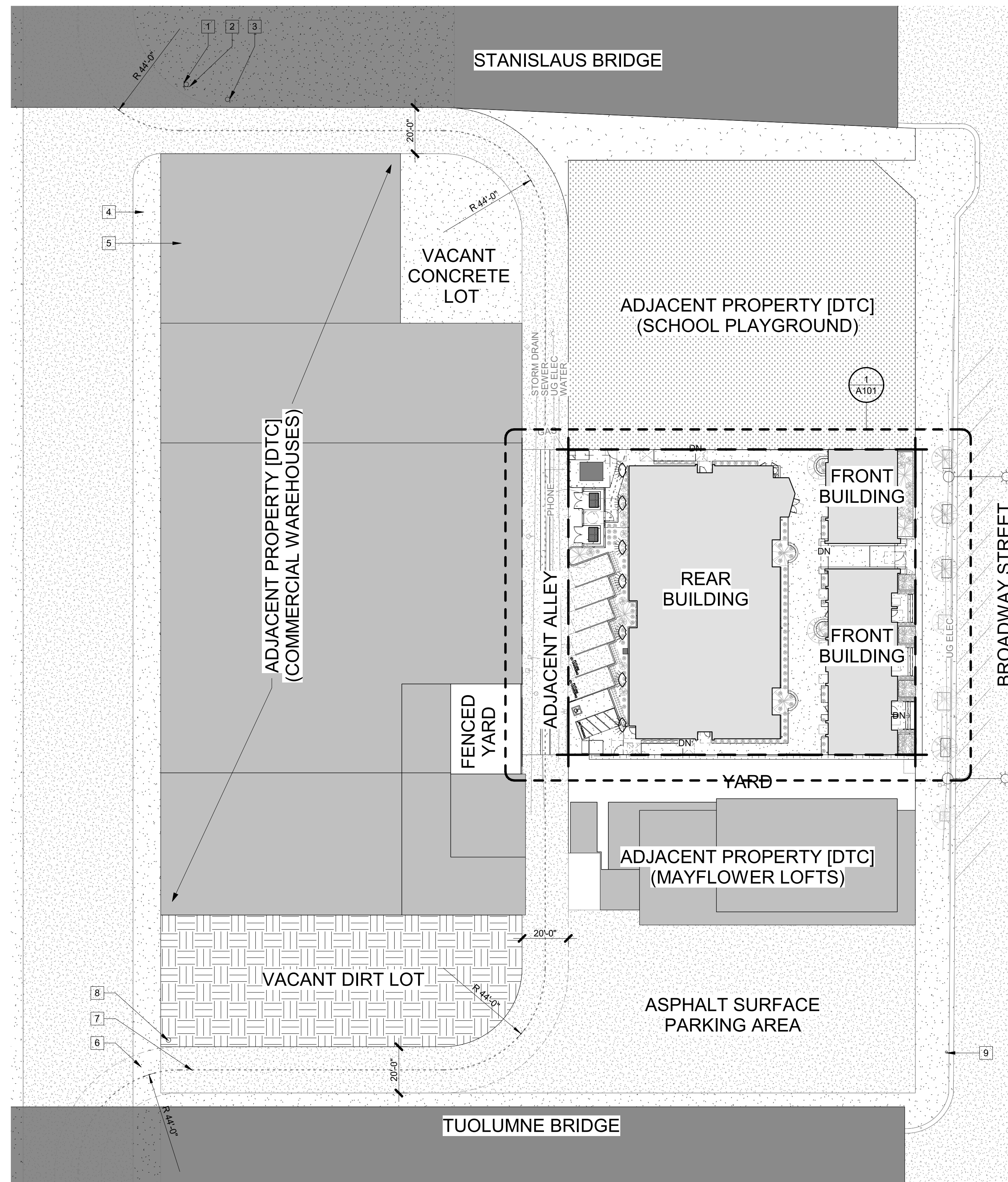
APPL. NO. P21-05557 EXHIBIT A-1 DATE 03/30/2022

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

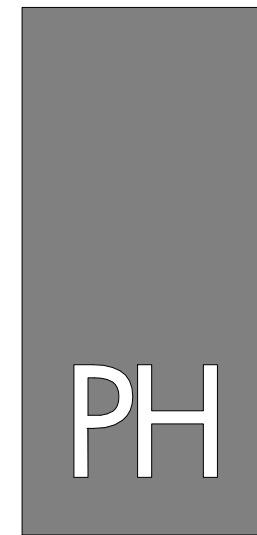
CITY OF FRESNO DARM DEPT



1 Site Plan - Proposed (Overall)
1" = 30'-0"

Keynotes

- 1 (E) "Do Not Enter" sign to remain
- 2 (E) "One-Way" sign to remain
- 3 (E) "Stop" sign to remain
- 4 (E) concrete sidewalk to remain
- 5 (E) building to remain
- 6 (E) concrete drive approach to remain
- 7 Centerline of turning radius for trash and fire access
- 8 New signage "ALLEY, NO STOPPING" as needed by Public Works.
- 9 (E) fire hydrant to remain, approx. 129' south of south property line.



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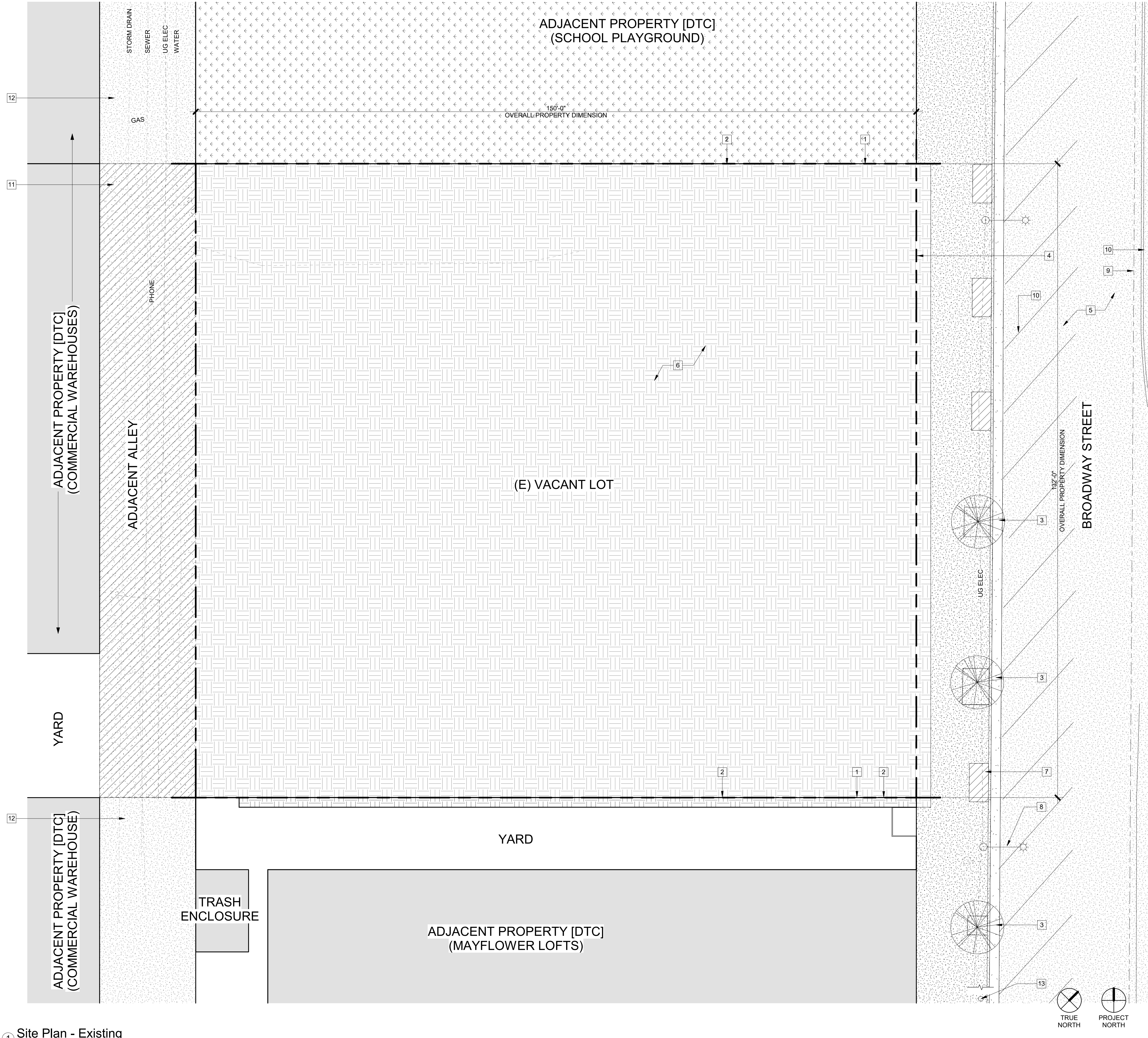
PROJECT: **Reza Assemi + Will Dyck**
DADA Lofts
1433 Broadway, Fresno, CA 93721
SHEET: Overall Site Plan

DRAWING SET INFORMATION:	
09.22.21	DP Submittal

[illegible]

PROJECT NUMBER:
2020-43

SHEET NUMBER:
A099



General Notes

- 1) Keynotes apply to this sheet only.
- 2) Field verify all (E) conditions prior to commencement of work.
- 3) Protect all (E) underground and overhead utilities unless noted as a part of the scope of work.
- 4) Two (2) working days prior to excavation operations within the street right of way and/or utility easements, all existing underground utilities shall be located by Underground Services Alert (USA). Call (800) 642-2444.
- 5) Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
- 6) Repair all damaged and/or off-grade concrete street improvements, as determined by the Construction Management Engineer, prior to occupancy.
- 7) Current vacant site is being used as parking for the adjacent "Mayflower Lofts" building, but is not under a formal agreement. All parking on this property will be discontinued as the parcel is developed.

Keynotes

- 1 Remove (E) fence at property line as needed for new construction
- 2 (E) metal fence at property line to remain
- 3 (E) Ash tree in tree well irrigated by city to remain, protect from damage; typ.
- 4 (E) property line to remain
- 5 (E) Street to remain
- 6 (E) vacant dirt lot
- 7 DEMO SITE
- 8 (E) Street light (metal pole) to remain
- 9 (E) centerline to remain
- 10 (E) Painted striping to remain
- 11 (E) asphalt paving in alley between property lines to be demolished and prepared for new construction
- 12 (E) AC paving to remain
- 13 (E) fire hydrant to remain, approx. 129' south of south property line.

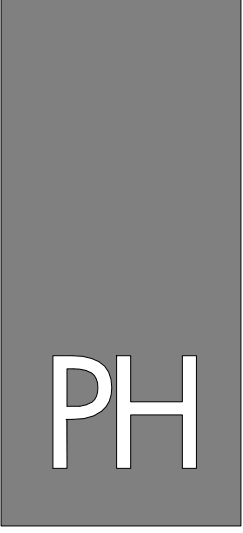
APPL. NO. P21-05557 EXHIBIT A-2 DATE 03/30/2022

PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT



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PROJECT: Reza Assemi + Will Dyck

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Site Plan - Existing

DRAWING SET INFORMATION:

09.22.21 DP Submittal

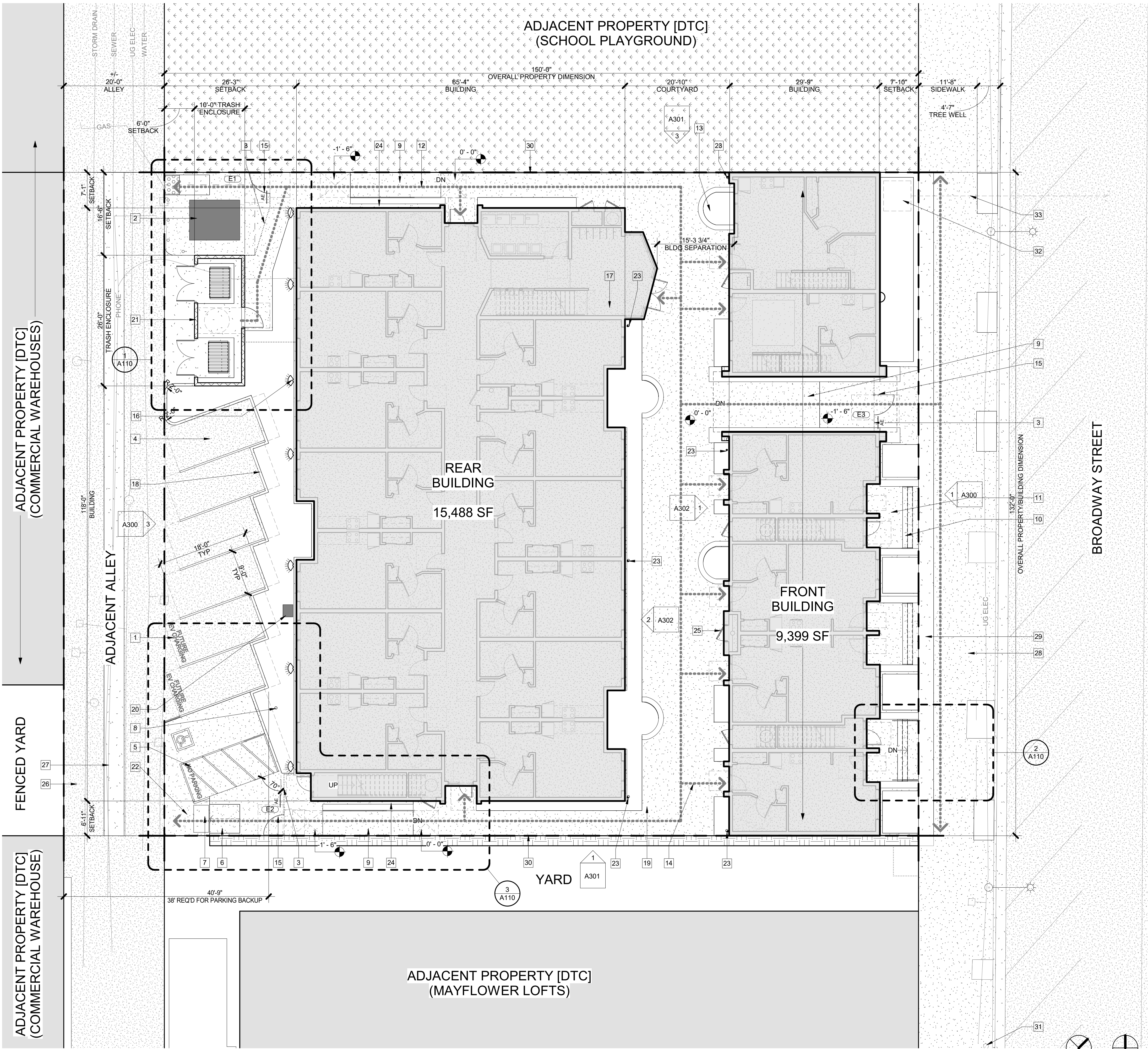
REVISIONS:

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A100



General Notes

- Keynotes apply to this sheet only.
- Items shown but not noted are to be considered existing to remain, typ.u.n.o.
- Trash and recycling will be constructed in accordance with City of Fresno standard drawings, u.n.o.
- All proposed exterior lighting shall be shielded to reduce or eliminate light pollution in compliance with applicable codes.
- All setbacks are zero minimum, therefore no setback lines are shown.
- Note that commercial vehicle access to the buildings and uses across the alley from the project may block resident access/parking, especially during loading/unloading.

Keynotes

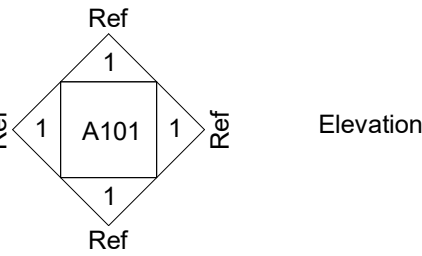
- 12" high white painted text "CARPOOL/VAN/EV"
- Transformer, see Electrical
- 8'-0" high decorative steel fence
- Parking stall with asphalt paving finish per City of Fresno standards P-41, P-42 and P-43, typ.
- Accessible parking stall/loading zone.
- Concrete straight type ramp, typ.; see 4/A120
- Truncated domes, see detail 4/A121
- Van-accessible parking sign, typ. See 3/A120.
- Concrete ramp, see 4/A120
- Concrete steps up to porch, typ.
- Raised concrete porch to residential units, typ.
- Accessible route
- Concrete 18"H x 18"W curving seat wall around tree, typ.
- Accessible entry to dwelling unit, typ.
- Accessible pedestrian gate in decorative steel fence with knox box for FD access; see 13, 14, 15/A120.
- Decorative wall pack light, shielded per CEC and City requirements, typ.
- Wall mounted bicycle racks, (3) qty. See code analysis on G001.
- 6" concrete curb, typ.
- Concrete slab at grade for courtyard/walkways, typ.
- Future electrical charging station; see Electrical
- Trash enclosure per city standards P-33A, B and C
- Concrete slab at grade at accessible loading area and parking stall
- Rain gutter downspout and drain inlet, see Civil.
- Space for electrical meters/cabinets
- Knox box at fire pump room door
- New asphalt paving at alley between property lines, typ. Per City of Fresno PW Standard P-12.
- New concrete gutter in alley between property lines per City of Fresno PW Standard P-12.
- (E) Concrete sidewalk/flatwork to remain
- Concrete sidewalk, see 6/A120.
- (E) metal fence at property line to remain
- (E) fire hydrant to remain, approx. 129' south of south property line.
- Area for future backflow preventers
- Approx. location of new water lateral, see Civil and Plumbing.

APPL. NO. P21-05557 EXHIBIT A-3 DATE 03/30/2022
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____
CITY OF FRESNO DARM DEPT

DEPRECIATED SHEET. CORRECTED EXHIBIT A-3 PROVIDED
6/6/2022

Site Plan Legend

- Path of travel and accessible route, min. 4' width. Where shown on existing concrete, survey has confirmed that flatwork has acceptable cross-slope for ADA compliance.
- Asphalt street paving, typ.
- Concrete, typ.
- Keynote Tag, see legend
- (E) street light to remain, typ.



PROJECT:

Reza Assemi + Will Dyck
DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Site Plan - Proposed

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A101

PH

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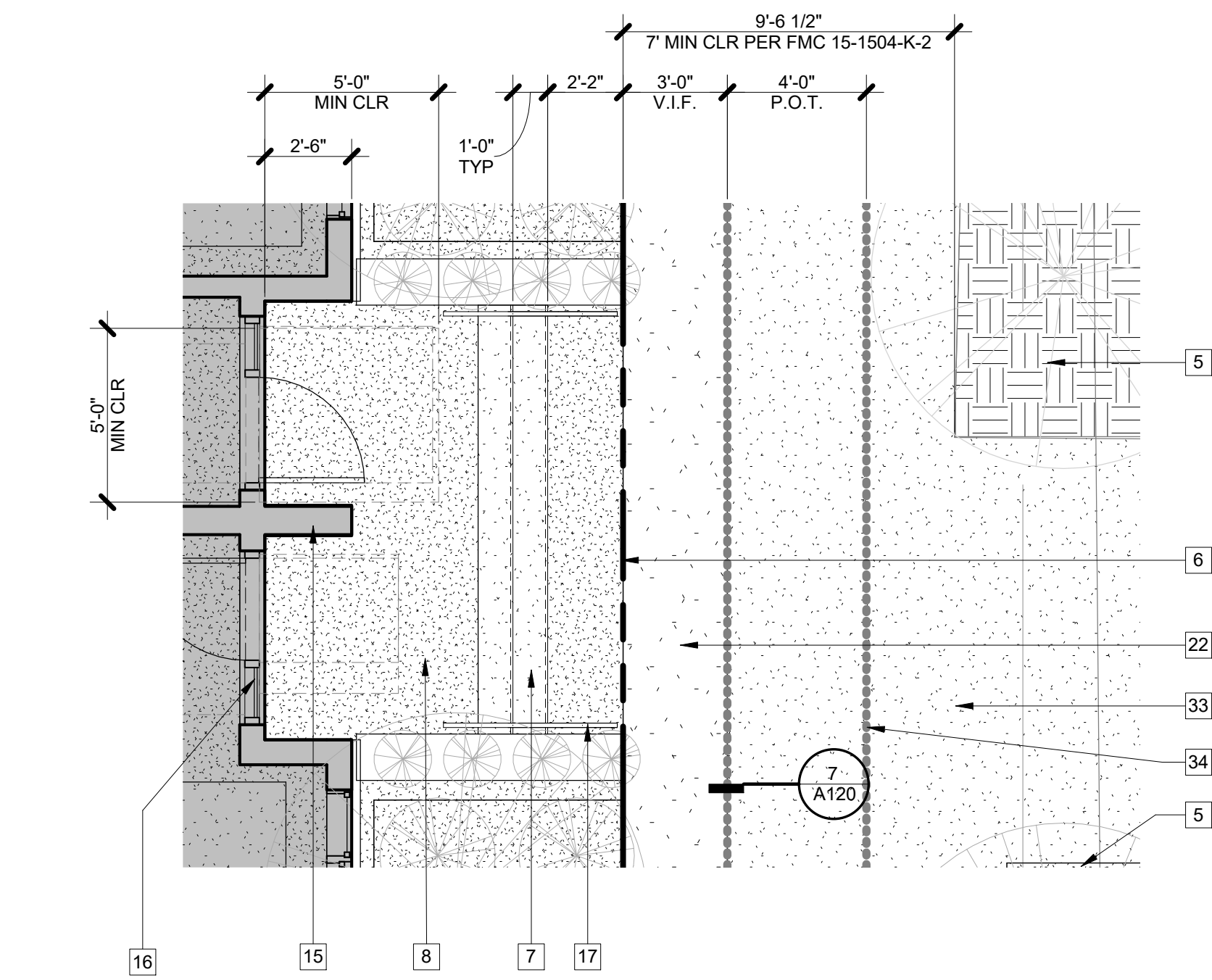
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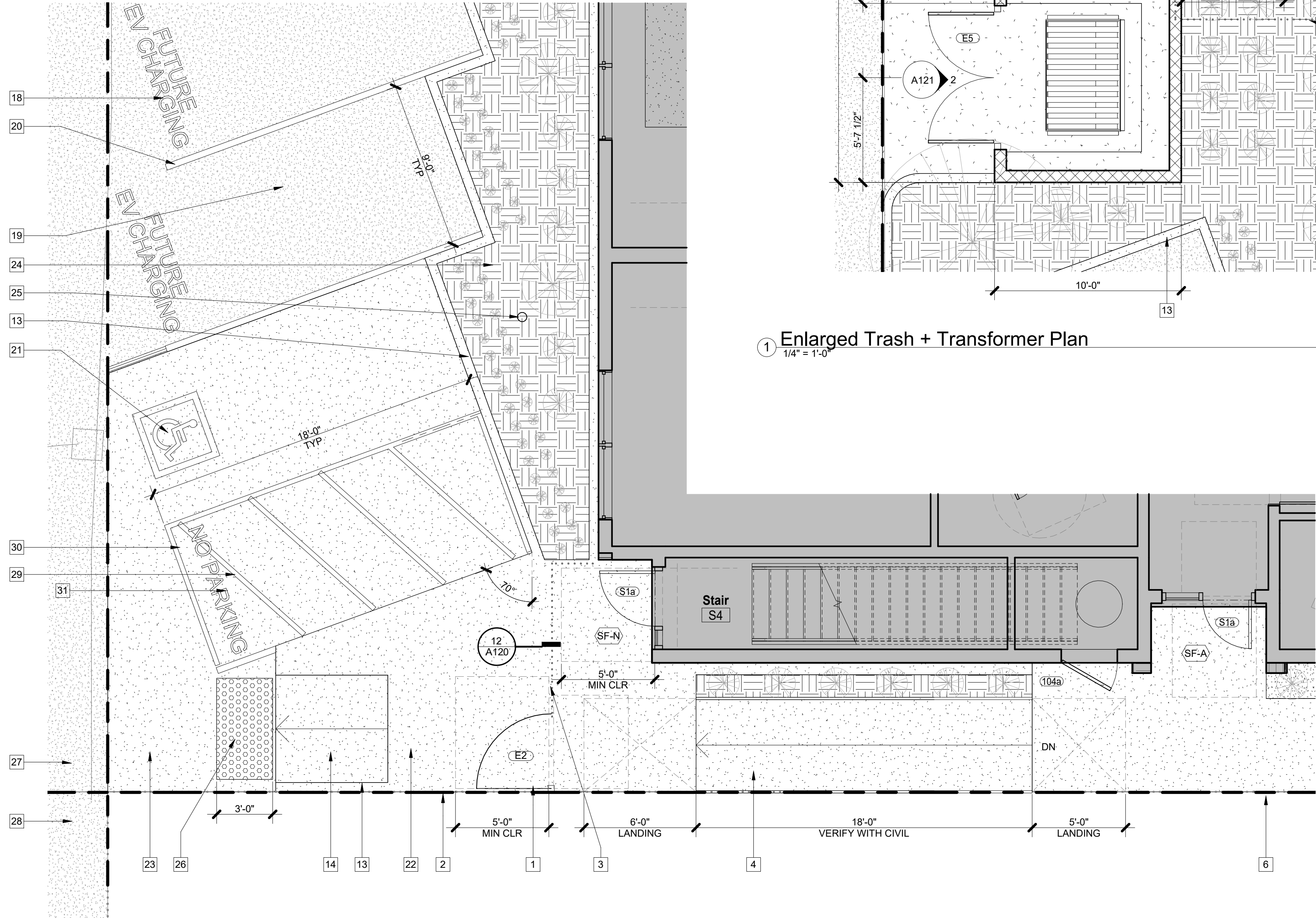
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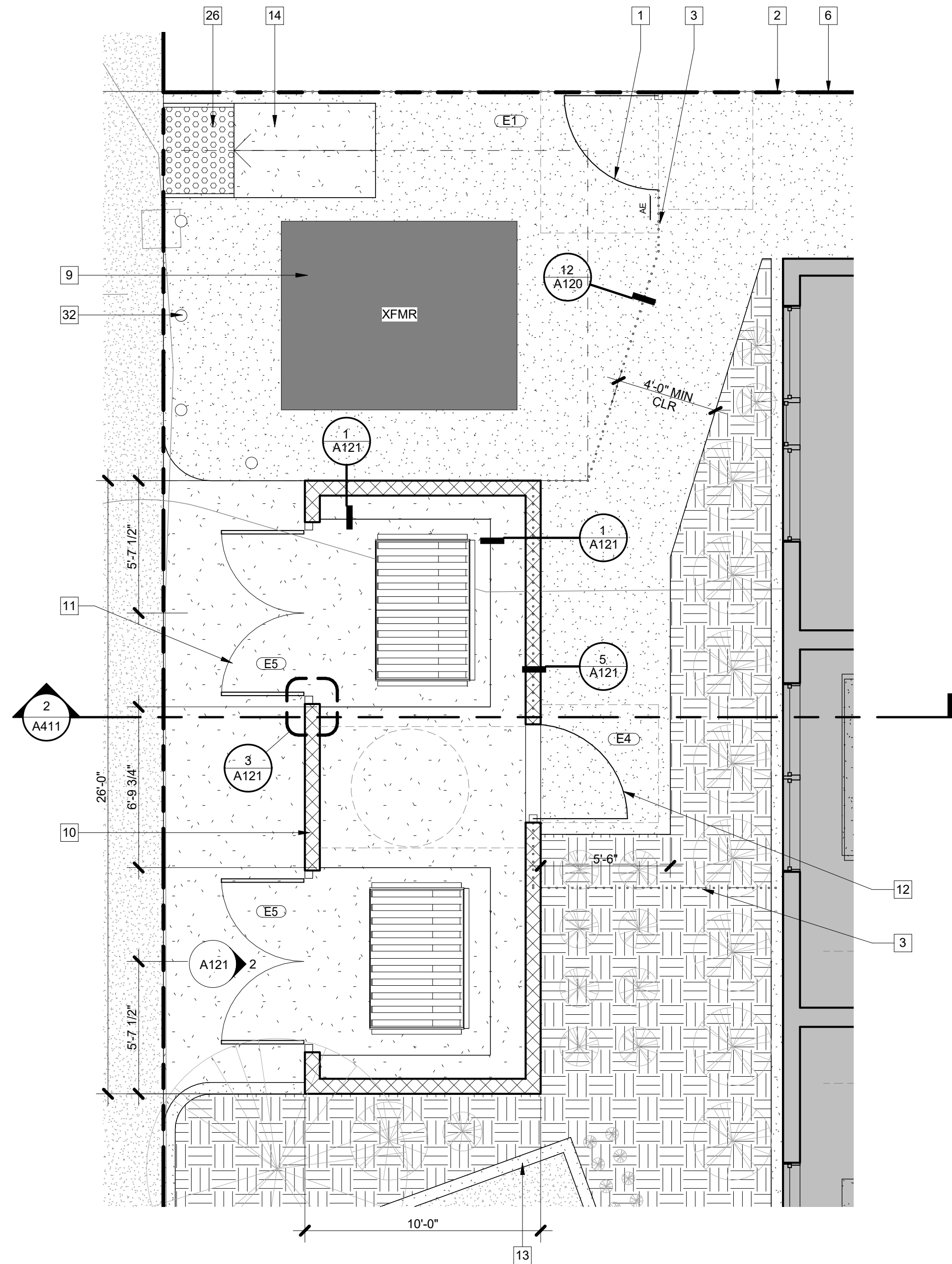
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2 Enlarged Site Plan - Raised Porch
1/4" = 1'-0"



3 Enlarged Site Plan - South Ramp
1/4" = 1'-0"



1 Enlarged Trash + Transformer Plan
1/4" = 1'-0"

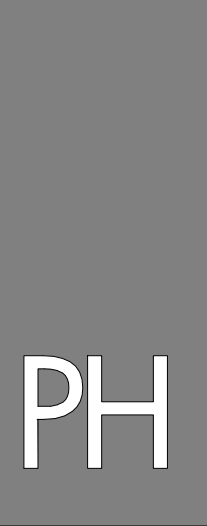
General Notes

- Keynotes apply to this sheet only.
- Items shown but not noted are to be considered existing to remain, typ.u.n.o.
- Trash and recycling will be constructed in accordance with City of Fresno standard drawings, u.n.o.
- All proposed exterior lighting shall be shielded to reduce or eliminate light pollution in compliance with applicable codes.
- All setbacks are zero minimum, therefore no setback lines are shown.
- Note that commercial vehicle access to the buildings and uses across the alley from the project may block resident access/parking, especially during loading/unloading.

Keynotes

- 1 Accessible pedestrian gate in decorative steel fence with knox box for FD access; see 13, 14, 15/A120.
- 2 (E) metal fence at property line to remain
- 3 8'-0" high decorative steel fence
- 4 Concrete ramp, see 4/A120
- 5 (E) Ash tree in tree well irrigated by city to remain, protect from damage; typ.
- 6 (E) property line to remain
- 7 Concrete steps up to porch, typ.
- 8 Concrete slab, raised above grade with solid compacted backfill, typ.
- 9 Transformer; see Electrical
- 10 Trash enclosure per city standards P-33A, B and C
- 11 Double gate in trash enclosure, typ. See XX/XXXX
- 12 Accessible gate into trash enclosure per City Standards, see Door Schedule on A700
- 13 6" concrete curb; typ.
- 14 Concrete straight type ramp, typ.; see 4/A120
- 15 Wall, typ. See Floor Plans for Type.
- 16 Door, typ. See Floor Plans for Type.
- 17 Steel open pattern handrail at ramp/stair, typ. See 10/A120.
- 18 12" high white painted text "CARPOOL/VAN/EV"
- 19 Parking stall with asphalt paving finish per City of Fresno standards P-41, P-42 and P-43, typ.
- 20 4" wide white parking stripe, see Civil
- 21 36"x36" painted ISA, typ.; see 1/A120.
- 22 Concrete sidewalk, see 8/A120.
- 23 Concrete slab at grade at accessible loading area and parking stall
- 24 Planter at grade, typ.; see Landscape
- 25 Van-accessible parking sign, typ. See 3/A120.
- 26 Truncated domes, see detail 4/A121
- 27 New asphalt paving at alley between property lines, typ. Per City of Fresno PW Standard P-12.
- 28 (E) AC paving to remain
- 29 4" blue or white stripe to contrast with surface below, 36" o.c.
- 30 4" border stripe, painted blue
- 31 12" high white painted text "NO PARKING"
- 32 Removable bollards as required by PG&E, typ. See 8/A120.
- 33 (E) Concrete sidewalk/flatwork to remain
- 34 Thick dotted line indicates 4' wide path of travel on existing sidewalk. Survey confirmed less than 2% cross slope for ADA compliance.

APPL. NO. P21-05557 EXHIBIT A-4 DATE 03/30/2022
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT



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PROJECT:
Reza Assemi + Will Dyck
DADA Lofts
1433 Broadway, Fresno, CA 93721
SHEET: Enlarged Site Plans

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A110

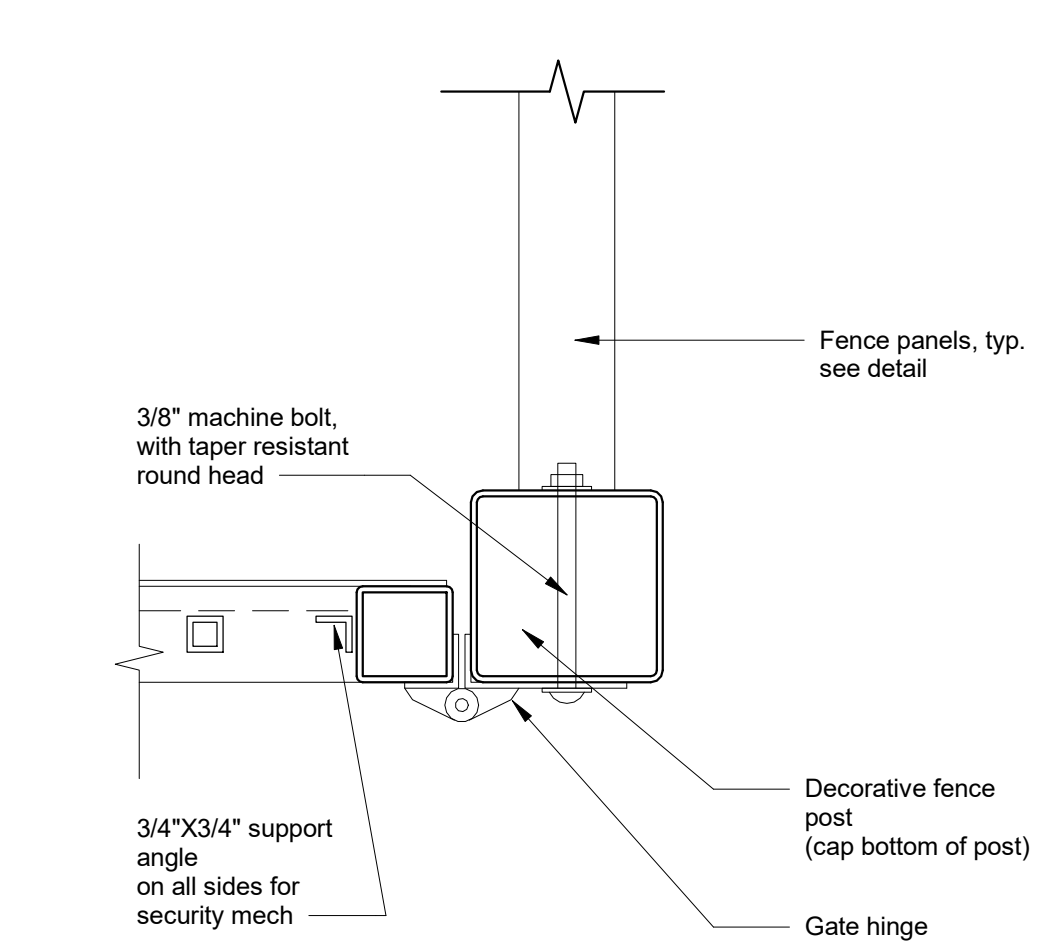
APPL. NO. P21-05557 EXHIBIT A-5 DATE 03/30/2022

PLANNING REVIEW BY _____ DATE _____

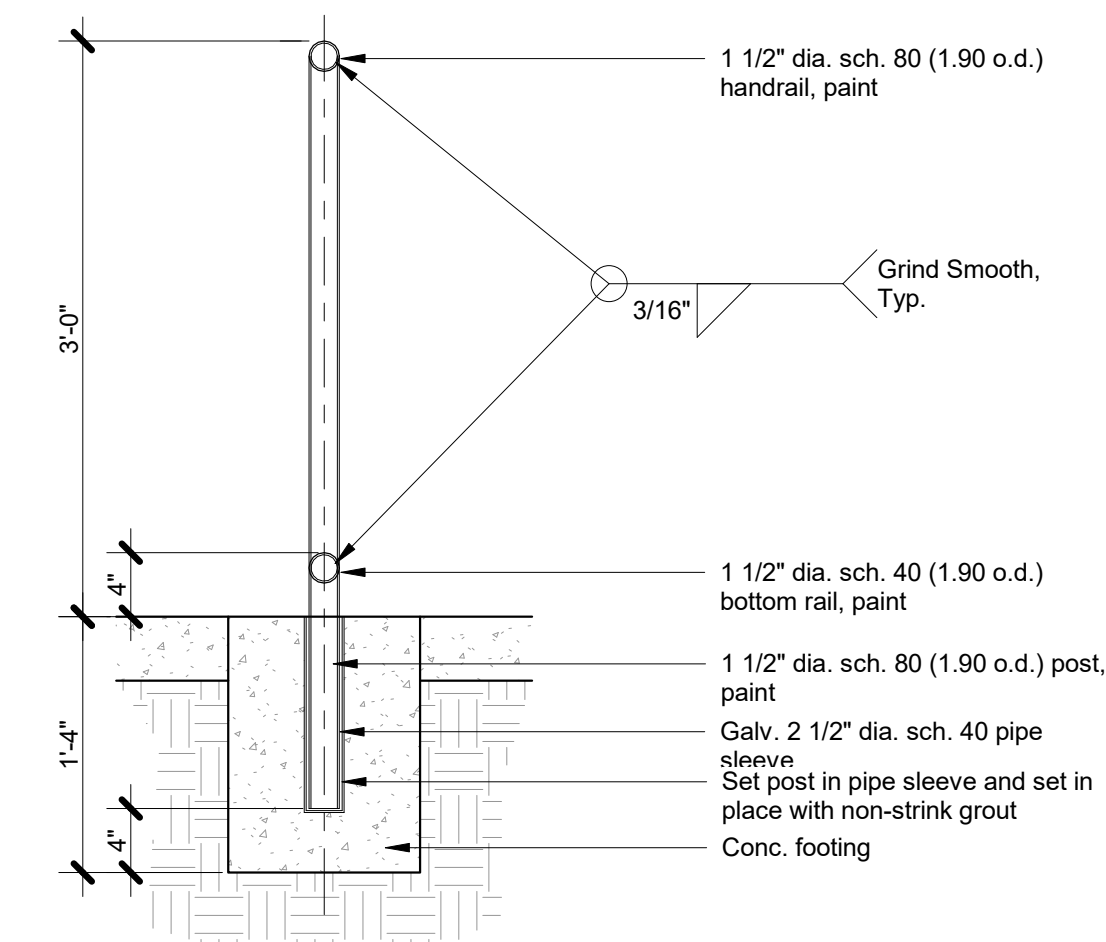
TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

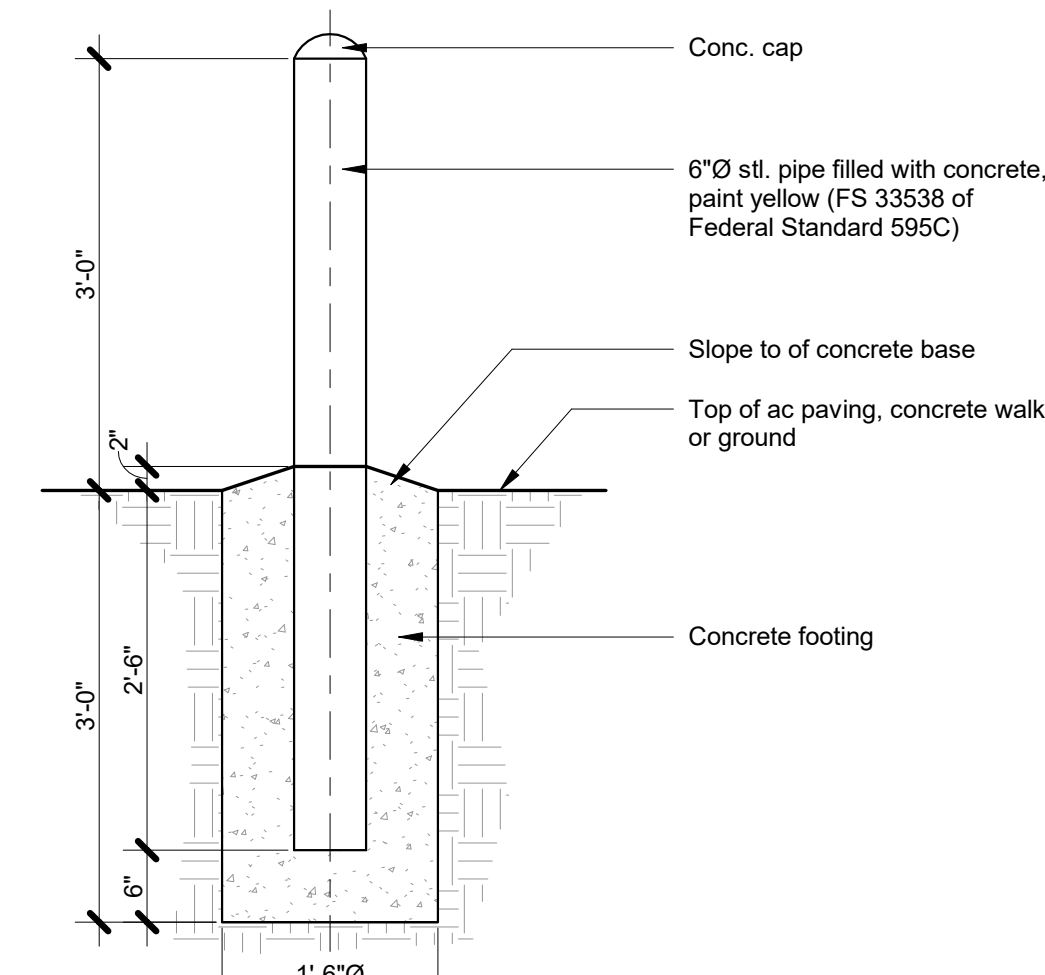
CITY OF FRESNO DARM DEPT



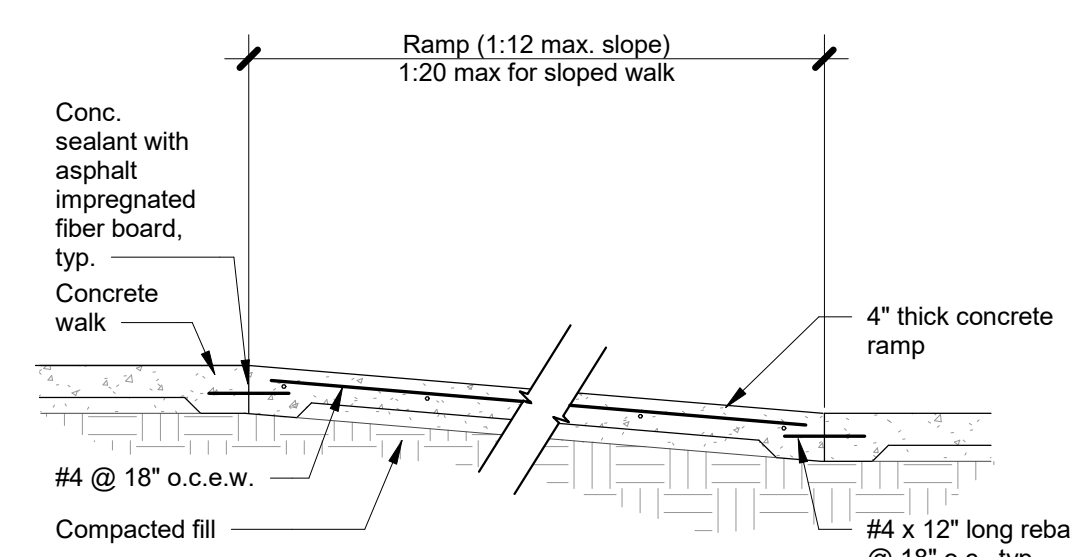
14 Ornamental Gate Hinge
3" = 1'-0"



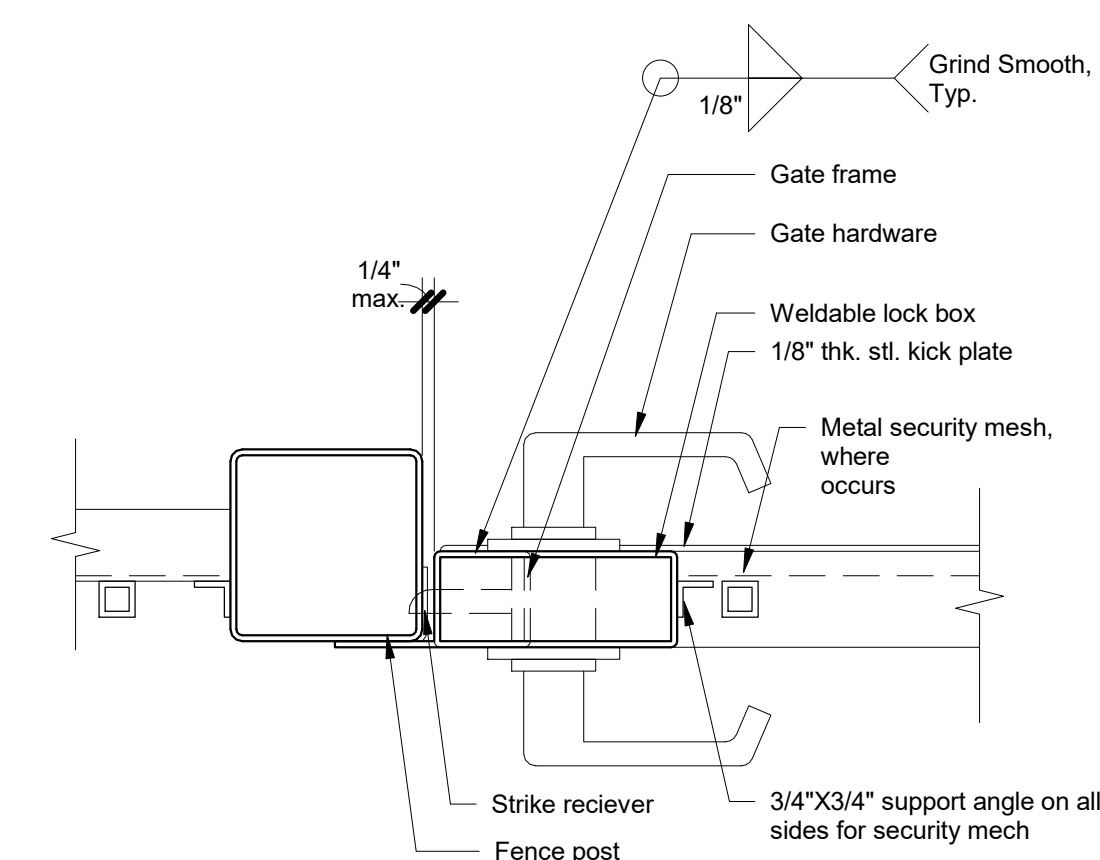
11 Handrail Section
1" = 1'-0"



8 Pipe Bollard
3/4" = 1'-0"

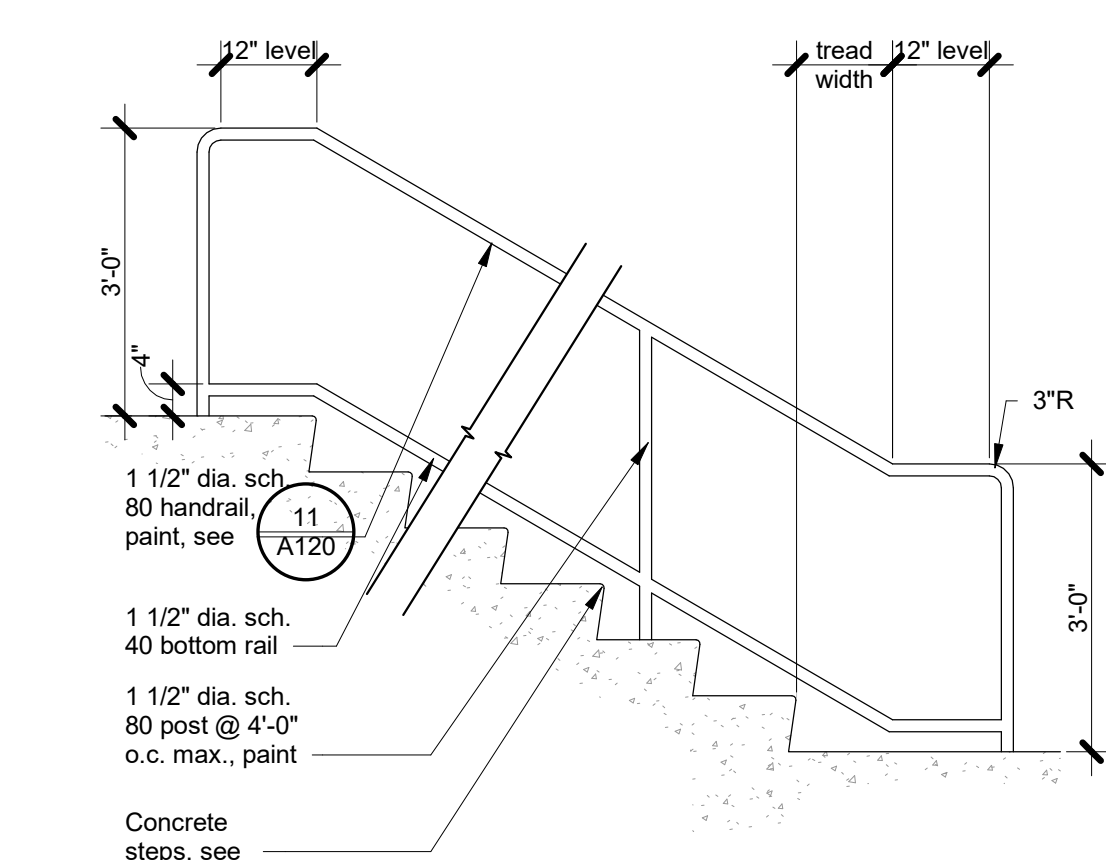


4 Concrete Ramp
1/2" = 1'-0"

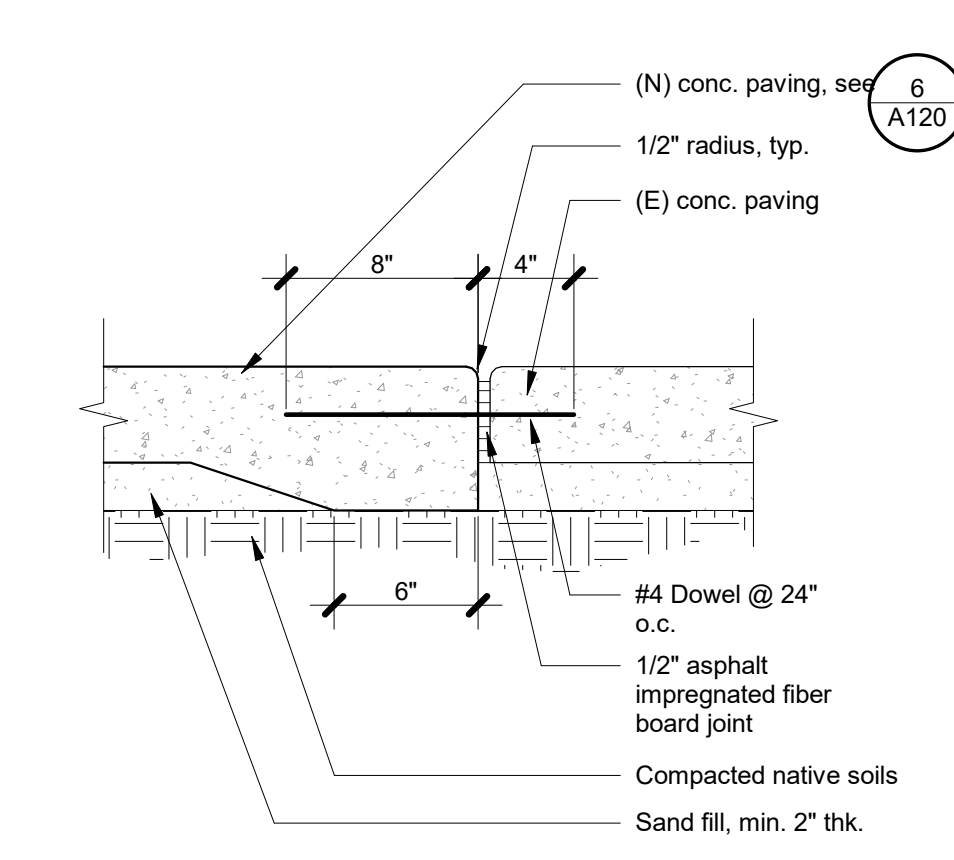


Note:
1. See finish hardware spec. for additional info.

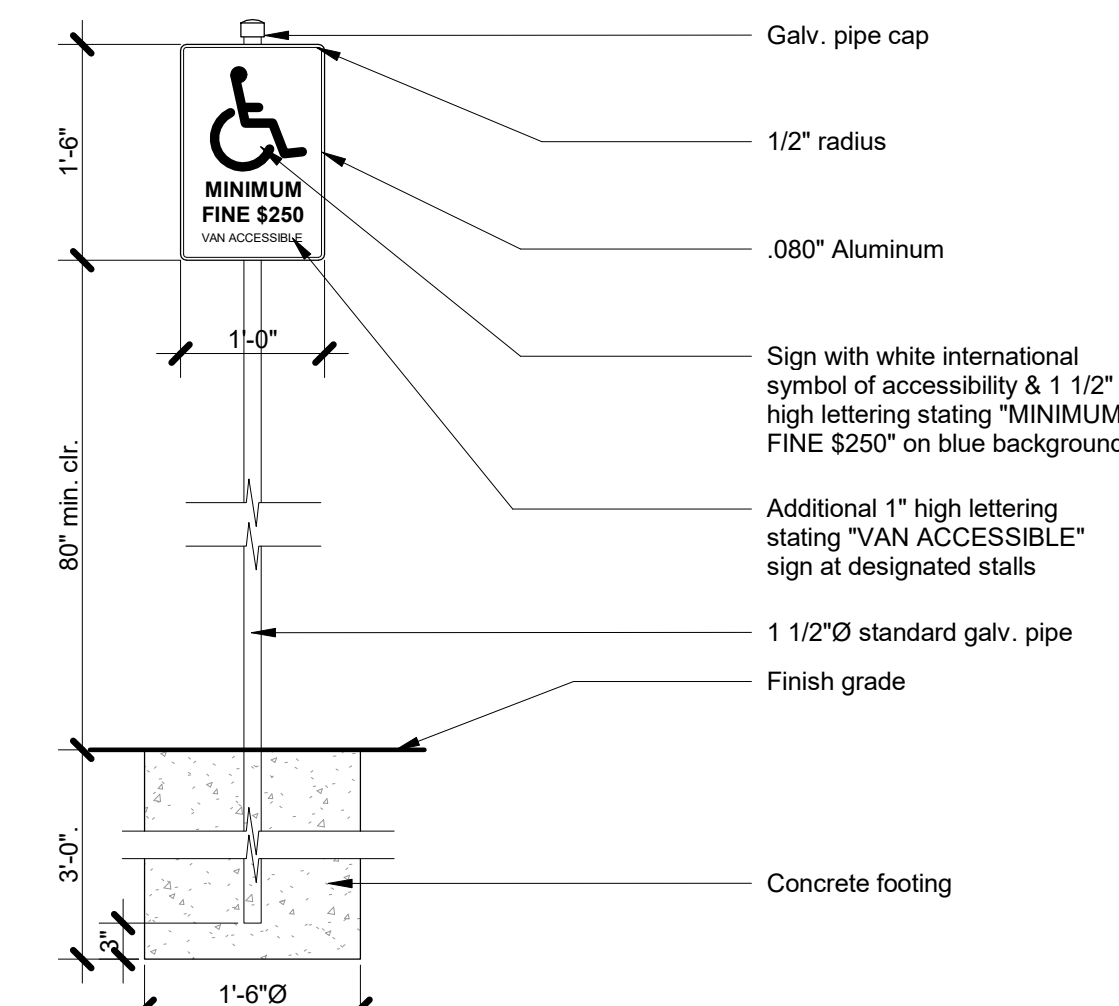
13 Ornamental Gate Hardware
3" = 1'-0"



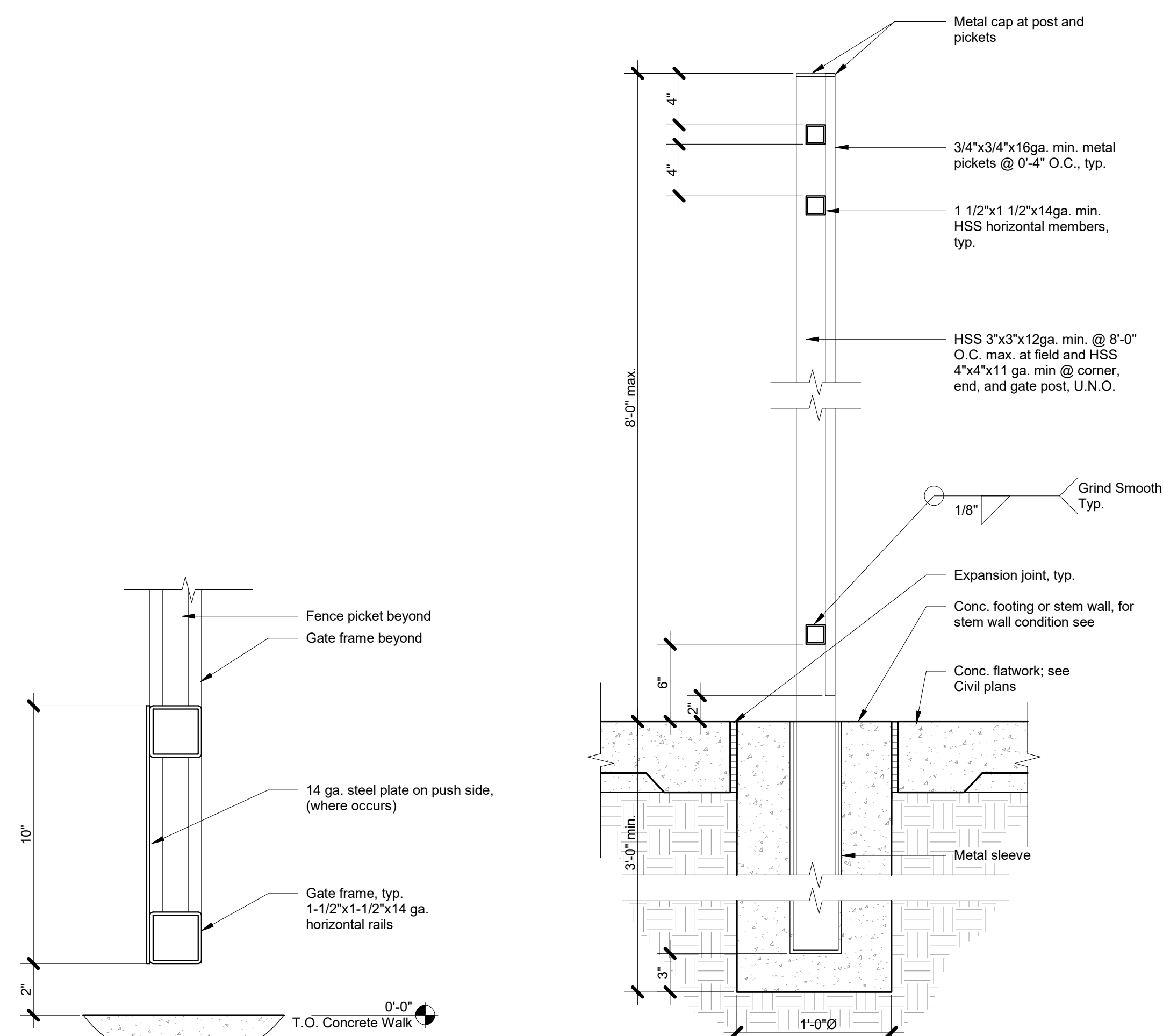
10 Open Handrail @ Stairs
1/2" = 1'-0"



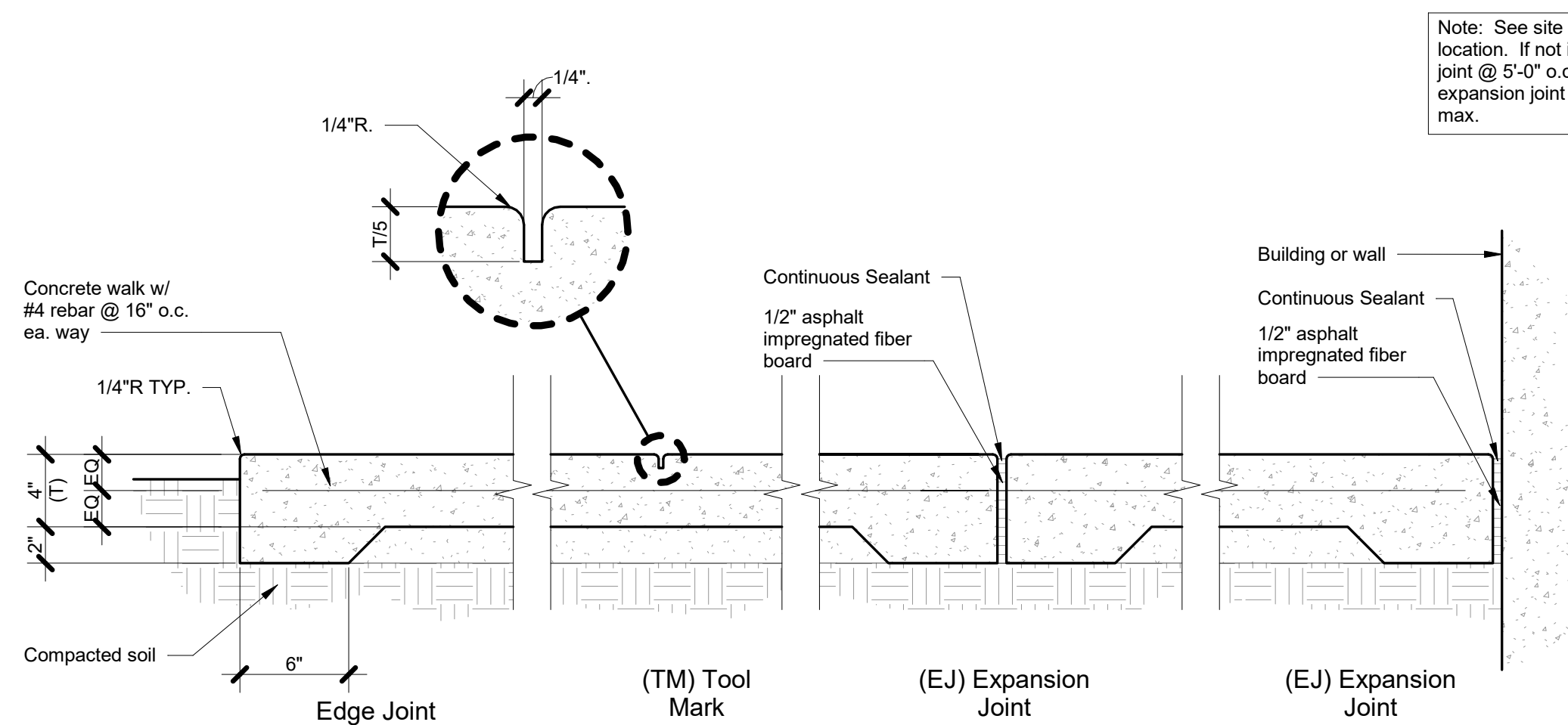
7 Concrete Walk at Existing Walk
1 1/2" = 1'-0"



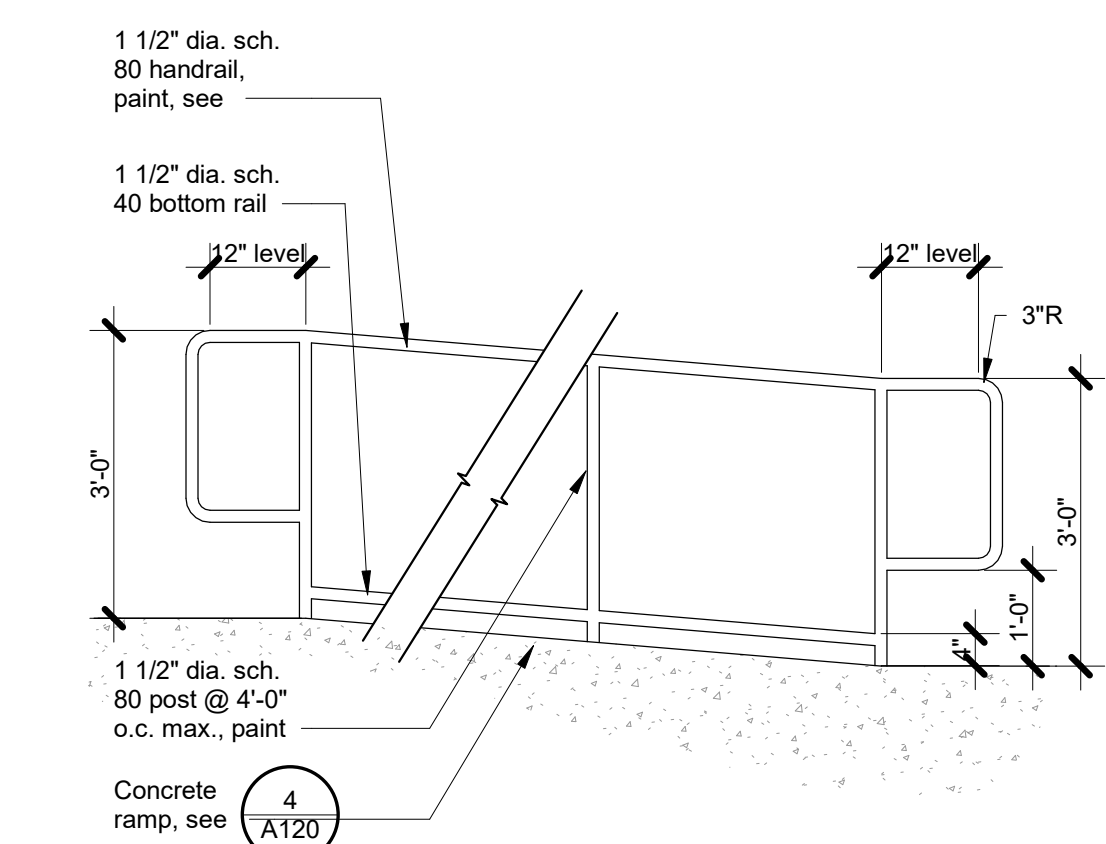
3 Accessible Parking Signs



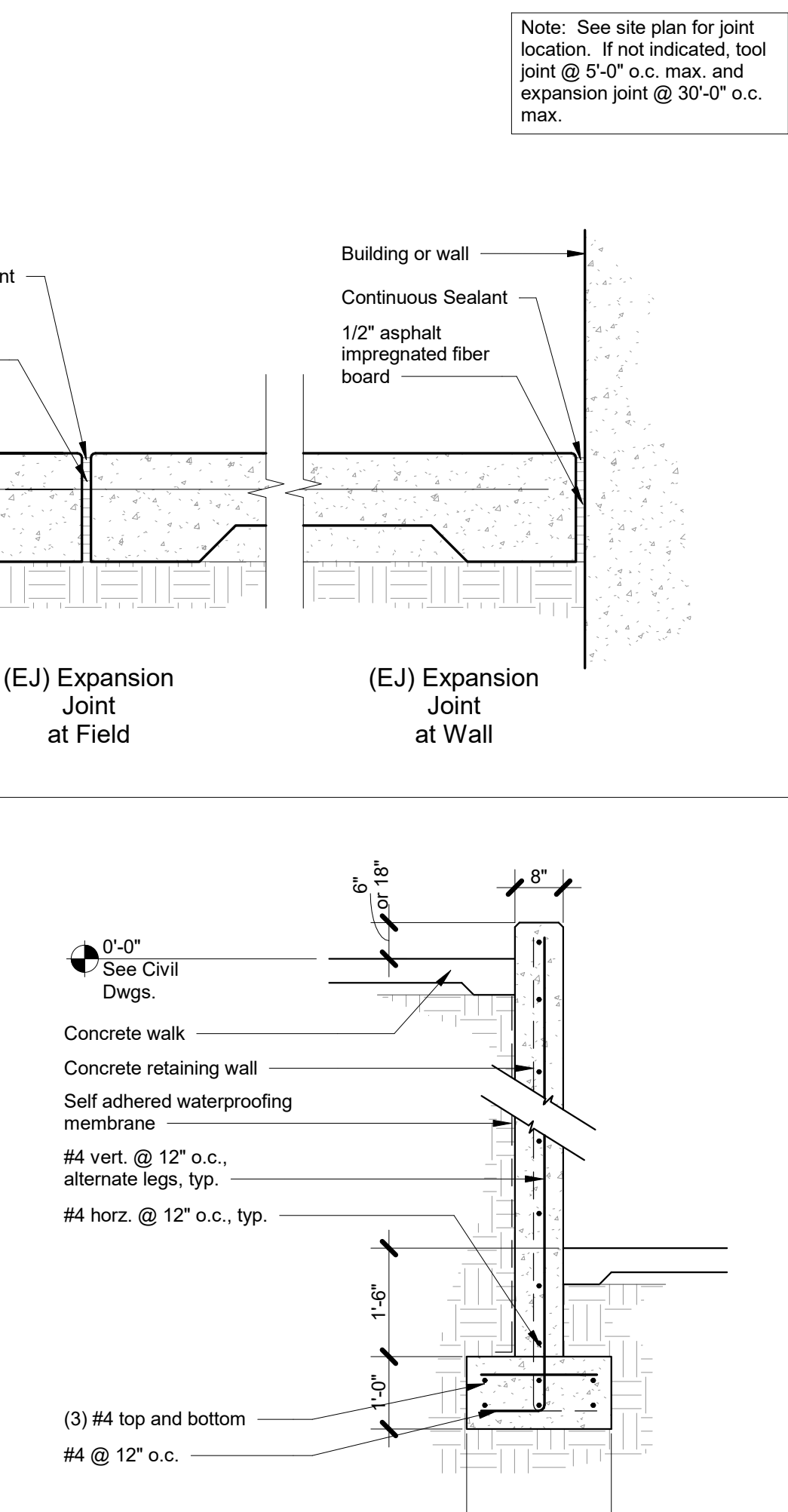
15 Ornamental Gate Kick Plate
3" = 1'-0"



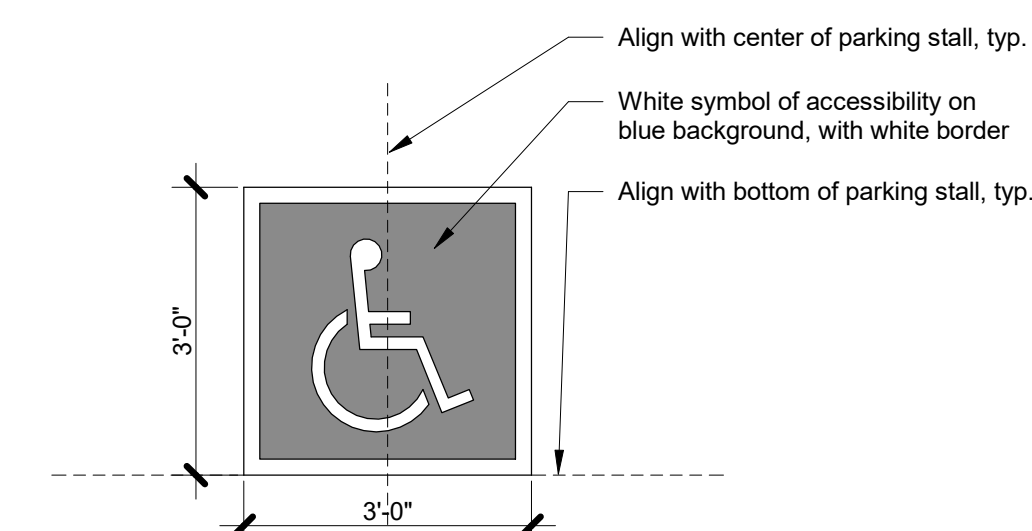
6 Concrete Walk
1 1/2" = 1'-0"



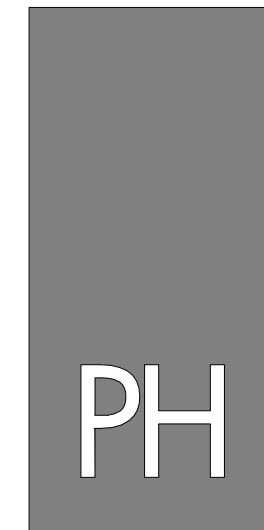
9 Open Handrail @ Ramp
1/2" = 1'-0"



5 Concrete Retaining Wall
1/2" = 1'-0"



1 Typical ADA Parking Symbol
1/2" = 1'-0"



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PROJECT: **Reza Assemi + Will Dyck**

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Site Details

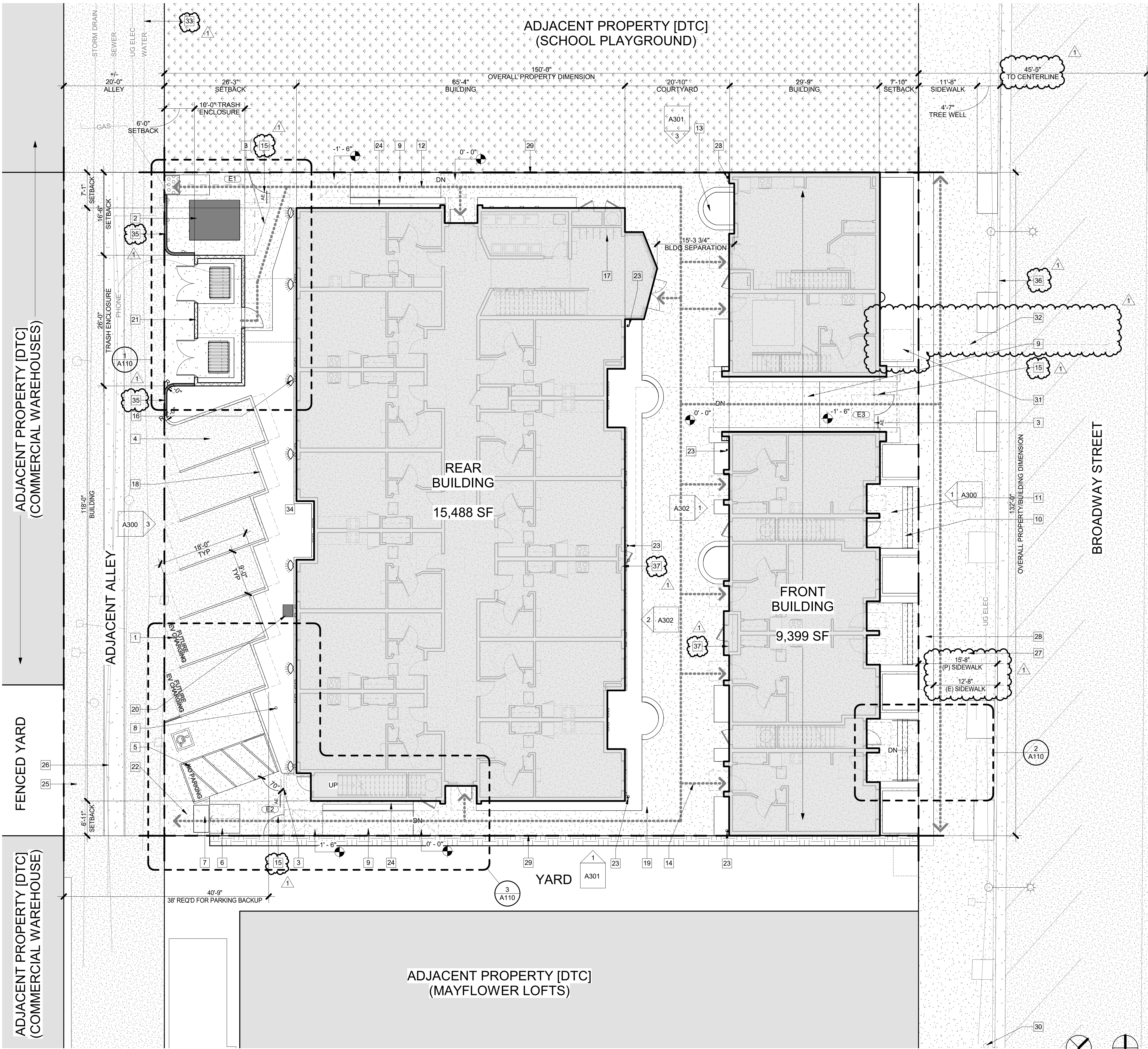
PROJECT:

DRAWING SET INFORMATION:	
09.22.21	DP Submittal

REVISIONS:

PROJECT NUMBER:
2020-43

SHEET NUMBER:
A120



General Notes

- Keynotes apply to this sheet only.
- Items shown but not noted are to be considered existing to remain, typ.u.n.o.
- Trash and recycling will be constructed in accordance with City of Fresno standard drawings, u.n.o.
- All proposed exterior lighting shall be shielded to reduce or eliminate light pollution in compliance with applicable codes.
- All setbacks are zero minimum, therefore no setback lines are shown.
- Note that commercial vehicle access to the buildings and uses across the alley from the project may block resident access/parking, especially during loading/unloading.

Keynotes

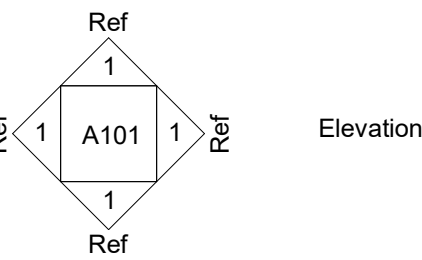
- 12" high white painted text "CARPOOL/VAN/VE"
- Transformer, see Electrical
- 8'-0" high decorative steel fence
- Parking stall with asphalt paving finish per City of Fresno standards P-41, P-42 and P-43, typ.
- Accessible parking stall/loading zone.
- Concrete straight type ramp, typ.; see 4/A120
- Truncated domes, see detail 4/A121
- Van-accessible parking sign, typ. See 3/A120.
- Concrete ramp, see 4/A120
- Concrete steps up to porch, typ.
- Raised concrete porch to residential units, typ.
- Accessible route
- Concrete 18"H x 18"W curving seat wall around tree, typ.
- Accessible entry to dwelling unit, typ.
- Accessible pedestrian gate (4' min width) in decorative steel fence with knox box for FD access; see 13, 14, 15/A120.
- Decorative wall pack light, shielded per CEC and City requirements, typ.
- Wall mounted bicycle racks, (6) qty. See code analysis on G001 and Spec 12 93 13.
- 6" concrete curb, typ.
- Concrete slab at grade for courtyard/walkways, typ.
- Future electrical charging station, see Electrical
- Trash enclosure per city standards P-33A, B and C
- Concrete slab at grade at accessible loading area and parking stall
- Rain gutter downspout and drain inlet, see Civil.
- Space for electrical meters/cabinets
- New asphalt paving at alley between property lines, typ. Per City of Fresno PW Standard P-12.
- New concrete gutter in alley between property lines per City of Fresno PW Standard P-12.
- (E) Concrete sidewalk/flatwork to remain, verify that cross slope does not exceed 2% for current ADA compliance, or replace as needed to achieve compliance. Repair/replace sidewalk drains if needed.
- Concrete sidewalk, constructed per City Standard P-5 and 6/A120.
- (E) metal fence at property line to remain
- (E) fire hydrant to remain, approx. 129' south of south property line.
- Area for future backflow preventers, FDC and PIV
- Approx. location of new water lateral, see Civil and Plumbing.
- (E) water line to remain in alley - not to serve this project. All proposed uses are to be served by the Broadway water main.
-
- Curb shall be painted red (top and side) and stenciling 3-inches high shall read "FIRE LANE NO PARKING" on the most vertical curb at least every 50 feet.
- (E) Concrete curb and gutter to remain
- Fire sprinkler riser closet with Knox box for FFD access, typ. See forthcoming FS drawings.

APPL. NO. P21-05557 EXHIBIT A-3 DATE 06/06/2022
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT

CORRECTED EXHIBIT BASED ON FIRE COMMENTS

Site Plan Legend

- Path of travel and accessible route, min. 4' width. Where shown on existing concrete, survey has confirmed that flatwork has acceptable cross-slope for ADA compliance.
- Asphalt street paving, typ.
- Concrete, typ.
- Keynote Tag, see legend
- (E) street light to remain, typ.



PROJECT:

Reza Assemi + Will Dyck
DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Site Plan - Proposed

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

NO.	DATE	DESCRIPTION
1	04.21.22	PD Comments

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A101

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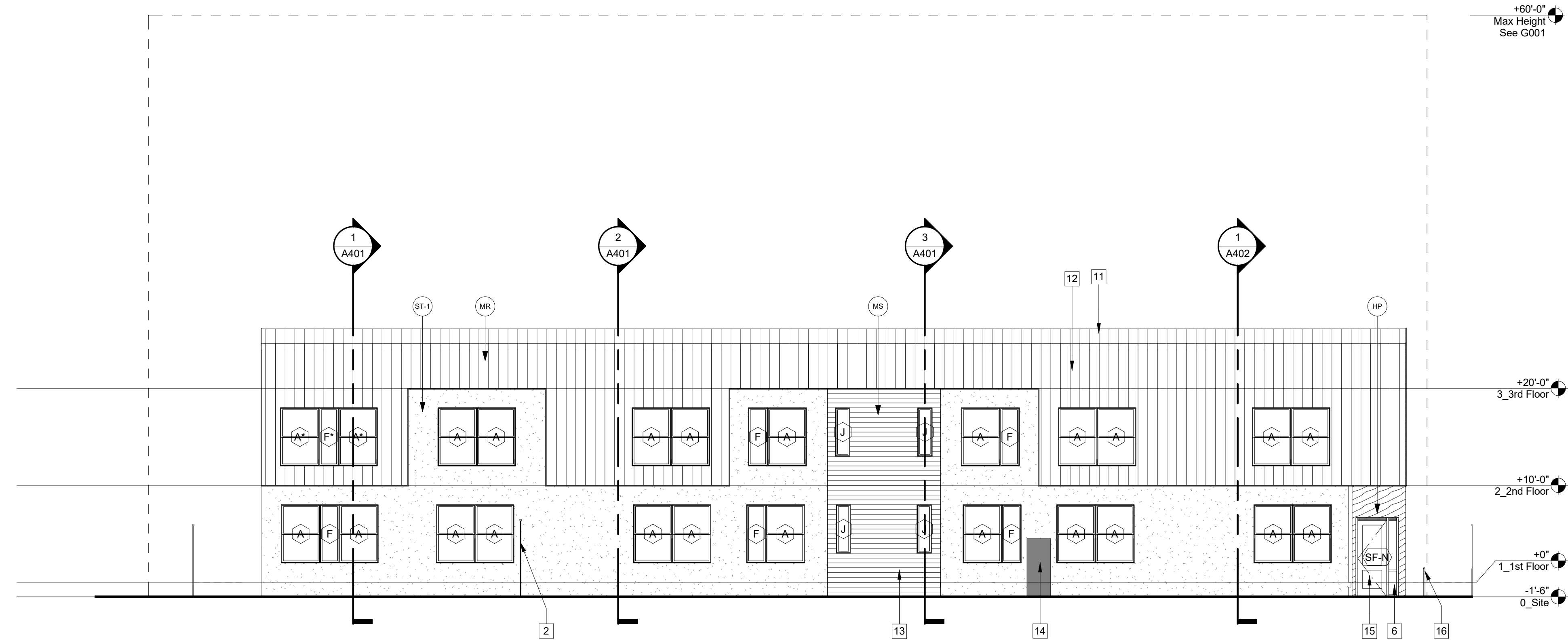
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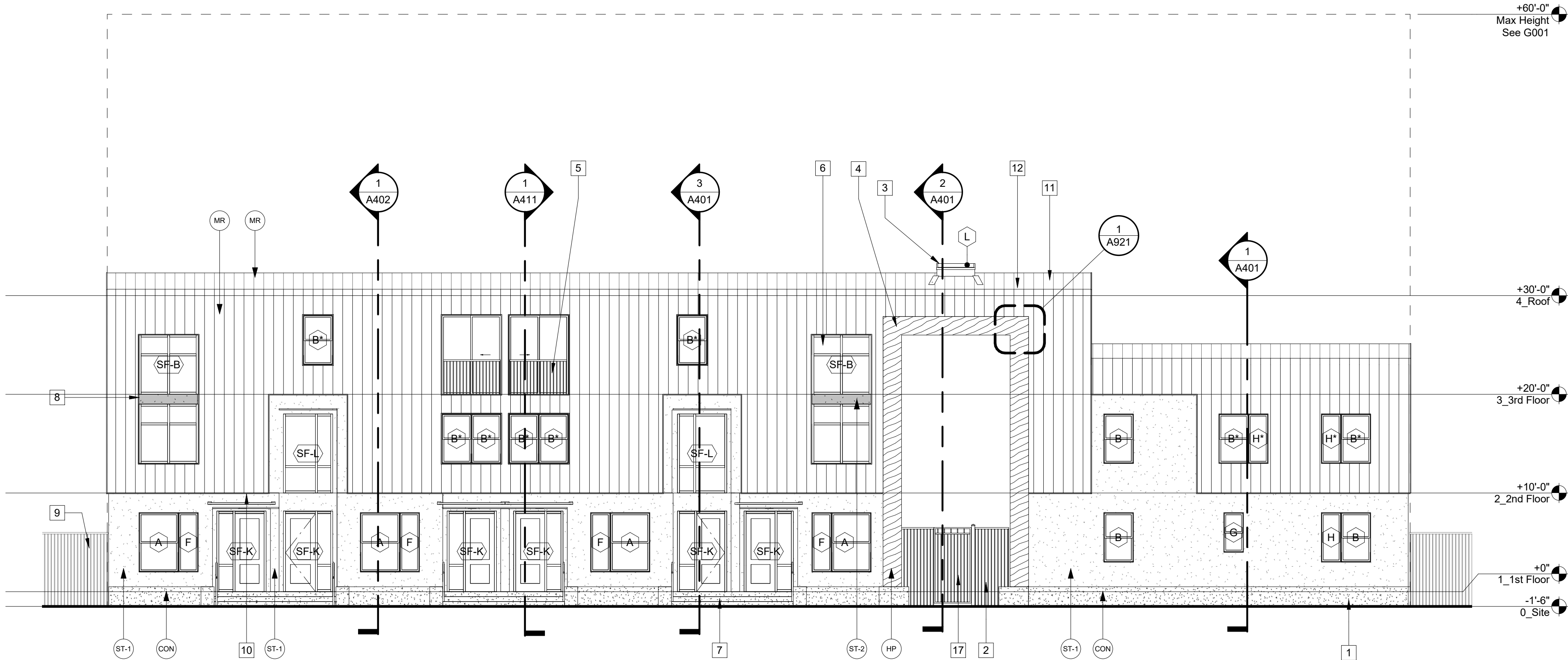
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③ Elevation - West - Alley
1/8" = 1'-0"



① Elevation - East - Broadway
1/8" = 1'-0"

General Notes

- Keynotes apply to this sheet only.
- For more information on windows and doors, see Schedules on A701-704.

Keynotes

- Thickened edge of building concrete slab, exposed at street side
- 8'-0" high decorative steel fence
- Skylight; see Roof Plan on A500 and Window Legend on A701
- Furred wall at entry with Hardie panel finish
- Juliet balcony with guardrail, typ.
- Aluminum storefront window system, see Window Legend on A701
- Concrete steps with 2" painted warning stripe at top and bottom treads
- Stucco finish between large storefront, see XX/XXXX
- (E) metal fence at property line to remain
- Metal fascia trim, typ.
- Metal roof, typ.
- Metal roof folds down onto vertical wall surface, typ.
- Metal panel finish on wall, typ.
- Future EV charging stations, typ.
- Full glazed door and frame; see Door Schedule A700
- Steel open pattern handrail at ramp/stair, typ. See 10/A120.
- Accessible pedestrian gate in decorative steel fence with knox box for FD access; see 13, 14, 15/A120.

Legend

- | | |
|--|------------------------------------------------|
| | Window tag, see A701 for more information. |
| | Storefront tag, see A701 for more information. |
| | Material tag, see A700 for finish information. |
| | CON Concrete finish, typ. See A700. |
| | ST-x Stucco finish, typ. See A700. |
| | ST-x Stucco finish, typ. See A700. |
| | ST-x Stucco finish, typ. See A700. |
| | HP Hardie paneling finish, typ. See A700. |
| | MR Metal roofing finish, typ. See A700. |
| | MP Metal paneling finish, typ. See A700. |
| | Plaster screed/reveal, typ. See & |

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PROJECT:
Reza Assemi + Will Dyck

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Exterior Elevations

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

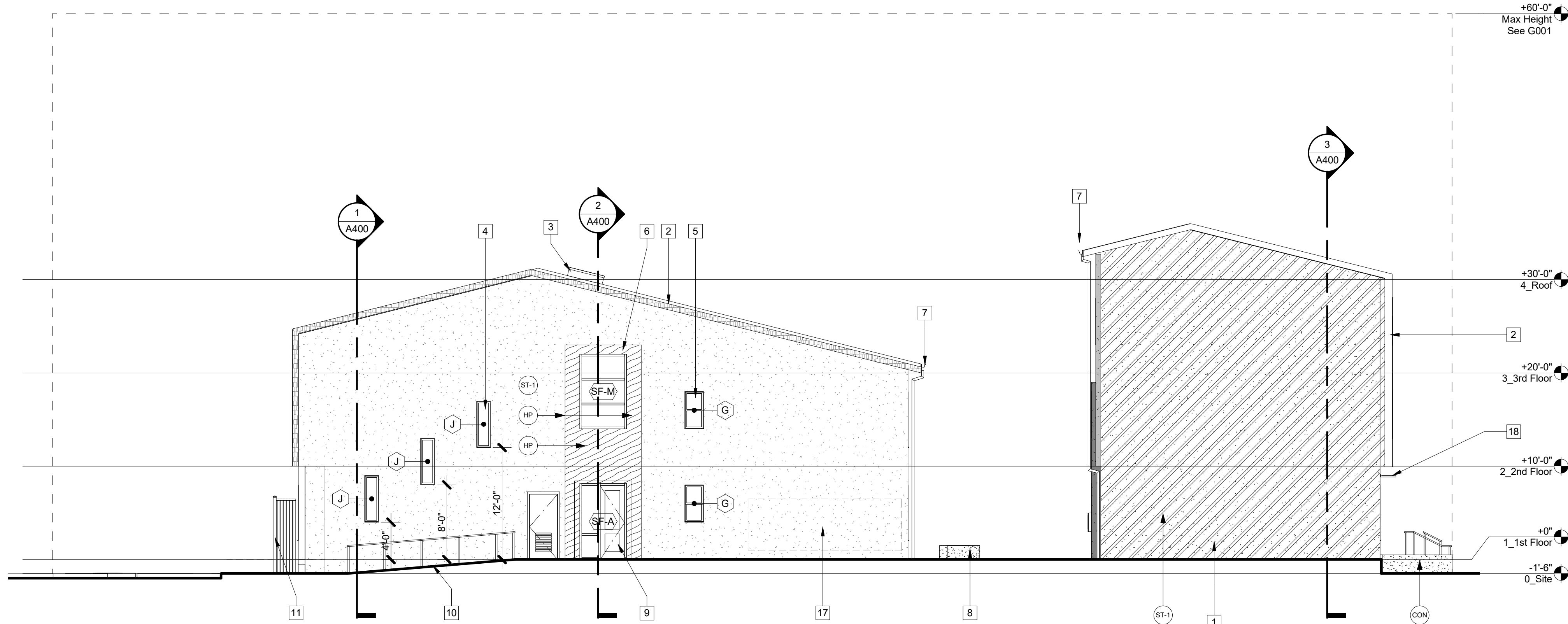
2020-43

SHEET NUMBER:

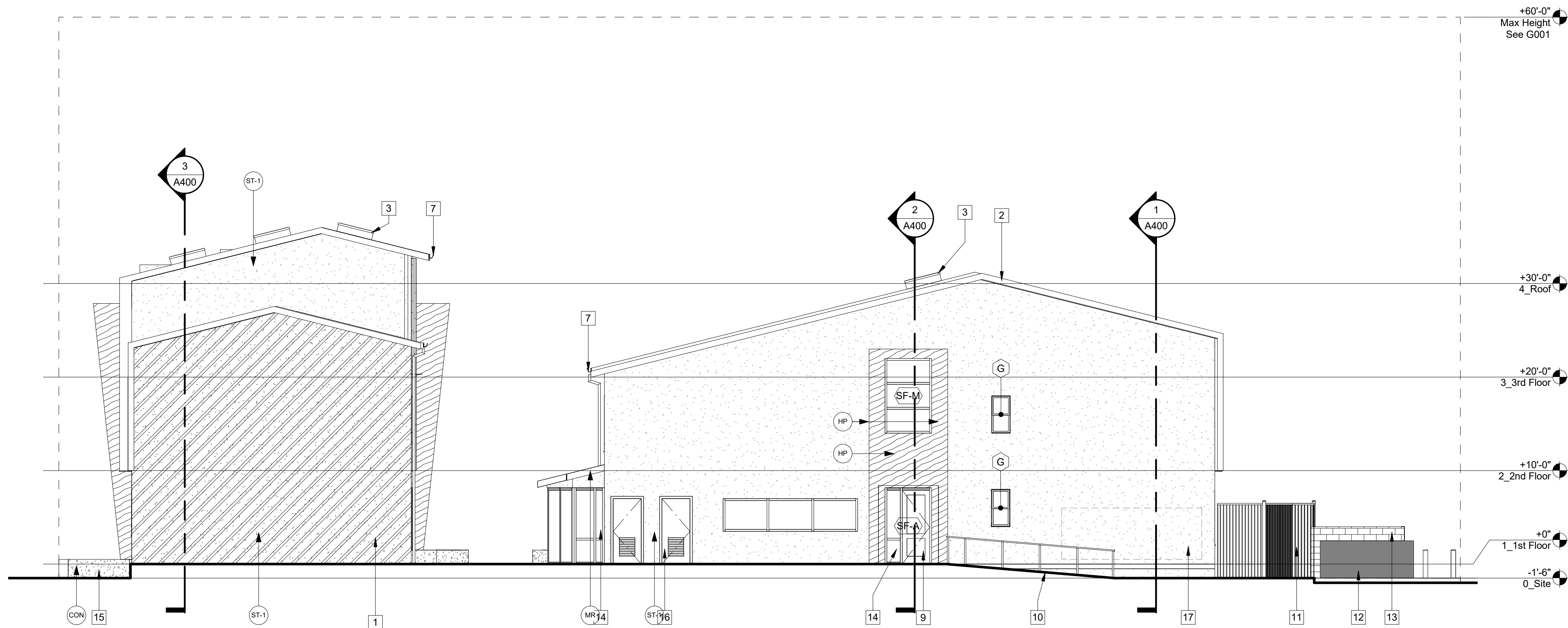
A300

APPL. NO. P21-05557 EXHIBIT E-2 DATE 09/30/2022
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT



1 Elevation - South - Mayflower
1/8" = 1'-0"



3 Elevation - North - Kepler
1/8" = 1'-0"

General Notes

- Keynotes apply to this sheet only.
- For more information on windows and doors, see Schedules on A701-704.

Keynotes

- Mural on stucco wall, typ.
- Metal fascia trim, typ.
- Skylight; see Roof Plan on A500 and Window Legend on A701
- Fixed vinyl window; see Elevations on A300-302 and Window Legend on A701
- Operable vinyl window; see Elevations on A300-302 and Window Legend on A701
- Furred wall at entry with Hardie panel finish
- Cont. galv. roof gutter
- Concrete 18"H x 18"W curving seat wall around tree, typ.
- Full glazed door and frame; see Door Schedule A700
- Concrete ramp, see 4/A120
- 8'-0" high decorative steel fence
- Transformer; see Electrical
- Trash enclosure per city standards P-33A, B and C
- Aluminum storefront window system, see Window Legend on A701
- Raised concrete porch to residential units, typ.
- Door per Schedule, see A700.
- Space for electrical meters
-

Legend

- | | |
|--|------------------------------------------------|
| | Window tag, see A701 for more information. |
| | Storefront tag, see A701 for more information. |
| | Material tag, see A700 for finish information. |
| | CON Concrete finish, typ. See A700. |
| | ST-x Stucco finish, typ. See A700. |
| | ST-x Stucco finish, typ. See A700. |
| | ST-x Stucco finish, typ. See A700. |
| | HP Hardie paneling finish, typ. See A700. |
| | MR Metal roofing finish, typ. See A700. |
| | MP Metal paneling finish, typ. See A700. |
| | Plaster screed/reveal, typ. See & |

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PROJECT:
Reza Assemi + Will Dyck

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Exterior Elevations

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

2020-43

SHEET NUMBER:

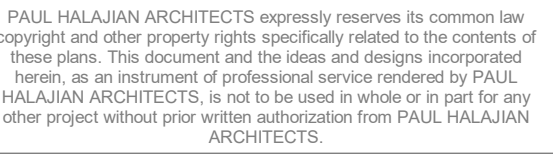
A301

1/8" = 1'-0"

$1/8" = 1'-0"$

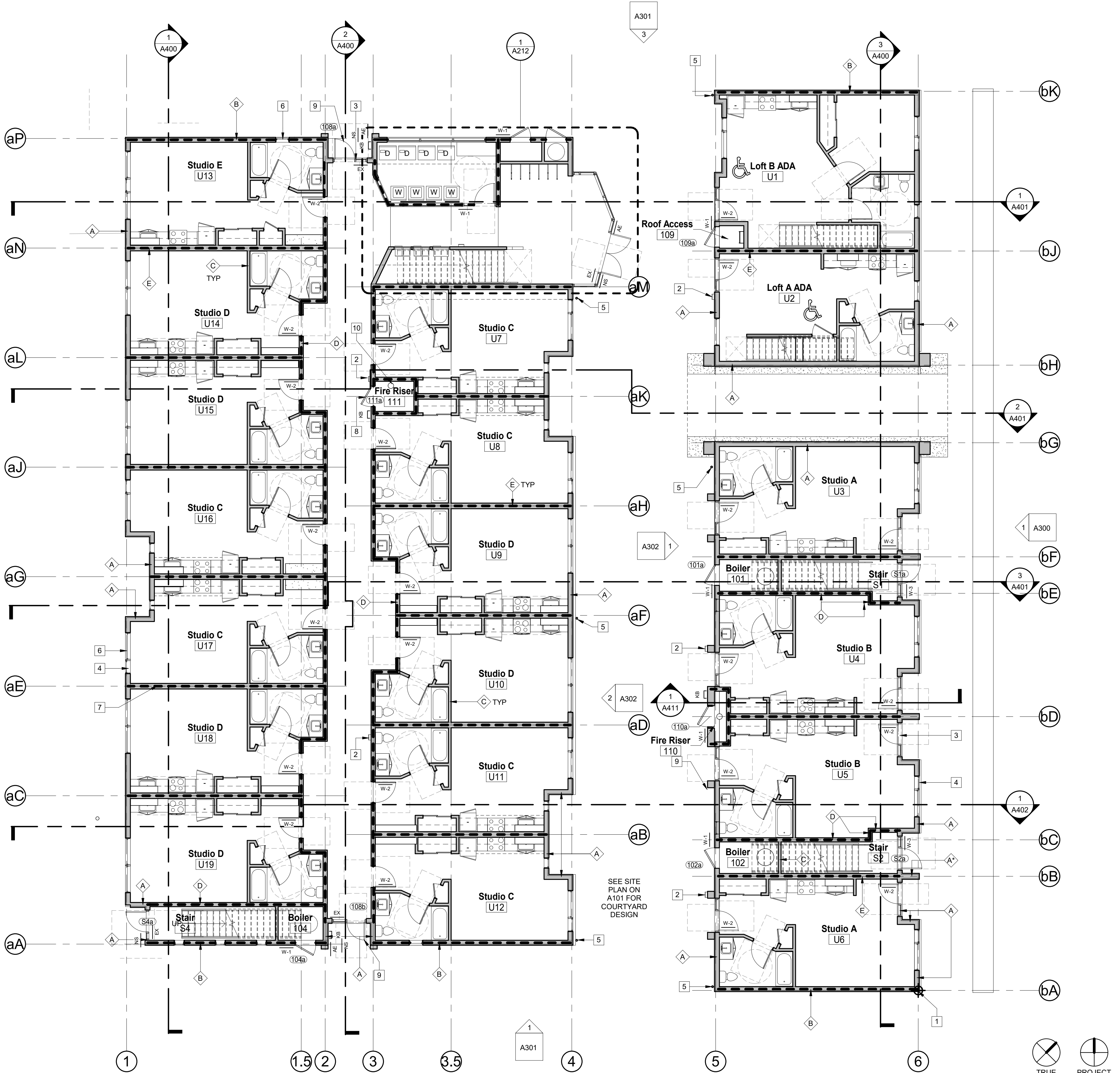
- 1) Keynotes apply to this sheet only.
- 2) For more information on windows and doors, see Schedules on A701-704.

- 1 Skylight; see Roof Plan on A500 and Window Legend on A701
- 2 Mechanical wall; see Roof Plan on A500
- 3 Concrete 18"H x 18"W curving seal wall around tree, typ.
- 4 Metal roof, typ.
- 5 Pop-out over lobby entrance
- 6 Furred wall with colored stucco finish
- 7 Louvered door and frame; see Door Schedule A700
- 8 Aluminum storefront window system, see Window Legend on A701
- 9 6" concrete curb; typ.
- 10 Rain gutter downspout and drain inlet, see Civil.



SHEET: Exterior Elevations

	Window tag, see A701 for more information.
	Storefront tag, see A701 for more information.
	Material tag, see A700 for finish information.
	CON Concrete finish, typ. See A700.
	ST-x Stucco finish, typ. See A700.
	ST-x Stucco finish, typ. See A700.
	ST-x Stucco finish, typ. See A700.
	HP Hardie paneling finish, typ. See A700.
	MR Metal roofing finish, typ. See A700.
	MP Metal paneling finish, typ. See A700.
	Plaster screed/reveal, typ. See &



General Notes

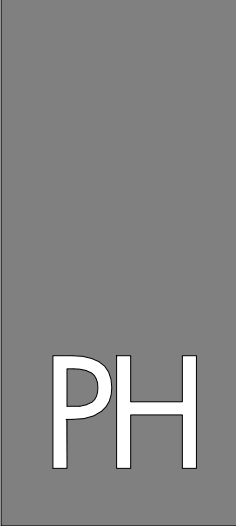
- Keynotes apply to this sheet only.
- Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- For typical reach ranges, see detail
- For door clearances, see detail
- Room numbering shown here is not to be used for room signage. Coordinate with Authority Having Jurisdiction and Confirm with Owner prior to fabrication and installation.
- For fixture and toilet accessories mounting and location, see Interior Elevations and XXX
- For Finish, Door and Window information, see A700.
- Provide backing as needed for all CFCEI items, including but not limited to: casework, floating shelves, etc.
- All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.
- See Elevations on A300-301 for Window and Storefront Types, typ.

Keynotes

- Project datum
- Fire Extinguisher Cabinet, semi-recessed
- Aluminum storefront window system, see Window Legend on A701
- Fixed vinyl window; see Elevations on A300-302 and Window Legend on A701
- Rain gutter downspout and drain inlet, see Civil.
- Operable vinyl window; see Elevations on A300-302 and Window Legend on A701
- Thick dashed line indicates fire rated wall/floor assembly, typ. See A900.
- Knox box at fire pump room door
- Knox box at this door for FD access to riser closet.
- Fire Sprinkler Riser, see forthcoming FS drawings.

Floor Plan Legend

- Small dashed line indicates accessible clearance at door, fixture or equipment, typ. See 3 / A911 and 2 / A911
- Large dashed line indicates soffit/wall/roof above, typ.
- Thick dashed line indicates fire rated wall assembly, typ. See A900.
- Exterior Elevation, see A300-302
- Door Tag, see A700
- Keynote Tag, see legend
- Interior Elevation, see A800-802
- Building Grid, typ.
- Sign Tag, see A900
- Room Tag, see A700
- Section, see A400-422
- Knox Box per FFD requirements, 48" mounting height



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PROJECT:
Reza Assemi + Will Dyck
DADA Lofts
1433 Broadway, Fresno, CA 93721
SHEET: First Floor Plan - Keynote

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

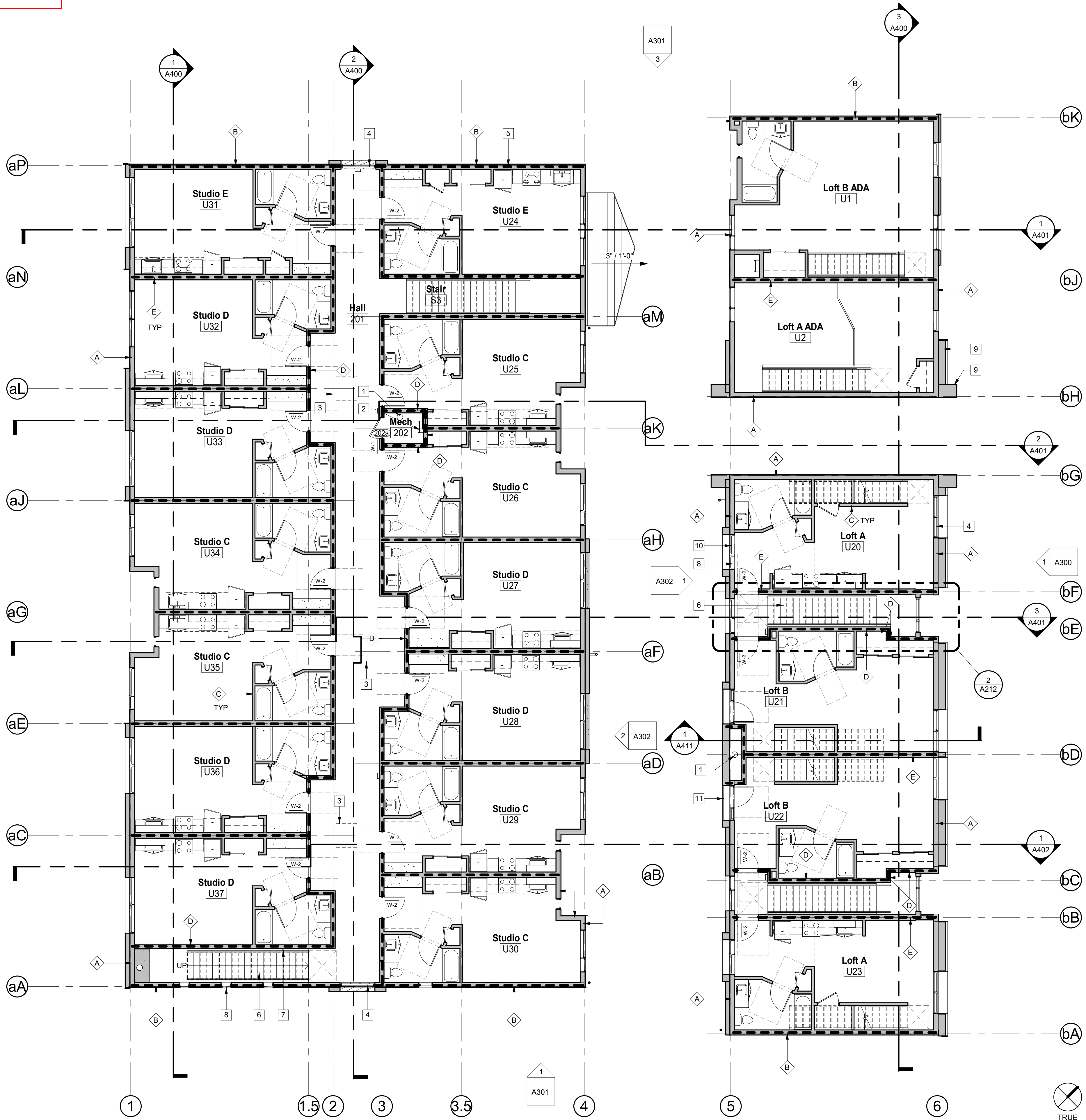
NO.	DESCRIPTION

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A200



General Notes

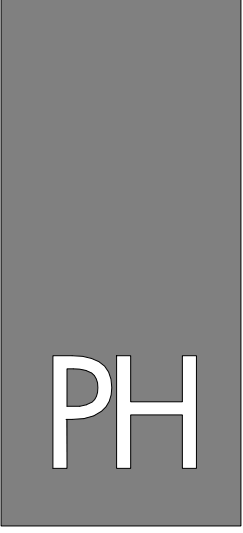
- Keynotes apply to this sheet only.
- Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- For typical reach ranges, see detail
- For door clearances, see detail
- Room numbering shown here is not to be used for room signage. Coordinate with Authority Having Jurisdiction and Confirm with Owner prior to fabrication and installation.
- For fixture and toilet accessories mounting and location, see Interior Elevations and XXX
- For Finish, Door and Window information, see A700.
- Provide backing as needed for all CFCI items, including but not limited to: casework, floating shelves, etc.
- All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.
- See Elevations on A300-301 for Window and Storefront Types, typ.

Keynotes

- Fire Sprinkler Riser, see forthcoming FS drawings.
- Roof access ladder, see Spec xx xx xx
- Thin dashed line indicates skylight above, typ. See Window Legend on A701.
- Aluminum storefront window system, see Window Legend on A701
- Thick dashed line indicates fire rated floor/wall assembly, typ. See A900.
- Wood framed stairs, see enlarged sections on A410.
- Steel handrail mounted to wall, typ. See 7/A970
- Fixed vinyl window; see Elevations on A300-302 and Window Legend on A701
- Furred wall, see Elevations on A300-302
- Operable vinyl window; see Elevations on A300-302 and Window Legend on A701
- Metal guardrail, painted per Finish Schedule. See detail 3/A970.

Floor Plan Legend

- Small dashed line indicates accessible clearance at door, fixture or equipment, typ. See 3 / A911 and 2 / A911
- Large dashed line indicates soffit/wall/roof above, typ.
- Thick dashed line indicates fire rated wall assembly, typ. See A900.
- Ref 1 A101 Ref Exterior Elevation, see A300-302
- 101 Door Tag, see A700
- 7 Keynote Tag, see legend
- 01 A201 Interior Elevation, see A800-802
- 0 Building Grid, typ.
- W-1 Sign Tag, see A900
- Room name 101 Room Tag, see A700
- 01 A201 Section, see A400-422
- KB Knox Box per FFD requirements, 48" mounting height
- TRUE NORTH PROJECT NORTH



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PROJECT: Reza Assemi + Will Dyck

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Second Floor Plan - Keynote

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

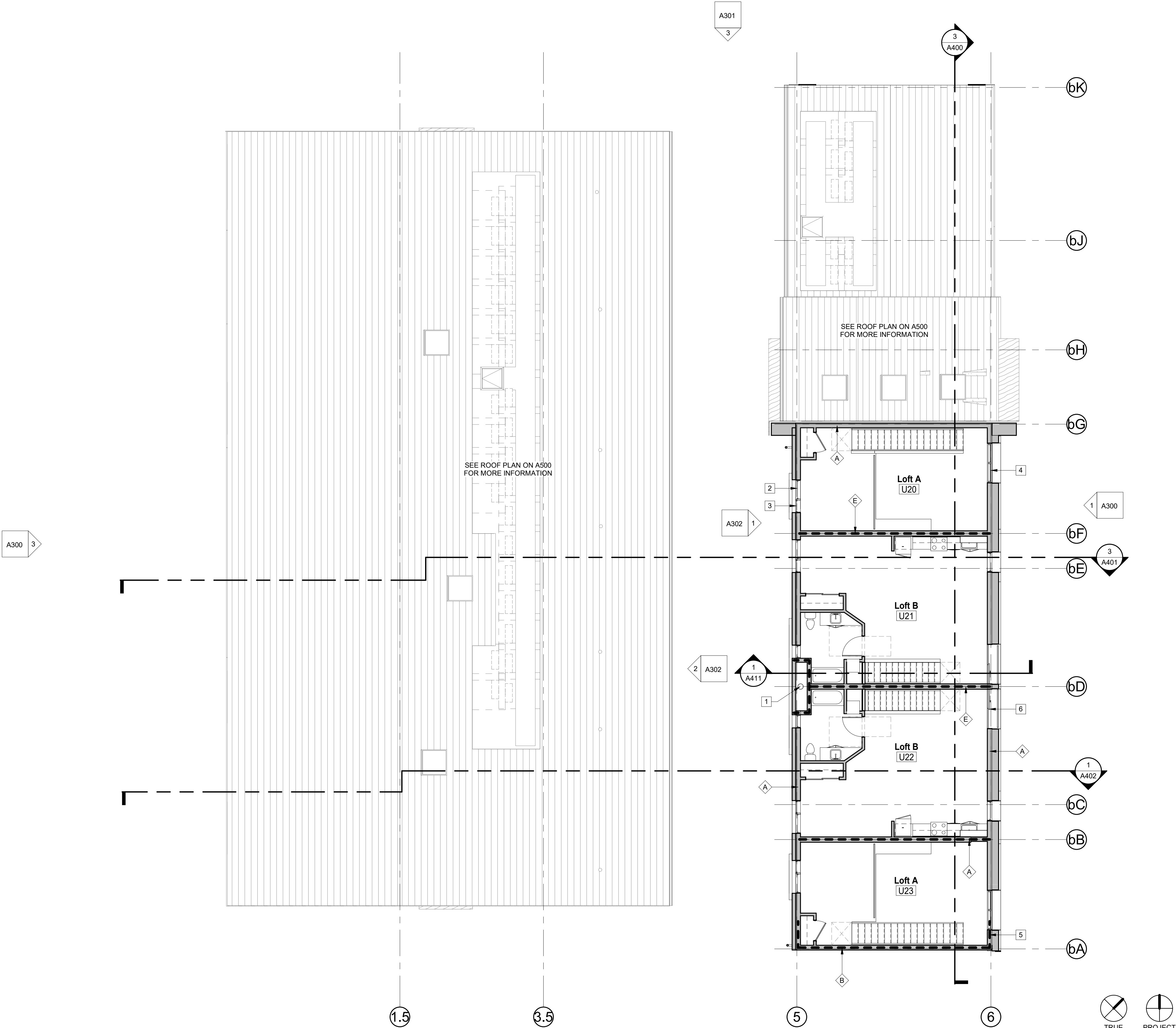
NO.	DESCRIPTION	DATE

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A202



General Notes

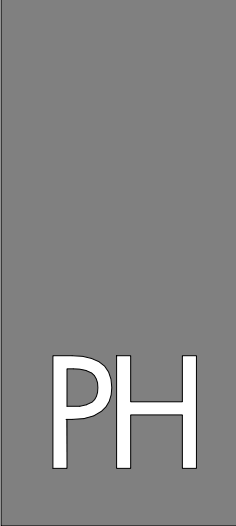
- Keynotes apply to this sheet only.
- Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- For typical reach ranges, see detail
- For door clearances, see detail
- Room numbering shown here is not to be used for room signage. Coordinate with Authority Having Jurisdiction and Confirm with Owner prior to fabrication and installation.
- For fixture and toilet accessories mounting and location, see Interior Elevations and XXX
- For Finish, Door and Window information, see A700.
- Provide backing as needed for all CFCI items, including but not limited to: casework, floating shelves, etc.
- All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.
- See Elevations on A300-301 for Window and Storefront Types, typ.

Keynotes

- Fire Sprinkler Riser, see forthcoming FS drawings.
- Operable vinyl window, see Elevations on A300-302 and Window Legend on A701
- Fixed vinyl window, see Elevations on A300-302 and Window Legend on A701
- Aluminum storefront window system, see Window Legend on A701
- Fire rating wraps from wall onto roof deck 4' laterally, see sections.
- Door per Schedule, see A700.

Floor Plan Legend

- Small dashed line indicates accessible clearance at door, fixture or equipment, typ. See 3 / A911 and 2 / A911
- Large dashed line indicates soffit/wall/roof above, typ.
- Thick dashed line indicates fire rated wall assembly, typ. See A900.
- Ref 1 A101 1 Ref Exterior Elevation, see A300-302
- 101 Door Tag, see A700
- 7 Keynote Tag, see legend
- 01 A201 Interior Elevation, see A800-802
- 0 Building Grid, typ.
- W-1 Sign Tag, see A900
- Room name 101 Room Tag, see A700
- 01 A201 Section, see A400-422
- KB Knox Box per FFD requirements, 48" mounting height



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PROJECT: Reza Assemi + Will Dyck

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Third Floor Plan - Keynote

DRAWING SET INFORMATION:

09.22.21 DP Submittal

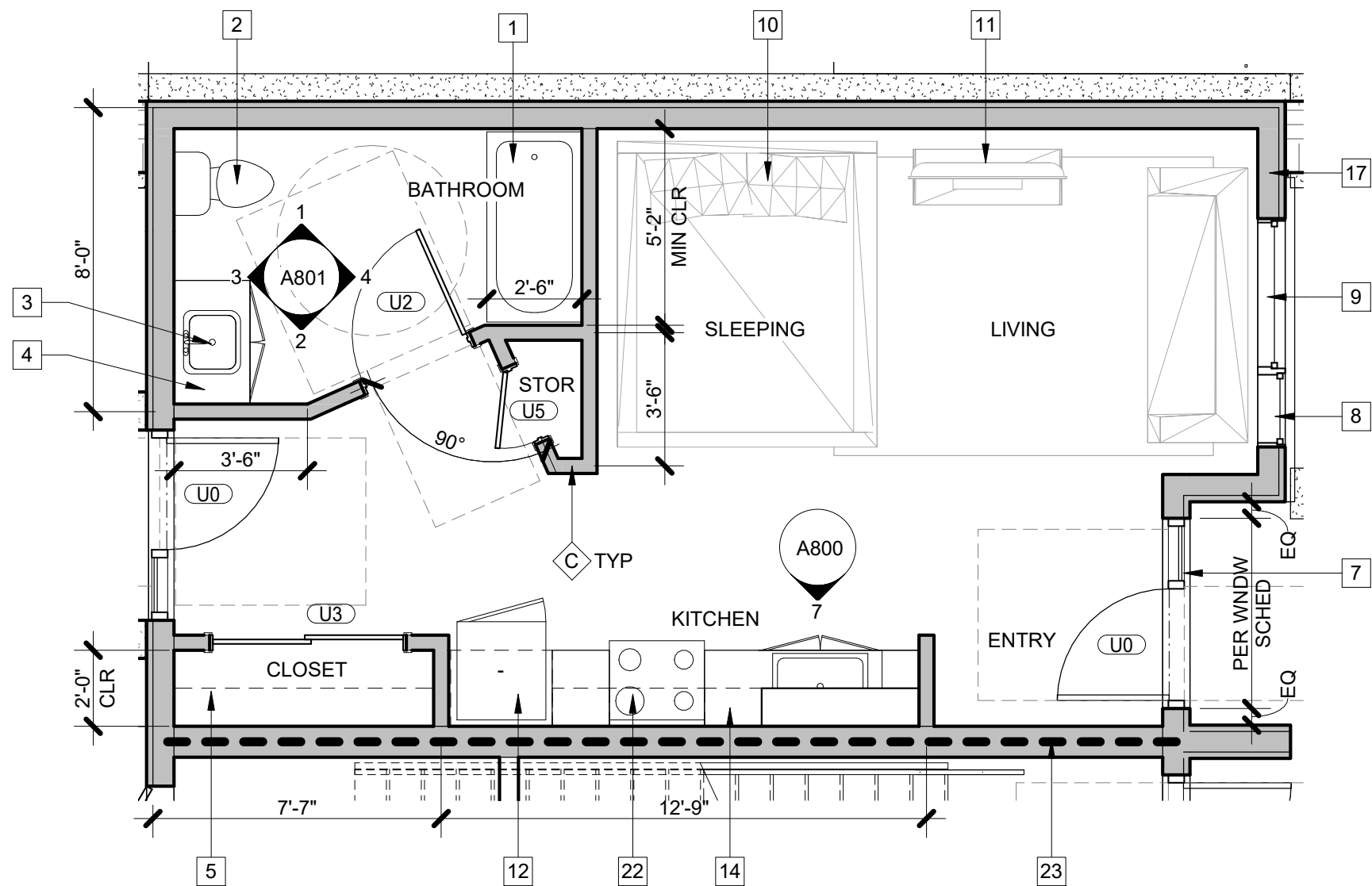
REVISIONS:

PROJECT NUMBER:

2020-43

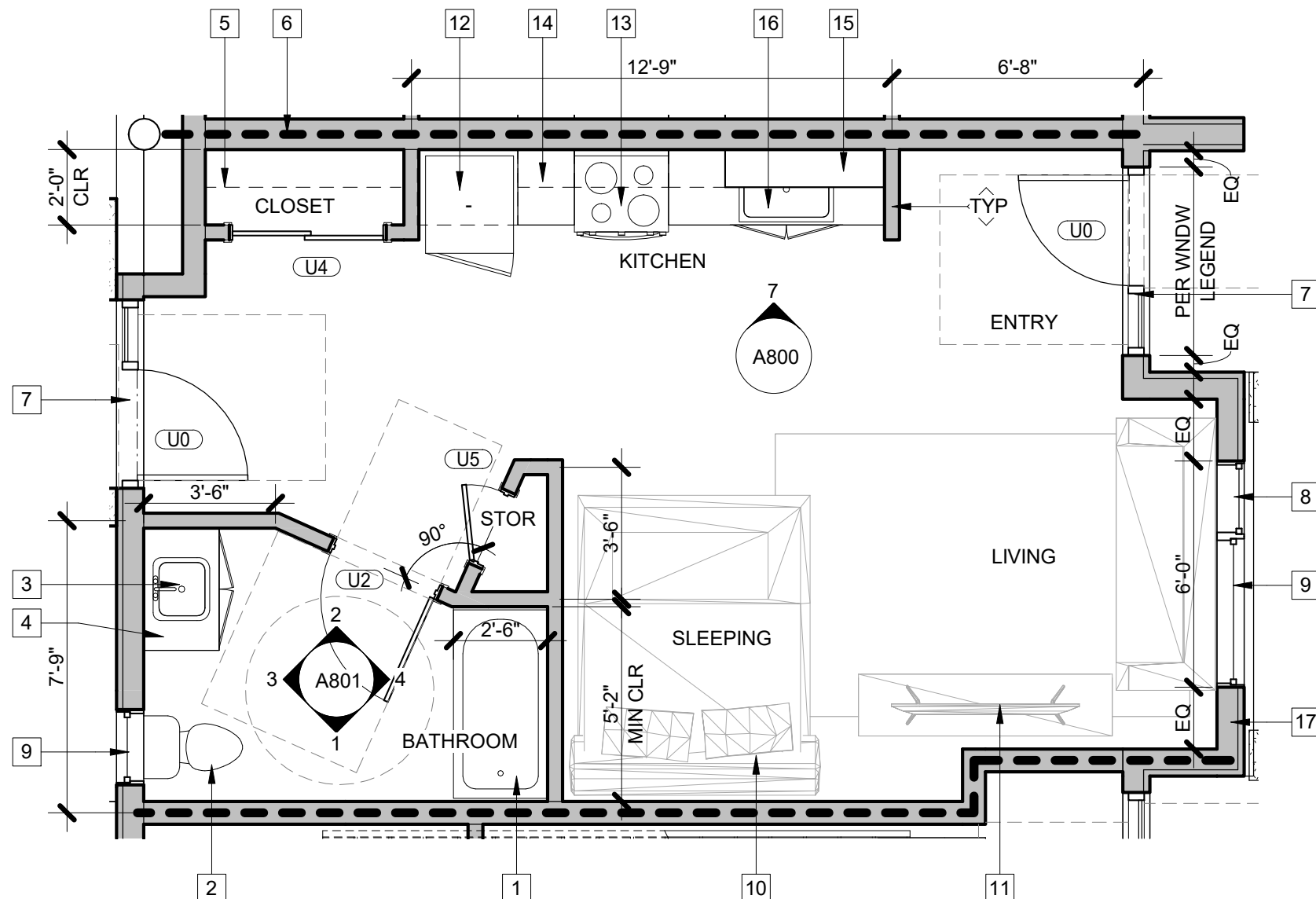
SHEET NUMBER:

A204



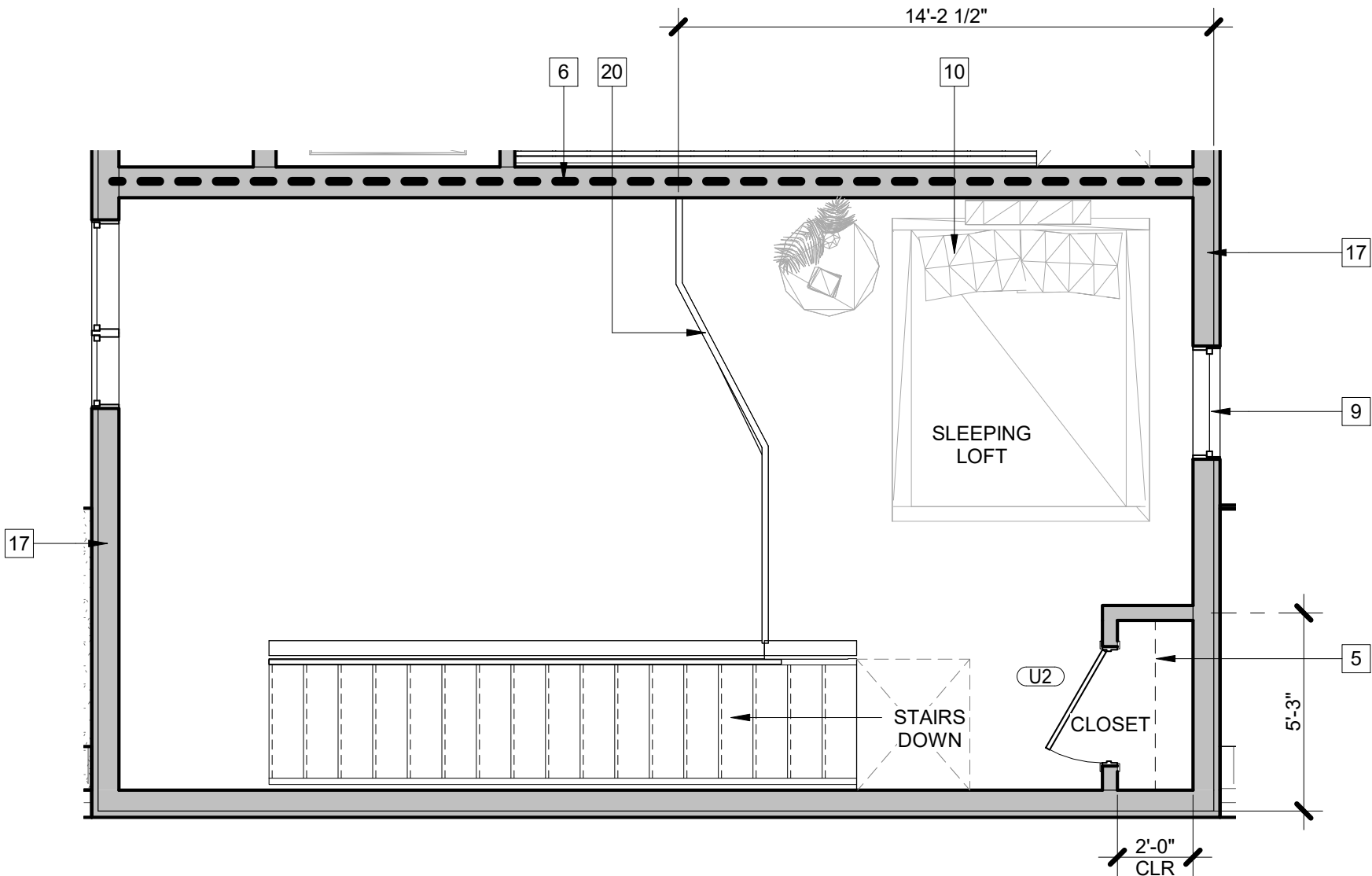
6 Unit Plan - Studio A (Adaptable)
1/4" = 1'-0"

417 SF

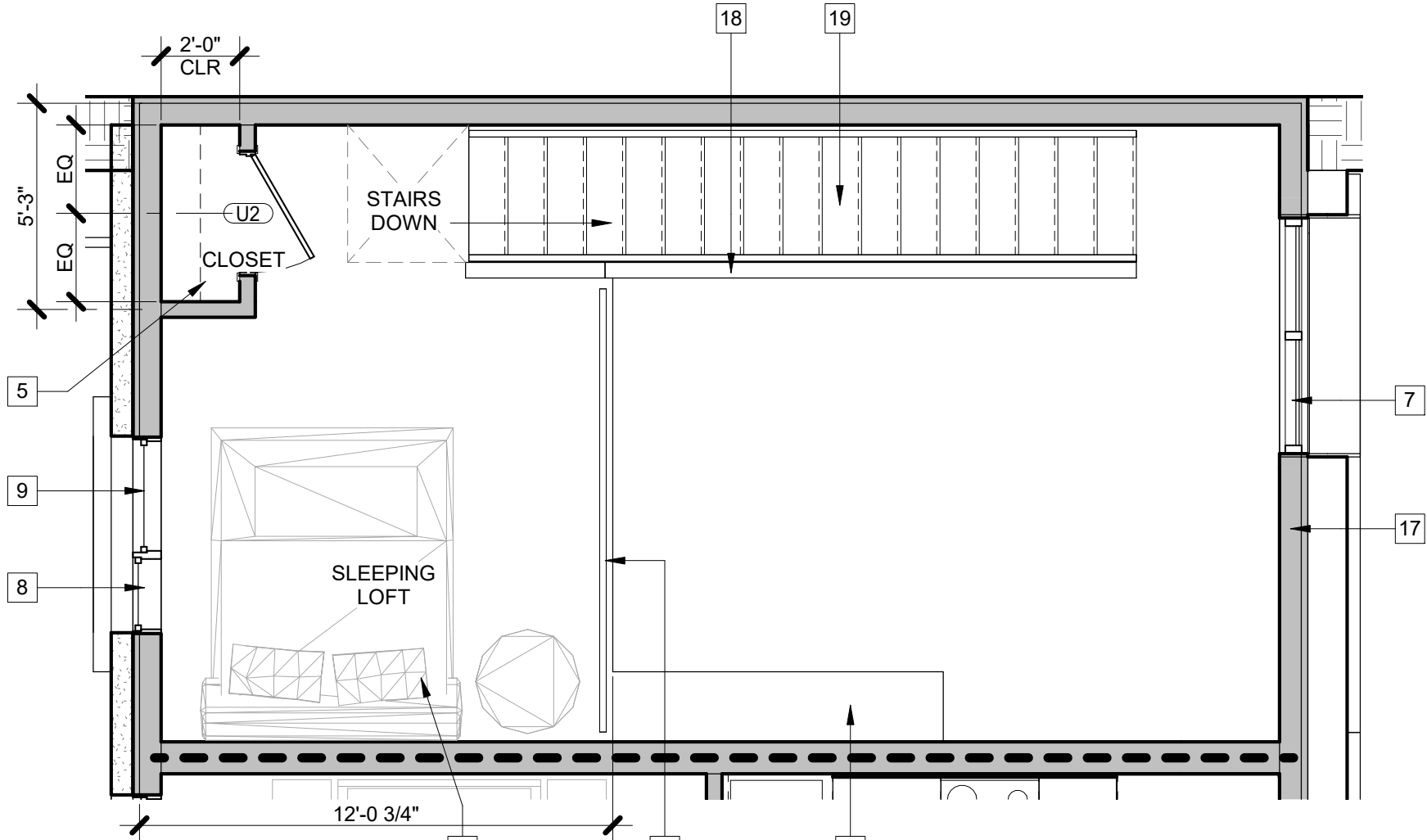


5 Unit Plan - Studio B (Adaptable)
1/4" = 1'-0"

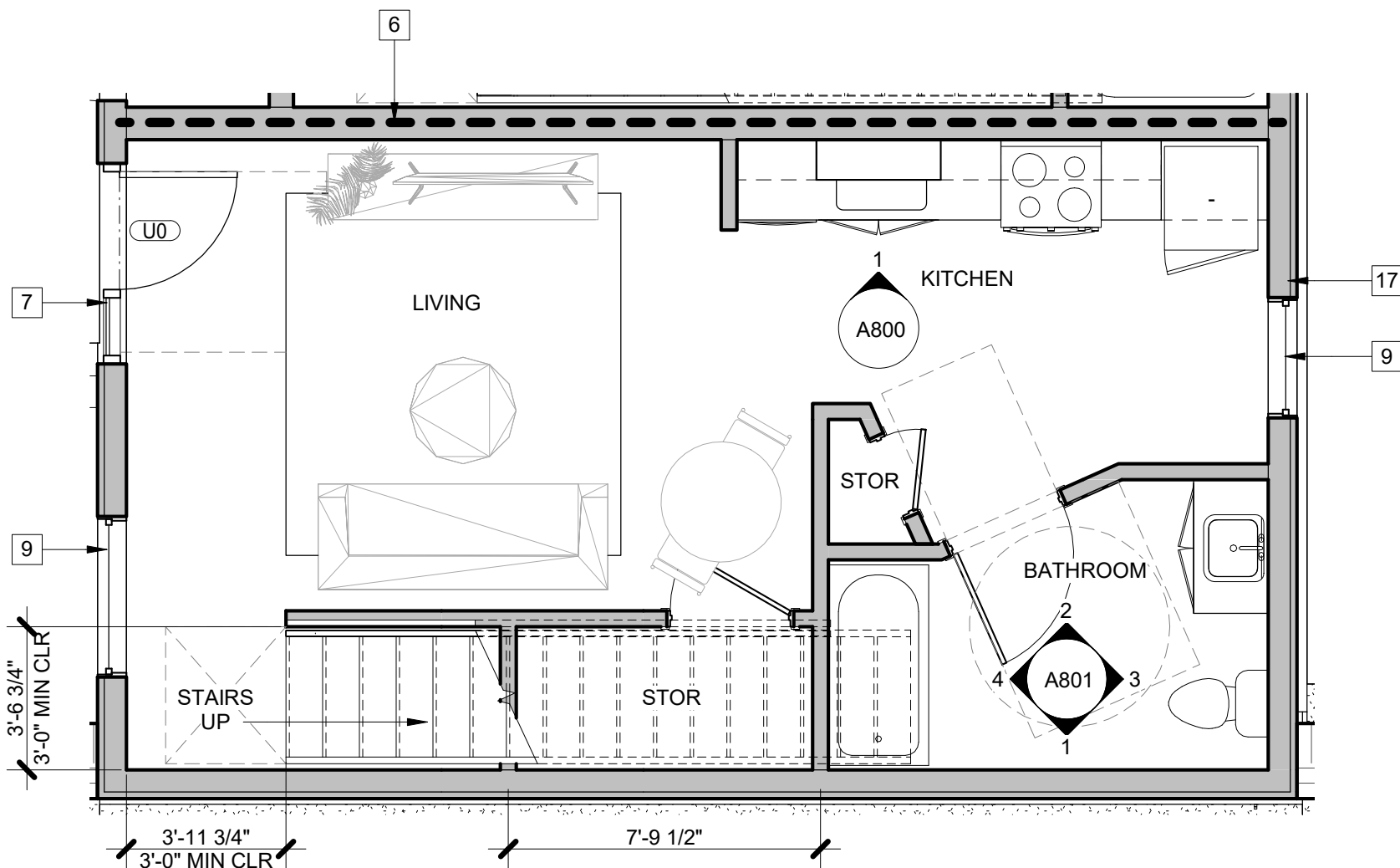
443 SF



4 Unit Plan - Loft A ADA - Top
1/4" = 1'-0"

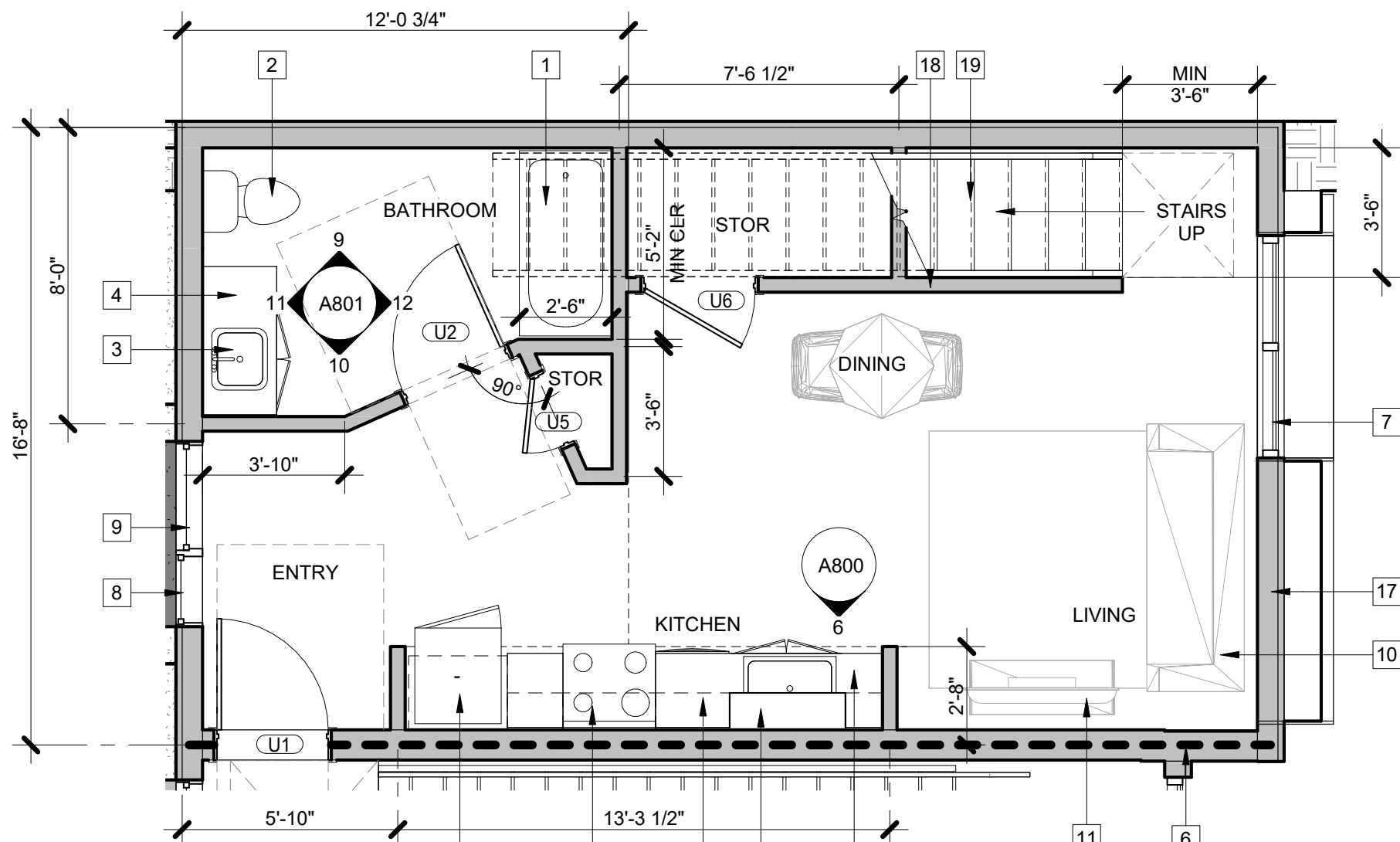


2 Unit Plan - Loft A - Top
1/4" = 1'-0"



3 Unit Plan - Loft A ADA - Bottom
1/4" = 1'-0"

598 SF



1 Unit Plan - Loft A - Bottom
1/4" = 1'-0"

598 SF

General Notes

1) See exterior elevations for Window information, A300-302, u.n.o.

Keynotes

- 1 Bathtub, see Plumbing
- 2 Floor-mounted toilet, see Plumbing
- 3 Undermount vanity sink, see Plumbing
- 4 Casework and countertop, see Interior Elevations.
- 5 Closet pole and shelf, see detail 8/A950.
- 6 Thick dashed line indicates fire rated floor/wall assembly, typ. See A900.
- 7 Aluminum storefront window system, see Window Legend on A701
- 8 Fixed vinyl window; see Elevations on A300-302 and Window Legend on A701
- 9 Operable vinyl window; see Elevations on A300-302 and Window Legend on A701
- 10 Furniture by Owner, typ. NIC.
- 11 TV, by Owner, NIC. Provide Power and Data as needed per Electrical.
- 12 Refrigerator, see Spec xx xx xx
- 13 ADA range with front controls, see Spec xx xx xx
- 14 Casework, see Interior Elevations
- 15 Floating shelves, see Interior Elevations
- 16 Kitchen sink, see Interior Elevations
- 17 Wall, typ. See overall floor plan for type.
- 18 Pony wall, +3'-6" high, sloping down with stairs.
- 19 Wood framed stairs, see enlarged sections on A410.
- 20 Metal guardrail, painted per Finish Schedule. See detail 3/A970.
- 21 Soffit over kitchen below
- 22 Standard range, see Spec xx xx xx
- 23 Thick dashed line indicates fire rated wall/floor assembly, typ. See A900.
- 24 Floating shelves, same finish as adjacent upper cabinets, typ.
- 25 Dishwasher, typ. See Spec xx xx xx

APPL. NO. P21-05557 EXHIBIT F-4 DATE 03/30/2022

PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

PROJECT:
Reza Assemi + Will Dyck
DADA Lofts
1433 Broadway, Fresno, CA 93721
SHEET: Unit Plans

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A210

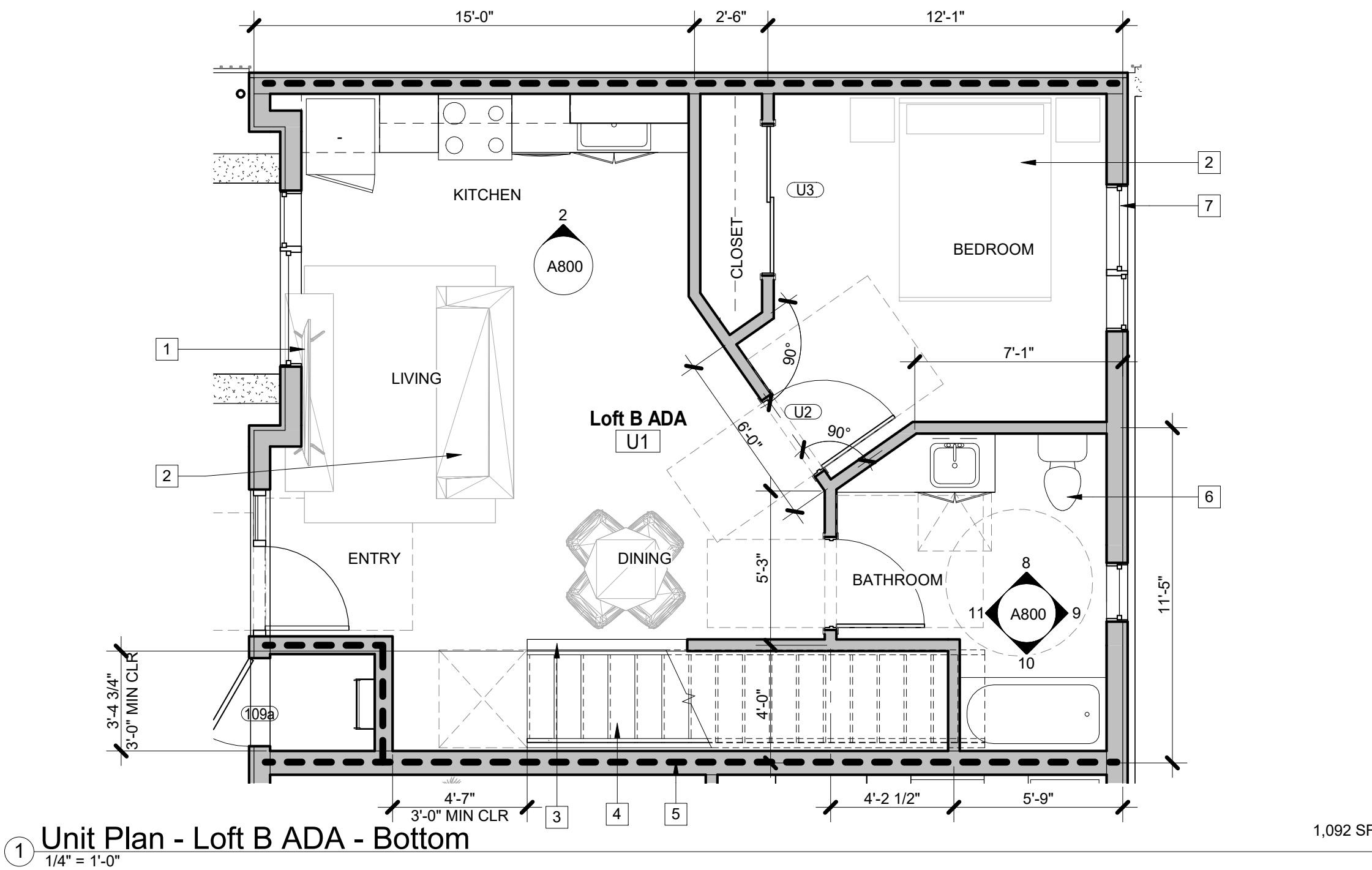
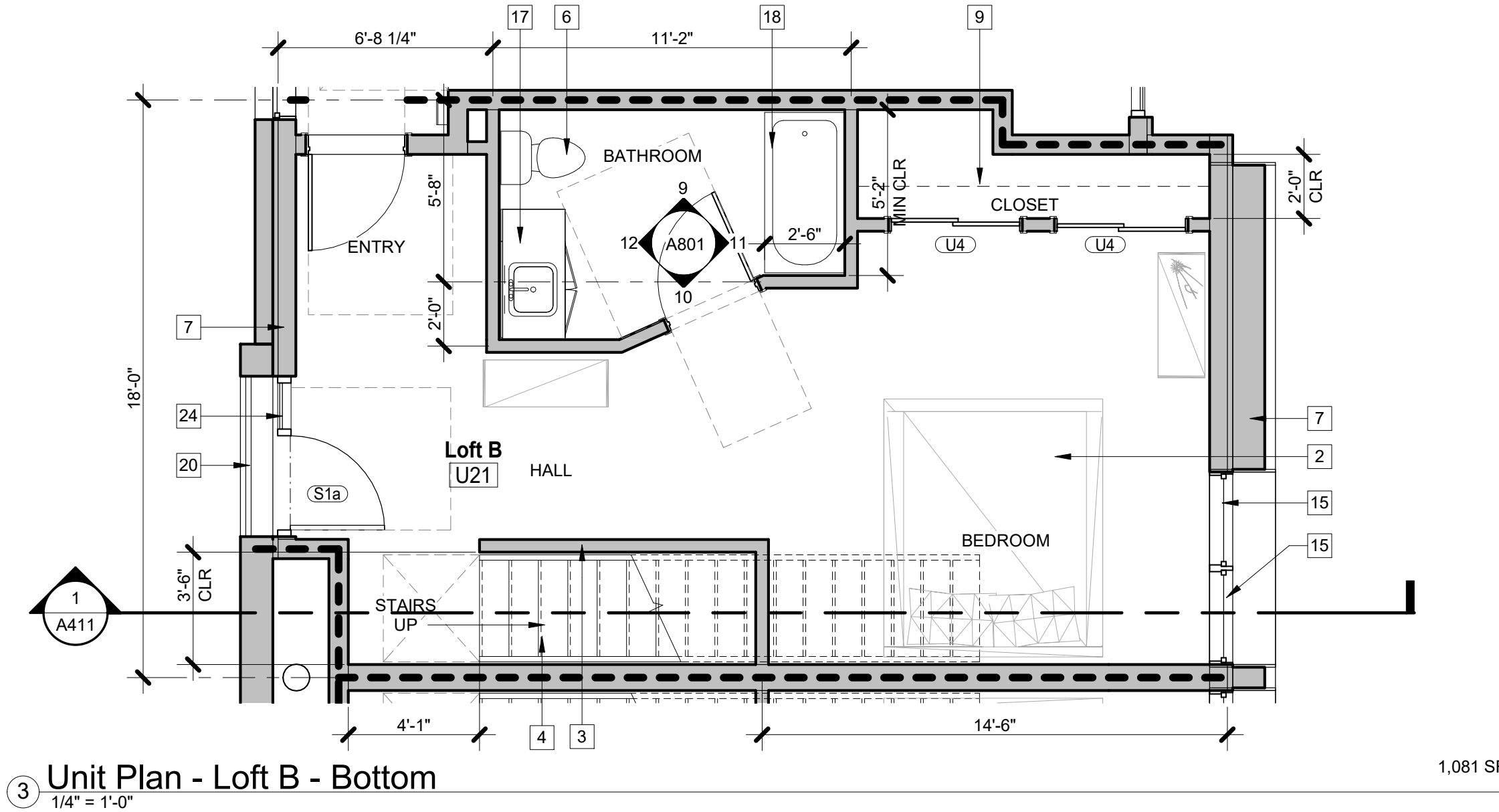
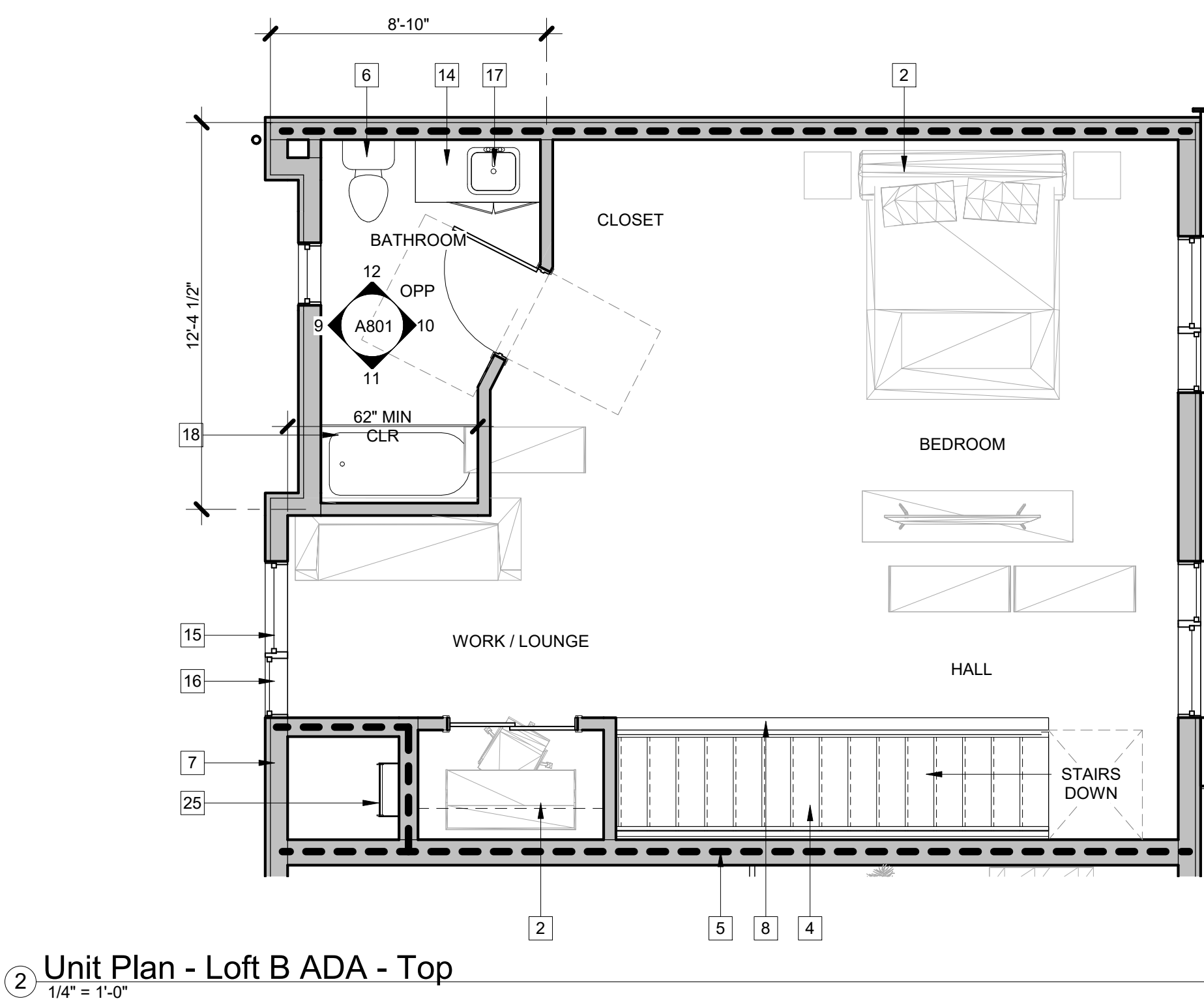
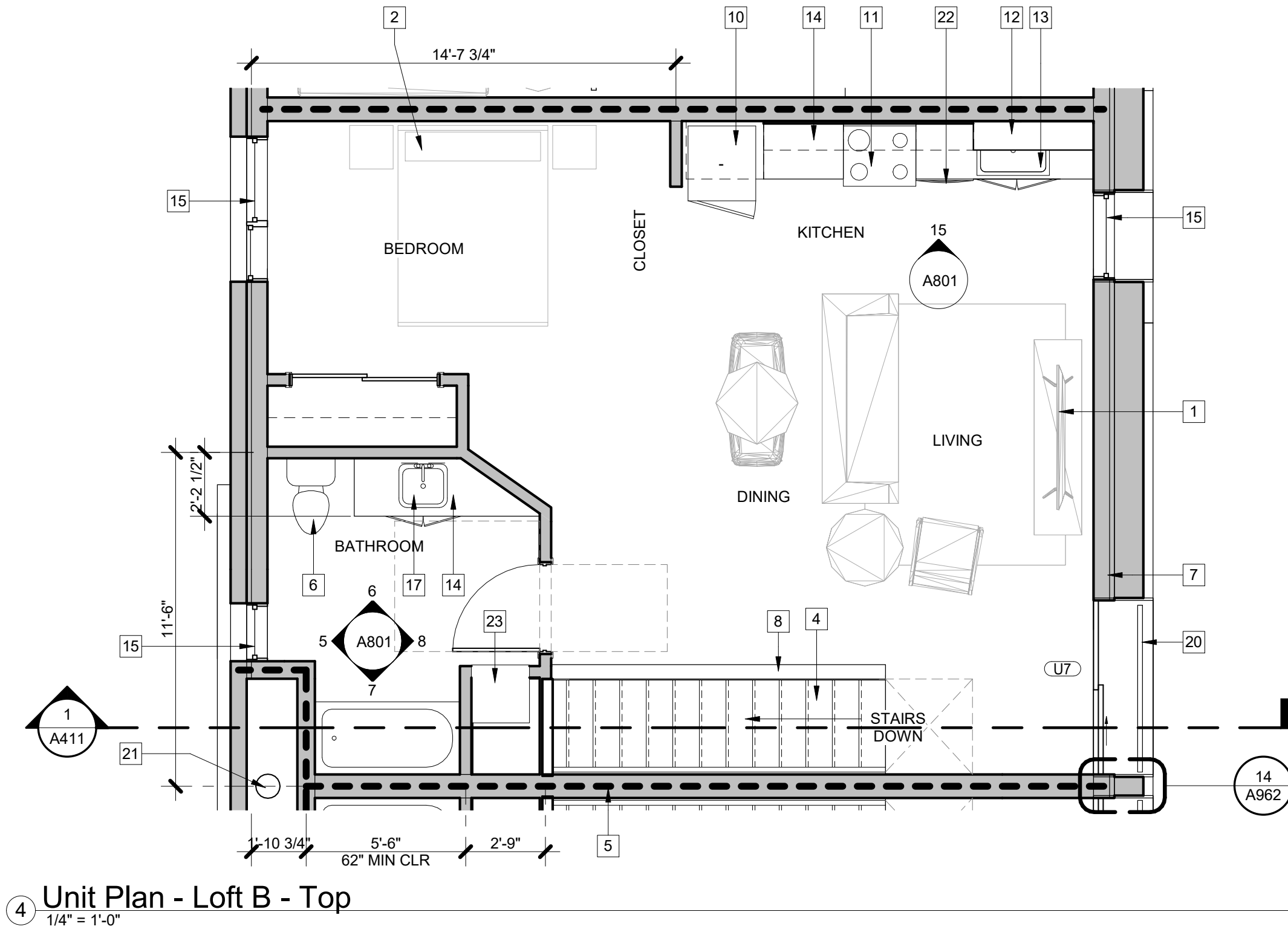
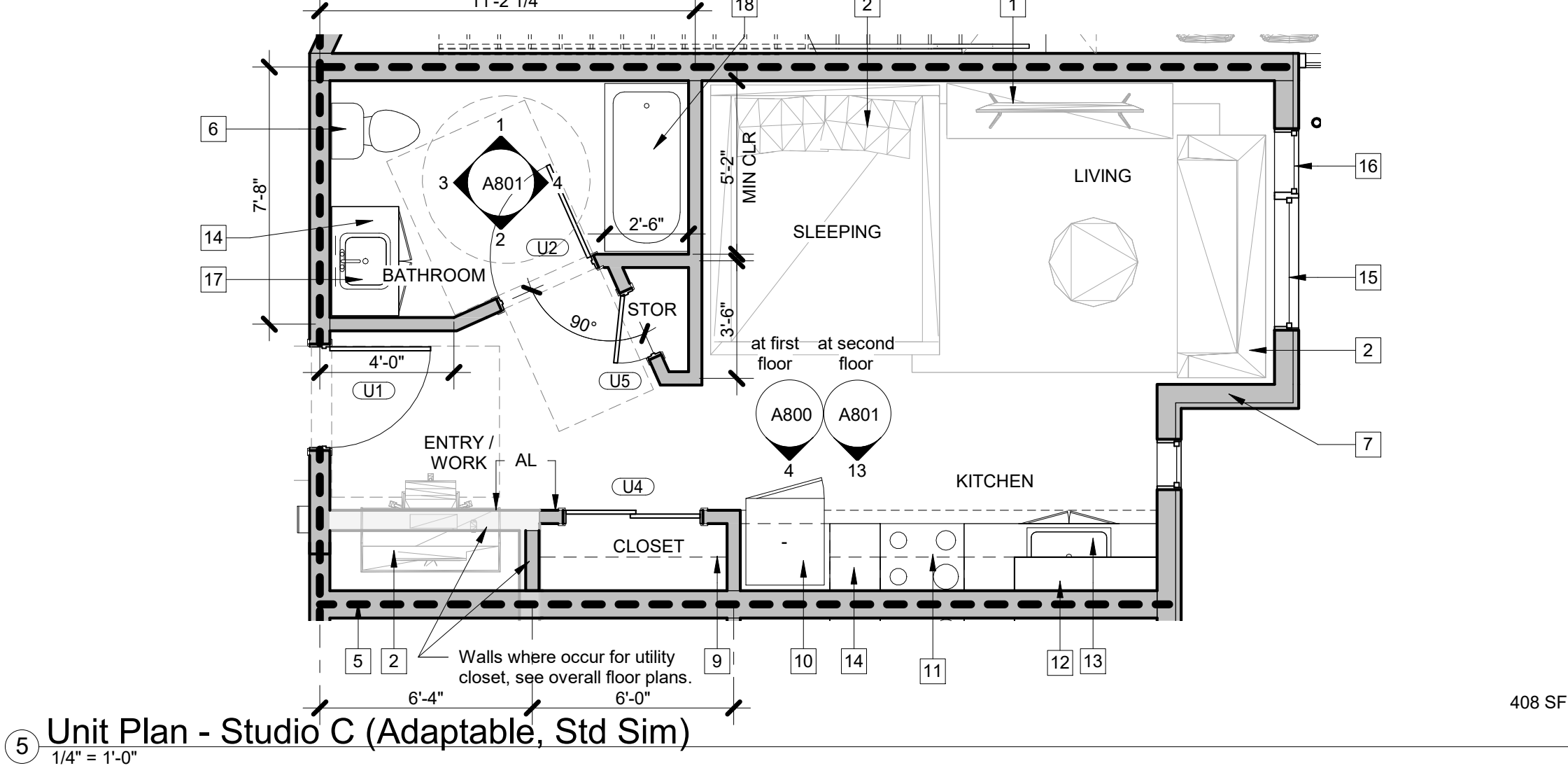
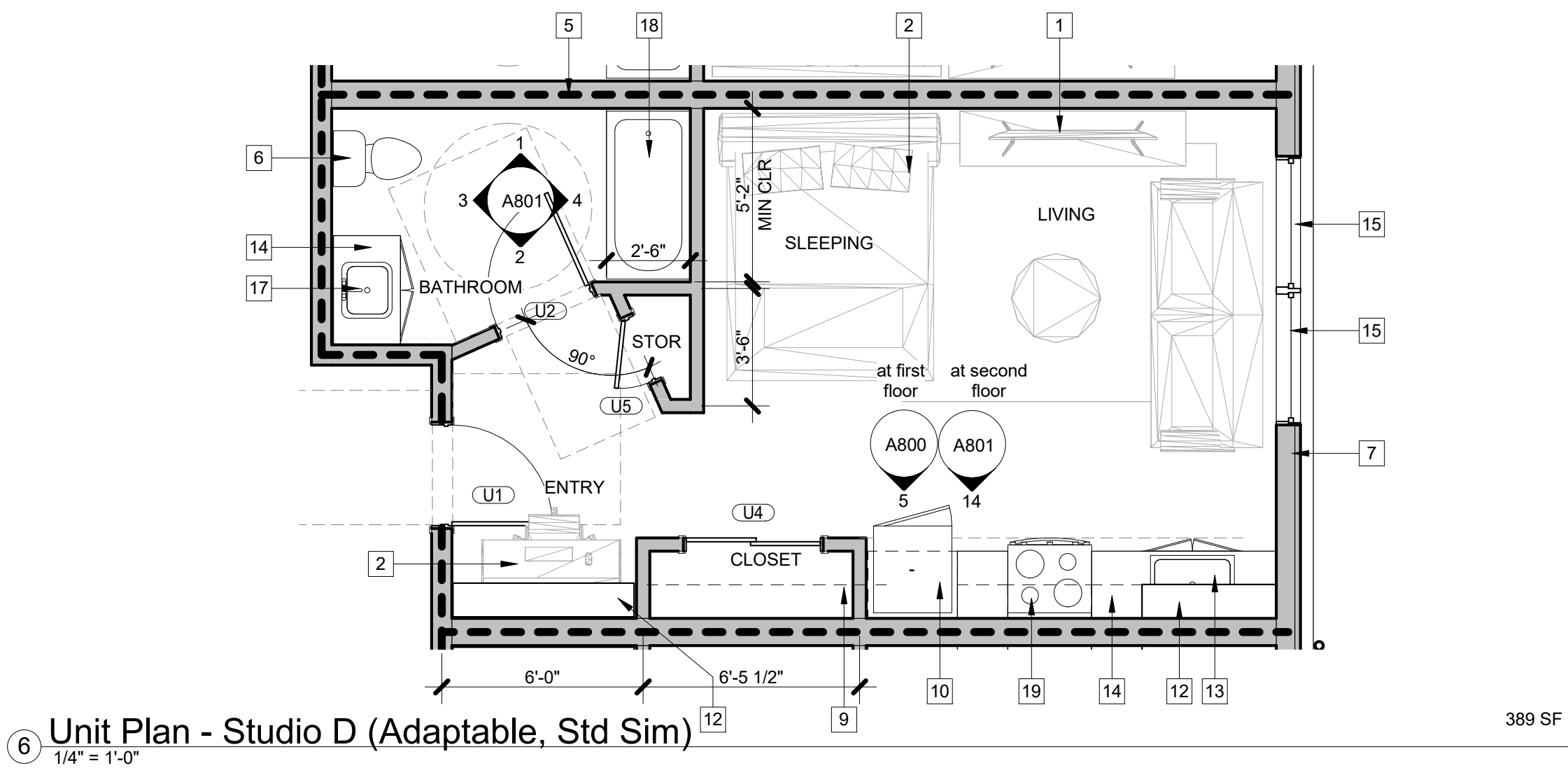


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General Notes

1) See exterior elevations for Window information, A300-302, u.n.o.

Keynotes

- 1 TV, by Owner, NIC. Provide Power and Data as needed per Electrical.
- 2 Furniture by Owner, typ. NIC.
- 3 Pony wall, +3'-6" high, sloping down with stairs.
- 4 Wood framed stairs, see enlarged sections on A410.
- 5 Thick dashed line indicates fire rated floor/wall assembly, typ. See A900.
- 6 Floor-mounted toilet, see Plumbing
- 7 Wall, typ. See overall floor plan for type.
- 8 Pony wall, +3'-4" high to form guardrail next to stairs
- 9 Closet pole and shelf, see detail 8/A950.
- 10 Refrigerator, see Spec xx xx xx
- 11 Standard range, see Spec xx xx xx
- 12 Floating shelves, same finish as adjacent upper cabinets, typ.
- 13 Kitchen sink, see Interior Elevations
- 14 Casework and countertop, see Interior Elevations.
- 15 Operable vinyl window; see Elevations on A300-302 and Window Legend on A701
- 16 Fixed vinyl window; see Elevations on A300-302 and Window Legend on A701
- 17 Vanity sink, see Interior Elevations
- 18 Bathtub, see Plumbing
- 19 ADA range with front controls, see Spec xx xx xx
- 20 Metal guardrail, painted per Finish Schedule. See detail 3/A970.
- 21 Fire Sprinkler Riser, see forthcoming FS drawings.
- 22 Dishwasher, typ. See Spec xx xx xx
- 23 Built-in cabinet for linen storage
- 24 Aluminum storefront window system, see Window Legend on A701
- 25 Roof access ladder, see Spec xx xx xx

APPL. NO. P21-05557 EXHIBIT F-5 DATE 03/30/2022

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

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PROJECT: **Reza Assemi + Will Dyck**

DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Unit Plans

DRAWING SET INFORMATION:

09.22.21	DP Submittal
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REVISIONS:

PROJECT NUMBER: 2020-43

SHEET NUMBER: A211

1) Stair markings: top & bottom of stairs and at landings of ea. flight of interior stairs shall be marked by a strip of contrasting color 2" wide, parallel to and not more than 1" from nose or step of landing.

- 1 Water heater, see Plumbing Drawings
- 2 Thick dashed line indicates fire rated floor/wall assembly, typ. See A900.
- 3 Wood framed stairs, see enlarged sections on A410.
- 4 Wall, typ. See overall floor plan for type.
- 5 Steel handrail mounted to wall, typ. See 7/A970
- 6 Dashed line indicates accessible clearance for T-shaped turn around
- 7 Operable vinyl window; see Elevations on A300-302 and Window Legend on A701
- 8 Fixed vinyl window; see Elevations on A300-302 and Window Legend on A701
- 9 Furniture by Owner, typ. NIC.
- 10 Bathtub, see Plumbing
- 11 Floor-mounted toilet, see Plumbing
- 12 Undermount vanity sink, see Plumbing
- 13 Sink cabinet with removeable base and shelves, typ. Extend floor and wall finish into this space.
- 14 Refrigerator, see Spec xx xx xx
- 15 Casework and countertop, see Interior Elevations.
- 16 Standard range, see Spec xx xx xx
- 17 Kitchen sink, see Interior Elevations

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ARCHITECTS**

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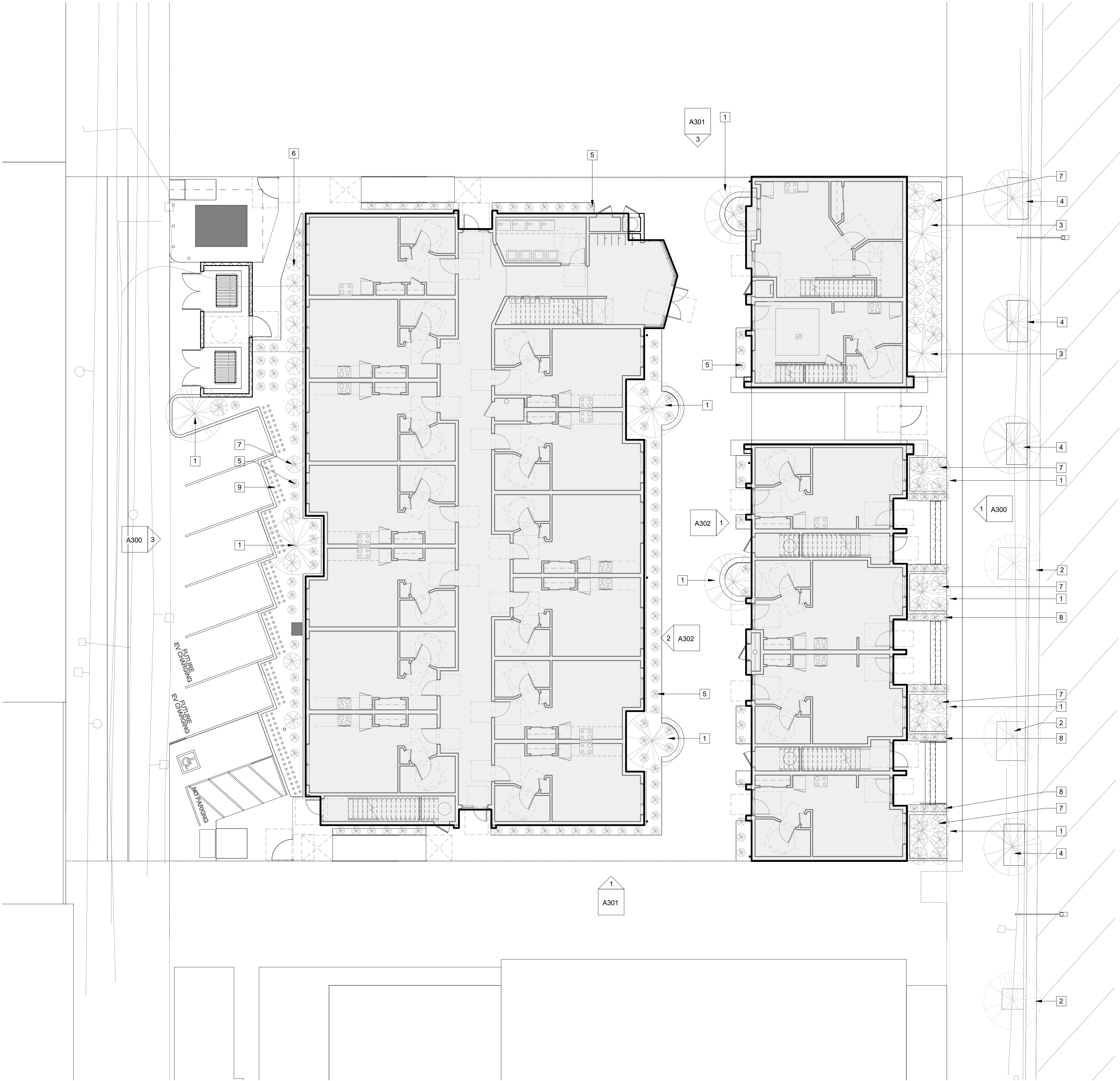


PROJECT: **Reza Assemi + Will Dyck**
DADA Lofts
 1433 Broadway, Fresno, CA 93721
 SHEET: Enlarged Plans + Unit Plans

09.22.21	DP Submittal
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2020-43

A212



General Notes

- 1) Keynotes apply to this sheet only.
- 2) Items shown but not noted are to be considered existing to remain, typ.u.n.o.
- 3) Trash and recycling will be constructed in accordance with City of Fresno standard drawings, u.n.o.
- 4) All proposed exterior lighting shall be shielded to reduce or eliminate light pollution in compliance with applicable codes.
- 5) All setbacks are zero minimum, therefore no setback lines are shown.
- 6) Note that commercial vehicle access to the buildings and uses across the alley from the project may block resident access/parking, especially during loading/unloading.

Keynotes

- 1 Chinese pistache tree with drip irrigation below, typ.
- 2 (E) Ash tree in tree well irrigated by city to remain, protect from damage; typ.
- 3 Bay laurel tree with drip irrigation, typ.
- 4 New "Autumn Applause" or "Autumn Purple" Ash tree in 5'x5' min tree well per City Standard P-8, irrigated by property owner, typ.
- 5 Feather grass plant with drip irrigation below, typ.
- 6 Rosemary shrub with drip irrigation below, typ.
- 7 Iceberg rose plant with drip irrigation, typ.
- 8 Potted bottle brush plant with drip irrigation on porch edge, typ.
- 9 Mondo grass groundcover, typ.

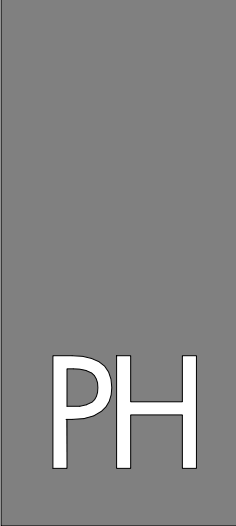
APPL. NO. P21-05557 EXHIBIT L-1 DATE 03/30/2022

PLANNING REVIEW BY _____ DATE _____

TRAFFIC ENG. _____ DATE _____

APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT



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PROJECT:
Reza Assemi + Will Dyck
DADA Lofts
1433 Broadway, Fresno, CA 93721
SHEET: Landscape Plan

DRAWING SET INFORMATION:

09.22.21 DP Submittal

REVISIONS:

PROJECT NUMBER:

2020-43

SHEET NUMBER:

A102

New Multi-Family Housing for: Reza Assemi + Will Dyck 1433 Broadway, Fresno, CA 93721



PROJECT INFORMATION

SITE INFORMATION

Address: 1433 Broadway St, Fresno, CA, 93721

A.P.N.: 466-205-28

Land Use: Downtown Core

Existing Zoning: DTC

Land Area: 19,800 sf (0.45 acres)

Building Area: 24,887 sf

Coverage: 57%

DESCRIPTION OF WORK

(37) new units of apartments on an urban infill site. The proposed project consists of Type V-B construction including (1) two-story building and (1) three story building with a shared, fenced courtyard. On-site parking is provided.

GOVERNING CODES

2019 California Administrative Code (Part 1 of Title 24, CCR)
2019 California Building Code (Part 2 of Title 24, CCR)
2019 California Electrical Code (Part 3 of Title 24, CCR)
2019 California Mechanical Code (Part 4 of Title 24, CCR)
2019 California Plumbing Code (Part 5 of Title 24, CCR)
2019 California Energy Code (Part 6 of Title 24, CCR)
2019 California Fire Code (Part 9 of Title 24, CCR)
2019 California Green Building Standards Code (CALGreen)
2019 California Referenced Standards Code (Part 12 OF Title 24, CCR)
California Code Of Regulations, Title 19, Public Safety
California Occupational Safety & Health Act
California Environmental Quality Act, Latest Edition
Requirements of the Regional Water Quality Board
Air Quality Management District Regulations
Local Public Agency Standards (Utility Connections, Fire Protection System, etc.)
2013 NFPA 72 - National Fire Alarm Code
ASHRAE Indoor Air Quality Standard 62-1989

DEFERRED APPROVALS

Submit complete Fire Sprinkler plans (per NFPA 13) to the City of Fresno Fire Department for approval prior to any installation or modification. Concealed type heads to be used wherever possible. Attics, where they occur, shall be sprinklered to comply with Code.

Submit complete Fire Alarm plans (per NFPA 72) to the City of Fresno Fire Department for approval prior to any installation or modification.

ARCHITECT'S STATEMENT

The drawings &/or specifications &/or calculations for the disciplines listed have been prepared by other design professionals or consultants who are licensed &/or authorized to prepare such drawings in this state. These documents have been examined by me for design intent & have been found to meet the appropriate requirements of Title 24, California Code of Regulations & the project specifications prepared by me.

The following disciplines' work has been coordinated with my plans & specifications & is acceptable for incorporation into the construction of this project for which I am the individual designated to be in general responsible charge, (or for which I have been delegated responsibility for this portion of work): Civil, Landscape, Structural, Mechanical, Plumbing, Electrical

ARCHITECT'S SIGNATURE

Paul Halajian
Architect/Principal;
Paul Halajian Architects

License #: C-020194
Expiration: April 30th, 2023

DATE

PROJECT DIRECTORY

OWNER/DEVELOPER:

Reza Assemi + Will Dyck

rezaassemi@hotmail.com
will@summafresno.com

ARCHITECT:

Paul Halajian Architects
389 Clovis Ave., Suite 100
Clovis, CA, 93612
559-297-7900
Stephanie Say
stephanies@halajianarch.com

GENERAL CONTRACTOR:

XXXX
XXXX
XXXX
XXXX

Contact: XXXX

STRUCTURAL ENGINEER:

Barcus Structural Engineering
7600 N Palm Ave, Suite 200
Fresno, CA 93711
559-261-8585
Brian Barcus
brian@barcusinc.com

CIVIL ENGINEER:

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Stan Harbour
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MECHANICAL ENGINEER:

JNL Mechanical

559-656-1170
Joelon Chinn
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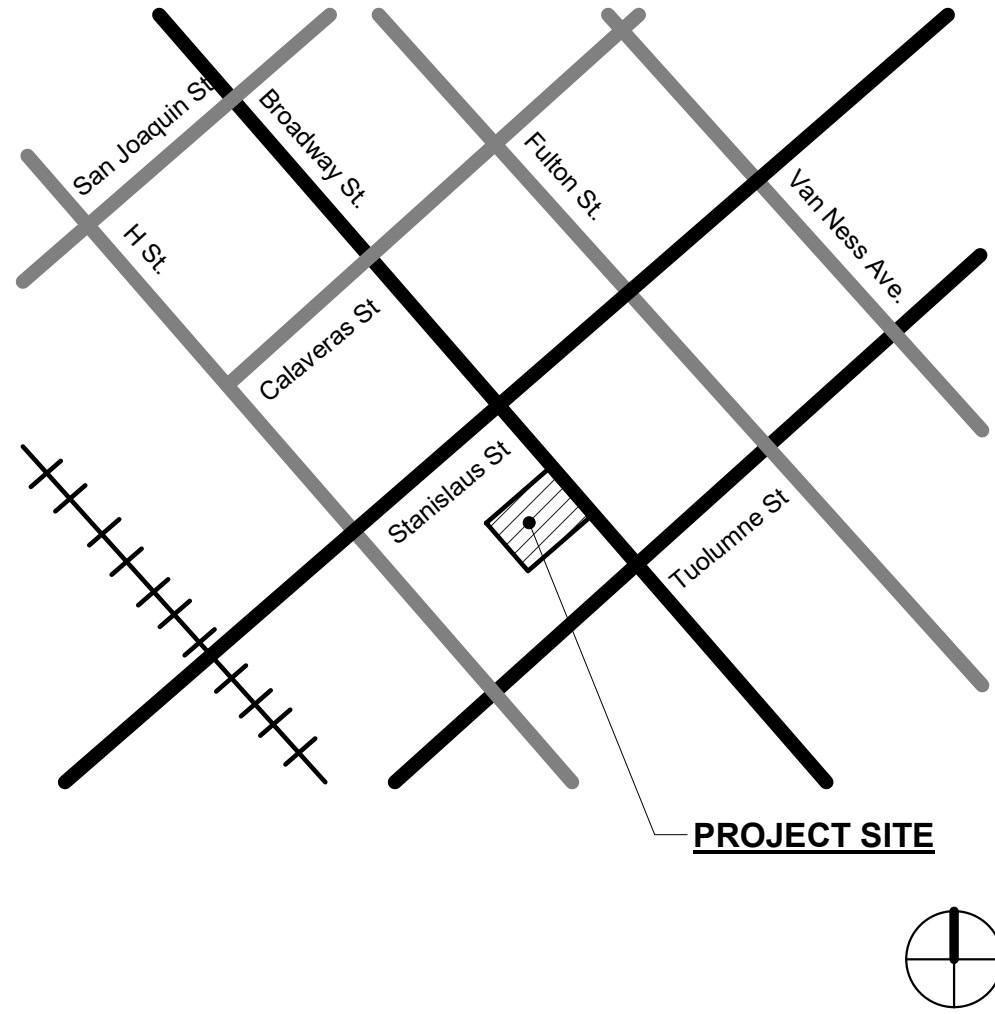
LANDSCAPE ARCHITECT:

Broussard and Associates
389 Clovis Ave, Suite 200
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559-325-7284
Terry Broussard
terry@broussardassoc.com

ELECTRICAL ENGINEER:

Southern Yosemite Engineering
PO Box 1617
Oakhurst, CA 93644
559-786-1869
Tim Fickling
tick@sti.net

Vicinity Map



Sheet Index (DP Submittal)

General
G000 Cover
G001 Code Analysis
G002 General Notes

Architectural

A099 Overall Site Plan
A100 Site Plan - Existing
A101 Site Plan - Proposed
A102 Landscape Plan
A110 Enlarged Site Plans
A120 Site Details
A121 Site Details
A200 First Floor Plan - Keynote
A202 Second Floor Plan - Keynote
A204 Third Floor Plan - Keynote
A210 Unit Plans
A211 Unit Plans
A212 Enlarged Plans + Unit Plans
A300 Exterior Elevations
A301 Exterior Elevations
A302 Exterior Elevations

PROJECT:

Reza Assemi + Will Dyck
DADA Lofts

1433 Broadway, Fresno, CA 93721

SHEET: Cover

DRAWING SET INFORMATION:

09.22.21	DP Submittal
REVISIONS:	

PROJECT NUMBER:

2020-43

SHEET NUMBER:

G000

PH

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Parking Summary

Parking Summary Table		
	Required	Proposed
Parking stalls	14	7
Accessible stalls	1	1
Bicycle parking (short term)	0	0
Bicycle parking (long term)	3	3
Parking Ratio	0.19 stalls per dwelling unit	

Parking [per Fresno Municode Table 15-2407]

Required:	0.5 spaces per dwelling unit required for Downtown Districts
	Can be reduced by 30% where any portion of the lot is located within 1/4 mile of a transit stop with 15 minute or more frequent service between 7a-9a and 5p-7p. [FMC 15-2413.B]
	Multiple bus stops are located in the immediate vicinity of the project site.
	Therefore, (37) dwelling units * 0.5 = 19 stalls.
	19 stalls * 0.70 = 14 stalls required
Provided:	7 stalls, OK with pending modification.

ADA Parking [per CBC 1109A.3]

Accessible parking spaces shall be provided equal to 2% of the dwelling units provided.

(37) units * 0.02 = 0.74 = 1 stall required.

1 in every 8 stalls shall be van accessible [CBC 1109A.8.6]

1 van accessible required, 1 provided, OK.

Bicycle Parking [per FMC Table 15-2429.D]

Short term:	Required per FMC: None Required per CalGreen: None Provided: 0 stalls, OK.
Long term:	Required per FMC: 1 stall per 15 units Required per CalGreen: None Provided: 3 stalls, OK. See Floor Plan on A200.

Electric Vehicle Charging Spaces [per CalGreen 4.106.4.2]

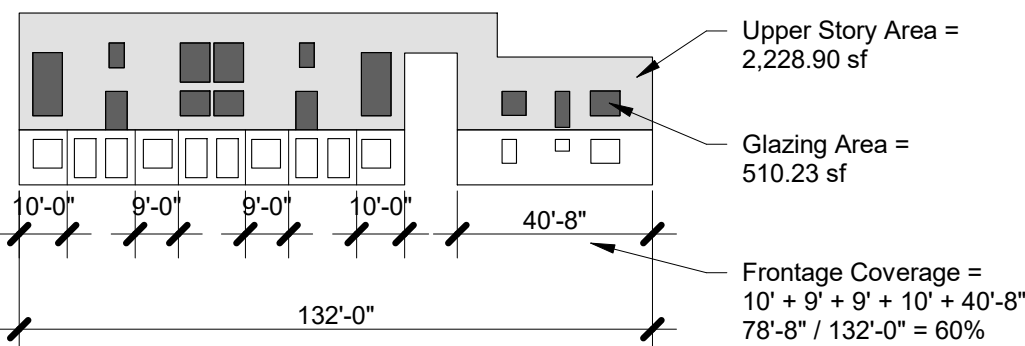
Required:	10% of total parking stalls, therefore 11 * 0.10 = 2 stalls
Provided:	2 future EV parking stalls proposed, OK

On-Site Loading Zones [per FMC 15-2430]

Required:	None required for Downtown Districts, OK
Provided:	None, OK

Site Information

Site Summary Table	
	Proposed
Site Area (Net and Gross)	19,800 sf
Building Area	24,887 sf
Building Footprint	11,266 sf
Lot Coverage	57%
Paved Area	6,484 sf
Landscaped Area	2,050 sf

General Plan	DTC - Downtown Core
Zoning Designation	DTC - Downtown Core
Front Setbacks	
Required	0' min / 10' max
Provided	7'-8", OK
Side/Rear Setbacks	
Required	0' min
Provided	0' min, OK
Floor Area Ratio	
Required	no min/max
Provided	1.26, OK
Activity Class	'B' per [FMC 15-1501.C.2]
Glazing Standards	25% min glazing on upper stories. 23% provided, OK with ministerial reduction. See diagram below.
	
On-Site Open Space	5% min lot area required where more than 4 residential units Can be made up of private or public space. 19,800 sf lot area * 0.05 = 990 sf minimum. For public spaces, there shall be 20' minimum dimension. 21' provided in shared courtyard, OK. For public spaces, there shall be 1,000 square feet minimum. 2,690 sf provided, OK.

Site Information (cont'd)

Fencing	[per FMC 15-2006.E] Maximum height = 8' with director approval, 8' provided, OK. Minimum setback from back of sidewalk = 12", 8'-1" proposed, OK 80% transparent min., xx% proposed, OK Tubular steel and decorative metal materials allowed, OK.
Trash + Recycling	[per FMC 15-2016.B.2] Enclosures are required when new development exceeds (5) units. There shall be one solid waste and recycling enclosure per (30) units. Proposed development includes (37) units, therefore enclosures are required, and there shall be (2) trash and (2) recycling enclosures. Since proposed project is only slightly over the (30) unit requirement, we are proposing to increase size of dumpsters or frequency of pick up rather than build a (4) stall dumpster enclosure which would take up a considerable portion of the parking area. OK, with pending modification.

Building Information

Fall Protection at Roof

[per CBC 1015.6]

Only required where mechanical equipment is within 10' of a roof edge that is more than 30" above the grade below. All mechanical equipment is located within mechanical wells that are protected by more than 42" walls, therefore no restraints or guards are required.

Solar/PV System

[per CBC 601]
V-B

Occupancy

[per CBC 310.3]
R-2

Solar/PV System
[per CEC 150.1(c)(14)]
See A500 for Solar Calculation.

Allowable Area/Height/Stories

Allowable Area
[per CBC 506.2, Type V-B construction, R-2 occupancy, multi-story, sprinklered buildings]

21,000 sf allowable per story

Proposed:			
First Floor	Rear Building 7,747 sf	Front Building 3,519 sf	Total 11,266 sf, OK
Second Floor	7,741 sf	3,470 sf	11,211 sf, OK
Third Floor	N/A	2,410 sf	2,410 sf, OK
Total	15,488 sf	9,399 sf	24,887 sf

Allowable Height
[per CBC Table 506.2, for Occupancy Group R, Type V-B, sprinklered]
60' max allowed

[per FMC, for DTC zone]
18' min allowed
190' max allowed

36'-10" provided, OK

Allowable Number of Stories Above Grade Plane
[per CBC Table 504.4 for Occupancy Group R, Type V-B, sprinklered]
3 stories allowed

[per FMC, for DTC zone]
15 stories allowed

3 stories provided, OK

Residential Occupancies Summary

Fire Separation Requirements
[per CBC 420.2]

Walls separating dwelling units from each other or public space shall be 1-hr fire partitions [420.2] with 45 min. rated doors and 45 min. rated glazing [CBC Table 716.1(2)].

xx rating provided, OK.

Floor assemblies separating dwelling units from each other or public space shall be 1/2-hr rated horizontal assemblies where the building is fully sprinklered [711.2.4.3, Exception 1].

xx rating provided, OK.

Sound Separation Requirements

[per CBC 1206]

Walls separating dwelling units from each other or public space shall be STC 50 or FSTC 45 rated min.

xx STC provided, OK. See details on A900.

Floor assemblies separating dwelling units from each other or public space shall be IIC 50 or 45 FLIC min.

xx IIC provided, OK. See details on A900.

Window Openings Fall Protection
[per CBC 1015.8]

Where sill is less than 36" above finished floor and drop is 72" or more, must provide 4" max opening via a control device complying with ASTM F2090. Device shall release to allow window to open to minimum dimensions required for egress per 1030.2.

Window Minimum Opening Size/Location
[per CBC 1030.2]

Shall be 24" min. clear height and 20" min. clear width.
36" width and 30" height provided, OK. See Window Schedule on A700.

Shall not be more than 44" from the finished floor.
36" max sill height provided, OK. See Window Schedule on A700.

Shall be 5.7 net sf clear area, min.
xx sf provided, OK. See Window Schedule on A700.

Adaptable + Accessible Unit Summary

Accessibility to multi-story dwelling units in non-elevator building
[per CBC 1102A.3]

10% or 1 unit min. in buildings with 3 or more units shall be on an accessible route, with a powder room on the ground floor. All rooms on that floor shall be served by an accessible route.

6 total multi-story dwelling units provided, therefore .6 or 1 unit shall be provided on the ground floor as outlined above.

1 unit of each multi-story dwelling unit type provided on the ground floor. See A200 for more information. Units are designated with the following symbol.



Adaptable Units
[Per CBC 1104A.1]

Adaptable units on an accessible route shall be provided at all ground floor units in non-elevator buildings.

All ground-floor units are adaptable and on an accessible route, OK.

Exiting + Egress

Occupant Load + Number of Exits
[per CBC Table 1006.3.1 and Table 1006.3.3(1)]

See code plans on G100 for more information.
Occupant load factors: 200 OLF for residential.

Summary below:

	Front Building	Back Building
First Floor	21 occupants 2 exits required 6 exits provided, OK	27 occupants 2 exits required 3 exits provided, OK
Second Floor	18 occupants 2 exits required 2 exit(s) provided, OK	28 occupants 2 exits required 2 exits provided, OK
Third Floor	N/A N/A N/A	N/A N/A N/A

Number of Exits
[per CBC Table 1006.3.2]

Where occupant load is <500, 2 exits are required per story.

[per CBC Table 1006.3.3(1)]

For R-2 occupancies, 4 dwelling units maximum shall be permitted to have a single exit.

Proposed front building has two units per shared stairway - therefore only a single exit is permitted. Back building has 14 units on the second floor, so two exits are required. OK.

Exit Separation
[per CBC 1007.1.1, Exception 2]

Where two exits are provided from a building or space, they must be separated by 1/3 the max diagonal of the space (for fully sprinklered buildings). Shall be measured to the closest stair riser, where applicable.

See plans on G100 for more information.

Exit Signage
[per CBC 1013]

Internally illuminated and tactile exit signs shall be provided in all spaces required to have two exits, and at all exits and exit access doors.
See details on A900 for more information.

Fire Extinguisher Travel Distance [per CBC table 906.3(1)]

75'-0" max per CBC, and 1 extinguisher per 3,000 sf.

Locations and travel distances shown diagrammatically on Code Plans. See G100.

Exit access travel distance [per CBC Table 1017.2]

250' max with sprinkler system for R occupancy

Shown diagrammatically on Code Plans. See G100.

Elevators Required
[per CBC 1009.2.1]

Only required for 4 or more stories.

3 stories provided, therefore no elevators required, OK.

Stairway to Roof
[per CBC 1011.12]

Required for 4 or more stories. Ladder acceptable for 2-3 stories.

3 stories provided, therefore ladder provided, OK.

Stairway Width
[per CBC 1011.2]

36" min width required for occupant load less than 50 people.
44" min width required for occupant load greater than 50 people.

Handrails at Stairways
[per CBC 1011.11]

Required on both sides, unless within a dwelling unit.

Handrails provided at both sides of public stairways, and on one side of stairways within dwelling units, OK.

Landscape Summary

Landscape Summary Table

	Existing	Proposed
"Chinese Pistache" Trees	--	11
"Ash" Street Trees	2	--
"Bay Laurel" Trees	--	2
"Autumn Applause/Purple" Trees	--	4

See Site Plan on A101 and Landscape Plan on A102 for specific locations.

DTC (Downtown Core) zone does not have minimum tree requirements, but (13) trees provided on-site and (4) within public right of way for shading and aesthetics.

Fire Protection

Fire Sprinklers

Proposed under a deferred approval as indicated on Cover Sheet G000.

Type of Construction Requirements

[per CBC Table 601]
Construction Type: V-B

All items are to be considered 0-hr rating required, typ. u.n.o.

Roof Class: Class B required for roofs that terminate at rated walls on a property line.

Class B provided, OK. See XXX.

[per CBC Table 705.8]

Opening protection: Max area of exterior wall openings limited by fire separation distance and opening protection.

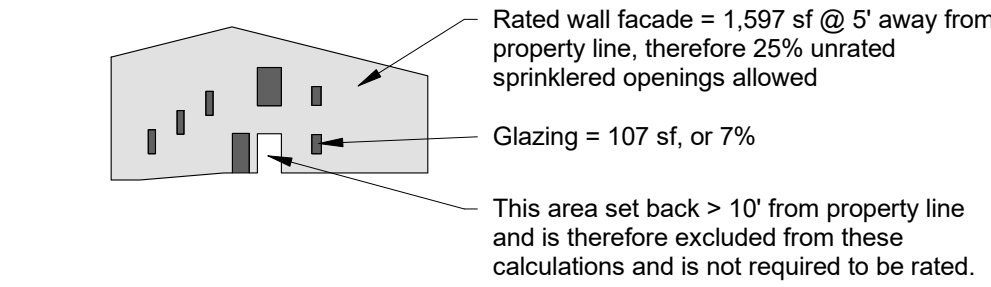
Where fire separation distance is 0 < x < 3 feet, no exterior openings are permitted.

Where fire separation distance is 5 < x < 10 feet, 25% of each story's area shall be permitted to have unprotected, sprinklered openings.

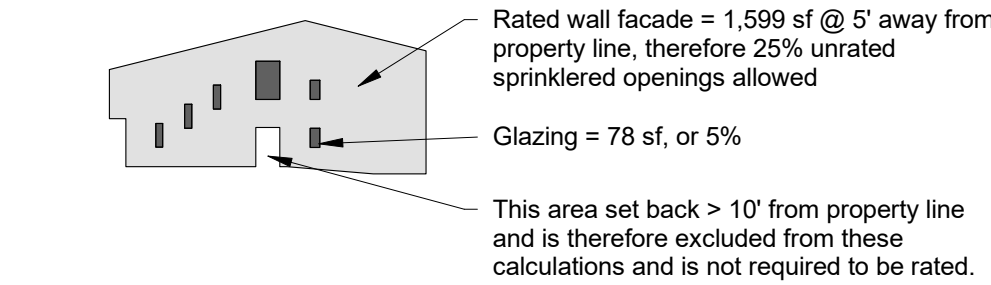
Where fire separation distance is 20 < x, there is no limit to exterior openings.

> 20' fire separation distance provided on front of building, therefore no limit is applied where new glazing is proposed.

0' < x < 10' fire separation distance provided on sides of building, therefore unprotected openings do not exceed percentages as outlined above. See diagrams below.



SOUTH FACADE (MAYFLOWER)



NORTH FACADE (KEPLER)

Exterior Walls
[per 705.11]

Exception for R-2 if Class C roof covering is used, exterior wall shall be permitted to terminate at the underside of the roof sheathing for Type V construction, where there is 5/8" type X GWB attached directly to the underside of the sheathing for a min. distance of 4' laterally. [Ex. 5.2]

Where walls are 5' min. FSD from prop lines, parapets are not required [Ex. 6]

Fire Extinguishers
[per CFC 906.3]

Provided to meet 1 per 3,000 sf of area coverage and 75' max travel distance for all occupied spaced under this permit. See G100 and floorplans.

24,887 sf total provided / 3,000 = 9 total fire extinguishers required
11 total fire extinguishers provided, OK
First Floor: (6) FE cabinets provided
Second Floor: (5) FE cabinets provided
Third Floor: (0) FE cabinets provided

Exit Access Stairways
[per CBC 1019]

For R occupancies, exit access stairways and ramps only serve two stories are not required to be in a shaft enclosure, provided they are not open to other stories.

Exit access stairways provided only communicate between two stories, OK.

Per 1020.6, exit access stairways can be a part of the corridor continuation path, as long as the rating is extended around the stairway, OK.

Corridor Requirements Required Width
[per CBC Table 1020.2]

44" required, unless <50 occupants, then 36" required.

72" min. provided, OK.

Rated Walls
[per CBC Table 1020.1]

1-hr rated fire barrier required for fully sprinklered R occupancies.
1-hr rated fire barrier provided, OK, see Wall Types on A900.

Opening Protection
[per CBC Table 716.5]

20-min rating required for doors.
20-min rating provided, OK. See Door Schedule on A700.

45-min rating required for windows.
45-min rating provided, OK. See Window Schedule on A700.

Interior Finishes
[per CBC Table 803.13 and 804.4]

Class C required for all spaces in R-2 occupancies.
Class C provided, OK. See Finish Schedule on A700.

All interior floor finish shall comply with ASTM E648, and have a specific optical density smoke rating not to exceed 450 per ASTM E662.
Smoke rating less than 450 provided, OK. See General Notes on A700.

Critical radiant flux shall be Class II for R-2 occupancies.
Class II radiant flux provided, OK. See General Notes on A700.

Supporting Construction
[per CBC 711.2]

Not required where horizontal assemblies are separating dwelling or sleeping units in Type V-B construction. Therefore none proposed in project, OK.

PH

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PROJECT:Reza Assemi + Will DyckDADA Lofts1433 Broadway, Fresno, CA 93721SHEET: Code Analysis

DRAWING SET INFORMATION:

09.22.21	DP Submittal
----------	--------------

REVISIONS:

PROJECT NUMBER:

2020-43

SHEET NUMBER:

G001

City of Fresno Standard Notes

1.

Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. *This special permit is granted, and the conditions imposed, based upon the Operation Statement provided by the applicant. The Operation Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operation Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operation Statement.* Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.
2.

No land shall be used, and no structure shall be constructed, occupied, enlarged, altered, demolished, or moved in any zoning district, except in accordance with the provisions of this Code. Specific uses of land, buildings, and structures listed as prohibited in any zoning district are hereby declared to be detrimental to the public health, safety, and welfare.
3.

Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department:
https://www.fresno.gov/publicworks/developer-doorway/#tab-9
4.

Development shall take place in accordance with all city, county, state and federal laws and regulations.
5.

Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property, or renting out four or more dwelling units) are required by the Fresno Municipal Code (FMC) to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form are available at the following website:
https://www.fresno.gov/finance/business-license-tax-certificate/
6.

All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.
7.

Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.
8.

A permit granted under the FMC shall automatically expire if it is not exercised or extended within three years of its issuance. Refer to Section 15-5013, Expiration of Planning Entitlements, for more information about the exercise of rights.

FENCES, WALLS, AND LANDSCAPING

9.

Nothing in this Development Code shall be deemed to prohibit the erection of temporary fencing around construction sites in compliance with the Building Code and other applicable provisions of the FMC.
10.

Future fences shall be reviewed and approved by the Development and Resource Management Department prior to installation.
11.

Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.
12.

All general standards of Section 15-2015 of the FMC shall apply when lighting is provided to illuminate parking, sales or display areas. **Depict all proposed lights on the site plan.**
13.

Bicycle parking spaces shall be supplied according to Table 15-2429-D: Required On-Site Bicycle Parking Spaces of the FMC. Each bicycle parking space shall be a minimum of 30 inches in width and eight feet in length and shall be accessible without moving another parking space. At least 30 inches of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces to allow for the maneuvering of bikes. Overhead clearance shall be a minimum of seven feet. A minimum five foot aisle between each row of bicycle parking shall be provided for bicycle maneuvering beside or between each row, when multiple rows are proposed. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.
14.

All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.
15.

Signs, *other than directional signs, if applicable,* are not approved for installation as part of this special permit.
16.

All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and the drawings are available at the Development and Resource Management Department's Public Front Counter or online:
https://www.fresno.gov/dam/planning-development/applications-forms-fees/#tab-12
17.

Window signs limited to the hours of operation, address, occupancy, and emergency information are permitted. Operational window signs shall not be mounted or placed on windows higher than the second story. b) The maximum area of exempt window signage shall not exceed three square feet in area.
18.

Banners, streamers, moving signs, and inflatables (including air dancers, balloons, and similar objects) are allowed subject to Temporary Use Permit approval for establishments within Non-Residential Districts. Signs of this type do not count toward total maximum sign area. No sign per this section shall be displayed for more than 30 days, and a period of 30 must lapse before displaying another sign. Signs shall not be displayed for more than 60 total days during a calendar year.

MISCELLANEOUS

19.

Noise levels shall not exceed the decibel levels described in Section 15-2506 of the FMC at anytime, measured at the nearest subject property line. http://library.munioicode.com/HTML/14478/level%20MUUCOFR_CH10REREPUNUREPRCOUS_ART1NORE.html#MUUCOFR_CH10REREPUNUREPRCOUS_ART1NORE_S10-102DE
20.

The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Development and Resource Management Department for 'Official Addresses'. **Only those addresses assigned by the City of Fresno will be recognized as 'Official Addresses'.** The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and/or separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.
21.

All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, FMC Chapter 8, Article 7 (FMC Sections 6-701 et seq.) When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior** to commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at (559) 445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet: www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml. Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website: www.casqa.org. When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml. The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities (www.casqa.org).

22.

Screen all roof-mounted equipment from the view of public rights-of-way. **Depict all mechanical equipment on site plan and elevations.**
23.

If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately.
24.

If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archaeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation.
25.

If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved.
26.

Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply.
27.

Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for alternative wastewater treatment facilities.
28.

City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8277.
29.

Open street cuts are not permitted; all utility connections must be bored.
30.

CROSS-CONNECTION CONTROL: A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621- 5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.
31.

This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Development and Resource Management when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

32.

If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

FEES

33.

NOTICE TO PROJECT APPLICANT: In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.
34.

CITYWIDE DEVELOPMENT IMPACT FEES a) Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE's Generation Manual. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit. b) Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units) c) Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units) d) Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)
35.

CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006) a) Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law. b) Street Impact Fees will be a condition on all development entitlements granted. c) New construction on vacant parcels shall be calculated on a net acreage (adjusted acre basis) of the entire property subject to the development entitlement based upon planned land use. Notwithstanding, fees shall be based upon actual land use for developments in the C-M zone district and for development projects developed inconsistent with the plan land use. d) New construction on property that is partially developed, Street Impact Fees will be applied to the incremental increase proportionate to the respective floor to area ratios (25% for commercial and 40% for industrial). In no case shall anyone pay more than the amount of the total net acreage of the parcel multiplied by the applicable fee rate. e) Reuse being more intensive than the original use, the developer shall be required to pay the difference between the current amount of the Street Impact Fee obligation for the old use and the current amount of the Street impact Fee obligation for the new use.
36.

FRESNO COUNTY FACILITY IMPACT FEE - Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits.
37.

REGIONAL TRANSPORTATION MITIGATION FEE (RTMF) - Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnococ.org. Provide proof of payment or exemption prior to issuance of building permits.
38.

SCHOOL FEES - School fees must be paid, if required, prior to the issuance of building permits. Contact Central Unified School District. Provide proof of payment (or no fee required) prior to the issuance of building permits.
39.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES a) A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact the FMFCD at (559) 456-3292. b) FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of a new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Development and Resource Management Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.
40.

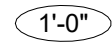
SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied. a) Lateral Sewer Charge (based on property frontage to a depth of 100') b) Oversize Sewer Charge (based on property frontage to a depth of 100') *Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. FMC Article 15, Section 12 provides project owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Administration Division at (559) 621-8600.*
41.

WATER CONNECTION CHARGES: (FMC Sections 6-507 to 6-513). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior** to issuance of building permits may also be applied. a) Frontage Charge (based on property frontage) b) Transmission Grid Main Charge (based on acreage) c) Transmission Grid Main Bond Debt Services Charge (based on acreage) d) UGM Water Supply Fee (based on living units, living unit equivalents or acreage) e) Wellhead Treatment Fee (based on living units or living unit equivalents) f) Recharge Fee (based on living units or living unit equivalents) g) 1994 Bond Debt Service Charge (based on living units or living unit equivalents) h) Service Charges (based on service size required by applicant) i) Meter Charges (based on service need)

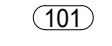
42.

Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19.


Symbols



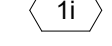
Ceiling Tag, see A600-602



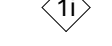
Door Tag, see A700




Window Tag, see A700



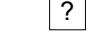
Storefront Tag, see A700



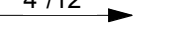
Wall Tag, see A900



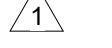
Building Gridline



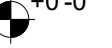
Keynote Tag, see legend




Slope



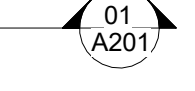
Revision Tag



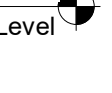
Spot Elevation



Elevation

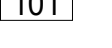


Section




Level


Room name



Room Tag



PROJECT NORTH



TRUE NORTH

North Arrow

Traffic Planning Notes

- 1) Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
- 2) Repair all damaged and/or off-grade concrete street improvements, as determined by the Construction Management Engineer, **prior** to occupancy.
- 3) Two working days before commencing excavation operations within the street right-of-way and/or utility easements, all existing underground facilities shall have been located by UNDERGROUND SERVICES ALERT (USA). **CALL 1-800-642-2444**
- 4) The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
- 5) The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule.
- 6) The City reserves the right to require an applicant to increase or decrease the size of a water meter for a project or a property to ensure that the meter is properly sized to accommodate fire protection requirements, and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
- 7) The Water Capacity Fee Charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
- 8) The Project Developer shall be required to pay all other water-related fees and charges in accordance with the City's Master Fee Schedule and Municipal Code.
- 9) House branch(sewer lateral) larger than 6-inch shall require a manhole connection.
- 10) Street work permit is required for any work in the Right-of-Way.
- 11) On-site sanitary sewer facilities shall be private.
- 12) Abandon any existing on-site private septic systems.
- 13) The Project Developer shall contact Utility Billing and Collection Services at (559) 621-6765 prior to pulling building permits regarding conditions of service for special users.

SEWER

- 1) Sewer branch(sewer lateral) larger than 6-inch shall require a manhole connection.
- 2) Street work permit is required for any work in the Right-of-Way.
- 3) On-site sanitary sewer facilities shall be private.
- 4) Abandon any existing on-site private septic systems.
- 5) The Project Developer shall contact Utility Billing and Collection Services at (559) 621-6765 prior to pulling building permits regarding conditions of service for special users.

SOLID WASTE

- 6) All trash bins provided to multi-family complexes must be serviced with a frequency of at least twice per week. This standard does not apply to frequency of service for recycling bins. Solid Waste bin service will be provided by the City of Fresno, per FMC 9-405.
- 7) All multi-family complexes are required to subscribe for recycling services, per FMC 9-405.1. Recycling services may be provided by the City of Fresno or any private recycling service provider. Recycling services must include at the minimum cardboard, newspaper, paper, glass, plastics, beverage containers, and metal recycling.
- 8) All trash and recyclable material must be placed in approved containers, per FMC 9-404. At no time may trash and recyclable material be placed on the ground or pavement.
- 9) All Solid Waste and Recycling service collectively must equal or exceed a 2:1 ratio of 2 units per one cubic yard of service per week. This minimum service applies to all multi-family complexes. (i.e. 24 unit complex must have a minimum of 12 cubic yards of solid waste and recycling service per week.)
- 10) Developer shall install (or construct) a trash enclosure for the project that complies with the City's ADA requirements as defined in the City's standard drawings, details and specifications. The certificate of occupancy for the project shall be withheld until developer installs (constructs) the trash enclosure in accordance with the City's ADA requirements.

General Notes

- 1) Unless otherwise indicated, all work shall be in strict accordance with all codes adopted & amended by the governing authority.
- 2) All hardware to meet function specified & Title 24 accessibility requirements; all door handles shall be lever type, except where panic hardware req'd.; see door schedule & floor plans.
- 3) Unless otherwise indicated, all dimensions are indicated to the face of stud walls, plywood shlg., concrete, or concrete masonry.
- 4) The approval of these plans & specifications does not permit the violation of any section of the building code, municipal ordinances, or state laws.
- 5) Contractor shall visit the job site & familiarize him/herself w/ all conditions which may have an effect on his/her work. Any discrepancies between the drawings & the actual conditions shall be immediately brought to the attention of the Architect.
- 6) Provide all-weather access to all areas of the development during all phases of the construction.
- 7) This building shall conform to all state requirements for accessibility. All doors shall have min. clear openings of 32". Verify that max. cross slope of all landings, ramps, &/or walks to be 1/4" per foot. See CBC 2016 Chapter 11B.
- 8) Verify that approved 6"x6" accessibility symbol is posted at primary entrance to building; see detail
- 9) Provide anchorage backing for all accessories and fixtures, including, but not limited to TV's, artwork, handrails, casework, shelving, mirrors, and wall-mounted equipment, etc. See detail
- 10) Drawings are not to be scaled for any reason. Dimensions shall govern.
- 11) Take field measurements as required. Discrepancies between drawings & field dimensions shall be reported to Architect prior to fabrication.
- 12) Provide the following joint sealants at interior joints in vertical surfaces and horizontal non-traffic surfaces as indicated below. a) Perimeter joints between interior wall surfaces and frames of interior door and window frames b) Perimeter joints of plumbing fixtures c) Perimeter of sound walls & penetrations through sound walls. d) Perimeter of penetrations through all surfaces where required to close gaps between surfaces e) Other joints indicated -- See Specification section 07 92 00 for more information.
- 13) Provide attachment & connection devices & method necessary for securing work.
- 14) Visual effects: Provide uniform joint widths in exposed work. Arrange joints in exposed work to obtain the best visual effect. Refer joint layouts to the Architect for final decision.
- 15) Where mounting heights are not indicated, install individual components at standard mounting heights recognized within the industry for the particular application indicated. Refer questionable mounting height decisions to the Architect for final decision.
- 16) For typical mounting heights of switches and outlets; see detail
- 17) Provide type 2A fire extinguishers per IFC and NFPA 10; see G100 and floor plans for locations and Specification section 10 44 15.
- 18) See specifications for material grades.
- 19) It shall be the responsibility of the Contractor to notify the Architect of any conflicts herein prior to start of work on that item.
- 20) These plans & related documents must be available at the job site during any inspection activity.
- 21) Where no specific detail is shown, the construction shall be identical or similar to that indicated for similar construction on the project.
- 22) Where no specific standards are applied to a material or method of construction to be used in the work, all such materials & methods are to maintain standards of the industry.
- 23) Materials, equip., etc. not indicated on drawings or specified herein but essential to the successful & efficient completion of the installation shall be furnished & installed.
- 24) Examine substrates & other conditions under finish materials for compliance w/ requirements for application of finish material. Do not begin application until unsatisfactory conditions have been corrected.
- 25) Manufacturer's instruction: comply w/ manufacturer's written installation instructions & recommendations to the extent that those instructions & recommendations are more explicit or stringent than requirements contained in contract documents.
- 26) Where Structural, Mechanical, Plumbing or Electrical scopes penetrate a rated wall or occupancy separation wall, Architectural details provided on A950 shall determine the treatment of the rated penetration or joint between materials for the respective element penetrating the rated wall or being infilled into the rated wall.
- 27) Provide airtight caulking or gasketing at all perimeter stud wall sill plates, electrical outlets, switches & other sources of infiltration.
- 28) Flame spread & smoke density of insul. to be installed shall not exceed the requirements described in Title 24 Compliance Notes.
- 29) No additional roof openings or roof mounted equipment is allowed beyond that which is shown on these plans without the written consent of the Architect.
- 30) Provide min. R-38 insulation as part of roof system. Provide R-21 min. insul. at ext. walls. Thermal insulation shall be installed as to create a continuous building envelope.
- 31) Fire blocking shall be provided in concealed spaces of combustible stud walls & partitions (where wood framing provided), including furred spaces, spaces at ceilings and floor and at 10' intervals both vertical and horizontal. Fire blocking shall be constructed per CBC.
- 32) Hot & cold water supply piping and waste piping below lavatories and sinks accessible to people in a wheelchair shall be protected to prevent injury from sharp edges or hot piping.
- 33) Street address & number shall be clearly & visibly posted at the site prior to the first inspection, per the AHJ requirements.

Drawing Organization

The organization of these drawings is not intended to control the division of work among subcontractors. It shall be the General Contractor's responsibility to divide the work.

The drawings cover most of the construction conditions. If another condition is discovered during construction, the Contractor shall submit a sketch of the work to be done to the Architect for approval.

Copies of these drawings are supplied to the Owner, and the Contractor for use in the construction of this project only. The drawings are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without first obtaining the written permission of Paul Halajian Architects. All drawings prepared by Paul Halajian Architects are and shall remain the property of Paul Halajian Architects.



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PROJECT:

Reza Assemi + Will Dyck

SHEET:

DADA Lofts

1433 Broadway, Fresno, CA 93721

DRAWING SET INFORMATION:

09:22:21	DP Submittal
REVISIONS:	

PROJECT NUMBER:

2020-43

SHEET NUMBER:

G002