

CITY OF FRESNO
DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT

CONDITIONS OF APPROVAL

AUGUST 17, 2016

CONDITIONAL USE PERMIT APPLICATION NO. C-16-022

8669 North Maple Avenue

The Planning Commission will consider approval of Conditional Use Permit Application No. C-16-022 at a noticed public hearing on August 17, 2016 at 6:00 p.m. Staff recommends that the special permit application be approved subject to the conditions listed in this document.

Project Description: Paul Halajian, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, has filed Conditional Use Permit Application No. C-16-022 pertaining to approximately 2.3 acres of property located on the west side of North Maple Avenue between East Teague and East Shepherd Avenues in northeast Fresno.

Conditional Use Permit Application No. C-16-022 requests authorization to construct a 13,624 square-foot Coptic Orthodox Church (Archangel Michael and Gabriel Coptic Orthodox Church) with religious educational classrooms, a social hall, and an outdoor plaza. The project includes, landscaping, parking areas, and related improvements.









CONDITIONS OF APPROVAL



PART A – ITEMS TO BE COMPLETED

The following items are required prior to issuance of building permits or prior to occupancy as noted below:

Planner to initial when completed		
<input type="checkbox"/>	1.	Development shall take place in accordance with Exhibits T, A (2 - 1 from Planning, 1 from Traffic), B, C, E-1, E-2, E-3, F, & L dated March 8, 2016. Transfer all comments and conditions to the corrected exhibit(s) and submit to planner at least 15 days prior to issuance of building permits.
<input type="checkbox"/>	2.	Development shall take place in accordance with the attached memorandum from the Public Works Department, Median Island Maintenance, dated April 19, 2016. Provide five street trees along North Maple Avenue and six street trees along East Powers Avenue.

<input type="checkbox"/>	3.	Submit three copies of detailed, final landscaping and irrigation plans prepared by a landscape professional, showing the number and types of trees, to the Development Services Division. Landscape plans must comply with Section 15-2304 of the Fresno Municipal Code (FMC). Landscaping design must comply with Section 15-2306 of the Fresno Citywide Development Code. These plans must be reviewed and approved prior to issuance of building permits.
<input type="checkbox"/>	4.	All landscaping must comply with Sections 15-2306, 15-2307, 15-2308, 15-2309 and 15-2421 of the FMC. Parking lot trees and landscaping shall be provided in accordance with Sections 15-2421 and 15-2422. Revise landscape plan accordingly. These plans must be reviewed and approved prior to issuance of building permits.
<input type="checkbox"/>	5.	Landscaping must be in place before issuance of the certificate of occupancy . A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division.
<input type="checkbox"/>	6.	Prior to final inspection , a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development and Resource Management Department (see form, attached).
<input type="checkbox"/>	7.	Deeds of easements for required dedications shall be completed (deeds recorded) prior to issuance of building permits.
<input type="checkbox"/>	8.	Outdoor lighting shall not exceed an intensity of one foot candle of light throughout the facility.
<input type="checkbox"/>	9.	The proposed use and operation shall comply with Article 25 - Performance Standards contained in the FMC. Add note to revised site plan.
<input type="checkbox"/>	10.	Add applicable notes from the attached document titled "Notes and Requirements for Entitlement Applications".
<input type="checkbox"/>	11.	The entire width of the required access way shall remain unobstructed to a vertical height of 13 feet, six inches. Coordinate landscape plan to meet this requirement with assumed plant growth. Add note to revised site

		plan.
	12.	Curbs highlighted shall be identified as fire lanes as provided in the California Vehicle Code, Section 22500.1. Designate curbs as fire lanes (red curb with "Fire Lane" in three inch white letters every 50 feet or approved signs every 50 feet). Add note to revised site plan.
	13.	Provide signs (17" x 22" minimum) at all public entrance drives to the property which state "Warning – Vehicles stopped, parked, or left standing in fire lanes will be immediately removed at owner's expense – 2258(a) California Vehicle Code – Fresno Police Department 621-2300." Add note to revised site plan.
	14.	All pedestrian gates, where required for compliance of the 200' rule, shall remain unlocked or be provided with Police/Fire bypass locks. ("Best" padlock model 21B700 series or lockbox). A Knox padlock may not be used. This applies to every gate proposed as shown for firefighter access. Add note to revised site plan.
	15.	Walking access is required to reach building openings within 200' of a paved surface designed for fire apparatus use. Required walking access shall be designed to prevent sharp turn or obstacles what would hinder the carrying of ground ladders and other hand-held equipment. Gates shall be a minimum of four feet in width if they are used in the walking access path. Add note to revised site plan.
	16.	Development shall take place in accordance with the attached memorandum from the Department of Public Utilities, Water Division comments dated March 21, 2016.
	17.	Development shall take place in accordance with the attached memorandum from the Fresno Metropolitan Flood Control District dated April 7, 2016. The Grading Plan Review fee of \$493 shall be submitted with the first grading plan submittal. A drainage fee of \$19,412 is due prior to issuance of building permits.
	18.	Development shall take place in accordance with the attached memorandum from the County of Fresno Department of Public Health Department dated March 17, 2016.
	19.	Pursuant to FMC Section 15-2016-D-6, construct a cover over the proposed trash/recycling enclosure to prevent uncovered refuse containers discharging contaminated storm water into the storm water

		system.
	20.	Pursuant to FMC Section 15-2016-D-7, the perimeter of the proposed trash/recycling enclosure shall be planted, with drought-resistant landscaping, including a combination of shrubs and/or climbing evergreen vines.
	21.	Reduce height of proposed cross to comply with FMC Table 15-2012-B.

PART B – OTHER REQUIREMENTS

1. Planning/Zoning/Environmental Compliance Requirements

- a) Property development standards and operational conditions are contained in Articles 11, 20, 23, 24 and 25 of the FMC. Any project revisions, development and operation must comply with these property development standards and operational conditions.
- b) Property development standards and zoning requirements are contained in the attached “Project Comments from the Development Services Division” prepared for Conditional Use Permit Application No. C-16-022 and attached to this document. Any future revisions to the proposed project shall comply with these conditions.
- c) Overall site development shall comply with the Conditions of Approval and Corrected Exhibits for Conditional Use Permit Application No. C-16-022.
- d) Development shall take place in accordance with the attached “Notes and Requirements for Entitlement Applications” as applicable.
- e) Development shall take place in accordance with the RS-4/UGM (*Residential Single Family, Medium Low Density/Urban Growth Management*) zone district and all other applicable sections of the FMC.
- f) Development shall take place in accordance with the policies of the Fresno General Plan and the Woodward Park Community Plan.
- g) Comply with the operational statement submitted for the proposed project dated March 8, 2016.
- h) Development shall take place in accordance with the Section 15-2719 (Community and Religious Assembly Facilities) of the FMC. Any future development of this site shall also require full compliance with this section of the FMC.

- i) Any changes to approved elevations are subject to review and approval by the Development and Resource Management Department.

2. City and Other Services

Development shall take place in accordance with the attached memoranda and letters from the following City of Fresno Departments and partner agencies:

- Public Works Department, Engineering Division (Traffic & Engineering Division) dated March 31, 2016
- Public Works, Median Island Maintenance dated April 19, 2016
- Department of Public Utilities, Engineering Division (Sewer) dated April 21, 2016
- Department of Public Utilities, Water Division dated March 21, 2016
- Fire Department/Fire Prevention/Tech Services dated April 6, 2016
- Building and Safety Services dated March 21, 2016
- Fresno Metropolitan Flood Control District dated April 7, 2016
- County of Fresno Department of Public Health dated March 17, 2016
- San Joaquin Valley Air Pollution Control District dated May 20, 2016
- Fresno Irrigation District dated March 23, 2016
- Department of Public Utilities, Solid Waste Management Division dated March 21, 2016

3. Miscellaneous Requirements

- a) Building plans and permits are required.
- b) Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
 - i) All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;
 - ii) All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,

- iii) Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.
- c) Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions **(include this not on site plan)**.

Please be advised that this project may be subject to a variety of discretionary conditions of approval. These conditions based on adopted City plans and policies, those determined through site plan review and environmental assessment essential to mitigate adverse effects on the health, safety and welfare of the community, and recommend conditions for development that would on the whole enhance the project and its relationship to the neighborhood and environment.

APPEALS

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance, provided the findings pursuant to FMC Section 15-5506 can be made. Discretionary conditions of approval will ultimately be deemed mandatory unless appealed. In the event you wish to appeal any of these conditions, you must state your appeal (in writing or in testimony) at or prior to the Planning Commission hearing for this project scheduled on August 17, 2016 at 6:00 p.m. or thereafter.

BACKCHECK PROCESS

Please Note: To complete the back-check process for building permit(s) relative to planning and zoning issues, submit six copies of the corrected, final site plan, the elevations and floor plans, along with one reduced copy of all exhibits, any fees and title reports for required covenants, and any required studies or analyses to Phillip Siegrist in the Development Services Division for final review and approval, **at least 15 days before applying for building permits.**

It may be necessary to resubmit these “corrected exhibits” a second time if not all the conditions have been complied with or are not shown on the exhibits. Once the “corrected exhibits” are approved by the Development Services Division, please place these exhibits

in the plan check set and contact the Development Services Division, to set up an appointment to signoff and stamp these exhibits. Please bring one additional copy of the site plan exhibit(s) to this appointment so that the Development Services Division has a final signed-off copy of the site plan.

Copies of the final approved site plan, elevations, landscaping, and irrigation plans stamped by the Development Services Division must be submitted for unstamped copies of the same in each of the sets of construction plans submitted for plan check prior to the issuance of building permits. All improvements must be installed prior to the operation of the proposed use.

EXPIRATION DATES

The exercise of rights granted by this special permit must be commenced within three years from the date of approval (presumably on August 17, 2019). An extension of up to one additional year may be granted, provided that the findings required under FMC Section 15-5013-A.1 are made by the Director. All improvements must be installed prior to the operation of the proposed use, unless otherwise stated in the conditions of approval.

Pursuant to Section 15-5308 of the Fresno Municipal Code an expiration date of seven years from the date of approval has been established for Conditional Use Permits. Therefore, the approval for C-16-022 shall expire on August 17, 2023 and a new conditional use permit must be obtained prior to that expiration date.

Enclosures: Exhibit 1: Exhibits T, A (2 - 1 from Planning, 1 from Traffic), B, C, E-1, E-2, E-3, F, & L dated March 8, 2016
 Exhibit 2: Comments from Partner Agencies & Departments
 Exhibit 3: "Project Comments from the Development Services Division" prepared for Conditional Use Permit Application No. C-16-022
 Exhibit 4: Operational Statement dated March 8, 2016
 Exhibit 5: [Notes and Requirements for Entitlement Applications](#)
 Exhibit 6: Landscape Certification Form

New Coptic Orthodox Church: Archangel Michael & Gabriel Fresno, CA CUP Application

CITY OF FRESNO NOT ES AND REQUIREMENTS FOR ENTITLEMENT APPLICATIONS

General:

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. This special permit is granted, and the conditions imposed, based upon the Operation Statement provided by the applicant. The Operation Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operation Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operation Statement. Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.

2. No uses of land, buildings, or structures other than those specifically approved pursuant to this site plan shall be permitted.

3. Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department: <http://www.fresno.gov/Government/DepartmentDirectory/PublicWorks/Developer/Dooray/Technical/Library/StandardSpecificationsandDrawings.htm>

4. Development shall take place in accordance with all city, county, state and federal laws and regulations.

5. Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property, or renting out four or more dwelling units) are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form is available at the following website: <http://www.fresno.gov/Government/DepartmentDirectory/Finance/Business/LicenseandTax/BusinessTaxApplication.htm>

6. All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.

7. Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.

8. For projects initiated in response to code enforcement action, the exercise of rights granted by this special permit must be commenced by six months. Completion of the project, including improvements, shall occur by 12 months.

Fences/Walls, Landscaping, Parking:

9. Temporary fences to secure projects under construction are allowed. Any temporary fence shall be adequately secured and constructed to prevent overrunning due to wind, vandalism, and/or casual contact by the general public. The construction shall be performed in such a manner as to minimize any potential safety hazard, which may occur as a result of improper fence installation or damage to the fence.

10. Future fences shall be reviewed and approved by the Development and Resource Management Department prior to installation.

11. No structures of any kind (including signs and/or fences) may be installed or maintained within the required-landscaped areas. No exposed utility boxes, transformers, meters, piping (excepting the backflow prevention device), etc., are allowed to be located in the landscape areas or setbacks or on the street frontages of the buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.

12. Provide shade calculations on the landscape plan for parking lot shading in accordance with the attached Development Department, Performance Standards for Parking Lot Shading, including tree species and tree counts.

13. Disperse trees over the parking lot area to provide 50 percent shading of the parking area surface within 15 years. (This requirement may be reduced to 40 percent for existing development if it is demonstrated that the constraints of an existing site would make it impossible to meet the normal standards.) Trees shall also be planted in the required landscaped area along the periphery of the development in order to shade and enhance adjacent property and public rights-of-way. Refer to the attached "Performance Standards for Parking Lot Shading," for the tree list and further details.

14. Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety, or as may otherwise be approved by the Development and Resource Management Department.

15. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division.

16. Prior to final inspection, a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development Department.

17. Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.

18. The parking lot design must accommodate the provision of trees in accordance with the attached Parking Lot Shading Policy.

19. A minimum number of accessible parking stalls are required for the proposed project per State of California Building Code, "Development Requirements for Handicapped Accessibility."

20. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles.

21. All accessible parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from accessible parking stalls and ramps.

22. Lighting where provided to illuminate parking, sales or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works.

23. Bicycle parking spaces shall be supplied at a rate of 10% of the automobile spaces provided pursuant to Section 12-306-I-2.1c of the Fresno Municipal Code (FMC). Bicycle parking spaces shall consist of one slot in a bike rack. They shall be grouped in racks which allow four feet of clearance on all sides. There shall be adequate space between rack slots to park, lock, and remove bicycles. Bicycle parking spaces and the required four-foot clearance shall be protected from motor vehicle encroachment by means of fixed barriers not less than six inches or more than three in height. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.

24. All general provisions of Section 12-306-I of the FMC shall apply to all parking areas. http://library.municode.com/HM/144709/municode/CH12LAUSPLZD_ARTIDGECOAP20.htm#MUOCFR_CH12LAUSPLZD_ART36ECOAP20_S12-306PRDEST

Signage:

25. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.

26. Signs, other than directional signs, if applicable, are not approved for installation as part of this special permit.

27. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or online at <http://www.fresno.gov/Government/DepartmentDirectory/PlanningandDevelopment/Planning/SignsandBanners.htm>

28. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or online at <http://www.fresno.gov/Government/DepartmentDirectory/PlanningandDevelopment/Planning/SignsandBanners.htm>

29. Permanent window signs over six square feet in area can be submitted for approval under a sign review application.

Miscellaneous:

30. Noise levels shall not exceed the decibel levels described in Section 10-102 b of the FMC at anytime, measured at the nearest subject property line. http://www.fresno.gov/Government/DepartmentDirectory/PlanningandDevelopment/Planning/SignsandBanners.htm#MUOCFR_CH12LAUSPLZD_ART36ECOAP20_S12-306PRDEST

31. There shall be adequate vehicular access from a dedicated and improved street or alley to off-street parking and loading facilities on the property requiring off-street parking and loading. Vehicular and pedestrian access shall be provided and shall remain clear at all times.

32. The address listed in the conditions of approval is the "Official Address" given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Development and Resource Management Department for "Official Addresses". Only those addresses assigned by the City of Fresno will be recognized as "Official Addresses". The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and/or separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not "Official Addresses".

33. 1. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control. FMC Chapter 6, Article 7 (FMC Sections 6-701 et seq.) When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed prior to commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet: <http://www.waterboards.ca.gov/calwqcb/programs/construction/docs/ConstructionPlan.pdf>

Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, www.cswqa.org

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: <http://www.waterboards.ca.gov/calwqcb/programs/industrial/docs/IndustrialPlan.pdf>

The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities (www.cswqa.org).

34. Screen all roof-mounted equipment from the view of public rights-of-way.

35. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately.

36. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 953-4262) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation.

37. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved.

38. Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply.

39. Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for an alternative wastewater treatment facilities.

40. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer requirements and connection charges, contact Frank Sabunt at (559) 621-8277.

41. Open street cuts are not permitted; all utility connections must be bored.

42. CROSS-CONNECTION CONTROL: A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621-5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.

43. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Development and Resource Management when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

44. Outdoor storage of materials, including ISO containers, is prohibited. All materials shall be stored within a completely enclosed building, unless approved by the Development and Resource Management Department.

45. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

Fees:

46. NOTICE TO PROJECT APPLICANT: In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

CITYWIDE DEVELOPMENT IMPACT FEES

- Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit.
- Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)
- Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units)
- Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)

CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006)

- Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law.
- Street Impact Fees will be a condition on all development entitlements granted.
- New construction on vacant parcels shall be calculated on a net acreage (adjusted acre basis) of the entire property subject to the development entitlement based upon planned land use. Notwithstanding, fees shall be based upon actual land use for developments in the C-M zone district and for development projects developed inconsistent with the plan land use.
- New construction on property that is partially developed, Street Impact Fees will be applied to the incremental increase proportional to the respective floor to area ratios (25% for commercial and 40% for industrial). In no case shall anyone pay more than the amount of the total net acreage of the parcel multiplied by the applicable fee rate.
- Reuse being more intensive than the original use, the developer shall be required to pay the difference between the current amount of the Street Impact Fee obligation for the old use and the current amount of the Street Impact Fee obligation for the new use.

FRESNO COUNTY FACILITY IMPACT FEE

Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits.

REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. Provide proof of payment or exemption prior to issuance of building permits.

SCHOOL FEES

School fees must be paid, if required, prior to the issuance of building permits. Contact Central Unified School District. Provide proof of payment (or no fee required) prior to the issuance of building permits.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES

- A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact Fresno Metropolitan Flood Control District at (559) 456-3292.
- FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of the new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Development and Resource Management Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.

53. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied.

- Lateral Sewer Charge (based on property frontage to a depth of 100')
- Oversize Sewer Charge (based on property frontage to a depth of 100') Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tied Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Administration Division at (559) 621-8600.

54. WATER CONNECTION CHARGES: (FMC Sections 6-507 to 6-513). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council prior to issuance of building permits may also be applied.

- Frontage Charge (based on property frontage)
- Transmission Grid Main Charge (based on acreage)
- Transmission Grid Main Bond Debt Services Charge (based on acreage)
- UGM Water Supply Fee (based on living units, living unit equivalents or acreage)
- Wethead Treatment Fee (based on living units or living unit equivalents)
- Recharge Fee (based on living units or living unit equivalents)
- 1994 Bond Debt Service Charge (based on living units or living unit equivalents)
- Service Charges (based on service size required by applicant)
- Meter Charges (based on service need)

55. Deferral of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19.

Drawing Index

GENERAL SHEETS

G000.CUP CUP Cover Sheet

CIVIL SHEETS

C1 Off Site Improvements

LANDSCAPE SHEETS

L1 Landscape Plan

ARCHITECTURAL SHEETS

A100 Site Plan
A101 Site Details
A201 Floor Plan
A301 Exterior Elevations
A302 Exterior Elevations

General Notes

See sheet A100 for project information

PH

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389 Clovis Ave, Suite 200
Clovis, CA 93612-1185
T: 559.297.7900 F: 559.297.7950
www.halajianarch.com

LICENSED ARCHITECT

PAUL NELSON
HALAJIAN
No. C20194
Ren. 4/30/17

STATE OF CALIFORNIA

PROJECT: Archangel Michael & Gabriel
Coptic Orthodox Church
Fresno, CA
SHEET: CUP Cover Sheet

DRAWING SET INFORMATION:

03/09/2016 CUP Application

REVISIONS:

PROJECT NUMBER:

Project Number

SHEET NUMBER:

G000.CUP

APPL NO. C-16-022 EXHIBIT T DATE 3-8-16

PROJ ENG. _____ DATE _____

TRAFFIC ENG. _____ DATE _____

COND. APPROVED BY _____ DATE _____

CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

SHEET: SITE PLAN

- A. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
- B. Repair all damaged and/or off grade construction and improvements as determined by the Construction Management Engineer, prior to occupancy
- C. 2 working days before commencing excavation operations within the street right-of-way and/or underground facilities, all existing underground facilities shall be located UNDERGROUND SERVICES ALERT (USA). Call 1-800-642-2444.
- D. Contact the Public Works Department, Traffic Engineering at 821-1846, 5 working days prior to any off site construction.
- E. Deed(s) of easement(s) for the required dedication(s) shall be prepared by the owner/dedicator and submitted to the City with verification of ownership prior to the Issuance of Building Permits.
- F. All variations of right of way adjacent to application are required to be processed, prior to building permits. Contact Jim Postogrove of the Public Works Department, at (559) 621-8892. A feasibility study for all proposed alterations of existing public rights of way is required to be completed prior to building permits.
- G. Underground all existing off-site overhead utilities within the limits of this application as per FMG Section 12-1011 and Reso. No. 78-5202.
- H. Submit Engineered Street Construction Plans to the Public Works Department.
- I. Submit Street Lighting Plans to the Public Works Department, Traffic Engineering.
- J. All improvements shall be constructed in accordance with the standard specifications of the city of Fresno Public Works Department or Street Construction Plans as required and approved by the City Engineer. The performance of work within the Public Street right of way (including pedestrian and public utility easements) requires a street work permit prior to commencement of work. All required street improvements shall be completed and accepted by the City prior to occupancy.
- K. The required 4' minimum path of travel shall be provided along the public sidewalk directly adjacent to the right of way required by the California Administration Code (Title 24). A pedestrian easement may be required if requirements are not met.
- L. The applicant shall pay their share contribution as determined by the City to be collected by the City of Fresno Public Works Department Traffic Engineering prior to a Building Permit. Provide verification of payment for these fees to Traffic Planning prior to Final Approval for Building Permit.

Legend

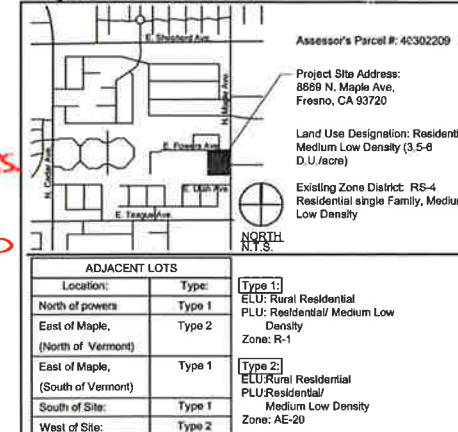


- Without abrupt level changes exceeding $\frac{1}{4}$ " if beveled at 1:2 maximum slope, or vertical level changes exceeding $\frac{1}{4}$ "
- With a firm, stable, slip resistant walking surface
- With a running slope of 1:20 or less, unless otherwise indicated, and a cross slope of 1:50 or less
- Is free of overhead obstructions within 80" above the walking surface; and
- Is free of objects which protrude more than 4" between the heights of 27" and 80" above the walking surface.

Contact Information

Architect	Owner
Paul Halajian Paul Halajian Architects 389 Clovis Ave., Suite 200 Clovis, CA 93612 Phone: 559.287.7900 Fax: 559.287.7850 email: paulh@halajianarch.com	Fr. Tados Meleka Archangel Michael and Gabriel Coptic Orthodox Church 985 N. Palm Ave. Fresno, CA 93728 Phone: 909.973.7660 email: ansanyipaul@acopts.org
Civil:	Landscape:
Alan Mok Alan Mok Engineering 7415 N. Palm Ave. Ste 101 Fresno, CA 93711 Phone: 559.342.6879 email: alan@alanmokengineering.com	Terry Broussard Broussard Associates 389 Clovis Ave., Suite 200 Clovis, CA 93612 Phone: 559.325.7284 email: lerry@broussardassoc.com

Project Site Information



Project Summary

Project Site Area
Gross: 2.3 Acres (100,188 Sq. Ft.)
Net (within right of way line): 2.17 Acres (94,561.13 Sq. Ft.)

Proposed Building Area (Does not include roof overhangs)
Church: 13,458 Sq. Ft.
Tower: 1,342 Sq. Ft.
Future B: 5,042 Sq. Ft.
Total: 21,415 Sq. Ft.

Lot Coverage: No requirements per Fresno Ordinance code, Sec. 12-204.15G

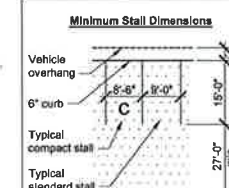
Using Property Line:
Proposed: (13,624/100,188 = 13.6%) 13.6%
Future A: (3,227/100,188 = 0.32%) 0.32%
Future B: (5,042/100,188 = 0.50%) 0.50%
Total: (21,415/100,188 = 21.37%) 21.4%

Paved Area:
Proposed Concrete: 16,439 Sq. Ft.
Proposed AC Paving: 23,396 Sq. Ft.
Total Paved: 41,835 Sq. Ft.

Landscape Area:
Proposed: 29,750 Sq. Ft.

Parking Summary

Parking Spaces:
Required:
3,322 SF @ Sanctuary/50SF = 66.44 Required stalls OR
Total 18" seats (289)+5 wheelchair spaces: 294
(294/5) = 58.8 = 60 Required stalls
Total Provided: 80
Standard : 85
Compact: 11
Accessible: 4
(4 required)
Parking ratio to floor area:
1 stall / 170 Sq. Ft.



Bicycle Spaces:
Required (80 x 10):
Provided: 8

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PROJECT:
Archangel Michael & Gabriel
Coptic Orthodox Church

Fresno, CA

SHEET: SITE PLAN

DRAWING SET INFORMATION:

03/09/2016	CUP Application
------------	-----------------

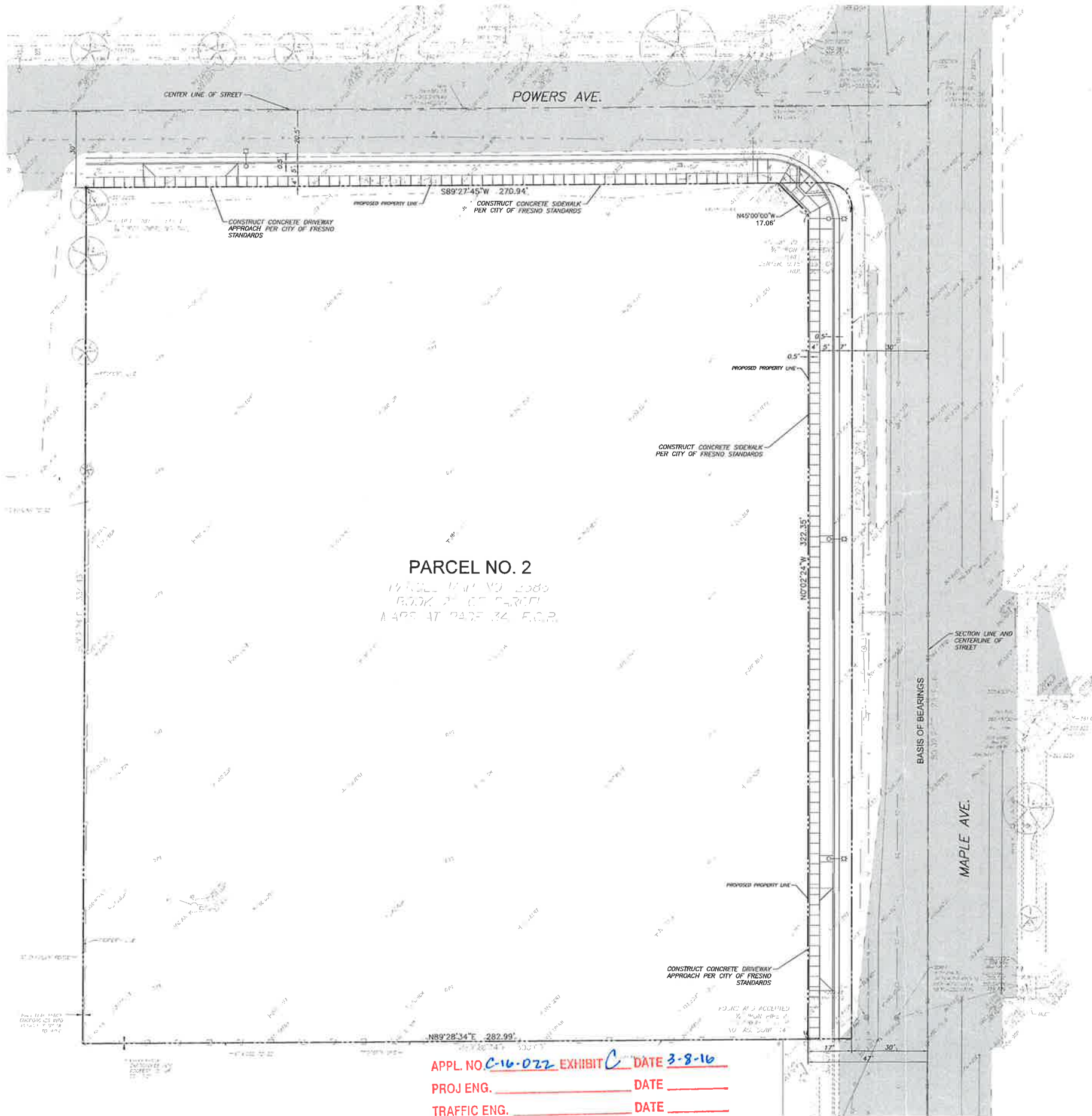
REVISIONS:

PROJECT NUMBER:

2015-15

SHEET NUMBER:

A100



PARCEL NO. 2
TRACT 144, NO. 2080
BOOK 2 OF 5, PAGE 34, F.G.P.

APPL. NO. C-16-022 EXHIBIT C DATE 3-8-16
PROJ. ENG. _____ DATE _____
TRAFFIC ENG. _____ DATE _____
COND. APPROVED BY _____ DATE _____
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

CONSTRUCTION LEGEND:

NEW LIGHT POLE

TOPOGRAPHIC LEGEND:

- | | |
|---------------------------|---------------------------|
| BACKFLOW PREVENTER | POWER POLE |
| COMMUNICATION BOX | SEWER MANHOLE |
| ELECTRICAL METER | SIGN SINGLE POST |
| ELECTRICAL PANEL | STORM DRAIN MANHOLE |
| ELECTRICAL PULL BOX | STORM DRAIN INLET |
| FIRE HYDRANT | TREE, TRUNK SIZE AS NOTED |
| GUY WIRE | TELEPHONE BOX |
| HOSE BIB | TELEPHONE RISER |
| LIGHT - STREET | UNKNOWN BOX |
| MAILBOX | WATER BOX |
| FENCE - CHAIN LINK | WATER VALVE |
| FENCE - METAL | |
| FENCE - WOOD | |
| GRADE BREAK | |
| STRIPING | |
| CONCRETE | |
| EDGE OF PAVEMENT | |
| EXISTING PROPERTY LINE | |
| PROPOSED PROPERTY LINE | |
| EXISTING ASPHALT CONCRETE | |
| EXISTING CONCRETE | |

NOTES:

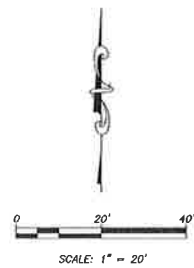
- THE TOPOGRAPHIC SURVEY WAS PERFORMED FROM SEPTEMBER 24, 2015 TO SEPTEMBER 25, 2015.
- THE TOPOGRAPHIC SURVEY IS ONLY A PARTIAL SURVEY OF THE SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATIONS. NOT ALL AREAS OF WORK WERE INCLUDED IN THE TOPOGRAPHIC SURVEY.
- THE SURFACE FEATURES OF THE UTILITIES SHOWN WERE OBTAINED AT THE TIME OF THE TOPOGRAPHIC SURVEY AND FROM A UTILITY SEARCH OF PLANS PROVIDED BY THE OWNER. IT IS POSSIBLE THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT WERE NOT REVEALED THROUGH THE UTILITY SEARCH. NO GUARANTEE CAN BE MADE ON THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.
- THE EXISTENCE AND LOCATION OF ALL IMPROVEMENTS, UTILITIES, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING STALLS, EASEMENTS, SERVITUDES AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE.

BENCHMARK:

FRESNO CITY BENCHMARK NO. TBM 4107
CHISELED SQUARE ON CURB AT THE
NORTH RETURN OF NORTHWEST CORNER OF
MAPLE AVENUE AND UTAH AVENUE.
ELEVATION=380.25'

CITY OF FRESNO PUBLIC WORKS NOTES:

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER, PRIOR TO OCCUPANCY.
- 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL BE LOCATED UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.
- CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING @ 621-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ALL VACATIONS OF RIGHT OF WAY ADJACENT TO APPLICATION ARE REQUIRED TO BE PROCESSED, PRIOR TO BUILDING PERMITS. CONTACT JIM POLSKOROVE OF THE PUBLIC WORKS DEPARTMENT, AT (559) 621-8892. A FEASIBILITY STUDY FOR ALL PROPOSED VACATIONS OF EXISTING PUBLIC RIGHTS OF WAY IS REQUIRED TO BE COMPLETED PRIOR TO BUILDING PERMITS.
- UNDERGROUND ALL EXISTING OFF-SITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS APPLICATION AS PER FMC SECTION 12-1011 AND RESD. NO. 78-527/88229.
- SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO THE PUBLIC WORKS DEPARTMENT.
- SUBMIT STREET LIGHTING PLANS TO THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT OR STREET CONSTRUCTION PLANS AS REQUIRED AND APPROVED BY THE CITY ENGINEER. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY (INCLUDING PEDESTRIAN AND PUBLIC UTILITY EASEMENTS) REQUIRES A STREET WORK PERMIT PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.
- THE REQUIRED 4' MINIMUM PATH OF TRAVEL SHALL BE PROVIDED ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF THE PROPERTY, AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 24). A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
- THE APPLICANT SHALL PAY FAIR SHARE CONTRIBUTION AS DETERMINED BY CALTRANS TO BE COLLECTED BY THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING PRIOR TO A BUILDING PERMIT. PROVIDE VERIFICATION OF PAYMENT FOR THESE FEES TO TRAFFIC PLANNING PRIOR TO FINAL APPROVAL FOR BUILDING PERMIT.



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NOT FOR CONSTRUCTION

PROJECT:
Archangel Michael & Gabriel
Coptic Orthodox Church
Fresno, CA

SHEET: Off-Site Improvements

DRAWING SET INFORMATION:

03/08/2016 CUP Application

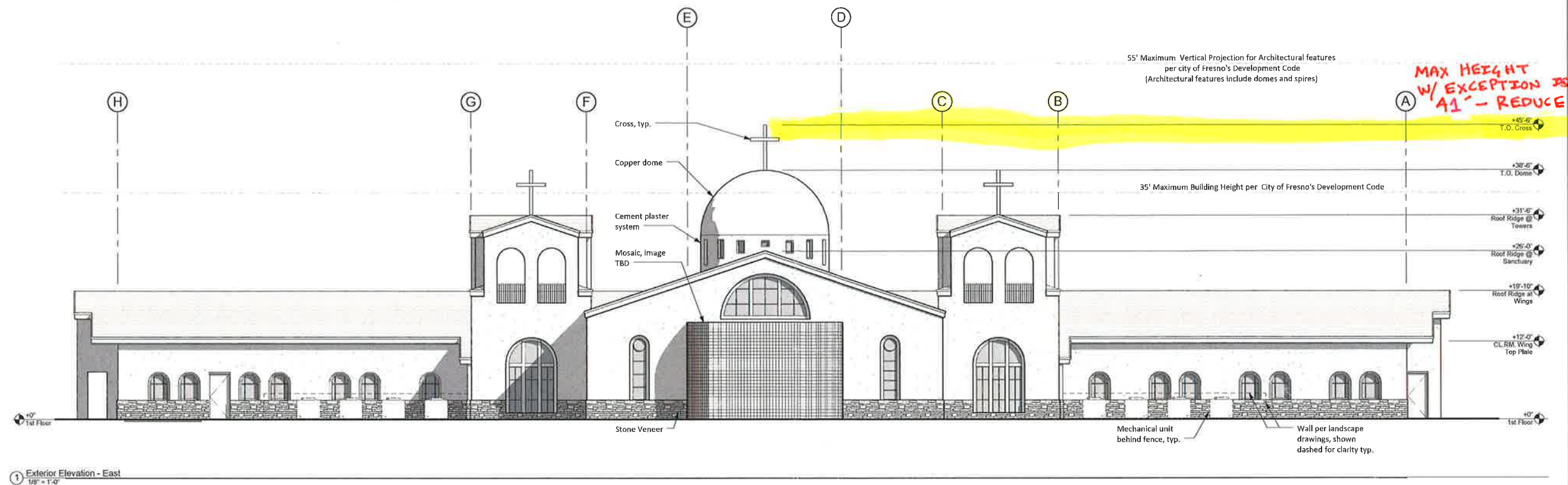
REVISIONS:

PROJECT NUMBER:

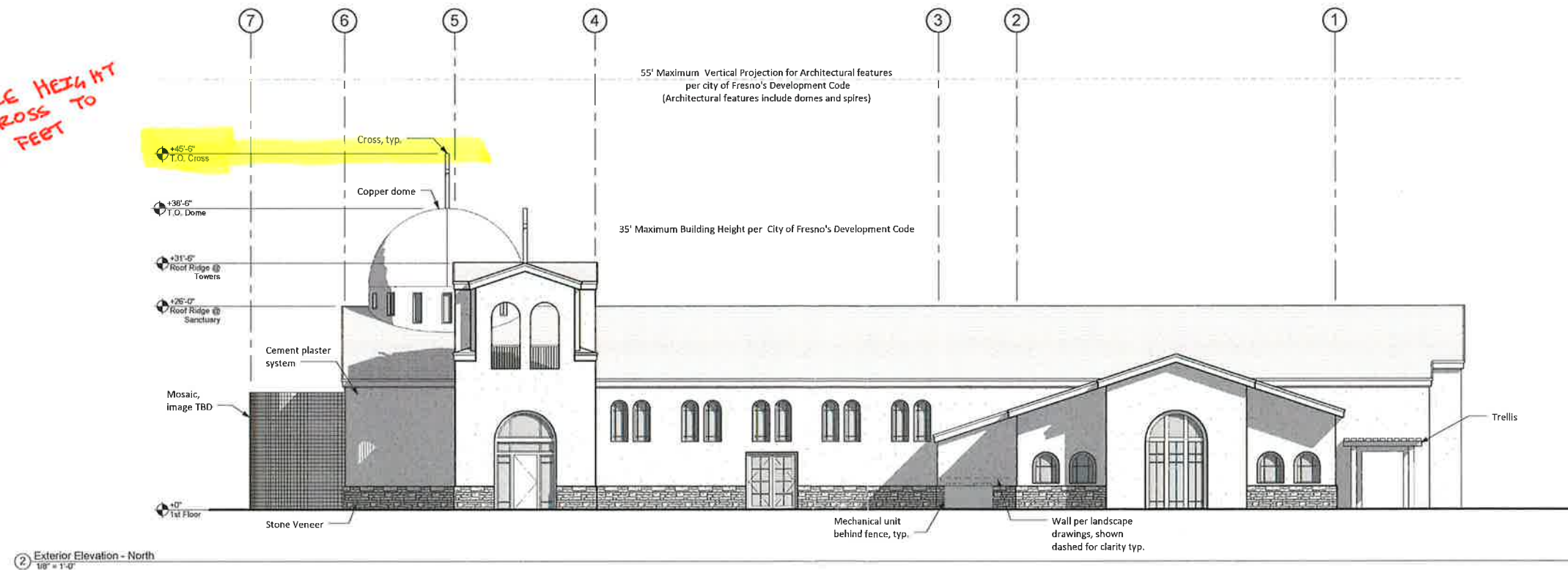
2015-15

SHEET NUMBER:

C1



REDUCE HEIGHT OF CROSS TO 41 FEET



APPL. NO. C-16-022 EXHIBIT E-1 DATE 3-8-16

PROJ. ENG. _____ DATE _____

TRAFIC ENG. _____ DATE _____

COND. APPROVED BY _____ DATE _____

CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

PH

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PAUL HALAJIAN ARCHITECTS is a professional architectural firm providing architectural services for commercial, institutional, and residential projects. The firm is a member of the American Institute of Architects (AIA) and the California Association of Architects (CAA).

PROJECT:
Archangel Michael & Gabriel
Coptic Orthodox Church
Fresno, CA

SHEET: Exterior Elevations

DRAWING SET INFORMATION:

03/09/2016 CUP Application

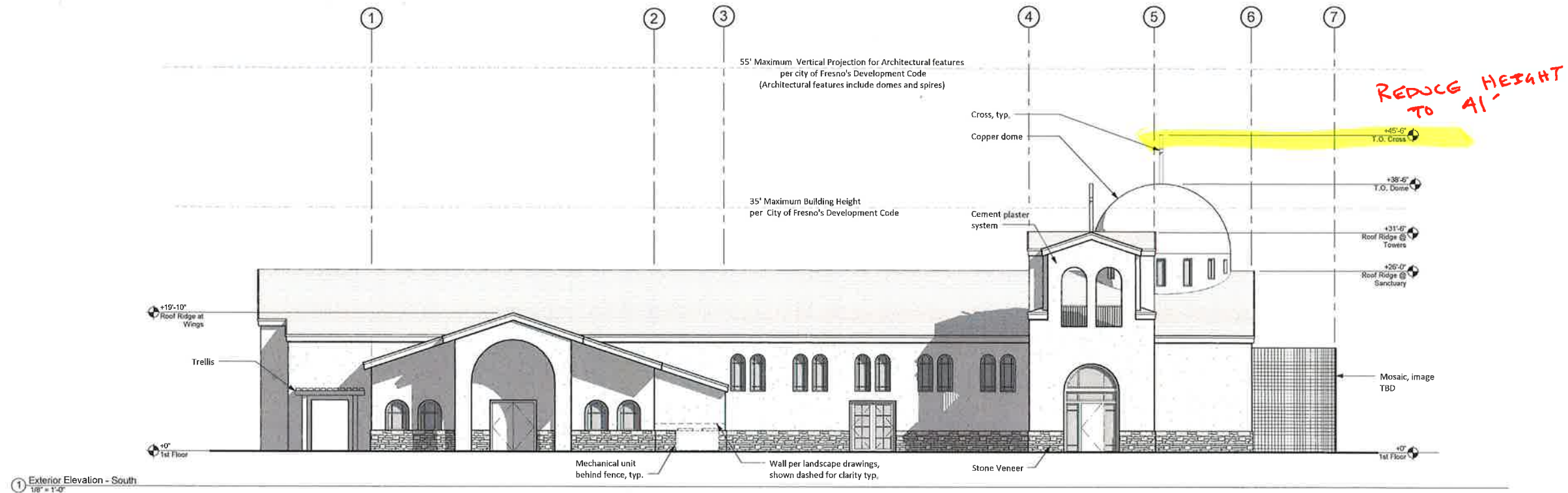
REVISIONS:

PROJECT NUMBER:

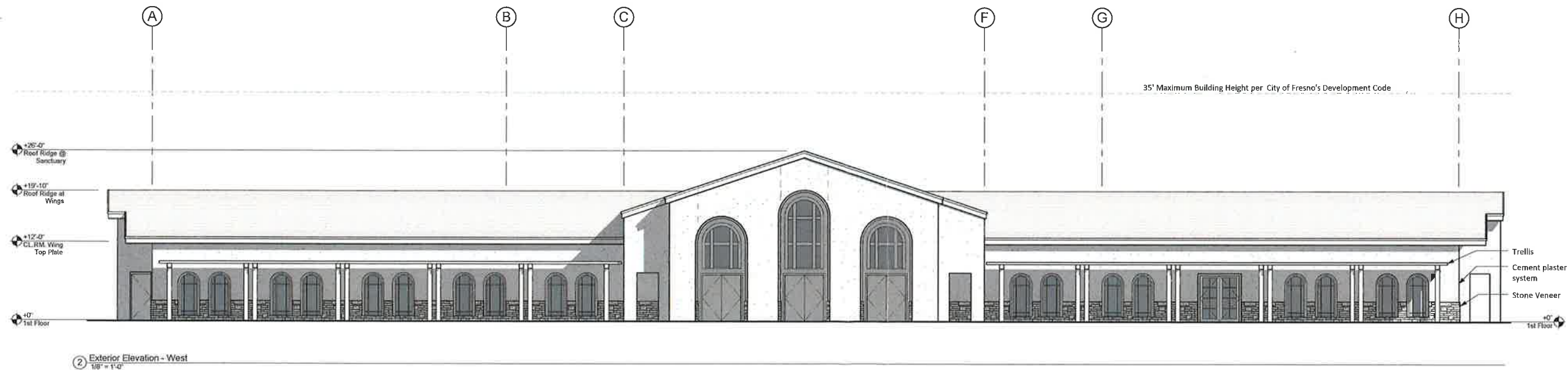
Project Number

SHEET NUMBER:

A301



1 Exterior Elevation - South
1/8" = 1'-0"



2 Exterior Elevation - West
1/8" = 1'-0"

APPL. NO. C-16-022 EXHIBIT E-2 DATE 3-8-16
PROJ. ENG. _____ DATE _____
TRAFFIC ENG. _____ DATE _____
COND. APPROVED BY _____ DATE _____
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

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LICENSED ARCHITECT
PAUL NELSON
HALAJIAN
No. C20194
Ren. 4/30/17
STATE OF CALIFORNIA

PROJECT:
Archangel Michael & Gabriel
Coptic Orthodox Church
Fresno, CA
SHEET: Exterior Elevations

DRAWING SET INFORMATION:

03/09/2016	CUP Application
------------	-----------------

REVISIONS:

PROJECT NUMBER:
Project Number

SHEET NUMBER:
A302



C1 M1 S1 P1

MATERIALS KEYNOTES

- P1: Exterior Plaster
texture: TBD
color: TBD
- C1: Copper Dome
Finish: TBD
- M1: Mosaic
Image: TBD
- S1: Precast Stone
color: tbd



APPL. NO. C-16-022 EXHIBIT E-3 DATE 3-8-16
 PROJ. ENG. _____ DATE _____
 TRAFFIC ENG. _____ DATE _____
 COND. APPROVED BY _____ DATE _____
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



**PAUL HALAJIAN
ARCHITECTS**

6790 N. WEST AVE., SUITE 102
 FRESNO, CA 93711
 T: 559.435.1439 F: 559.439.2941

01

SCALE: none

03.09.2016

Archangel Michael & Gabriel Coptic Orthodox Church - EXTERIOR MATERIALS

South West Corner of N. Maple Ave. and E. Powers Ave., FRESNO, CA

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[illegible]

PROJECT:
Archangel Michael & Gabriel
Coptic Orthodox Church

Fresno, CA

SHEET: 1st Floor Plan

PROJECT:

RAWING SET INFORMATION:

03/09/2016	CUP Application
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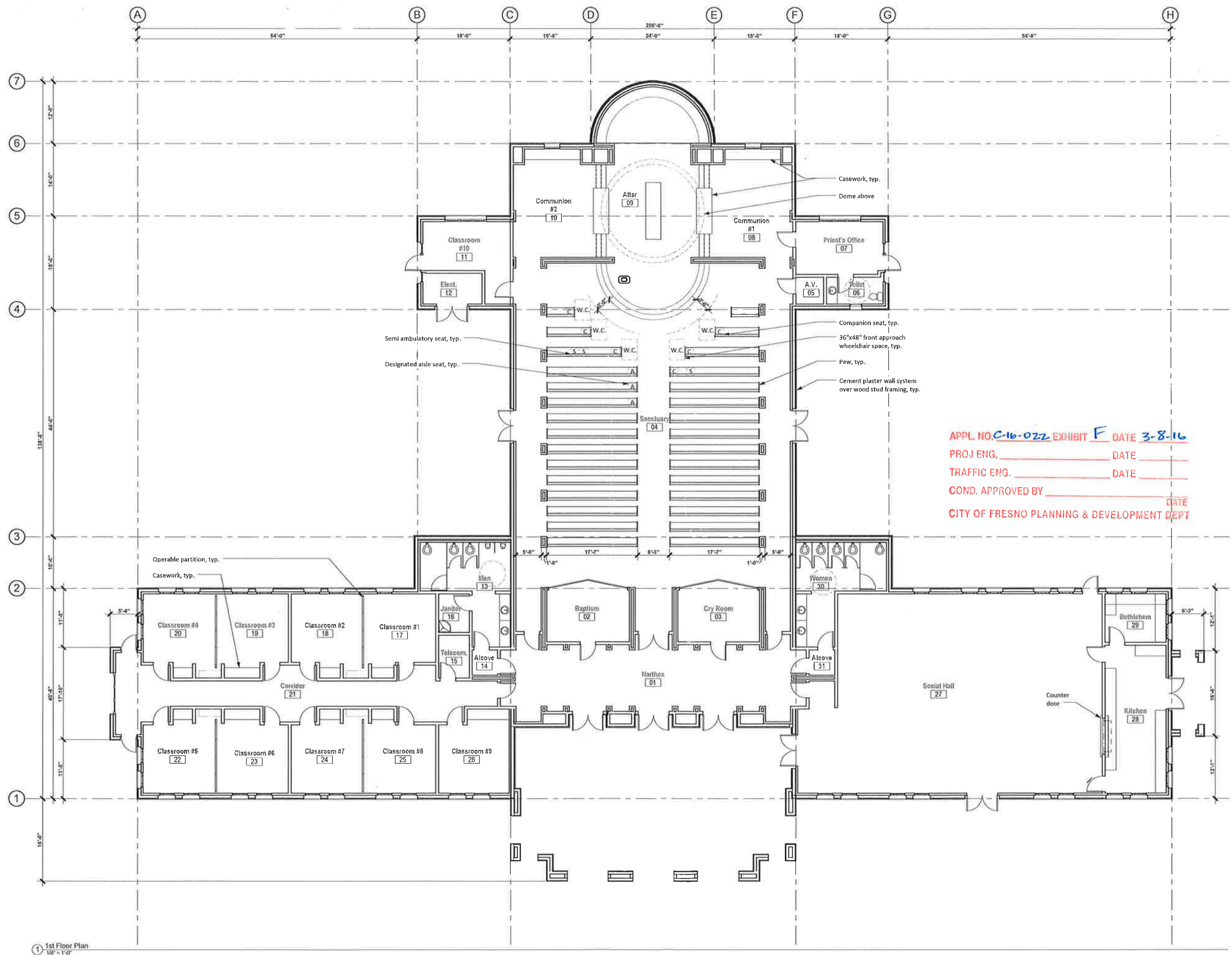
REVISIONS:

PROJECT NUMBER:

Project Number

SHEET NUMBER:

A201



① 1st Floor Plan
1/8" = 1'-0"

**CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,
AND ENTITLEMENT APPLICATION REVIEW OF
CONDITIONAL USE PERMIT APPLICATION NO. C-16-022**

Building & Safety Services

Return Completed Form to:

Phillip Siegrist, Development Services/Planning

Email: Phillip.Siegrist@fresno.gov and

Joann.Zuniga@fresno.gov

Development and Resource Management

2600 Fresno Street, Third Floor

Fresno CA 93721-3604

PROJECT DESCRIPTION AND LOCATION:

Conditional Use Permit Application No. C-16-022 was filed by Paul Halajian, architect, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, and pertains to ±2.3 acres of property located on the southwest corner of North Maple and East Powers Avenues between East Teague and East Shepherd Avenues. The applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms and social hall and outdoor plaza; plans include a future 3,227 square-foot Building A and future 5,042 square-foot Building B. The property is zoned RS-4/UGM (*Residential Single Family, Medium Low Density/Urban Growth Management*).

APN: 403-022-09

ZONING: RS-4/UGM

ADDRESS: 8669 North Maple Avenue

DATE ROUTED: March 16, 2016

COMMENT DEADLINE: March 31, 2016

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

Plans/permit req'd

REQUIRED CONDITIONS OF APPROVAL:

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

REVIEWED BY:

[Signature]
Name and Title

8156
Telephone Number

3.21.16
Date



DEPARTMENT OF PUBLIC UTILITIES

Date: March 21, 2016

To: PHILLIP SIEGRIST, Planner I
Development and Resource Management Department , Current Planning

From: MIKEAL CHICO, Management Analyst II
Solid Waste Management Division

A handwritten signature in black ink, appearing to be "Mikeal Chico", written over the "From:" line.

Subject: Conditional Use Permit Application No. C-16-022 was filed by Paul Halajian, architect, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, and pertains to ± 2.3 acres of property located on the southwest corner of North Maple and East Powers Avenues between East Teague and East Shepherd Avenues, 8669 North Maple Avenue & APN: 403-022-09. The applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms and social hall and outdoor plaza; plans include a future 3,227 square-foot Building A and future 5,042 square-foot Building B. The property is zoned RS-4/UGM (Residential Single Family, Medium Low Density/Urban Growth Management).

General

This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Allied Waste at 559-275-1551 or 800-493-4285 .

Does Project Affect Your Agency/Jurisdiction

Yes - Project has or will be required to provide a trash enclosure.

Suggestions to Reduce Impacts/Address Concerns

None.

Recommended Conditions of Approval

2-cell trash enclosure required.

The applicant will be required to construct a cover over the proposed trash/recycling enclosure to prevent uncovered refuse containers discharging contaminated storm water into the storm water system.

Additional Information

Location of enclosure is acceptable.



DATE: March 31, 2016

TO: Phillip Siegrist
Development and Resource Management Department

FROM: Jairo Mata, Engineer II
Public Works Department, Traffic and Engineering Services Division

SUBJECT: Conditions of Approval for **C-16-022**

ADDRESS: **8669 North Maple Avenue**

APN: **403-022-09**

ATTENTION:

The items below require a separate process with additional fees and timelines, in addition to the CUP/SPR permit process. In order to avoid delays in obtaining a building permit, the following items shall be submitted to the contacts shown below.

X	Deed (up to 2 month processing time) Deed documents for the required dedications must conform to the format specified by the city and shall be prepared by the applicant's engineer. The cost of deed document processing and recordation fee must be paid at the time of deed submittal and submitted with verification of ownership <u>prior</u> to the issuance of building permits.	Jeff Beck	Public Works Department (559) 621-8560 jeff.beck@fresno.gov
----------	--	-----------	---

PUBLIC IMPROVEMENT REQUIREMENTS

The following requirements are based on city records and the accuracy of the existing and proposed on-site and off-site conditions depicted on the exhibits submitted. Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed.

Repair all damaged and/or off grade off-site concrete street improvements as determined by the City of Fresno Public Works Department, Construction Management Division, (559) 621-5600. Pedestrian paths of travel must also meet current accessibility regulations.

Underground all existing off-site overhead utilities within the limits of this site/map as per FMC Section 12-1011 and Resolution No. 78-522/88-229.

The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment permit is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8693. Encroachment permits must be approved prior to issuance of building permits.

North Maple Avenue: Collector

1. Dedication Requirements
 - a. Dedicate **47'** of property, from section line, for public street purposes, within the limits of this application, per Public Works Standard.
 - b. Dedicate a corner cut for public street purposes at the intersection of Maple Avenue and Powers Avenue.
2. Construction Requirements:
 - a. Construct approximately **20'** of permanent paving (sawcut and match existing permanent paving) per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - b. Construct a **30'** driveway approach to Public Works Standard(s) **P-2** and **P-6**. **If parking is allowed adjacent to the curb, provide 10' of red curbing (3 coats) on both sides of the proposed driveway approaches.** Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**. Asphalt concrete paving per City of Fresno Public Works Standard Drawing **P-21** may be substituted for concrete.
 - c. Provide a **10'** visibility triangle at all driveways.
 - d. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **10'** residential pattern (**5.5' Planter-4' Sidewalk-.5'**) to match existing, see **Detail A-A** on **Exhibit A**.
 - e. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-8** for Collectors.
 - f. Construct a standard curb ramp per Public Works Standard **P-28**, based on a **25'** radius.

East Powers Avenue: Local

1. Construction Requirements:
 - a. Construct **20'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
 - b. Construct a **27'** driveway approach to Public Works Standard(s) **P-2** and **P-6**. **If parking is allowed adjacent to the curb, provide 10' of red curbing (3 coats) on both sides of the proposed driveway approaches.** Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**. Asphalt concrete paving per City of Fresno Public Works Standard Drawing **P-21** may be substituted for concrete.
 - c. Provide a **10'** visibility triangle at all driveways.
 - d. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **10'** residential pattern (**5.5' Planter-4' Sidewalk-.5'**) to match existing, see **Detail A-A** on **Exhibit A**.

Street Construction Plans are required and shall be approved by the City Engineer. All improvements shall be constructed in accordance with the City of Fresno, Public Works Department Standard Drawings and Specifications. The performance of any work within the public street right of way (including pedestrian and utility easements) requires a **STREET WORK PERMIT prior** to commencement of work. When preparing Street Plans and/or Traffic Control Plans, contact (Randy Schrey) at (559) 621-8807, **10 working days** in advance, to make sure that sidewalks or an approved accessible path remain open during construction. Submit construction plans for all required work, in a single package, to the City of Fresno's, **Traffic and Engineering Services Division**. All work shall be reviewed,

approved, completed, and accepted **prior** to obtaining a certificate of occupancy. Utility poles, street lights, signals, etc. shall be relocated as determined by the City Engineer. Dedication(s) shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **45 MPH** design speed for Collectors and **55 MPH** for Arterials.

Two working days before commencing excavation operations within the street right of way and/or utility easements, all existing underground facilities shall have been located by Underground Services Alert (USA) Call 811.

All survey monuments within the area of construction shall be preserved or reset by a person licensed to practice Land Surveying in the State of California.

PRIVATE IMPROVEMENT REQUIREMENTS

Off-Street Parking Facilities and Geometrics

1. Off-Street parking facilities and geometrics shall conform to the City of Fresno Public Works Department, Parking Manual and Standard Drawing(s) **P-21, P-22, P-23**.
2. Install **30"** state standard "STOP" sign(s) at location(s) shown. Sign(s) shall be mounted on a **2"** galvanized post with the bottom of the lowest sign **7'** above ground, located behind curb and immediately behind a major street sidewalk.
3. Provide parking space needs, circulation, access, directional signs (e.g. "Entrance," "Exit," "Right Turn Only," "One Way" signs, etc.) as noted on **Exhibit "A"**.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees **at the time of building permit**. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual.

Trip Generation: This development will generate the following Average Daily Trips (A.D.T.), as shown below (**Fees for the future development will be determined once that development comes in for permits**) :

Description/ ITE code	Size	ADT	AM Peak Hour	PM Peak Hour
Church	297 Occupancy	187	n/a	n/a

Fresno Major Street Impact (FMSI) Fees: This entitlement is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees. Contact the Public Works Department, Frank Saburit at (559) 621-8797.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to issuance of certificate of occupancy.

Prior to resubmitting a corrected exhibit, provide the following information on the site plan:

A. General Requirements

1. **Scope of work:** All items shall be listed as existing or proposed.
2. **Parcel of Record:** Provide a legal description of the legal lot of record.

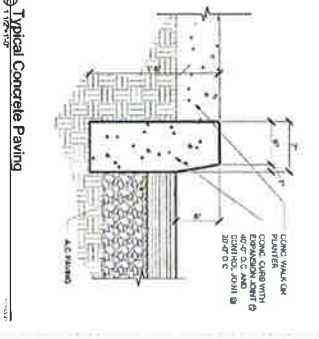
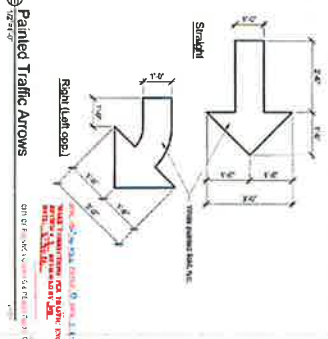
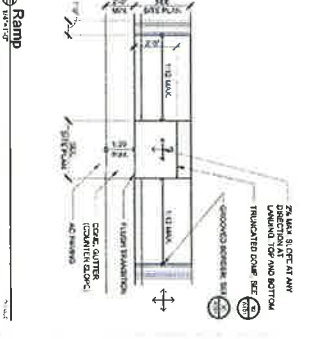
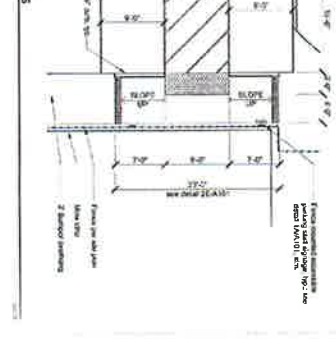
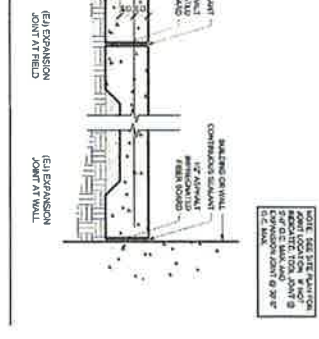
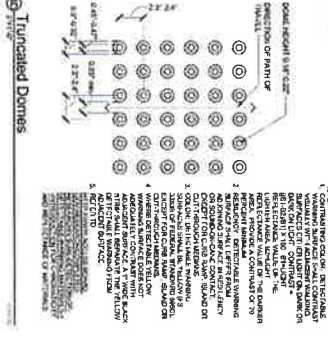
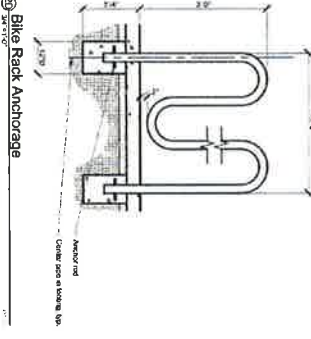
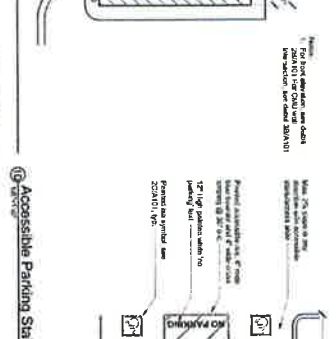
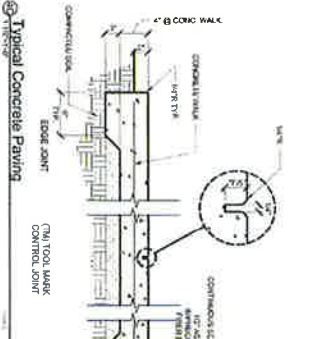
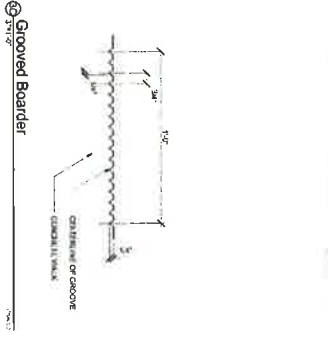
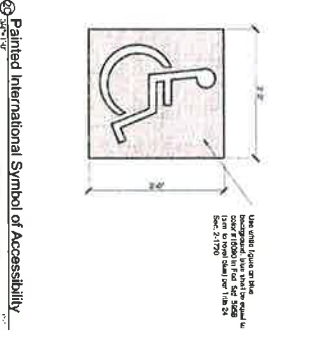
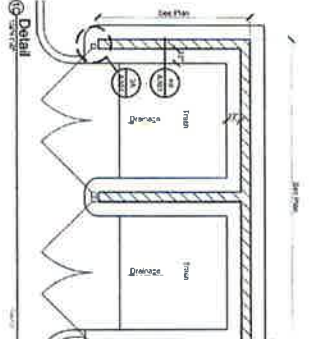
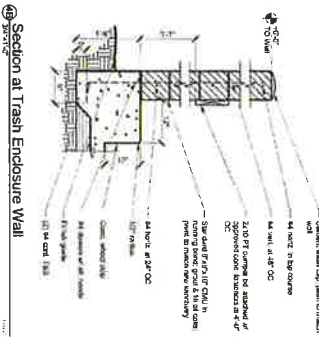
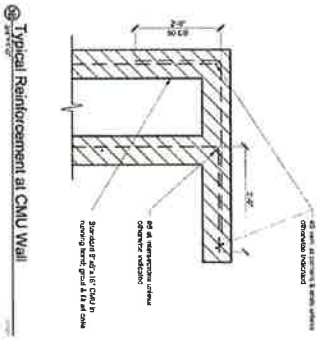
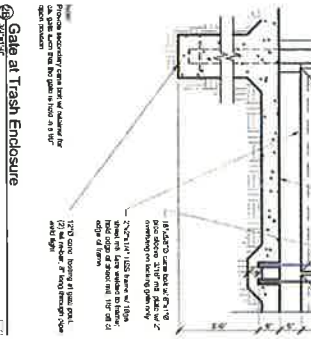
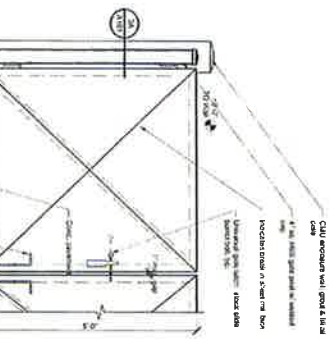
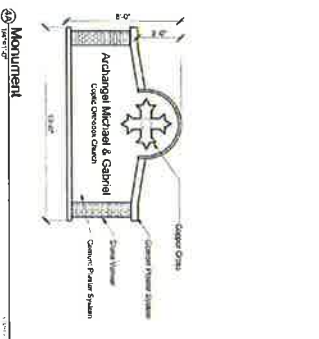
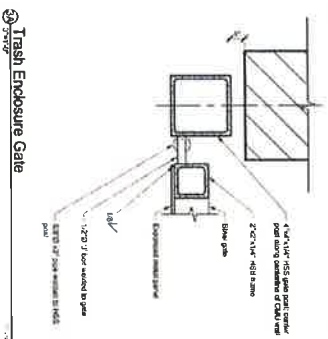
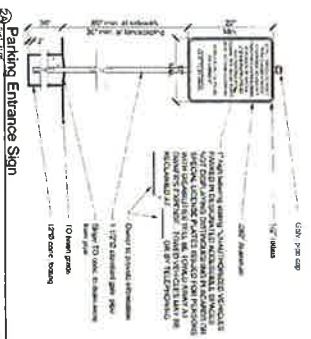
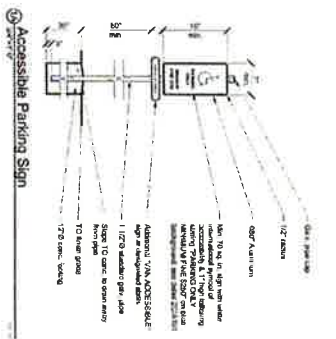
B. Offsite Information:

1. **Street Improvements and Furniture:** Identify existing and proposed curb, gutter, sidewalks (provide width), driveway approaches, accessibility ramps (provide radius), street lights, utility poles, boxes, guy wires, signs, etc.
2. **Accessibility:** Identify the required 4' minimum path of travel along the public sidewalk adjacent to property, as required by the California Administration Code (Title 24). A pedestrian easement may be required if Title 24 requirements cannot be met.

C. Onsite Information:

1. **Parking Lot:**
 - a. **Stalls:** Compact parking stalls shall be signed or marked.
 - b. **Curbs and/ or Wheel Stops:** 6" high
 - c. **Walkways:** provide width adjacent to parking stalls (7' min)
 - d. **Directional flow of traffic:** Identify existing and proposed directional arrows at beginning and end of aisles.
 - e. **Lighting / Accessibility signage:** not to be within the 3' vehicular overhang

Questions relative to these conditions may be directed to Jairo Mata at 559 621-8714 Jairo.Mata@fresno.gov , in the Public Works Department, Traffic and Engineering Services Division.





MAY 18 2016

Planning Department
City Of Fresno
2600 Fresno St., 3rd Floor
Fresno, CA 93721-3604

Re: Air Impact Assessment (AIA) Application Approval
ISR Project Number: C-20160053
Land Use Agency: City of Fresno
Land Use Agency ID Number: Conditional Use Permit / Tract# 40302209

To Whom It May Concern:

The San Joaquin Valley Air Pollution Control District (District) has approved the Air Impact Assessment (AIA) application for the Archangel Michael & Gabriel Coptic Orthodox Church project, located at 8669 N. Maple Ave in Fresno, California. The District has determined that the mitigated baseline emissions for construction and operation will be less than two tons NOx per year and two tons PM10 per year. Pursuant to District Rule 9510 Section 4.3, this project is exempt from the requirements of Section 6.0 (General Mitigation Requirements) and Section 7.0 (Off-site Emission Reduction Fee Calculations and Fee Schedules) of the rule. As such, the District has determined that this project complies with the emission reduction requirements of District Rule 9510 and is not subject to payment of off-site mitigation fees.

Pursuant to District Rule 9510, Section 8.4, the District is providing you with the following information:

- A notification of AIA approval (this letter)
- A statement of tentative rule compliance (this letter)
- An approved Monitoring and Reporting Schedule
- A copy of the Air Impact Assessment Application

Certain emission mitigation measures proposed by the applicant may be subject to approval or enforcement by the City Of Fresno. No provision of District Rule 9510 requires action on the part of the City Of Fresno, however, please review the enclosed list of mitigation measures and notify the District if the proposed mitigation measures are inconsistent with your agency's requirements for this project. The District can provide the detailed emissions analysis upon request.

Seyed Sadredin

Executive Director/Air Pollution Control Officer

Northern Region
4800 Enterprise Way
Modesto, CA 95356-8718
Tel: (209) 557-6400 FAX: (209) 557-6475

Central Region (Main Office)
1990 E. Gettysburg Avenue
Fresno, CA 93726-0244
Tel: (559) 230-6000 FAX: (559) 230-6061

Southern Region
34946 Flyover Court
Bakersfield, CA 93308-9725
Tel: 661-392-5500 FAX: 661-392-5585

Page 2

If you have any questions, please contact Ms. Debbie J. Johnson at (559) 230-5817.

Sincerely,

Arnaud Marjollet
Director of Permit Services

A handwritten signature in blue ink, appearing to read "B. Clements", with a stylized flourish at the end.

Brian Clements
Program Manager

AM: dj

Enclosures



San Joaquin Valley Air Pollution Control District

Indirect Source Review (ISR) - Air Impact Assessment (AIA)

Application Form



A. Applicant Information			
Applicant/Business Name: Archangel Michael & Gabriel Coptic Church			
Mailing Address: 985 N. Palm Ave.		City: Fresno	State: CA Zip: 93728
Contact: Fr. Tadros Meleka		Title: Church Priest	
Is the Applicant a licensed state contractor? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, please provide State License number:			
Phone: (661)476-1932	Fax: N/A	Email: frtadrosmeleka@lacopts.org	
B. Agent Information (if applicable)			
Agent/Business Name: Paul Halajian Architects			
Mailing Address: 389 Clovis Ave., Suite 200		City: Clovis	State: CA Zip: 93612
Contact: Paul Halajian		Title: Principal Architect	
Phone: (559)297-7900	Fax: (559)297-7950	Email: paulh@halajianarch.com	
If an Agent is signing the Air Impact Assessment Application on behalf of the Applicant, a signed letter from the Applicant giving the Agent authorization is required.			
C. Project Information			
Project Name: Archangel Michael & Gabriel Coptic Orthodox Church		Tract Number(s) (if known): 40302209	
Project Location	Street: 8669 N. Maple Ave	City: Fresno	Zip: 93720
Cross Streets: N. Maple Ave. & E. Powers Ave.		County: Fresno	
Permitting Agency: City of Fresno		Planner: Phillip Siegrist	
Mailing Address: 2600 Fresno Street - Third Floor		City: Fresno	State: CA Zip: 93721
Permit Type and Number (if known): Conditional Use Permit		Last Discretionary Approval Date: None	
D. Project Description			
Please briefly describe the project (e.g.: 300 multi family residential units apartments and 35,000 square feet of commercial uses): New 13,624 Square foot church (Phase 1), New 3,227 Square foot Future Building 'A' (Phase 2), New 5,042 Square foot Future Building 'B' (Phase 3)			
Please check the box next to each applicable land use below:			Select land use setting below:
<input type="checkbox"/> Commercial / Retail	<input type="checkbox"/> Light Industrial	<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> Other Church
<input type="checkbox"/> Office	<input type="checkbox"/> Heavy Industrial	<input type="checkbox"/> Recreational	<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural
<input type="checkbox"/> Government	<input type="checkbox"/> Educational	<input type="checkbox"/> Medical	
E. Notice of Violation		F. Voluntary Emission Reduction Agreement	
Is this application being submitted as a result of receiving a Notice of Violation (NOV) from the District?		Is this project part of a larger project for which there is a Voluntary Emission Reduction Agreement (VERA) with the District?	
<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, NOV # _____		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, VERA # _____	
G. Optional Section			
Do you want to receive information about the Healthy Air Living Business Partners Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

FOR APCD USE ONLY

Filing Fee Received: _____ Date Paid: _____ Applicant #: _____	Check #: _____ Project #: _____	Date Stamp: Finance	Date Stamp: Permit
---	--	----------------------------	---------------------------

H. Parcel and Land Owner Information

	APN (000-000-00 Format)	Gross Acres	Land Owner
1.	403-022-09	2.3	Archangels Michael & Gabriel Coptic Orthodox Church
2.			
3.			
4.			

Additional sheets for listing APN numbers can be found on the District's website at www.valleyair.org.

I. Project Development and Operation

Will the project require demolition of existing structures?	<input type="checkbox"/> Yes, complete I-1	<input checked="" type="checkbox"/> No, complete I-2
---	--	--

I-1. Demolition

Total square feet of building(s) footprint to be demolished:	Number of Building Stories:
Demolition Start Date (Month/Year):	Number of Days for Demolition:

I-2. Timing

Expected number of work days per week during construction? <input checked="" type="checkbox"/> 5 days <input type="checkbox"/> 6 days <input type="checkbox"/> 7 days	Will the project be developed in multiple phases? <input checked="" type="checkbox"/> Yes, complete I-3 <input type="checkbox"/> No, complete I-4
--	--

I-3. Phased Site Development and Building Construction

In addition to the information below the applicant may submit a phase specific activity timeline. The phase specific activity timeline form can be found on the District's website at www.valleyair.org.

1	Start of Construction (Month/Year): 12/01/2016	Gross Acres: 2.3 (site)
	End of Construction (Month/Year): 7/01/2017	Net Acres (area devoted to buildings/structures): .313
	First Date of Occupation (Month/Year): 7/15/2017	Paved Parking Area (# of Spaces): 80
	Building Square Footage: 13,624	Number of Dwelling Units: 0
2	Start of Construction (Month/Year): 12/01/2026	Gross Acres: .25 (Site Work)
	End of Construction (Month/Year): 4/01/2027	Net Acres (area devoted to buildings/structures): .074
	First Date of Occupation (Month/Year): 4/05/2027	Paved Parking Area (# of Spaces): 0
	Building Square Footage: 3,227	Number of Dwelling Units: 0
3	Start of Construction (Month/Year): 12/01/2036	Gross Acres: .25 (Site work)
	End of Construction (Month/Year): 4/01/2036	Net Acres (area devoted to buildings/structures): .116
	First Date of Occupation (Month/Year):	Paved Parking Area (# of Spaces): 0
	Building Square Footage: 5,042	Number of Dwelling Units: 0
4	Start of Construction (Month/Year):	Gross Acres:
	End of Construction (Month/Year):	Net Acres (area devoted to buildings/structures):

	First Date of Occupation (Month/Year):	Paved Parking Area (# of Spaces):
	Building Square Footage:	Number of Dwelling Units:
5	Start of Construction (Month/Year):	Gross Acres:
	End of Construction (Month/Year):	Net Acres (area devoted to buildings/structures):
	First Date of Occupation (Month/Year):	Paved Parking Area (# of Spaces):
	Building Square Footage:	Number of Dwelling Units:
Additional sheets for phasing information can be found on the District's website at www.valleyair.org .		

M. Change of Project Developer

The Applicant assumes all responsibility for ISR compliance for this project. If the project developer changes, the Applicant must notify the Buyer, and both Buyer and Applicant must file a 'Change of Project Developer' form with the District. If there is a change of project developer, and a 'Change of Project Developer' form is not filed with the District, the Applicant will remain liable for ISR compliance.

The Change of Project Developer form can be found on the District's website at www.valleyair.org.

N. Attachments

Required:

- ☒ Tract Map or Project Design Map
- ☒ Vicinity Map
- ☒ Application Filing Fee
\$734.00 for mixed use and non-residential projects OR
\$490.00 for residential projects only

If applicable:

- ☐ Letter from Applicant granting Agent authorization
- ☐ Fee Deferral Schedule Application
- ☐ Monitoring & Reporting Schedule
- ☐ Supporting documentation for selected Mitigation Measures

O. Certification Statement

I certify that I have reviewed and completed the entire application and hereby attest that the information relayed within is true and correct to the best of my knowledge. I commit to implementation of those on-site mitigation measures that I have selected above. I am responsible for notifying the District if I will be unable to implement these mitigation measures. If a committed mitigation measure is not implemented, the project may be re-assessed for air quality impacts.

(An authorized Agent may sign the form in lieu of the Applicant if an authorization letter signed by the Applicant is provided).

Name (printed): PAUL HALAJIAN

Title: PRINCIPAL ARCHITECT

Signature: 

Date: 04/05/16

Indirect Source Review Complete Project Summary Sheet & Monitoring and Reporting Schedule

Project Name:	ARCHANGEL MICHAEL & GABRIEL COPTIC ORTHODOX CHURCH
Applicant Name:	ARCHANGEL MICHAEL & GABRIEL COPTIC CHURCH
Project Location:	8669 N. MAPLE AVE N. MAPLE AVE AND E. POWERS AVE APN(s): 403-022-09
Project Description:	ACREAGE: 2.3
ISR Project ID Number:	C-20160053
Applicant ID Number:	C-302501
Permitting Public Agency:	CITY OF FRESNO
Public Agency Permit No.	CONDITIONAL USE PERMIT / TRACT# 40302209

Existing Emission Reduction Measures

Enforcing Agency	Measure	Quantification	Notes
There are no Existing Measures for this project.			

Non-District Enforced Emission Reduction Measures

Enforcing Agency	Measure	Specific Implementation	Source Of Requirements
CITY OF FRESNO	Improve Walkability Design	364 Nodes/square mile	
CITY OF FRESNO	Improve Destination Accessibility	9.2 miles (distance to downtown or job center)	
CITY OF FRESNO	Provide Traffic Calming Measures	50% street with improvements and zero% for Intersection with improvements	

Number of Non-District Enforced Measures: 3

District Enforced Emission Reduction Measures

Enforcing Agency	Measure	Specific Implementation	Measure For Compliance	District Review
SJVAPCD	Construction and Operation - Recordkeeping	For each project phase, all records shall be maintained on site during construction and for a period of ten years following either the end of construction or the issuance of the first certificate of occupancy, whichever is later. Records shall be made available for District inspection upon request.	(Compliance Dept. Review)	Ongoing

Indirect Source Review Complete Project Summary Sheet & Monitoring and Reporting Schedule

5/17/16

11:27 am

(District Enforced Emission Reduction Measures Continued)

Enforcing Agency	Measure	Specific Implementation	Measure For Compliance	District Review
SJVAPCD	Construction and Operational Dates	For each project phase, maintain records of (1) the construction start and end dates and (2) the date of issuance of the first certificate of occupancy, if applicable.	(Compliance Dept. Review)	Ongoing
SJVAPCD	Construction and Operation - Exempt from Off-site Mitigation Fee	For each project phase, within 30-days of issuance of the first certificate of occupancy, if applicable, submit to the District a summary report of the construction start, and end dates, and the date of issuance of the first certificate of occupancy. Otherwise, submit to the District a summary report of the construction start and end dates within 30-days of the end of each phase of construction.	(Compliance Dept. Review)	Ongoing

Number of District Enforced Measures: 3



County of Fresno

DEPARTMENT OF PUBLIC HEALTH
DAVID POMAVILLE, DIRECTOR
DR. KEN BIRD, HEALTH OFFICER

March 17, 2016

Phillip Siegrist
Development & Resource Management
2600 Fresno Street, Third Floor
Fresno, CA 93721-3604

LU0018434
2602

Dear Mr. Siegrist:

PROJECT NUMBER: C-16-022

Conditional Use Permit Application No. C-16-022 was filed by Paul Halajian, architect, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, and pertains to ± 2.3 acres of property located on the southwest corner of North Maple and East Powers Avenues between East Teague and East Shepherd Avenues. The applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms and social hall and outdoor plaza; plans include a future 3,227 square-foot Building A and future 5,042 square-foot Building B. The property is zoned RS-4/UGM (*Residential Single Family, Medium Low Density/Urban Growth Management*).

APN: 403-022-09

ZONING: RS-4/UGM

ADDRESS: 8669 North Maple Avenue

Project Note:

Churches currently do not meet the definition of a retail food facility in the California Retail Food Code (CalCode), Section 113789(c)(3), provided that the church gives or sells food to its members and guests, and not to the general public, at an event that occurs not more than three (3) days in any ninety day period.

However, it is recommended to construct the proposed kitchen to commercial standards. This would allow future use of the facility for approved community events, or potentially leasing of the facility for retail food activities to accommodate the operation of approved mobile food facilities. The applicant may contact the Consumer Food Protection Program at (559) 600-3357 for more information.

Recommended Conditions of Approval:

- Due to the proximity of the proposed project to residential uses and to an existing thoroughfare, consideration should be given to conformance with the Noise Element of the City of Fresno General Plan. A noise study should be conducted in order to identify the potential noise impacts and offer mitigation alternatives.
- The proposed project (including construction activities) has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.

Promotion, preservation and protection of the community's health

1221 Fulton Mall / P.O. Box 11867 / Fresno, California 93775 / Phone (559) 600-3271 / FAX (559) 455-4646

Email: EnvironmentalHealth@co.fresno.ca.us ♦ www.co.fresno.ca.us ♦ www.fcdph.org

Equal Employment Opportunity ♦ Affirmative Action ♦ Disabled Employer

- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

REVIEWED BY:

Kevin Tsuda

Digitally signed by Kevin Tsuda
DN: cn=Kevin Tsuda, o=Fresno
County Department of Public Health,
ou=Environmental Health Division,
email=ktsuda@co.fresno.ca.us, c=US
Date: 2016.03.17 10:26:48 -0700

Kevin Tsuda, R.E.H.S.
Environmental Health Specialist II

(559) 600-3271

kt

cc: Tolzmann, Rogers & Gill (Assigns)- Environmental Health Division (CT 55.07)
Alicia Hernandez- Project Architect (aliciah@halajianarch.com)
Paul Halajian- Applicant (paulh@halajianarch.com)

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

File No. 210.413

Page 1 of 4

PUBLIC AGENCY

PHILLIP SIEGRIST
DEVELOPMENT AND RESOURCE MANAGEMENT
CITY OF FRESNO
2600 FRESNO STREET, THIRD FLOOR
FRESNO, CA 93721-3604

DEVELOPER

ALICIA HERNANDEZ, PAUL HALAJIAN
ARCHITECTS
389 CLOVIS AVE., SUITE 200
CLOVIS, CA 93612

PROJECT NO: **2016-022**

ADDRESS: **8669 N. MAPLE AVE.**

APN: **403-022-09**

SENT: **4/7/16**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
CX	\$19,412.00	NOR Review	\$97.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$493.00	Amount to be submitted with first grading plan submittal.
		Storm Drain Plan Review		For amount of fee, refer to www.fresnofloodcontrol.org for form to fill out and submit with first storm drain plan submittal (blank copy attached).
Total Drainage Fee: \$19,412.00		Total Service Charge: \$590.00		

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/17 based on the site plan submitted to the District on 3/17/16 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

FR
CUP
No. 2016-022

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 2 of 4

Approval of this development shall be conditioned upon compliance with these District Requirements.

1. ☒ a. Drainage from the site shall BE DIRECTED TO MAPLE AND/OR POWERS AVE.
☐ b. Grading and drainage patterns shall be as identified on Exhibit No.
☐ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
☒ Developer shall construct facilities as shown on Exhibit No. 1 as "MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER".
☐ None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
☒ Grading Plan
☒ Street Plan
☒ Storm Drain Plan
☐ Water & Sewer Plan
☐ Final Map
☐ Drainage Report (to be submitted with tentative map)
☐ Other
☐ None Required

4. Availability of drainage facilities:
☐ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
☒ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
☐ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
☐ d. See Exhibit No. 2.

5. The proposed development:
☐ Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
☒ Does not appear to be located within a flood prone area.

6. ☐ The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

**FR
CUP No. 2016-0222**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

Page 3 of 4

FR CUP No. 2016-022

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Peter Sanchez
District Engineer

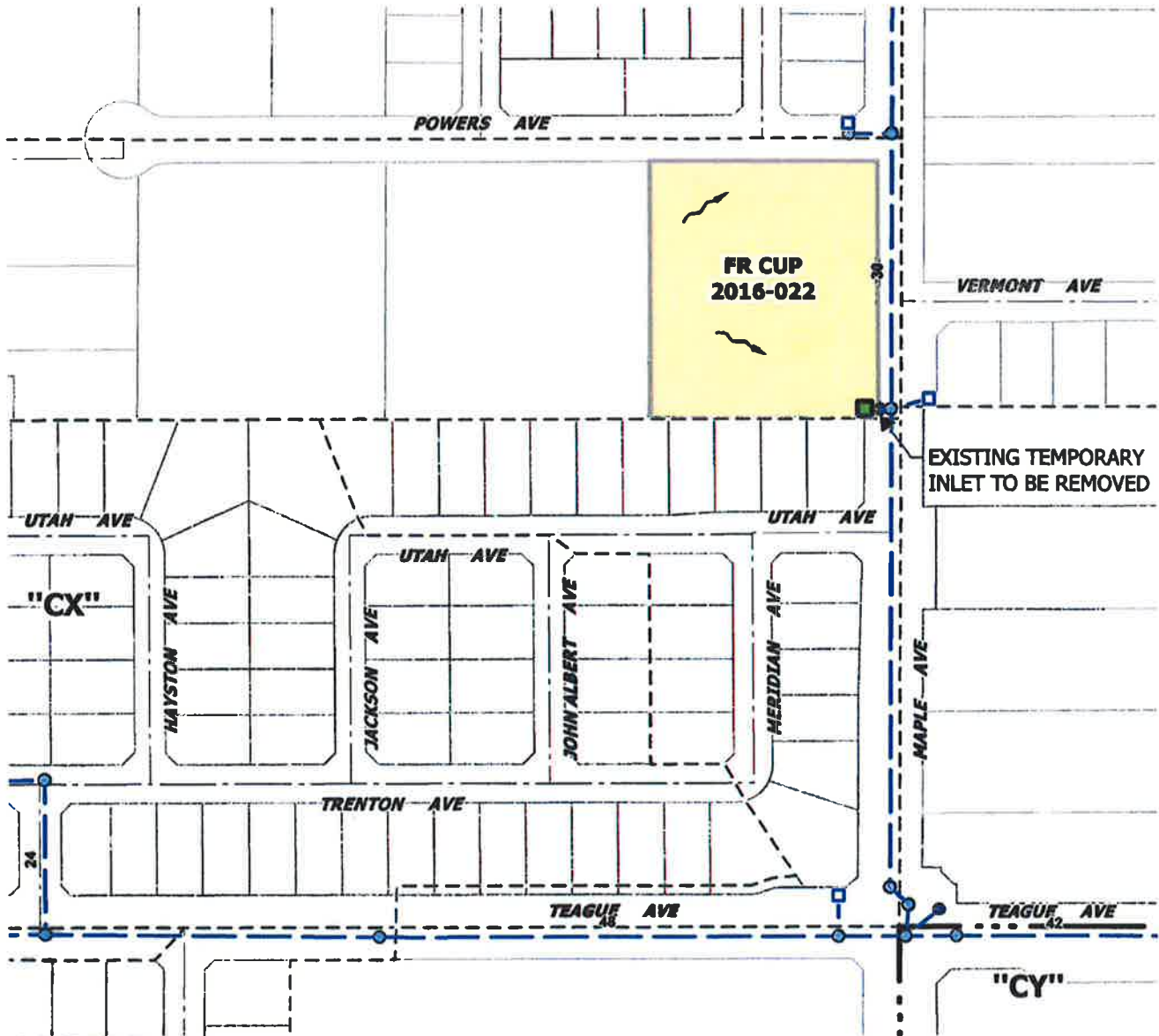


Michael Maxwell
Project Engineer

Page 4 of 4

5469 E. OLIVE - FRESNO, CA 93727 - (559) 456-3292 - FAX (559) 456-3194

NOTE: THIS MAP IS SCHEMATIC.
DISTANCES, AMOUNT OF CREDITABLE
FACILITIES, AND LOCATION OF INLET
BOUNDARIES ARE APPROXIMATE.



LEGEND

-  Creditable Facilities (Master Plan Facilities To Be Constructed By Developer)-Pipeline & Inlet.
-  Existing Temporary Inlet
-  Existing Master Plan Facilities
-  Inlet Boundary
-  Direction of Drainage
-  Limits of FR CUP 2016-022



1" = 200'

FR CUP 2016-022
DRAINAGE AREA "CX"

EXHIBIT NO. 1

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT



Prepared by: wadot
Date: 4/4/2018
Path: K:\Autocad\DWGS\EXHIBITS\CITYCUP\2016-022.mxd

OTHER REQUIREMENTS

EXHIBIT NO. 2

The cost of construction of Master Plan facilities, excluding dedication of storm drainage easements, is eligible for credit against the drainage fee of the drainage area served by the facilities. A Development Agreement shall be executed with the District to effect such credit. Reimbursement provisions, in accordance with the Drainage Fee Ordinance, will be included to the extent that developer's Master Plan costs for an individual drainage area exceed the fee of said area. Should the facilities cost for such individual area total less than the fee of said area, the difference shall be paid upon demand to the City/County or District.

The District's existing Master Plan drainage system is designed to serve medium-low density residential uses and the existing Master Plan storm drainage facilities do not have capacity to serve the proposed commercial type land use. The developer shall be required to mitigate the impacts of the increased runoff from the proposed commercial land use to a rate that would be expected if developed to medium-low density residential. The developer may either make improvements to the existing pipeline system to provide additional capacity or may use some type of permanent peak reducing facility in order to eliminate adverse impacts on the existing system. Should the developer choose to construct a permanent peak-reducing facility, such a system would be required to reduce runoff from a ten-year storm produced by a commercial density development, to a two-year discharge, which would be produced by the property if developed medium-low density residential. Implementation of the mitigation measures may be deferred until the time of development.

If the developer prefers, the District will construct the Master Plan facilities required of this development if notified in writing. Should the developer so choose, the developer would be required to design the Master Plan facilities in conjunction with his improvement plans. The facilities would then be constructed by a District contractor in coordination with the developer's project. The developer must provide adequate notice to the District to insure the Master Plan storm drainage facilities are constructed before the street improvements and prior to occupancy of the development. Should the developer desire the District construct the facilities, only the aforementioned notice to the District is required and no development agreement would be required.

In an effort to improve storm runoff quality, outdoor storage areas shall be constructed and maintained such that material that may generate contaminants will be prevented from contact with rainfall and runoff and thereby prevent the conveyance of contaminants in runoff into the storm drain system.

The District encourages, but does not require that roof drains from non-residential development be constructed such that they are directed onto and through a landscaped grassy swale area to filter out pollutants from roof runoff.

Development No. CUP 2016-022



YOUR MOST VALUABLE RESOURCE - WATER

March 23, 2016

OFFICE OF
**FRESNO
IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161
FAX (559) 233-8227
2907 S. MAPLE AVENUE
FRESNO, CALIFORNIA 93726-2208

Phillip Siegrist
Development and Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Conditional Use Permit Application No. C-16-022
NW Teague and Maple avenues

Dear Mr. Siegrist:

The Fresno Irrigation District (FID) has reviewed the Conditional Use Permit Application No. C-16-022 for which the applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms, social hall, and outdoor plaza; plans also include a future building A and B, APN: 403-022-09. The property is zoned RS-4/UGM. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, the private Ubich No. 525 runs southerly approximately 500 feet west of the subject property as shown on the attached FID exhibit map. FID does show this pipeline as active and should be treated as such.

Thank you for submitting the proposed project for our review. We appreciate the opportunity to review and comment on the subject documents for this project. If you have any questions please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,

Laurence Kimura, P.E.
Chief Engineer

Attachment



FIRE DEPARTMENT

DATE: April 6, 2016

TO: PHILLIP SIEGRIST, Planner II
Development and Resource Management Department

FROM: LAURIE SAWHILL, Senior Fire Prevention Inspector
Fire Department, Community Risk Reduction Unit

VS

SUBJECT: 8669 N MAPLE, C-16-022

The Fire Department's conditions of approval include the following:

Note on Plan: The entire width of a required access way shall remain unobstructed to a vertical height of 13 feet, six inches. Coordinate landscape plan to meet this requirement with assumed plant growth.

Note on Plan: Streets highlighted shall be identified as fire lanes as provided in the California Vehicle Code, Section 22500.1. Designate curbs as fire lanes (red curb with "Fire Lane" in 3 inch white letters every 50 feet or approved signs every 50 feet).

Provide note on site plan: Provide sign(s) (17 "x22" minimum) at all public entrance drives to the property which state "Warning – Vehicles stopped, parked or left standing in fire lanes will be immediately removed at owner's expense – 22658(a) California Vehicle Code – Fresno Police Department 621-2300."

Note on Plan: All pedestrian gates, where required for compliance of the 200' rule, shall remain unlocked or be provided with Police/Fire bypass locks. ("Best" padlock model 21B700 series or lockbox). A Knox padlock may not be used. This applies to every gate proposed as shown for firefighter access.

Note on Plan: Walking access is required to reach building openings within 200' of a paved surface designed for fire apparatus use. Required walking access shall be designed to prevent sharp turns or obstacles that would hinder the carrying of ground ladders and other hand-held equipment. Gates shall be a minimum of 4 feet in width if they are used in the walking access path.



**DEPARTMENT OF PUBLIC UTILITIES
ADMINISTRATION DIVISION
MEMORANDUM**



Providing Life's Essential Services

Date: April 21, 2016

To: PHILLIP SIEGRIST, Planner II
Planning and Development

From: KEVIN GRAY, Supervising Engineering Technician
Department of Public Utilities, Planning and Engineering Division

Subject: SEWER REQUIREMENTS FOR CONDITIONAL USE PERMIT No. C-16-022

General

Conditional Use Permit Application No. C-16-022 was filed by Paul Halajian, architect, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, and pertains to ±2.3 acres of property located on the southwest corner of North Maple and East Powers Avenues between East Teague and East Shepherd Avenues, 8669 North Maple Avenue & APN: 403-022-09. The applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms and social hall and outdoor plaza; plans include a future 3,227 square-foot Building A and future 5,042 square-foot Building B. The property is zoned RS-4/UGM (Residential Single Family, Medium Low Density/Urban Growth Management).

Sewer Requirements

The nearest sanitary sewer mains to serve the proposed project is a 10-inch sewer main located in North Maple Avenue and an 8-inch sewer main located in East Powers Avenue. Sewer facilities are available to provide service to the site subject to the following requirements:

1. Installation of sewer house branch(s) shall be required.
2. Abandon any existing on-site private septic systems.
3. On-site sanitary sewer facilities shall be private.

Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Sewer Lateral Charge
2. Sewer Oversize Service Area: #2
3. Sewer Facility Charge (Non-Residential)



A Nationally Accredited Public Utility Agency



Department of Public Utilities – Water Division



Providing Life's Essential Services

DATE: March 21, 2016

TO: PHILLIP SIEGRIST, Planner II
Development Department/Current Planning

THROUGH: MICHAEL CARBAJAL, Division Manager
Department of Public Utilities, Water Division

FROM: ROBERT A. DIAZ, Senior Engineering Technician
Department of Public Utilities, Water Division

R.A.D.

SUBJECT: WATER REQUIREMENTS FOR CONDITIONAL USE PERMIT C-16-022

General

Conditional Use Permit Application No. C-16-022 was filed by Paul Halajian, architect, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, and pertains to ±2.3 acres of property located on the southwest corner of North Maple and East Powers Avenues between East Teague and East Shepherd Avenues, 8669 North Maple Avenue & APN: 403-022-09. The applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms and social hall and outdoor plaza; plans include a future 3,227 square-foot Building A and future 5,042 square-foot Building B. The property is zoned RS-4/UGM (Residential Single Family, Medium Low Density/Urban Growth Management).

Water Requirements

The nearest water mains to serve the proposed project are a 14-inch main located in North Maple Avenue and an 8-inch main located in East Powers Avenue. Water service is available to the site, subject to the following requirements:

1. On-site water facilities shall be private.
2. The developer shall provide a detailed water usage analysis identifying water fixture, landscape, and laundry efficiencies to document water conservation design characteristics, subject to approval by the Director of Public Utilities.



A Nationally Accredited Public Utility Agency

4. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility charges per Fresno Municipal Code Section 6-304 and 6-305. Sewer Facility Charges consist of two components, a Wastewater Facilities Charge and Trunk Sewer Charge where applicable.
5. Sewer Facility Charges are collected after occupancy on a monthly basis over time based on metered (water or sewer effluent) usage. The developer may contact the Department of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect, at that time, per Fresno's Master Fee Resolution. The developer shall provide data regarding estimated sewer discharge rates [flow] and loading [BOD/TSS levels] required for calculating the estimated charges.

**CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,
AND ENTITLEMENT APPLICATION REVIEW OF
CONDITIONAL USE PERMIT APPLICATION NO. C-16-022**

Return Completed Form to:

Phillip Siegrist, Development Services/Planning

Email: Phillip.Siegrist@fresno.gov and

Joann.Zuniga@fresno.gov

Development and Resource Management

2600 Fresno Street, Third Floor

Fresno CA 93721-3604

PROJECT DESCRIPTION AND LOCATION:

Conditional Use Permit Application No. C-16-022 was filed by Paul Halajian, architect, on behalf of Father Arsany Paul of Archangels Michael and Gabriel Coptic Orthodox Church, and pertains to ±2.3 acres of property located on the southwest corner of North Maple and East Powers Avenues between East Teague and East Shepherd Avenues. The applicant proposes the construction of a 13,624 square-foot new Coptic Orthodox Church of Egypt with religious educational classrooms and social hall and outdoor plaza; plans include a future 3,227 square-foot Building A and future 5,042 square-foot Building B. The property is zoned RS-4/UGM (*Residential Single Family, Medium Low Density/Urban Growth Management*).

APN: 403-022-09

ZONING: RS-4/UGM

ADDRESS: 8669 North Maple Avenue

DATE ROUTED: March 16, 2016

COMMENT DEADLINE: March 31, 2016

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

YES. PLEASE

SEE ATTACHED

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

REQUIRED CONDITIONS OF APPROVAL:

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

REVIEWED BY:

N. Kim L PSTI

Name and Title

X-1345

Telephone Number

4.18.16

Date

DEPARTMENT OF PUBLIC WORKS

TO: **Phillip Siegrist, Planner II**
Planning Division

FROM: **Hilary Kimber, Parks Supervisor II (559-621-1345)**
Public Works, Median Island Maintenance

DATE: April 19, 2016

SUBJECT: SITE PLAN REVIEW NO. C-16-022

The Department of Public Works offers the following comments regarding 8669 North Maple Avenue (APN: 403-022-09) located on the southwest corner of North Maple and East Powers Avenues:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and trail landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 60' of street frontage by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with FMC 12-306-23, Water Efficient Landscape Standards.
2. There are approximately 325 lineal feet of street frontage along N. Maple Ave. resulting in the requirement of five (5) street trees. The designated street tree for N. Maple is:

Celtis sinensis	Chinese Hackberry
-----------------	-------------------
3. The proposed landscape design by Broussard Associates dated March 9, 2016 indicates six (6) street trees which are acceptable to Public Works.
4. Public Works requires a landscape and irrigation (including MAWA & WUCOLS) plan to be submitted for all landscaping within the right-of-way to be submitted to the scale of 1"=20' prior to installation.



DISTRICT 6 PLAN IMPLEMENTATION COMMITTEE

PROJECT REVIEW Month Day, 2016

Project Record

PROJECT INFORMATION, Agenda Item 4c

Conditional Use Permit Application No. C-16-022, filed by architect Paul Halajian, on behalf of Father Arsany Paul and property owner Archangels Michael and Gabriel Coptic Orthodox Church. The application pertains to 8669 North Maple Avenue (also addressed as 1995 East Powers Avenue), 2.3± acres located on the west side of North Maple Avenue between East Teague and East Shepherd Avenues (APN 403-022-09). The applicant proposes construction of a 13,624 square-foot Coptic Orthodox Church of Egypt with religious educational classrooms, a social hall, and an outdoor plaza; plans include a future 3,227 and 5,042 sq. ft. buildings. The property is planned for the Residential Medium Low Density land use and is zoned RS-4/UGM (*Residential Single Family, Medium Low Density/Urban Growth Management*).

COMMITTEE RECOMMENDATION

☒ APPROVE ☐ APPROVE WITH CONDITIONS ☐ DENY ☐ NO ACTION

	Forrest	Brown	Engleman	Linder	Sidhu	Vecchiarelli	Walker
M / S		m		S			
Approve		SO	PRE	W		SV	W
Deny							
Abstain							
Absent	X				X		

COMMITTEE CONDITIONS / COMMENTS

Staff Liaison: SBrock Date 3/21/16



2600 Fresno Street-Third Floor
Fresno, California 93721-3604
(559) 621-8277 FAX (559) 488-1020

Development and Resource Management Department
Jennifer K. Clark, Director

Project Comments from the Development Services Division
March 8, 2016

PROJECT DESCRIPTION

The applicant proposes to construct a 13,624 square-foot Coptic Orthodox Church (Archangel Michael and Gabriel Coptic Orthodox Church) with religious educational classrooms, a social hall, and an outdoor plaza.

APN: 403-022-09

ADDRESS: 8669 North Maple Avenue

GENERAL INFORMATION

ZONING		
	Existing	RS-4/UGM (<i>Residential Single Family, Medium Low Density/Urban Growth Management</i>).
	Requested	N/A
PLANS		
	Community Plan	Woodward Park
	Specific Plan	N/A
	Redevelopment	N/A
PREVIOUS ACTIONS		
	Applications	N/A
	Covenants/ Easements	N/A
	Development Agreements	<i>See note A(3) in Summary Section.</i>
TRACT MAP or LOT SPLIT		2.30 AC PARCEL 2 P/3 2386 BK 21 PG 34

PROPERTY DEVELOPMENT STANDARDS

Use the website below to access the Zoning Ordinance (Chapter 12, articles 2 and 3) to find more information on zoning/property development standard requirements:

<http://www.fresno.gov/NR/rdonlyres/FB3D9009-8AEE-4006-A589-8D7D1689409F/33909/FresnoCitywideDevelopmentCode.pdf>

USE PERMITTED		
USE PERMITTED - Fresno Municipal Code (FMC), Chapter 15 - Development Code, Article 9 for the RS , Residential Single Family Districts: The RS district is intended to provide for a variety of single-family residences built to urban or suburban standards to suit a spectrum of individual lifestyles and needs, and to ensure availability throughout the city of the range of housing types necessary for all segments of the community, consistent with the General Plan.		
Table 15-902 - Use Regulations – Residential Single Family Districts: Community and Religious facilities (2,000 square feet or greater) are allowed in the RS-4 zone district subject to a Conditional Use Permit and additional regulations for Community and Religious Assembly Facilities (Article 27, Section 15-2719).		
DENSITY AND MASSING DEVELOPMENT STANDARDS – Section 15-903		
LOT AREA		
	Required	Min: 5,000 S.F. Max: 9,000 S.F.
	Existing	100,188 S.F.
LOT DIMENSIONS		
	Required	Width: 55' Depth: 85'
	Existing	Width: 300' Depth: 334'
LOT COVERAGE –per §15-311, Determining Lot Coverage		
	Permitted	Max: 50%
	Proposed	Church: $(13,624/100,188 = .1359)$ 13.6%
BUILDING FORM AND LOCATION STANDARDS, RESIDENTIAL SINGLE-FAMILY DISTRICTS, Table 15-903-2		
BUILDING HEIGHT		
	Permitted	35 feet See §15-2012, Heights and Height Exceptions: Decorative features such as spires, bell towers, domes, cupolas, obelisks, clock towers, and monuments (attached or detached): Residential: 6 feet Therefore, the maximum height limit for the dome and cross is 41 feet.

	Proposed	31'-6" to roof ridge 38'-6" to top of dome 45'-6" to top of cross The height of the cross shall be no higher than 41 feet.			
YARDS – Minimum Setbacks:					
	Required Building Setback			Proposed Building Setback	
	Front (powers)	13 feet 8 feet (w/ enhanced streetscape)		Front (powers)	21'-2"
	Street Side (Maple)	10 feet		Street Side (Maple)	35 feet
	Interior Side (west)	20 feet (Sec. 15-2719-C)		Interior Side (west)	74 feet – 6 inches
	Rear (south)	20 feet (Sec. 15-2719-C)		Rear (south)	76 feet – 6 inches
	Required Landscaping Setback			Proposed Landscaping Setback	
	Front (powers)	13 feet 8 feet (w/ enhanced streetscape)		Front (powers)	20 feet
	Street Side (Maple)	10 feet		Street Side (Maple)	35 feet
	Interior Side (west)	20 feet (Sec. 15-2719-C)		Interior Side (west)	10 feet – 6 inches (landscape) 20-foot buffer
	Rear (south)	10 feet (Sec. 15-2719-C)		Rear (south)	10 feet – 6 inches (landscape) 20-foot buffer
SITE DESIGN DEVELOPMENT STANDARDS – Section 15-904					

	Additional Setbacks	<p>Water-Efficient Landscaping Incentive:</p> <p>The minimum front setback may be reduced by up to three feet if the front yard complies with the following:</p> <ul style="list-style-type: none">a. The installed landscaping complies with the State Model Water Efficient Landscape Ordinance (MWELo) regardless of whether the new landscape project meets or does not meet the Applicability criteria in MWELo; andb. The Maximum Applied Water Allowance is reduced by 10 percent; andc. The setback reduction shall not result in a front setback of less than three feet.
--	------------------------	--

General Yard Requirements:

15-2719-C. Buffer: A minimum 20-foot perimeter buffer shall be included adjacent to any residential use or district. The buffer area may be used for parking or landscaping but shall not be used for structures or outdoor activities, however there shall always be a 10-foot landscape setback when abutting a Residential District.

15-2305 Areas to be Landscaped

B. Required Setbacks.

Non-Residential Uses. All required setbacks, except for areas used for exit and entry shall be landscaped. Where adjacent to residential, non-residential uses may require a larger setback under Residential Transition Standards and landscaping shall be provided as prescribed. Where adjacent to residential, non-residential uses may require a larger setback under Residential Transition Standards and landscaping shall be provided as prescribed in Table 15-2305-C.1.

C. Lot Perimeters. Landscape buffers shall be installed and maintained alongside and rear lot lines between differing land uses, in accordance with the sections of this article and the following standards: N/A

D. Landscape Setback. All areas between site perimeter walls/fencing and lot lines facing a street shall be landscaped. Landscaping shall be installed and maintained in accordance with the sections of this article and the following standards:

1. Planting areas more than 10 feet in width shall be planted with medium and large trees and medium and large shrubs to span the entire length.
2. Planting areas 10 feet or less in width shall at the very least be planted with small trees and small to medium size shrubs to span the entire length.
3. Vines may be included for areas adjacent to concrete or masonry walls.
4. The landscape design shall provide total wall/fence screening from top to bottom for the entire length within five years.
5. Trees shall be planted so the canopies could touch for the entire length within fifteen years.

E. Building Perimeters.

1. All portions of a building that face a public street shall have one or more landscape planters installed along a minimum of 20 percent of that building face. This standard does not apply where a building is located within three feet of a public sidewalk, in which case the building perimeter shall be paved and treated in a manner similar to the adjacent sidewalk.
2. The minimum width of the planter shall be three feet. Planters may be raised or at grade and may include potted plants.

F. Unused Areas. All areas of a project site not intended for a specific use, including areas planned for future phases of a phased development, shall be maintained clear and free of refuse, debris, or other accumulated matter.

G. Public Property. Refer to Chapter 13, Article 3, Street Trees and Parkways for street tree, parkway (park strip), and median island requirements in public property.

SPACE BETWEEN BUILDINGS

	Main Buildings	No Requirements
	Accessory Buildings	N/A
	Garages	N/A
FENCES, HEDGES, WALLS (Section 15-2006 Fences, Walls, and Hedges)		
	Required	<p>Fences, walls, dense hedges, and similar structures, collectively referred to as “fences” for purposes of this section, shall comply with the following standards.</p> <p>A. Applicability. The standards of this section apply to:</p> <ol style="list-style-type: none"> 1. New fences, hedges, or walls; 2. New development; <p>C. Fence Height and Locations for Single-Family Homes.</p> <p>Other Yards. Fences up to six feet in height may be installed on property lines. Fences, regardless of location on the site, shall not exceed six feet in height.</p>
	Proposed	A 6' high block wall along the southern western property lines is proposed.
OFF-STREET PARKING (Article 24, Section & Table 15-2409 Required Parking Other Districts)		
	Required	<p>Community and Religious Assembly:</p> <p>Cars:</p> <p>1 for each 5 permanent seats in main assembly area, or 1 for every 50 sq. ft. of assembly area for group activities or where temporary or moveable seats are provided, whichever is greater.</p> <p>For auxiliary classrooms, there shall be 1 parking space per classroom.</p> <ul style="list-style-type: none"> • 3,322 square-foot assembly area / 50 = 66 spaces • 9 classrooms = 9 spaces • 75 spaces required. <p>Bicycles: 2 per 3,000 square-feet of building area Or per the California Green Building Standards Code, whichever is greater.</p> <p>13,624 / 3,000 = 5 spaces bicycle racks required.</p>
	Proposed	<p>80 Parking Stalls Provided</p> <p>8 bicycle parking spaces are proposed.</p>
ACCESS		

	Required	There shall be adequate vehicular access to off-street parking facilities from a dedicated and improved street, service road or alley. The design of the access shall be approved by the Department of Public Works as able to withstand commercial usage.
	Proposed	Plan includes two new Drive Approaches (one off East Powers & one off North Maple) per City of Fresno Public Works Standards (note 14).
OUTDOOR ADVERTISING		
	Permitted	Signs require a separate permit.
	Proposed	<p>Site Plan key notes indicate a proposed monument sign – under separate permit.</p> <p>The proposed sign is located within the required 5-foot setback area from the property line and is not allowed.</p> <p>Applicant will need to propose a new location.</p>
LOADING SPACES		
	Required	None required pursuant to Section 15-2430.
	Proposed	None.
TREES (On-Site)		

Required	<p>(15-2308 Trees)</p> <ol style="list-style-type: none"> 1. Residential Districts. there shall be a minimum of 2 trees per lot 2. Commercial, Office, Business Park, and Regional Business Park Districts. A minimum of one tree for every 2,000 square feet of lot coverage. <p>(15-2422 Parking Lot Trees)</p> <p>Trees required for parking lots are in addition to trees required elsewhere on the site as prescribed in other sections of this Code.</p> <p>Mixed-Use and Non-Residential Districts.</p> <ol style="list-style-type: none"> 1. <u>Shading Required.</u> Provide one tree for each two parking spaces, unless it can be demonstrated to the satisfaction of the Review Authority that less trees can be provided and 50 percent parking lot shading would still be met. 2. Shade may be provided by canopies, shade structures, trees, or other equivalent mechanism. If shade is provided by trees, the amount of required shading is to be reached within 15 years. 3. <u>Distribution.</u> Trees shall be distributed relatively evenly throughout the parking area. 4. <u>Species.</u> Required trees for parking lots shall be selected from a list maintained by the City. 5. <u>Size.</u> All trees shall be a minimum 15-gallon size with a one-inch diameter as measured 48 inches above natural grade. <p>Per Public Works Standards, there shall be one street tree for each 60 feet of street frontage.</p> <p>13,624 square feet / 2,000 square feet = 6.8 <input type="checkbox"/> 7 on site</p> <p>80 parking spaces / 2 = 40 parking lot trees required.</p> <p>325 feet / 60 feet = 5 street trees along North Shepherd Avenue</p> <p>295 feet / 60 feet = 5 street trees along North Shepherd Avenue</p> <p>There shall be a minimum of 47 total trees provided on-site including 10 street trees.</p>
Proposed	<p>Exhibit L, dated March 8, 2016, depicts 72 canopy trees (in addition to shrubs and ground cover) to be provided. Therefore, the proposed project meets the minimum tree requirement.</p>

SUMMARY AND OTHER COMMENTS /REQUIREMENTS

A. Miscellaneous

(1) Only uses permitted in this document are allowed. See the **attached** Notes and Requirements for Entitlement Applications for additional general notes and requirements.

B. Local Plans and Policies

(1) Fresno General Plan

- Subject to Woodward Park Community Plan Guidelines (**attached**)
- FMC Sections 15-311 (Lot Coverage), 15-903 (Density and Massing Development Standards, 15-904 (Site Design Development Standards), 15-2012 (Heights and Height Exceptions), 15-2305 (Areas to be Landscaped), 15-2308 (Trees), 15-2409 (Required Parking Other Districts), 15-2422 (Parking Lot Trees), 15-2006 (Fences, Walls, and Hedges), 15-2719 (Community & Religious Assembly Facilities)

Attachments: Performance Standards for Parking Lot Shading
Notes and Requirements for Entitlement Applications



PAUL HALAJIAN
ARCHITECTS

Fresno County
Public Works & Development Services

Operational Statement for: Archangel Michael & Gabriel Coptic Church

1. SITE INFORMATION:

Project Site Address: 8669 North Maple Ave., Fresno CA, 93720

(Vacant parcel at Southwest corner of N. Maple Ave. and E. Powers Ave.,)

Lot No. 40302209

Assessor's Parcel Number (APN): 40302209

Existing General Plan land use designation: Residential Medium Low Density (3.5-6 D.U./acre)

Existing Zone District: RS-4 Residential single family, medium low density

Community Plan: Woodward Park Community Plan

Specific Plan: None

Redevelopment Plan: None

2. PROPOSED USES AND HOURS OF OPERATION:

The Coptic Church is the Orthodox Christian Church of Egypt, which is one of the oldest Christian Churches in the world. The primary use of the proposed Coptic Church will be worship services complimented with religious educational classes and religious social gatherings immediately following the worship service. Social gatherings will be held in either the social hall or the outdoor plaza. They will include occasional use of the kitchen in order to warm food that has already been prepared. Outdoor activities will include informal gatherings on the lawn or in the plaza and a children's playground. Outdoor activities will not include amplified sound. One of the core beliefs of the Church is that liturgy is a communal prayer in unity; therefore, multiple services per day will not be offered.

Regular employees: 1

Volunteers: 15

Regular Hours of operation/ Visitors:

Fridays: 8 a.m. – 11 a.m.

2 Hours of liturgy (25 visitors)

1 Hour of social gathering (25 visitors)

Saturdays: 7 p.m. – 9 p.m.

1 Hour service (50-180 visitors)

1 Hour of educational classes (30 visitors)

Sundays: 8 a.m. – 2 p.m.

4 Hours of liturgy (180 visitors)

1 Hour of educational classes (75 visitors)

1 Hour of social gathering (50-180 visitors)

Occasional activities for the church include the following:

a. Celebration of Coptic holidays:

There will be 10 Coptic holiday celebrations per year with 50-180 visitors.

The hours for the celebrations vary and may include evening or night services not listed above. These types of services are held within the church and typically do not include social gatherings afterwards.

T: 559.297.7900
F: 559.297.7950

389 Clovis Ave., Ste. 200
Clovis, California 93612-1185

www.halajianarch.com



PAUL HALAJIAN
ARCHITECTS

b. Special Services such as weddings, funerals, etc.:

There will be an average of 2 special services per year with 50-180 people. The hours for the smaller services will be as requested by parishioners, but typically will be held on Saturdays or Sundays between 12 p.m. and 4 p.m.

3. NEIGHBORHOOD IMPACTS:

a. Describe how the proposal helps implement the 2025 Fresno General Plan:

- The required dedication with full improvements will be provided per the 2025 Fresno General Plan.

b. Security measures:

- The Church will remain locked during non-operational hours.
- The playground and plaza area will be enclosed by a 6-foot tall fence.
- The vegetated areas North East and South East of the building will be enclosed by a 6' tall fence.
- The parking lot will not be provided with gates. Pedestrian gates will be provided as depicted on the site plan.

c. Describe how the proposal is complimentary to the surrounding neighborhood:

- The church will provide valuable contributions to its community in the form of social services and community volunteering.
- The church will provide a healthy and safe atmosphere for all who want to participate.

d. Describe the efforts that have been made to discuss the proposal with neighbors.

- The proposal has not been discussed with neighbors.

e. Describe any reasonably foreseeable effects from construction and/or operation of the site that may impact the neighbors:

- **Construction** is expected to produce undesirable noise, but hours of construction will be limited to meet city requirements.
- **Noise** is expected to be produced by parishioners leaving and arriving as well as any outdoor events hosted by the church. The following measures are being taken in order to protect the neighborhood from the impacts of noise:
 - I.** The Residential developments on the north side of the project and on the east side, south of E. Vermont Ave. are protected from the noise by existing CMU walls located adjacent to each development.
 - II.** The lot located on the east side of the project, north E. Vermont Ave., is currently exposed to the street, but is not directly across from the church's driveway or parking lot.
 - III.** The homes on the south and west sides of project will be protected from noise by a buffer consisting of a new 6' tall CMU wall and new vegetation.
- **Glare:** Parking lot lights and recreational lights will have shield 'cut off' type fixtures controlled by time clocks.

City of Fresno Notes and Requirements for Entitlement Applications

(Note: Not all requirements will be applicable to all projects)

GENERAL

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. *This special permit is granted, and the conditions imposed, based upon the Operation Statement provided by the applicant. The Operation Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operation Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operation Statement.* Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.
2. No land shall be used, and no structure shall be constructed, occupied, enlarged, altered, demolished, or moved in any zoning district, except in accordance with the provisions of this Code. Specific uses of land, buildings, and structures listed as prohibited in any zoning district are hereby declared to be detrimental to the public health, safety, and welfare.
3. Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department; <http://www.fresno.gov/Government/DepartmentDirectory/PublicWorks/DeveloperDoorway/Technical+Library/StandardSpecificationsandDrawings.htm>
4. Development shall take place in accordance with all city, county, state and federal laws and regulations.
5. Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property, or renting out four or more dwelling units) are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form is available at the following website: <http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/businessstaxapplicaiton.htm>
6. All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.

City of Fresno Notes and Requirements For Entitlement Applications

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7. Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.
8. A permit granted under this Code shall automatically expire if it is not exercised or extended within three years of its issuance. Refer to section 15-5013, Expiration of Planning Entitlements, for more information about the exercise of rights.

FENCES/WALLS, LANDSCAPING, PARKING

9. Nothing in this Development Code shall be deemed to prohibit the erection of temporary fencing around construction sites in compliance with the Building Code and other applicable provisions of the Fresno Municipal Code.
10. Future fences shall be reviewed and approved by the Development and Resource Management Department prior to installation.
11. Trees shall be maintained by property owners to be free from physical damage or injuring arising from lack of water, chemical damage, accidents, vandalism, insects, and disease. Any tree showing such damage shall be replaced with another tree.
12. No tree for which a Tree Removal Permit is required shall be removed until all conditions of the permit have been satisfied and the decision has become final. In addition, tree(s) approved for removal in conjunction with a development application shall not be removed before the issuance of a Building Permit or unless all of the conditions of approval of the development applications are satisfied.
13. The review authority shall issue a Tree Removal Permit if any of the following general criteria is met: **a)** The tree(s) is irreparably diseased or presents a danger of falling that cannot be controlled or remedied through reasonable preservation and/or preventative procedures and practices so that the public health or safety requires its removal. **b)** The tree(s) can potentially cause substantial damage to existing or proposed main structure(s) (e.g. dwellings, other main structures, or public infrastructure) or interfere with utility services and cannot be controlled or remedied through reasonable relocation or modification of the structure or utility services. **c)** The retention of the tree(s) restricts the economic enjoyment of the property or creates an unusual hardship for the property owner by severely limiting the use of the property in a manner not typically experienced by owners of similarly zoned and situated properties, and the applicant has demonstrated to the satisfaction of the Review Authority that there are no reasonable alternatives to preserve the tree(s).
14. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division. **(Include this note on the site and landscape plans.)**

City of Fresno Notes and Requirements For Entitlement Applications

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15. New landscaping shall have an automatic irrigation system designed to provide adequate and efficient coverage of all plant material. Irrigation systems shall comply with the requirements of the California Green Building Standards Code and/or the California Model Water Efficient Landscape Ordinance and/or the California Plumbing Code as may be amended.
16. Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.
17. Trees required for parking lots are in addition to trees required elsewhere on the site as prescribed in other sections of this Code.
18. A minimum number of accessible parking stalls are required for the proposed project per State of California Building Code, "Development Requirements for Handicapped Accessibility."
19. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles. **(Include this note on the site plan.)**
20. Applicants are encouraged to provide shared vehicle and pedestrian access between adjacent properties for convenience, safety, and efficient circulation. A joint access covenant shall be required. **(Include this note on the site plan.)**
21. All general standards of Section 15-2015 of the FMC shall apply when lighting is provided to illuminate parking, sales or display areas. **Depict all proposed lights on the site plan.**
22. Bicycle parking spaces shall be supplied according to Table 15-2429-D: Required On-Site Bicycle Parking Spaces of the Fresno Municipal Code (FMC). Each bicycle parking space shall be a minimum of 30 inches in width and eight feet in length and shall be accessible without moving another bicycle. At least 30 inches of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces to allow for the maneuvering of bikes. Overhead clearance shall be a minimum of seven feet. A minimum five foot aisle between each row of bicycle parking shall be provided for bicycle maneuvering beside or between each row, when multiple rows are proposed. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.
23. All general provisions of Section 15-2403 of the FMC shall apply to all parking areas.

City of Fresno Notes and Requirements For Entitlement Applications

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SIGNAGE

24. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.
25. Signs, *other than directional signs, if applicable*, are not approved for installation as part of this special permit. **(Include this note on the site plan.)**
26. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or online at <http://www.fresno.gov/Government/DepartmentDirectory/DARM/DevelopmentServices/StandardsGuidelines/SignsandBanners.htm>
27. Window signs limited to the hours of operation, address, occupancy, and emergency information, subject to the following standards: **a)** Operational windows signs shall not be mounted or placed on windows higher than the second story. **b)** The maximum area of exempt window signage shall not exceed three square feet in area.
28. Banners, streamers, moving signs, and inflatables (including air dancers, balloons, and similar objects) are allowed subject to Temporary Use Permit approval for establishments within Non-Residential Districts. Signs of this type do not count toward total maximum sign area. No sign per this section shall be displayed for more than 30 days, and a period of 30 must lapse before displaying another sign. Signs shall not be displayed for more than 60 total days during a calendar year.

MISCELLANEOUS

29. Noise levels shall not exceed the decibel levels described in Section 15-2506 of the FMC at anytime, measured at the nearest subject property line. http://library.municode.com/HTML/14478/level3/MUCOFR_CH10REREPUNUREPRCOUS_ART1NORE.html#MUCOFR_CH10REREPUNUREPRCOUS_ART1NORE_S10-102DE
30. The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Development and Resource Management Department for 'Official Addresses'. **Only those addresses assigned by the City of Fresno will be recognized as 'Official Addresses'**. The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.

City of Fresno Notes and Requirements For Entitlement Applications

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31. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, FMC Chapter 6, Article 7 (FMC Sections 6-701 *et seq.*)

When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior to** commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet:

www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml.

Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, www.casqa.org

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml,

The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities (www.casqa.org).

32. Screen all roof-mounted equipment from the view of public rights-of-way. **Depict all mechanical equipment on site plan and elevations.**
33. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately. **(Include this note on the site plan.)**
34. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation. **(Include this note on the site plan.)**
35. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall

City of Fresno Notes and Requirements For Entitlement Applications

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be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved. **(Include this note on the site plan.)**

36. Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply.
37. Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for alternative wastewater treatment facilities.
38. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8277.
39. Open street cuts are not permitted; all utility connections must be bored.
40. CROSS-CONNECTION CONTROL. A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621-5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.
41. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Development and Resource Management when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.
42. Open storage (outside an enclosed building) shall be limited to vehicles, boats, recreational vehicles, and trailers. Outdoor storages areas shall be screened from public view by building façades or solid fences. At the discretion of the Review Authority, the treatment of the ground surface of the open storage area may be gravel or other materials as prescribed by the San Joaquin Valley Air Pollution Control District, the Public Works Department, the Fire Department, and the Fresno Metropolitan Flood Control District. All open storage must be depicted on the site plan and described in operation. If it is not, it is not allowed on the site.
43. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

FEES

(Not all fees will be applicable to all projects)

44. **NOTICE TO PROJECT APPLICANT:** In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.
45. **CITYWIDE DEVELOPMENT IMPACT FEES**
- a) Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit.
 - b) Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)
 - c) Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units)
 - d) Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)
46. **CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006)**
- a) Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law.
 - b) Street Impact Fees will be a condition on all development entitlements granted.
 - c) New construction on vacant parcels shall be calculated on a net acreage (adjusted acre basis) of the entire property subject to the development entitlement based upon planned land use. Notwithstanding, fees shall be based upon actual land use for developments in the C-M zone district and for development projects developed inconsistent with the plan land use.
 - d) New construction on property that is partially developed, Street Impact Fees will be applied to the incremental increase proportionate to the respective floor to area ratios (25% for commercial and 40% for industrial). In no case shall anyone pay more than the amount of the total net acreage of the parcel multiplied by the applicable fee rate.

City of Fresno Notes and Requirements For Entitlement Applications

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- e) Reuse being more intensive than the original use, the developer shall be required to pay the difference between the current amount of the Street Impact Fee obligation for the old use and the current amount of the Street impact Fee obligation for the new use.

47. FRESNO COUNTY FACILITY IMPACT FEE

Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits.

48. REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; www.fresnocog.org. Provide proof of payment or exemption prior to issuance of building permits.

49. SCHOOL FEES

School fees must be paid, if required, prior to the issuance of building permits. Contact Central Unified School District. Provide proof of payment (or no fee required) prior to the issuance of building permits.

50. FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES

- a) A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact Fresno Metropolitan Flood Control District at (559) 456-3292.
- b) FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of a new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Development and Resource Management Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.

51. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied.

- a) Lateral Sewer Charge (based on property frontage to a depth of 100')

City of Fresno Notes and Requirements For Entitlement Applications

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- b) Oversize Sewer Charge (based on property frontage to a depth of 100')

Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Administration Division at (559) 621-8600.

- 52. WATER CONNECTION CHARGES: (FMC Sections 6-507 to 6-513). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior to** issuance of building permits may also be applied.

- a) Frontage Charge (based on property frontage)
- b) Transmission Grid Main Charge (based on acreage)
- c) Transmission Grid Main Bond Debt Services Charge (based on acreage)
- d) UGM Water Supply Fee (based on living units, living unit equivalents or acreage)
- e) Wellhead Treatment Fee (based on living units or living unit equivalents)
- f) Recharge Fee (based on living units or living unit equivalents)
- g) 1994 Bond Debt Service Charge (based on living units or living unit equivalents)
- h) Service Charges (based on service size required by applicant)
- i) Meter Charges (based on service need)

- 53. Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19.



CERTIFICATION OF THE INSTALLATION OF REQUIRED LANDSCAPING AND LANDSCAPE IRRIGATION SYSTEM

City of Fresno Planning and Development Department
2600 Fresno Street Room 3043
Fresno, California 93721-3604

ATTN: _____
[printed name of planner who processed the project listed below]

REGARDING: _____
[Conditional Use Permit No. / Site Plan Review No./ Variance No. / Tract No.]

I, _____, hereby certify, under penalty of perjury, that all
[printed name of landscape professional]
landscaping and related irrigation system improvements have been installed as required
pursuant to the final corrected landscape plans/exhibits approved by the City of Fresno for the
above development project. These landscape exhibits, numbered _____,
[numbers from entitlement file]
were submitted on _____ and were approved on _____
[date] [date]
by the above-named planner.

Certified by: **X** _____
[signature of landscape professional]

Certified on: _____
[date signed] [type of license, and license number of the signer]

Telephone (with area code): (_____) _____

Business Address: _____
