



REPORT TO THE PLANNING COMMISSION

AGENDA ITEM NO. VIII-A
COMMISSION MEETING
10.12.16

October 12, 2016

APPROVED BY


DEPARTMENT DIRECTOR

FROM: DANIEL ZACK, Assistant Director
Development & Resource Management Department

SUBJECT

Public hearing to consider adoption of the Downtown Neighborhoods Community Plan, the Fulton Corridor Specific Plan, the Downtown Development Code and related Final Program Environmental Impact Report (FPEIR), State Clearinghouse (SCH) # 2012041009. Applications have been filed by the City of Fresno Development and Resource Management Department Director pertaining to approximately 7,290 acres in the Downtown Planning Area.

RECOMMENDATION

Staff recommends that the Planning Commission take the following actions:

1. **Recommend the City Council review and consider Program Environmental Impact Report** (PEIR SCH No. 2012041009), apply the Council's independent judgment and analyses to the review, and then certify the PEIR as having been completed in compliance with CEQA, based on the Commission's recommendations on the proposed Final Program EIR and comments thereon.
 - a. **Recommend the City Council adopt** an appropriate Mitigation Monitoring and Reporting Program (MMRP) as required by Public Resources Code Section 21081.6 and CEQA Guidelines Section 15097; and,
 - b. **Recommend the City Council find** that based upon testimony presented by staff, there are significant, unavoidable, environmental impacts which have not been mitigated to a level below significant. Therefore, the City Council should consider an appropriate statement of overriding considerations.
2. **Recommend the City Council approve Plan Amendment Application No. A-16-009** which proposes to repeal the Central Area Community Plan, pertaining to approximately 1,701 acres located in the Downtown Planning Area.
3. **Recommend the City Council approve Plan Amendment Application No. A-16-010** which proposes to repeal the Fulton-Lowell Specific Plan, pertaining to approximately 495 acres located in the Downtown Planning Area.
4. **Recommend the City Council approve Plan Amendment Application No. A-16-011** which proposes to adopt the July 27, 2016 draft as amended by the October 2016 changes of the Downtown Neighborhoods Community Plan, pertaining to approximately 7,290 acres located in the Downtown Planning Area.

5. **Recommend the City Council approve Plan Amendment Application No. A-16-012**, which proposes to adopt the July 27, 2016 draft as amended by the October 2016 changes of the Fulton Corridor Specific Plan, pertaining to approximately 655 acres and located within the boundaries of the Downtown Planning Area.
6. **Recommend the City Council approve Plan Amendment Application No. A-16-008**, which proposes to update the text and Land Use Map (Figure LU-1) of the Fresno General Plan to incorporate the Downtown Neighborhoods Community Plan and the Fulton Corridor Specific Plan as well as to correspondingly amend the Edison, Roosevelt and West Area Community Plans and the Fresno Chandler Executive Airport Land Use Compatibility Plan and the Fresno-Chandler Downtown Airport Master and Environs Specific Plan.
7. **Recommend the City Council approve Text Amendment Application No. TA-16-002** which proposes amendments to the Citywide Development Code to incorporate the updated October 2016 draft of the Downtown Development Code. This code includes form-based zoning requirements for development within the DNCP and FCSP plan areas. New sections proposed to be added to the Citywide Development Code include standards for three new Downtown zones: Downtown Core, Downtown General and Downtown Neighborhood (Article 15 of Chapter 15 of the FMC) along with provisions related to Parking and Loading (Section 15-2407-A). In addition, an Urban Campus Overlay District is added in Section 15-1610 and a Neighborhood Revitalization Overlay District is added in Section 15-1611. Amended sections include Determining Frontage Coverage (Section 15-317), Fences, Walls and Hedges (Section 15-2006), Summary of Primary Planning Permits and Actions (Table 15-4907), Zone Clearance Applicability (Section 15-5102), Apartment Overlay District, (Section 15-1609), Signs (Sections 15-2608 and 15-2610), and Terms and Definitions (Sections 15-5501 and 15-5502).
8. **Recommend the City Council approve Rezone Application No. R-16-011**, which proposes to rezone all of the property within the Downtown Neighborhoods Community Plan and the Fulton Corridor Specific Plan areas to be consistent with the planned land use. The rezone covers approximately 7,290 acres. This action would necessitate repealing Resolution 2016-28, which created interim zoning in the Downtown Planning Area until such time as the final proposed zoning could be adopted.

EXECUTIVE SUMMARY

This report describes the background, history, outreach, land use and planning analysis, and environmental impacts of the proposed adoption of the Downtown Neighborhoods Community Plan, the Fulton Corridor Specific Plan, and the Downtown Development Code. Adoption of the plans and code is the final major step in updating the City's land use framework, following the recently adopted General Plan, Citywide Development Code, and Zoning Map update. The plans, code and Draft and Final Program EIRs are available at www.fresno.gov/downtownplan.

BACKGROUND

The Origins of the Plans and Code

Downtown Fresno is where the city began. From its incorporation in 1885 through the 1960s it was the commercial, business, and cultural center of the Central Valley. After the Second World War Fresno's pattern of development, like that of most American cities, was radically altered. People began to move out of Fresno's pre-World War II residential neighborhoods and scatter into new northern subdivisions. Businesses and important institutions followed, resulting in a slow decline of Downtown and the surrounding neighborhoods. The leaders of Fresno acted swiftly to reverse the decline of Downtown by trying untested urban renewal concepts which were well intentioned, but did not slow the decline of the area. As the northward growth of the city continued into the late 20th and early 21st centuries, Downtown's economic decline was accompanied by extreme concentrations of poverty in many of the nearby neighborhoods.

During the 1990s and 2000s, many American downtowns began reviving as a larger share of people began to rediscover the benefits of city living. Urban planning professionals began to regain an appreciation for the economic, social, and environmental benefits of walkable, mixed use communities and began to write new code which allowed a return to the development patterns that made downtowns successful in the first place.

Fresno didn't benefit from the first national wave of urban revitalization in the 1990s, but over the past decade many positive changes have indicated that now may be the time for Downtown Fresno's big comeback. Important investments, both public and private, are demonstrating that many Fresnoans are eager to live, work, and play in the urban heart of their community. The rising attendance at Downtown attractions such as Art Hop and the popularity of new Downtown housing attest to this.

In 2010, against this backdrop of national downtown success and a local desire for a strong urban core, the City initiated the Downtown plans and code.

Outreach

The Downtown plans and code are the result of an intense public process from 2010 to 2012 that involved input from hundreds of residents, business owners, and property owners from Downtown and the surrounding neighborhoods. Stakeholder interviews were held in order to identify challenges and opportunities. A series of public meetings and two six-day, open, participatory design workshops were also held. Attendance at one event topped 400 and resulted in 1,300 written comments. The evolution of the plans and code was based on extensive community input throughout all phases of planning, including: Initial Outreach and Discovery, Design Workshop, Follow-up Outreach, Community Plan Preparation, Environmental Impact Report Preparation, and Adoption.

Key to the public process was the input and guidance of two advisory committees comprised of residents, business-owners, people who work in the plan areas, members of community

organizations, and other stakeholders. The committees met throughout all phases of the planning process from 2010 to 2012 and reviewed the various drafts. Three documents were released for public comment in 2012: The Downtown Neighborhoods Community Plan, the Fulton Corridor Specific Plan, and the Downtown Development Code. The committees recommended them for adoption by the City Council.

Adoption of the Downtown plans and code were delayed in order to allow the General Plan and Citywide Development Code to be adopted first. The creation of the General Plan involved significant public outreach, including over 160 interviews with stakeholders, over 20 public workshops, over 100 presentations to community groups, and over 20 meetings of a Citizens Advisory Committee. During this outreach process, policies and goals affecting the entire city were discussed, including many of the concepts in the Downtown Plans and Code. In 2016 the Downtown plans and code were updated and re-released for public comment. Outreach also resumed, with staff holding 9 workshops with various Downtown residents, property owners, business owners, stakeholders, and the general public.

ANALYSIS

The Downtown Neighborhoods Community Plan

The Downtown Neighborhoods Community Plan (DNCP) provides a blueprint for the successful regeneration of Downtown Fresno and its surrounding neighborhoods such as Lowell, Jefferson, Jane Addams, the Edison-area neighborhoods, and southeast neighborhoods. In all, the DNCP guides future actions in a 7,290 acre area. It is a visionary document that lays out the community's long-term goals and provides detailed policies concerning a wide range of topics, including land use and development, transportation, the public realm of streets and parks, infrastructure, historic resources, and health and wellness. It envisions growth of about 10,000 housing units, or about 15,000 new residents.

The Fulton Corridor Specific Plan

The Fulton Corridor Specific Plan (FCSP) takes a more detailed look at the 655 acres at the traditional heart of the Downtown area. It provides detailed policies concerning a wide range of topics, including land use and development, historic resources, the public realm, transportation, and infrastructure. These policies provide the foundation for urban and economic growth, as well as the basis for the City to make the tough daily choices regarding growth, historic preservation, housing, transportation, the environment, community facilities, and community services. It envisions that the majority of the DNCP's growth (about 6,300 units, or about 12,000 new residents) will occur within the FCSP area. Recommendations for priority infrastructure projects to support this new growth are included within the FCSP.

The Downtown Development Code

The Downtown Development Code (DDC) will implement the land use concepts of the DNCP and FCSP. It presents a new set of development standards that allows a range of development

types that fit within the vision of the plans. The standards in the code are based on the best practices in Downtown revitalization across the nation, but are tailored to the unique conditions that exist in Fresno. By offering very clear and detailed parameters, a high degree of predictability is introduced into the project review process. Standards that have conventionally been obstacles to urban infill, such as height limits, parking requirements, density limitations, and lot coverage restrictions have been addressed in a way that makes projects which fit the community's vision very easy to get entitled. Through this combination of factors, the DDC will attract investment that enhances Downtown and the neighborhoods.

Initially, the DDC was set up to be a stand-alone code, completely separate from the city's Zoning Ordinance, which was considered to be antiquated and incompatible with a modern downtown code. In the intervening period, a new Citywide Development Code was created and adopted which completely restructured and modernized all terminology, procedures, and standards for land use and development in Fresno. The Downtown Development Code has thus been completely reformatted and reorganized to work in harmony with, and be absorbed into, the Citywide Development Code.

Three new zoning districts have been created for the urban core of Downtown: DTC—Downtown Core; DTG—Downtown General; and DTN—Downtown Neighborhood. These new zoning districts are designed to create a vibrant, walkable, mixed use metropolitan center. Also, the UC—Urban Campus Overlay District was created to implement the vision for the growth and expansion of Community Regional Medical Center.

All other areas within the Downtown Development Code will be governed by zoning districts that already exist in the Citywide Development Code. For example, most major streets will be zoned NMX—Neighborhood Mixed Use, and most residential areas will be zoned RS-5, which is a medium density district. The RS-5 base zoning will be coupled with a new overlay district called NR—Neighborhood Revitalization, which was created to ensure that infill in these neighborhoods is compatible with the historic housing stock and contributes to an improved quality of life for residents.

Relationship to Other Plans

The DNCP, FCSP, and DDC are fully compatible with the vision of the General Plan, and help in the implementation of many of its key goals, such as encouraging infill development and Downtown revitalization. However, a General Plan Amendment is proposed in order to make details about the names of land uses, and the precise boundaries of districts, consistent with the final versions of the Downtown plans and code. Also, the DDC helps to resolve a key issue with the General Plan's Housing Element by providing a streamlined ministerial approval for eligible high-density housing projects.

The boundaries of two older plans (the Fulton/Lowell Specific Plan and the Central Area Community Plan) are completely within the boundaries of the DNCP and FCSP. Therefore, staff recommends the repeal of these older plans. Policies from the older plans which are still relevant have been replicated within the DNCP and FCSP.

The boundaries of the DNCP and FCSP partially overlap the Edison, Roosevelt, and West Area Community Plans; the Fresno Chandler Executive Airport Land Use Compatibility Plan; and the Fresno-Chandler Downtown Airport Master and Environs Specific Plan. Staff recommends amending these plans to be consistent with the DNCP and FCSP.

Implementation of the Downtown Plans

Much work has been underway even as the Downtown plans awaited adoption to implement key infrastructure, housing, and neighborhood revitalization needs and objectives within the FCSP and DNCP plan areas that resonated with community feedback during the public process. This section details some of the key investments made:

- Neighborhood Revitalization: In 2009, work began to start cultivating the Administration's approach to neighborhood revitalization starting with a significant focus on leveraging funds for affordable housing, housing rehabilitation, code enforcement, energy efficiency, and community-oriented policing in the Lowell neighborhood. That approach has since evolved into the City's Neighborhood Revitalization Teams and has expanded, initially through the White House Building Neighborhood Capacity Program, to the Lowell, Yokomi, Kirk, and Jefferson neighborhoods within the DNCP; and, will be expanding to several new neighborhoods within the DNCP area, including Jane Addams, Hidalgo/Leavenworth, Columbia, King, and Winchell neighborhoods over the next two years.
- Affordable and Mixed-Income Housing: The housing focus within the FCSP and DNCP neighborhoods has been primarily on the rehabilitation of existing housing where funding is available and the construction of mixed-income housing to the extent feasible. New market rate housing at scale (greater than 12 units) is not financially feasible to construct in both the Fulton Corridor and the downtown neighborhoods¹. Because of the extent of concentrated poverty throughout the entire footprint of the FCSP and DNCP, the focus has been to encourage the construction of mixed-income housing where financially feasible. In the past ten years, more than 500 new rental housing units have been built or are in the construction pipeline in the FCSP area alone; every single project over 12 housing units has included a minimum of 20% of all units restricted as affordable housing, with some projects including as much as 50% affordable housing (Hotel Fresno) or 100% affordable housing (CityView). Future housing construction in the short-term within both the FCSP and DNCP will rely heavily upon availability of state and federal funds to ensure financial feasibility for both mixed-income and affordable housing projects.

¹ *California Infill Finance Options Analysis*. Economic and Planning Systems, Inc. for the California Strategic Growth Council, September, 2014.

- Streetscape Improvements: Within the DNCP and FCSP areas, over \$14 million has been expended since 2010 to improve pedestrian access, construct bike lanes, and construct new street overlays, including new bike corridors along Hazelwood and Butler in the southeast neighborhoods and along Fresno and Tulare Streets in the Edison neighborhoods. This figure does not include the additional \$16 million USDOT TIGER grant for the Fulton Reconstruction Project, the \$2.1 million FTA Bus Livability grant to improve pedestrian access around the Van Ness and Mariposa BRT stop downtown, or the recently awarded Strategic Growth Council AHSC grant for the South Stadium TOD project which includes new pedestrian and bike facilities on Van Ness Avenue and Inyo Street within the FCSP footprint. In the last six years alone, over 10 miles of bike lanes have been added to the DNCP area, providing better connectivity from downtown into the surrounding neighborhoods. Many new pedestrian and bike infrastructure projects are identified within the FCSP and DNCP to ensure connectivity from downtown into the neighborhoods;
- Transit Infrastructure: The most significant transit investment in the FCSP and DNCP areas is the new Bus Rapid Transit system along the Ventura/Kings Canyon and Blackstone corridors, the result of a \$38 million FTA Small Starts grant. This investment will ensure faster travel times via transit along those corridors. In addition, FAX is planning to increase headways along the Cedar Avenue corridor in the southeast neighborhoods to 15 minutes (during peak hours). Additional transit investment is under evaluation through FAX's restructuring process, which ultimately will help reduce transit travel times within much of the DNCP and FCSP. Finally, the FCSP also includes a planned intermodal transit center adjacent to the future HSR station to ensure seamless transfers between HSR, FAX, BRT, and other regional transit providers.
- Parks: One new park is under construction in the FCSP/DNCP area – the Cultural Arts Park on Calaveras Street. The Parks Master Plan process currently underway will help provide additional feedback on the best locations for new parks within the FCSP and DNCP, as well as help prioritize how to invest in existing parks in the area. Additional local, state and federal funds will be needed to enhance existing and add new parks within the FCSP and DNCP areas.

Future implementation of the DNCP and FCSP will rely upon availability of funding sources. The FCSP and DNCP lay out the specific projects recommended to implement the plans in their respective implementation chapters; however, the projects which ultimately get selected for funding will depend on a variety of factors, including how well they meet grant criteria, the level of community support for the project, and the readiness of the project to apply for funding.

Committee and Commission Recommendations

The Downtown plans and code were presented to the following committees and commissions for their recommendations: the Airport Land Use Commission, the Historic Preservation Commission, the District 3 Implementation Committee, the District 5 Implementation Committee, and the Fulton/Lowell Design Review Committee.

The Airport Land Use Commission failed to find that the Downtown plans and code were consistent with the Chandler Airport Land Use Compatibility Plan due to concerns about density. The ALUC is an advisory body and the City Council may override their recommendation. In this instance, staff recommends such an override for the following reasons:

1. The ALUC already approved land use in this area with their consistency finding on the General Plan in 2014 that included land uses with higher densities in this area (ie the previous land use had no density limit);
2. The area is almost completely built out;
3. The Chandler Airport Land Use Compatibility Plan states that ALUCs have limited jurisdiction over existing land use.
4. The Citywide Development Code stipulates that airport plans supersede all other plans.

As a final note, the EIR did not identify any significant impacts related to airport compatibility.

The Historic Preservation Commission reviewed the plans, code and EIR on August 22, 2016. They provided comments and recommended approval. Many of their comments were incorporated into the documents.

District 5 Implementation Committee and the Fulton/Lowell Design Review Committee, recommended approval of the plans and code. The District 3 Committee was unable to act due to lack of a quorum. The Fulton/Lowell Design Review Committee made the additional recommendation that language be added which allows them to continue to review projects within the Fulton/Lowell area. Staff agrees that their role is valuable and should continue, but proposes that the committee be restructured to serve as a Lowell Design Review Committee, and that their boundaries be modified to match the Lowell neighborhood as shown on Page 17 on the DNCP.

ENVIRONMENTAL FINDING

Environmental Impact Report Process

The City, as the lead agency under the CEQA determined that an EIR was required for the proposed project. The firm of FirstCarbon Solutions was hired by the City of Fresno to prepare the EIR. The review and certification of the EIR involves the following procedural steps:

Notice of Preparation (NOP): Upon the City's determination that an EIR was required for this project, a NOP was made available to the general public and responsible trustee agencies to solicit input on issues of concern that should be addressed in the EIR. The initial NOP was issued in April of 2012, however shortly thereafter, the City paused the project to focus on the adoption of the General Plan. The project resumed in the summer of 2015, and another NOP was issued on September 8, 2015, followed by the required 30-day comment period. The NOP included a project description, project location, and a brief overview of the topics to be covered in the EIR. Comment letters were received from several public agencies and private citizens and were incorporated into the Draft EIR (DEIR).

Public Scoping Meeting: On September 29, 2015, the City held a project scoping meeting to which the Responsible and Trustee agencies as well as interested members of the public were invited, and which had been duly advertised in advance. The meeting was attended by one member of the public.

Notice of Completion (NOC): Upon completion of the DEIR, the City filed a NOC with the State Clearinghouse, Office of Planning and Research, to begin the public and agency review period.

Public Notice/Public Review: Concurrent with filing the NOC, the City provided public notice of the availability of the DEIR for public review, (by posting on the website, publishing in the Fresno Bee, mailing to all commenters and Citizen's Advisory Committee members, and filing with the County Clerk on July 27, 2016), and invited comment from the general public, agencies, organizations, and other interested parties. The length of the public review period was 45 days, (from July 27, 2016 through September 12, 2016) during which time written comments on the DEIR were submitted to the City of Fresno.

Response to Comments: After the close of the public review period, the City prepared formal responses to the written comments received. A total of eight written comments were received from agencies/organizations and regarding the DEIR. As required by CEQA Guidelines, 15088(b), City responses were sent to public agencies that submitted comments. The responses to comments were also made available on the City website 10 days prior to City Council consideration.

Final EIR (FEIR): A FEIR was prepared that includes the comment letters and responses to comments and errata (which clarifies/corrects language contained in the DEIR). The DEIR consists of one bound volume and a compact disc of the Appendices, which was previously provided to the Planning Commission.

Certification of the EIR: The Planning Commission will hold a public hearing to consider the adequacy and completeness of the EIR under CEQA and to consider recommending that the City Council certify the EIR and adopt the necessary Findings of Fact and Statement of Overriding Considerations.

Mitigation Monitoring and Reporting Program (MMRP): The Planning Commission will also consider recommending that the City Council adopt a program to implement the EIR's recommended mitigation measures to mitigate, avoid, or substantially lessen the significant impacts of the project.

Environmental Impact Report Analysis and Conclusions

Project Objectives

The proposed project is guided by several major project objectives identified in the EIR. Knowing these objectives will aid decision makers in their review of the project and associated environmental impacts. These objectives are as follows:

Downtown Neighborhoods Community Plan

- To make the Downtown Neighborhoods attractive, healthy, mixed-income places to live, thanks to their historic character and their proximity to a revitalized Downtown.
- To revive the underlying structure of the Downtown Neighborhoods to create identifiable neighborhoods, districts, and corridors.
- To integrate the public realm of streets with a multi-modal transportation network that renders them walkable and livable.
- To regenerate parks and public spaces and make them safe and accessible to residents.
- To reinforce the identity of each of the Plan subareas by including all of the remaining ingredients for quality of life from childhood to old age within a walkable range.
- To reintroduce missing street trees, irrigation, and sidewalks, and slow down traffic on primary thoroughfares through various traffic-calming measures.
- To introduce a range of well-designed buildings that provide a variety of housing choices within easy access of parks, services, and jobs.
- To design residential buildings to promote safety and community on the sidewalk and street.
- To design commercial buildings with facades that are adjacent to sidewalks, are constructed of quality and durable materials, can accommodate a mix of uses at any one time, and can be reused over time under different programs.
- To introduce High Speed Rail in a manner that has the most beneficial impact possible on the surrounding homes, businesses, and open spaces, while preserving Downtown's interconnected street network to the maximum extent possible.

Fulton Corridor Specific Plan

The primary objectives of the FCSP are to define:

- A vision for the future of Downtown that recognizes the importance of history and tradition while embracing opportunities for continued reinvestment, growth, and beneficial change.

- Goals and policies that work in tandem with and refine those of the General Plan and the Downtown Neighborhoods Community Plan to achieve the revitalization of the Plan area.
- New land use policies for the Plan area that will guide upcoming zoning regulations. These new policies are calibrated to deliver new development that is consistent with Fresno's physical character, history, and culture, as well as the community's vision for its future growth.
- The implementation strategy for transforming the Plan area's streets, infrastructure, parks, and other public spaces. The above purposes provide private property owners with a clear understanding of the future context within which they are investing and reinvesting in their properties.
- Revitalize Fulton District and promote it as a key asset and urban place. Strike a balance between the original character and value of the pedestrian-only Mall and its importance as the economic engine of the Downtown.

Impacts Analyzed

The EIR analyzed impacts to the following environmental areas, as these were the areas determined to have potential impacts:

Aesthetics (Section 5.1)	Hydrology and Water Quality (Section 5.9)
Agriculture Resources (Section 5.2)	Land Use and Planning (Section 5.10)
Air Quality (Section 5.3)	Noise (Section 5.11)
Biological Resources (Section 5.4)	Population and Housing (Section 5.12)
Cultural Resources (Section 5.5)	Public Services and Recreation (Section 5.13)
Geology and Soils (Section 5.6)	Transportation and Traffic (Section 5.14)
Greenhouse Gas Emissions (Section 5.7)	Utilities and Service Systems (Section 5.15)
Hazards and Hazardous Materials (Section 5.8)	

Based on the analysis in the Initial Study, forest resources and mineral resources were not analyzed because it was not reasonably foreseeable that the proposed Project would cause significant impact to those areas.

The EIR found impacts to the following areas: Aesthetics, Air Quality, Biological Resources, Cultural Resources, Greenhouse Gases, Hazards and Hazardous Materials, Hydrology and Water Quality, Noise, and Transportation and Traffic, Greenhouse Gases, Hazards and Hazardous Materials, Hydrology and Water Quality, Noise, and Transportation/Traffic. The EIR includes recommended mitigation measures in these areas (See Mitigation Monitoring and Reporting Program in Exhibit F). The recommended mitigation measures were found to reduce impacts to less than significant in all but four areas:

- Air Quality
- Greenhouse Gases
- Noise
- Traffic

Overriding Considerations

Pursuant to CEQA requirements, the Planning Commission will consider recommending to the City Council adoption of a statement of overriding consideration to approve the Project, because the project will result in significant unavoidable impacts. Staff recommends that the following overriding considerations be considered in approving the project despite its unavoidable significant impacts: job creation and economic opportunity, creation of tax revenues, improved public health and air quality related to enhanced walking, bicycling, and public transit opportunities, improved safety and security due to enhanced streetscapes and building facades, etc.

Comments on DEIR

After the DEIR was published and noticed for review and comment on July 27, 2016, the City received several comments which were summarized and addressed in the FEIR. None of these comments contained new information that revealed any potentially new or more significant environmental impacts that could have required recirculation of the DEIR pursuant to CEQA Guidelines Section 15088.5.

CONCLUSION / RECOMMENDATION

The appropriateness of the proposed project has been examined with respect to its consistency with goals and policies of the Fresno General Plan; its compatibility with surrounding existing or proposed uses, and its avoidance or mitigation of potentially significant adverse environmental impacts. These factors have been evaluated as described above and by accompanying PEIR. Upon consideration of this evaluation, it can be concluded that adoption of the Downtown Plans and Code, and all of the related actions, are in the best interest of the City of Fresno.

Attachments:

- A - Project Location Map
- B- DNCP Redline (*since changes were minimal, only changed pages are included*)
- C - FCSP Redline (*since changes were minimal, only changed pages are included*)
- D - DDC Redline
- E – Comments Letters/Response to Comments on Plans & Code
- F – Final Program EIR and Mitigation Monitoring and Reporting Program
- G– Map for Plan Amendment Application No A-16-009: Central Area Community Plan
- H – Map for Plan Amendment Application No. A-16-010: Fulton-Lowell Specific Plan

REPORT TO THE PLANNING COMMISSION

Downtown Plans, Code and FPEIR

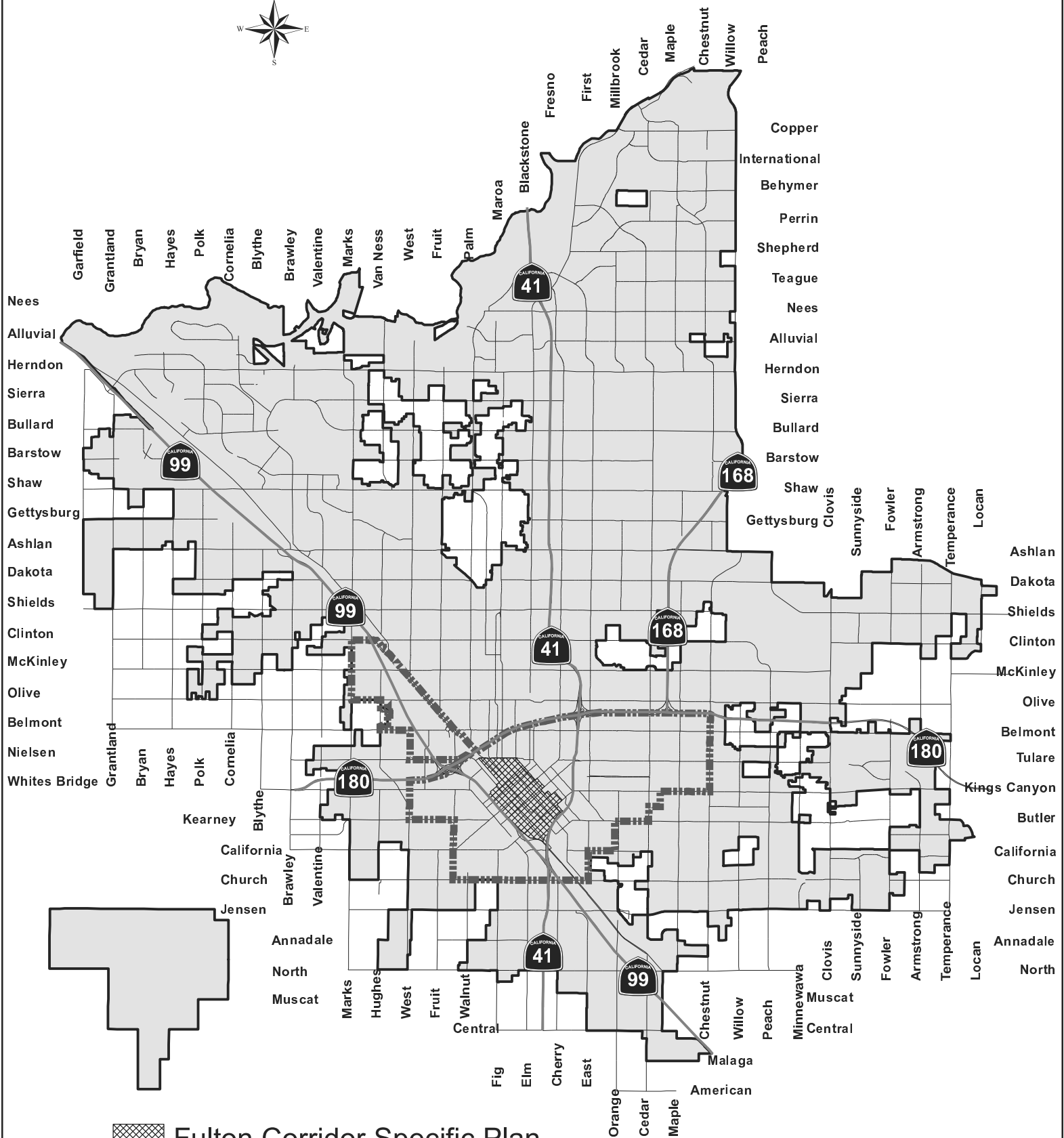
October 12, 2016

Page 13

- I - Map for Plan Amendment Application No. A-16-011: Downtown Neighborhoods Community Plan
- J- Map for Plan Amendment Application No. A-16-012: Fulton Corridor Specific Plan
- K - Text and Map for Plan Amendment Application No. A-16-008: General Plan
- L- Map for Rezone Application No. R-16-011

Exhibit A
Project Location Map

Project Location Map



Fulton Corridor Specific Plan



Downtown Neighborhoods Community Plan



City Limits

Exhibit B
DNCP Redline
*(since changes were minimal, only changed pages are
included)*

Downtown Neighborhoods Community Plan

Fresno, California



CHANGES ONLY
PUBLIC HEARING DRAFT
OCTOBER, 2016

B. COMMUNITY PLAN SUMMARY

The Downtown Neighborhoods Community Plan is the community’s tool for guiding the successful regeneration of Downtown Fresno and its surrounding neighborhoods. It is a visionary document that lays out the community’s long-term goals for the Community Plan Area and provides detailed policies concerning a wide range of topics, including land use and development, transportation, the public realm of streets and parks, infrastructure, historic resources, and health and wellness.

The Downtown Neighborhoods Community Plan (DNCP) is structured to enable the reader easy access to a large variety of topics presented for the 7,290 acre Plan Area. The following summarizes the organization of the document:

Introduction. The Plan begins with a description of the overall Community Plan Area, including an explanation of the Plan’s purpose and its relationship to other plans and documents; its location and boundaries; and a summary of the process the City and the community went through to prepare this Community Plan. The chapter then continues with a discussion of the Community Plan Area context, including its history and existing social conditions, physical conditions, public realm conditions (parks, open space, and streetscape), utilities, infrastructure conditions, market and economic conditions, and conditions of historic and cultural resources. The chapter ends with an overview of the unique character of each of the Plan's individual planning areas, as well as descriptions of the existing challenges and opportunities that each area faces. They are described in further detail in Section G of this Chapter. The seven areas that comprise the DNCP's geography are:

- Jane Addams Neighborhoods
- Edison Neighborhoods
- Lowell Neighborhood
- Jefferson Neighborhood
- Southeast Neighborhoods
- South Van Ness
- Downtown

Chapter 1 – Vision. The community's participation and input into the planning process resulted in a coordinated vision for the 7,290 acre Community Plan Area. This Chapter begins with community-generated strategies for revitalizing the overall Community Plan Area. Each of the Community Plan Areas’ seven individual areas is then described in terms of the improvements desired by their residents over the next 25 years. The vision is critical to this Plan since the Plan components that are described in the chapters that follow exist solely to carry out this vision as described in Chapter 1.

Chapter 2 - Urban Form and Land Use. This chapter addresses the overall form, use, and character of development within the Downtown Neighborhoods. Topics include enhancing the unique sense of character and identity of the different areas within the Downtown and the Downtown Neighborhoods; revitalizing the Downtown, through jobs and economic development, the introduction of the High-Speed Rail station, and new and refurbished housing; revitalizing the Downtown Neighborhoods corridors through code enforcement, public facilities and services, land use

and building quality, and design of streetscape and public spaces. Most of these topics are further implemented through the Citywide Development Code, which guides land uses and development standards for all projects within the Community Plan Area.

Chapter 3 – Transportation. This chapter includes information on the desired future multi-modal transportation network within the Downtown Neighborhoods, with the overall objective of reducing reliance on the private automobile and promoting transit use, walking, and biking.

Chapter 4 - Parks, Open Space and Streetscapes. This chapter provides an overall vision for increasing the public space and streetscapes network in the Downtown Neighborhoods. Topics include improving the urban forest, expanding and improving parks, and increasing comfort to pedestrians throughout the street network.

Chapter 5 - Infrastructure and Natural Resources. This chapter addresses a range of topics, including water use, energy use, sewer capacity, and the provision of infrastructure. In addition to providing basic services to support future development within the Downtown Neighborhoods, a forward-looking approach to these topics can help make Fresno a state-wide leader in sustainability.

Chapter 6 - Historic and Cultural Resources. This chapter includes strategies for preserving and reviving the unique history and culture of Downtown Fresno, as well as the historic neighborhoods around it. This includes both preserving existing buildings and ensuring that new development is compatible with the area’s historic character. Terms used in this document to describe historic, potential historic, or simply older buildings are shown on the opposite page.

Chapter 7 - Health, Wellness and Community Development. This chapter includes goals, policies, and actions to address the health and quality of life for residents in the Downtown Neighborhoods. Key topics covered include improving access to healthy foods, reducing the negative impacts of pollution, increasing opportunities for physical activity, and providing community members and the City with an opportunity to collaborate on future plans.

Chapter 8 – Implementation. A detailed implementation plan for the DNCP will be developed during the 30 day public review period. This Chapter will present the implementation measures necessary to execute the public dimension of the DNCP. The agents responsible for the successful revitalization of Fresno’s Downtown Neighborhoods will be the City's various departments, who will implement this Plan's various goals, policies, and actions and realize its particular projects.

Chapters 2-7 begin with a brief introduction that presents the topic of each chapter. This is followed by a description of strategies that will be used to transform the Downtown Neighborhoods. Each chapter ends with a section that lists the goals and policies that provide direction and guidance for transformation. Goals and policies are described below:



Lack of storefront windows and sidewalks without street furniture and street trees result in an uninviting streetscape.

Goal	GeneralBroad direction-setterssetting statements that present a long-term vision.
Policy	Policies support the stated goals by mandating, encouraging, or permitting desired actions.

SIGNIFICANT RESOURCES DEFINITIONS

The following terms are used in this Community Plan to describe properties that may warrant consideration for their historic significance. The definitions are intended to be specific for this Community Plan and may deviate from concepts that have been codified in standards and guidelines developed by the National Park Service, the Department of the Interior, and professional practitioners, including historians, architects, archeologists, and urban planners.

Significant Resource means a resource that is one of the following:

- 1. Listed in the California Register of Historical Resources;
- 2. Listed on the National Register of Historic Places;
- 3. Determined to be eligible for listing in the California Register of Historical Resources by the State Historical Resources Commission;
- 4. A Historic Resource as defined in Section 12-1603(o) of the Historic Preservation Ordinance (HPO), or a local historic district as defined in Section 12-1603(s) of the HPO, or a contributor to a local historic district, unless the resource has been found not to be historically or culturally significant by a preponderance of the evidence pursuant Section 10(b)(2)(iv) of the Historic Environmental Review Ordinance (HERO) if/when it is adopted by the City Council;
- 5. Identified as significant in an historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the resource has been found not to be historically or culturally significant by a preponderance of the evidence pursuant to Section 10(b)(2)(iv) of the HERO (if/when it is adopted by the City Council); or,
- 6. A Potential Significant Resource that, after further analysis and review, the City has determined should be treated as a Historically Significant Resource pursuant to the procedures in Section 9(b)(3) of the HERO (if/when it is adopted by the City Council).

Potential Significant Resource means a resource that does not fall within the definition of Significant Resource but meets any or all of the following requirements:

- 1. it was identified as eligible or potentially eligible for listing in a national, state or local register of historical resources or it was identified as a potential contributor to a potential significant district in a survey that the city formally commissioned or was officially accepted or officially adopted by the Council or the HPC, but the survey does not meet one or more of the requirements of subsection (g) of Section 5024.1 of the Public Resources Code.
- 2. it is at least 45 years old; or
- 3. as determined by the Historic Preservation Project Manager, it meets the criteria for listing to the California Register of Historical Resources under subsection (j) of Section 5020.1 or Section 5024.1 of the Public Resources Code.

Notwithstanding the above, a resource shall not be a Potential Significant Resource if within five years prior to submittal of the application for the Project under review: (i) the city in an adopted CEQA finding, determined that the resource was not historically significant for purposes of CEQA or (ii) the Council or the HPC accepted or officially approved a survey that found the resource was not eligible for listing to a national, state or local register.

Significant District is a type of Significant Resource that is a finite group of resources related to one another in a clearly distinguishable way or any geographically definable area which possesses a significant concentration, linkage or continuity of sites, buildings, structures or objects united historically or aesthetically by plan or physical development.

Potential Significant District is a type of Potential Significant Resource that if found to be a Significant Resource would be a Significant District.

Historic Character refers to the general form, appearance, and impression of a neighborhood or area established by extant development from the past. The term is used generally to recognize development patterns from Fresno’s past and is not meant to imply officially recognized historic significance.



The garage of this Downtown Neighborhood house is placed in front of the building, taking the place of street-facing windows. The entire front yard is paved with concrete.



Automobile-oriented site planning results in buildings set back far from the street, large parking lots, and an uninviting pedestrian environment.

Follow-up Outreach (May – October 2010)

This phase began with a Community Advisory Committee meeting, the Planning Commission, and the City Council where preliminary goals, policies, and actions were released to the Community Advisory Committee on October 19, 2010. With this input in hand, the preparation of the Draft Community Plan began.

On October 14, 2011, the City released the Public Draft of the Downtown Neighborhoods Community Plan for a 30-day public comment period. During this period, the City Manager initiated the Plan prior to the kick-off of the Environmental Impact Report. In addition, during this period, the Committee convened four public workshops in order to provide the Committee and the public an opportunity to voice their opinion regarding the nature and recommendations of the Plan. Additional opportunities for public comment were provided during an October 19, 2011 Planning Commission Workshop and an October 20, 2011 City Council Workshop.

Fall 2015- Spring 2016

General Plan Outreach (2010 to 2014). The Fresno General Plan was adopted following a process which lasted more than four years. The creation of the Plan involved significant public outreach, including over 160 interviews with stakeholders, over 20 public workshops, over 100 presentations to community groups, and over 20 meetings of a Citizens Advisory Committee. During this outreach process, policies and goals affecting the entire city were discussed, including many of the concepts in the DNCP.

Environmental Impact Report (EIR). This phase is devoted to the generation of the Environmental Impact Report (EIR) in order to address the requirements of the California Environmental Quality Act (CEQA). The EIR evaluates the potential environmental impacts of the FCSP, the DNCP, and the Downtown Development Code. A Notice of Preparation (NOP) was initially issued in April 2012. After the DNCP and the FCSP were put on hold in order for the General Plan Update to be adopted, a second NOP was issued in September 2015, which was followed by the release of the public draft EIR in Spring/Summer of 2016 on July 27, 2016.

Summer/Fall 2016

Continued Ongoing Outreach. In advance of the release of the DNCP to the public on July 27, City staff resumed public outreach on June 15, 2016 by providing a summary of the plan to the Board of the Downtown Fresno Partnership and taking input from the board members. On June 30 and July 6 the plan was presented to Downtown property owners, business owners, and developers. On July 13, the DNCP steering committee members participated in a community workshop, while on August 4 an open house on the plan was held during Art Hop, a monthly art exhibition in Downtown that attracts visitors from across the city. At the August Area Agency Executive luncheon the DNCP was presented to the heads of public agencies in the region to bring them up to date on what was being proposed and to provide input. Workshops were also held at the August 25 City Council meeting and the September 21 Planning Commission meeting. Finally, on September 29, City staff held a workshop for the Downtown Academy, a program run by the Fresno Downtown Partnership to educate the public on how Downtown works and how to participate in its revival.

Plan Adoption. This phase is devoted to navigating the final Downtown Neighborhoods Community Plan and EIR through the public hearing and adoption process and includes consideration by the Historic Preservation Commission, the Airport Land Use Commission, the Planning Commission, and the City Council.



Residents discuss the evening's findings.



A resident describes his priorities for the Plan Area.



Residents give input at an evening session during the May 2010 Design Workshop.



Residents and consultants work together to prioritize the key goals for the Community Plan.



City staff lead an evening presentation and discussion as the 2010 Design Workshop progresses.

- Subsidized or deferred development fees (RCP 3-2.3).
- Improvement districts (RCP 3-2.3).
- Reducing the cost of obtaining financing for purchase, construction, and rehabilitation (CAP Res. 3-2).
- Rent-purchase options (CAP Res. 3-2).
- Working with local financial institutions to develop financing tools targeted to moderate-income home buyers in Fresno, and educating residents about the availability of those products.
- Creating a coordinated program to acquire, demolish, and rebuild blighted, non-traditional, multi-family residential buildings.
- Working with non-profit community development corporations to redevelop blighted multi-family properties.

Such activities should include protections for extremely-low and very-low income tenants of such buildings, including protections to prevent displacement and to support relocation of such residents within the same neighborhood.

2.10 Improve the quality of housing and encourage home ownership in the Downtown Neighborhoods

Intent: To improve the quality of all housing and increase home ownership rates within the Downtown Neighborhoods. Together, this will increase neighborhood stability and address significant concerns about the health impacts related to poor quality housing.

- 2.10.1 Establish minimum standards for all rental housing in the Downtown Neighborhoods and require that all rental properties be rated for their quality and comply with the minimum standards within five years of adoption of the Plan.
- 2.10.2 Work with local banks to create and promote rent-to-buy policies or programs for housing in the Downtown Neighborhoods.
- 2.10.3 Work with non-profit community development corporations to redevelop blighted multi-family properties in the Downtown Neighborhoods.
- 2.10.4 Use low-income and housing funds to purchase, rehabilitate, and then sell homes to qualifying families.



An affordable housing project is built of quality materials and is designed according to the Craftsman-built traditions of the region.

- 2.10.5 Target public funding for housing rehabilitation to the most blighted properties and areas.
- 2.10.6 Continue and expand efforts to create outreach and education materials on existing home ownership and home rehabilitation programs and/or use City communication venues (such as the website, newsletters, and other existing and potential future avenues) to educate the public about these programs.
- 2.10.7 Strengthen individual, family, and household assets through home-ownership in order to improve the conditions of the Downtown Neighborhoods.

2.11 Revitalize the corridors to strengthen neighborhood identity and appeal.

Intent: To transform the Downtown Neighborhood’s corridors into unique, tree-lined, multi-modal, pedestrian-friendly thoroughfares.

- 2.11.1 Allow the character, intensity, and use mix along corridors to change in relation to the character of the neighborhoods and districts in which they pass through.
- 2.11.2 Ensure that new corridor development is compatible with that of adjacent neighborhoods or other sensitive uses, particularly in regards to noise, parking, and business hours.
- 2.11.3 Plan the Downtown Neighborhoods’ corridors as amenities for the adjacent neighborhoods as well as for the community at large.
- 2.11.4 Convert major thoroughfares from single-use commercial corridors into mixed-use areas with a diversity of retail, office, and residential uses, including mixed-use, multi-family housing in a variety of densities.
- 2.11.5 As resources allow, prioritize improving the visual appearance of corridors through streetscape improvements, renovation of existing buildings, and new development.
- 2.11.6 Conduct regular street maintenance and cleaning, with a focus on residential and pedestrian-oriented retail and commercial areas to create a welcoming environment within the Downtown Neighborhoods.



Olive Avenue in the Tower District is an example of a corridor that through revitalization has strengthened neighborhood identity and appeal.

F. LAND USE DESIGNATIONS, OVERLAYS, AND PLANNED LAND USE MAP

1. Purpose and Establishment of Land Use Designations and Overlays.

This section establishes the land use designations and overlays to implement the DNCP for property and right-of-ways within the FCSP boundaries. Property and right-of-ways subject to the DNCP shall be divided into the land use designations and overlays identified in Section F.2.

2. Land Use Designations and Overlays.

All parcels within the boundaries of the DNCP as identified in **Figure 2-9** and **Figures 2-10 through 2-15** are subject to the following land use designations and overlays. See **Table 2-2** for more detailed descriptions of each land use designation and overlay.

a. Downtown Land Use Designations.

- i. Downtown Core.
- ii. Downtown General.
- iii. Downtown Neighborhood.

~~b. Mixed-Use Land Use Designations.~~

- ~~i. Corridor/Center.~~
- ~~ii. Neighborhood.~~

~~bc. Residential Single-Family Land Use Designations.~~

- ~~i. Medium Low Density.~~
- ~~i. Medium Density.~~

~~c. Residential Multi-Family Land Use Designations.~~

- ~~i. Mobile Home Park~~

~~d. Mixed-Use Land Use Designations.~~

- ~~i. Corridor/Center.~~
- ~~ii. Neighborhood~~

~~ed. Employment Land Use Designations.~~

- ~~i. Business Park~~
- ~~ii. Light Industrial.~~
- ~~iii. Heavy Industrial.~~

~~fe. Public and Semi-PublicFacilities Land Use Designations.~~

- ~~i. Public Facilitiesand Institutional.~~

~~f. Open Space Land Use Designations.~~

- ~~ii. Parks and Recreation.~~

g. Overlays.

- i. Apartment House Overlay.
- ii. Neighborhood Revitalization Overlay.
- iii. Urban Campus Overlay.

3. Relationship to Citywide Development Code (CDC).

The DNCP and the applicable sections of the Citywide Development Code will guide the transformation of Downtown Fresno by directing new buildings, whether public or private, to contribute positively to the streets, open spaces, and existing buildings within each particular neighborhood and district and the community as a whole. The applicable sections of the Citywide Development Code have been drafted to be fully consistent and harmonious with the goals, intent, and policies of this Plan and shall serve as the primary mechanism for ensuring the physical development within the Plan’s boundaries occurs in accordance with the Plan’s vision. In circumstances where City staff conclude that a particular project or certain components of a particular project are not been fully addressed in the Citywide Development Code, this Plan shall be controlling in the determination of the overall intent of the plan as it relates to the particular project or project components. The DNCP includes the Land Use Designations while the Citywide Development Code includes the associated zoning districts. In order to ensure consistency between the two documents, the regulatory geography of the land use designations found in the DNCP is and should remain identical to the regulatory geography of the zoning districts in the Citywide Development Code. The difference between the two is the level of detail. The land use designations are broad descriptions of the intended future character and use and the Citywide Development Code provides detail on development standards including the following:

- a. Use Regulations
- b. Density and Massing Development Standards
- c. Site Design Development Standards
- d. Facade Design Development Standards

4. Relationship to Fresno-Chandler Downtown Airport Master and Environs Specific Plan (FCDASP). Upon adoption, the provisions of the DNCP shall take precedence over all of the regulations of the FCDASP, except those regulations related to aircraft noise and safety contours and avigation easements, as outlined in the FCDASP.

E. GOALS AND POLICIES (Continued)

FIGURE 2-9 - PLANNED LAND USE MAP

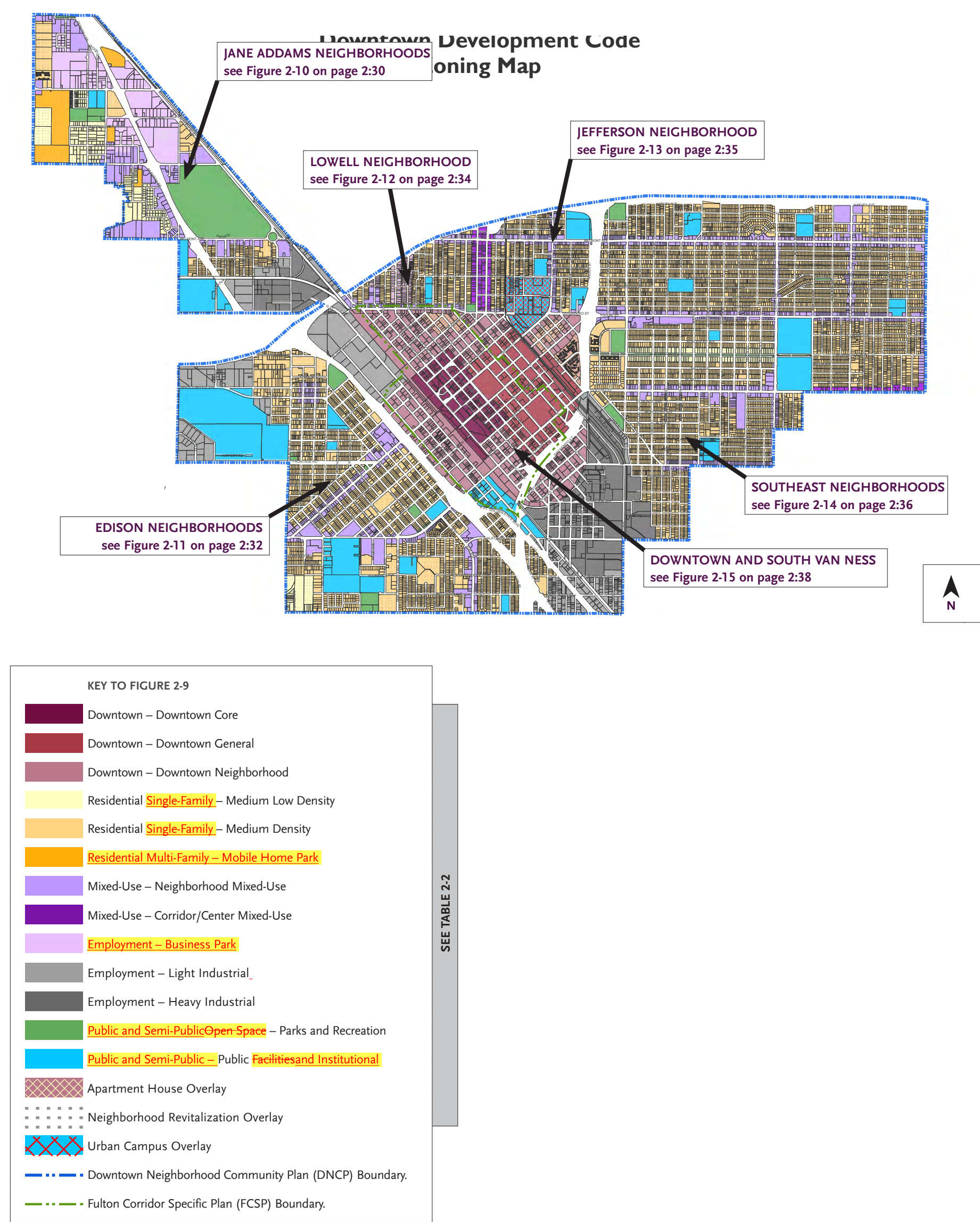


TABLE 2-2 SUMMARY OF LAND USE DESIGNATIONS

EXAMPLES OF INTENDED PHYSICAL CHARACTER	b. Residential Single-Family Designations		cd. Mixed-Use Designations
	i. Medium Low Density	ii. Medium Density	i. Corridor/Center Mixed-Use
			
INTENT AND PURPOSE	The Medium Low Density designation provides for single family detached housing with densities of between 3.5 to 6 dwellings per acre. Within the Community Plan area it applies to the generally undeveloped parcels along the western edges of the Jane Addams and Edison neighborhoods. New development consists of single-family houses that face and are accessed from the street and reinforce the informal, rural character of the area.	The Medium Density designation applies to areas with predominately single-family residential development, but can also accommodate a mix of housing types, including small-lot starter homes and zero-lot-line developments such as duplexes and townhouses. Within the Community Plan area the Medium Density designation also applies to the Huntington Boulevard, St. John’s Cathedral District, and the L Street historic districts. New buildings, with densities of between 5 and 12 dwellings per acre, are mindful of the massing, scale, and character of existing single-family houses, especially within the area’s historic districts.	The Corridor/Center Mixed-Use designation allows for either horizontal or vertical mixed-use development along key circulation corridors where height and density can be easily accommodated. New development, ranging in density between 16 and 30 du/acre will facilitate the transformation of existing transportation corridors into vibrant, highly walkable areas with broad, pedestrian-friendly sidewalks, trees, landscaping, and local-serving uses.
INTENDED PHYSICAL CHARACTER	New buildings are house-scale and up to 2 stories/35 feet tall. Attics of buildings with pitched roofs may be inhabited and lit with dormer and gable windows. All buildings are set back substantially from the sidewalk to accommodate large, planted front yards. Living rooms, dining rooms, and other formal rooms face and provide “eyes on the street.”	New buildings are house-scale, up to 2 stories/35 feet in height, and are designed with massing that is respectful of neighboring houses. Attics of buildings with pitched roofs may be inhabited and lit with dormer and gable windows. All buildings are set back from the sidewalk to provide a front yard that is consistent with the existing houses along the street. Living rooms, dining rooms, and other formal rooms face and provide “eyes on the street.” Multi-family buildings are compatible in scale and massing and virtually indistinguishable from single-family houses.	New buildings are up to 60 feet tall and step down in relationship to the scale and character of adjacent neighborhoods. Buildings are located at or near the sidewalk and accessed directly from the sidewalk to encourage pedestrian activity.
INTENDED FRONTAGE AND STREETSCAPE	Buildings face the street with ground floor residential frontages such as porches and stoops. Streets are lined with large canopy street trees that reinforce the human scale and low intensity nature of the rural setting. Wide shoulders accommodate bicycles and pedestrians.	Buildings face traditional, tree-lined streets. Streetscapes consist of sidewalks separated from the street by parkway strips planted with canopy street trees of varying species that shape the unique landscape character of each individual street and provide shade for pedestrians.	Buildings face tree-lined streets with ground floor shopfronts and ample upper floor windows. Street trees, planted in tree wells, reinforce human scale, provide shade for pedestrians and transit users, and add distinct character to the street.
INTENDED PARKING	On-site parking is located on the rear half of the lot and shielded from view from the public right-of-way. Visitor parking is accommodated with on-street spaces.	On-site parking is located on the rear half of the lot and shielded from view from the public right-of-way. Visitor parking is accommodated with on-street spaces.	Parking consists of both on-street spaces and off-street spaces located behind or under the building.
INTENDED LAND USE RANGE	Buildings are occupied with residential uses with limited home occupation activity.	Buildings are occupied with residential uses and limited home occupation activity.	Ground-floor retail and upper-floor residential or offices are the primary uses, with residential uses, personal and business services, and public and institutional space as supportive uses.

TABLE 2-2 SUMMARY OF LAND USE DESIGNATIONS

	cd. Mixed-Use Designations	ce. Employment Designations	
	ii. Neighborhood Mixed-Use	i. Business Park	ii. Light Industrial
EXAMPLES OF INTENDED PHYSICAL CHARACTER			
INTENT AND PURPOSE	<p>The Neighborhood Mixed-Use designation allows a minimum of 50 percent residential uses and provides for mixed-use districts of local-serving, pedestrian-oriented commercial development, such as convenience shopping and professional offices. New development consists primarily of moderate intensity residential buildings and commercial buildings that accommodate neighborhood services. At key corridor intersections, mixed-use buildings accommodate small-scale retail, office, civic, entertainment uses; housing may be accommodated on upper floors.</p>	<p>The Business Park designation provides for office/business parks in campus-like settings that are well suited for large offices or multi-tenant buildings. This designation is intended to accommodate and allow for the expansion of small businesses. New buildings may be designed with a floor area ratio (FAR) of up to 1.0. Given its proximity to residential uses, only limited outdoor storage is permitted, while adequate landscaping is imperative to minimize the visual impacts.</p>	<p>The Light Industrial designation accommodates a diverse range of light industrial uses. Light Industrial areas may serve as buffers between Heavy Industrial and other land uses and are generally located in areas with good transportation access, such as along railroads and State routes, and may accordingly generate substantial activity from large cargo or delivery vehicles. New buildings may be designed with a floor area ratio (FAR) of up to 1.5 and within the Community Plan area are designed according to the needs of the particular light industrial activity, and to the extent possible, provide street-friendly facades, especially when adjacent to commercial or residential buildings.</p>
INTENDED PHYSICAL CHARACTER	<p>New buildings are up to 3 stories/40 feet tall and are accessed directly from the sidewalk to encourage pedestrian activity. Buildings vary in size and form, but are compatible in massing and scale with adjacent buildings. Mixed-use and commercial buildings are located at or near the sidewalk and are expressed as single volumes. Residential buildings, set back from the sidewalk behind small front yards, are composed of house-scale masses with facades divided into house-scale increments. Living rooms, dining rooms, and other formal rooms face the street.</p>	<p>New buildings are up to 60 feet tall and are set back from the sidewalk behind landscaped front yards. Street-facing facades and accessed directly from the sidewalk to encourage pedestrian activity.</p>	<p>New buildings are up to 60 feet in height and may be located anywhere on the lot. Buildings are expressed in single or multiple volumes as determined by the particular function of the industrial activity and, to the extent possible, office and administrative uses are located towards the front of the lot, facing the street.</p>
INTENDED FRONTAGE AND STREETScape	<p>Residential buildings face the street with residential frontages such as front yards, porches, and stoops; commercial and mixed-use buildings face the street with shopfronts. Streets are lined with inviting sidewalks and continuous parkway strips that may, depending on the adjacent use, be either landscaped or hardscaped with pavers. Street trees green these corridors, provide shade, and convey a unique character to each street.</p>	<p>Street-facing building facades provide windows and to the extent possible the primary entry into the building. Streets are lined with inviting sidewalks and continuous parkway strips that are planted with drought-tolerant landscaping and street trees.</p>	<p>To the extent possible, street-facing building facades provide windows and the primary entry into the building in order to ensure that industrial buildings contribute to a safe pedestrian environment through “eyes on the street.” Street trees are present to provide shade while accommodating the needs of large service and delivery vehicles.</p>
INTENDED PARKING	<p>Parking consists of both on-street spaces and off-street spaces located behind, under or, except along BRT transit corridors, on the side of buildings. Parking requirements are moderate to encourage walking from nearby neighborhoods while accommodating visitors and patrons from the broader community.</p>	<p>On-site parking is located behind or beside the building, but not within front and street side setbacks.</p>	<p>On-site parking should be located behind or beside the building, but not within front and street side setbacks.</p>
INTENDED LAND USE RANGE	<p>Buildings are occupied with ground floor housing as well as ground floor commercial, retail and office uses. Upper floors are occupied with housing, office, or additional commercial uses.</p>	<p>Typical land uses include research and development, laboratories, administrative and general offices, medical offices and clinics, professional offices, prototype manufacturing, testing, repairing, packaging, and printing. Small-scale retail and service uses serving local employees and visitors are permitted as secondary uses.</p>	<p>Buildings accommodate a diverse range of light industrial uses, including limited manufacturing and processing, research and development, fabrication, utility equipment and service yards, wholesaling, warehousing, and distribution activities. Small-scale retail and ancillary office uses are also permitted.</p>

TABLE 2-2 SUMMARY OF LAND USE DESIGNATIONS

	ce. Employment Designations	df. Public and Semil-PublicFacilities Designations	e. Open Space Designations
	iii. Heavy Industrial	i. Parks and Recreation	ii. Public Facilitiesand Institutional
EXAMPLES OF INTENDED PHYSICAL CHARACTER	 	 	 
INTENT AND PURPOSE	The Heavy Industrial designation accommodates the broadest range of industrial uses and may generate substantial activity from large cargo or delivery vehicles. New buildings may be designed with a floor area ratio (FAR) of up to 1.5, and within the Community Plan area are designed according to the needs of the particular industrial activity, and to the extent possible, provide street-friendly facades, especially when adjacent to commercial or residential buildings.	The Parks and Recreational Facilities designation applies to open space facilities that accommodate both active and passive recreational uses such as public parks, outdoor and indoor playing fields, trails, playgrounds, and community centers. The Parks and Recreational Facilities designation may also include ponding basins or airport approach/clear zones that are developed for, programmed, and actively used for recreational purposes.	The Public Facilities designation applies to public or institutional facilities, including city facilities, utilities, schools, health services, corporation yards, utility stations, and similar uses. New buildings may be built with a Floor Area Ratio (FAR) of up to 2.5 and 5.0 for hospitals and related uses. Within the Community Plan area, the Public facilities designation applies to Fresno Chandler Executive Airport, the Fresno Community Regional Medical Center, the various cemeteries in the Jane Addams Neighborhood, as well as the Downtown Neighborhood’s various schools. New buildings are designed to accommodate the needs of the particular use while fronting adjacent public streets with street-friendly facades.
INTENDED PHYSICAL CHARACTER	New buildings are up to 60 feet in height and may be located anywhere on the lot. Buildings are expressed in single or multiple volumes as determined by the function of the industrial activity and, to the extent possible, office and administrative uses are located towards the front of the lot, facing the street.	Parks and recreational facilities front public streets to the maximum extent possible and provide easy access from surrounding sidewalks.	New buildings are designed according to the needs of the particular public or institutional facility. Buildings are generally up to 35 feet in height, excepting buildings within the Fresno Community Regional Medical Center, where buildings may be up to 150 feet in height. Buildings located along public streets face the street with parking located behind the building or subterranean. Buildings adjacent to residential neighborhoods are house-scale to relate to adjacent house-scale buildings.
INTENDED FRONTAGE AND STREETScape	To the extent possible, street-facing building facades provide windows and the primary entry into the building in order to ensure that industrial buildings contribute to a safe pedestrian environment through “eyes on the street.” Street trees are present to provide shade while accommodating the needs of large service and delivery vehicles.	To the extent possible, adjacent and surrounding buildings front parks and other recreational facilities to provide “eyes on the park.” Landscape, walls, and other features are low in order to enable visibility into and across parks and other facilities from surrounding sidewalks and streets. Tall fences are transparent.	Buildings face the street with a variety of frontages, including front yards, porches, stoops, shopfronts, and lobbies with canopies. Streets are lined with inviting sidewalks and street trees planted in, depending on the use or context, tree wells or continuous parkway strips.
INTENDED PARKING	On-site parking may be located anywhere on the lot except within front and street side setbacks.	Parking is accommodated with on-street parking spaces and parking lots. To the extent possible, parking lots are located along side streets and are screened from adjacent sidewalks with low hedges, walls, or landscaping.	On-site parking is located behind street-facing buildings, subterranean, or at the center of the lot or campus. Parking is also provided in on-street parking spaces.
INTENDED LAND USE RANGE	Buildings accommodate a broad range of industrial uses, including manufacturing, assembly, wholesaling, distribution, and storage activities that are essential to the development of a balanced economic base. Small-scale commercial services and ancillary office uses are also permitted.	Uses within the Parks and Recreational Facilities designation include public parks, outdoor and indoor playing fields, trails, playgrounds, and community centers.	Buildings accommodate a broad range of uses depending on the facility.

TABLE 2-2 SUMMARY OF LAND USE DESIGNATIONS




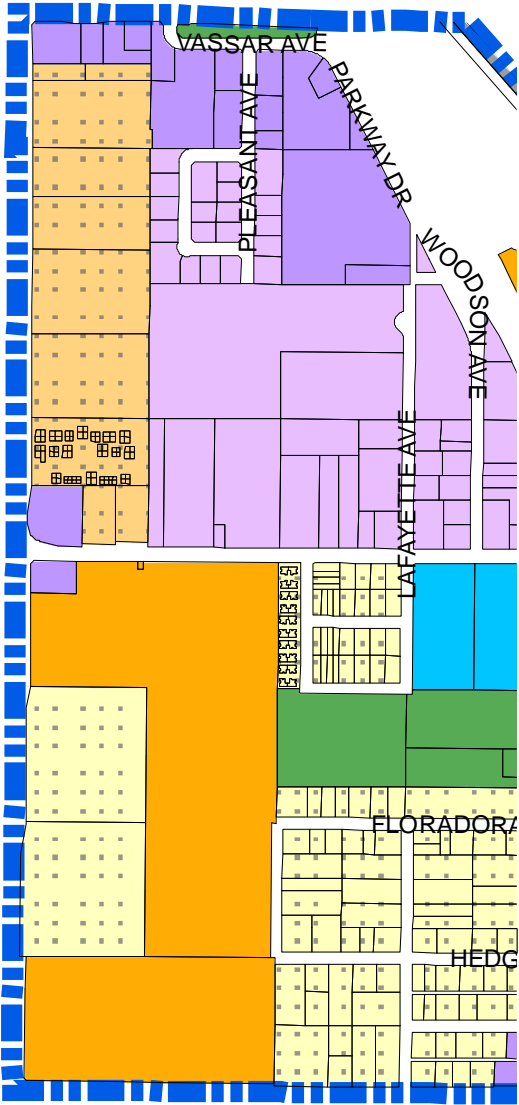
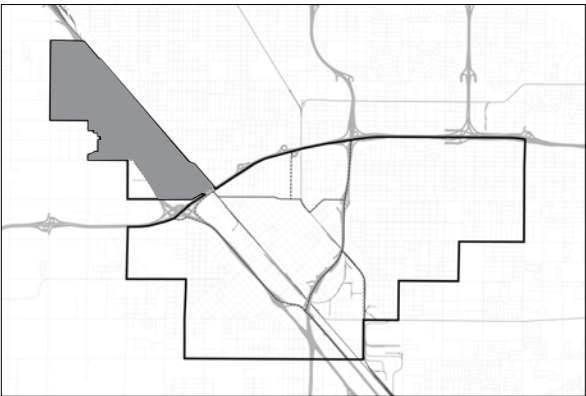
fg. Overlays			
EXAMPLES OF INTENDED PHYSICAL CHARACTER The examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typical of the identified zoning district.	iv. Apartment House Overlay	ii. Neighborhood Revitalization Overlay	iii. Urban Campus Overlay
			
	The Apartment House designation is intended to preserve and enhance the pattern of pedestrian-oriented small-footprint apartment houses, grand homes, and small commercial buildings that exist in some surviving pre-World War II residential areas within Downtown. New buildings are mindful of the massing, scale, and character of buildings within this area that are listed on the Local Historic Register.	The Neighborhood Revitalization overlay designation is intended to preserve the unique character of neighborhoods near Downtown, enhance their walkability, and promote a diverse population.	The Urban Campus overlay designation is intended to provide for large, centrally planned and operated campuses which integrate well into a dense, mixed-use, walkable urban environment. When Urban Campus areas are adjacent to residential neighborhoods transitions will be graceful.
	New buildings are house-scale, up 35 feet in height, and are designed with massing that is respectful of neighboring houses. Attics of buildings with pitched roofs may be inhabited and lit with dormer and gable windows. All buildings are set back from the sidewalk to provide a front yard that is consistent with the existing houses along the street. Buildings are designed to provide “eyes on the street.” Multi-family and commercial buildings are compatible in scale and massing and virtually indistinguishable from single-family houses.	Buildings shall be composed of simple, well-proportioned volumes with street-facing façades that employ architectural articulation that is compatible with nearby homes. Building finishes are high-quality in nature and renovations of existing buildings are complimentary to the original structure	New buildings are block-scale and may reach up to 210 feet tall. With exemplary architecture, buildings may rise up to 235 feet in height.
	Ground floor residential frontages such as front yards, porches, and stoops face traditional, tree-lined streets. Streetscapes consist of sidewalks separated from the street by parkway strips planted with canopy street trees of varying species that shape the unique landscape character of each individual street and provide shade for pedestrians.	Ground floor residential frontages such as front yards, porches, and stoops face traditional, tree-lined streets. Streetscapes consist of sidewalks separated from the street by parkway strips planted with canopy street trees of varying species that shape the unique landscape character of each individual street and provide shade for pedestrians. See underlying land use designation.	Within the site the physical layout may be campus-like, but at the perimeter the buildings are located at or near the sidewalk and have active frontages on the ground floor. Canopy street trees reinforce the human scale of the area while providing shade and accommodating the needs of emergency vehicles.
	On-site parking is located on the rear half of the lot and shielded from view from the public right-of-way. Visitor parking is accommodated with on-street spaces.	See underlying land use designation.	Parking consists of on-street spaces and on site spaces located anywhere on the lot within the campus, and behind buildings on the perimeter of the campus.
	Buildings are occupied with residential uses, home occupation activity, and commercial services such as business, professional, medical, and dental offices uses.	See underlying land use designation.	See underlying land use designation.

FIGURE 2-10 - PLANNED LAND USE MAP - JANE ADDAMS NEIGHBORHOODS



KEY TO FIGURE 2-10

- Residential **Single-Family** – Medium Low Density
- Residential **Single-Family** – Medium Density
- Residential Multi-Family – Mobile Home Park**
- Mixed-Use – Neighborhood Mixed-Use
- Employment – Business Park**
- Employment – Light Industrial
- Employment – Heavy Industrial
- Public and Semi-Public****Open Space** – Parks and Recreation
- Public and Semi-Public** – Public **Facilities and Institutional**
- Dotted pattern Downtown Revitalization Overlay
- Thick blue line Downtown Neighborhood Community Plan (DNCP) Boundary.

SEE TABLE 2-2

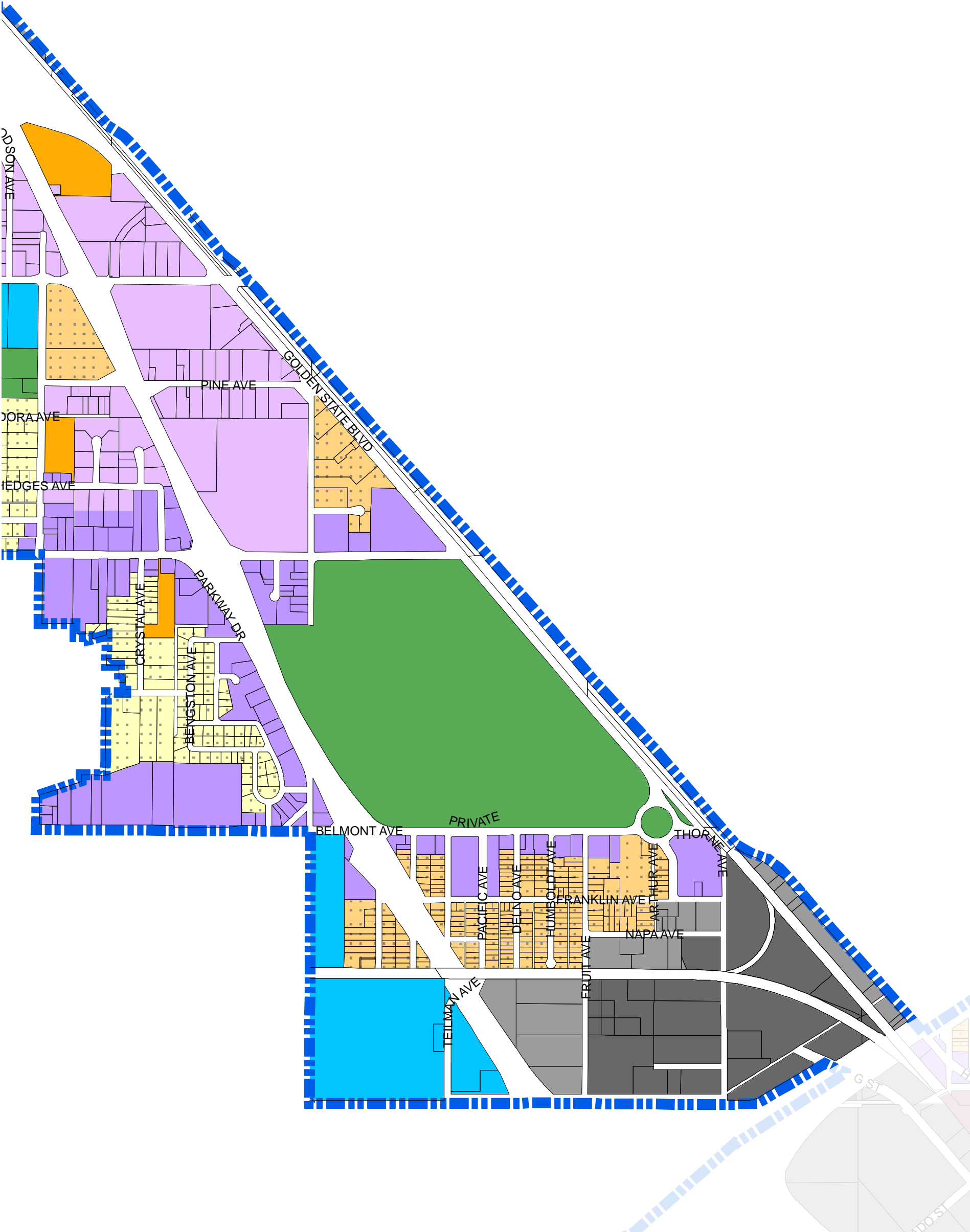


FIGURE 2-11 - PLANNED LAND USE MAP - EDISON NEIGHBORHOODS

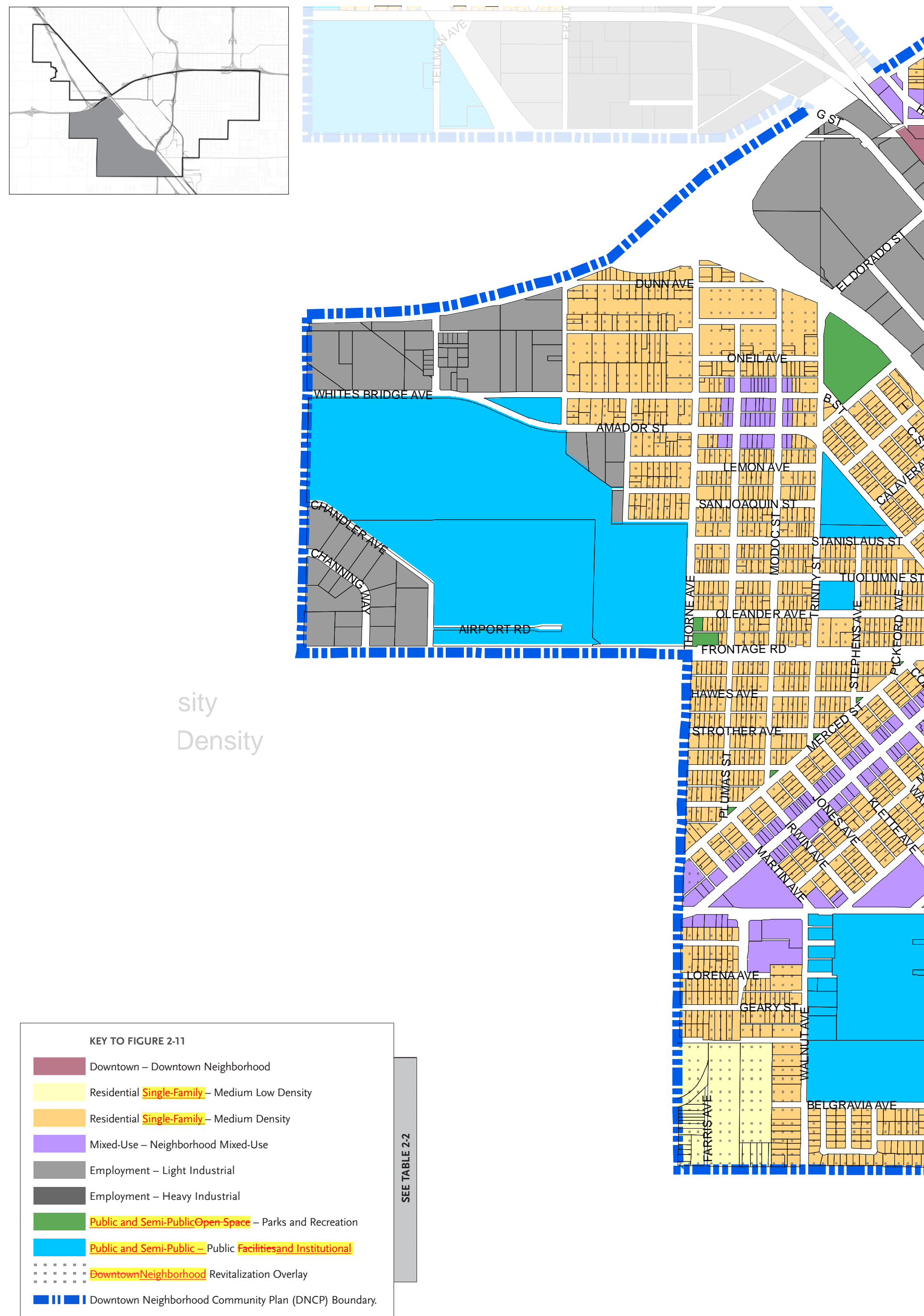
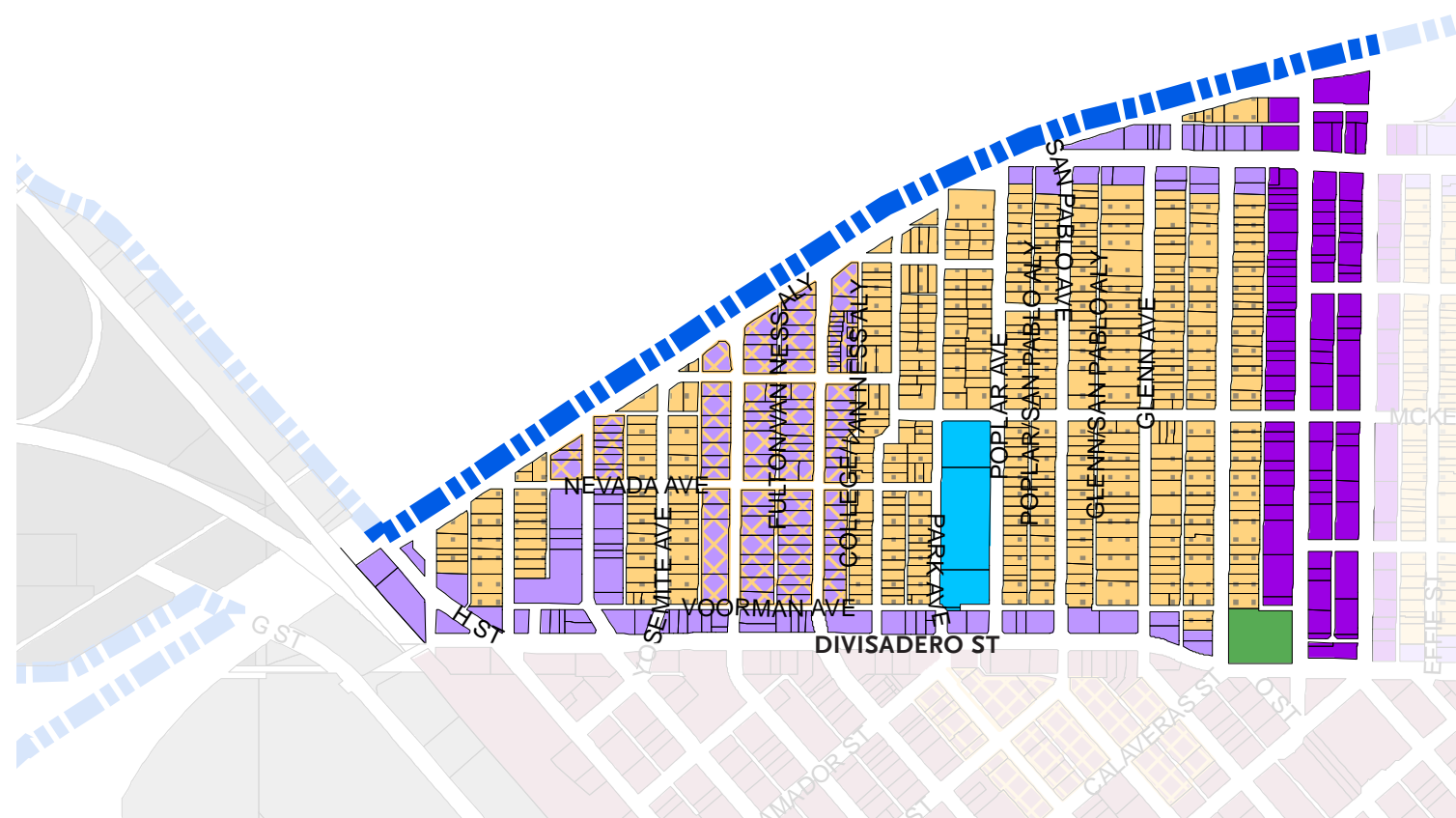


FIGURE 2-12 - PLANNED LAND USE MAP - LOWELL NEIGHBORHOOD

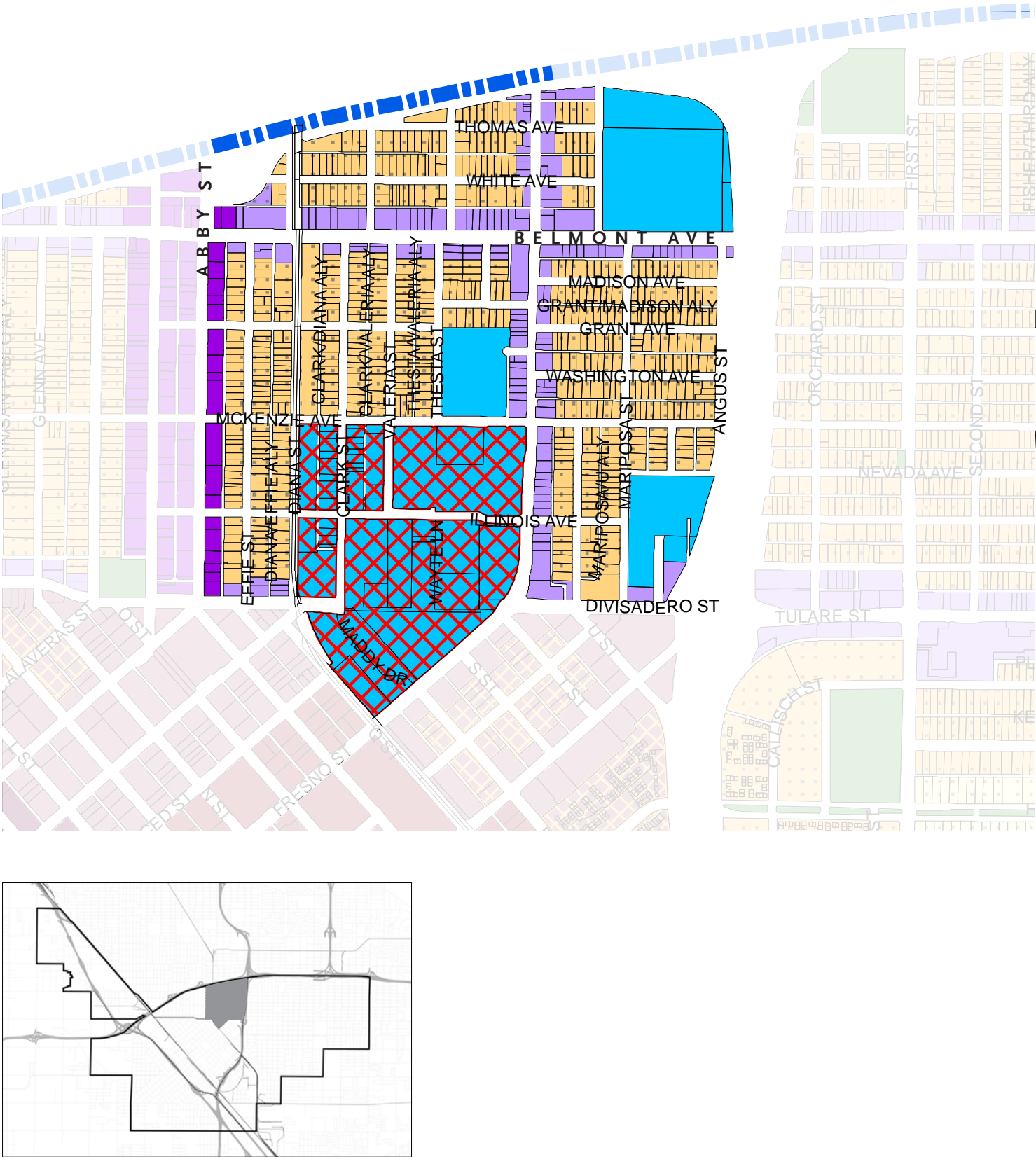


KEY TO FIGURE 2-12

- Downtown – Downtown Neighborhood
- Residential **Single-Family** – Medium Density
- Mixed-Use – Neighborhood Mixed-Use
- Mixed-Use – Corridor/Center Mixed-Use**
- Public and Semi-PublicOpen Space** – Parks and Recreation
- Public and Semi-Public – Public Facilitiesand Institutional**
- Apartment House Overlay
- Neighborhood Revitalization Overlay
- |||** Downtown Neighborhood Community Plan (DNCP) Boundary.

SEE TABLE 2-2

FIGURE 2-13 - PLANNED LAND USE MAP - JEFFERSON NEIGHBORHOOD



KEY TO FIGURE 2-13

Downtown – Downtown Neighborhood

Residential **Single-Family** – Medium Density

Mixed-Use – Neighborhood Mixed-Use

Mixed-Use – Corridor/Center Mixed-Use

Public and Semi-Public – Public Facilities and Institutional

Neighborhood Revitalization Overlay

Urban Campus Overlay

Downtown Neighborhood Community Plan (DNCP) Boundary.

SEE TABLE 2-2

FRESNO DOWNTOWN NEIGHBORHOODS COMMUNITY PLAN, CITY OF FRESNO, CALIFORNIA | PUBLIC HEARING DRAFT OCTOBER 7, 2016

2:35

FIGURE 2-14 - PLANNED LAND USE MAP - SOUTHEAST NEIGHBORHOODS

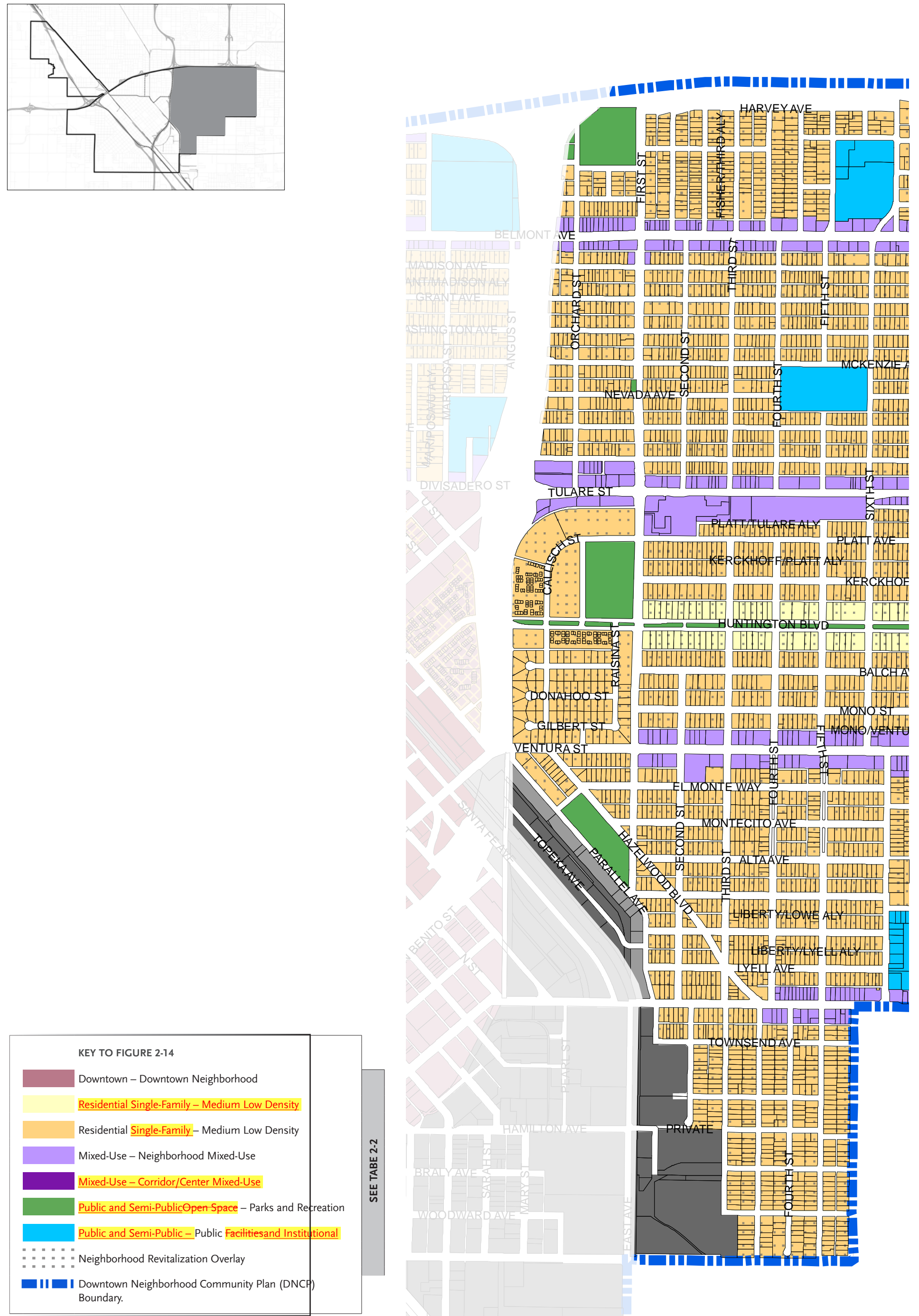


FIGURE 2-15 - PLANNED LAND USE MAP - DOWNTOWN

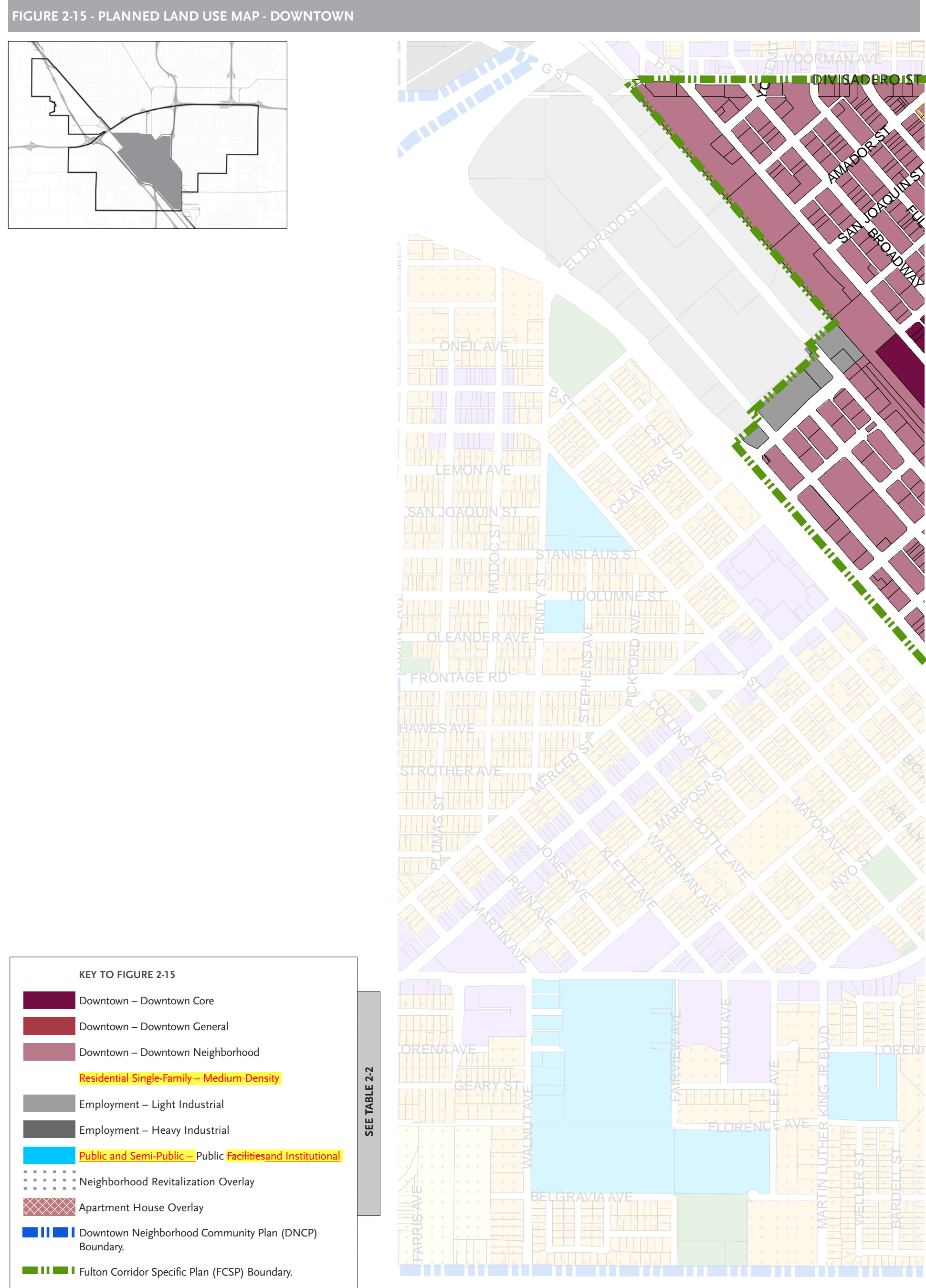
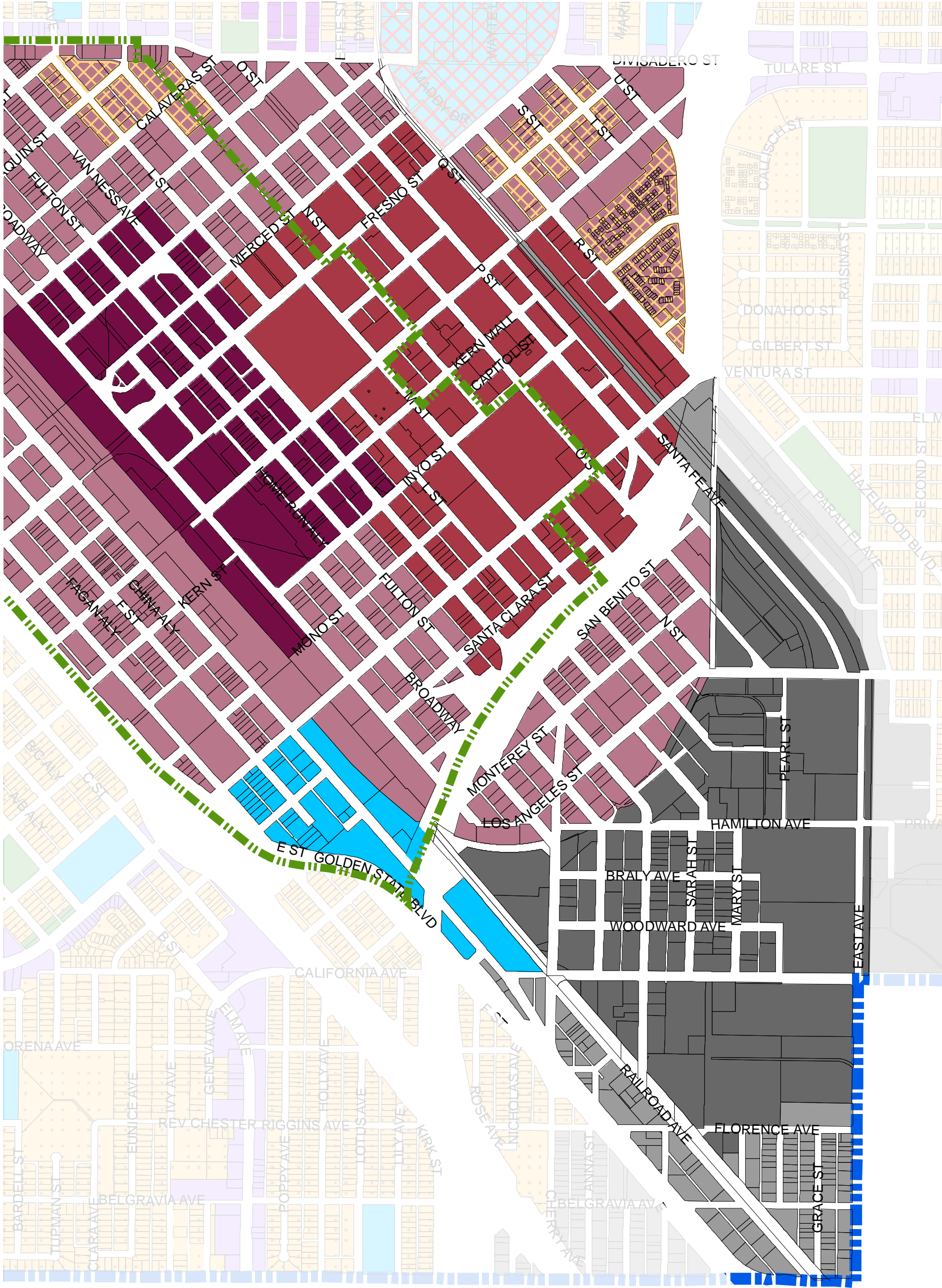


FIGURE 2-15 - PLANNED LAND USE MAP - DOWNTOWN



E. GOALS AND POLICIES

3.1 Develop the transit network into a viable alternative to single-occupancy vehicles.

Intent: To provide high quality transit that is accessible, attractive, supported by land use policies, and perceived as an amenity for the Downtown Neighborhoods and the Downtown.

- 3.1.1** Continually seek opportunities to improve the quality, safety, and efficiency of transit service within the Downtown Neighborhoods and to regional destinations.
- 3.1.2** Work with transit providers serving the Downtown Neighborhoods to increase transit service to a level that allows residents to access goods, services, public facilities, parks, and employment via transit. Focus on improving headways and efficiency and strive to improve transit service for the following populations:
 - Transit dependent;
 - Persons with low and moderate incomes;
 - Seniors;
 - Persons with disabilities; and
 - Students.
- 3.1.3** Focus transit service and investments on high-priority transit corridors identified in **Figure 3-2** (Transit Corridors). Restructure citywide transit service to concentrate these routes in order to make transit on these corridors fast, frequent, and reliable (FCSP 7-5-1). The primary transit corridors that are shown in the diagram should be managed to minimize transit delay. In addition, investments in high quality bus shelters and pedestrian amenities should be prioritized on these corridors.
- 3.1.4** Support incentives for potential Downtown transit riders, such as employees of major Downtown employers, students, **residents of Downtown neighborhoods**, and others.
- 3.1.5** Engage in outreach and education efforts to publicize transit options to residents and employees in the Downtown Neighborhoods.
- 3.1.6** As resources become available, establish employer-based incentive programs for use of public transit and increase awareness of such programs.
- 3.1.7** Support the development of the proposed HSR station in Downtown Fresno.

- 3.1.8** As resources become available, reconfigure the Downtown Transit center to improve pedestrian access between it, the Fulton District, and the proposed HSR station.
- 3.1.9** Continue to implement Bus Rapid Transit improvements along Blackstone Avenue and Abby Street, and Ventura Avenue/Kings Canyon Road.
- 3.1.10** As resources become available, prioritize the minimization of transit delay along key transit corridors through the use of signal prioritization for transit, queue jumping, optimal stop spacing, pre-paid fares, and other transit priority tools. (FCSP 7-5-2)
- 3.1.11** As resources become available, provide amenities that increase rider safety and comfort (such as lighting, shelters, benches, route information and similar improvements) at all transit stops. Focus initial improvements on the areas with the highest existing or potential future transit ridership, including pedestrian-oriented commercial and retail areas in the Downtown Neighborhoods.
- 3.1.12** Work with private bus providers to integrate their transit services into Downtown’s overall transit network.

3.2 Make the completion of the proposed California High-Speed Rail project among the city’s highest priorities, while minimizing its negative impact on the City.

Intent: HSR has the potential to significantly impact the economic future of Fresno by service connecting Downtown Fresno to all of the major urban centers of California. To expedite successful completion of HSR, capitalize upon the advantages the train brings, and minimize any negative impacts of the necessary rail and station infrastructure.

- 3.2.1** All new underpasses or overpasses should be welcoming to bicyclists and pedestrians. Sidewalks should be provided on both sides. Bikeways should also be provided, in the form of on-roadway bicycle lanes or other facilities, connecting to the City’s existing and planned bicycle network.
- 3.2.2** For all new or modified underpasses and overpasses, typically maintain the same travel lane, sidewalk, and bikeway dimensions as those provided or planned on the same streets in the Downtown. Use similar landscape and lighting treatments as practicable. Use urban street rather than highway standards for intersection treatments.

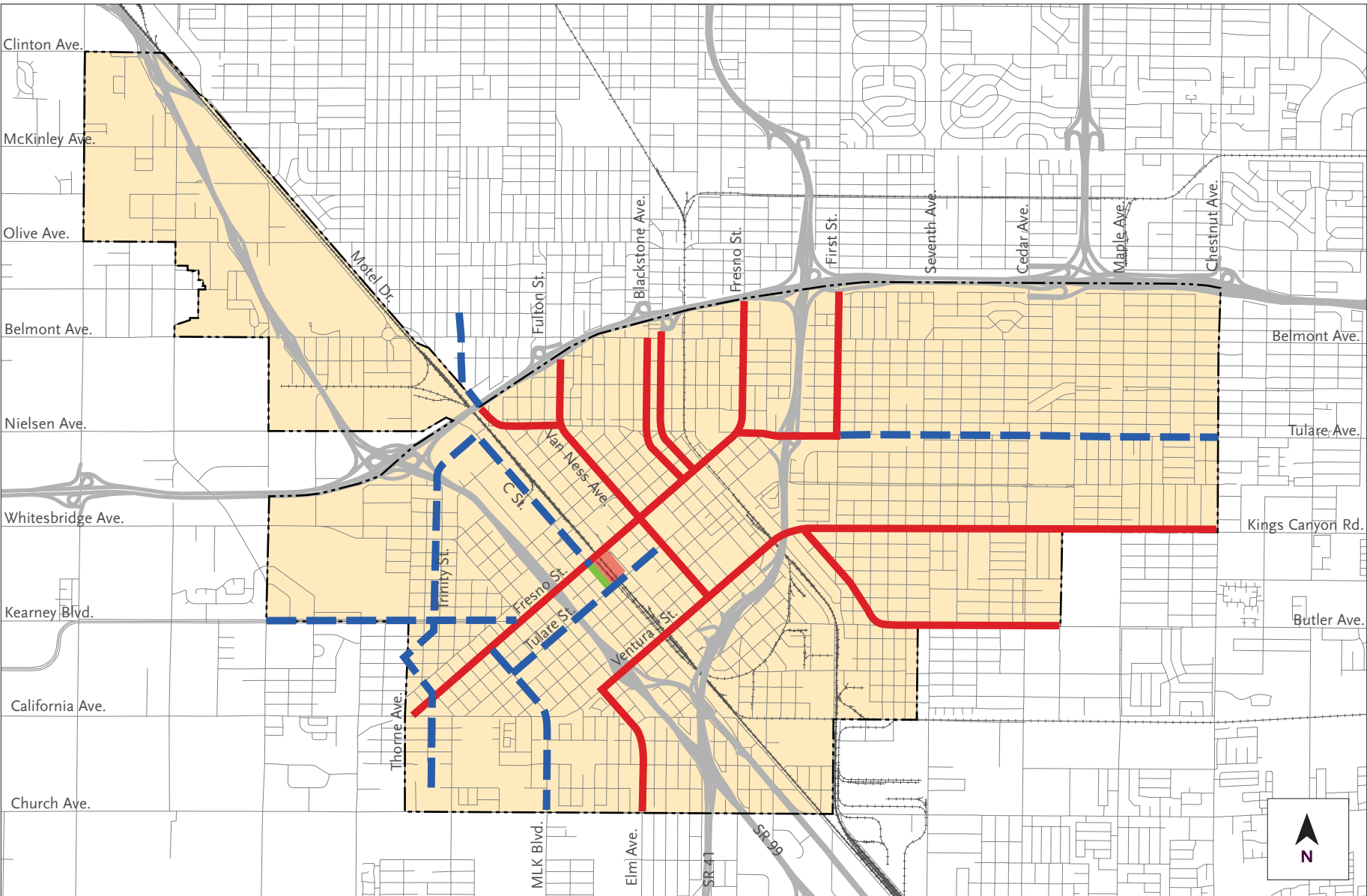


Bus Rapid Transit provides the service quality of rail transit, while still enjoying the cost savings and flexibility of bus transit.



A transit stop provides an inviting and sheltered place for riders to wait for a bus.

FIGURE 3-2 - HIGH PRIORITY TRANSIT CORRIDORS



Key

- Primary
- Secondary
- Proposed Intermodal Transit Center
- Proposed High-Speed Rail Station



An in-street bulb-out brings the street tree closer to the automobile traffic, narrowing the perceived width of the street while allowing an uninterrupted pedestrian path along the sidewalk.



Parking is placed in a garage that is lined with street-facing retail and/or office uses to create an active streetscape that would otherwise be dominated by automobile parking.

- 3.4.2** As resources become available, reestablish an interconnected street grid comparable to Fresno’s original grid pattern in order to increase walkability and improve connections to parks, open space, schools, and neighborhood centers. (A complete list of locations to reconnect the street grid can be found in **Figure 3-5** and the Implementation Chapter.)
- 3.4.3** Allow for the conversion of one-way streets into two-way streets in order to meet the City’s economic development and walkability goals as shown in **Figure 3-5**.
- 3.4.4** As resources become available, improve the street network in the Downtown planning area by implementing a range of physical improvements including reconnecting and improving the street grid, improving pedestrian connectivity, and improving rail crossings among others.
- 3.4.5** Do not install new pedestrian malls.
- 3.4.6** As resources become available, implement curb, gutter, and sidewalk improvements in order to improve the image of the community, provide safe areas for pedestrians and improve storm water quality. Install improvements on:
- McKinley Avenue between Golden State BoulevardRoute 99 and Marks Avenue;
 - Olive Avenue between Hughes and Marks Avenues;
 - Hughes Avenue between Belmont and McKinley Avenues; and
 - Belmont Avenue between Weber and Marks Avenues.
- 3.4.7** Incorporate Low Impact Development (LID) storm water management techniques with curb and gutters.
- 3.4.8** Coordinate curb and gutter improvements with the Fresno Metropolitan Flood Control District (FMFCD) master plan.
- 3.4.9** Provide sidewalks on all streets in the Jane Addams Neighborhoods, but prioritize sidewalk improvements on high-volume streets where the need is the greatest.
- 3.4.10** Encourage the transformation and maintenance of alleys into clean, safe places, that provide access to parking and services.
- 3.4.11** As resources become available, fund alley maintenance through mechanisms such as assessment districts in order to spread costs of alley maintenance among multiple users.

- 3.4.12** Allow the introduction of carriage houses or granny flats along alleys in order to place more “eyes on the alley” to help reduce crime, discourage illegal dumping and vagrancy, and introduce more residential density in residential neighborhoods.

3.5 Manage parking to serve residents, businesses and visitors.

Intent: To improve public space, promote walking and transit, and leverage the value of parking space as a community resource.

- 3.5.1** Treat parking as a utility that is shared by many uses in the surrounding area.
- 3.5.2** Approach parking as an integrated system of on-street and off-street spaces.
- 3.5.3** Use parking restriction policies to manage traffic, improve air quality in the Downtown Neighborhoods, discourage illegal parking, and generate a revenue stream for parking infrastructure, public transit, bicycle and pedestrian facilities, and programs that attract businesses and customers Downtown.
- 3.5.4** As legally permitted, price parking as necessary to achieve specific availability targets at all times of day and all days of the week. To achieve this policy, implement the following:
- Delegate to the City Manager and the Parking Services Division the authority to adjust parking prices to achieve availability targets.
 - Empower the Parking Division to operate public on-street spaces, off-street lots, and off-street garages as an integrated system.
 - Use parking payment technologies that allow motorists to pay easily with readily available payment media, including credit cards and cell phones.
- 3.5.5** Strive for all new commercial parking to be shared, and work with private parking operators to share existing parking as part of a unified Park Once system.
- 3.5.6** As resources become available, implement on-street diagonal parking to the greatest extent possible in the South Van Ness Area.
- 3.5.7** If additional Downtown parking is necessary to maintain adequate availability, consider using a variety of funding sources, including user fees, development impact fees, a Community Benefit District, or other special taxation district that is supported by Downtown property owners.

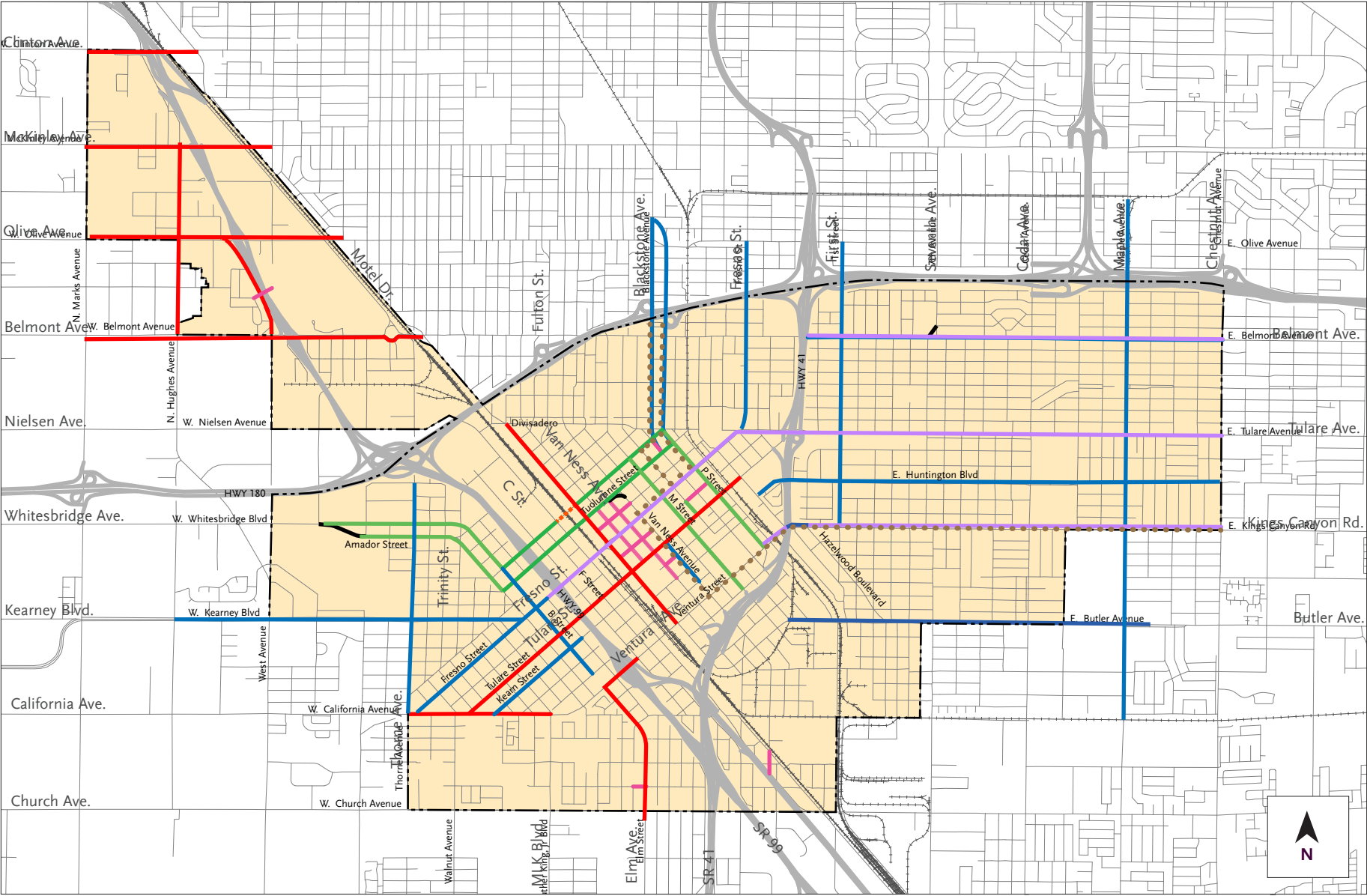


A dedicated bike lane provides a safe route through a busy neighborhood center.



Wide sidewalks that accommodate outdoor dining, street trees, and countdown signals contribute to the generation of a pedestrian-friendly environment.

FIGURE 3-5 - THOROUGHFARE INTERVENTIONS



Key

- Major Streetscape Projects
 - Widen Sidewalks
 - Corner Bulbouts
 - Lighting & Landscape
 - Facade Improvements
 - Bike Lanes
- Street Stabilization
 - Trees
 - Sidewalk Repair
- Road Diet + Bike Lanes
- One-way to two-way street conversion.
- Bus Rapid Transit
 - High Quality Shelters
 - Fix Sidewalk Gaps
 - Street Trees
- Street Vacation
- Reconnect Street Grid

Chapter 6: HISTORIC AND CULTURAL RESOURCES

A. INTRODUCTION

Fresno’s heritage is evident in its many historic and cultural resources. Many neighborhoods within the Downtown Neighborhoods Community Plan are distinguished by their unique historic character. Revitalization efforts that recognize that character as a primary asset have proven to be effective in communities throughout the country. Well-maintained historic properties convey reliability and stability, making the community more attractive to new businesses, residents, and visitors.

This Community Plan emphasizes preservation and adaptive reuse. The late 19th and early 20th-century urban pattern can provide the foundation for a desirable urban form that integrates various land uses, the transportation network, parks, and open space in a coordinated manner. Using the existing built environment as a catalyst not only protects Fresno’s heritage, but can also strengthen and support a wide range of the City’s economic development and quality of life goals.

The following terms are used in this chapter to describe properties that may warrant consideration for their historic significance. The definitions are intended to be specific for this Community Plan and may deviate from concepts that have been codified in standards and guidelines developed by the National Park Service, the Department of the Interior, and professional practitioners, including historians, architects, archeologists, and urban planners.

Significant Resource means a resource that is one of the following:

1. Listed in the California Register of Historical Resources;
2. Listed on the National Register of Historic Places;
3. Determined to be eligible for listing in the California Register of Historical Resources by the State Historical Resources Commission;
4. A Historic Resource as defined in Section 12-1603(o) of the Historic Preservation Ordinance (HPO), or a local historic district as defined in HPO Section 12-1603(s) of the HPO, or a contributor to a local historic district, unless the resource has been found not to be historically or culturally significant by a preponderance of the evidence pursuant to Section 10(b)(2)(iv) of the Historic Environmental Review Ordinance (HERO) **(if/when it is adopted by the City Council)**;
5. Identified as significant in an historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the resource has been found not to be historically or culturally significant by a preponderance of the evidence pursuant to Section 10(b)(2)(iv) of the HERO **(if/when it is adopted by the City Council)**; or,
6. A Potential Significant Resource that, after further analysis and review, the City has determined should be treated as a Historically Significant Resource pursuant to the procedures in Section 9(b)(3) of the HERO **(if/when it is adopted by the City Council)**.

Potential Significant Resource means a resource that does not fall within the definition of Significant Resource but meets any or all of the following requirements:

1. It was identified as eligible or potentially eligible for listing in a national, state or local register of historical resources or it was identified as a potential contributor to a potential significant district in a survey that the city formally commissioned or was officially accepted or officially adopted by the Council or the HPC, but the survey does not meet one or more of the requirements of subsection (g) of Section 5024.1 of the Public Resources Code.
2. It is at least 45 years old; or
3. As determined by the Historic Preservation Project Manager, it meets the criteria for listing on the California Register of Historical Resources under subsection (j) of Section 5020.1 or Section 5024.1 of the Public Resources Code.

Notwithstanding the above, a resource shall not be a Potential Significant Resource if within five years prior to submittal of the application for the Project under review: (i) the city in an adopted CEQA finding, determined that the resource was not historically significant for purposes of CEQA or (ii) the Council or the HPC accepted or officially approved a survey that found the resource was not eligible for listing to a national, state or local register.

Significant District is a type of Significant Resource that is a finite group of resources related to one another in a clearly distinguishable way or any geographically definable area which possesses a significant concentration, linkage or continuity of sites, buildings, structures or objects united historically or aesthetically by plan or physical development.

Potential Significant District is a type of Potential Significant Resource that if found to be a Significant Resource would be a Significant District.

Historic Character refers to the general form, appearance, and impression of a neighborhood or area established by extant development from the past. The term is used generally to recognize development patterns from Fresno’s past and is not meant to imply officially recognized historic significance.

B. CONTEXT

Downtown Fresno and its immediately surrounding neighborhoods include some of the City’s oldest and earliest developed areas, and have previously been subject to extensive surveys and studies. These earlier survey efforts have identified numerous individual historic and potential historic resources and several potential historic districts, including resources found eligible for the National Register of Historic Places and the California Register of Historical Resources. Several properties are listed in the National Register and many others have been designated as local historic resources by the City. Establishing a designated historic district requires a majority vote of property owners, the Historic Preservation Commission, and City Council approval. **Figure 6-1** shows the existing Historic Resources and Historic Districts in the Downtown and surrounding areas.

- 1. Jane Addams Neighborhoods.** The Jane Addams Neighborhoods are largely characterized by open space, empty lots and some mid-to-late 20th Century commercial development brought on by the construction of State Route 99. The area’s centerpiece is Roeding Park, a public park which houses the Fresno Chaffee Zoo. Dating from the first decade of the 20th Century, Roeding Park was determined eligible for listing on the National Register as a historic district² and possesses many characteristics of a historic cultural landscape³. This area of Jane Addams was once served by a streetcar line that traversed Roeding Park.

With the exception of Roeding Park, the Jane Addams Neighborhoods contain few previously identified historic or potentially historic properties.

- 2. Edison Neighborhoods.** The Edison Neighborhoods are a primarily residential, largely working-class area that have been home to several waves of immigrant and ethnic communities, including African-Americans, Armenians, Volga Germans from Russia, Hispanics, Italians, Japanese, Chinese, and Hmong. The majority of homes date from the early 20th century through the 1960s. Some homes remain from the late 19th century. Prominent architectural styles include Colonial Revival, Tudor Revival, Spanish Revival, Minimal Traditional and Ranch. Historic integrity throughout the Edison area is often poor due to alterations and more recent infil.

After World War II, the Edison Neighborhoods became increasingly associated with Fresno’s African-American and Hispanic communities. Much of the built resources associated with these communities have been demolished to develop more recent affordable and low-income housing, schools, and recreational facilities. Remaining buildings, structures, objects, and sites from the early development of these communities may hold

potential historic significance in this context and warrant further study.

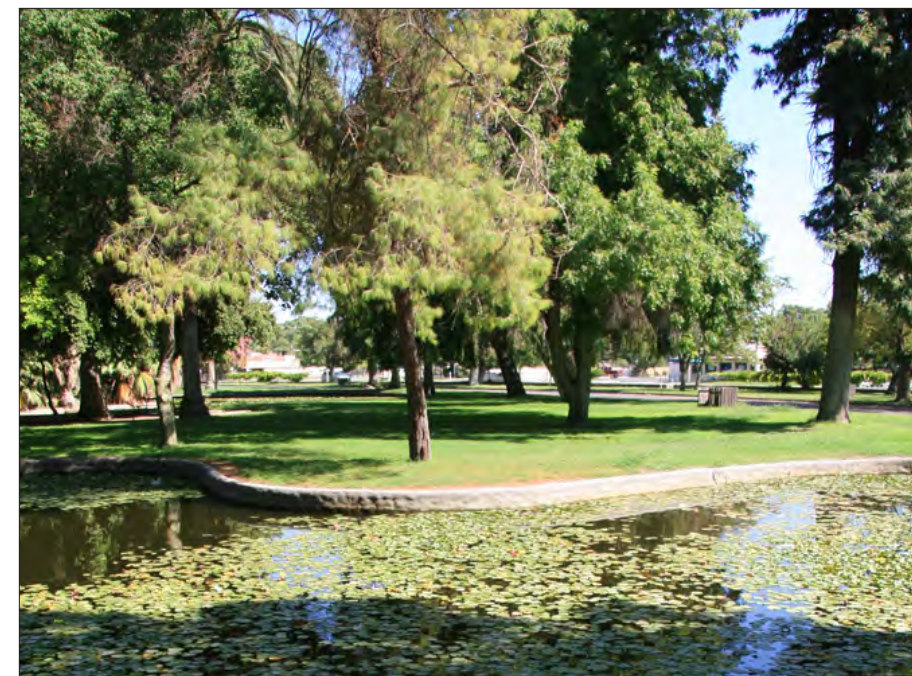
The Edison Neighborhoods area contains a handful of previously identified historic and potentially historic properties including one of Fresno’s designated historic districts. Important historic properties include:

- a. Chandler Field/Fresno Municipal Airport.** One of **threefour** officially designated historic districts in Fresno, the Chandler Field/Fresno Municipal Airport Historic District is located approximately two miles west of Downtown Fresno, along the north side of historic Kearney Boulevard. The WPA-era buildings are clustered in a campus setting that includes landscaping, several Beaux Arts-style lampposts and surface parking.
- b. Kearney Boulevard.** This tree-lined boulevard with a Deco/ Moderne gateway has been determined eligible for the National Register of Historic Places. It was originally developed as part of M. Theo Kearney’s “Chateau Fresno” property, located outside the Community Plan Area, which was never completed.

- 3. Lowell Neighborhood.** The Lowell Neighborhood is one of the oldest residential neighborhoods in Fresno, and is the most intact and cohesive early neighborhood within the Community Plan Area. It contains significant concentrations of late-19th and early 20th century homes, including Queen Anne, American Foursquare, Neo-classical, Craftsman, Colonial Revival, Mission Revival, and Spanish Revival architectural styles. Over forty of the City’s designated historic properties are located here; many other neighborhood properties (both individual properties and historic districts) have been previously identified through survey or environmental review.

Geographically isolated from neighborhoods to the north by the construction of State Route 180, the historic character of Lowell has largely been retained through years of neglect. Despite incompatible infill, many properties in disrepair, and some vacant lots, the Lowell area continues to exhibit the mature tree canopies, uniform setbacks, and regular rhythm of single-family houses and cottages indicative of the area’s prosperous working-, middle-, and upper-middle class origins. These qualities and the building stock distinguish Lowell as an important early neighborhood in Fresno which retains much of its original character. The protection and enhancement of Lowell’s historic and potentially historic resources should be a primary concern in the City’s current revitalization efforts.

² Analysis by Page & Turnbull 2008-2009. As of August 2011, Roeding Park has not been formally listed on the National Register.
³ The Cultural Landscape Foundation website accessed August 26, 2011. <http://tclf.org>



Roeding Park is the centerpiece of the Jane Addams neighborhoods.



Kearney Boulevard has been determined eligible for the National Register of Historic Places.

B. CONTEXT (Continued)

industrial areas and several major commercial thoroughfares, the majority of the Community Plan Area is residential. Most homes date from the early- and mid-20th century and are constructed on the City’s late 19th century grid street pattern that aligns with the cardinal directions. A handful of areas break from the grid in the self-contained subdivision style associated with the post-war era. Prominent architectural styles include Colonial Revival, Prairie Craftsman, Tudor Revival, Storybook, Spanish Revival, Minimal Traditional, and Ranch.

In addition to residential neighborhoods, the Southeast Neighborhoods contain a considerable grouping of industrial properties in its southwestern portion near the railroad and State Route 41. Several of these properties represent Fresno’s early industrial history and have been designated as historic properties by the City.

Historic integrity throughout the Southeast area is somewhat fragmented due to alterations and large areas of more recent development. Several neighborhoods have retained their original character from the early 20th century, including the trees and landscape features that remain from their initial periods of development. While these neighborhoods may not meet criteria for designated historic districts, they deserve special planning consideration to protect historic elements and guide infill.

The Southeast Neighborhoods contain over 30 previously identified potentially historic properties; 26 properties have been designated by the City as historic resources. These include a high school and a collection of industrial buildings in addition to outstanding residential properties. One **potential** historic district has been identified to date:

- a. Huntington Boulevard Historic District.** The Huntington Boulevard Historic District was formally designated by the City Council in 2015. It consists of early 20th Century residential properties located on Huntington Boulevard from First Street on the west to Cedar Avenue on the east.

- 6. South Van Ness.** South Van Ness contains a considerable grouping of industrial properties. Several of these properties represent Fresno’s early industrial history and have been designated as historic properties by the City. A historic survey was conducted in 2015 which identified 17 properties that are eligible for the state or local registers, two potential heritage properties, and three potential historic districts.

- 7. Special Property Types.** Several property types have been identified as potentially historically significant to Fresno’s development history and can be found in several areas of the City.

- a. Bungalow Courts/Courtyard Housing.** Bungalow courts and courtyard housing have been identified as an important residential property type in Fresno. One hundred and twenty-seven courts were identified through a city-wide reconnaissance level survey in 2004.
- b. Garden Offices Complexes.** Regional office park design of the post-World War period incorporated a series of low-rise, office buildings connected by open air gardens and atriums. Architects Robert Stevens and Gene Zellmer are notable pioneers of this building type, and often used Hans Sumpf stabilized adobe bricks in construction.
- c. Early Housing and Associated Structures.** Early folk/vernacular housing types such as Shotgun Houses and Hall & Parlor Houses are increasingly rare in Fresno. Ancillary buildings such as Carriage Houses and the summer kitchens of the Volga German community should also be treated with special attention.
- d. Sites, Structures, and Objects.** It is important to note that properties other than buildings may also be historically significant. In Fresno, these may include signs, lampposts, street furniture, fountains, statues, public art, and infrastructure such as bridges and canals.

C. KEY DEFICITS

In 1979, the City of Fresno’s City Council adopted a historic preservation ordinance, which was amended in 1999 (FMC 12-1600 et seq.). While numerous buildings, structures, objects, and sites located within the Community Plan areas have been preserved and protected through the City’s Historic Preservation Ordinance, several issues continue to threaten the City’s historic character and unique heritage.

- Destruction of potential historic resources.** A large number of potential historic buildings are being renovated without regard for the building’s potential significance. Many buildings have been irreparably altered.
- Loss of potential historic districts.** The historic character of areas identified as potential historic districts is being compromised by the demolition or inappropriate renovation of individual buildings.
- Need to update historic resources inventories.** While the City’s current Historic Resources database contains over 4,885 entries, many potential historic resources that have not been formally designated by the City are absent from the database.



The Huntington Boulevard Historic District consists of large early 20th Century properties located on Huntington Boulevard between First Street and Cedar Avenue.



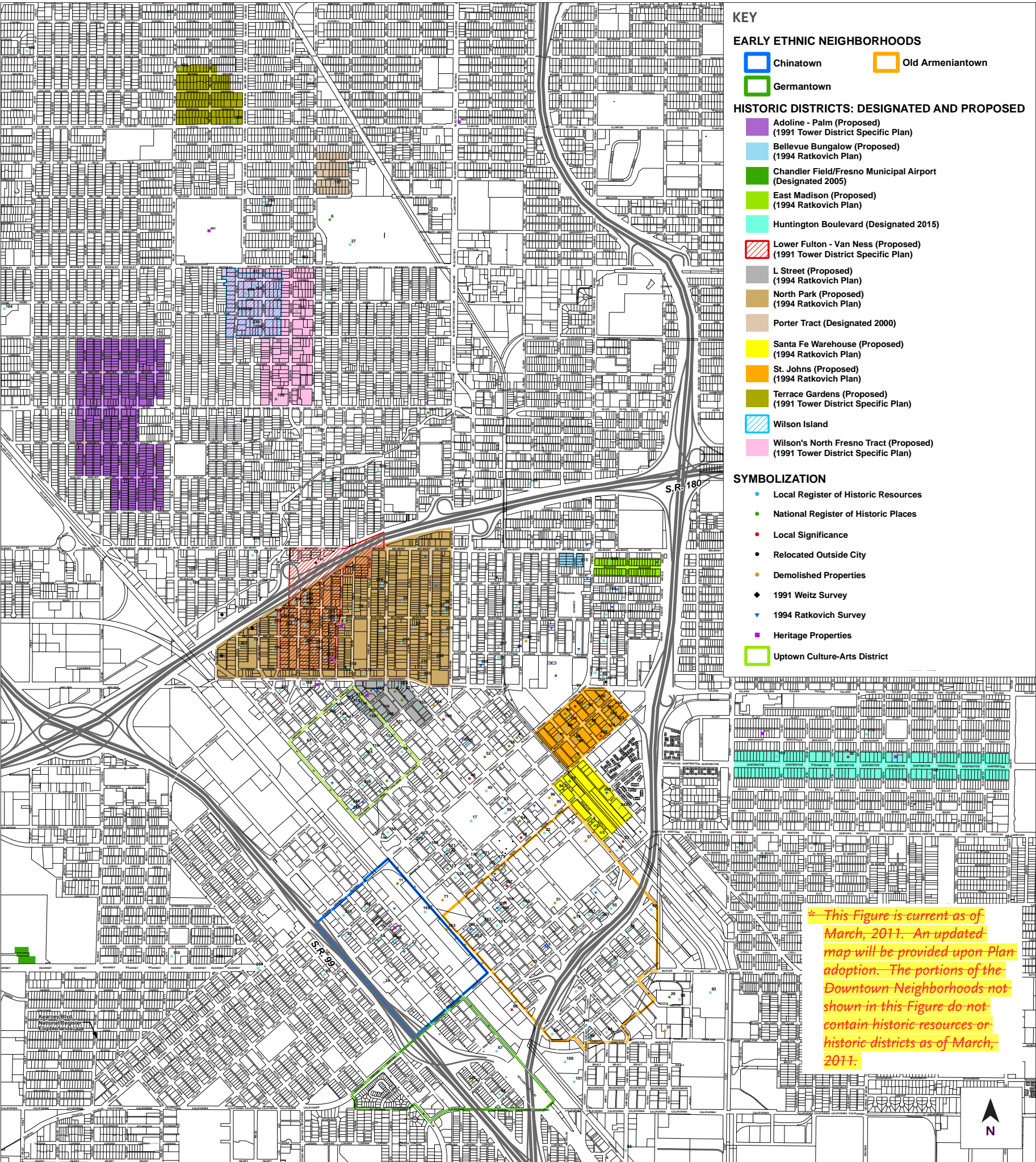
Bungalow Courts are an important residential property type in Fresno.

D. VISION FOR CHANGE

- **Need for guidance on rehabilitation of potentially historic buildings.** Property owners appear to lack information and guidance for how to rehabilitate older and potentially historic buildings. As a result, potentially historic resources have been rehabilitated in ways that impact the integrity of the potential resources and the character and context of the surrounding area.
- **Incompatible Infill.** Incompatible infill has been a primary cause of damage to the area’s historic character, particularly in those areas where smaller parcels have been assembled into large sites that are out of scale with the original development pattern. The lack of design standards relative to nearby historic sites has compromised the historic fabric of the neighborhoods.

Downtown Fresno and its neighborhoods are connected to their heritage and culture through a diverse network of buildings, places and activities. The Downtown Neighborhoods area contains one of the largest concentrations of historic resources in the Central Valley and is a source of identity and community pride for Fresno’s residents. Visitors to the area are treated to a wide variety of buildings, structures, objects, sites, and districts that represent Fresno’s diverse history from the earliest years to the present. The City has strong standards for ensuring the preservation of historic resources for future generations, and new investment is compatible with and sensitive to the existing character of each neighborhood.

FIGURE 6-1 - HISTORIC RESOURCES AND HISTORIC DISTRICTS*



Source: City of Fresno Planning and Development

E. GOALS AND POLICIES

6.1 Identify potential historic resources through context development, survey, evaluation, and designation.

Intent: Federal, state and local regulations that protect historic and cultural resources are based on identification and designation. In order to maintain and protect a community’s built legacy, it is necessary to identify the properties that are meaningful to the community’s historical development and contribute to its character. Identification is the first step in establishing priorities for the restoration and protection of a community’s resources.

- 6.1.1 As resources become available, identify, document and promote all historic and cultural resources, and potential resources within the Downtown Neighborhoods. (CAP Urb 7-3)
- 6.1.2 As resources become available, enhance the City’s database of all designated, evaluated, and potential historic resources and make it easily accessible to the community and affected property owners.
- 6.1.32 Understand the types and locations of historic resources and potential historic resources throughout the City.
- 6.1.43 Promote awareness of resources important to the City’s history within the community.
- 6.1.54 Incorporate knowledge of historic and potentially historic resources into planning and development.

6.2 Protect historic and cultural resources from demolition and inappropriate alterations.

Intent: To strengthen the procedures and mechanisms that will help protect historic resources. Inappropriate alterations and/or additions to historic resources raise important concerns. Historic resources, and/or the context in which they are meaningful, may be damaged due to alterations, additions or demolition.

- 6.2.1 Preserve, rehabilitate, and reuse historic resources with materials and finishes consistent with their original design.
- 6.2.2 As resources become available, protect the unique historic resources in each of Downtown Fresno’s planning areas as a means of enhancing the unique identity and character of each planning area.
- 6.2.3 Provide educational forums for policy makers that stress the role of preservation as an economic tool in revitalization.

- 6.2.4 Discourage the demolition or inappropriate alteration of potential historic resources and encourage their appropriate renovation by providing guidance and incentives for rehabilitation and compatible alterations.
- 6.2.5 As funds become available, provide more Historic Preservation staff to manage a more robust Historic Preservation program.
- 6.2.6 Encourage salvaging of architectural elements that would otherwise be transported to landfills as a result of alterations or demolition.
- 6.2.7 Encourage sympathetic rehabilitation and assist owners with adapting their homes to current needs while retaining historic integrity.
- 6.2.8 Protect historic and cultural resources in each of the Downtown Neighborhoods’ planning areas.
 - Use Roeding Park and its historic features as a focal point for redevelopment of the Jane Addams area.
 - Ensure that Roeding Park and the Fresno Chaffee Zoo are preserved and enhanced as regional destinations.
 - Rehabilitate the historic portions of Roeding Park according to the Secretary of the Interior’s Standards to preserve this outstanding example of landscape design and historically-significant arboretum.
 - Preserve, rehabilitate, and reuse the historic industrial buildings in the South Van Ness planning area.
 - Designate Kearney Boulevard as a Scenic Route to further protect its scenic qualities and reestablish the Boulevard as an important address within Fresno.
 - Begin the process to designate the three potential districts in Lowell that were determined to be eligible for listing on the local register as historic districts in the 2008 GPA survey. Designation of historic districts requires the consent of a majority of the property owners within the proposed district. (See FMC, section 12-1610(c).)
- 6.2.9 Sponsor a regular “State of Historic Preservation” colloquium for policy makers, city staff, and community members to address and discuss preservation and cultural heritage issues.



Incompatible infill is a primary cause of damage to the Plan Area’s historic character.



The preservation of historic buildings such as the Santa Fe Station, connects Fresno to its heritage and culture.

6.3 Protect historic resources and their setting from incompatible new development within historically sensitive areas.

Intent: The value of a historic structure is greatly diminished if it is surrounded by incompatible more recent development. When new buildings are introduced adjacent to historic resources, it is important that they are designed in a manner that reinforces the historic character of the area.

- 6.3.1 As resources become available, preserve, rehabilitate, and reuse historic resources consistent with their original design.
- 6.3.2 As resources become available, restore and maintain the historic character of neighborhoods.
- 6.3.3 Require new development to be compatible with the massing, scale, setbacks, and pedestrian-oriented disposition of adjacent historic resources.
- 6.3.4 Pursue stricter code enforcement to eliminate inappropriate alterations (including “stucco wraps”).

6.4 Promote the preservation of historic and cultural resources through financial incentives and technical assistance.

Intent: Financial incentives, including federal tax credits, preservation easements, and property tax abatements can be used to help fund the rehabilitation of historic properties. These incentives can defray the costs of a potential rehabilitation. Technical assistance regarding character-defining features, construction techniques, treatment of historic materials, and compatible replacement materials will result in many more historic and cultural resources preserved for future generations.

- 6.4.1 As resources become available, provide technical assistance and financial incentives for property owners to rehabilitate their properties in a manner that doesn’t degrade historic integrity. Promote and make accessible the available resources – including the Community Development Block Grants program, the Mills Act, and technical assistance – to owners of historic buildings.
- 6.4.2 Identify and promote funding sources for the rehabilitation of historic properties. Promote, and where possible provide, low-cost funding for revitalization of residential properties.
- 6.4.3 Re-establish and fund as resources are available the City’s low interest loan program for historic property owners.

- 6.4.4 Sponsor preservation workshops at the neighborhood level to provide technical assistance to property owners concerning the maintenance, rehabilitation and restoration of historic resources and potential historic resources.
- 6.4.5 Work with construction trade groups to support apprenticeship programs that teach restoration techniques such as lead paint remediation, historic woodworking and finishing.
- 6.4.6 Expand the existing facade improvement program to incorporate guidelines for the rehabilitation of historic storefronts.

6.5 Integrate historic preservation into the community and economic development strategies.

Intent: Historic preservation is a proven, effective community and economic development strategy. Unique historic structures are the signature of many communities and Fresno is no exception. Historic preservation projects result in investment in the local economy. Policies that help preserve neighborhoods involve both historic preservation and economic development.

- 6.5.1 Capitalize on Fresno’s historic landmarks and resources.
 - Work with local agencies to better incorporate preservation and historic sites into heritage tourism programs.
 - Install the “Preserve America” signs in Downtown Fresno.
 - Develop wayfinding signs from SR 99 that advertise Fresno’s “historic Downtown.”
 - Prepare an updated walking tour of Downtown Fresno which highlights historic sites and neighborhoods.
- **Make available the New Deal walking tour brochure of Fresno prepared by the National Trust in 2008.**
- 6.5.2 Use historic preservation as a basic tool for neighborhood improvements and community development.
- 6.5.3 Engage community members and groups to gather information regarding historic resources.
- 6.5.4 Encourage maintenance of both designated and potential historic resources to help restore the historic character of neighborhoods.
- 6.5.5 Support neighborhood revitalization programs designed to foster an appreciation of Fresno’s distinctive housing types.



A house is rehabilitated with materials and finishes that are consistent with its original design.



New development that is incompatible with the massing, scale, setbacks, and pedestrian-oriented disposition of buildings in historically sensitive areas.

E. GOALS AND POLICIES (Continued)

- 6.6 Protect archeological resources from the impacts of new development.
- Intent:** To ensure that archeological resources discovered during the construction process are identified, evaluated, and treated as warranted.
- 6.6.1 Require that all mitigation measures for archeological resources fully comply with the requirements of CEQA.



Fresno Landmarks such as the Warnors Theater can help spark investment in the local economy.



This building on the corner of F Street and Tulare Street is a source of identity and pride for Fresno residents.

- 7.11.1 Avoid concentrations of social services (homeless shelters and subsidized housing) in any one of the Downtown Neighborhood’s planning area.
- 7.11.2 Ensure homeless shelters and permanent supportive housing are built throughout the City and ensure that these facilities provide a safe environment.
- 7.11.3 Explore partnerships with local job training organizations and programs.

7.12 As Downtown and the downtown neighborhoods grow in population, ensure that existing residents and small businesses have opportunities to remain.

Intent: To avoid the displacement of long-time residents and merchants that sometimes occurs as formerly distressed areas are improved.

7.12.1 The Mayor and City Council should convene a displacement task force explore ways to provide opportunities for low income residents and merchants to remain in their neighborhoods if significant displacement is observed due to substantial and sustained increases in rent. The task force should work in conjunction with low income residents, low income business owners, and property owners in the plan area.

7.12.2 City staff should periodically gather data on lease rates, vacancy rates, and, if applicable, displacement for use by the task force. Staff should also study neighborhoods in other cities which have experienced displacement to assist the task for in identifying similar patterns within the plan area.

7.12.3 The task force should identify a set of actions that can give displaced persons or businesses the opportunity to remain in the area if they wish to do so.

7.12.4 Continue to seek funding for mixed income and affordable housing within plan area, and work with the owners of affordable housing properties to ensure that affordability is maintained over the long term.

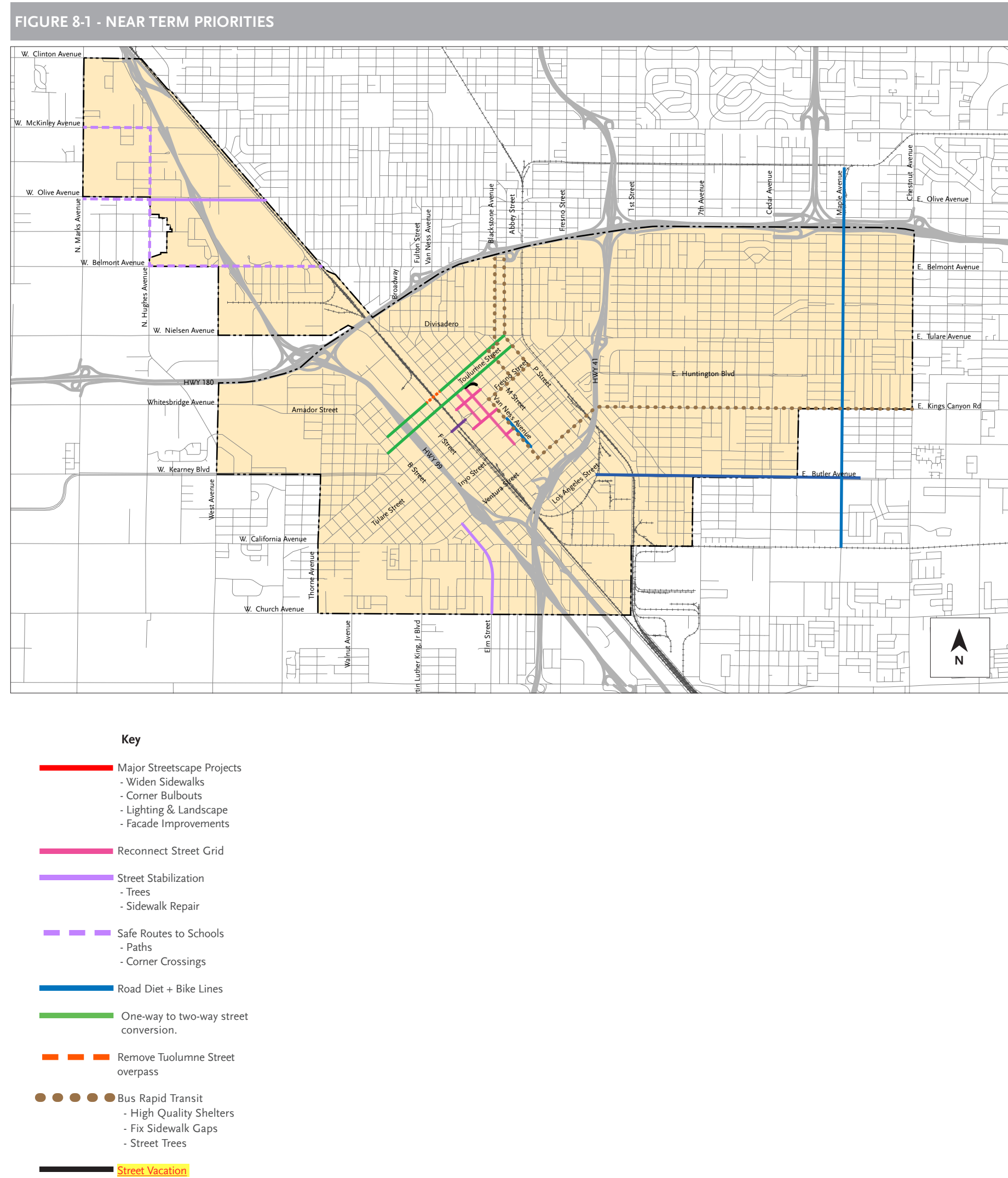


Produce stores provide residents and workers with convenient access to safe, affordable, and nutritious foods.



Community gardens promote health and community benefits, including increased physical activity, access to affordable healthy food, positive social interaction, and local economic activity.

G. TRANSPORTATION (continued)



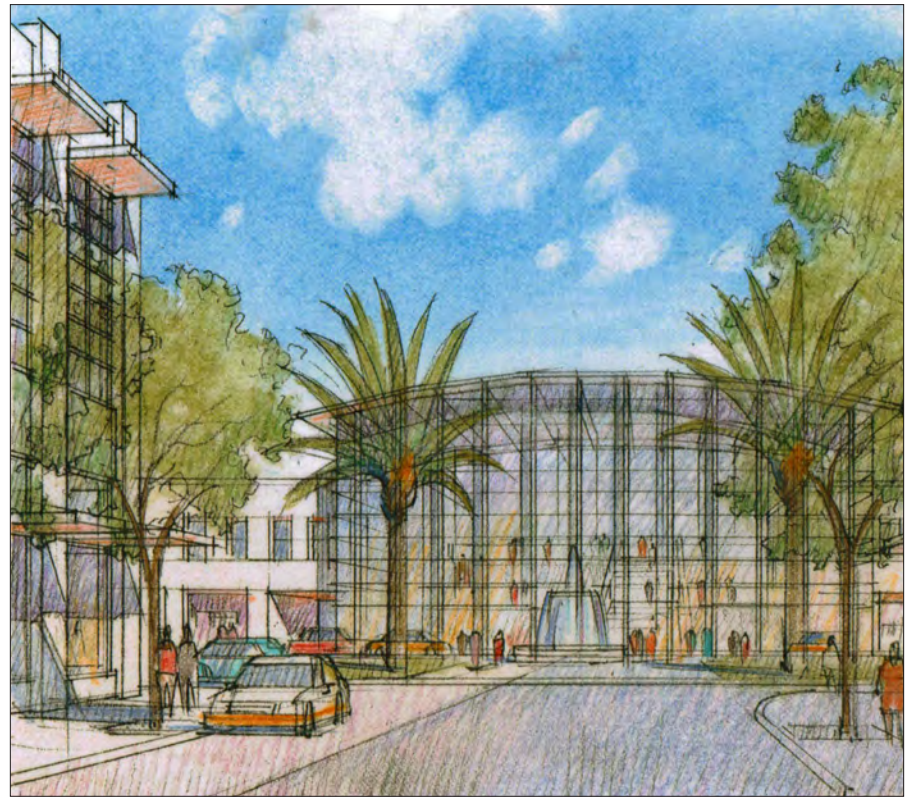
G. TRANSPORTATION (continued)

Project	Project Name	Project Description	Location (area)	Responsibility	Time Frame	Potential Funding Source*
T-A.7	Create Safe-Routes-to-Schools Program	Create a Safe-Routes-to-Schools program for each subarea that includes the identification of walking routes to schools and creates a list of targeted improvements necessary to improve pedestrian and vehicular safety in these areas. Require applicants with projects over 10 units and/or larger than 5 acres to provide a safe-route-to-school plan.	J, SE		near-term	Measure C or General Fund
		T-A.7.1 McKinley Avenue (Marks Avenue to Hughs Avenue).	JA	Public Works	near-term	Safe Routes to Schools
		T-A.7.2 Olive Avenue (Marks Avenue to Hughs Avenue).	JA	Public Works	near-term	Safe Routes to Schools
		T-A.7.3 Belmont Avenue (Hughs Avenue to Weber Avenue).	JA	Public Works	near-term	Safe Routes to Schools
		T-A.7.4 Hughs Avenue (McKinley Avenue to Belmont Avenue).	JA	Public Works	near-term	Safe Routes to Schools
T-A.8	Create Pedestrian Improvement Plan	Create a pedestrian improvement plan for the Southeast Neighborhoods that includes a detailed list of improvements to key community destinations (such as Mosqueda Park), prioritizing the improvements and identifying funding sources for the improvements.	SE		mid-term	Measure C or General Fund
T-A.9	Implement Curb, Gutter and Side-walk Improvements	In order to ensure safe access to schools and parks, create a list of locations for new curb, gutter and sidewalk improvements and develop a funding plan to construct these facilities. At minimum, curbs, gutters and sidewalks should be introduced along the following streets and on residential streets adjacent to schools:				
		T-A.9.1 McKinley Avenue (Golden State BoulevardSR-99 to Marks Avenue).	JA		mid-term	Federal or State grants
		T-A.9.2 Olive Avenue (Hughs Avenue to Marks Avenue).	JA		mid-term	Federal or State grants
		T-A.9.3 Hughes Avenue (Belmont Avenue to McKinley Avenue).	JA		long-term	Federal or State grants
		T-A.9.4 Belmont Avenue (Weber Avenue to Marks Avenue).	JA		mid-term	Federal or State grants
		T-A.9.5 Motel Drive.	JA		long-term	Federal or State grants
		T-A.9.6 California Avenue.	E		long-term	Federal or State grants; Measure C Tier 1 for West to Ventura
T-A.10	Develop Streetscape Standards	Develop comprehensive streetscape standards for the Downtown Neighborhoods that emphasize pedestrian and bicycle access and safety.	All		near-term	Measure C, CDBG
T-A.11	Bus Rapid Transit	Construct a rapid bus transit on Ventura Street/Kings Canyon Road and Abby Street/Blackstone Avenue.	DT, SE		near-term	FTA grants
T-A.12	Universal Pass Program	Consider universal transit pass programs that gives employees in the Plan Area unlimited access to local transit.	All		mid-term	
T-A.13	Traffic Operations Center	In order to manage the transportation system from a centralized location, connect all existing and new traffic signals to the existing traffic operations center.	DT			
T-A.14	Truck Enforcement Program	Create an enforcement program to reduce conflicts and nuisances caused by trucks by addressing and preventing trucks from driving on non-designated truck routes.				
T-A.15	Implement pedestrian safety improvements	Throughout the Downtown Neighborhoods including the following:				
		T-A.15.1 At-grade pedestrian crosswalks to Roeding Park across Belmont Avenue and Olive Avenue in the Jane Addams subarea.	JA			
		T-A.15.2 A pedestrian bridge across Highway 99 at Harvey Avenue to improve pedestrian access in the Jane Addams subarea.	JA		long-term	Federal, State, Measure C grants
		T-A.15.3 Sidewalks along Tulare Street between Cedar Avenue and 6th Street and prioritize Cedar Avenue as a pedestrian corridor in the Southeast Fresno subarea.	SE		mid-term	Federal and State grants
JA Jane Addams Neighborhoods E Edison Fresno Neighborhoods L Lowell Neighborhood J Jefferson Neighborhood SE Southeast Neighborhoods DT Downtown SVN South Van Ness			* These Potential Funding Sources are preliminary for the Public Draft purposes. The project parameters and project costs will continue to be refined during the Public Review Process.			

Exhibit C
FCSP Redline
*(since changes were minimal, only changed pages are
included)*

Fulton Corridor Specific Plan

Fresno, California



CHANGES ONLY
PUBLIC HEARING DRAFT
OCTOBER, 2016

tried to make downtown more like its suburban counterparts actually eroded the urban core, rather than revitalizing it.

Like the rapidly growing city, Downtown also became a less focused place. With the conception of the freeway triangle in 1957, the notion of downtown grew in size from a few blocks to hundreds of acres. Projects over a mile apart from each other were considered helpful to the revitalization effort, even though there was no synergy or connectivity between them. Meanwhile at ground zero on Fulton, the core of our main street was becoming a different kind of economic anchor, one that was pulling the rest of Downtown down with it.

Much of Downtown Fresno's story of decline is common to cities across America. Yet over the last two decades, many of those cities have been able to revitalize their urban centers — many, like Fresno, despite generations of urban decay.

Now, it is Fresno's turn to revitalize our downtown. Fortunately, we have many successful examples to draw upon. We know the most successful downtowns direct investment and resources to a focused area. Through good urban planning and design, projects in proximity begin to support each other and create foot traffic. Shoppers, diners, and concert-goers can park once and spend hours exploring the benefits that vibrant downtowns offer. As customers walk past storefronts, new businesses open to take advantage of the activity. Historic buildings add unique character, respecting the region's past while differentiating downtown from newer, less distinctive suburbs.

There is no reason these revitalization fundamentals will work differently in Fresno than they have so well, time and again, in other places.

A critical step in this journey: the Fulton Corridor Specific Plan. The Specific Plan and the accompanying new Form-Based Code for development are consistent with the General Plan and new Citywide Development Code and replace the outdated regulations of the City's 1960s-era zoning code with new rules that make it easier than ever to develop great projects based on the best of our past. The new Specific Plan and Code replace the frustration of the stalwart first investors with a new sense of momentum, built symbiotically from one project to another to another, as more and more people invest and develop with ease, as well as confidence.

Well over a century **on later**, Downtown Fresno is still the place to see what our city and region are all about. Except today, more than just the story of our past, Downtown is the story of our future. It is the story of our community coming together, remembering its identity, and choosing to do what it takes to ensure a vibrant future. It is the story of realizing we really can get the fundamentals right and make Downtown Fresno a vibrant asset to our city and region once again.

Under the Fulton Corridor Specific Plan, there has never been a better time to invest in our urban core than today. Welcome to Downtown Fresno.

Sincerely,



Ashley Swearengin
Mayor

PREFACE

Downtown Fresno is where the city began. From its incorporation in 1885 and through the 1960’s, it was the commercial, business and cultural center of the Central Valley: A vibrant and compact place comprised of bustling sidewalks shaded by awnings, successful street level retail stores with offices above, convenient parking, and – until the 1930’s – an accessible streetcar system. A great number of historic photographs describe Downtown in this extraordinary traditional urban form.

After the Second World War, Fresno’s pattern of development, like that of most American cities, was radically altered. The passage of the G.I. Bill in 1944 enabled returning veterans to purchase homes and establish businesses. In addition, the Federal-Aid Highway Act of 1956, passed during the height of the Cold War, authorized and funded the construction of freeways across the entire United States. These freeways supported military and civil defense operations, facilitated interstate travel and commerce, and, perhaps unwittingly, encouraged the decentralization of America’s City Centers. Indeed, the automobile provided easy access to inexpensive land and made it no longer necessary to locate residential, commercial, and business uses in close proximity to one another. The completion of the Mayfair subdivision in 1947, north of the Plan Area, included Fresno’s first suburban shopping mall and ushered in an era of development at the suburban fringe. People began to move out of Fresno’s pre-World War II residential neighborhoods and scatter into the new, northern subdivisions. Businesses and important institutions, such as Fresno State University, churches, and hospitals, followed, resulting in a slow decline of Downtown and its surrounding corridors.

The leaders of Fresno reacted swiftly to this emerging trend. In 1958, they invited the most famous urban planner of the period, Victor Gruen, to come to Fresno and to frame a vision and plan for modernizing the center of the city. The Gruen Plan was daring for its time. Yet, many of its prescriptions – supporting the building of freeways, pedestrianizing the commercial core of Downtown, encouraging street closures and one way conversions, promoting wholesale building demolition and super-block formation – proved ineffective and failed to revitalize Downtown. Indeed, as the below photo of Fulton Street in the late 1950’s shows, Downtown was not completely dead. Many stores still existed and competed for business – primarily because they were visible to passing motorists. The elimination of automobiles from the Fulton Mall removed this flow of potential customers, arguably hastening the decline of the stores that lined its length and contributing to the chronic vacancy of its historic office buildings. In addition, the closure of Fulton Street, Merced Street, Mariposa Street, and Kern Street made Downtown more difficult to navigate.

The Gruen Plan declared the form of the historic Downtown obsolete, but the Modern Downtown it so passionately promoted did not become desirable to the market. Similar planning and “urban renewal” efforts became the norm, yet frequently did more harm than good to established downtowns and surrounding neighborhoods. The failure of these efforts – along with the inexpensive land, wide streets, new schools, and newly relocated retailers found at the city’s edge – lured Fresnans to the suburbs in droves. There many found they could live in new houses, move more freely, and exercise a greater range of working, retail, and entertainment choices. For a couple of generations, the development field tipped decidedly in favor of massive suburban growth.

The municipal government also became focused on servicing this kind of suburban growth. Demolition of historic buildings and large scale development that was not designed to fit with its surroundings began to occur Downtown. As a result, Downtown’s economy was deeply shaken and its traditional, walkable, human-scale, mixed-use urban form was put into question as it became characterized by high vacancy rates, low land values, a total absence of people once the work day ended, and concentrated poverty in the surrounding neighborhoods. By 1990, Downtown Fresno, including the Fulton Mall, was in a state of physical, economic, and social free fall. According to a study completed in 2008, the Fulton Mall generated about \$365,969 in annual property and sales tax revenues. If the Mall were developed and built to its potential, the preparers of the study estimated that it could generate over \$6 million annually in City revenues. Therefore, the Mall was contributing only 5.7 percent of its revenue generating potential in 2008.¹

The great recession of 2008 exposed Fresno’s fiscal fragility. With no net source of revenue being generated by property and sales taxes in the center of the city, and Fresno’s city-wide finances weakened, major layoffs and drastic reductions in services resulted.

At that critical point in the city’s history, the revitalization of its Downtown became a matter of fiscal urgency. Many cities now draw a significant portion of their revenues from an economically vibrant downtown. Will Fresno follow this path?

¹ Market Profiles, “Economic Impact Study Listing of Fulton Mall on National Register of Historic Places,” September 2008.



View of Fulton Street at Tulare Street (1936)in the 1920s. Credit: Pop Laval Foundation



View of Fulton Street at Mariposa Street looking north (1959). Credit: Pop Laval Foundation

Chapter 9: Transportation.

This Chapter outlines Downtown’s future multi-modal transportation network that accommodates private automobiles, transit, walking, and biking. Key topics include street reconfiguration, transit and bicycle networks, “Park Once” and street parking, and the basic design of the proposed High-Speed Rail station area.

Chapter 10: Sustainability, Infrastructure, and Resources.

This Chapter addresses a range of topics, including water use, energy use, sewer capacity, and the provision of infrastructure. In addition to providing basic services to support future and existing development within Downtown, a forward-looking approach to these topics continues Fresno’s role as a statewide leader in conservation and resource management.

Chapter 11: Implementation.

The Plan proposes a development strategy driven by private investors. Plan-wide policies focus on historic preservation, retail and employment, shared parking, the public realm, livable neighborhoods, civic initiatives, and specific plan-implementation initiatives such as fast-tracking desirable development. Private sector development will be driven by residential, retail, and commercial market demand, and by the attraction provided by public improvements, predictable entitlement processes, and Downtown’s unique and desirable character.

Chapters 6-10 provide goals and policies that provide direction and guidance for transformation, while Chapter 11 lists specific implementation projects and actions for implementing the goals and policies set forth within the previous chapters. These are defined in the gray box at right:

Goals	GeneralBroad direction-setterssetting statements that present a long-term vision.
Policies	Support the stated goals by mandating, encouraging, or permitting desired actions.
Implementation Projects and Actions	<p>Discrete tasks, categorized as either projects or actions that the City carries out in order to implement the vision of revitalizing Fresno’s core.</p> <p>Project</p> <p>One-time physical improvements to a part of the Plan Area (such as implementing traffic calming measures in a certain area).</p> <p>Action</p> <p>Specific activities that will be completed by a certain time or at regular intervals (such as creating an ordinance or updating a master plan).</p>

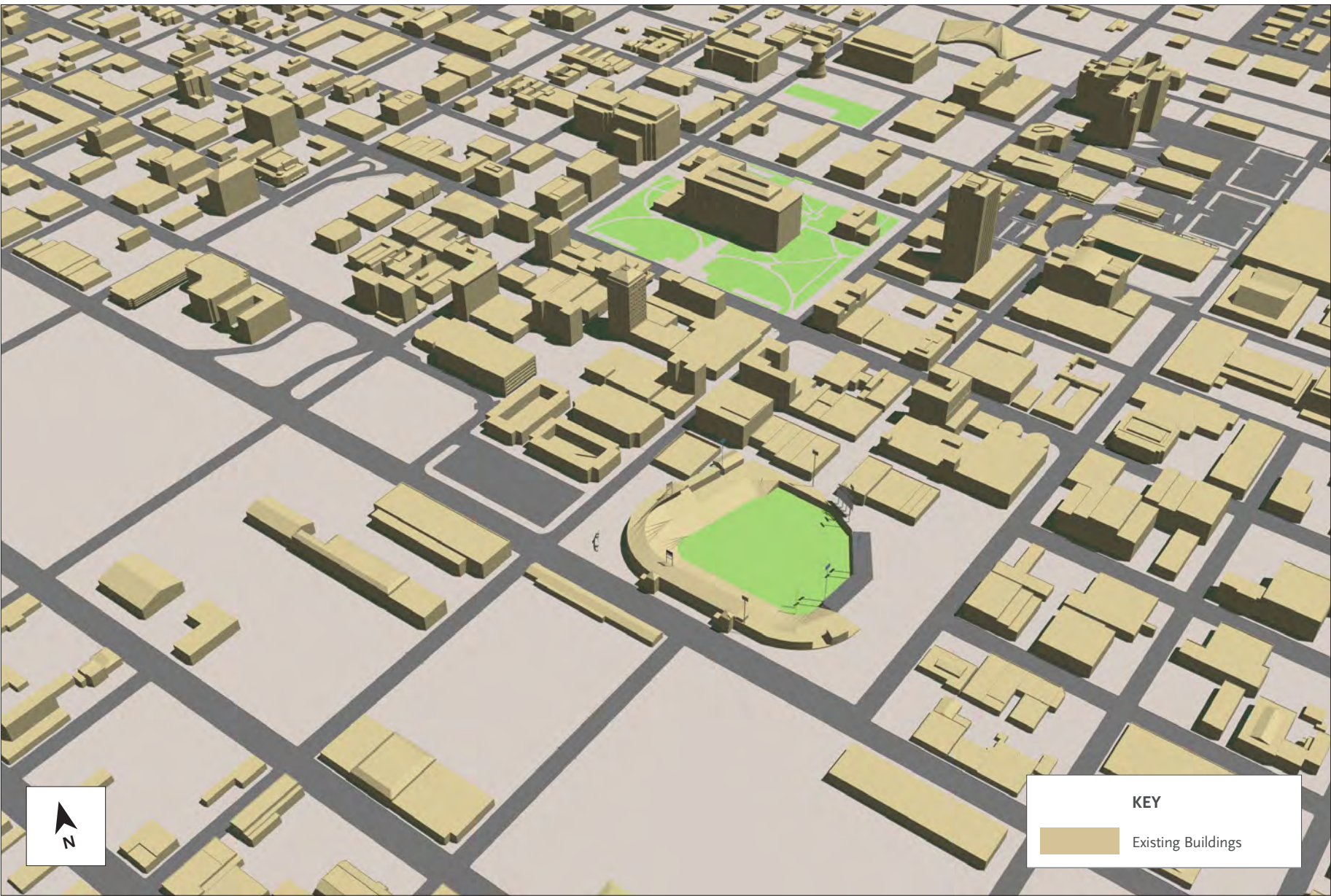
It should be noted that while the successful integration of the proposed High-Speed Rail (HSR) system into Downtown Fresno is of critical importance, there is not a chapter dedicated to this. Rather, the integration of HSR is disbursed throughout this document wherever is appropriate in order to ensure that all aspects of the document reflect this priority.



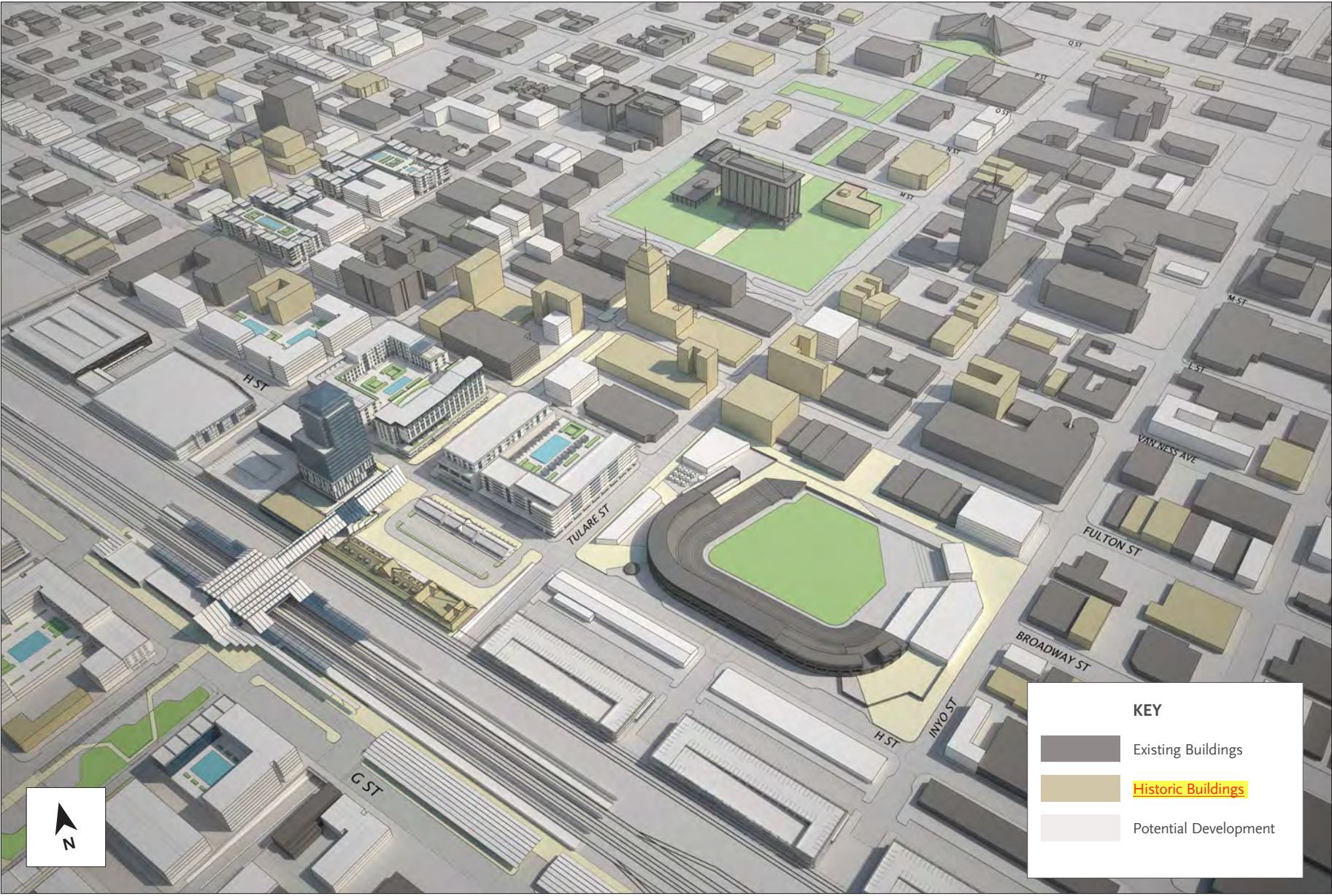
Downtown, with its pedestrian-oriented building fabric, serves as the retail, shopping, and entertainment center of Fresno.



Farmers’ markets, like this one in the Mural District, provide access to locally grown fruits, vegetables, and nutritious foods.



Birds-eye view of Downtown as it existed in 2010.



Birds-eye view of Downtown as it could exist in 2035 as proposed by this Specific Plan.

1.3 PLAN PURPOSE

A. PURPOSE

Cities are dynamic and ever-changing places that experience many cycles of physical and economic growth and change over time. The General Plan (updated every decade or so) and associated community plans (historically updated every 20-30 years), provide policy guidance for this on-going evolution, while the day-to-day, neighborhood-by-neighborhood, lot-by-lot “steering mechanism” for changing the built environment is guided by the Development Code (also known as the zoning ordinance) and other related municipal standards. Prior to the adoption of the new Citywide Development Code in 2015, Fresno’s zoning standards focused mostly on land use, and included relatively generic, suburban physical design standards that are common to many cities and towns. For managing routine changes in the use of existing buildings, the existing zoning regulations worked quite well, but could not successfully reshape and refurbish Downtown. Improved zoning standards from the new Development Code are temporarily being applied to Downtown, but a Specific Plan and form-based code will ultimately be necessary to achieve the desired revival of the area.

This Specific Plan is enacted on the authority vested in the City of Fresno by the State of California, including but not limited to the State Constitution; the Planning and Zoning Law (Government Code Section 65000 et seq.), and the City’s Charter, Municipal Code, and General Plan. The specific plan enables a community to define a clear and specific vision for the future evolution of a specified planning area. This Specific Plan provides a road map for growth and change for the plan area until the year 2035 and beyond. It is comprised of unique and customized standards that enable the City to shape or reshape its streets and public spaces and property owners to develop or redevelop their properties according to the vision of the Specific Plan. It guides public and private reinvestment and construction in a highly coordinated and integrated way in order to yield specific types of urban places that are the result of discussion, debate, and ultimately consensus by a majority of the community.

When development projects within the FCSP area are reviewed by the City, staff will use this Specific Plan as a means of evaluating them. Projects will be judged on their consistency with this Specific Plan’s policies and for conformance with its development standards as contained in the Citywide Development Code. For projects within the FCSP area, the policies and standards in this Specific Plan shall take precedence over more general policies and standards applied throughout the rest of the City, pursuant to Fresno Municipal Code (FMC) Section 12-604. In situations where policies or standards relating to a particular subject have not been provided in this Specific Plan, the applicable policies and standards of the currently adopted City of Fresno General Plan, the Downtown Neighborhoods Community Plan, and the Development Code (which implements the goals and policies of this Specific Plan) shall govern. In addition, the noise and safety contour and aviation easement requirements of the Fresno Chandler Downtown Airport Specific Plan take precedence over the FCSP.

The result of extensive community outreach, debate, and consensus building, this Specific Plan guides and focuses public investment over time on essential infrastructure and streetscape projects that, in turn, will incentivize private parties to improve their property with the certainty that they are supported by long-term public commitment.

- The primary purposes of this Specific Plan are to define:
1. A vision for the future of Downtown that recognizes the importance of history and tradition while embracing opportunities for continued reinvestment, growth, and beneficial change.
 2. Goals and policies that work in tandem with and refine those of the General Plan and the Downtown Neighborhoods Community Plan to achieve the revitalization of the Plan Area.
 3. New land use policies for the Plan Area that will guide upcoming zoning regulations. These new policies are calibrated to deliver new development that is consistent with Fresno’s physical character,

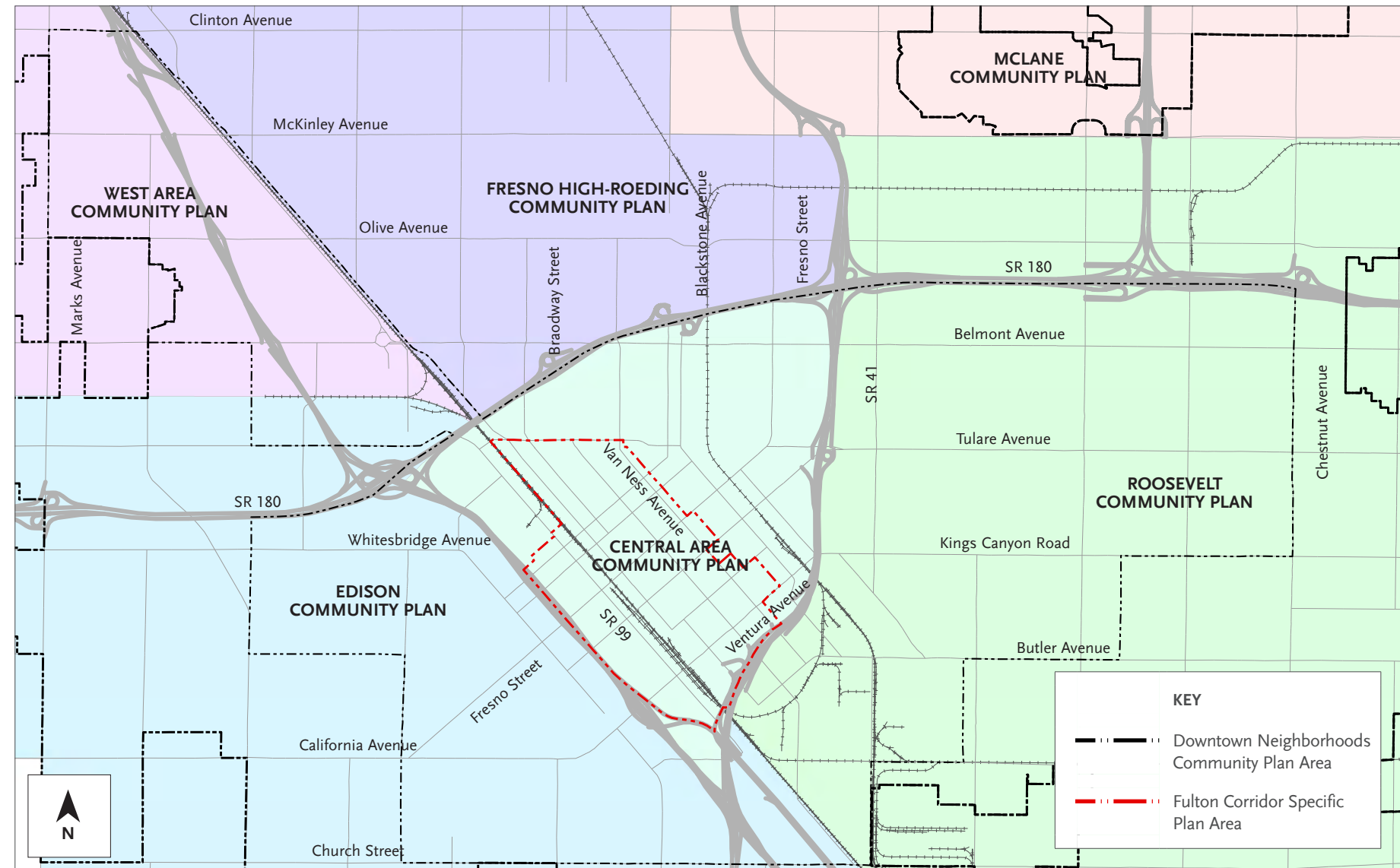


Figure 1.3A Relationship of FCSP to Existing Community Plans.

history, and culture, as well as the community’s vision for its future growth.

- 4. The implementation strategy for transforming the Plan Area’s streets, infrastructure, parks, and other public spaces.

The above purposes provide private property owners with a clear understanding of the future context within which they are investing and reinvesting in their properties.

B. RELATIONSHIP OF THIS SPECIFIC PLAN TO OTHER PLANS AND DOCUMENTS

1. General Plan. Concurrent with the development of this Plan and the DNCP, the City began preparing an update to the General Plan, which was adopted on December 18, 2014. The intent of this Specific Plan and the DNCP is to further refine and build upon the goals for these plan areas as set forth in the General Plan and provide specific policies, measures, and projects to implement the goals set forth in the General Plan.

The Fresno General Plan is the City’s primary policy planning document. Through its twelve elements, the General Plan provides the framework for the management and utilization of the City’s physical, economic, and human resources. Each element contains goals, policies, and implementation measures that guide development within the City. The FCSP is designed to meet the goals established in the General Plan by providing a framework for future development within the Planning Area. The Specific Plan provides direct linkage between the City’s General Plan and detailed plans for development, and will direct the character and arrangement of future development and land uses within the Specific Plan Area, including:

- Location and sizing of infrastructure;
- Phasing of development and thresholds of development;

- Financing methods of public improvements; and
- In conjunction with the Citywide Development Code, establishing development standards.

The FCSP implements the goals and policies of the General Plan that are guided by the following Overarching Principles of Resilience:

- Quality-of-Life and Basic Services in All Neighborhoods;
- A Prosperous City - Centered on a Vibrant Downtown;
- Ample Industrial and Employment Land Ready for Job Creation;
- Care for the Built and Natural Environment; and
- Fiscally Responsible and Sustainable Land Use Policies and Practices.

These principles are made tangible and ready to implement through the FCSP’s goals and policies that address five principal topics:

- Building and Development (including Urban Form and Land Use);
- Historic Preservation;
- Public Realm;
- Transportation; and
- Utilities Infrastructure.

By establishing policies and standards for the plan area, the FCSP is a valuable tool for implementing the General Plan at a site-specific level, as well as providing for orderly development within the planning area. The FCSP identifies such actions on the basis of being near-, mid-, or long-term priorities based on the community’s vision.

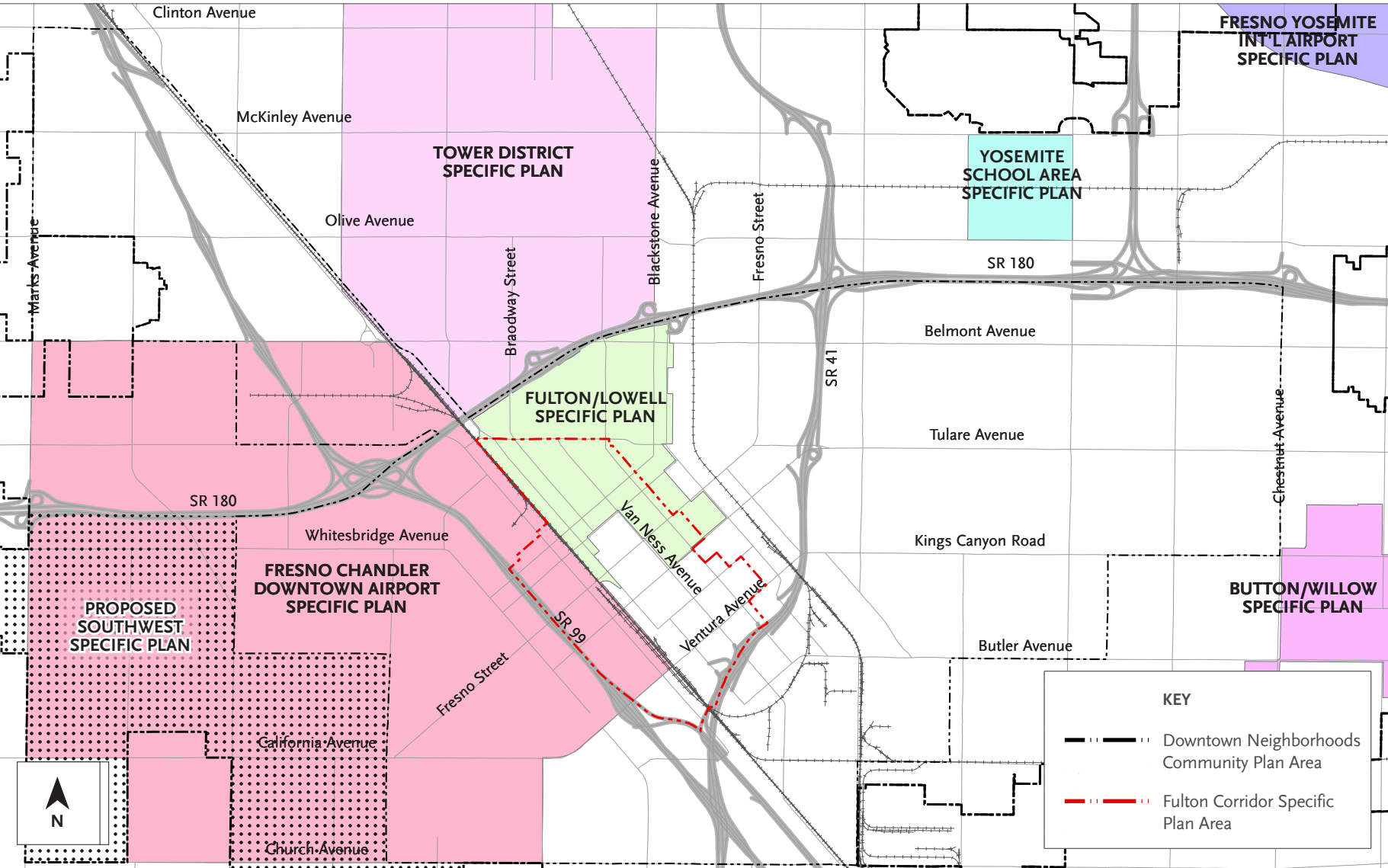


Figure 1.3B Relationship of FCSP to Existing and Proposed Specific Plans.

1.4 PLAN PREPARATION PROCESS

The FCSP is the result of an intense public process which involved residents, business owners, and property owners of the Fulton Corridor area in a series of public meetings and a six-day, open, participatory Design Workshop. The evolution of this plan was based on extensive community input throughout all phases of planning, including: Initial Outreach and Discovery, the Design Workshop, and Follow-up Outreach.

February - September 2010

Initial Outreach and Discovery. The Initial Outreach and Discovery phase consisted of an extensive existing conditions analysis, interviews with a broad range of interested stakeholders (municipal officials, developers, business owners, and community members), and input from the public during three Fulton Corridor Specific Plan Community Advisory Committee (Committee) meetings.

During the March 9, 2010 Committee meeting, the consultant team outlined the upcoming process and described the place-based approach to revitalization that drives this Plan, including the principles of a Form Based Code. The Committee and public also shared their thoughts regarding priorities, issues, and concerns for the Fulton Corridor Specific Plan area.

During the April 20, 2010 Committee meeting, the consultant team presented the findings of its analysis of the planning issues involved, including the preliminary results of the site analysis, a summary of the input received in the departmental and stakeholder interviews, and a description of emerging development opportunities, constraints, and design themes. In addition, various consultant team members presented their initial findings on a variety of topics including the Public Realm (streets and open spaces), Transportation, Historic Resources, Infrastructure (water, sewer, storm drainage), and Economic Development.

During the June 8, 2010 Committee meeting, the public and the consultant team commented on the work that was produced at the Downtown Neighborhoods Community Plan Design Workshop and provided suggestions and recommendations for what policies and standards they would like incorporated in the Draft Downtown Neighborhoods Community Plan and the Draft Fulton Corridor Specific Plan.

During the September 14, 2010 Committee meeting, the Committee, the City, and the project team began exploring alternative ways of revitalizing the Fulton Mall. The Initial Outreach and Discovery phase was brought to a close during two Pre-Design Workshop presentations, one each to the Planning Commission and City Council, in which the consultant team presented its discovery findings.

September 25 - October 2, 2010

Design Workshop. Building upon the input and findings of the Initial Outreach and Discovery phase, the Design Workshop brought the project team to Fresno and allowed focused interaction with all interested parties, including community groups and individual citizens, for seven intensive days of urban policy generation and design. The Design Workshop was interactive with recommendations on each of the design components (Public Realm, Transportation, Infrastructure, Form-Based Zoning Code) being developed simultaneously. Intended to maximize public input, the Design Workshop began with a Visioning Workshop, continued with evening and lunchtime presentations throughout the week, and finished with a final review.

- **Visioning Workshop (Day 1).** On the morning of Saturday, September 25, 2010 the City and project team kicked-off the Design Workshop with a public meeting, facilitated by Travis Sheridan, in which the community developed a transformative vision for the future of Downtown: **A vibrant destination at the core of Fresno and the central San Joaquin Valley that is built on commerce and culture, connects our community, is authentic to our past, and provides opportunities for the future.** Approximately 150 people attended the meeting and agreed upon the vision for Downtown which is summarized and expanded upon in Chapter 2 of this Specific Plan.
- **Evening Presentations (Days 2-5).** On the evening of Monday, September 27, 2010 (Day 2) the consultant team presented the existing conditions of the Fulton Mall’s (Mall) various elements (landscape, paving, fountains, artwork), the history of the Mall, the historic significance of the Mall, the economic conditions needed for retail to prosper there, and alternative visions for its future, ranging from doing nothing differently, to restoring the Mall, to introducing a traditional street, to keeping some portions pedestrian-only while allowing vehicular traffic on other portions. Workshop participants, comprised of approximately 400 community members, expressed their likes and dislikes about each option, and provided more than 1,300 written comments on the merits of the various Mall alternatives.

The remainder of the Design Workshop focused on Downtown and its various subareas. On Days 3 and 5 (September 28 and 30), the design team presented the development strategy for each of these subareas: the Fulton District , the Mural District, the Civic Center, South Stadium, Chinatown, Armenian Town/Convention Center, and Divisadero Triangle. See **Figure 3.2A** on page 3:3. During



Mayor Swearengen kicks-off the Design workshop by summarizing the community's vision for Downtown. Credit: Ryan C. Jones.



Community members review and discuss the various Fulton Mall options during the Fulton Corridor Design Workshop. Credit: Ryan C. Jones.

breakout sessions, community members discussed a variety of topics, including what they believed should be points of initial public and private investment and change, and what type of development is appropriate in each subarea. On Day 4 (September 29), the project team presented open space, landscape, and transportation strategies for Downtown – including incorporating the proposed High-Speed Rail station.

- **Lunchtime Presentations (Days 2-6).** During the noon lunchtime hour, experts on the project team described the theory and practice of each of their disciplines and how it applies to Downtown Fresno: On Day 2, Historic Resources Group provided a brief history of Fresno, the City’s legislative framework for preserving historical assets, and a summary of the team’s reconnaissance findings. On Day 3, Strategic Economics discussed the economics of jobs, housing, and business, presented the anticipated demand for each over the next 25 years, and proposed steps for revitalizing Downtown. On Day 4, Nelson\Nygaard and Fehr & Peers presented transportation-related city-building strategies, including creating a safe walking and biking environment, managing parking, making the right transit investments at the right time, and planning for the proposed High-Speed Rail service. On Day 5, Fong Hart Schneider described how the elements of the Public Realm (Streets and Open Spaces) can generate a more vital Downtown through the introduction of street trees, street furniture, and activated open spaces. On Day 6, Raimi + Associates described the basics of Form Based Codes, comparing them to conventional zoning codes, and describing the structure of a potential new development code for the DNCP and FCSP Plan areas.
- **Final Review (Day 7).** On the last day of the Design Workshop (October 2), the project team presented development strategies and design interventions that had been identified, with community input, over the course of the previous week. Specific topics included economics, infrastructure, historic resources, transportation, landscaping and open space strategies, as well as the form of buildings appropriate to each of Downtown’s subareas. The morning meeting concluded with a panel discussion led by City Manager Mark Scott in which attendees posed questions to members of the project team as well as to City staff.

October 2010 - April 2011

Follow-up Outreach. The Follow-up Outreach phase began with a Community Advisory Committee meeting on October 19, 2010, in which the City and project team presented the results of the Fulton Mall Design



During the Design Workshop, approximately 400 community members expressed their likes and dislikes about each Fulton Mall option. Credit: Ryan C. Jones

Workshop to the community. In addition, the City and project team presented the various Fulton Mall alternatives – including two new ones that were generated in response to comments that were presented at the Design Workshop – as well as the advantages, disadvantages, and probable construction and maintenance costs of each. City staff also provided an overview of the Mall’s current physical conditions.

After substantial discourse and considerable input from the public, the Community Advisory Committee selected from among the ten initial Fulton Mall alternatives, recommending three for further study in the planning process. These alternatives, [will be]have been studied by the Environmental Impact Report, and are described in Chapter 4 of this Specific Plan.

On October 14, 2011, the City released the Public Draft of the Fulton Corridor Specific Plan for a 30-day public comment period. During this period, the City Manager initiated the Plan prior to the kick-off of the Environmental Impact Report. In addition, during this period, the Committee convened four public workshops in order to provide the Committee and the public an opportunity to voice their opinion regarding the nature and recommendations of the Plan. Additional opportunities for public comment were provided during an October 19, 2011 Planning Commission Workshop and an October 20, 2011 City Council Workshop.

Fall 2015 - Spring 2016

General Plan Outreach (2010 to 2014). The Fresno General Plan was adopted following a process which lasted more than four years. The creation of the Plan involved significant public outreach, including over 160 interviews with stakeholders, over 20 public workshops, over 100 presentations to community groups, and over 20 meetings of a Citizens Advisory Committee. During this outreach process, policies and goals affecting the entire city were discussed, including many of the concepts in the FCSP.

Environmental Impact Report (EIR). This phase is devoted to the generation of the Environmental Impact Report (EIR) in order to address the requirements of the California Environmental Quality Act (CEQA). The EIR evaluates the potential environmental impacts of the FCSP, the DNCP, and the applicable sections of the Citywide Development Code. A Notice of Preparation (NOP) was initially issued in April 2012. After the FCSP was put on hold in order for the General Plan Update to be adopted, a second NOP was issued in September 2015, which was followed by the release of the public draft EIR in Spring 2016on July 27, 2016.

Summer 2016

Continued Ongoing Outreach. In advance of the release of the FCSP to the public on July 27, City staff resumed public outreach on June 15, 2016 by providing a summary of the plan to the Board of the Downtown Fresno Partnership and taking input from the board members. On June 30 and July 6 the plan was presented to Downtown property owners, business owners, and developers. On July 13, the FCSP steering committee members participated in a community workshop, while on August 4 an open house on the plan was held during Art Hop, a monthly art exhibition in Downtown that attracts visitors from across the city. At the August Area Agency Executive luncheon the FCSP was presented to the heads of public agencies in the region to bring them up to date on what was being proposed and to provide input. Workshops were also held at the August 25 City Council meeting and the September 21 Planning Commission meeting. Finally, on September 29, City staff held a workshop for the Downtown Academy, a program run by the Fresno Downtown Partnership to educate the public on how Downtown works and how to participate in its revival.

Plan Adoption. This phase is devoted to navigating the final Specific Plan and EIR through the public hearing and adoption process and includes consideration by the Committee, the Airport Land Use Commisison, the Planning Commission, the Historic Preservation Commission, and the City Council.

CHAPTER 2: A VISION FOR DOWNTOWN FRESNO

2.1 INTRODUCTION

A great downtown is more than the sum of its parts. This Specific Plan is written with the knowledge that if the City of Fresno, the private sector, and our community get the basics right, something phenomenal will happen: a great Downtown that makes everyone proud and is an economic engine for the San Joaquin Valley.

Through an extensive public process that included a week-long Design Workshop and numerous meetings with the Community Advisory Committee, the Planning Commission, and the City Council, a vision for the Fulton Corridor, and the values that should shape its revitalization were established. These statements form the basis for this document and the City of Fresno goals and policies it contains.

The Community’s Vision

Fulton is the vibrant destination at the core of Fresno and the central San Joaquin Valley. The vitality of Fulton is built on commerce and culture; it connects our community; it is authentic to our past; and it provides opportunities for the future.

The key to making Downtown great is attracting many people to it: residents, workers, and visitors. This plan sets out to do just that by adding approximately 6,300 residential units, which in turn raises the Plan Area’s resident population from 3,877 people to approximately **16,00013,500** people. In addition, the introduction of up to 3.9 million square feet of office space, 1.5 million square feet of retail space, and 145,000 square feet of industrial space will bring in over 18,000 new jobs to Downtown. This translates into approximately 34,000 new non-visitor people in Downtown. The visitor population – restaurant and entertainment patrons, tourists on their way to Yosemite, Sequoia, and Kings Canyon, Fresno Convention Center attendees, proposed High-Speed Rail riders, to name a few – will raise the number of people in Downtown even more. More people translates into vibrancy, vitality, and increased income for the City.

But new residents, workers, and visitors will not come to Downtown unless it is an attractive, appealing, vibrant place with beautiful tree-lined, multi-modal streets; inviting parks and plazas; and handsome buildings – both old and new – that face and are entered from the street and accommodate a variety of uses. This plan is a blueprint for transforming Downtown into such a place.

2.2 COMMUNITY VALUES FOR REVITALIZATION

The community’s vision for revitalizing Downtown and transforming it back into a truly great place is based upon ten fundamental values. These values, generated by the community, are:

1. Getting the Basics Right

A great downtown is more than the sum of its parts. But to be great, the basic parts must be in place. In many ways, our Downtown missed being great for decades because our community was missing the basics.

This Specific Plan, with the applicable sections of the Citywide Development Code, brings Fresno back to the basics by introducing a clear vision for revitalization, easy-to-understand rules for urban development, a simplified permitting process, public improvements aligned with private sector investments, and the infrastructure needed for economic growth.

This Specific Plan provides important incentives for investors and property owners to build new buildings, revitalize existing ones, start new businesses, and relocate businesses to Downtown. It guides the parts that make up the sum of what happens in our Downtown. Put it all together, and you have a downtown where investors feel confident about investing, where every taxpayer dollar produces the maximum benefit toward revitalization, and where the urban core becomes an asset rather than a drain on City finances.

2. A Regional Destination

Since its beginning, Downtown Fresno has served the entire central San Joaquin Valley. In its heyday, Downtown was the center of government, banking, commerce, and entertainment. Even today, despite Fresno’s suburbanization, Downtown is still a place that offers services and activities that cannot be found elsewhere in the region.

The Fresno community envisions a Downtown whose relationship with the Valley’s cities and towns runs two ways. In exchange for the amenity Downtown provides, all the people of the Valley – not just residents of Fresno – support Downtown with the dollars they choose to spend. To rekindle and nurture this economic relationship, Downtown must provide something of value to people throughout the surrounding area. Residents of the metropolitan area, nearby towns, and rural areas are all stakeholders in the revitalization effort.



The Downtown skyline with the Union Pacific right-of-way in the foreground. Chukchansi Park is to the right in the background.

2.2 COMMUNITY VALUES FOR REVITALIZATION (continued)

The public and private sectors must both recognize that the market for almost anything that happens in Downtown extends well beyond Fresno. An event, concert, or other attraction on a weekend evening can and should draw people from the surrounding region – in the 2010 Census, the Counties of Fresno, Madera, Tulare, and Kings, had a combined population of almost 1.7 million people. This Specific Plan provides a blueprint for creating a Downtown that attracts people from this large area by being a unique place, a fun place, and a place where many different kinds of experiences – business, dining, entertainment – can all happen within a short walk in the same visit.

In addition, the presence of Downtown’s various government offices, courts, and supporting businesses ensures that thousands of people come to Downtown to work or to conduct government business. This population is indispensable in transforming Downtown into an active, vibrant, popular place. Though currently the majority of this population leaves Downtown at the end of the work day, many are potential residents and after-work and weekend restaurant and entertainment patrons that, as Downtown transforms, will one day live, work, shop, and play in Downtown.

Since the construction of the original Fresno County Courthouse and the original City Hall, governmental offices have been vital to the identity of Downtown Fresno. There is no other location in the City of Fresno or the Central Valley that has the same concentration of government offices. The central location and easy routes of travel into Downtown Fresno continue to be important reasons for various government entities to locate Downtown.

3. An International Destination

Each year, thousands of visitors from all over the world pass through Fresno on their way to Yosemite, Sequoia, and Kings Canyon National Parks. Though they stay overnight in Downtown hotels, the primary reason they do so is that Fresno happens to be the closest big city to these parks. Similarly, thousands of Californians and some from farther afield attend various events and meetings at the Fresno Convention Center. When these visitors venture out of their hotels at night, the streets are virtually empty of people and cars and almost every store and restaurant is closed.

The Fresno community envisions Downtown’s transformation into a vibrant, mixed-use place that offers unique restaurants and retail opportunities during the day and the night, making Downtown Fresno a destination that people want to visit on their way to these parks or as a place where they want to hold or attend conventions.



An event at the Fulton Mall brings vitality to Mariposa Plaza.

4. Vibrancy and Vitality

The Fresno community envisions a Downtown full of life and energy. The goal of revitalization is to turn the Fulton Corridor back into a prosperous place where people live, work, shop, and have access to a variety of entertainment options. As in other great cities, our Downtown is a vibrant and exciting place of intensity, where even the ways to relax are exhilarating.

Much of Downtown’s explosive energy comes from mixing extremes together. Downtown is to be a home for lively artistic expression – and a clean, orderly, well-maintained place where people feel comfortable walking around. Downtown is to be a hotbed for small local retail stores – as well as a place for big business that draws in national brands. Downtown is to be a prosperous urban center and a place where Valley residents of any means can enjoy the services that it provides. Downtown is to be a place for every ethnic group, income class, and age bracket to mix together.

Under this Specific Plan, no activity is isolated, and every investment is turned into something larger than itself: a source of vitality for the Fulton Corridor, helping to create a Downtown that functions in a vibrant way.

5. Commerce

Business activity is integral to Downtown’s past as well as its future. For many years Downtown was home to a wide variety of professional services, administrative offices of prominent banks, broad retail opportunities from specialty shops to department stores, and entertainment venues that included several elaborately crafted commercial theaters.

The Fresno community envisions a Downtown that once again attracts businesses new and old, large and small. Rather than relying on large “silver bullet” projects, the revitalization of Downtown occurs on the scale of one business and one building at a time.

Through the applicable sections of the Citywide Development Code, this Specific Plan makes it easier than ever before to understand the rules for development in order to obtain an entitlement, rehabilitate a historic structure, or build a new building. The Plan lifts the burden of providing for parking for each business by allowing different buildings to share street parking and garage space. By making it less expensive and easier to invest, this Specific Plan makes Downtown an ideal place for entrepreneurship, while enabling the construction of high quality buildings.



Outdoor dining and pedestrian activity on Kern Street.

2.3 DESIGN PRINCIPLES

Based on the community’s vision for the Fulton Corridor, this Specific Plan and the accompanying Downtown Districts sections of the Citywide Development Code apply the following ten principles to the design of the Plan Area’s buildings, public spaces, landscape, and infrastructure: infill development, mix of land uses, distinct character, quality of the public realm, interconnected street system, walkability and bikability, housing variety, effective transportation and parking, efficient building and site design, and urban agriculture.

These principles mark a return to the kind of place-making design that has shaped Downtown Fresno for most of its history. The Plan emphasizes designing dwellings, shops, offices, entertainment venues, schools, parks, and civic facilities that are not only within close proximity, but that also relate to one another. Buildings are not isolated objects. They are neighbors that form the public realm, provide “eyes on the street,” shape the skyline, create **shadowsshade**, and generate foot, vehicular, and transit traffic. In addition, when development projects are related to their surroundings, each new project builds value for surrounding land and buildings, encouraging spin-off development and hastening the build-out of complete, revitalized areas.

These principles form the basis for the Downtown Districts sections of the Citywide Development Code as well as the goals, policies, and actions that are described in this Plan.

- 1. **Infill Development.** Effective use of existing private and public land and infrastructure investments.

Development fills in available urban sites to create a more vibrant public realm. More people within walking distance of multiple uses support a more efficient utilization of services and resources, and create more opportunities for entrepreneurship and for shopping, working, and entertainment close to home.

In addition, infill development takes advantage of existing infrastructure, including streets, parks, and water, sewer, and storm drain pipes.

- 2. **Mix of Land Uses.** Synergistic relationships between a variety of destinations and activities.

Downtowns and neighborhood centers that accommodate a variety of uses in close proximity to one another utilize land efficiently, provide neighborhood convenience, create a uniquely urban experience, and encourage people to come and go throughout the entire day. The accompanying Downtown Districts section of the Citywide Development Code remove current restrictions and allow and encourage a compatible mix of uses at the neighborhood, district, or corridor scale, and promote shared parking. This yields a rich mix of building types and uses that are accessible in the same visit through many transportation modes. Key to creating this environment is focusing investment and concentrating businesses, offices, visitors, residents – i.e., people – in one area. As the initial area becomes vibrant, activity will expand to the rest of Downtown.



The Iron Bird Lofts District introduces higher density housing in the Mural District.



A diverse mix of land uses within close proximity utilizes land efficiently, provides neighborhood convenience, and creates a unique urban experience.

3. Distinct Character. Places with their own distinct identity.

Preservation and renewal of Downtown’s unique buildings, districts, and landscapes affirm the continuity and evolution of urban society. New development enriches the quality of existing urban places. New design is a complement to such settings, creating a unique sense of place that reflects history, as well as changing market trends.



Preservation of Downtown’s unique buildings affirms the continuity and evolution of Fresno’s urban and cultural traditions.

4. Quality of the Public Realm. Appealing and heavily used outdoor public spaces between buildings.

A primary task of all urban architecture and landscape design is the physical definition of streets, squares and parks that serve as places of movement, gathering, and celebration for people. Public open space is designed as a series of outdoor rooms and a landscape that enables public interaction, provides a place to enjoy fresh air and exercise, and improves the physical and aesthetic quality of urban neighborhoods.

Surrounding buildings naturally keep parks safe by providing eyes on what is happening. In return, parks boost the values of surrounding properties.



Buildings at Civic Center Square face an urban green that provides a place for office workers and convention visitors to gather.

5. Interconnected Street System. Access to daily destinations that are reached by multiple routes.

Interconnected streets reduce congestion by dispersing vehicular traffic rather than concentrating it only on major arteries. They encourage pedestrian activity, provide multiple routes for getting places, and increase the routes emergency personnel can use to reach distressed locations. When open to all – pedestrians, cyclists, and automobiles – they are more active, safer, and better for businesses that line them.

Alleys provide access to parking and services at the back of building lots, reducing the number of conflicts between pedestrians and vehicles along sidewalks.



Interconnected streets reduce congestion by dispersing vehicular traffic.

6. Walkability and Bikability. Compact urban form, environments designed primarily for people, not cars, and multiple pedestrian and bicycle destinations within close proximity.

In urban areas, most daily uses are within a 5 minute walk from home or work. The Downtown Districts sections of the Citywide Development Code direct new building designs to define street edges and corners, enliven street frontages to enhance the pedestrian experience, and create memorable urban places where people enjoy being. Pedestrian-scaled street lighting, street trees, and street furniture further enhance the pedestrian experience.

An extensive network of bike lanes and trails and their associated amenities, such as bike racks and lockers, extend the reach of daily uses.



Buildings define and enliven the street and sidewalk edge, enhance the pedestrian experience, and create memorable urban places.

4 South Stadium



South Stadium is bounded by SR 41 to the south, the Union Pacific railroad to the west, Inyo Street to the north, and the alley between Van Ness Avenue and L Street to the east.

- a. Transform South Stadium into a mixed-use district that introduces a diversity of new uses, including housing, creative businesses, and specialty retail businesses, while embracing its raw, industrial charm.
- b. Permit South Stadium businesses to advertise their presence by way of architectural design and signage that recalls the older automotive-related signs of Fresno’s early motoring era.
- c. Improve the image of gateway streets such as Ventura Avenue and Van Ness Avenue.
- d. Revitalize and reuse the existing older buildings that currently line Fulton Street. Introduce commercial and retail on grounds floors, and residential, office, and hospitality uses on upper floors.

See **Section 3.2.4**

5 Chinatown



Chinatown, established in 1872, originally comprised the area bounded by what is now State Route 99 to the west, Ventura Avenue to the south, H Street to the east, and Fresno Street to the north. This Plan modifies the boundaries by extending the boundaries northward to include the properties just north of Stanislaus Street, southward to where Golden State Boulevard intersects State Route 41, and establishing the eastern boundary at the Union Pacific railroad tracks.

- a. Revitalize Chinatown in conjunction with the proposed High-Speed Rail station.
- b. Infill Chinatown’s many vacant lots with sensitively scaled, mixed-use, pedestrian-friendly buildings that accommodate a variety of uses.
- c. Establish F Street as Chinatown’s “Main Street,” a street that accommodates local-serving shops and restaurants and provides a safe and pleasant environment for shoppers.
- d. Continue to capitalize on Chinatown’s unique historic assets, including the former Fresno Buddhist Temple, the Bow On Tong Association Building, and its extensive underground basement network.
- e. Create a new park along Mariposa Street near the proposed HSR station.
- F. Create an intermodal transit center along G Street near the proposed HSR station.

See **Section 3.2.5**

6 Armenian Town / Convention Center



Armenian Town/Convention Center is roughly bounded by Inyo Street to the north, O Street to the east, SR 41 to the south, and the alley between L Street and Van Ness Avenue to the west. As its name suggests, it comprises the remaining half of what was Armenian Town and contains the Fresno Convention Center.

- a. Transform this area into a walkable and bikable mixed-use place by infilling vacant parcels with pedestrian-friendly, mixed-use buildings.
- b. Introduce larger office buildings with local serving retail concentrated along Ventura Avenue.
- c. Connect the Fresno Convention Center and **RadissonDoubleTree** Hotel to the Fulton Corridor with clear pedestrian linkages and wayfinding signage.

See **Section 3.2.6**

7 Divisadero Triangle



The Divisadero Triangle is roughly bounded by Merced Street to the south, the BNSF railroad tracks to the east, Divisadero Street to the north, and the alley between L Street and Van Ness Avenue to the west.

- a. Transform this area into a walkable mixed-use place by infilling vacant parcels with shopper-friendly buildings.
- b. Introduce office and local-serving retail uses along M, Divisadero, Tuolumne, and Stanislaus Streets.
- c. Consolidate and relocate isolated older buildings from throughout Downtown within the Divisadero Triangle.

See **Section 3.2.7**

3.2 DOWNTOWN SUBAREAS (Continued)

1. FULTON DISTRICT

The Fulton District is comprised of rectangular blocks oriented parallel to the Union Pacific Railroad tracks. The historic interconnected street network is disrupted by the railroad tracks, and has been closed down to traffic at several locations, most notably Mariposa Street east of the County Courthouse. All of the streets within the Fulton District are two-way, with the exception of Tuolumne Street, which is one-way. This street and block pattern, coupled with inadequate way-finding signage, confuses many Downtown drivers, especially those not familiar with the Fulton District.

A considerable amount of the Fulton District's building fabric has been demolished and replaced by either vacant land or parking lots. An important exception to this is Fulton Street, where, with the exception of its northern end, the adjacent building fabric is well intact. Vacancies and blighted conditions persist throughout Downtown, and many of the area's largest buildings remain shuttered and in poor-disrepair.



View of the former Fulton Mall looking south towards Tulare Street.



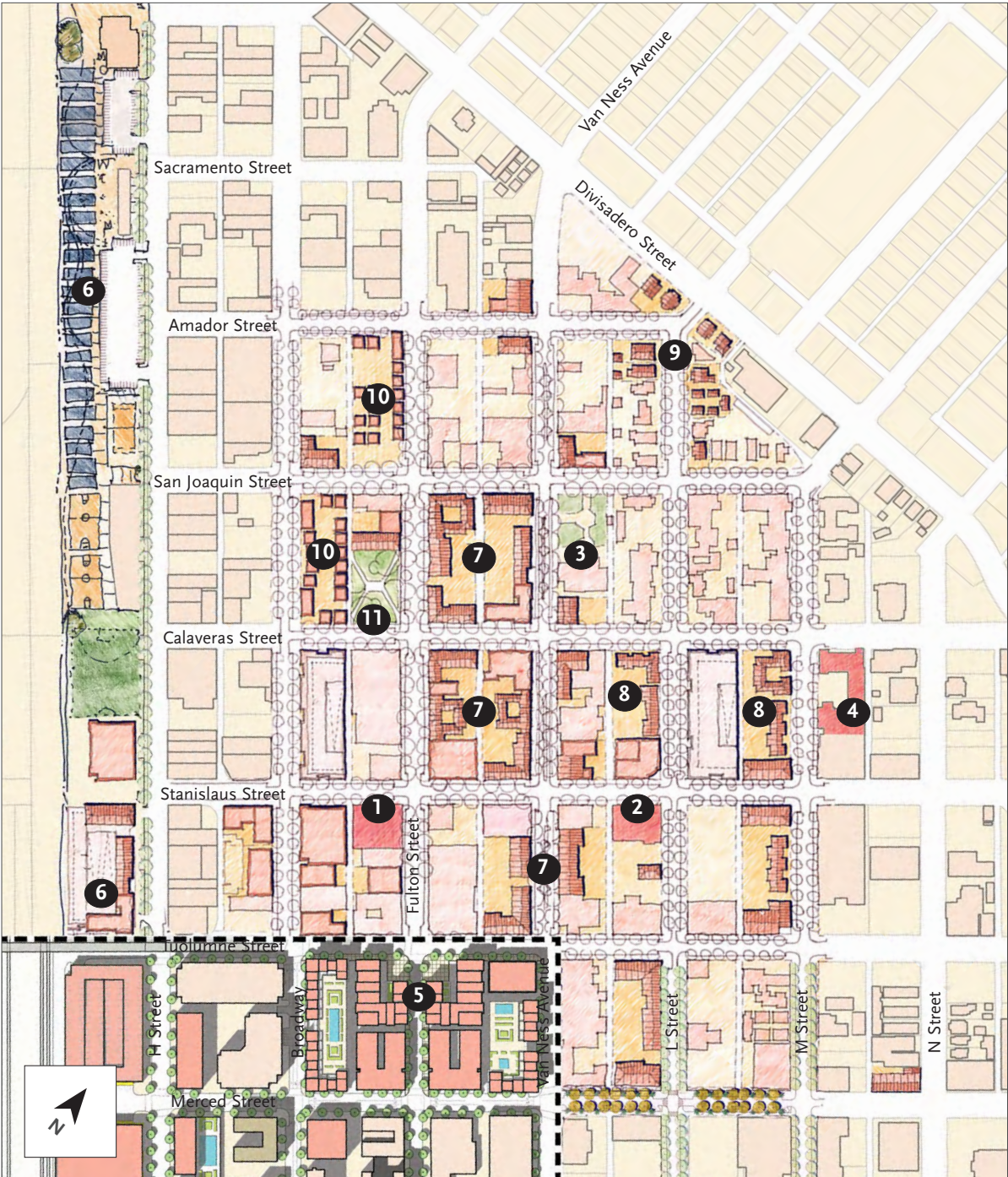
View of a reopened Fulton Street looking south towards Tulare Street with a new mixed-use infill building with rooftop uses.



The Mural District is revitalized through infill of various sites, primarily along Van Ness Avenue. The Grand is seen at top right.

This illustrative site plan shows one of many ways the Mural District could develop over time, based on the provisions of the Development Code. Opportunity sites are shown to infill in the general locations where development is likely to occur. A linear park that accommodates a number of open space uses is introduced adjacent to the Union Pacific railroad tracks (see **Chapter 6** for more information).

- KEY**
- 1 Existing Wilson Theater (Cornerstone Church)
 - 2 Existing Fresno Scottish Rite Temple
 - 3 Existing Arte Américas
 - 4 Existing First Presbyterian Church
 - 5 New mixed-use Development at North End of the former Fulton Mall
 - 6 New linear park adjacent to Union Pacific Railroad tracks
 - 7 New mixed-use buildings with retail, office, and residential
 - 8 New multi-family housing
 - 9 New housing
 - 10 Recently constructed housing
 - 11 New Mural District Park



3.2 DOWNTOWN SUBAREAS (Continued)

5. CHINATOWN

Over the years Chinatown harbored many of Fresno’s cultural and ethnic communities, including Japanese, Italian, German, Chinese, African-American, Armenian, Basque, and Mexican immigrants. Chinese immigrants, drawn to the area to work on the construction of the Central Pacific railroad, made up one-third of Fresno’s earliest population.

It accommodated all the needs of neighboring residents, including a hospital, churches, schools, and more diverse retail. One of the oldest areas of Fresno, Chinatown truly represents the great ethnic, cultural and architectural diversity of Fresno. Although it is one of the most historically significant areas of Fresno, Chinatown has also experienced the greatest abandonment and dilapidation. Less than 20 percent of Chinatown’s original buildings remain, many in a very poor state of repair – although several are listed on the Local Register of Historic Resources. In addition, it is isolated from the Fulton District by the Union Pacific railroad tracks and from the Edison Neighborhoods by State Route 99.

Chinatown is built upon a well-connected network of pedestrian-scaled blocks with alleys servicing most blocks. However, due to the freeway and railroad tracks, Chinatown is isolated from both Downtown and Edison’s residential neighborhoods.

The original, historic portion of Chinatown between Fresno Street and Ventura Avenue consists of a patchwork of vacant lots, parking lots, and isolated buildings, although F Street, Chinatown’s main street, is relatively intact, particularly between Tulare Street and Inyo Street. From 1960 onwards, many of Chinatown’s older buildings were demolished, although nine structures are now listed on the Local Register of Historic Resources. In addition, many buildings are in disrepair and the upper floors of many buildings have been removed to conform to building safety requirements. Chinatown is also home to an extensive network of underground, interconnected basements.

North of Fresno Street, Chinatown consists of relatively large-scale commercial and industrial buildings surrounded by parking lots. South of Ventura Avenue, it consists of a mix of single-family homes and industrial buildings.

Chinatown does not have any public parks, although the abundance of vacant land and parking lots provides good opportunities to be transformed into parks as the need arises. In recent years, Chinatown has hosted a number of annual events, including the Chinese New Year Parade and the Chinatown Music and Arts Festival.

Recent revitalization efforts have resulted in improved street lighting, new street banners, facade and street improvements, new landscaping, and the preservation of several buildings.



View of the intersection of Mariposa Street and F Street in its present condition.



View of intersection of Mariposa Street and F Street. A park is proposed for Chinatown along Mariposa Street between E Street and G Street. Chinatown is revitalized through adaptively reusing notable older buildings and introducing new ones on an infill pattern. The Basque Hotel is seen at right in the foreground.

6. ARMENIAN TOWN/CONVENTION CENTER DISTRICT

The Armenian Town/Convention Center’s street and block network is oriented to the railroad tracks and consists for the most part of rectangular blocks, although the pedestrian-scale of its blocks has been compromised by the creation of several megablocks. Mono Street between L and P Streets and N Street between Capitol Street and Ventura Street have been closed in order to accommodate the Fresno Entertainment and Convention Center and the RadissonDoubleTree Hotel.

As a consequence of applying suburban zoning standards on traditional urban fabric, much of it has been developed with buildings located at the center of the block, surrounded by large surface parking lots. In addition, several streets have been removed, creating megablocks that inhibit both vehicular and pedestrian access. Meanwhile, the portion south of Ventura Avenue has been harmed by the construction of State Route 41, which cuts through what was once the heart of Armenian Town, and more recently by the delay of the Old Armenian Town redevelopment project. Portions south of Ventura Street consist primarily of 1- and 2-story commercial and light industrial buildings. Portions north of Ventura Street are primarily occupied by large-scale multi-story buildings that, together with their parking, occupy the entire block.

- A. **Vision.** The Armenian Town/Convention Center is transformed into a walkable and bikable, mixed-use place by infilling vacant parcels and parking lots with pedestrian-friendly buildings, introducing pedestrian and bicycle amenities, and adaptively reusing older buildings throughout. It is infilled with larger scale buildings that house office, residential, and retail uses.
- B. **Plan.** Armenian Town/Convention Center is infilled with buildings that accommodate housing, office, and retail. Buildings are built close to the sidewalk, are entered from the sidewalk, and have street-facing windows. Its streets, particularly Ventura Avenue, are improved through the introduction of new sidewalks, new street trees, and new pedestrian-scaled street lights. In addition, bike lanes are introduced along Inyo Street, transforming it into a key east-west bicycle corridor.

This illustrative site plan shows one of many ways Armenian Town/Convention Center could develop over time, based on the provisions of the Development Code. Opportunity sites are shown to infill in the general locations where development is likely to occur, particularly along Van Ness Avenue.

KEY

1

Existing Convention Center

2

Existing Saroyan Theater

3

Existing Valdez Hall

4

Existing Selland Arena

5

Existing Court of Appeals Building

6

Existing Holy Trinity Armenian Church

7

New Automobile-Oriented Retail

8

New Mixed-Use Buildings w/ Office or Residential above Retail

9

Revitalized Ventura Street

10

Relocated Historic Armenian Homes

11

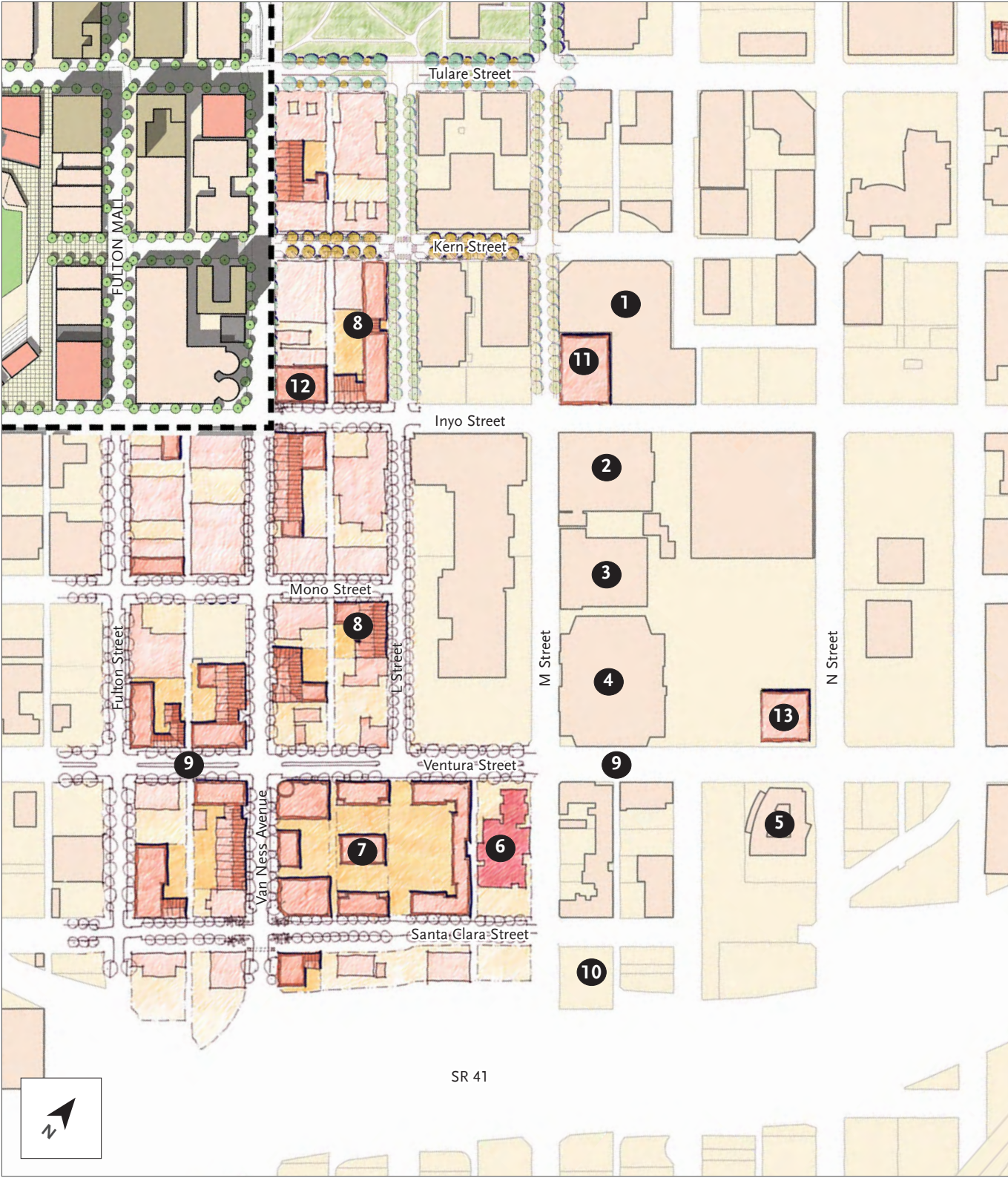
New Hotel

12

Existing Mixed-use with Affordable Housing and Retail

13

New Cosmopolitan Restaurant



3.3 DEVELOPMENT CAPACITY

As part of the preparation of this Specific Plan, a series of market and economic analyses were prepared to provide a solid foundation upon which to build a development program and public investment strategy for the FCSP Area. These included a regional demographic and economic analysis; a market analysis for housing, office, and retail/entertainment uses; case studies of retail/entertainment districts; and a financial feasibility analysis. The principal findings of these work are summarized below.

A. REGIONAL ECONOMIC CONTEXT

Fresno County and the central San Joaquin Valley region – that is, Fresno, Madera, Tulare, and Kings Counties – are growing economies. The region added approximately 120,000 jobs from 1990 to 2009, and Fresno County received approximately half of that job growth.

The regional economy continues to shift from a resource-based to a service-based economy. Much of the economic growth in Fresno County has occurred in resident-serving sectors, while the agriculture-related industries experienced a significant decline. In addition to larger national and structural trends, these changes have been fueled in large part by the region’s expanding population, the conversion of agricultural land to housing development, and more efficient, less labor-intensive farming techniques.

Downtown Fresno is the largest job center in the region, holding over 30,000 jobs, or approximately 14 percent of the total jobs in the Fresno/Clovis metropolitan area.

B. HOUSING MARKET ANALYSIS

Most development in Fresno in recent decades has consisted of detached single-family homes, predominantly in Fresno’s northern areas. During the housing boom, the market’s delivery of higher density units was limited to a small number of rental projects.

As the Market Analysis shows, there is market demand for approximately 4,000 to 7,000 units in the Specific Plan Area from 2016 to 2035, although this number could potentially increase if Downtown’s revitalization is successful. This is equivalent to an average annual absorption of 150 to 250 units.

Though there has been recent development of multi-family units Downtown, nearly every residential project in Downtown has received some form of subsidy from local government sources. The bulk of recent development activity in the Plan Area has been concentrated in the Mural District.

The market for higher density buildings will take time. There are significant financial feasibility challenges to building housing in the Plan Area, due to the continued popularity and affordability of suburban detached single-family housing compared to higher cost multi-family units.

C. OFFICE MARKET ANALYSIS

The Plan Area continues to be an attractive location for government offices, legal firms, advertising agencies, other professional firms, and medical offices. Downtown Fresno features a stable base of employment due to its concentration of Municipal, State and Federal government office buildings. However, the Plan Area must increasingly compete with North Fresno and office parks for new office tenants and development.

The Plan Area’s office market faces challenges including persistent high vacancy rates in its older and historic structures, perceptions of Downtown being unsafe, difficult access by car, a lack of amenities, a location distant from residential areas, and a perceived lack of parking. The vacancy rate for the designated historic office buildings along Fulton Street is estimated at over 70 percent. The reuse of these buildings is challenging due to limited auto access, the cost of renovation, and lack of maintenance.

The Plan Area can potentially capture demand for between 2.5 million and 3.9 million square feet of new office space between 2016 and 2035, net absorption of new and vacant spaces. The ability of the Plan Area to be able to attract private development will depend on a host of factors such as the availability of amenities to support office workers, the successful rehabilitation and reuse of existing vacant office buildings, and the improvement of circulation and access throughout the Plan Area. With the reopening of Fulton Street to vehicular traffic, some of the aforementioned barriers have already started to be removed.

There is strong potential in attracting “creative” businesses. These firms are often small and entrepreneurial, seek inexpensive space, and prefer the kinds of unique or raw interiors that can be provided within rehabilitated older buildings. The success of Bitwise



The proposed High-Speed Rail station will be a significant amenity for Downtown Fresno and the greater region.



The historic Hotel Fresno currently sits across from a recently built office building that is leased to the Federal government.

Industries has shown that Downtown has tremendous potential to develop a strong technology sector.

D. REGIONAL RETAIL/ENTERTAINMENT USES

The Plan Area has the potential to become a regional retail and entertainment destination. Given the addition of new housing and office space in the Plan Area, as well as the considerable growth in population projected in the greater 45-minute drive time market area, there is an opportunity for the Plan Area to leverage its existing assets to draw more retail and entertainment uses.

The Plan Area has the potential for the development of between 1.3 million and 1.6 million square feet of new retail and entertainment space in the next 25 years. The types of supportable retail that will help Downtown include food stores, eating and drinking places, general merchandise, and other retail. Regional retail entertainment development should be focused near existing anchors and attractors such as Chukchansi Park, Club One Casino, the proposed HSR station, the former Fulton Mall, and the Plan Area’s historic theaters.

While Downtown must compete with other town centers, such as River Park, The Marketplace at El Paseo, Campus Pointe, and Fancher Creek, it is replete with historic, entertainment, and urban attributes that these other places do not have.

E. ROLE OF HIGH-SPEED RAIL ON DEVELOPMENT

The proposed HSR station offers an opportunity for higher-density, pedestrian-oriented development projects to be focused in the Plan Area. In addition to the train station, there have also been discussions about locating a maintenance facility for the rail cars within Fresno south of the Plan Area. The facility would create new jobs in Fresno, and create some ripple effects to suppliers of materials in the City and the central San Joaquin Valley region. The ability of the Plan Area to capitalize on the economic activity will largely depend on the proximity of the facility’s location to existing employment nodes, and the economic benefits to suppliers of locating near the facility.

F. SUMMARY OF DEVELOPMENT PROGRAM

Table 3.3A summarizes the demand-based development program for the Specific Plan Area based on the market analysis.

TABLE 3.3A - Market Demand in Specific Plan Area Through 2035¹

Land Use	Development Potential	
	Low	High
New Housing Units (units)	4,060	6,960
New Housing Units (s.f.)	4.9 million	8.4 million
Office (gross s.f.)	2.5 million	3.9 million
Regional Retail and Entertainment (s.f.)	1.3 million	1.6 million
Total Residential and Commercial (s.f.)	8.7 million	13.9 million

¹ Strategic Economics, “Market Analysis Report: Fulton Corridor Specific Plan,” April 25, 2011.

The documented presence of a market for new housing, office, and retail and entertainment space is a point of departure for the revitalization of Downtown Fresno. The numbers suggest that Downtown can grow substantially by taking advantage of its location, its urban character, and its many commercial, civic, and institutional assets.

This projected demand for housing, office, and retail and entertainment space exists despite the currentpast state of disinvestment in Downtown and the development community’s preference in recentpast years for suburban sites. However, to achieve the desired results as quickly and efficiently as possible, efforts must be madethe City must continue to focus all possible investment towards Downtown and to be consistent in implementing this Plan’s development strategy for many years.



A vacant, lifeless Downtown streetscape is pedestrian unfriendly and discourages commerce. Policies of the mid 20th century resulted in streetscapes that were lifeless, unfriendly to pedestrians, and which discouraged commerce.



This view looking south on Fulton Street towards the former Fulton Mall.

6. Intensify the presence of government tenants within the Plan Area.

Government services anchor the office market Downtown. Not only do government tenants occupy large privately- and publicly-owned buildings, but they also attract a base of related businesses such as law firms. Ongoing retention and attraction of government facilities provides a base of employment that contributes to the Plan Area’s office market.

7. Coordinate public and private interests to stimulate revitalization.

Public investments in infrastructure reduce costs and uncertainty for individual projects, allowing private developers to operate at the volume and speed necessary to revitalize the Plan Area. Direct City financial assistance for private projects is unsustainable as a blanket strategy and shall only be provided as resources are available and in limited, specific, strategic ways to implement the vision of this Specific Plan.

The policy direction set forth in this Plan involves many City departments, and the issues are often complex and multidisciplinary in nature. Public and private projects should be judged from each department’s perspective, but with the end goal of revitalization foremost in mind.

8. Coordinate public support of private sector efforts.

Consistent with the vision and policies of this Plan, the City shall encourage businesses, government agencies, investors, and event promoters to locate and operate within the Plan Area as the most ideal place in the city and region for new investment and economic activity.

The City shall, whenever possible, support privately and publicly-led efforts to attract the public from throughout the central San Joaquin Valley to patronize Downtown Fresno, and the Plan Area in particular, as the most important and ideal center for activity in the region.

9. Expand retail opportunities in the Plan Area for both residents and visitors.

Fresno, like most U.S. cities experienced a severe decline in its Downtown over the past 50 years. As middle and upper income people moved out of urban neighborhoods, so too did retailers, who followed many of their customers to suburban developments far from Downtown. While it makes economic sense that retail development focuses on growth areas, this trend has left many Downtowns with little or no retail options for their remaining residents.

Utilizing a variety of economic development strategies, including infrastructure improvements, streetscape improvements, and transportation improvements, this Plan seeks to bring more investment and more people back to Downtown. As more people come, retail development will follow. However, this growth will take time. Accordingly, the City will need to take an active role in attracting retail development to Downtown, especially in the short term. These strategies include:

- Targeting and recruiting types of retailers that have been identified for growth such as food stores, eating and drinking places, general merchandise, and other retail; and
- In order to ensure a critical mass of activity, which is essential to retail success, focusing major retail, dining, and entertainment uses in the Fulton District and in other limited areas with established retail or strong potential for such uses, as shown in **Figure 6.2A** (Retail Priority Streets).

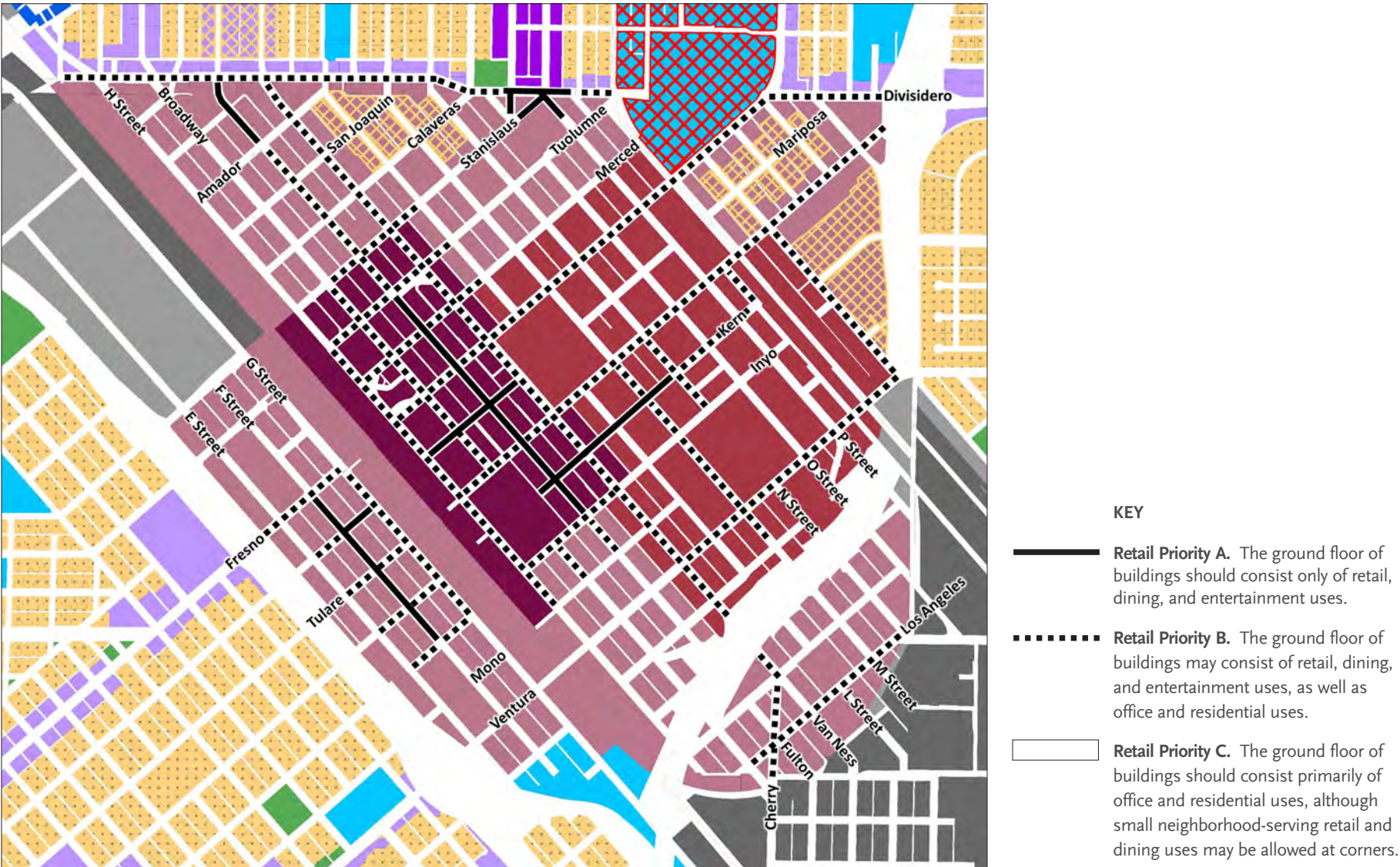


Figure 6.2A - Retail Priority Streets.

6.3 DEVELOPMENT FRAMEWORK (Continued)

private development projects in order to stimulate revitalization.

Goal 6-9 Require high-quality building design.

Policies

- 6-9-1 Permit new buildings with contemporary and innovative architectural designs, provided they utilize high-quality materials and contribute to a walkable attractive, urban environment.
- 6-9-2 Require new buildings or modifications to existing buildings to utilize a combination of materials and finishes which articulate a high quality appearance. Acceptable finishes and materials include stucco, brick, stone, corrugated metal, finished metal, concrete, and glass. Unacceptable materials include siding made of any unsustainable materials such as plywood or particle board (i.e., T-111). In addition, materials that unintentionally discolor due to weathering or corrosion are discouraged. Materials that discolor naturally, such as copper, are encouraged.
- 6-9-3 Require building renovations or alterations to use exterior building materials that are consistent with the building’s original design and construction. Prohibit “stucco wraps” of buildings originally designed with wood siding or shingles.
- 6-9-4 Require that all new buildings, additions, and renovations be compatible with surrounding buildings, maintain a similar scale, relate to Fresno’s historical and cultural context, and respond to Fresno’s climate through their massing, orientation, and use of building frontages (porches, arcades, etc.) and architectural elements (canopies, awnings, trellises, overhangs, etc.).
- 6-9-5 Promote infill development that is compatible with and complementary to existing older buildings, particularly those listed on the Local, State, and National registers. (FLSP Implementation Action 1-1-4)

- 6-9-6 Require building massing comprised of simple, well-proportioned volumes.
- 6-9-7 Avoid placeless, franchise or ‘formula’ architecture and signs that are not rooted in Fresno’s culture and traditions.
- 6-9-8 Screen service areas, storage areas, mechanical equipment, or garbage areas from public view from the street or pedestrian ways.
- 6-9-9 Require fence and wall design to be consistent with the architecture of the building. Avoid fencing that, through design or use of materials, promotes a “fortress” environment (barbed wire, wrought iron pickets with sharpened spears at top, electric fencing, blank concrete masonry unit walls, etc.).
- 6-9-10 Introduce new buildings that employ passive cooling and heating strategies, including frontage types (porches and arcades), architectural elements (overhangs, awnings, shutters, louvers, canopies, and trellises), and strategically-placed shade trees to minimize or increase solar heat gain according to the season.
- 6-9-11 When considering providing funding, letters of support for grant applications, other assistance to projects, give priority to projects with high quality workmanship, materials, articulation, and amenities.

Goal 6-10 Generate high quality, pedestrian-oriented public space in Downtown.

Policies

- 6-10-1 Require buildings to face and be accessed from the street and be pedestrian-scaled.
- 6-10-2 Encourage sidewalk cafes, small shops, and other pedestrian-oriented uses through a standardized permitting process. (FLSP Implementation Action 2-1-3, modified 2011)



A roof-top restaurant and bar encourages activity both day and night.



Theaters and playhouses of all sorts provide one of many forms of entertainment Downtown, visible by pedestrians, bicyclists, and automobiles passing by.

7.1 INTRODUCTION (Continued)

The following terms are used in this chapter to describe properties that may warrant consideration for their historic significance. The definitions are intended to be specific for this Specific Plan and may deviate from concepts that have been codified in standards and guidelines developed by the National Park Service, the Department of the Interior, and professional practitioners, including historians, architects, archeologists, and urban planners.

Significant Resource means a resource that is one of the following:

1. Listed in the California Register of Historical Resources;
2. Listed on the National Register of Historic Places;
3. Determined to be eligible for listing in the California Register of Historical Resources by the State Historical Resources Commission;
4. A Historic Resource as defined in Section 12-1603(o) of the Historic Preservation Ordinance (HPO), or a local historic district as defined in Section 12-1603(s) of the HPO, or a contributor to a local historic district, unless the resource has been found not to be historically or culturally significant by a preponderance of the evidence pursuant to Section 10(b)(2)(iv) of the Historic Environmental Review Ordinance (HERO), **if/when it is adopted by the City Council**;
5. Identified as significant in an historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the resource has been found not to be historically or culturally significant by a preponderance of the evidence pursuant to Section 10(b)(2)(iv) of the HERO **(if/when it is adopted by the City Council**; or,
6. A Potential Significant Resource that, after further analysis and review, the City has determined should be treated as a Historically Significant Resource pursuant to the procedures in Section 9(b)(3) of the HERO **(if/when it is adopted by the City Council**.

Potential Significant Resource means a resource that does not fall within the definition of Significant Resource but meets any or all of the following requirements:

1. It was identified as eligible or potentially eligible for listing in a national, state or local register of historical resources or it was identified as a potential contributor to a potential significant district in a survey that the city formally commissioned or was officially accepted or officially adopted by the Council or the HPC, but the survey does not meet one or more of the requirements of subsection (g) of Section 5024.1 of the Public Resources Code.
2. It is at least 45 years old; or
3. As determined by the Historic Preservation Project Manager, it meets the criteria for listing to the California Register of Historical Resources under subsection (j) of Section 5020.1 or Section 5024.1 of the Public Resources Code.

Notwithstanding the above, a resource shall not be a Potential Significant Resource if within five years prior to submittal of the application for the Project under review: (i) the city in an adopted CEQA finding, determined that the resource was not historically significant for purposes of CEQA or (ii) the Council or the HPC accepted or officially approved a survey that found the resource was not eligible for listing to a national, state or local register.

Significant District is a type of Significant Resource that is a finite group of resources related to one another in a clearly distinguishable way or any geographically definable area which possesses a significant concentration, linkage or continuity of sites, buildings, structures or objects united historically or aesthetically by plan or physical development.

Potential Significant District is a type of Potential Significant Resource that if found to be a Significant Resource would be a Significant District.

Historic Character refers to the general form, appearance, and impression of a neighborhood or area established by extant development from the past. The term is used generally to recognize development patterns from Fresno’s past and is not meant to imply officially recognized historic significance.

“Historic-era Building, “Historic-era Resource” is used as a generic term to refer to a building or resource which was constructed in an earlier period in the City of Fresno (as described in sub-sections A through I) but which is not necessarily a “Significant Resource.”

Local Historic Resource means, unless otherwise specifically indicated, a resource on Fresno’s Local Register of Historic Resources pursuant to Fresno Municipal Code 12-1603(o).

Nothing in this Specific Plan is intended to identify or designate any significant resources, potential significant resources, significant districts or potential significant districts. Identification and designation of resources and districts shall be done consistent with the City’s Historic Preservation Ordinance and State and Federal law.

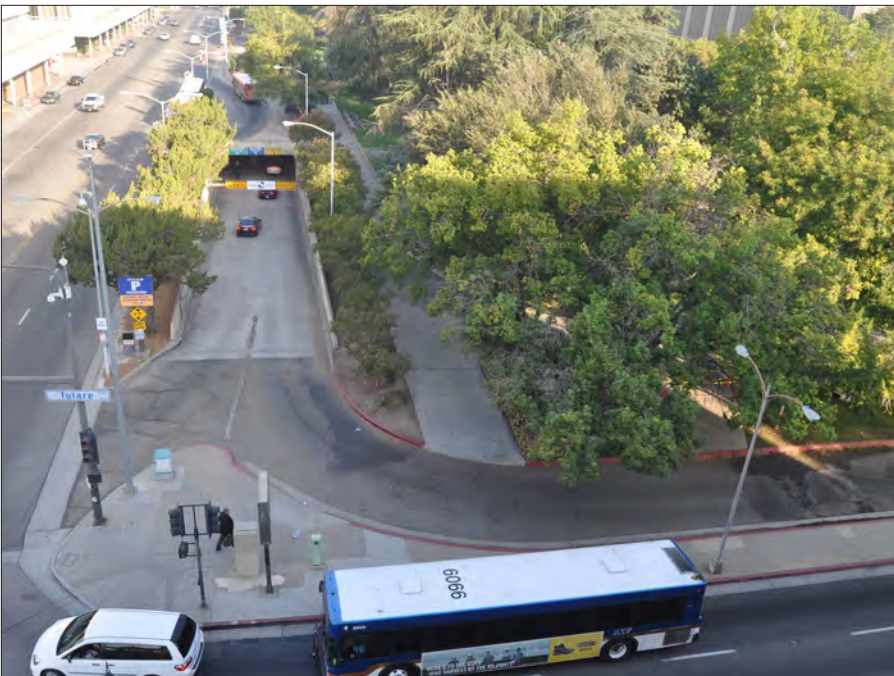
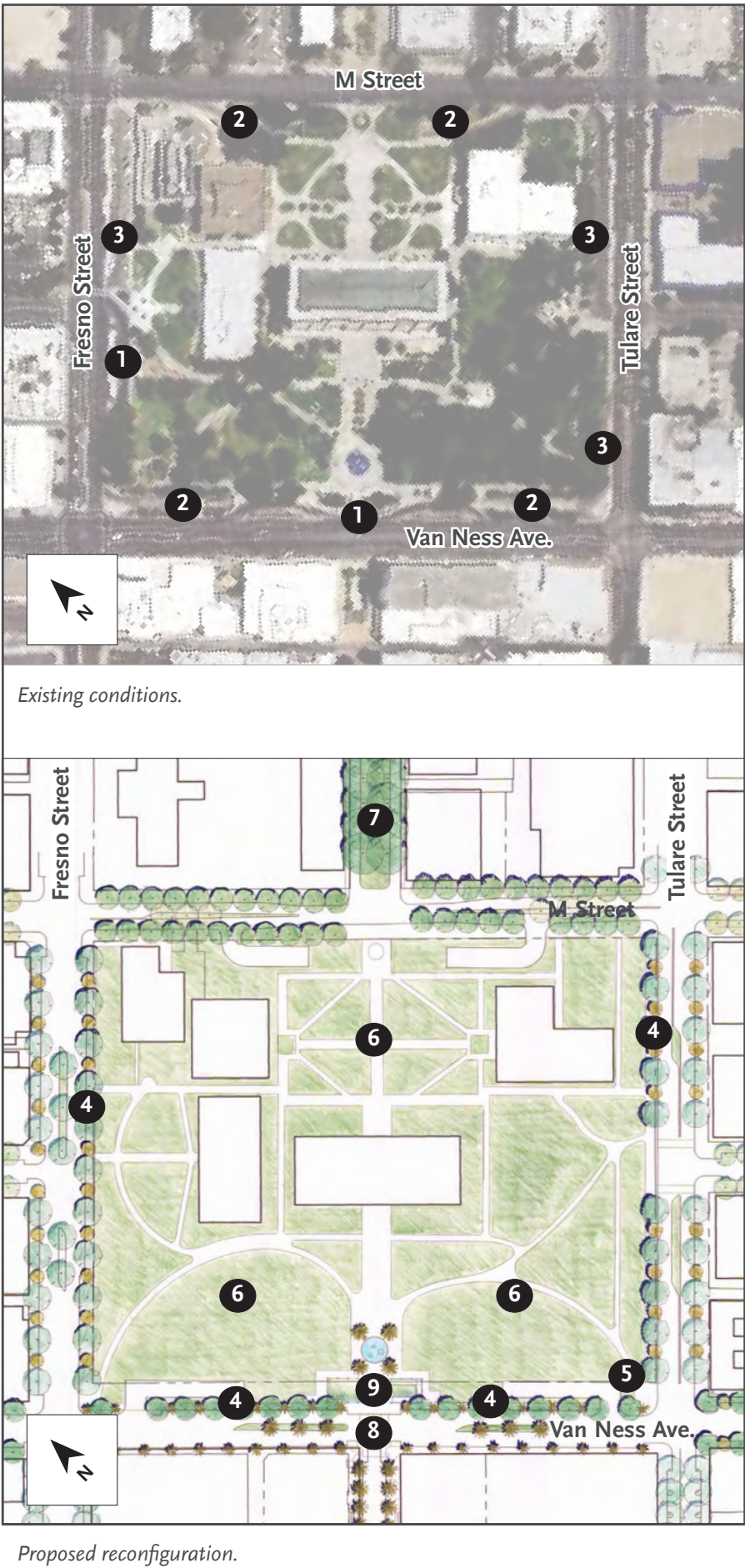


Hobbs-Parson Building (1903).

4. **Courthouse Park**, owned by the County of Fresno, is the largest green space within Downtown. Dedicated as open space during the late 1800's, Courthouse Park is the location of the County Courthouse and other County facilities. However, there are barriers along its edges that inhibit accessibility and views into the park. For example, access to Courthouse Park is hindered by the bus stop lanes along Van Ness Avenue and Fresno Street, as well as by the parking ramps that lead to and from the underground parking structure beneath the **RadissonDoubleTree** Hotel. These barriers could be removed in order to open up the park to surrounding streets, sidewalks, and buildings and create a more inviting environment for Downtown residents, workers, and visitors as shown in **Figure 8.3D** (Courthouse Park). Potential transformations, all of which must be pursued in coordination with the County of Fresno, include:

- Reconfiguring the Downtown Transit Center in order to improve visibility into Courthouse Park and enhance pedestrian connectivity;
- In conjunction, with the opening of HSR service, relocate the transit center to G Street near the proposed HSR station.
- Introducing a street level crossing at Van Ness Avenue and Mariposa Street that includes dual, high-visibility crosswalks, instead of requiring the use of the existing pedestrian underpass;
- Adjust the garage ramp entry at the corner of Van Ness Avenue and Tulare Street so it is accessible only from Van Ness Avenue, removing the drive lane that provide access from Tulare Street;
- Replacing the parking lots along Fresno and Tulare Streets with on-street parking;
- Introducing continuous sidewalks and street trees around Courthouse Park's entire perimeter including along the entire length of Van Ness Avenue;
- Updating Courthouse Park's landscape and hardscape by introducing enhanced paving, native landscapes, and providing filtered shade via landscape or architectural trellises/canopies; and
- Providing pedestrian lighting that continues along the Mariposa Street axis from M Street to Van Ness Avenue.

Figure 8.3D - Courthouse Park.



The vehicular lanes that provide access to the parking garage beneath the Holiday Inn hotel along Van Ness Avenue hamper pedestrian access to Courthouse Park.

- Key**
- 1 Transit Center
 - 2 Existing Subterranean Garage Entry/Exit
 - 3 Existing Parking Lot
 - 4 New Sidewalk and Street Trees
 - 5 Reconfigured Corner
 - 6 New Landscape and Hardscape
 - 7 Mariposa Street
 - 8 New Van Ness Avenue Pedestrian Surface Crossing
 - 9 Removed pedestrian underpass (long-term)

9.5 TRANSIT IMPROVEMENTS (Continued)

Figure 9.5A - Proposed Transit Plan

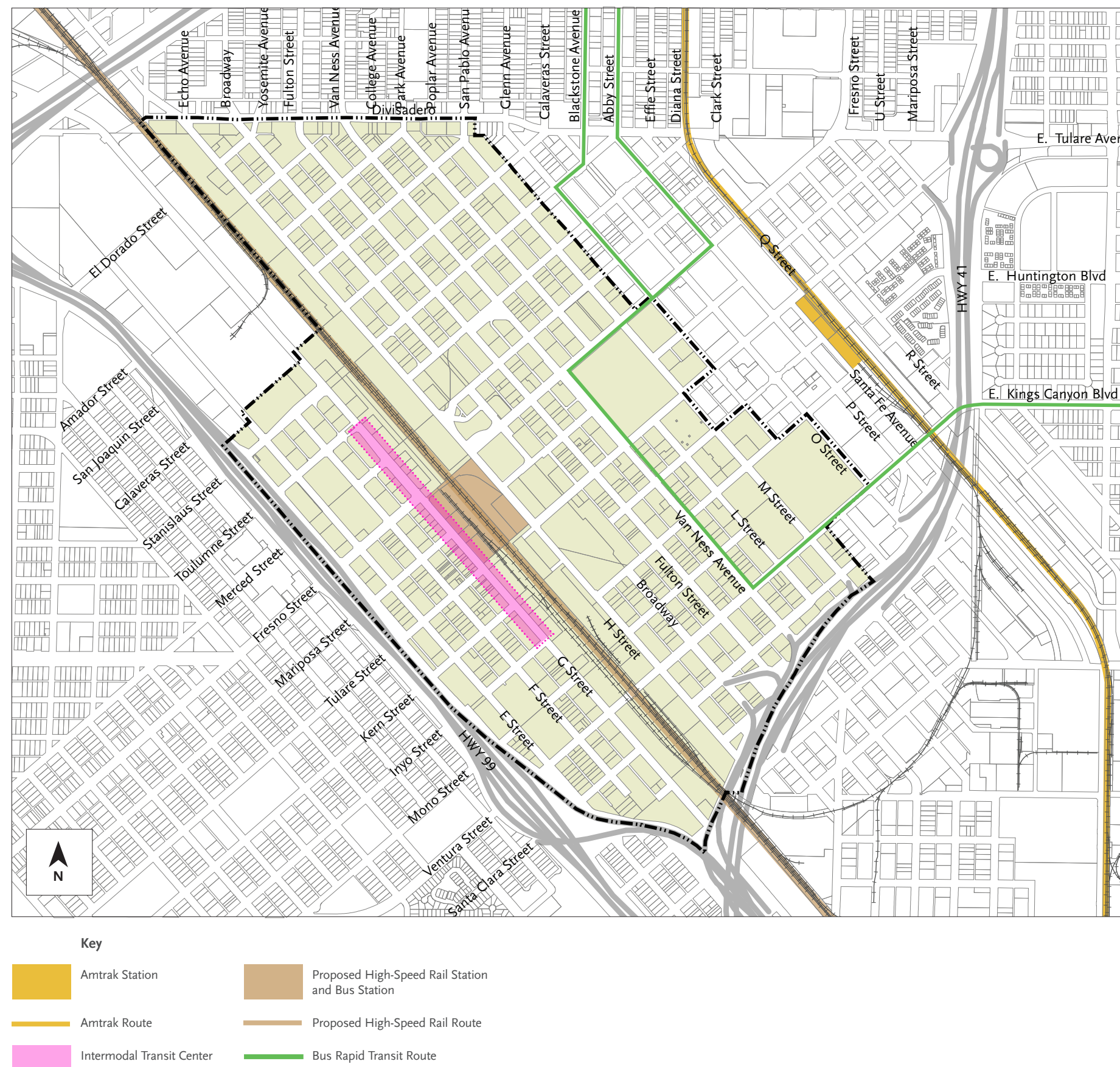


Exhibit D
DDC Redline

Amendments to Chapter 15 of the Fresno Municipal Code

Downtown Development Code

PUBLIC HEARING DRAFT

OCTOBER, 2016

Downtown and Mixed Use Districts



Residential Districts



Employment and Public Districts



INTRODUCTION TO THE DOWNTOWN DEVELOPMENT CODE

The Downtown Development Code is a form-based code. Form-based codes create an urban structure of centers, neighborhoods, and corridors and de-emphasize density in favor of standards for building form and streetscapes. Form-based codes recognize that uses may change over time, but the building and its physical environment will endure. In addition, a form-based code provides greater flexibility in the range of land uses that can occur in a building to make buildings sustainable and able to respond to changing economies. Finally, form-based codes recognize the high importance of public spaces in defining and creating a sense of place.

In October of 2012 a draft Downtown Development Code was released for public comment. This code was designed to implement the vision articulated by the draft Downtown Neighborhoods Community Plan and the Fulton Corridor Specific Plan, which were released at the same time. Following the public comment period, finalization of the Downtown plans and code were paused in order to allow the General Plan and Citywide Development Code to be completed and adopted first.

In the intervening period, the Citywide Development Code evolved into a comprehensive document, creating new zoning districts for every part of the city outside of Downtown and restructuring all terminology, procedures, and standards for land use and development. The Citywide Development Code was adopted on December 3, 2015, and on February 4, 2016 all land in the city, with the exception of Downtown, was rezoned to be consistent with that document. While this resulted in a much better Development Code for Fresno, the fact that the Citywide Development Code and the Draft Downtown Development Code stood apart as two separate documents created some redundancies and conflicts with the Draft Downtown Development Code.

The Downtown Development Code has thus been completely reformatted and reorganized to work in harmony with the Citywide Development Code. No longer a separate document, it will now be a part of the comprehensive Citywide Code. The Citywide Code includes provisions for procedures, subdivisions, non-conforming uses, etc. that will apply to the Downtown Planning Area and are not shown here because they



Development in Downtown will be dense, urban, and will promote a great pedestrian experience.



The character of Downtown neighborhoods will be preserved as high-quality infill projects are introduced.

are already in effect and will not change. The districts formerly known as CBD 1, CBD 2, Civic Center, Chinatown, Cultural Arts, and South Stadium/South Van Ness have been regrouped and renamed as Downtown Core, Downtown General, and Downtown Neighborhood for ease of use, and their regulations have been restructured and placed into the new Article 15 of the Citywide Development Code. The basic pattern of uses and building form, however, is the same.

All other areas covered by the previous version of the Downtown Development Code will be governed by zoning districts which were previously adopted with the Citywide Development Code, such as RS-3, RS-5, NMX, CMX, IL, IH, and PI as shown on the Downtown Development Code Zoning Map. These Citywide Code districts create similar patterns of urbanism that were to be created by districts in the previous version of the Downtown Development Code, and using them reduced a great deal of redundancy and potential confusion. Where an extra level of design controls were needed, overlay districts such as Neighborhood Revitalization and Urban Campus were created to ensure continuity with the vision for specific areas. Additionally, the earlier version of the Downtown Development Code was formatted in 11 x 17 inches, and this document has been reformatted to 8.5 x 11 inches, which matches the Citywide Development Code of which it will now be a part. Finally, all terminology and land use classifications were standardized to match the Citywide Code.

Please Note: In the following pages, text in blue italics will not be adopted as part of the code and is not regulatory; it is narrative that is intended to orient the reader and explain how sections of this document will be added to Chapter 15 of the Municipal Code. When an entirely new article or section is being added, all text is black for greater readability. When an existing section is being modified, all changes are in red, with insertions being underlined and deletions being struck through.

To get a complete understanding of how these new regulations fit into the broader regulatory framework, view the Citywide Development Code at www.fresno.gov/code.



Many major streets in the Downtown neighborhoods will be gradually transformed into walkable, mixed use corridors.



Under the guidance of the Urban Campus overlay district, Community Regional Medical Center can expand in a way that is complimentary to surrounding urban and residential areas.

Article 3 Rules of Measurement

Section 15-317 already exists within the Citywide Development Code for the purpose of determining frontage coverage. It is being revised for clarity.

Black text is presently in the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

No changes were proposed to this Article in the July 27 Public Review Draft. All changes shown are new and therefore are highlighted in yellow.

15-317 Determining Frontage Coverage

Frontage coverage is the portion of the primary enclosed ground floor linear building façade that is located within the area between the minimum and maximum front setback. The following exceptions shall apply:

- A. Sites with frontage on multiple streets may not be required to meet the frontage coverage requirement along the streets with the lowest functional classification or the least visual prominence, at the discretion of the Review Authority, except in districts in which a minimum frontage coverage for the side street is specified.
- B. Required side and rear setbacks and residential transition setbacks shall be excluded from this calculation.
- C. Public plazas, parks, pedestrian passages, alleys, and cross streets (public or private) shall be excluded from this calculation.

Article 15 Downtown Districts

When the Citywide Development Code was adopted in December of 2015, Article 15 was reserved for future use, site design, and façade design standards for the Downtown Districts. All of the following content is new and will be added to the Citywide Development Code to regulate the DTN, DTG, and DTC districts, which are all located within the area bounded by Divisadero, Highway 41, and Highway 99. All other areas covered by the Downtown Neighborhoods Community Plan will be governed by Base Districts which were previously adopted with the Citywide Development Code, such as RS-3, RS-5, NMX, CMX, IL, IH, and PI as shown on the Downtown Development Code Zoning Map.

Black text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-1501 Purpose

A. The purposes of the Downtown (DT) Districts are to:

1. Ensure that buildings, renovations, and additions are consistent with the goals of the Downtown Neighborhoods Community Plan (DCNP) and the Fulton Corridor Specific Plan (FCSP) for pedestrian-oriented streetscapes, building form, physical character, and quality.
2. Promote pedestrian-oriented infill development, intensification, and reuse of land consistent with the General Plan.
3. Develop a mixed-use Downtown with a vibrant concentration of goods and services, housing, community gathering spaces, and regionally-serving employment, cultural,



Downtown's streets will be vibrant, diverse, and attractive places.



This Code promotes pedestrian-oriented infill development, intensification, and reuse of land.

and entertainment offerings.

4. Transform Downtown's streets into vibrant, diverse, and attractive places that support a mix of pedestrian-oriented retail, office, and residential uses in order to achieve an active social environment within a revitalized streetscape.
5. Provide options which reduce the need for private automobile use to access shopping, services, and employment and minimize air pollution from vehicle miles traveled.
6. Offer additional housing opportunities for residents seeking to live in an urban environment.
7. Create a vibrant, unique Downtown that offers different kinds of experiences – business, dining, culture, and entertainment – for workers, residents, and visitors alike.
8. Establish Downtown development and design standards that will create a unified, yet distinctive, and attractive urban character that respects Fresno's past and serves the city for the long term.
9. Facilitate compact mixed-use development in key locations such as along Bus Rapid Transit (BRT) corridors and near Fresno's train stations.

B. Additional purposes of each Downtown District are as follows:

1. ***DTN Downtown Neighborhood.*** The DTN District will create lively, walkable, mixed-use urban neighborhoods surrounding the Downtown Core.
2. ***DTG Downtown General.*** The DTG District will support a high concentration of regional activity generators such as governmental buildings and convention centers within a pedestrian-oriented, mixed-use urban setting.
3. ***DTC Downtown Core.*** The DTC District will foster the enhancement of Fresno's business, shopping, and cultural heart by guiding the development of the densest, most active, and most interesting mixed-use urban center in the region.

C. **Activity Classifications.** Some standards, as specified in this article, shall apply based on the



Activity Class A streets feature ground floor retail, restaurant, and entertainment uses.



Activity Class B and C streets may feature ground floor residential units with stoops and porches, or storefront offices. On B streets ground floor retail is also allowed.

Activity Classification of the adjacent street, as shown in Figure 15-1501. The purposes of the Activity Classifications are as follows:

1. **Activity Class A.** Streets in Activity Class A have the greatest pedestrian activity or the greatest potential for pedestrian activity. Ground floor retail, restaurant, and entertainment uses are required as put forth in Table 15-1502.
2. **Activity Class B.** Streets in Activity Class B are walkable urban corridors with moderate pedestrian activity. As put forth in Table 15-1502, retail, restaurant, and entertainment uses are appropriate in these areas, but ground floor residential or office uses are also appropriate.
3. **Activity Class C.** Streets in Activity Class C are walkable and comfortable for pedestrians, but are not the most active streets within Downtown. Ground floor residential or office uses are appropriate, but retail uses should be small and restricted to corners as put forth in Table 15-1502.
4. **Corners.** When a project is located at the intersection of two streets with different

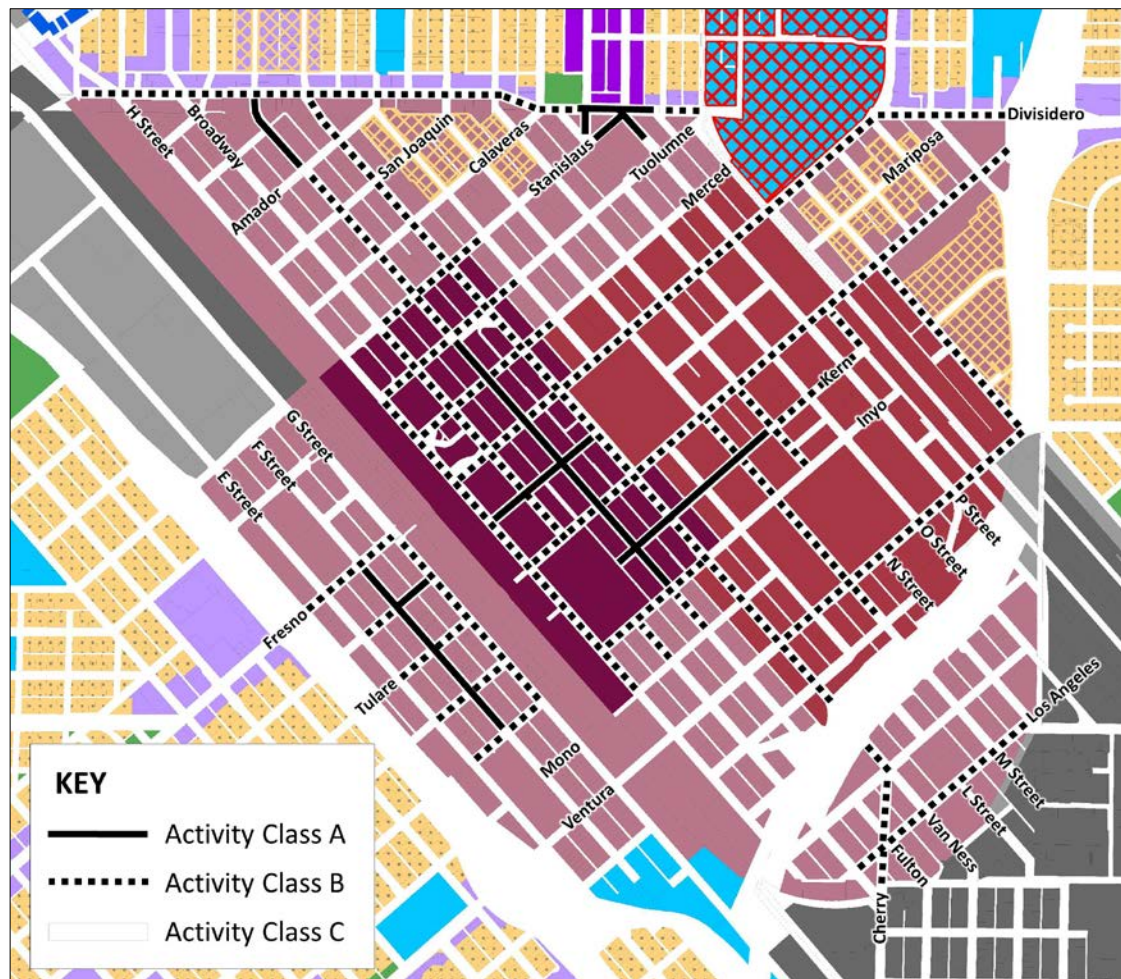


FIGURE 15-1501 ACTIVITY CLASSIFICATIONS

Activity Classifications, the requirements of the higher activity class shall wrap the corner and prevail over the lower order classification for a distance determined by the Review Authority.

15-1502 Use Regulations

- A. Table 15-1502 prescribes the proposed land use regulations for Downtown Districts. The regulations for the districts are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

“P” designates permitted uses.

“C” designates uses that are permitted after review and approval of a Conditional Use Permit.

“(#)” numbers in parentheses refer to specific limitations listed at the end of the table.

“–” designates uses that are not permitted.

- B. Land uses are defined in Article 67, Use Classifications.
- C. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character per Section 15-5020, Director’s Classification.
- D. All permitted uses are allowed either alone or in combination with other permitted uses unless otherwise stated in this Code.
- E. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are not permitted.
- F. The table also notes additional regulations that apply to various uses. Section numbers in the right hand column refer to other sections of this Code.

TABLE 15-1502: USE REGULATIONS—DOWNTOWN DISTRICTS										
	DTN			DTG			DTC			Additional Regulations
<div>Activity Class</div> <div>Use Classification</div>	A	B	C	A	B	C	A	B	C	See Figure 15-1501 for Activity Classifications Map
Residential Use Classifications										
Residential Housing Types										
Single-Unit Dwelling, Attached	–	P	P	–	P	P	–	–	–	
Second Dwelling Unit	–	P	P	–	P	P	–	–	–	§15-2754, Second Dwelling Units, Backyard Cottages, and Accessory Living Quarters
Duplex	–	P	P	–	P	P	–	P	P	
Multi-Unit Residential	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Adult Family Day Care										
Small (6 clients or less)	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Large (7 to 12 clients)	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Caretaker Residence	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Domestic Violence Residence	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Elderly and Long-Term Care	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Family Day Care										
Small (8 children or less)	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2725, Day Care Centers and Family Child Care Homes
Large (9 to 14 children)	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Group Residential										
Small (6 persons or less)	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Large (7 persons or more)	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Re-Entry Facility	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Residential Care Facilities										
Residential Care, General	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Residential Care, Limited	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Residential Care, Senior	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Single Room Occupancy	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2756, Single Room Occupancy Hotels and Boarding Homes
Public and Semi-Public Use Classifications										
Colleges and Trade Schools, Public or Private	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Community and Religious Assembly (less than 2,000 square feet)	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2719, Community and Religious Assembly Facilities
Community and Religious Assembly (2,000 square feet or more)	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Community Garden	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2720, Community Gardens / Urban Farms

TABLE 15-1502: USE REGULATIONS—DOWNTOWN DISTRICTS										
	<i>DTN</i>			<i>DTG</i>			<i>DTC</i>			<i>Additional Regulations</i>
<i>Activity Class</i> <i>Use Classification</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>See Figure 15-1501 for Activity Classifications Map</i>
Conference/Convention Facility	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Cultural Institutions	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Day Care Centers	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2725, Day Care Centers and Family Child Care Homes
Emergency Shelter	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2729, Emergency Shelters
Government Offices	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Hospitals and Clinics										
<i>Hospital</i>	–	C	C	–	C	C	–	C	C	
<i>Clinic</i>	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Instructional Services	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Park and Recreation Facilities, Public	P	P	P	P	P	P	P	P	P	
Parking, Public or Private	P	P	P	P	P	P	P	P	P	§15-1504-G, Parking Buffering; §15-1504-H, Parking Access and Entrance Design
Public Safety Facilities	–	P	P	–	P	P	–	P	P	
Schools, Public or Private	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Social Service Facilities	–	P	P	–	P	P	–	P	P	
Commercial Use Classifications										
Adult-Oriented Business	–	C	C	–	C	C	–	C	C	§15-2705, Adult-Oriented Businesses; §9-2001, Picture and Live Arcades
Animal Care, Sales and Services										
<i>Grooming and Pet Stores</i>	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	
<i>Veterinary Services</i>	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Artist's Studio	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Automobile/Vehicle Sales and Services										
<i>Automobile Rentals</i>	–	P(5)	P(5)	–	P(5)	P(5)	–	–	–	§15-2709, Automobile and Motorcycle Sales and Leasing
<i>Automobile/Vehicle Sales and Leasing</i>	–	P(5)	P(5)	–	P(5)	P(5)	–	–	–	
<i>Automobile/Vehicle Service and Repair, Minor</i>	–	P(5)	P(5)	–	P(5)	P(5)	–	–	–	§15-2710, Automobile/Vehicle Service and Repair, Major and Minor
<i>Service Station</i>	–	C(5)	C(5)	–	C(5)	C(5)	–	–	–	§15-2755, Service Stations
Banks and Financial Institutions										

TABLE 15-1502: USE REGULATIONS—DOWNTOWN DISTRICTS										
	DTN			DTG			DTC			Additional Regulations
<div>Activity Class</div> <div>Use Classification</div>	A	B	C	A	B	C	A	B	C	See Figure 15-1501 for Activity Classifications Map
Banks and Credit Unions	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Business Services	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Banquet Hall	P	P	P	P	P	P	P	P	P	§15-2712, Banquet Hall
Eating and Drinking Establishments										
Bars/Nightclubs/Lounges	P(3)	P(3)	P(4)	P(3)	P(3)	P(4)	P(3)	P(3)	P(4)	§15-2751, Restaurants with Alcohol Sales; Bars, Nightclubs, and Lounges; §15-2744, Outdoor Dining and Patio Areas
Restaurant, with Alcohol Sales	P(3)	P(3)	P(4)	P(3)	P(3)	P(4)	P(3)	P(3)	P(4)	
Restaurant, without Alcohol Sales	P(3)	P(3)	P(4)	P(3)	P(3)	P(4)	P(3)	P(3)	P(4)	
Entertainment and Recreation										
Cinema/Theaters	P	–	–	P	–	–	P	P	P	
Cyber/Internet Café	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	§15-2724, Cyber/Internet Cafés
Motorcycle/Riding Club	P(5)	P(5)	P(5)	P(5)	P(5)	P(5)	–	–	–	§15-2742, Motorcycle/Riding Clubs
Large-Scale	–	C	C	–	C	C	–	C	C	§15-2708, Arcades, Video Games, and Family Entertainment Centers
Small-Scale	P	P	P(4)	P	P	P(4)	P	P	P(4)	§15-2708, Arcades, Video Games, and Family Entertainment Centers; § 9-1801, Billiard Rooms
Food and Beverage Sales										
Farmer’s Markets	P	P	P	P	P	P	P	P	P	§15-2730, Farmer’s Markets
General Market	P	P	P	P	P	P	P	P	P	§15-2744, Outdoor Dining and Patio Areas; §15-2745, Outdoor Retail Sales
Healthy Food Grocer	P	P	P	P	P	P	P	P	P	
Liquor Stores	–	C(3)	C(3)	–	C(3)	C(3)	–	C(3)	C(3)	§15-2706, Alcohol Sales ; §15-2745, Outdoor Retail Sales
Food Preparation	–	P(1)	P(1)	–	P(1)	P(1)	–	–	–	
Funeral Parlors and Internment Services	–	P	P	–	P	P	–	–	–	§15-2714, Body Preparation and Funeral Services
Live/Work	P	P	P	P	P	P	P(1)	P	P	
Lodging										
Bed and Breakfast	P(1)	P	P	P(1)	P	P	P(1)	P	P	§15-2714, Bed and Breakfast Lodging
Hotels and Motels	P(1)	P	P	P(1)	P	P	P(1)	P	P	

TABLE 15-1502: USE REGULATIONS—DOWNTOWN DISTRICTS										
	<i>DTN</i>			<i>DTG</i>			<i>DTC</i>			<i>Additional Regulations</i>
<i>Activity Class</i> <i>Use Classification</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>See Figure 15-1501 for Activity Classifications Map</i>
Maintenance and Repair Services	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Offices										
<i>Business and Professional</i>	P(1)	P	P	P(1)	P	P	P(1)	P	P	
<i>Medical and Dental</i>	P(1)	P	P	P(1)	P	P	P(1)	P	P	
<i>Walk-In Clientele</i>	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Personal Services										
<i>General Personal Services</i>	P	P	P	P	P	P	P	P	P	
<i>Fortune Telling Service</i>	P	P	P	P	P	P	P	P	P	
<i>Massage Establishments</i>	P	P	P	P	P	P	P	P	P	
<i>Tattoo or Body Modification Parlor</i>	P	P	P	P	P	P	P	P	P	§15-2758, Tattoo or Body Modification Parlors
Retail Sales										
<i>Building Materials and Services</i>	–	P(5)	P(5)	–	P(5)	P(5)	–	–	–	§15-2745, Outdoor Retail Sales
<i>Convenience Retail</i>	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	§15-2745, Outdoor Retail Sales; 15-2761 Tobacco and Vapor Sales
<i>General Retail</i>	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	§15-2733, Hobby Stores; §15-2745, Outdoor Retail Sales
<i>Large-Format Retail</i>	–	–	–	–	–	–	P	P	P	§15-2737, Large-Format Retail; §15-2745, Outdoor Retail Sales
<i>Nurseries and Garden Centers</i>	P(7)	P(7)	P(7)	P(7)	P(7)	P(7)	P(7)	P(7)	P(7)	§15-2745, Outdoor Retail Sales
<i>Pawn Shops</i>	–	P	–	–	P	–	–	P	P	
<i>Second Hand / Thrift Stores</i>	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	P(2)	P(2)	P(4)	
<i>Swap Meet / Flea Market</i>	–	P	–	–	P	–	–	P	P	§15-2730, Flea Markets
Industrial Use Classifications										
Custom Manufacturing	P(1)	P	P	P(1)	P	P	P(1)	P	P	
Limited Industrial	–	P(1) (5)	P(5)	–	P(1) (5)	P(5)	–	–	–	
Recycling Facility										
<i>Reverse Vending Machine</i>	–	P	P	–	P	P	–	P	P	§15-2750, Recycling Facilities
Research and Development	–	P(5)	P(5)	–	P(5)	P(5)	–	–	–	
Warehousing, Storage, and Distribution										
<i>Personal Storage</i>	–	C(5)	C(5)	–	C(5)	C(5)	–	–	–	§2747, Personal (Mini) Storage

TABLE 15-1502: USE REGULATIONS—DOWNTOWN DISTRICTS										
	DTN			DTG			DTC			Additional Regulations
<div>Activity Class</div> <div>Use Classification</div>	A	B	C	A	B	C	A	B	C	See Figure 15-1501 for Activity Classifications Map
Transportation, Communication, and Utilities Use Classifications										
Communication Facilities										
Antenna and Transmission Towers	§15-2759, Telecommunications and Wireless Facilities									
Facilities within Buildings	–	C	C	–	C	C	–	C	C	
Light Fleet-Based Services	–	P(5)	P(5)	–	P(5)	P(5)	–	–	–	
Transportation Passenger Terminals	P	P	P	P	P	P	P	P	P	
Utilities, Major	–	C	C	–	C	C	–	C	C	
Utilities, Minor	–	C	C	–	C	C	–	C	C	
Agricultural and Extractive Use Classifications										
Produce Stand	P	P	P	P	P	P	P	P	P	§15-2752, Roadside Fruit Stands / Grower Stands
Tasting Room	P	P	P	P	P	P	P	P	P	
Urban Farm	–	P	P	–	P	P	–	P	P	§15-2720, Community Gardens / Urban Farms
Other Applicable Types										
Accessory Uses and Structures	§15-2703, Accessory Uses									
Animal Keeping	§15-2707, Animal Keeping									
Drive-In and Drive-Through Facilities	–	C(6)	C(6)	–	C(6)	C(6)	–	C(6)	C(6)	§15-2728, Drive-In and Drive-Through Facilities
Home Gardens	§15-2734, Home Gardens and Edible Landscaping									
Home Occupations	§15-2735, Home Occupations									
Nonconforming Use	Article 4, Nonconforming Uses, Structures, Site Features, and Lots									
Temporary Use	§15-2760, Temporary Uses									
Transitional and Supportive Housing	§15-2762, Transitional and Supportive Housing									
Walk-Up Facilities	§15-2766, Walk-Up Facilities									
Specific Limitations:										
<div><div>1.</div><div>Permitted only on upper floors and rear portions of the ground floor, no closer than 30 feet from a public street, public plaza, or park. Exception: Lobbies may occupy ground floor space adjacent to a public street, public plaza, or park. Lobbies may not occupy more than 25 feet of frontage.</div></div> <div><div>2.</div><div>Permitted only on ground floor. Prohibited on upper floors.</div></div> <div><div>3.</div><div>Permitted only on ground floor. Prohibited on upper floors. Exception: Also permitted on uppermost floors of buildings over 4 stories in height.</div></div> <div><div>4.</div><div>Permitted only on ground floor at intersection of two public streets. May not exceed 2,500 square feet in floor area.</div></div> <div><div>5.</div><div>Permitted south of Inyo Street only.</div></div> <div><div>6.</div><div>Not allowed between a building and a sidewalk.</div></div> <div><div>7.</div><div>Permitted if located entirely within a building. When located outdoors, permitted south of Inyo Street only.</div></div>										

15-1503 Density, Intensity, and Massing Development Standards

Table 15-1503 prescribes the density, intensity, and massing development standards for the Downtown Districts. Additional regulations are denoted in a right hand column. Section numbers in this column refer to other sections of the Code, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below correspond to the “#” column in the associated table. Drawings are for illustrative purposes and are not drawn to scale.



The Downtown Districts promote an urban massing of buildings that is similar to the area’s early development.



Storefront glazing and sidewalk-oriented entrances promote pedestrian comfort, convenience, and safety.

**TABLE 15-1503: BUILDING AND PARKING PLACEMENT AND BUILDING MASSING STANDARDS—
DOWNTOWN DISTRICTS**

<div style="display: flex; justify-content: space-around; align-items: flex-start;"> <div style="text-align: center;"> <p>Main Building Placement</p> <p>Allowed Building Placement</p> </div> <div style="text-align: center;"> <p>Parking Placement</p> <p>Allowed Parking Placement (shown: at-grade)</p> </div> <div style="text-align: center;"> <p>Building Size and Massing</p> </div> </div>					
<i>District</i>	<i>DTN</i>	<i>DTG</i>	<i>DTC</i>	<i>Additional Regulations</i>	<i>#</i>
Floor Area Ratio (min./max.)	No Limit	No Limit	No Limit		
Residential Density, du/ac (min./max.)	No Limit	No Limit	No Limit		
Setbacks (ft.)					
Front, Activity Class A (min./max.)	0/2	0/2	0/2	Figure 1504-A: Activity Classifications	①
Front, Activity Class B and C (min./max.)	0/10	0/10 (1)	0/10		
Interior Side (min.)	0	0	0	§15-313, Determining Setbacks and Yards, §15-1504-E, RS Transition Standards, and §15-1504-G, Parking Buffering	②
Street Side (min./max.)	0/10	0/10 (2)	0/10		③
Rear (min.)	0	0	0		④
Alley (min.)	0	0	0		⑤
Parking Buffering, from back of sidewalk or curb (min.)	30	30	30		
Front Street Minimum Frontage Coverage (%)	60	75	90	§15-317, Determining Frontage Coverage	⑥
Side Street Minimum Frontage Coverage (%)	50	50	50	§15-317, Determining Frontage Coverage	⑦
Corner Frontage (ft., measured from property corner)	30	50	75	§15-1504-F, Corner Frontage	⑧
Building Size and Massing					
Maximum Height (floors/ft.)	6/90	10/140	15/190	§15-1504-E, RS Transition Standards and §15-2012, Heights and Height Exceptions	⑨
Max. Tower Height (floors/ft.)	n/a	10/140	15/190		
Max. Base Height (floors/ft.)	6/90	6/90	6/90		⑩
Tower Length (ft.)	n/a	200	200		⑪

TABLE 15-1503: BUILDING AND PARKING PLACEMENT AND BUILDING MASSING STANDARDS— DOWNTOWN DISTRICTS					
<i>District</i>	<i>DTN</i>	<i>DTG</i>	<i>DTC</i>	<i>Additional Regulations</i>	<i>#</i>
Tower Width (ft.)	n/a	120	120		⑫
Minimum On-Site Open Space (% of Lot Area)	10	8	5	§15-1504-I, On-Site Open Space	
Specific Limitations:					
1. Front setback along Mariposa Street between M Street and P Street (min./max.): 10/18 ft.					
2. Street Side setback along Mariposa Street between M Street and P Street (min./max.): 10/15 ft.					

15-1504 Site Design Development Standards

- A. **Active Uses Adjacent to Sidewalks.** In order to promote activity on all sidewalks, and to focus the highest activity levels in the most beneficial areas, the following standards shall apply to all ground-floor building space located within 30 feet of a public street:
1. **Activity Classifications.** Uses shall be Permitted, Conditionally Permitted, or Prohibited based on the adjacent street's activity classification as identified in Figure 1501 and Table 15-1502.
 2. **Active to Inactive Space Ratio.**
 - a. **Activity Class A.** No less than 90 percent of the length of building frontage along public streets shall be designed to be occupied by active spaces, such as lobbies, dining areas, living areas, and sales floors. The remaining 10 percent may consist of inactive spaces, such as kitchens, hallways, utility rooms, storage, emergency exits, display cases, etc.
 - b. **Activity Class B and C.** No less than 60 percent of the length building frontage along public streets shall be designed to be occupied by active spaces, such as lobbies, dining areas, living areas, and sales floors. The remaining 40 percent may consist of inactive spaces, such as kitchens, hallways, utility rooms, storage, emergency exits, display cases, etc.
 - c. **Sites with Multiple Frontages.** The street of highest pedestrian importance, as determined by the Review Authority, shall comply with subparagraphs a and b above. Other street frontages may provide reduced active spaces as determined by the Review Authority.
- B. **Mixed-Use Configurations.** Buildings shall be designed to minimize the potential conflicts between residential and non-residential uses adjacent to one another or within the same building to the satisfaction of the Review Authority. Potential techniques include:
1. Sound attenuation/transmission requirements of the California Building Code;
 2. Distinct entries for non-residential and residential suites/units;
 3. Ventilation of ground floor uses so as not to disrupt upper floor tenants.

C. **Required Minimum Height.**

1. Required minimum heights are applicable only in the DTC District as put forth by the following diagram.



FIGURE 1504-C: REQUIRED MINIMUM HEIGHTS

2. New structures shall meet both the minimum number of floors and the minimum height in feet. No more than the front 30 feet of lot depth, measured from all streets on which the project has frontage, shall be subject to Required Minimum Height regulations.
3. Existing structures which are remodeled or otherwise modified shall not be required to comply with Required Minimum Height regulations unless the gross floor area is increased by more than 100 percent.
4. Additions to designated historic resources shall not be required to comply with Required Minimum Height regulations.
5. Portions of the building that are not part of the primary building mass, such as entrance porticos, bays and stoops, are not required to meet minimum height requirements. Parking podiums, garages, and accessory buildings are not required to meet minimum height requirements.

- D. **Special Noise Standards.** Within the portion of the DTN District that is south of Inyo Street, the following special noise standards apply.

1. ***Stationary Noise Standards.*** This area is exempted from Subsection 15-2605-D. The following maximum noise levels in Table 15-1504-D apply.

TABLE 15-1504-D: MAXIMUM NOISE EXPOSURE LEVELS FOR SOUTH OF INYO STREET		
	<i>Daytime 7am - 10pm</i>	<i>Nighttime 10pm - 7am</i>
Maximum Sound Level (Lmax), dBA	70	60

2. ***Residential Uses.*** New residential development shall anticipate maximum allowable noise levels and provide noise protection to maintain an interior noise level at 45 Leq, dB or lower.
- E. **RS Transition Standards.** Where a DT district abuts an RS District, the following standards apply:
1. ***Height.*** The maximum height within 40 feet of an RS District is limited to 30 feet. The maximum height within 100 feet of an RS District is 40 feet.
 2. ***Setbacks.*** The following additional setback requirements shall be applied to all structures, including accessory structures, on parcels which are adjacent to an RS District:
 - a. ***Front and Street Side Yard.*** The front setback shall not be less than the required front yard on the abutting RS District lot within 50 feet of the RS District.
 - b. ***Interior Side and Rear.*** The interior side and rear setback abutting an RS District boundary shall be 20 feet.
 3. ***Landscape.*** See Section 15-2305, Areas to be Landscaped.

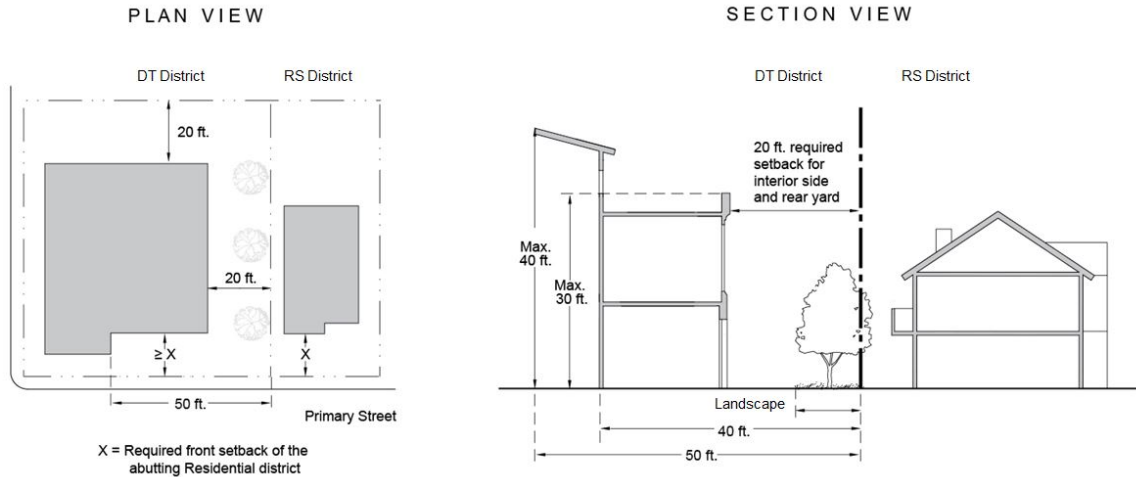


FIGURE 15-1504-E: RS TRANSITION STANDARDS—DT DISTRICTS

- F. **Corner Frontage.** Buildings on corner lots must be located within a minimum of five feet of the back of the sidewalk for the minimum length specified in Table 15-1503. **As determined by** the Review Authority, plazas maybe located at the street corner provided the plaza meets the requirements of Section 15-1504–I.1.c and buildings are built to the edge of the plaza.

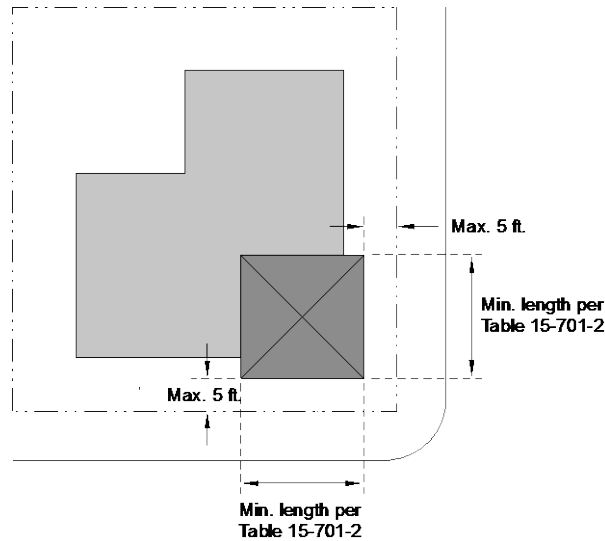


FIGURE 15-1504-F: CORNER FRONTAGE STANDARDS

- G. **Parking Buffering.** All parking facilities, whether public or private, shall be buffered as shown on Table 15-1503 based on the adjacent street activity classification as shown in Figure 15-1501 and the physical form of the parking as provided below:

1. ***Activity Class A.***

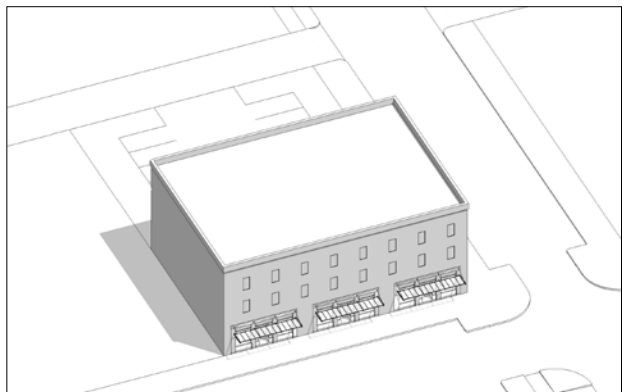
- a. *Surface Parking and Tuck-Under Parking.* Surface and tuck-under (one row of surface parking with building area over it) parking must be located entirely behind a building space which is occupied by a permitted use or uses, which conforms to all applicable development standards, and which is no less than 30 feet deep. Accessory structures, sheds, parking attendant booths, and other such buildings shall not satisfy this requirement.
- b. *Above Grade Structured Parking.* All above grade levels of the parking structure must be located behind active, occupied building space for a depth of no less than 30 feet.
- c. *Partially Submerged Podium Parking.* Parking that is partially below the street grade must be located behind active, occupied space for a depth of no less than 30 feet.
- d. *Underground Parking.* Parking that is fully underground and below the street grade may extend from lot line to lot line

2. ***Activity Class B.***

- a. *Surface Parking and Tuck-Under Parking.* Surface and tuck-under parking (one row of surface parking with building area over it) must be located entirely behind a building space which is occupied by a permitted use or uses, which conforms to all applicable development standards, and which is no less than 30 feet deep. Accessory structures, sheds, parking attendant booths, and other such buildings shall not satisfy this requirement.
- b. *Above Grade Structured Parking.* The ground floor of the parking structure must be located behind active, occupied building space for a depth of no less than 30 feet. Upper floors of the parking structure are not required to be located behind non-parking uses or to be set back more than is required by the building setbacks.
- c. *Partially Submerged Podium Parking.* Parking that is partially below the street grade shall be buffered in the same manner as above grade structured parking; however it will not be subject to a buffering requirement if the following conditions are met:



Buffering all levels of structured parking on Activity Class A and B streets balances parking and placemaking goals.



On Activity Class A and B streets, surface parking must be set back from the street and located behind a building.

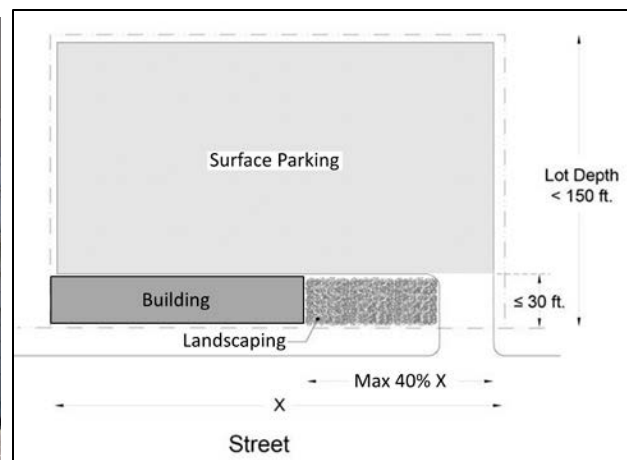
- i. No more than four feet of the partially submerged parking podium may extend above the street grade.
- ii. The partially submerged parking podium shall be screened along street facing elevations by foundation plant materials. Gates need not be screened.
- d. *Underground Parking.* Parking that is fully underground and below the street grade may extend from lot line to lot line

3. ***Activity Class C.***

- a. *Surface Parking and Tuck-Under Parking.* Surface and tuck-under parking (one row of surface parking with building area over it) shall be set back no less than 30 feet. For no less than 60 percent of the length the lot frontage along public streets, surface parking must be located behind a building space which is occupied by a permitted use or uses and which conforms to all applicable development standards and which is no less than 30 feet deep. Accessory structures, sheds, parking attendant booths, and other such buildings shall not satisfy this requirement. For the remainder of the lot frontage, the setback may be landscaped, a public plaza, an outdoor dining area, or similar treatment as determined by the Review Authority.
- b. *Above Grade Structured Parking.* The ground floor of the parking structure must be located behind active, occupied building space for a depth of no less than 30 feet. Upper floors of the parking structure are not required to be located behind non-parking uses or to be set back more than is required by the building setbacks.
- c. *Partially Submerged Podium Parking.* Parking that is partially below the street grade shall be buffered in the same manner as above grade structured parking, however it will not be subject to a buffering requirement if the following



On Activity Class C streets, only the ground floor or above grade structured parking must be buffered with active uses.



On Activity Class C streets, most surface parking must be behind a building, but some may be behind landscaping.

conditions are met:

- i. No more than four feet of the partially submerged parking podium may extend above the street grade.
- ii. The partially submerged parking podium shall be screened along street facing elevations by foundation plant materials. Gates need not be screened.
- d. *Underground Parking.* Parking that is fully underground and below the street grade may extend from lot line to lot line
- 4. ***Sites with Multiple Frontages.*** Building frontage along the street(s) of highest pedestrian importance, as determined by the Review Authority, shall comply with applicable subsections 1, 2, and/or 3 above. Along the street of lowest pedestrian importance, frontages may provide reduced buffering if a satisfactory pedestrian environment is maintained, as determined by the Review Authority.

H. **Parking Access and Entrance Design.** The following standards shall apply to vehicular access to off-street parking areas:

- 1. ***Access.***
 - a. *Lots with Alley Access.* Service areas shall be accessed through the alley, and access from a street shall not be permitted. For the redevelopment of sites with existing curb cut access from a street, the access shall be taken from the alley and the curb cut on the street shall be removed.
 - b. *Corner Lots without Alley Access.* Service areas shall be accessed from the street with the lowest Activity Classification per Figure 15-1501. If all adjacent streets have the same Activity Classification, the parking and service areas shall be accessed from the street with the least potential for pedestrian activity as determined by the Review Authority.
 - c. *Interior Lots without Alley Access.* Service areas may be accessed from the street.
- 2. ***Entrance Design.*** Private parking garage entrance openings shall be composed as an integral part of the building facade and shall be designed as doorways secured by gates or doors and scaled in proportion to the overall form of the building.

I. On-Site Open Space.

1. ***Minimum Open Space Required.*** On-site open space shall be required for projects with more than four dwelling units. The minimum amount of on-site open space required shall be based on the size of the lot, as shown in Table 15-1503. This requirement may be met through a combination of private open space, common open space, or public plazas as follows:
 - a. ***Private Open Space Requirements.*** Private open spaces are those which are attached to a dwelling unit and are available only for the private use of the residents of the dwelling unit, such as balconies, porches, and patios. No fewer than 50 percent of the dwelling units on a site shall have a private open space. The following standards shall apply to private open space:
 - i. The minimum dimension of any private open space shall be five feet.
 - ii. The minimum area of any private open space shall be 50 square feet.
 - iii. When located within 30 feet of a public street and located on the ground floor, private open spaces shall follow the requirements for Porches as put forth in Table 15-1505-E-2.
 - iv. When located within 30 feet of a public street and located above the ground floor, private open spaces shall follow the requirements for Balconies as put forth in Table 15-1505-F.
 - b. ***Common Open Space Requirements.*** Common open spaces are those which are available for active or passive use by all tenants, but use by the general public may be restricted. To the extent that common open space is provided, the following standards shall apply:
 - i. The minimum dimension of any common open space shall be 20 feet.
 - ii. The minimum area of any common open space shall be 1,000 square feet. The calculation of the common open space area shall exclude structures which are unusable as open space, but shall include structures that enhance its usability, such as swimming pools, changing facilities, fountains, planters, benches, and landscaping.
 - iii. For sites greater than one acre in size, a minimum of 40 percent of the required common open space shall be developed with gardens, play fields, hard-surfaced game courts, recreation rooms, swimming pools, or other features designed for the active recreational use of residents of the development.
 - iv. Common open space may be located at grade, on rooftops, on top of parking podiums, or any other such location that is accessible to tenants. Common open space may not be located within required setbacks or parking areas.

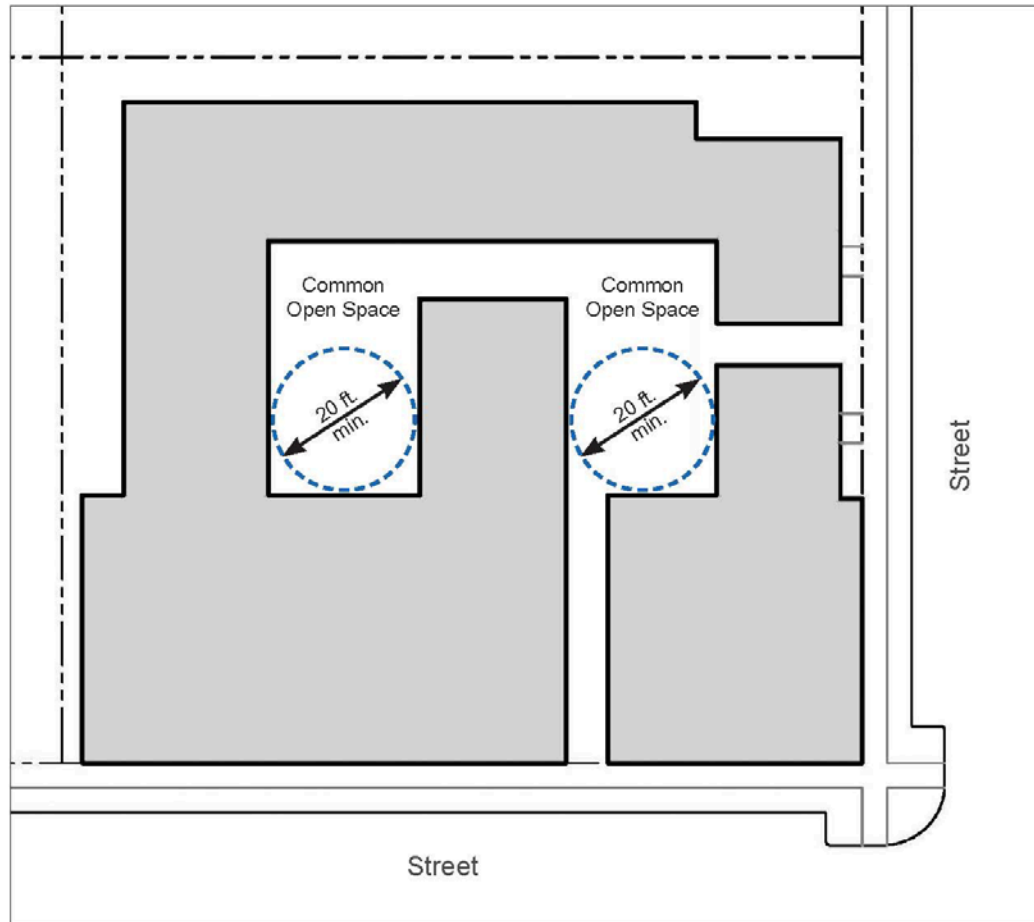


FIGURE 15-1504-I.1.B: MINIMUM REQUIRED COMMON OPEN SPACE DIMENSION

- c. *Public Plaza Requirements.* Public plazas are those which are available for use by the general public, as well as tenants of the project. To the extent that public plazas are provided, the following standards shall apply:
- i. The minimum dimension of any public plaza shall be 20 feet.
 - ii. The minimum area of any public plaza shall be 500 square feet. The calculation of the public plaza area shall exclude structures which are unusable as open space, but shall include structures that enhance its usability, such as fountains, planters, benches, and landscaping.
 - iii. Public plazas shall include benches or other seating, and paving shall be of high-quality materials. Amenities provided shall enhance the comfort, aesthetics, or usability of the space and include, but not be limited to, trees and other landscaping, shade structures, drinking fountains, water features, public art, or performance areas. Landscaping or other aspects of the design shall not discourage the use of the space by the general public, except in conjunction with an outdoor dining area for an adjacent restaurant or other Eating and Drinking Establishment.
 - iv. Public plazas shall be fully accessible from the public right-of-way, shall be located in front of project buildings and shall not be located where public views into the space are obstructed by buildings or other structures.
 - v. Public plazas may be located within required front setbacks.
 - vi. A public access easement shall be provided for the space.
 - vii. Building walls and façades which face a Public Plaza shall be regulated in the same manner as a street-facing façade. Permitted uses along the Public Plaza frontage shall be based on the Activity Classification of the nearest street.

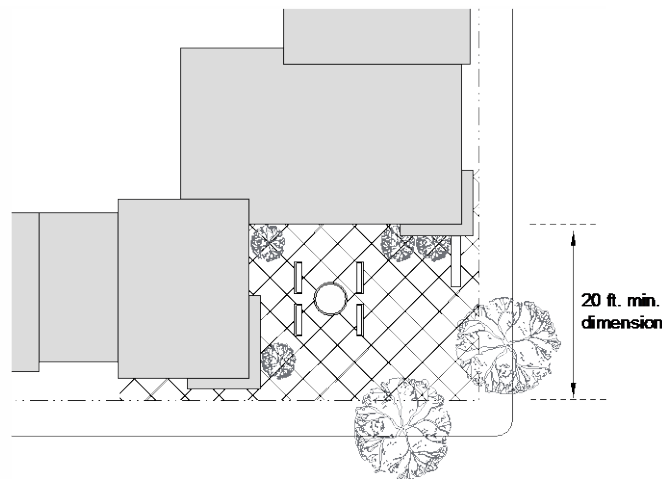


FIGURE 15-1504-I.1.C: MINIMUM REQUIRED PUBLIC PLAZA DIMENSION

2. ***Minimum Open Space Reduction.*** The minimum amount of open space required shall be reduced by 25 percent in the following circumstances:
- a. Any portion of the lot is located within 400 feet of a transit stop with regular, scheduled service during the weekday hours of 7:00 a.m. to 9:00 a.m. and 5:00 p.m. to 7:00 p.m.
 - b. There is a public park within 400 feet of the site, and
 - i. Said park is located on the same side of the street and provides an improved pedestrian path to and from the site; or
 - ii. The public park is across a local street and the site provides an improved pedestrian path to and from the site.
 - c. The parcel is 15,000 square feet or less in area.

J. **Pedestrian Access.** On-site pedestrian circulation and access must be provided according to the California Building Code and the following standards. Along all public streets, public plazas, and parks, pedestrian entrances from the public sidewalk into structures and/or the site shall be provided as follows:

1. ***Residential Unit Sidewalk Connections.*** Direct entrances from the sidewalk into individual ground-floor dwelling units which are adjacent to streets shall be provided at a rate of no less than one per 50 feet of linear street frontage. Such entrances shall be accessed through a permitted frontage per Table 15-1505-E-2.
2. ***Commercial Sidewalk Connections.*** Direct entrances from the sidewalk into ground-floor commercial establishments which are adjacent to streets shall be provided at a rate of no less than one per 50 feet of linear street frontage. When establishments with a greater length occupy a site, they shall be set back and wrapped with smaller spaces that will satisfy this requirement. See Figure 15-1504-J.1.c.
3. ***Common Area Sidewalk Connections.*** Residential and commercial areas which aren't directly accessed from the sidewalk as put forth in items 1 and 2 above shall be accessed by a common entrance from the sidewalk into lobbies or internal pedestrian paths.
4. Emergency exits, entrances into utility rooms, and other such features shall not count toward to the satisfaction of this requirement.
5. ***Pedestrian Access Design.***
 - a. If there is a yard between the sidewalk and the building, a paved path six feet in width shall be provided from the public sidewalk to the entrance.
 - b. Entry doors shall not swing out to the sidewalk unless the door when fully open does not encroach into the sidewalk.
 - c. Handrails or other such improvements shall not block visibility of the building entry or direct access from the sidewalk.



Orienting pedestrian entrances to the sidewalk is an essential ingredient of Downtown revitalization.



Direct entrances into individual ground-floor residential units ensure pedestrian comfort on less active streets.

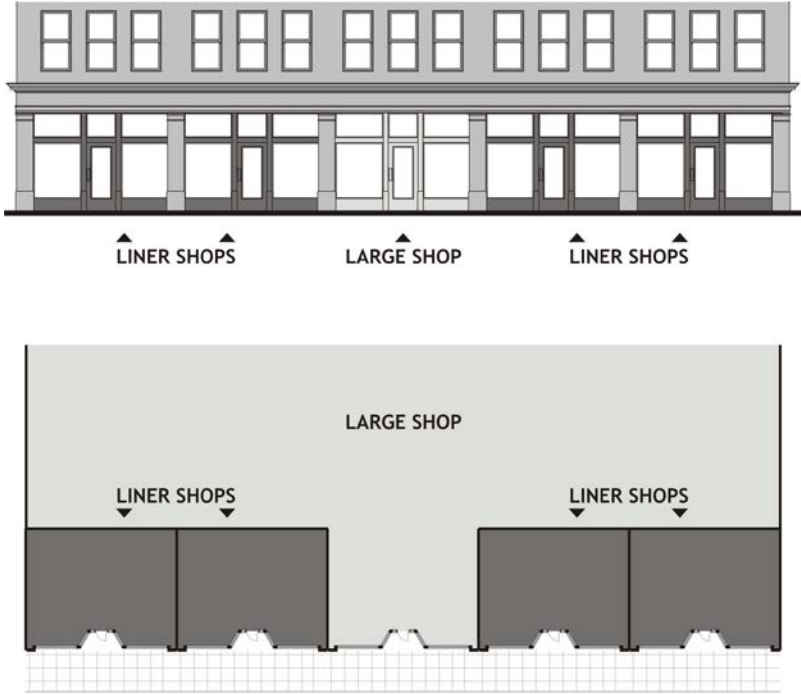


FIGURE 1504-J.1.C: WRAPPING OF LARGE USES



Retail uses along the ground floor of the Warner's Theater conceal the large, windowless auditorium.



Large department stores can be wrapped with smaller shops, as with the Macy's at River Park.

K. Sidewalk and Public Frontage Standards.

1. *Applicability.*

- a. Notwithstanding Chapter 13, Section 208 of the Municipal Code, all projects shall be required to bring adjacent sidewalk conditions into conformance with the standards of this section, subject to the following exceptions:
 - i. Applications for signs only.
 - ii. Additions, remodels, or tenant improvements of less than 50 percent of the current value of the property.
 - iii. Accessory structures less than 1,000 square feet in size.
- b. New development that is below the thresholds noted in item 'a', above, shall replace and maintain missing and/or dead street trees and any other missing or dead landscaping in the public frontage (public right-of-way).
- c. In no case shall an existing sidewalk, or portion thereof, be vacated, even if the minimum width required in the applicable Public Frontage Type is less than the existing sidewalk.
- d. When a public frontage of the subject property is improved to meet the applicable requirements of this section and the adjacent property does not physically align with the new improvement, the improvement shall be designed to the satisfaction of the Review Authority to result in a safe and smooth transition between properties.

2. *Public Frontage Types.* Required sidewalks shall be provided and designed as follows:



Public frontage is an indispensable component of comfortable, safe, and convenient pedestrian experience.



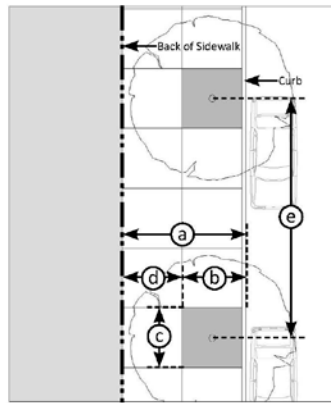
Appealing public frontage enhances commercial viability, sociability, and civic pride.

TABLE 15-1504-K-2: PUBLIC FRONTAGE TYPES—DOWNTOWN DISTRICTS**A. Sidewalk with Tree Wells**

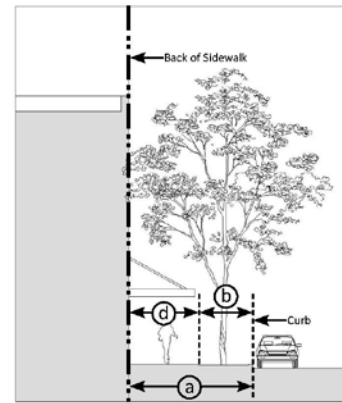
1. **Applicable Locations:** Adjacent to mixed-use or non-residential projects.

2. **Basic Standards**

- (a) Total Sidewalk Width: 12 ft. min.
- (b) Well Width: 5 ft. min.
- (c) Well Depth: 5 ft. min.
- (d) Clear Walkway Width: 7 ft. min.
- (e) Tree Spacing: 20 ft. min, 40 ft. max.



Plan



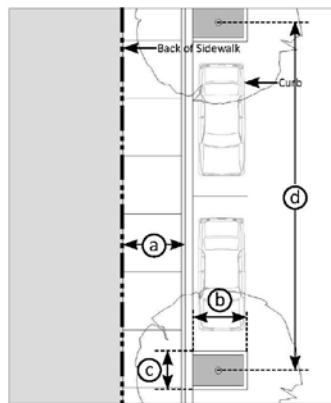
Section

B. In-Street Tree Planter

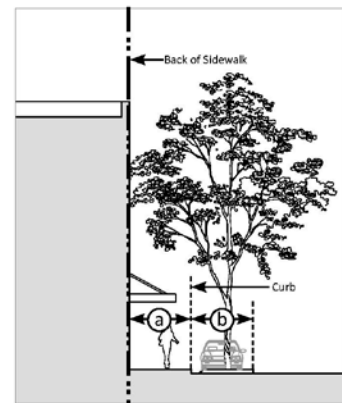
1. **Applicable Locations:** Areas with narrow sidewalk conditions.

2. **Basic Standards**

- (a) Total Sidewalk Width: Less than 12 ft.
- (b) Well Width: 6 ft. min.
- (c) Well Depth: 4 ft. min.
- (d) Tree Spacing: between every two parallel parking spaces or between every five angled or perpendicular spaces (approximately 40 to 50 feet apart)



Plan



Section

3. **Other Standards**

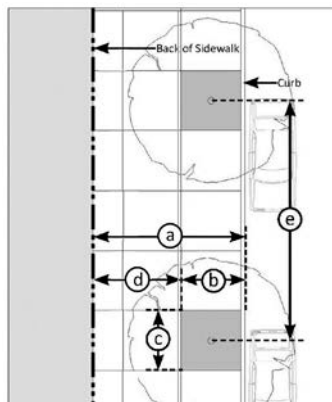
- a. Where the existing sidewalk is located immediately adjacent to the curb and where the distance between the curb and the R.O.W. line is too narrow to accommodate both a sidewalk and a parkway strip or tree well, tree planters may be introduced in the parking lane to maximize pedestrian space while providing shade and greenery **as determined by** the Review Authority.
- b. Planters should be placed outside of the gutter to avoid interference with drainage. Planter dimensions shall be least 6 feet by 4 feet with curbs provided on all four sides of the planter, although the side facing the sidewalk may be curbless to permit stormwater to drain into the planter.
- c. Planters must contain street trees and may be landscaped or covered with metal tree grates.

C. Raised Sidewalk

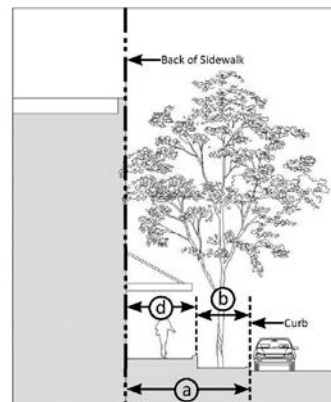
1. **Applicable Locations:** Projects with ground floor commercial uses on sites which must be raised due to potential flooding issues.

2. **Basic Standards**

- (a) Total Sidewalk Width: 12 ft. min.
- (b) Lower Walkway/Well Width: 5 ft. min.
- (c) Well Depth: 5 ft. min.
- (d) Raised Walkway Width: 7 ft. min.
- (e) Tree Spacing: 20 ft. min, 40 ft. max.



Plan



Section

3. **Other Standards**

- a. The walkway nearest to the building shall be raised to match the level of the finished floor of the first story so that it is flush with entrances into commercial spaces.
- b. The upper walkway shall be buffered from the lower walkway with a curb, hedge, raised planter, or other method as determined by the Review Authority.
- c. Steps from the lower walkway to the upper walkway shall be provided every 100 feet or less **as determined by** the Review Authority.
- d. At block corners the raised walkway shall, via a straight ramp, drop to meet the level of the lower walkway.
- e. This sidewalk design shall only be used if the Fresno Metropolitan Flood Control District or other public agency mandates that the lot be raised above the existing sidewalk level due to potential flooding issues and when authorized by the Review Authority.



A raised sidewalk can allow for proper urban retail frontage, while still mitigating flood risk.



In-street tree planters can provide shade and beauty while maximizing the pedestrian walkway in areas with space constraints.

3. ***Sidewalk Width.*** Sidewalks shall be no less than 12 feet in width. If the current distance between the right-of-way boundary and the face of the adjacent curb is less than 12 feet, the method by which this requirement shall be satisfied shall be determined by the Review Authority. The available methods shall be as follows:
 - a. ***Set Back.*** The building may be set back from the right-of-way boundary the distance that is necessary to achieve the required sidewalk width. The portion of the sidewalk which lies within the private parcel shall be guaranteed for public access by the enactment of a pedestrian easement.
 - b. ***Reconstruction.*** The applicant may demolish and reconstruct the sidewalk for the entirety of the block frontage(s) which the project occupies to the extent necessary to satisfy the requirements of this section.
 - c. ***Parklet.*** The sidewalk may be expanded into the roadway by a metal or wood deck which does not interfere with the drainage of the street. In such instances the applicant shall enter into an encroachment agreement with the City in which the applicant accepts full responsibility for the maintenance and repair of the parklet, as well as providing the indemnification and insurance as required by the City's Risk Manager. The design of the parklet shall be attractive and compatible with its surroundings, as determined by the Director.
 - d. ***Width Exemption.*** For unusually challenging site conditions, or in instances in which the existing building and sidewalk pattern warrants it, the Director may exempt the applicant providing the full sidewalk width required above. Examples include instances in which setting the building back would cause a break in a uniform row of aligned facades, and moving the curb or adding a parklet would interfere with important roadway improvements such as a bike lane. In such instances all other sidewalk requirements, such as for trees and lighting, shall be met. When a narrow sidewalk is exempted from the width requirement, the standards of the In-Street Tree Planter Public Frontage Type shall be followed if the design of the adjacent roadway permits, at the discretion of the Director.

L. Block, Street, and Alley Standards.

1. ***Maximum Block Length.*** No block shall exceed 400 feet in length. For the purposes of this section, block length shall be measured along a street frontage from an intersecting street to the next intersecting street. Such measurements shall not begin nor end at an alley.
2. ***Design of New and Modified Streets.*** New streets and modifications to existing streets shall be designed in conformance with the Fulton Corridor Specific Plan (FCSP). Designs may deviate from the FCSP if necessitated by site constraints, at the discretion of the Director.
3. ***Vacation of Existing Streets and Alleys.*** Existing streets and alleys shall not be removed or vacated, except for street or alley fragments that no longer connect to adjacent streets or provide access to adjacent properties. Such fragments may be

vacated with Director approval, provided that such vacation will not result in a block which exceeds 400 feet in length.

15-1505 Façade Design Development Standards

A. Building Articulation and Massing.

1. ***Building Length Articulation.*** All building facades over 50 feet in length which face a street, public plaza, or park shall be designed with a minimum of two of the following façade articulation strategies:
 - a. *Material Articulation.* Utilize different materials to divide building façades into vertical and/or horizontal increments.
 - b. *Structural Expression.* Express building bays, structural elements such as columns and/or beams, or underlying structural elements with pilasters and lintels that project several inches from the façade and/or are clad in a different material from the façade.
 - c. *Horizontal Articulation.* Setback a portion of the street-facing façade a minimum of two feet for a minimum distance of 25 feet.
 - d. *Architectural Projections.* Append or project façade elements such as balconies, bay windows, cantilevered rooms, and/or awnings.
 - e. *Architectural Recessions.* Recess architectural elements or spaces – such as recessed porches, covered passages, recessed balconies, and windows – into the plane of the façade.
2. ***Building Height Articulation.*** In order to maintain a human scale for multi-story buildings, the height of façades which face a street, public plaza, or park shall be broken into smaller increments as follows:
 - a. *Ground Floors.* A substantial horizontal articulation of the façade shall be applied at the top of the first story. On buildings of five stories or taller, this articulation may be applied at the top of the second story. This element shall be no less than 18 inches tall, and shall project no less than four inches from the adjacent wall plane. It shall be designed as a cornice, belt course, or other such architectural element which is appropriate to the style of the building.
 - b. *Top Floor.* Buildings or portions of buildings which are four stories in height or taller shall also provide articulation for the top story of the building. This can be accomplished by a color change, material change, a cornice/belt course at the bottom of the uppermost story, or by stepping the uppermost story back at least five feet. On buildings of 8 stories or taller, this articulation may be applied to the top two stories.
 - c. *Ground Floor/Upper Floor Differentiation.* Ground floor facades shall be distinct from upper floors through the use or finish of materials, colors, window sizes, or architectural details.
 - d. *Exception.* Civic and Cultural buildings located in the Downtown General (DTG) District may be excepted as determined by the Review Authority.

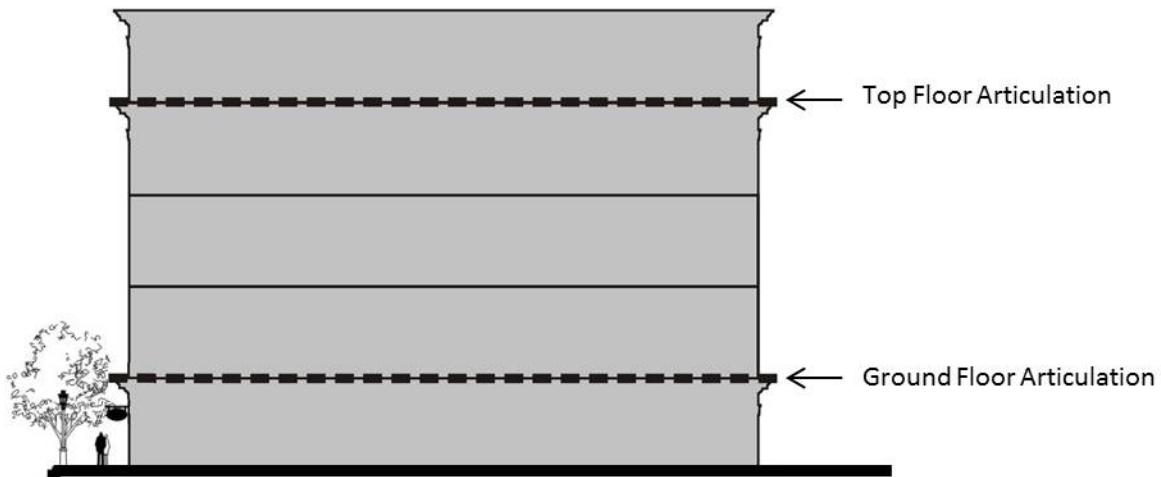
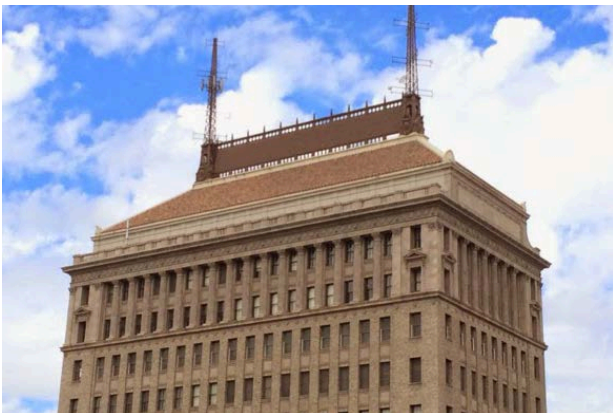


FIGURE 15-1505-A.2: BUILDING HEIGHT ARTICULATION

B. Building Materials and Finishes.

1. *General Standards.*

- a. Each side of a building that is visible from a street, public plaza, park, or passenger railway shall be designed with a complementary level of detailing and quality of materials.
- b. Each side of a parking structure that is visible from a street, public plaza, park, or passenger railway shall be designed to be compatible with the architectural character, materials, and colors of the overall development.
- c. *Durability of Materials.* Exterior materials shall be durable and promote permanence and longevity. Applicants must demonstrate that materials will not unintentionally discolor due to weathering or corrosion. Materials that discolor



Many of Fresno's cherished historic buildings have articulated upper and lower floors.



Contemporary buildings can also exhibit building height articulation.

naturally, such as copper, are encouraged.

d. *Design Consistency.*

- i. Finishes, fixtures, and other architectural details shall be designed to be consistent throughout the building.
- ii. Attached architectural elements and details such as lighting fixtures, attic vents, custom signage, awnings, hand rails, balconies, and trellises shall be designed to be consistent with other elements throughout the building. Such elements shall relate to the elements or intended general character of surrounding significant resources, potentially significant resources, and other historic-era buildings.

e. *Multiple Materials.*

- i. Two or more wall materials may be combined on one façade.
- ii. A minimum of two exterior wall finish materials shall be used for all mixed-use buildings with a commercial ground floor.
- iii. If located one above the other, lighter appearing materials shall be placed above more substantial materials (e.g. wood above stucco or masonry, or stucco and glass above masonry).
- iv. In general, vertical joints between different materials shall occur only at inside corners.

2. *Stucco.*

- a. Finishes should be smooth and troweled.
- b. The pattern of joints should be architecturally coordinated with the overall façade composition, and sealant colors should be coordinated with surface and other building colors.

3. *Exposed Wood.*

- a. Exterior walls that are or were originally clad in exposed wood shall not be covered with a non-wood material. Wood-like materials, such as cementitious siding, may be used.
- b. Exposed wood (or wood-like materials) shall be finished in a manner that minimizes maintenance and promotes the material's longevity.

4. *Reflective Materials.* Reflective materials, such as polished metal cladding or chrome, are allowed only if:

- a. The material is applied to small areas such as to highlight signage.
- b. It can be demonstrated that the material will not result in an incompatible adjacency or cause a nuisance to pedestrians, vehicles, and neighboring buildings.

5. ***Masonry and Stone.***
 - a. Masonry veneer walls shall be detailed with structural integrity, appearing thicker and heavier, especially at corners and window and door openings.
 - b. Brick and cut stone shall be laid in true bonding patterns. Mortar joints shall be struck.
 - c. River and rubble stone shall be laid from large closest to the ground to small farthest from the ground, with smooth or beaded mortar joints.
 - d. Masonry detailing shall transition from stone to other materials through moldings, caps, and other trim elements.
6. ***Veneers.*** Veneers should turn corners, avoiding exposed edges and continue down the side of a building to a logical break, such as a change in wall plane. **Corner pieces should be mitered to hide the joint.**
7. ***Trim.*** Trim materials and finishes shall be differentiated from adjacent wall cladding materials and finishes. Acceptable trim materials shall be wood, precast concrete, stone, tile, or similar materials. Stucco trim shall be permitted at the **determination** of the Review Authority, and in such instances it shall feature a smooth finish that contrasts significantly from adjacent stucco wall cladding.
8. ***Synthetic Materials.*** The use of synthetic materials is allowed when the Review Authority determines that the material:
 - a. Adequately simulates the appearance of the natural material it imitates.
 - b. Demonstrates an ability to age similar to or better than the natural material it imitates.
 - c. Has a permanent texture, color, and character that is acceptable for the proposed application.
 - d. Can be pressure washed and, in general, withstand anti-graffiti measures.
9. ***Prohibited Materials.*** Prohibited exterior materials include the following:
 - a. T1-11.
 - b. Rough-sawn wood.
 - c. Vertical siding.
 - d. Board and batten.
 - e. Metal siding, except in the DTN zone.
 - f. Concrete block as an exterior finish material, except in the DTN zone.
 - g. Plywood, particle board, press board, and similar materials.**
10. ***Signage Design.*** Building signage shall be designed to complement the building while providing adequate visibility from and maintaining compatibility with adjacent suites/units on upper floors near the signage.

11. ***Renovations and Alterations.***

- a. Modifications to existing buildings shall be architecturally compatible with the existing building as determined by the Review Authority.
- b. Exterior walls that are or were originally clad in wood, masonry, or stone shall not be covered with a different material such as stucco.
- c. Renovations or alterations to “modernized” pre-World War II buildings shall restore the original façade materials, textures, fenestration, and ornamentation to the extent possible as determined by the Review Authority.

12. ***Exception.*** Civic and Cultural buildings located in the Downtown General (DTG) District may be excepted from the standards of this subsection as determined by the Review Authority.

C. **Window and Door Opening Design.**

1. ***Consistency with Architectural Style.*** The orientation and proportion of openings shall be consistent with the architectural style of the building and shall relate to one another proportionally and according to a rational system of design. For example, buildings designed according to traditional architectural styles typically have window openings and panes that are vertically oriented or square or composed of groupings of vertically oriented windows. Mixed-use buildings can have second floor windows that are grouped and centered above the ground floor storefront doors and windows.
2. ***Glazing Ratio.***
 - a. Upper floor façades, and non-commercial portions of ground floor street-facing façades, which face a street, public plaza, or park shall comply with the following requirements for openings:

TABLE 15-1505-C-2-A: GLAZING STANDARDS			
<i>Standard</i>	<i>DTN</i>	<i>DTG</i>	<i>DTC</i>
Min. percentage of upper floor façades that shall consist of openings such as windows and doors to balconies or roofdecks.	25	25	25
Max. percentage of upper floor façades that shall consist of openings such as windows and doors to balconies or roofdecks. Curtain wall systems are allowed as a primary cladding system in the DTG district, and as an accent in the DTN and DTC districts.	70	100	70

b. *Ground Floor Commercial Transparency.*

- i. For ground floor façades which face a street, public plaza, or park on portions of a structure occupied by commercial uses, exterior walls facing a front or street side lot line shall include windows, doors, or other openings with transparent glazing for at least 60 percent of the building wall area located between 1.5 and seven feet above the level of the sidewalk.
- ii. Openings fulfilling this requirement shall have transparent glazing without reflective glass frosting or dark tinting (to the maximum extent permitted by Title 24 and other energy efficiency regulations) and provide views into work areas, display areas, sales areas, lobbies, or similar active spaces, or into window displays that are at least two feet deep.

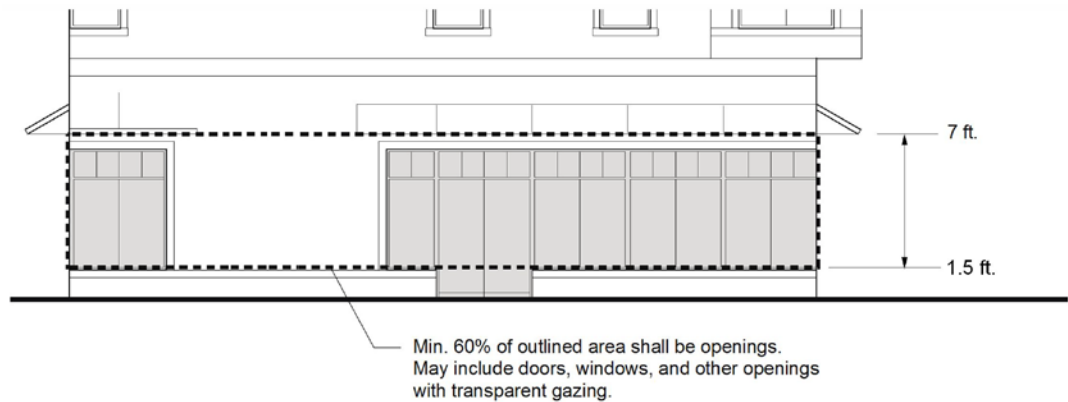


FIGURE 15-1505-C-2-B: GROUND FLOOR COMMERCIAL TRANSPARENCY

3. **Vertical Proportion.** On upper stories, window openings shall have a vertical proportion, in which their height exceeds their width by 25 percent or more. Openings divided by muntins of four inches or more in width shall constitute separate openings.
4. **Window Depth.** Trim at least one inch in depth must be provided around all upper story windows, or windows must be recessed at least two inches from the plane of the surrounding exterior wall. For double-hung and horizontal sliding windows, at least one sash shall achieve the two-inch recess.
5. **Bay Windows.** Bay windows, if provided, shall be habitable spaces.
6. **Window and Door Materials and Detailing.**
 - a. Allowed window and door materials include wood, fiberglass, steel, or aluminum.
 - b. Muntins, if used, shall be true and divide one pane from the adjoining pane, be of substantial dimension, and not be flat.

- c. Flush "nail-on" aluminum windows, and horizontal aluminum sliding windows are prohibited.
 - d. Vinyl and vinyl clad windows shall be consistent with the architectural style of the building. For example, windows of Craftsman style buildings should be brown or hunter's green, not white.
 - e. Glazing shall be clear glass (to the maximum extent permitted by Title 24 and other energy efficiency regulations), particularly in storefront and primary window applications. Transom, clerestory, and other specialty windows are not required to be clear and may be decorative.
 - f. Window sills shall be detailed to properly shed water.
 - g. Head casing shall be equal in width to or wider than jamb casing.
 - h. Accessories may include operable shutters sized to match their openings, opaque canvas awnings and other shading devices, and planter boxes supported by visible brackets appropriate to each design.
 - i. Security bars and roll down security doors are prohibited on the outside of windows and doors which face a street, public plaza, or park. Retractable interior security bars or gates may be used.
7. **Exception.** With the exception of Section 1505-C.2.b, Civic and Cultural buildings located in the Downtown General (DTG) District may be excepted from the standards of this subsection as determined by the Review Authority.

D. Façade Alignment.

- 1. **Vertical Alignment.** With the exception of mansard roofs, cornices, and other such features, façades shall be oriented vertically and shall have no slope.
- 2. **Horizontal Alignment.** With the exception of bay windows and similar features, façades that are located within 30 feet of a public street or public plaza shall run parallel or perpendicular to said street or plaza.
- 3. **Exception.** Civic and Cultural buildings located in the Downtown General (DTG) District may be excepted from the standards of this subsection as determined by the Review Authority.

E. External Stairs and Corridors.

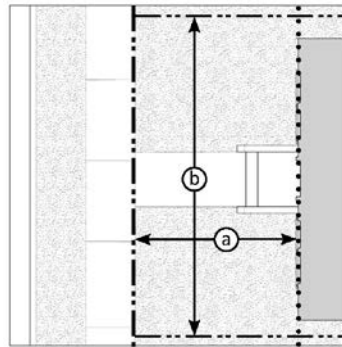
- 1. **External Stairways.** With the exception of stoops and similar steps intended for access for ground-floor spaces, external stairways shall not be located between the primary façade of the building and a public street. Within 30 feet of a public street, stairs shall be architecturally integrated into the building and shall not have open risers.
- 2. **External Corridors.** External upper-floor corridors located within 30 feet of a public street shall be architecturally integrated into the building.

- F. **Private Frontage.** Uses shall be accessed through frontage types as follows. “P” means the frontage type is permitted. “-” means the frontage type is not permitted.

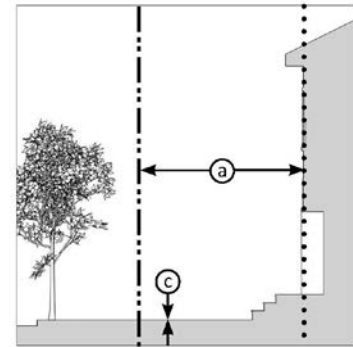
TABLE 15-1505-E-1: PERMITTED PRIVATE FRONTAGE TYPES								
<i>Use Classification</i>	<i>Front Yard</i>	<i>Porch</i>	<i>Stoop</i>	<i>Loading Dock/ Terrace</i>	<i>Shop-front</i>	<i>Fore-court</i>	<i>Grand Entry</i>	<i>None</i>
Residential, Individual Entry	P	P	P	-	-	-	-	-
Residential, Common Entry	P	-	-	-	-	P	P	-
Public and Semi-Public	P	-	-	-	P	P	P	-
Commercial, Individual Entry	-	-	-	P	P	-	-	-
Commercial, Common Entry	-	-	-	-	P	P	P	-
Industrial	-	-	-	P	P	P	P	P
Transportation, Communication, and Utilities	-	-	-	-	-	P	P	P
Service Areas	-	-	-	-	-	-	-	P

TABLE 15-1505-E-2: PRIVATE FRONTAGE STANDARDS**A. Front Yard****1. Basic Standards**

- Ⓐ Clear Depth: 5 ft. min.
- Ⓑ Length: 15 ft. min.
- Ⓒ Height above Sidewalk: 3 ft. max.



Plan



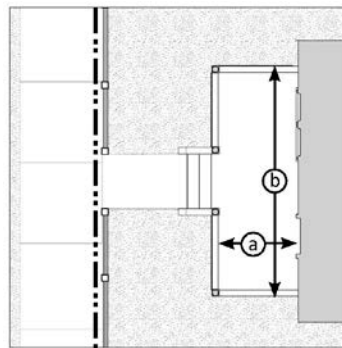
Section

2. Supplemental Standards

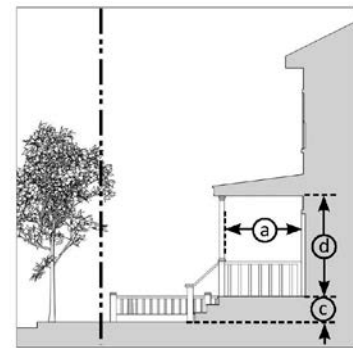
- a. Planters, garden walls, fences and hedges are permitted at the sidewalk to a maximum height of 3 ft.. Materials and design shall be compatible with the architectural style of the building.
- b. Water features, shade structures, seating, and gardens are encouraged in this area.
- c. Vehicular parking, trash collection and storage are not permitted in this area.
- d. When Front Yards are raised from the level of the sidewalk, the resulting retaining wall shall be decorative and clad in brick or stone.

B. Porch**1. Basic Standards**

- Ⓐ Clear Depth: 5 ft. min., 15 ft. max.
- Ⓑ Length: 8 ft. min.
- Ⓒ Height above adjacent grade: 18 in. min., 4 ft. max.
- Ⓓ Height: 8 ft. min. clear from the finish floor



Plan



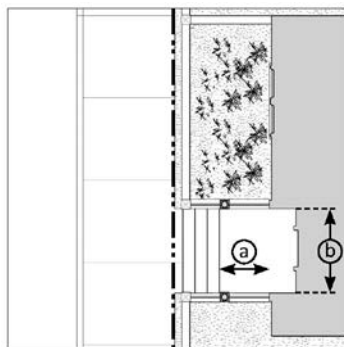
Section

2. Supplemental Standards

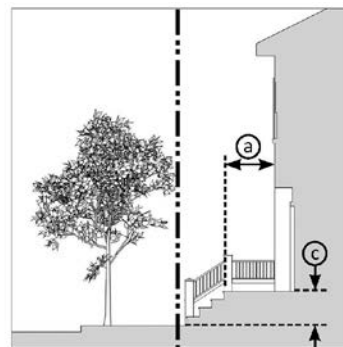
- a. Provide landscaping in front of and around porch.
- b. Railings should be no higher than required by the building code.
- c. The porch may extend around to encroach into the street sideyard up to 1/2 of the required setback. If insufficient distance exists, the minimum porch depth shall be achieved by moving back the façade the necessary distance.
- d. Awnings may be attached to the face of the porch if the awning is adequately supported and if the awning is compatible with the architectural style of the porch and building.
- e. Porches shall not be enclosed except for insect screens between the structural members of the porch if:
 - i. Visibility is not reduced between the adjacent sidewalk and the porch.
 - ii. The insect screen is recessed from the front face of the columns on the porch.

TABLE 15-1505-E-2: PRIVATE FRONTAGE STANDARDS**C. Stoop****1. Basic Standards**

- Ⓐ Clear Depth: 6 ft. min., 15 ft. max.
- Ⓑ Length: 4 ft. min., 10 ft. max.
- Ⓒ Height: Max. 4 ft. elevation above finish sidewalk grade



Plan



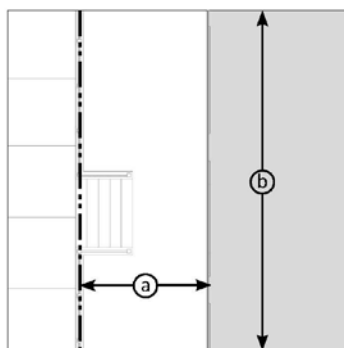
Section

2. Supplemental Standards

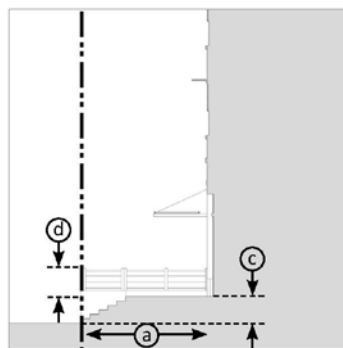
- a. Landscaping encouraged in front, around and/or within walls of stoop.
- b. Minimum 3 ft. to maximum 4 ft. high garden wall and gate may be provided at entry to stoop.
- c. Entry gates to swing in a direction away from sidewalk.
- d. Use of other frontage types at entry stoop (e.g., awning, bay window, arcade) allowed.
- e. Exterior stairs may be located perpendicular or parallel to the adjacent sidewalk.
- f. The landing may be covered or uncovered, but shall not be enclosed beyond the building façade (e.g., stoop landings may be recessed into the building façade and be enclosed by the walls of the recess).

D. Loading Dock/Terrace**1. Basic Standards**

- Ⓐ Clear Depth: 7 ft. min.
- Ⓑ Length: no min./no max.
- Ⓒ Height: Max. 4 ft. elevation above finish sidewalk grade
- Ⓓ Railing Height: no higher than required by the Building Code



Plan



Section

2. Supplemental Standards

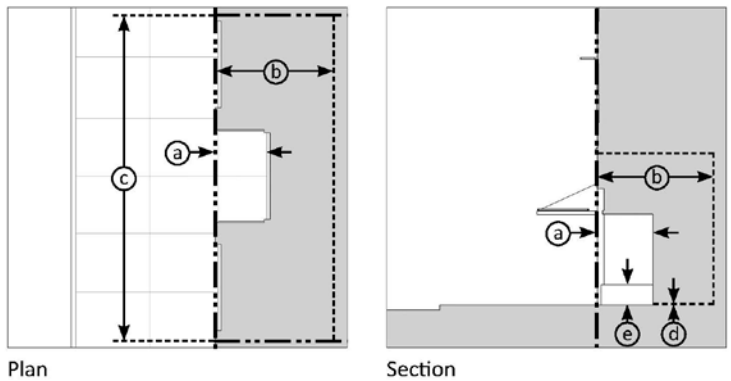
- a. Exterior stairs may be perpendicular or parallel to the adjacent sidewalk but shall not encroach into the right-of-way. The landing may be covered or uncovered.

TABLE 15-1505-E-2: PRIVATE FRONTAGE STANDARDS

E. Storefront

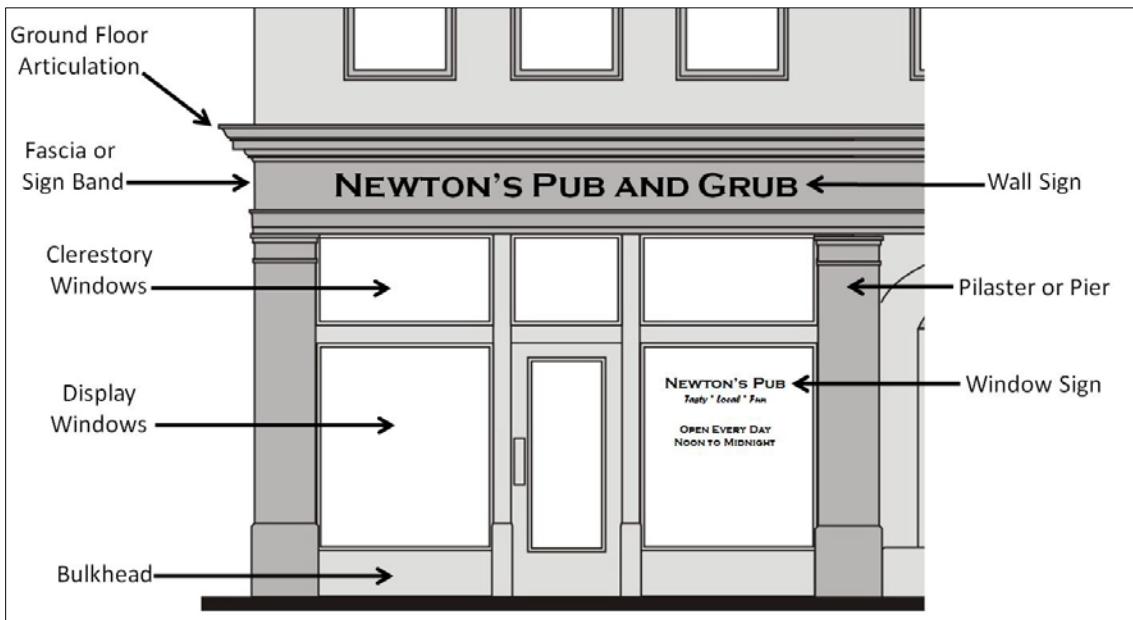
1. Basic Standards

- Ⓐ Depth of Recessed Storefront Dining Area: 12 ft. max.
- Ⓑ Depth of Shop: 30 ft. min.
- Ⓒ Length: min. 75% of required façade length
- Ⓓ Height above sidewalk: must be at sidewalk grade
- Ⓔ Bulkhead Height: 18 in. min., 3 ft. max.



2. Supplemental Standards

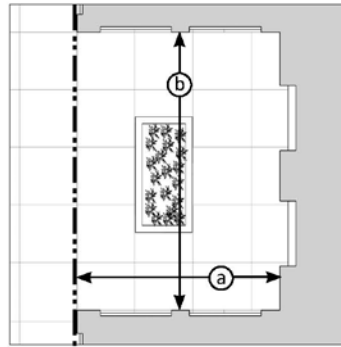
- a. A physical transition or 'bulkhead' shall be provided between the glazing of any storefront and the adjacent sidewalk. The bulkhead shall not consist of aluminum storefront or spandrel panel.
- b. Storefront windows may have clerestory windows between the storefront and second floor/top of single-story parapet. Glass in clerestory windows may be of a character to allow light, while moderating it such as stained glass, glass block, painted glass, or frosted glass.
- c. Storefronts shall provide clear views of merchandise displays within the shop space and/or maintained and lighted merchandise display(s) within a display zone of at least two feet in depth from the glass.
- d. The storefront may be directly illuminated from the sidewalk side of the glass by externally mounted lights.
- e. Planter boxes, containers or vine pockets may be located adjacent to storefronts. Such landscape areas shall not be located within required ADA access ways along any public sidewalk.



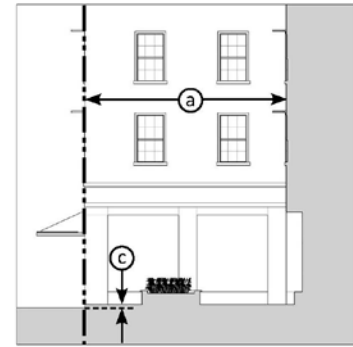
This diagram shows how the various components of a storefront can be arranged.

H. Forecourt**1. Basic Standards**

- Ⓐ Clear Depth: 15 ft. min.; 50% of lot depth max.
- Ⓑ Length: 12 ft. min.; 50% of lot depth max..
- Ⓒ Height: 4 ft. max. above adjacent sidewalk



Plan



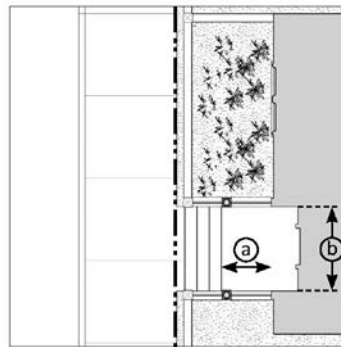
Section

2. Supplemental Standards

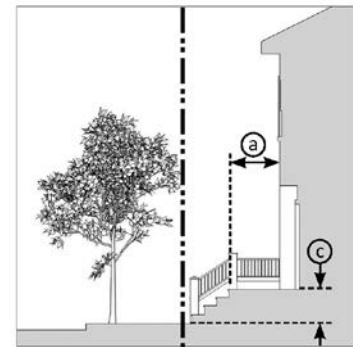
- a. Elevated forecourts shall meet the accessibility code for access to the building and the sidewalk. Railings shall not visually obstruct views to or from the street and shall be designed to match the architectural style of the main building.
- b. Arcades, galleries, awnings, or canopies may encroach into the forecourt for a distance of 1/4 of the forecourt width or depth with a cumulative encroachment not to exceed a combined distance of 1/2 of the forecourt width and depth, respectively.
- c. Planters, garden walls, fences and hedges are permitted at the entrance to the forecourt to a maximum height of 3 ft. per Section 15-2006, Fences, Walls, and Hedges.
- d. Water features, shade structures, seating, and gardens are encouraged in this area.
- e. Vehicular parking, trash collection and storage are not permitted in this area.

I. Grand Entry**1. Basic Standards**

- Ⓐ Clear Depth: 6 ft. min., 15 ft. max.
- Ⓑ Length: 10 ft. min., 25 ft. max.
- Ⓒ Height: May be at sidewalk grade, or max. 4 ft. elevation above finish sidewalk grade



Plan



Section

2. Supplemental Standards

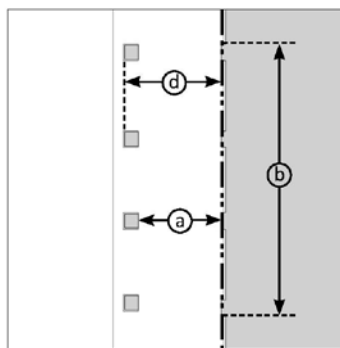
- a. The entrance shall be clearly differentiated from entrances into individual commercial or residential spaces through the use of decorative columns or similar ornamentation flanking the entrance, by aligning the entrance with prominent architectural features on upper floors, or through color and material changes.
- b. The entrance shall be covered by an awning or canopy or shall be recessed into the building.

G. **Façade Elements.** The following development types shall incorporate a minimum of two of the Façade Elements shown in Table 15-1505-F into front and street-side building façades.

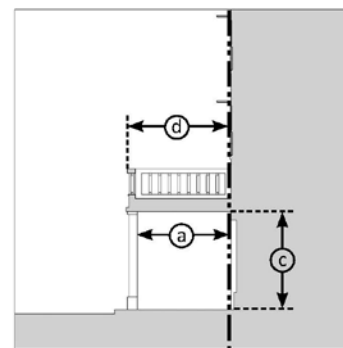
1. New buildings.
2. Building additions (façade elements are not required on the existing part of the structure if it is not being altered).
3. Façade remodels.
4. ***Exceptions:***
 - a. Projects or parts of projects involving designated historic resources, or the restoration of historic façades, shall not be required to incorporate Façade Elements if such elements were not part of the historic façade.
 - b. Civic and Cultural buildings located in the Downtown General (DTG) District may be excepted from the standards of this subsection **as determined by** the Review Authority.

TABLE 15-1505-F: FAÇADE ELEMENTS—DOWNTOWN DISTRICTS**A. Gallery****1. Basic Standards**

- Ⓐ Clear Depth: 10 ft. min., 15 ft. max.
- Ⓑ Length: 50% to 100% of building length
- Ⓒ Height: 8 ft. min. clear from the finish floor
- Ⓓ Encroachment into R.O.W.: Galleries may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit as follows:
 - 10-12 ft. wide sidewalk: 6 ft. max.
 - 12-14 ft. wide sidewalk: 8 ft. max.
 - 14+ ft. wide sidewalk: 2/3 width of sidewalk max.



Plan



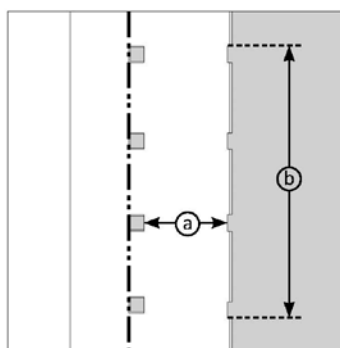
Section

2. Supplemental Standards

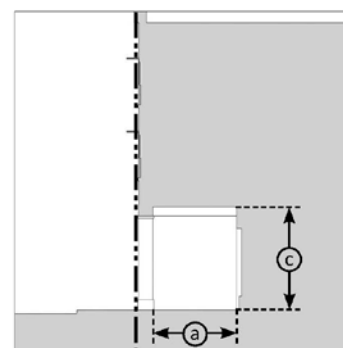
- a. Planter boxes or pots may be placed in between the columns to provide enclosure for uses such as café seating. A Gallery must be a minimum 50% open on two sides.
- b. Balconies, awnings, bay windows, verandas, or other structures are allowed above the gallery.
- c. Except on residential and civic buildings, Galleries shall be combined with the **Storefront** frontage type.
- d. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
- e. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to exit the vehicle.

B. Arcade**1. Basic Standards**

- Ⓐ Clear Depth: 10 ft. min., 15 ft. max.
- Ⓑ Length: 50% to 100% of building length
- Ⓒ Height: 8 ft. min. clear from the finish floor



Plan



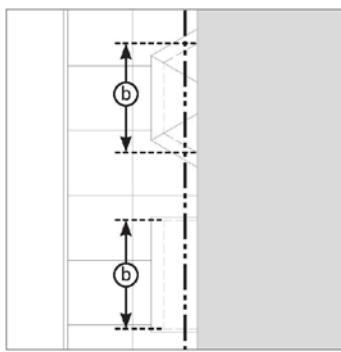
Section

2. Supplemental Standards

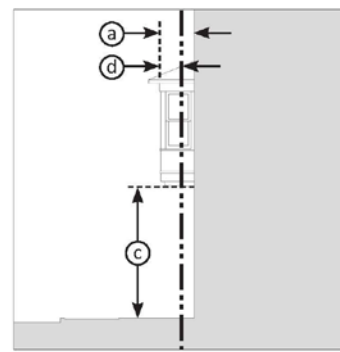
- a. Planter boxes or pots may be placed in between the columns to provide enclosure for uses such as café seating.
- b. Arcade to be a minimum 50% open on two sides.
- c. Balconies, awnings, bay windows, verandas, or other structures are allowed above the arcade.
- d. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.

TABLE 15-1505-F: FAÇADE ELEMENTS—DOWNTOWN DISTRICTS**C. Bay Window****1. Basic Standards**

- Ⓐ Depth: 2 ft. min., 4 ft. max.
- Ⓑ Length: 15 ft. max.
- Ⓒ Height: 2nd fl.: 10 ft. min. clear from the ground
- Ⓓ Encroachment into R.O.W.: 3 ft. max.



Plan



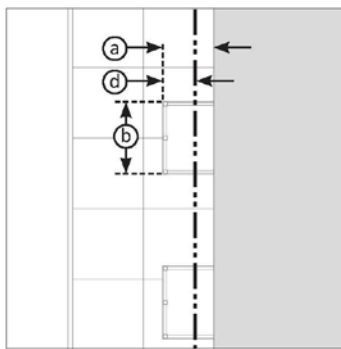
Section

2. Supplemental Standards

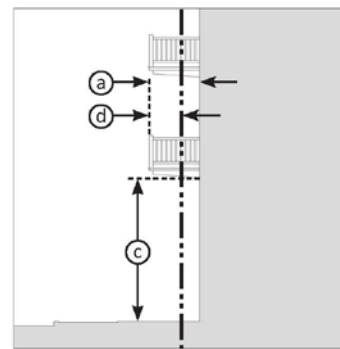
- a. Bay windows are permitted on the ground floor of buildings with residential ground floors.
- b. Provide landscape in front and around bay windows on the ground floor.
- c. Bay windows to have a minimum 25% glazing.

D. Balcony**1. Basic Standards**

- Ⓐ Depth: 5 ft. min., 10 ft. max.
- Ⓑ Length: 8 ft. min.
- Ⓒ Height: 8 ft. min. clear, 12 ft. max. clear from the finish floor
- Ⓓ Encroachment into Setback or R.O.W.: 4 ft. max.



Plan



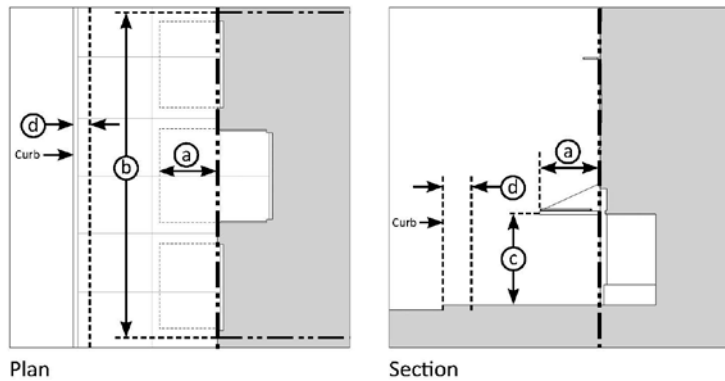
Section

2. Supplemental Standards

- a. Balcony may be covered but should be a minimum 50% open on three sides.

TABLE 15-1505-F: FAÇADE ELEMENTS—DOWNTOWN DISTRICTS**E. Awning, Canopy, Marquee, Sun Shade, Trellis****1. Basic Standards**

- Ⓐ Depth: 2 ft. min., 10 ft. max.
- Ⓑ Length: 25% to 75% of building frontage
- Ⓒ Height: 8 ft. min. clear from the ground
- Ⓓ Encroachment into Setback or R.O.W.: within 2 ft. clear of curb

**2. Supplemental Standards**

- a. Awnings, Canopies, Sun Shades, and Trellises shall not cover the entire length of the facade. They may cover individual storefronts and openings or multiple openings as follows:
 - Storefront(s) within 5 feet of another storefront.
 - Up to 2 doors or windows not associated with a storefront if the distance between them does not exceed 3 feet.
- b. Awnings, Canopies, Sun Shades, and Trellises shall not obscure architectural features such as moldings above the storefront.
- c. Awnings shall match the shape of the opening they are shading (simple shed shaped awnings for rectangular openings) except for odd shaped awnings. Odd shaped and bubble awnings are prohibited except where a photograph shows they have been previously allowed on the building and were not in conflict with an applicable requirement.
- d. Awnings, Canopies, Sun Shades, and Trellises may be constructed of metal, wood or fabric. Highly reflective materials should be avoided.
- e. Lights that illuminate the pedestrian way or sidewalk dining beneath the awning are only allowed upon review and determination by the Director that the proposed lighting is appropriate for the context and consistent with the intended physical character of the zoning district.
- f. Internally illuminated awnings that glow are prohibited.

15-1506 Right to Downtown Operations

As Downtown Fresno continues its evolution into a compact, mixed-use center, it is essential that new property owners and tenants understand the present and future nature of the area so that they may function together as harmoniously as possible. Toward that end, this section will ensure that property owners, tenants, and users of property within the Downtown Districts are notified of the vibrant, active Downtown environment, the revitalization efforts and public improvements occurring Downtown, the special events and community and business activities that are part of the vitality of the Downtown, and the expectations and responsibilities associated with owning, purchasing, renting or making other use of property within Downtown.

A. Definitions.

- 1. The following definitions shall apply to the Right to Downtown Operations section:
 - **Downtown Operations:** Any activity, use, facility or operation associated with a permitted temporary or permanent use occurring within the boundaries of the Downtown Districts, as well as any lawful public uses. Downtown operations and

their associated impacts include, but are not limited to, the following: music, dancing, singing, and voices associated with permitted uses and Downtown activities; odors associated with operation of restaurants, **breweries, coffee roasters, urban wineries**, and other businesses; high levels of traffic and traffic congestion; increased vehicular traffic from special events and other activities; street construction, closures and traffic re-routing, including exclusion of vehicle access during certain times due to festivals, parades or other special events; railroad operations, including increased rail activity associated with passenger rail operations; outdoor sales of merchandise and outdoor restaurant seating; festivals, parades and/or cultural events which may result in gatherings of large groups of people, street closures, parking impacts, noise, odors and other impacts; increased levels of pedestrian activity; operation of delivery trucks and vans, trash and recycling collection trucks, and other such vehicles; impacts associated with artists' studios and spaces, including noise, odors, and vibration; general increases in activity levels occurring on a 24-hour basis, including increases in noise and other impacts during late night and early morning hours; high levels of nighttime lighting and illumination; and trash collection, including trash collection before 6:00 a.m.

- **Property:** Any real property located within the Downtown Districts, including property intended for residential, commercial, business, public purposes, and other uses.
- **Tenant:** Any renter or lessee of property.
- **Transfer:** The sale, lease, trade, exchange, rental, or gift of property.
- **Transferee:** Any person or entity acquiring an interest in real property in the Downtown Districts from another person or entity, including, but not limited to, a purchaser of property or a person taking possession of property pursuant to a lease or rental agreement.
- **Transferor:** Any person transferring an interest in real property in the Downtown Districts to another person, including the seller of property or a landlord granting possession of property pursuant to a lease or rental agreement.

B. **Downtown Operations Notification Requirements.**

1. ~~As a condition of approval of any Development Permit, Tentative Subdivision Map, Conditional Use Permit, or similar entitlement relating to property located within the~~ For all housing that is entitled under the Downtown Districts, every property owner shall record the deed notification provided in Section 15-1506-B.3 of this Code on the property for which the **Zone Clearance**, Development Permit, Tentative Subdivision Map, Conditional Use Permit, or similar entitlement is issued. The Notice of Right to Downtown Operations shall be included in all subsequent deeds and leases for this property until such time as the property is no longer located within the Downtown Districts.
2. Every transferor of property, as transferor is defined herein, subject to the requirements of 15-1506-B.1 shall, upon transfer, also provide to any transferee the Notice of Right to Downtown Operations recited in 15-1506-B.3. The Notice of Right to Downtown

Operations may be contained in any form of agreement or contract; however, the notice need be given only once in any transaction. The transferor and transferee shall provide each other with written acknowledgement of delivery and receipt of the notice.

3. The notice provided in this section is intended to advise property owners, tenants and users of property within the Downtown Districts of the inherent impacts and inconveniences associated with purchase, tenancy or use of property in the Downtown Districts. This notice shall be provided as required by 15-1506-B.1 and 15-1506-B.2.

NOTICE OF RIGHT TO DOWNTOWN OPERATIONS

The City of Fresno permits the operation of a variety of residential, commercial, civic, and cultural activities within the Downtown zoning districts.

You are hereby notified that the property you own, or are renting, leasing, using, occupying, or acquiring an interest in is located within the Downtown zoning districts. You may be subject to impacts, including inconvenience and discomfort, from lawful activities occurring within the Downtown zoning districts. Impacts may include, but are not limited to, noise, odor, glare, and transportation congestion resulting from permitted uses such as, but not limited to, civic, commercial, cultural, public and institutional, recreational, and transportation-related activities. Specific impact-causing sources might include, but are not limited to, music, dancing, talking, singing, laughter, restaurants and bars, outdoor dining/seating, outdoor sales, festivals, parades, special events, street closures, high volumes of traffic, high volumes of pedestrian activity, emergency services, waste collection, commercial and business operations, railroad operations and rail activity, and other permitted Downtown activities. These impacts might occur late at night, early in the morning, or on a 24-hour basis.

One or more of the inconveniences described above might occur as a result of Downtown operations and activities which are in compliance with existing laws and regulations and accepted customs and standards. If you own, lease, rent, or otherwise utilize property within the Downtown zoning districts, you are expected to be prepared to accept such inconveniences or discomfort as a normal and necessary aspect of owning, living in, operating a business in, or otherwise utilizing an area with an active Downtown character.

The City of Fresno's Development Code does not exempt Downtown businesses or other participants in Downtown activities from compliance with the law. Should any business or person not comply with appropriate state, federal, or local laws, legal recourse may be possible by, among other ways, contacting the appropriate agency.

This notification is given in compliance with the Fresno Municipal Code §15-1506.

4. The failure to give the notice required by this section shall not invalidate any transfer.

C. Nuisances, Resolution of Disputes, and Contact Persons.

1. Normal Downtown operations are presumed to not constitute a nuisance, unless such operations are deemed to be a nuisance under California Civil Code Section 3479 or the Fresno Municipal Code. Downtown operations shall comply with all state, federal, and local laws and regulations applicable to the operations, including applicable noise and

other operational standards contained in the Fresno General Plan and/or Fresno Municipal Code.

2. Every developer or owner of commercial, residential, or other property within the Downtown Districts, consisting of two or more residences, businesses or tenant spaces, shall, as a condition of approval of any Development Permit, Tentative Subdivision Map, Conditional Use Permit, or similar entitlement relating to property located within the Downtown Districts, designate an information contact person. The information contact person shall be available to disperse information distributed by the City, PBID, non-profit organizations, or other public or quasi-public organizations, to tenants and property owners within the development. The information contact person role may be undertaken by the property owner, a homeowner's association, a property management company or other similar organization.

15-1507 Additional Standards

- A. Projects shall incorporate all relevant mitigation measures required pursuant to applicable environmental assessments prepared pursuant to CEQA that encompass the project area. "Applicable Environmental Assessments" shall include, but may not be limited to the following:
 1. A MEIR prepared for the General Plan in effect at the time of project approval;
 2. A Program or Project EIR prepared for either a Community Plan or Specific Plan that includes the project area, in effect at the time of project approval.
- B. The proposed design shall not lead to an overburdening of existing or planned infrastructure capacities, including, but not limited to, capacities for water, runoff, storm water, wastewater, and solid waste systems. The determination of whether or not the proposed design can be accommodated within existing infrastructure shall be made by the Review Authority in consultation with the Directors of Public Works and Public Utilities.
- C. The project shall comply with all applicable Public Works standards.

Article 16 Overlay Districts

The Apartment House Overlay District already exists within the Citywide Development Code, but requires the following edits in order to fully implement the vision of the Downtown Plans. These changes are very compatible with the areas outside of Downtown in which this overlay district is used, all of which are located within the Tower District. It applies primarily to land along major streets which was originally developed with large homes and apartment houses, and which partially converted to offices and other commercial uses during the mid-20th century. Examples include Fulton Street and Van Ness Avenue in the Lowell neighborhood, and Mariposa Street in the St. John's neighborhood.

Black text is presently in the Citywide Development Code. Red strikethrough text will be deleted from the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-1609 Apartment House (AH) Overlay District

- A. **Purpose.** The Apartment House (AH) Overlay District is intended to preserve and enhance the pattern of pedestrian-oriented small-footprint apartment houses, grand homes, and small commercial buildings that exist in some pre-World War II neighborhoods.
- B. **Use Regulations.** Those uses permitted in the Base District, subject to the limitations and conditions set forth therein, except as follows:
 1. ***Permitted Uses.***
 - a. The uses permitted by the provisions of the Base District.
 - b. Single Unit Dwelling, Attached and Multi-Unit Residential shall be permitted in all locations, including the ground floor along major streets.
 - c. Office uses, including Business and Professional, Medical and Dental, and Walk-In Clientele, shall be permitted in all locations, including the ground floor along major streets. Base District restrictions on the size of such establishments shall not apply.
 2. ***Uses Subject to a Conditional Use Permit.*** Those uses permitted in the Base District, subject to the limitations and conditions set forth therein.
 3. ***Uses Not Permitted.*** Those uses not permitted in the Base District or listed above, subject to the limitations and conditions set forth therein.
- C. **Development Standards.** Development Standards shall be as required by the Base District, except as follows:
 1. ***Maximum Lot Size.*** 15,000 square feet.

2. **Setbacks.**

- a. *Front Setback.* The front setback for new structures shall not be greater than 110 percent **nor less than 90 percent** of the average of the actual front setbacks of all **residential structures** on the blockface which were **constructed prior to 1945; nor shall it be less than 90 percent of the average of the actual front setbacks of all improved lots on the blockface.** **The following exceptions shall apply:**
 - i. **In no instance shall the front setback be less than 10 feet.**
 - ii. **In no instance shall the setback for a new structure be less than the setback of an adjacent structure which is a designated historic resource.**
- b. *Side Setback.* Four feet.

3. **Parking.**

- a. *Garage Encroachment into Rear and Side Setbacks.* Where 50 percent or more of the residential properties on a block have detached garages which encroach into the minimum side and/or rear setbacks, new detached garages shall be permitted to encroach into the minimum side and/or rear setback in a similar manner. In such instances the minimum side and rear setback for a detached garage shall each be equal to the average of the equivalent setbacks of the detached garages on the block, unless the average is less than two feet in which case the setback shall be zero feet. This provision shall also apply to properties which abut an RS District.
- b. **In no instance shall parking be located in front of the primary building, between the primary building and the street, or within the required front setback. Surface parking may not be covered with a carport within 50 feet of a public street unless it is designed as a porte cochere that is attached to architecturally integrated with the structure.**

4. **Façade-Design Compatibility.** The following standards shall apply to all structures, with the exception of Public and Semi-Public uses.

- a. *Building Materials and Finishes.* Cladding and trim materials and finishes shall be similar to adjacent apartment houses and single-family homes.
- b. *Windows.* The size, location, and proportions of windows shall be similar to adjacent apartment houses and single-family homes.
- c. *Balconies and Porches.* For new residential structures, the size, location, and proportions of balconies and porches shall be similar to adjacent apartment houses and single-family homes.
- d. **Massing.** New structures shall have roof forms and massing articulation which is **residential in character and is similar to residential structures on the same blockface which were constructed prior to 1945.**

5. **Pedestrian Access.** Direct entrances shall be provided into all individual ground-floor dwelling units or commercial spaces which are adjacent to a public street. If the building is set back from the sidewalk, a paved path no less than five feet in width shall be provided from the sidewalk to each entrance.

6. **Height.** Structures shall not exceed 35 feet in height.
7. **Landscaping.** The design of front yard landscaping shall be residential in character and shall be similar to adjacent apartment houses and single-family homes.
8. **Signs.** Signs shall not be permitted in the AH Overlay District, except as follows:
 - a. **Maximum Number and Location.**
 - i. Monument Sign. One monument sign per building shall be permitted in the front yard setback, if applicable. Such signs shall be set back from the back of the sidewalk by no less than two feet.
 - ii. Porch Sign. One sign per building shall be permitted to be suspended under the roof of a porch.
 - iii. Wall Sign. One sign per building may be mounted on the façade near the primary pedestrian entrance.
 - iv. Other Signs. Not permitted.
 - b. **Maximum Size.**
 - i. Monument Sign. Monument Signs shall not exceed six square feet in area and shall not exceed five feet in height.
 - ii. Porch Sign. Porch Signs shall not exceed eight square feet in area.
 - iii. Wall Sign. Wall Signs shall not exceed 10 square feet in area.
 - c. **Illumination.** If illuminated, external illumination is required and shall be mounted in a manner that does direct glare toward adjacent uses.



FIGURE 15-1609-C-8: AH OVERLAY MONUMENT AND PORCH SIGNS

9. ***Renovations and Alterations.***

- a. Modifications to existing buildings shall be architecturally compatible with the existing building as determined by the Review Authority.
- b. Exterior walls that are or were originally clad in wood, masonry, or stone shall not be covered with a different material such as stucco.
- c. Renovations or alterations to “modernized” pre-World War II buildings shall restore the original façade materials, textures, fenestration, and ornamentation to the extent possible as determined by the Review Authority.

The Urban Campus Overlay District is new and, in combination with the Public and Institutional (PI) base district, will implement the vision for the Community Regional Medical Center in the Downtown Neighborhoods Community Plan.

Black text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-1610 Urban Campus (UC) Overlay District

- A. **Purpose.** The Urban Campus (UC) Overlay District is intended to provide for large, centrally planned and operated campuses which integrate well into a dense, mixed-use, walkable urban environment.
- B. **Use Regulations.** Those uses permitted in the Base District, subject to the limitations and conditions set forth therein.
- C. **Development Standards.** Development Standards shall be as required by the Base District, except as follows:
 1. **Setbacks.**
 - a. *Front.*
 - i. Minimum. Zero feet.
 - ii. Maximum. 20 feet.
 - b. *Side.* No requirement, unless the site abuts an R District, in which case the side setback shall be no less than 20 feet.
 - c. *Rear.* No requirement, unless the site abuts an R District, in which case the rear setback shall be no less than 20 feet.
 - d. *Parking:* 30 feet from perimeter streets. The following types of parking shall be exempted from this requirement:
 - i. Surface parking which is located behind a building.
 - ii. Structured parking above the first floor, provided that the façade is treated with similar materials and ornamentation as non-parking structures on the campus.
 - iii. Underground parking.
 2. **Frontage Coverage.** 75 percent along public streets at the perimeter of the campus. This requirement shall not apply to streets which run through the campus.
 3. **Pedestrian Access.** Each building located within 50 feet of a public street **at the perimeter of the campus** shall provide pedestrian entrances from the public street into the building at a rate of no less than one per 400 feet of linear street frontage, however in no instance shall there be fewer than one. Such entrances shall be protected by a portico, canopy, or alcove of no less than four feet in depth. If there is a yard between the sidewalk and the building, a paved path six feet in width shall be provided from the public sidewalk to the entrance.

4. ***Façade Design.*** Street facing facades of buildings located within 50 feet of a public street **at the perimeter of the campus** shall comply with the following standards:
- Exterior walls facing a front or street side lot line shall include windows, doors, or other openings with transparent glazing for at least **25** percent of the building wall area located between 2.5 and seven feet above the level of the sidewalk. Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, lobbies, or similar active spaces.

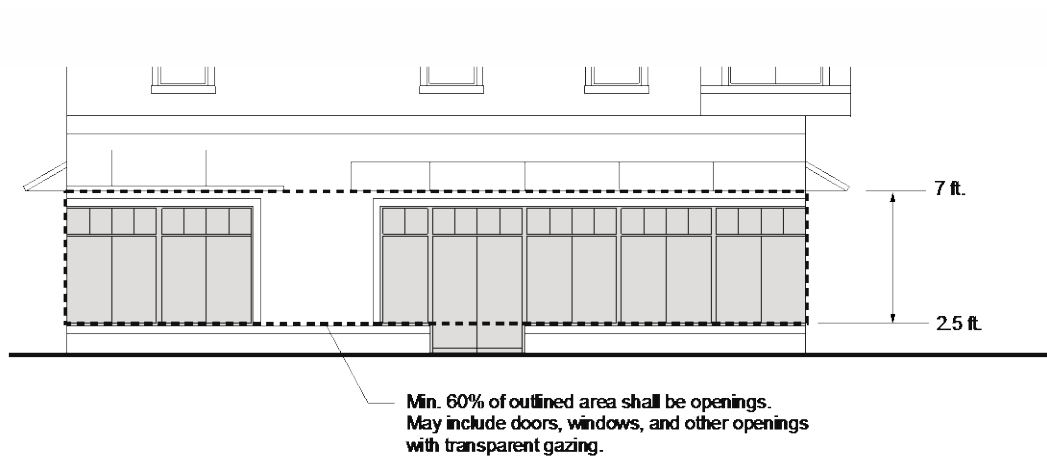


FIGURE 15-1610-C.4.A: BUILDING TRANSPARENCY

- Where buildings are located within two feet of a public sidewalk **at the perimeter of the campus**, the sidewalk shall be shaded by awnings or canopies as follows:
 - Awning or canopy depth shall be no less than four feet and no more than 10 feet.
 - Clearance shall be no less than eight feet and no more than 12 feet from the finished floor.
5. ***Parking Access.*** Driveways shall be located at the furthest feasible point from nearby residential uses.
6. ***Building Height.***
- The maximum height within 100 feet of an RS District is 45 feet. **Exceptions shall be made for parking structures which meet all of the following criteria:**
 - Height of 75 feet or less;**
 - Adjacent to a railroad;**
 - South of Illinois Avenue; and**
 - A design which incorporates a “green screen or a similar treatment that buffers the appearance of the structure with ivy or other vegetation.**

- b. The maximum height within 300 feet of an RS District is 75 feet.
- c. In all other locations the maximum height shall be 210 feet. Buildings of exemplary, landmark design may be 235 feet at the discretion of the Review Authority. Buildings of exemplary, landmark design may be 275 feet at the discretion of the Review Authority within the area bounded by Clark Street, Illinois Avenue, Thesta Street, and Divisidero Street, as well as all of the area south of Divisidero.

7. ***Lot Coverage.*** No requirement.

8. ***Sidewalks.*** New buildings or additions of 50 percent or more in floor area shall improve adjacent sidewalks. Sidewalks shall be provided per Public Works standards except that sidewalks on Fresno Street shall be provided as follows:

- a. Sidewalks shall be no less than 12 feet in width. If the current distance between the right-of-way boundary and the face of the adjacent curb is less than 12 feet, the building shall be set back from the right-of-way boundary the distance that is necessary to achieve the required sidewalk width. The portion of the sidewalk which lies within the private parcel shall be guaranteed for public access by the enactment of a public access easement.
- b. Street trees shall be provided as follows:
 - i. Street trees should be located no more than three feet from the back of curb, and whenever possible should be aligned with other trees on the block.
 - ii. Street trees should generally be evenly spaced, no less than 20 feet apart, and not more than 40 feet apart.
 - iii. Whenever possible, trees should not be located directly in front of building entrances.
 - iv. Trees should be placed in tree wells measuring five feet by five feet. To maximize usable sidewalk area, tree wells shall be covered by grates of a design which is approved by the Review Authority. Larger tree wells may be required by the Public Works Director for species requiring more space. The property owner shall assume maintenance responsibilities for the tree grates.
 - v. Street trees should be deciduous, fast growing, drought tolerant, and should eventually form a tall canopy. Not more than one species should be planted per block. Whenever nearby pre-existing trees are in good condition and meet the intent of this section, new trees should be of the same species.
- c. Pedestrian-scaled street lights shall be provided as follows:
 - i. Street lights should be located no more than three feet from the curb, and whenever possible should be aligned with street trees and other lights on the block.

- ii. Street lights should be generally evenly spaced, no less than 30 feet apart, and not more than 80 feet apart. Whenever possible, street lights should be no less than 15 feet from nearby street trees.
 - iii. Street lights should not be of the type commonly known as Cobra Heads or other types which are intended primarily for the illumination of the vehicular roadway. Lights should be ornamental and designed primarily for the illumination of the sidewalk. Whenever nearby pre-existing lights are in good condition and meet the intent of this section, new lights should be of the same type. Intersection safety lights shall be typical cobra-head design, while mid-block lighting should be ornamental and scaled for the pedestrian environment. Lighting shall meet Public Works standards.
- d. If a Community Facilities District is not established to maintain sidewalks, street trees, and lighting, the applicant shall enter into a maintenance agreement to ensure the maintenance of said facilities.

The Neighborhood Revitalization Overlay District is new and, in combination with RS-3 and RS-5 base districts, will implement the design vision for residential areas within the Downtown Neighborhoods Community Plan.

Black text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

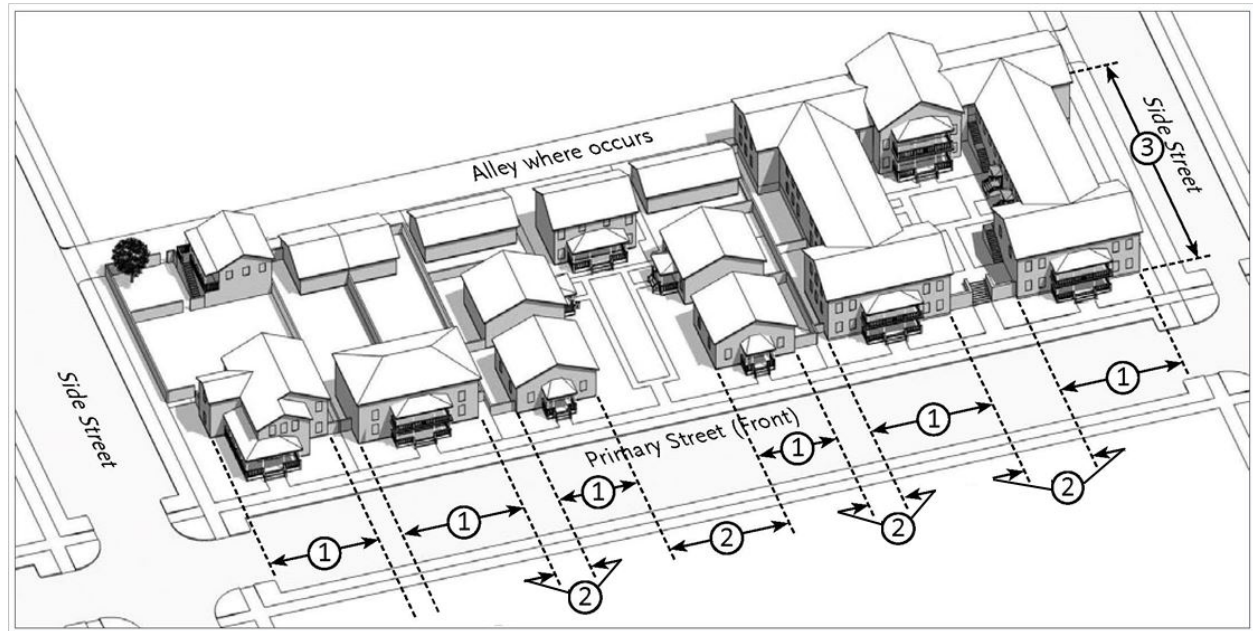
15-1611 Neighborhood Revitalization (NR) Overlay District

- A. **Purpose.** The Neighborhood Revitalization (NR) Overlay District is intended to preserve the unique character of neighborhoods near Downtown, enhance their walkability, and promote a diverse population.
- B. **Use Regulations.** Those uses permitted and conditionally permitted in the Base District, subject to the limitations and conditions set forth therein, with the following exceptions.
 - 1. Duplex - a neighborhood meeting shall not be required.
 - 2. Multi-Unit Residential at a density of 16 dwelling units per acre or less. A neighborhood meeting shall not be required.
 - 3. Instructional Services which are 3,000 square feet or less and which occupy 30 percent of the building or less.
 - 4. Parks and Recreation Facilities shall not be subject to any size restriction of the Base District.
 - 5. Medical and Dental Offices, which are 3,000 square feet or less and which occupy 30 percent of the building or less shall be permitted.
 - 6. General Retail, which is located within 100 feet of a corner and which is 3,000 square feet in area or less shall be permitted.
- C. **Development Standards.** Development Standards shall be as required by the Base District, except as follows:
 - 1. **Sidewalks.**
 - a. Sidewalks shall be provided on both sides of the street. Notwithstanding Chapter 13, Section 208 of the Municipal Code, all projects shall be required to bring adjacent sidewalk conditions into conformance with Public Works standards, subject to the following exceptions:
 - i. Applications for signs only.
 - ii. Additions, remodels, or tenant improvements of less than 50 percent of the current value of the property.
 - iii. Accessory structures less than 1,000 square feet in size.
 - b. New development that is below the thresholds noted in item 'a', above, shall replace and maintain missing and/or dead street trees and any other missing or dead landscaping in the public frontage (public right-of-way).

- c. In no case shall an existing sidewalk, or portion thereof, be vacated, even if the minimum width required is less than the existing sidewalk.
 - d. When a sidewalk of the subject property is improved to meet the applicable requirements of this section and the adjacent property does not physically align with the new improvement, the improvement shall be designed to the satisfaction of the Review Authority to result in a safe and smooth transition between properties.
- 2. ***Pedestrian Access.*** Direct entrances shall be provided into all individual ground-floor dwelling units or commercial spaces which are adjacent to a public street. If the building is set back from the sidewalk, a paved path no less than five feet in width shall be provided from the sidewalk to each entrance.
- 3. ***Front Setback.*** The front setback for new structures shall not be greater than 110 percent nor less than 90 percent of the average of the actual front setbacks of all residential structures on the blockface which were constructed prior to 1945. The following exceptions shall apply:
 - a. In no instance shall the front setback be less than 10 feet.
 - b. In no instance shall the setback for a new structure be less than the setback of an adjacent structure which is a designated historic resource.
- 4. ***Parking.*** In no instance shall parking be located in front of the primary building, between the primary building and the street, or within the required front setback. Surface parking may not be covered with a carport within 50 feet of a public street unless it is designed as a porte cochere that is attached to architecturally integrated with the residential structure.

5. ***Building Size and Massing.*** Table 15-1611-C.1 prescribes additional development standards for areas governed by the NR Overlay District. Additional regulations are denoted in the right hand column. Section numbers in this column refer to other sections of the Code, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below correspond to the “#” column in the associated table. Drawings are for illustrative purposes and are not drawn to scale.

TABLE 15-1611-C.1: BUILDING SIZE AND MASSING STANDARDS



District	RS-3	RS-5	#
Maximum Building Length along Primary Street (ft.)	60	60	①
Maximum Space between buildings along Primary Street (ft.)	15	10	②
Maximum Building Depth along Street Side (ft.)	60	120	③

6. ***Building Articulation.***

- a. ***Street-Facing Façade Articulation.*** All street-facing building façades over 35 feet in length shall be designed with a minimum of one of the following façade articulation strategies:
- Horizontal Articulation.*** Setback a portion of the street-facing facade a minimum of two feet for a minimum distance of 25 feet.

- ii. Vertical Articulation. Step a portion of the façade upward or downward a minimum two feet higher or lower than adjacent portions of the façade for a minimum distance of 25 feet.
- iii. Architectural Projections. Append or project facade elements such as porches, balconies, bay windows, cantilevered rooms, and/or awnings.
- iv. Architectural Recessions. Recess architectural elements or spaces – such as recessed porches, covered passages, recessed balconies, and windows – into the plane of the façade.
- b. *Roof Forms.* New structures shall have roof forms which are residential in character, such as gabled, hipped, mansard, gambrel, and pyramidal roofs.

7. ***Building Materials and Finishes.***

- a. *General Standards.*
 - i. Each side of a building that is visible from a street, park, or passenger railway shall be designed with a complementary level of detailing and quality of materials.
 - ii. Building Entrances and Common Areas. Building entrances and common areas shall include finishes and materials that are durable and high quality and distinguish these spaces from other elements of the building.
 - iii. Parking. Parking structures shall be designed to be compatible with the architectural character, materials, and colors of the overall development.
 - iv. Durability of Materials. Exterior materials shall be durable and promote permanence and longevity. They shall not unintentionally discolor due to weathering or corrosion. Materials that discolor naturally, such as copper, are encouraged.
 - v. Design Consistency.
 - (1) Architectural materials and constructional assemblies shall be designed to be consistent with the building's architectural style in terms of structural expression, scale, and proportion.
 - (2) Finishes, fixtures, and other architectural details shall be designed to be consistent throughout the building's exterior.
 - (3) Attached architectural elements and details such as lighting fixtures, attic vents, custom signage, awnings, hand rails, balconies, and trellises shall be designed to be consistent with other elements throughout the building's exterior.
- b. *Multiple Materials.*
 - i. Two or more wall materials may be combined on one façade.

- ii. If located one above the other, lighter appearing materials shall be placed above more substantial materials (e.g. wood above stucco or masonry, or stucco and glass above masonry).
 - iii. In general, vertical joints between different materials shall occur only at inside corners.
- c. *Exposed Wood.*
 - i. Exterior walls that are or were originally clad in exposed wood shall not be covered with a non-wood material. Wood-like materials, such as cementitious siding, may be used.
 - ii. Exposed wood (or wood-like materials) shall be finished in a manner that minimizes maintenance and promotes the material's longevity.
- d. *Reflective Materials.* Reflective materials are prohibited.
- e. *Masonry and Stone.*
 - i. Brick and cut stone shall be laid in true bonding patterns. Mortar joints shall be struck.
 - ii. River and rubble stone shall be laid from large stones closest to the ground to small stones farthest from the ground, with smooth or beaded mortar joints.
 - iii. Masonry detailing shall transition from stone to other materials through moldings, caps, and other trim elements.
- f. *Veneers.* Veneers should turn corners, avoiding exposed edges and continue down the side of a building to a logical break, such as a change in wall plane.
- g. *Trim.* Trim materials and finishes shall be differentiated from adjacent wall cladding materials and finishes. Acceptable trim materials shall be wood, precast concrete, stone, tile, or similar materials. Stucco trim shall be permitted at the discretion of the Review Authority, and in such instances it shall feature a smooth finish that contrasts significantly from adjacent stucco wall cladding.
- h. *Synthetic Materials.* The use of synthetic materials is allowed when the Review Authority determines that the material:
 - i. Adequately simulates the appearance of the natural material it imitates.
 - ii. Demonstrates an ability to age similar to or better than the natural material it imitates.
 - iii. Has a permanent texture, color, and character that is acceptable for the proposed application.
 - iv. Can be pressure washed and, in general, withstand anti-graffiti measures.
- i. *Prohibited Materials.* Prohibited exterior materials include the following:
 - i. T1-11.

- ii. Rough-sawn wood.
 - iii. Vertical siding, except board and batten.
 - iv. Metal siding.
 - v. Concrete block as an exterior finish material.
 - j. *Renovations and Alterations.*
 - i. Modifications to existing buildings shall be architecturally compatible with the existing building as determined by the Review Authority.
 - ii. Exterior walls that are or were originally clad in wood, masonry, or stone shall not be covered with a different material such as stucco.
 - iii. Renovations or alterations to “modernized” pre-World War II buildings shall restore the original façade materials, textures, fenestration, and ornamentation to the extent possible as determined by the Review Authority.
8. Window and Door Opening Design.
- a. *Window Hierarchy.* Building elevations shall exhibit a hierarchy between window sizes to differentiate between public rooms (larger windows) and private rooms (smaller windows).
 - b. *Glazing Ratio.* Street-facing facades, shall have an overall wall composition of at least 20 percent glazing, but not more than 60 percent glazing.
 - c. *Vertical Proportion.* 75 percent or more of window openings shall have a vertical proportion, in which their height exceeds their width by 25 percent or more. Openings divided by muntins of four inches or more in width shall constitute separate openings.
 - d. *Window Depth.* Trim at least three-quarters inch in depth must be provided around all windows, or windows must be recessed at least two inches from the plane of the surrounding exterior wall. For double-hung and horizontal sliding windows, at least one sash shall achieve the two-inch recess. The recess depth shall be specific to the architectural style being utilized.
 - e. *Relationship to Surrounding Buildings.* Windows shall be placed on a wall in a manner that maintains existing privacy with neighbors.
 - f. *Window and Door Materials and Detailing.*
 - i. Allowed window and door materials include wood, fiberglass, steel, or aluminum.
 - ii. Muntins, if used, shall be true and divide one pane from the adjoining pane, be of substantial dimension, and not be flat.
 - iii. Flush “nail-on” aluminum windows, and horizontal aluminum sliding windows are prohibited.

- iv. The color of vinyl and vinyl clad windows shall be consistent with the overall color scheme of the building. For example, white windows should be used with window trim that is painted a deep color.
- v. Glazing shall be clear glass, particularly in storefront and primary window applications. Transom and other specialty windows are not required to be clear and may be decorative.
- vi. Window sills shall be detailed to properly shed water.
- vii. Head casing shall be equal in width to or wider than jamb casing.
- viii. Accessories may include operable shutters sized to match their openings, opaque canvas awnings and other shading devices, and planter boxes supported by visible brackets appropriate to each design. Security bars are prohibited on façade windows.

9. ***Façade Alignment***

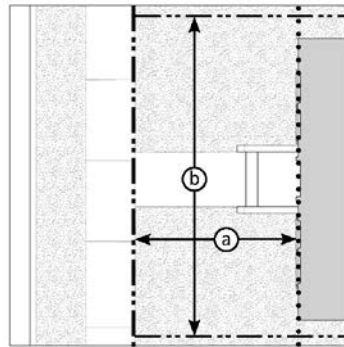
- a. *Vertical Alignment.* With the exception of roofs, cornices, and other such features, façades shall be oriented vertically and shall have no slope.
- b. *Horizontal Alignment.* With the exception of bay windows and similar features, facades that are located within 30 feet of a public street shall run parallel or perpendicular to said street. Civic buildings are exempt from this requirement.

10. ***Façade Elements.***

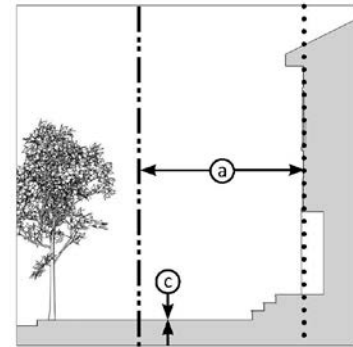
- a. *Applicability.* Street-facing façades shall incorporate a minimum of two of the Façade Elements shown in Table 15-1611-C.6.

TABLE 15-1611-C.6: FAÇADE ELEMENTS—NR OVERLAY DISTRICT**A. Front Yard****1. Basic Standards**

- Ⓐ Clear Depth: 5 ft. min.
- Ⓑ Length: 15 ft. min.
- Ⓒ Height above Sidewalk: 3 ft. max.



Plan



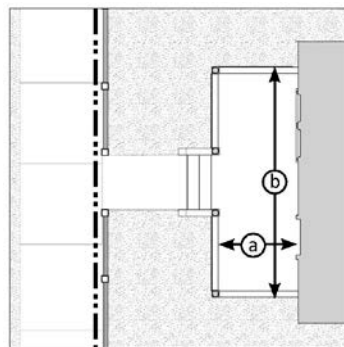
Section

1. Supplemental Standards

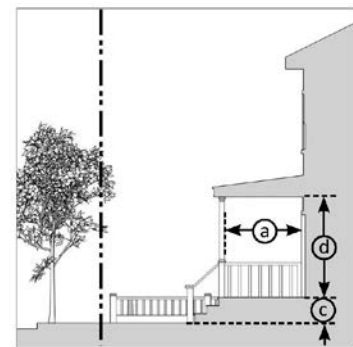
- a. Planters, garden walls, fences and hedges are permitted at the sidewalk to a maximum height of 3 ft. per Section 15-2006. Materials and design shall be compatible with the architectural style of the building.
- b. Water features, shade structures, seating, and gardens are encouraged in this area.
- c. Vehicular parking, trash collection, and storage are not permitted in this area.
- d. When Front Yards are raised from the level of the sidewalk, the resulting retaining wall shall be decorative and clad in brick or stone.

B. Porch**1. Basic Standards**

- Ⓐ Clear Depth: 5 ft. min., 15 ft. max.
- Ⓑ Length: 8 ft. min.
- Ⓒ Height above adjacent grade: 18 in. min., 4 ft. max.
- Ⓓ Height: 8 ft. min. clear from the finish floor



Plan



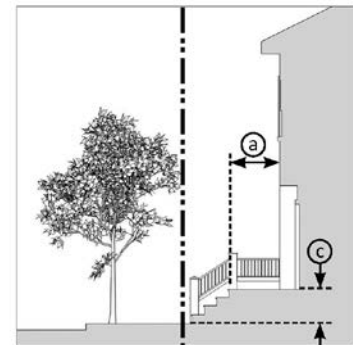
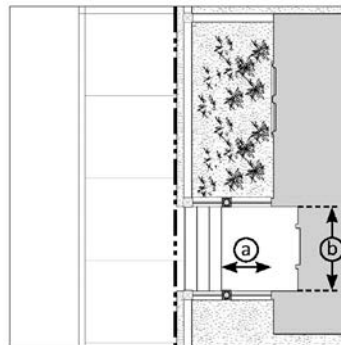
Section

2. Supplemental Standards

- a. Provide landscaping in front of and around porch.
- b. Railings should be no higher than required by the building code.
- c. The porch may extend around to encroach into the street sideyard up to 1/2 of the required setback. If insufficient distance exists, the minimum porch depth shall be achieved by moving back the façade the necessary distance.
- d. Awnings may be attached to the face of the porch if the awning is adequately supported and if the awning is compatible with the architectural style of the porch and building.
- e. Porches shall not be enclosed, including by insect screens.

TABLE 15-1611-C-6: FAÇADE ELEMENTS—NR OVERLAY DISTRICT**C. Stoop****1. Basic Standards**

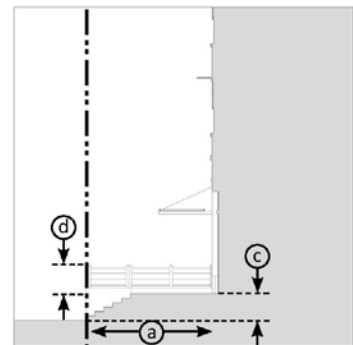
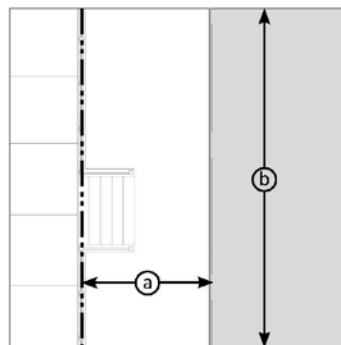
- Ⓐ Clear Depth: 6 ft. min., 15 ft. max.
- Ⓑ Length: 4 ft. min., 10 ft. max.
- Ⓒ Height: Max. 4 ft. elevation above finish sidewalk grade

**2. Supplemental Standards**

- a. Landscaping encouraged in front, around and/or within walls of stoop.
- b. Minimum 3 ft. to maximum 4 ft. high garden wall and gate may be provided at entry to stoop.
- c. Entry gates to swing in a direction away from sidewalk.
- d. Use of other frontage types at entry stoop (e.g., awning, bay window, arcade) allowed.
- e. Exterior stairs may be located perpendicular or parallel to the adjacent sidewalk.
- f. The landing may be covered or uncovered, but shall not be enclosed beyond the building façade (e.g., stoop landings may be recessed into the building façade and be enclosed by the walls of the recess).

D. Terrace**1. Basic Standards**

- Ⓐ Clear Depth: 7 ft. min.
- Ⓑ Length: no min./no max.
- Ⓒ Height: Max. 4 ft. elevation above finish sidewalk grade
- Ⓓ Railing Height: no higher than required by the building code

**2. Supplemental Standards**

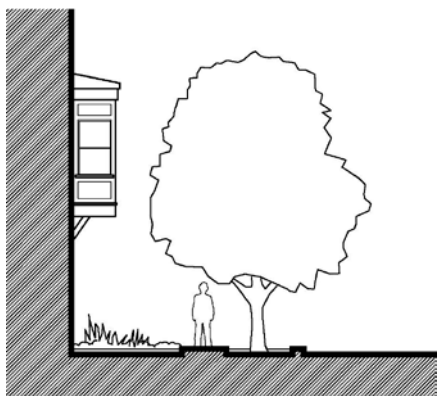
- a. Use of other frontage types (e.g., awning, bay window) allowed.
- b. Exterior stairs may be perpendicular or parallel to the adjacent sidewalk but shall not encroach into the right-of-way. The landing may be covered or uncovered.

TABLE 15-1611-C-6: FAÇADE ELEMENTS—NR OVERLAY DISTRICT

E. Bay Window

1. Basic Standards

- Ⓐ Depth: 2 ft. min., 4 ft. max.
- Ⓑ Length: 15 ft. max.
- Ⓒ Height for 2nd fl.: 10 ft. min. clear from the ground
- Ⓓ Encroachment into Setback: 3 ft. max.



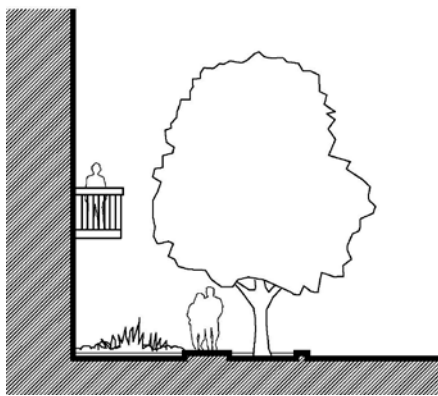
2. Supplemental Standards

- a. Bay windows are permitted on the ground floor of buildings with residential ground floors.
- b. Provide landscape in front and around bay windows on the ground floor.
- c. Bay windows to have a minimum 25% glazing.

F. Balcony

1. Basic Standards

- Ⓐ Depth: 5 ft. min., 10 ft. max.
- Ⓑ Length: 8 ft. min.
- Ⓒ Height: 8 ft. min. clear, 12 ft. max. clear from the finish floor
- Ⓓ Encroachment into Setback: 4 ft. max.



2. Supplemental Standards

- a. Balcony may be covered but should be a minimum 50% open on three sides.

Article 16 General Site Regulations

Section 15-2006 already exists within the Citywide Development Code for the purpose of regulating fences, hedges, and walls. Section 15-2006-E was reserved for fencing requirements for Downtown Districts. The following content for Section 15-2006-E is new and will regulate fences in the DT and other mixed use districts. The pre-existing fence regulations will apply in the remainder of the Downtown Planning Area. Changes to 15-2006-M are proposed in order to clarify permitted and prohibited materials in all areas.

Black text is presently in the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-1606 Fences, Walls, and Hedges

- E. **Fence Requirements for DT, MX, and CMS Districts.** In Downtown and other pedestrian-oriented areas it is of critical importance to create an attractive, active, and comfortable pedestrian environment. It is equally important to secure property and to keep unauthorized people out of private areas. This subsection has been structured to balance these two needs by allowing the entire perimeter of a block or property to be secured by a combination of buildings and fences, while not allowing for suburban-style fenced complexes. Buildings should visually dominate private frontage, with taller fencing filling in the gaps along the street and securing sides and rears of properties as put forth below.
1. **Identifying the Front Yard Line.** For the purposes of this subsection only, the Front Yard will be considered to be the area between the Front Yard Line and the back of the sidewalk. The Front Yard Line shall be identified as follows:
 - a. For sites which abut two or more streets, the Front Yard Line for each street frontage shall be measured individually.
 - b. The Front Yard shall be the entire area between the back of the sidewalk and a straight parallel line which is located 12 inches behind the façade of the primary building and which extends along the entire frontage (the “front yard line”).
 - c. For complex or highly articulated buildings the front yard line shall be measured from the furthest point back on the street-facing façade of the building, at the discretion of the Review Authority.
 - d. When there is more than one building along a lot’s frontage (as determined by the Review Authority), the front yard line shall be measured from the façade of the building (excluding accessory buildings) along the frontage which is set back the greatest distance.

- e. Front yard fence standards shall apply to all fences within the Front Yard, including those which are parallel or perpendicular to the street and including those which enclose porches, patios, and other such spaces.
- f. A frontage shall not have a Front Yard Line, and all fences on that frontage shall be considered Interior/Rear Yard Fences, if the following circumstances apply:
 - i. The building sits directly at the back of the sidewalk, and no other building exists on that frontage of the lot.
 - ii. The site is occupied by a legal non-conforming parking lot without a building on site.
 - iii. The site is occupied by legal non-conforming buildings which are set back more than 50 feet.

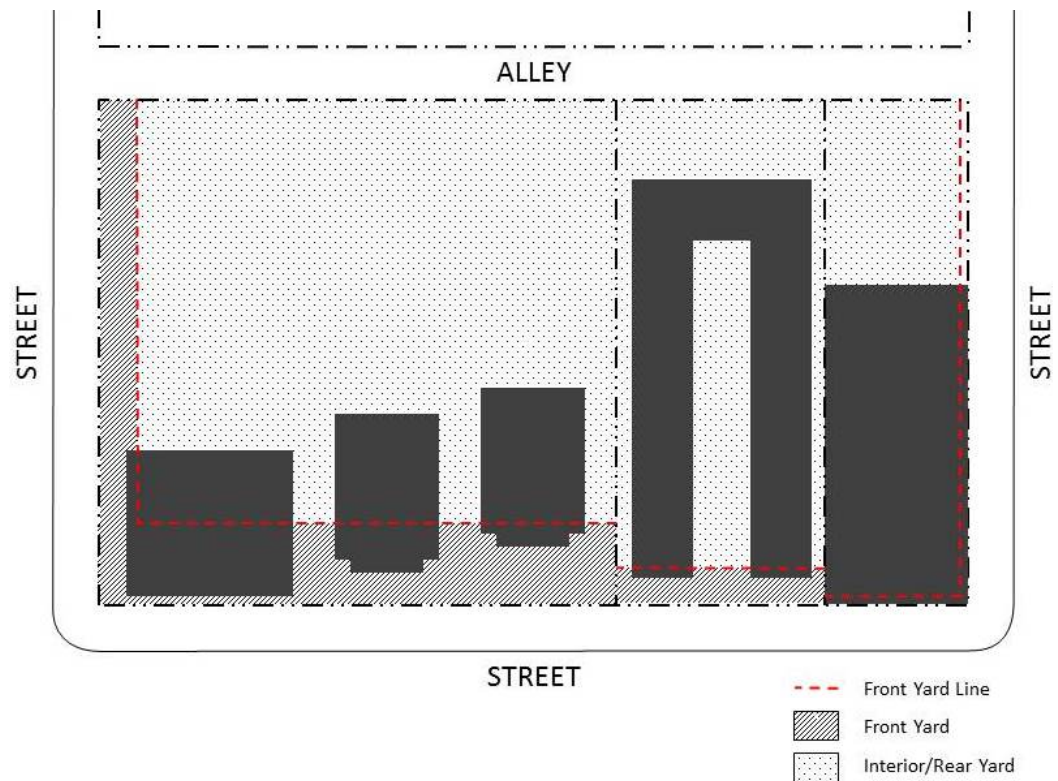


FIGURE 15-2006-E.1: IDENTIFYING THE FRONT YARD LINE

- 2. **Front Yard.**
 - a. *Minimum Setback.* All fences shall be set back no less than 12 inches from the back of the sidewalk and may not be located in the public right-of-way. No setback is required from side and rear property lines.

- b. Maximum Height. Three feet.
- c. Transparency. Fences must be open a minimum of 80 percent (e.g., no more than 20 percent opaque) to allow for the passage of light and air.
- d. Materials.
 - i. Front yard fence materials shall consist only of wood, tubular steel, wrought iron, or other decorative metal. Brick, stone, or stucco piers may be used in combination with these materials. New chain link front yard fences are prohibited.
 - ii. Retaining walls shall be designed consistent with the architectural style of the main building. Retaining walls shall consist only of decorative concrete, masonry, stone, or brick. Timber may be permitted unless it is in conflict with the Building Code or applicable Public Works standards.
 - iii. Veneer or synthetic materials simulating the actual, natural material (e.g., brick or stone veneer in place of actual brick or stone) shall only be allowed upon demonstrating to the Review Authority that the substitute material:
 - (1) Adequately simulates the natural material; and
 - (2) Is organized visually to simulate actual construction using the natural material (e.g., organization of brick rows, larger stones at the bottom and smaller stones toward the top).

3. **Interior and Rear Yards.**

- a. Minimum Setback. All fences shall be set back no less than 12 inches from the back of the sidewalk and may not be located in the public right-of-way. No setback is required from side and rear property lines.
- b. Maximum Height. Six feet.
- c. Transparency. No requirement. Fences and walls may be up to 100 percent opaque.
- d. Materials.
 - i. Interior and side yard fence and wall materials shall consist only of wood, tubular steel, wrought iron, other decorative metal, brick, stone, stucco, concrete block. Chain link may be used when it is not visible from a public street as determined by the Review Authority.
 - ii. Interior and side yard fences and walls shall be designed to be consistent with the architectural style of the main building when they are visible from a public street as determined by the Review Authority.

- iii. When visible from a public street, veneer or synthetic materials simulating the actual, natural material (e.g., brick or stone veneer in place of actual brick or stone) shall only be allowed upon demonstrating to the Review Authority that the substitute material:
 - (1) Adequately simulates the natural material; and
 - (2) Is organized visually to simulate actual construction using the natural material (e.g., organization of brick rows, larger stones at the bottom and smaller stones toward the top).
- 4. **Through Lots.** All street frontages shall be considered Front Yards.
- 5. **Private Patios, Yards, Etc.**
 - a. Facing Front Yard or Common Open Space. Fences, walls, or hedges enclosing private patios, yards, or porches that face the Front Yard or the Common Open Space are subject to the requirements of section 15-2006.E.2 above.
 - b. Interior Yard and Rear Yards. Fences and walls up to six feet in height may enclose private patios or yards.

M. **Additional Materials Standards.**

- 1. **Limitation on Chain-Link Fencing.** Chain-link fencing is not permitted in:
 - a. *Single-Family Districts.* Along a Major Street, unless it is three feet or less in height.
 - b. *Multi-Family Districts and Mixed-Use Districts.*
 - i. Along a Major Street.
 - ii. Local Streets. Along street-facing yards in developments that contain six or more units.
 - (1) Exception. A fence that is three feet or less in height and located within the Pinedale Neighborhood Plan.
 - c. *Office and Commercial Districts.* Along Major Street-facing yards, or when the parcel shares a street that also serves a Residential District.
 - d. *Industrial Districts.* When abutting a residential use or when located across a Local Street from a residential use.
- 2. **Limitation on Concrete/Masonry Block.** Plain concrete block shall not be the primary material along Major Streets or other situations when block walls are required as part of project approval, such as at the rear of landscape easements. Concrete block or precast concrete walls shall be split face or finished with stucco, and capped with a decorative cap, or other decorative material as may be approved by the Director. Other materials may be approved by the Director should the design provide for an enhanced

appearance. For continuity, walls should incorporate similar styles, colors, etc., when located on the same side of the street.

3. ***Limitation on Wire Mesh Fencing.*** Wire mesh fencing shall be permitted in the following circumstances:
 - a. Commercial Districts, O Districts, BP Districts, and RBP districts when not visible from a public street;
 - b. Industrial Districts.
4. ***Permitted Materials.*** The following materials shall be permitted in all districts, except when a district has a more restrictive list of permitted materials:
 - a. Materials specifically permitted elsewhere in this Section;
 - b. Wood pickets;
 - c. Split rail wood;
 - d. Wrought iron and tubular steel;
 - e. Brick and stone;
 - f. Stucco;
 - g. Shade cloth when used in combination with permitted fencing such as chain link, wrought iron, or tubular steel, provided it consists of materials specifically manufactured for such a purpose; and
 - h. Privacy slats when in combination with chain link fencing (when chain link is allowed) provided it consists of materials specifically manufactured for such a purpose.
5. ***Prohibited Materials.*** The following materials shall not be permitted to be used as a fence material in any district:
 - a. Plywood, oriented strand board, pressboard, and similar wood products;
 - b. Chicken wire or similar wire products;
 - c. Corrugated metal or corrugated plastic;
 - d. Piping (including metal, PVC, and other materials);
 - e. Hazardous fencing shall only be allowed as put forth in Section 15-2009, and when allowed shall not consist of improved materials, such as broken glass or nails.
 - f. Improvised materials, including but not limited to wood scraps, doors, garage doors, refrigerator doors, and mattresses;
 - g. Improvised screening materials, including but not limited to blankets and tarps; and
 - h. Any material not listed unless approved by the specifically Review Authority.

6. ***Fence Construction.***

- a. All fences must be built with a professional and durable appearance and must be maintained in good condition.
- b. Permitted materials may be combined (for example, brick columns combined with wrought iron panels), but combinations shall not be haphazard or random in appearance.

Article 24 Parking and Loading

Section 15-2407 was reserved for parking requirements for Downtown Districts. The following content is a new section which will be added to the Citywide Development Code to regulate the DTN, DTG, and DTC districts. The pre-existing parking regulations will apply in the remainder of the Downtown Planning Area. Other regulations which are already present within the Citywide Development Code already apply to Downtown and help to implement the Fulton Corridor Specific Plan, such as the ability to create in-lieu parking districts, a mechanism to reduce parking requirements, etc.

Black text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-2407 Required Parking for Downtown Districts

- A. The required number of on-site parking spaces are stated in Table 15-2407, Required Parking for Downtown Districts. The parking requirement for any use not listed in Table 15-2407 shall be the same as required for the land use in other districts as stated in Table 15-2409, Required Parking, Other Districts.

TABLE 15-2407: REQUIRED ON-SITE PARKING SPACES, DOWNTOWN DISTRICTS	
<i>Use</i>	<i>Required Parking Spaces</i>
Residential	
Studio, and one-bedroom units	0.5 space per unit
Two bedrooms	0.5 space per unit
Three or more bedrooms	0.5 space per unit
Non-Residential	
Office	None Required
Retail	None Required
Restaurant	None Required
All other Non-Residential uses	None Required

Article 26 Signs

Sign regulations already exist within the Citywide Development Code, but they require the following revisions and additions in order to fully implement the vision of the Downtown plans. Unaltered sections and subsections of the Citywide Development Code sign regulations are not included here.

Black text is presently in the Citywide Development Code. Red strikethrough text will be deleted from the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-2608 Permitted Sign Types by District

The following table establishes the types of signs allowed by district.

TABLE 15-2608: PERMITTED SIGN TYPES BY ZONING DISTRICT							
Zoning District (Frontage)	Permitted Sign Types						
	Awning	Monument	Pole	Projecting	Roof	Wall	Window
Buffer, Residential, and Public and Semi-Public Districts							
All Districts	See Section 15-2609, Signage Allowances for Specific Uses						
Downtown Districts							
DTC	Permitted	-	-	Permitted	Permitted	Permitted	Permitted
DTG	Permitted	Permitted (1)	-	Permitted	Permitted	Permitted	Permitted
DTN	Permitted	-	-	Permitted	Permitted	Permitted	Permitted
Mixed-Use Districts							
NMX	Permitted	-	-	Permitted	-	Permitted	Permitted
CMX	Permitted	Permitted	-	Permitted	-	Permitted	Permitted
RMX	Permitted	Permitted	Permitted	Permitted	-	Permitted	Permitted
Commercial Districts							
CMS	Permitted	-	-	Permitted	-	Permitted	Permitted
CC	Permitted	Permitted	-	Permitted	-	Permitted	Permitted
CR	Permitted	Permitted	Permitted	Permitted	-	Permitted	Permitted
CG	Permitted	Permitted	Permitted	Permitted	-	Permitted	Permitted
CH	Permitted	Permitted	Permitted	Permitted	-	Permitted	Permitted
CRC	Permitted	Permitted	Permitted	Permitted	-	Permitted	Permitted
Employment Districts							
O	Permitted	Permitted	-	Permitted	-	Permitted	Permitted
BP	Permitted	Permitted	-	Permitted	-	Permitted	Permitted

TABLE 15-2608: PERMITTED SIGN TYPES BY ZONING DISTRICT

Zoning District (Frontage)	Permitted Sign Types						
	Awning	Monument	Pole	Projecting	Roof	Wall	Window
RBP	Permitted	Permitted	Permitted	Permitted	-	Permitted	Permitted
IL	Permitted	Permitted	-	Permitted	-	Permitted	Permitted
IH	Permitted	Permitted	-	Permitted	-	Permitted	Permitted

Notes:

1. Only permitted within the Downtown General (DTG) District along Mariposa Street between M Street and P Street or in conjunction with a legal non-conforming building that is set back from the sidewalk 30 feet or more.

15-2610 Standards for Specific Sign Types

This section establishes location and other general standards for specific sign types that apply to all areas where such signs are permitted. Additional standards applicable to these signs in specific zoning districts or associated with specific uses are located in Sections 15-2608, Standards for Signs by District, and 15-2609, Signage Allowances for Specific Uses.

A. **Awning and Canopy Signs.** Signs painted or printed on awnings, mounted to canopies, ~~areades~~, or similar features or structures are subject to the following standards:

1. **Location.** Awnings/canopies that display signage shall be located on the ground floor of buildings.
2. **Maximum Sign Area Per Sign.** 10 square feet or 25 percent of the surface area of the awning, whichever is less. Signs mounted to canopies shall be no taller than 24 inches.
3. **Minimum Sign Clearance.** Eight feet.
4. **Illumination.** Internal illumination of awnings is prohibited.

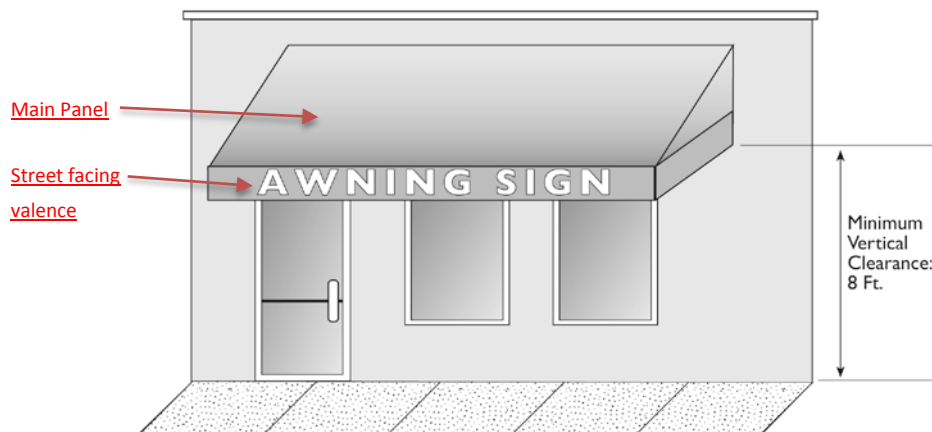
**FIGURE 15-2610-A: AWNING SIGN**



FIGURE 15-2610-B: CANOPY SIGN

C. **Monument Signs.** Monument signs are subject to the following standards:

1. ***Maximum Number.*** One per 600 feet of street frontage.
2. ***Maximum Sign Area per Sign.***
 - a. RMX, CR, CG, CH, and RBP districts: 60 square feet.
 - b. Other permitted districts: 32 square feet.
3. ***Minimum Separation.*** Monument signs shall have a minimum separation of 50 feet from any other monument sign.
4. ***Required Setback.***
 - a. Five feet from the property line.
 - b. No monument sign is permitted within 660 feet of the nearest edge of any travel lane of Freeway 41 or any future freeway which may be opened to public travel, if any said sign is visible from any part of such travel lane.
5. ***Height Limit.*** Eight feet.
 - a. **Exception.** When permitted within a Downtown (DT) District: five feet.
6. ***Lighting.*** Lighting systems shall not exceed 100 foot Lamberts (FT-L) when adjacent to streets which have an average light intensity of less than 2.0 horizontal foot candles. When adjacent to streets with a greater average light intensity, systems shall not exceed 500 FT-L.

E. **Wall Signs.** Wall signs are subject to the following standards:

1. **Maximum Number.** One per building frontage or tenant space plus one building identification sign per building frontage located on the uppermost story of a building with four or more stories.
2. **Maximum Sign Area Per Sign.** Five percent of the wall area or 100 square feet, whichever is less.
3. **Height Limit.** The top of Wall Signs shall be no higher than the following:
 - a. Downtown Districts. Wall Signs shall not be located closer than 12 inches to the eve or parapet.
 - b. Other Districts, Buildings Which Include Residential Uses. 20 feet or the height of the wall of the building to which the sign is attached, whichever is lower. Building identification signs located on the uppermost story of a building shall be no higher than the wall of the building to which the sign is attached.
 - c. Other Districts, Buildings Which Do Not Include Residential Uses. The height of the wall of the building to which the sign is attached.
4. **Projection Allowed.** Wall signs shall not extend more than 12 inches beyond the face of the wall to which they are attached.
5. **Placement.**
 - a. No wall sign may cover, wholly or partially, any wall opening.
 - b. Wall signs shall not occupy more than 80% percent of any architectural element that they occupy (frieze, pilaster, etc.).
 - c. Buildings within Downtown Districts. Wall Signs shall not be located closer than 24 inches from openings or the edge of the building façade.
6. **Orientation.** Unless a different orientation is specifically authorized, each wall-mounted sign shall be placed flat against the wall of the building.
7. **Illumination within Downtown Districts.** If illuminated, Wall Signs may be only illuminated by one of the following methods:
 - a. External Illumination. Externally illuminated with decorative lamps mounted in a manner that does not block the view of the sign from the street or sidewalk.
 - b. Exposed Neon. Individual letters may be internally illuminated with exposed neon tubes or a similar light source, but shall not have a translucent panel, lens, or face.
 - c. Halo. The illumination of a sign by projecting light behind an opaque letter or emblem which results in the appearance of ring of light around the unilluminated letter or emblem.



FIGURE 15-2610-E: WALL SIGN

Article 49 Planning Authorities

The following table is not regulatory, but provides an overview of permits and actions for ease of reference. The change identified below would make this table consistent with the changes being proposed in article 51.

Black text is presently in the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

No changes were proposed to this Article in the July 27 Public Review Draft. All changes shown are new and therefore are highlighted in yellow.

TABLE 15-4907: PLANNING PERMITS AND ACTIONS		
<i>Proposed Activity</i>	<i>Permit or Action Required</i>	<i>Type of Decision</i>
Use-Only Proposals		
Establishment of a (P) Permitted use, not associated with development of property	Zone Clearance	Ministerial
Establishment of a (C) Conditional use	Conditional Use Permit	Discretionary Quasi-Judicial
Establishment of a Temporary use	Temporary Use Permit	Discretionary Quasi-Judicial
Establishment of use which is not listed in this Code	Director's Determination	Ministerial
Development Proposals		
Development of one single-family home, or duplex, <u>or qualifying Downtown housing</u> which complies with all provisions of this Code	Zone Clearance	Ministerial
Development of property to a greater extent than is covered by a Zone Clearance	Development Permit (Formerly Site Plan Review)	Discretionary Quasi-Judicial
Request for relief from property development standards due to unique conditions in conjunction w/a Development Permit	Variance	Discretionary Quasi-Judicial
Request for relief from property development standards of 10% or less in conjunction with a Development Permit	Minor Deviation	Discretionary Quasi-Judicial
Innovative development proposal which does not comply with the provisions of any zone district within this Code	Planned Development Permit	Discretionary Quasi-Judicial

Article 51 Zone Clearance

The Zone Clearance already exists within the Citywide Development Code, but requires the following edits in order to implement streamlined review of certain Downtown housing projects.

Black text is presently in the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

No changes were proposed to this Article in the July 27 Public Review Draft. All changes shown are new and therefore are highlighted in yellow.

15-5101 Purpose

This article establishes procedures for conducting a Zone Clearance to verify that each new or expanded use or structure complies with all of the applicable requirements of this Code and with any applicable policies or standards of the General Plan and any operative plans.

15-5102 Applicability

- A. **Establishment of a Permitted Use.** A Zone Clearance is required to confirm that the establishment of a new use is permitted as a matter of right and that no Conditional Use Permit or other entitlements are required prior to securing a tax certificate and commencing operations.
- B. **Development of One Single-Family Home or One Duplex.** A Zone Clearance is required to confirm that the construction of one single-family house or one duplex is permitted as a matter of right and that such a project is being proposed in a manner which is compliant with, and without any deviations from, all applicable development standards prior to securing a building permit. If a proposed development project does not meet the threshold for a Zone Clearance it shall be required to secure a Development Permit.
- C. **Signs.** Unless a Master Sign Program is required per Section 15-2612, a Zone Clearance is required to confirm that proposals for new signage are consistent with all applicable regulations of this Code.

D. Downtown Housing.

- 1. Downtown projects which meet all of the following criteria shall require a Zone Clearance to confirm that their construction is permitted as a matter of right and that such a project is being proposed in a manner which is compliant with, and without any deviations from, all applicable development standards prior to securing a Building Permit:
 - a. Located within a DT District;
 - b. A minimum of 16 total dwelling units in the project;
 - c. A residential density of no less than 20 du/ac;

d. Residential uses must occupy 50% or more of the total floor area; and

e. No historic resources or potential historic resources are located on the site.

2. Downtown projects which do not meet the threshold for a Zone Clearance shall be required to secure a Development Permit.

DE. **Other Activities.** A Zone Clearance shall be required for any other activity for which a Zone Clearance is specifically required elsewhere in this Code.

EF. **Exceptions.**

1. No Zone Clearance shall be required for the continuation of previously approved or permitted uses and structures, or uses and structures that are not subject to any Building Code or Development Code regulations.
2. A change in building use that complies with this Code shall require a Building Permit if the use is in a different Building Code occupancy group class, such as conversion of a retail building to public assembly or residential use.

15-5103 Review Authority

If the Director determines that the proposed use or building is allowed as a matter of right by this Code, and conforms to all the applicable development and use standards, the Director shall issue a Zone Clearance.

15-5104 Application Requirements

- A. Applications for a Zone Clearance shall be submitted in accordance with the provisions set forth in Section 15-5002, Application and Fees.
- B. The Director may request that the Zone Clearance application be accompanied by a written narrative, operational statement, plans, and other related materials necessary to show that the proposed development, alteration, or use of the site complies with all applicable provisions of this Code. The Director may require attachments of other written or graphic information, including, but not limited to, statements, numeric data, site plans, floor plans, and building elevations and sections, as a record of the proposal's conformity with the applicable regulations of this Code.

15-5105 Public Notice

Public notice shall not be required.

Article 55 Terms and Definitions

The Terms and Definitions already exist within the Citywide Development Code, but they require the following revisions and additions in order to fully implement the vision of the Downtown plans. Unaltered portions are not included here.

Black text is presently in the Citywide Development Code. Red strikethrough text will be deleted from the Citywide Development Code. Underlined red text is new language that will be added to the Citywide Development Code.

Text which is highlighted in yellow has been revised since the released of the July 27 Public Review Draft.

15-5501 List of Terms

City Council

Clear

Conditionally Permitted

Mixed-Use Development

Muntin

Noise-Related Definitions

Security Grate or Grilles

Service Areas

Setback

15-5502 Definitions

City Council. The City Council of the City of Fresno.

Clear. Measured depth of frontage elements such as porches, arcades, galleries are free of encroachments other than allowed signs, light fixtures, sidewalk dining and allowed furnishings, and outdoor display of merchandise.

Conditionally Permitted. Permitted subject to approval of a Conditional Use Permit.

Mezzanine. An intermediate floor within a building interior without walls, partitions, closets, screens, or other complete enclosing interior walls or partitions that is open to the floor below and has a floor area that is no greater than one-third of the total floor area of the floor below. When the total floor area of a mezzanine exceeds one-third of the total floor area of the floor

below it constitutes an additional story. In some instances, mezzanine may be defined differently by the Building Code.

Muntin. A bar or rigid supporting strip between adjacent panes of glass.

Mixed-Use Development. The development of a parcel or building with two or more different land uses such as, but not limited to, a combination of residential, office, manufacturing, retail, public, or entertainment in a single or physically integrated group of structures.

Security Grate or Grilles. A metal grate that rolls up over, or slides across, a window or door to provide protection against unwanted entry. It also can be a fixed metal fixture over window openings.

Service Areas. Portions of a building which are utilitarian in nature and are not typically frequented by the general public or occupants of the building, such as utility equipment rooms, freight loading areas, trash/recycling rooms, and emergency exit stairways/hallways.

Setback. The distance between the parcel line and a building, not including permitted projections, that must be kept clear or open. See also Section 15-304, Measuring Distances, and Section 15-313, Determining Setbacks (Yards).