

ATTACHMENTS

EXHIBIT A:

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

1. Common name: Warehouse Row Buildings
2. Historic name, if known: Same
3. Street or rural address 702, 744, and 764 'P' Street
City: Fresno, California ZIP: 93701 County: Fresno
4. Present owner, if known: Arthur and Audrey Dyson Address: 702 'P' Street
City: Fresno, California ZIP: 93701 Ownership is: Public ☐ Private ☒
5. Present Use: Commercial Original Use: Warehouse, ice production & meat processing plant.
- Other past uses: _____

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

The Warehouse Row Buildings comprise three buildings, The Wormser Warehouse, The Swift Co. meat packing plant, and The Fresno Consumers Ice Co. Building. Each structure is made of brick laid in stretcher bond pattern. Basements and arched windows are common to all three buildings. The Wormser Warehouse features a trussed ceiling and eight skylights. Its only alteration was the addition of a guyed porch in 1952. The two story Swift building features a tunnel, built in 1951, connecting it to a building across the street. Loading docks were added across the front and back in 1935. The Fresno Consumers Ice Co. building features Queen Anne style brick detailing along the cornice. In 1928 the building was enlarged by the addition of a three story poured concrete structure.

Revisions to structures have been in keeping with general character and have not changed historical significance of development.

702 P St. 225 x 150

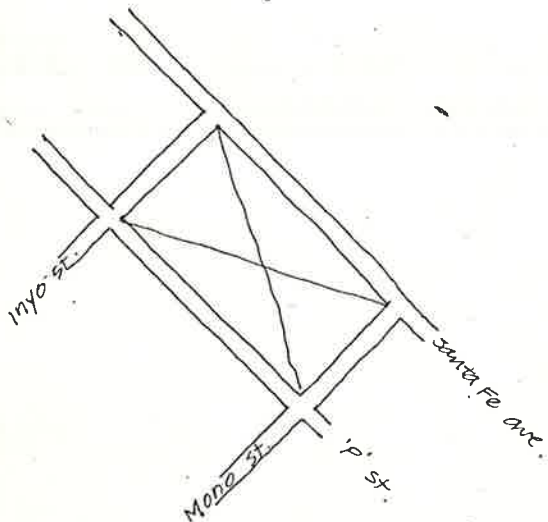
744 P St. 125 x 150

764 P St. 50 x 150

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):

702 P St. - 468-166-03
744 P St. - 468-166-02
764 P St. - 468-166-01

NORTH



8. Approximate property size:

Lot size (in feet) Frontage _____
Depth _____;
or approx. acreage 1.5.

9. Condition: (check one)

a. Excellent ☐ b. Good ☒ c. Fair ☐
d. Deteriorated ☐ e. No longer in existence ☐

10. Is the feature a. Altered? ☒ b. Unaltered? ☐

11. Surroundings: (Check more than one if necessary)

a. Open land ☐ b. Scattered buildings ☐
c. Densely built-up ☐ d. Residential ☐
e. Commercial ☐ f. Industrial ☒
g. Other ☒ railway

12. Threats to site:

a. None known ☒ b. Private development ☐
c. Zoning ☐ d. Public Works project ☐
e. Vandalism ☐ f. Other ☐

13. Date(s) of enclosed photograph(s): 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone ☐ b. Brick ☒ c. Stucco ☐ d. Adobe ☐ e. Wood ☐
f. Other ☐
15. Is the structure: a. On its original site? ☒ b. Moved? ☐ c. Unknown? ☐
16. Year of initial construction 1903-10 This date is: a. Factual ☒ b. Estimated ☐
17. Architect (if known): Unknown
Unknown
18. Builder (if known): _____
19. Related features: a. Barn ☐ b. Carriage house ☐ c. Outhouse ☐ d. Shed(s) ☐ e. Formal garden(s) ☐
f. Windmill ☐ g. Watertower/tankhouse ☐ h. Other ☒ tunnel i. None ☐

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

The Warehouse Row Buildings are significant because the three buildings included represent some of the earliest commercial structures still standing in Fresno. In 1896, the Santa Fe Railway came to Fresno, and in the next few years the three buildings that now comprise this complex, the Wormser Warehouse, the Swift packing plant, and the Fresno Consumers Ice Co. were built along the tracks to take advantage of direct transportation between Fresno and other cities. At this time, 1900 to 1910, Fresno was experiencing a population and agricultural boom, and these structures reflect the prosperity of those days. The Wormser Warehouse was built in 1903 for the Wormser Furniture Co. which was one of the largest businesses of its kind in the state. The Swift plant, built in 1910, specialized in turkey processing, and the Fresno plant became a major supplier of fresh frozen turkeys to both Southern and Northern California. The Fresno Consumers Ice Co., begun in 1903, was the first ice co. in Fresno to concentrate solely on ice production, and the first to make home deliveries.

21. Main theme of the historic resource: (Check only one): a. Architecture ☐ b. Arts & Leisure ☐
c. Economic/Industrial ☒ d. Exploration/Settlement ☐ e. Government ☐ f. Military ☐
g. Religion ☐ h. Social/Education ☐

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Vandor, Paul E. History of Fresno County, and the San Joaquin Valley with Biographical Sketches, Los Angeles, Historic Record Co., 1919, 2 vol.

23. Date form prepared: 7/15/77 By (name): Jack Weyant
Address: 5335 N. McCall City Clovis, California ZIP: 93612
Phone: (209) 229-1565 Organization: Warehouse Row Development Co.

(State Use Only)

HP3

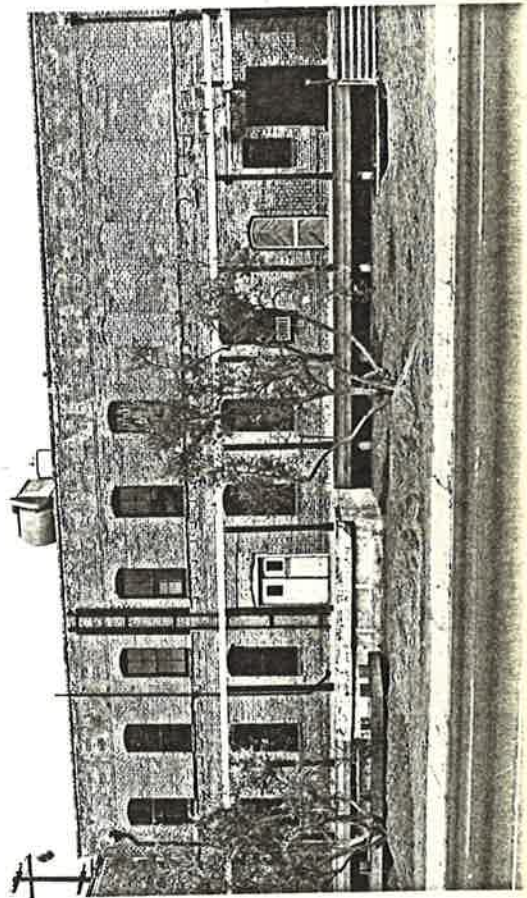


EXHIBIT B:

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

PH0507733

FOR NPS USE ONLY

DATA SHEET

RECEIVED

NOV 18 1977

DATE ENTERED

MAR 24 1978

NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORMSEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC

Warehouse Row Historic District

AND/OR COMMON

same

JUL 27 1977

LOCATION

(Within sections 3 and 10 of Township 14 Range 20
East, Mt. Diablo Base and Meridian)
722, 744, and 764 "P" Street

STREET & NUMBER

NOT FOR PUBLICATION

CITY, TOWN

Fresno

VICINITY OF

CONGRESSIONAL DISTRICT

15th

STATE

California

CODE

06

COUNTY

Fresno

CODE

019

CLASSIFICATION

CATEGORY

☒ DISTRICT☐ BUILDING(S)☐ STRUCTURE☐ SITE☐ OBJECT

OWNERSHIP

☐ PUBLIC☒ PRIVATE☐ BOTH

PUBLIC ACQUISITION

☐ IN PROCESS☐ BEING CONSIDERED

STATUS

☐ OCCUPIED☐ UNOCCUPIED☒ WORK IN PROGRESS

ACCESSIBLE

☐ YES: RESTRICTED☒ YES: UNRESTRICTED☐ NO

PRESENT USE

☐ AGRICULTURE☒ COMMERCIAL☐ EDUCATIONAL☐ ENTERTAINMENT☐ GOVERNMENT☐ INDUSTRIAL☐ MILITARY☐ MUSEUM☐ PARK☐ PRIVATE RESIDENCE☐ RELIGIOUS☐ SCIENTIFIC☐ TRANSPORTATION☐ OTHER:

OWNER OF PROPERTY

NAME

Arthur and Audrey Dyson

STREET & NUMBER

702 "P" Street

CITY, TOWN

Fresno

VICINITY OF

STATE

California 93721

LOCATION OF LEGAL DESCRIPTION

COURTHOUSE,
REGISTRY OF DEEDS, ETC.

Fresno County Recorder's Office, Hall of Records

STREET & NUMBER

2281 Tulare Street, Room 302

CITY, TOWN

Fresno

STATE

California

6 REPRESENTATION IN EXISTING SURVEYS

TITLE

List of Historical Sites and Buildings in Fresno County

DATE

1976

☐ FEDERAL ☐ STATE ☐ COUNTY ☒ LOCALDEPOSITORY FOR
SURVEY RECORDS

Fresno City and County Historical Society

CITY, TOWN

Fresno

STATE

California

7 DESCRIPTION

CONDITION

☒ EXCELLENT
☒ GOOD
☐ FAIR

☐ DETERIORATED
☐ RUINS
☐ UNEXPOSED

CHECK ONE

☐ UNALTERED
☒ ALTERED

CHECK ONE

☒ ORIGINAL SITE
☐ MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Warehouse Row Historic District comprises three architecturally and historically significant buildings, the Wormser Warehouse, the Swift Co. meat packing plant, and the Fresno Consumers Ice Co. building. These structures, all of which date from the first decade of the twentieth century, reflect the growth spurred on by the building of the Santa Fe Railway and the emergence of Fresno as an important agricultural center.

The historic district is situated on a 1.5 acre block adjacent to the Santa Fe Railway tracks and near the center of downtown Fresno. One of the oldest and least altered structures in the district is the Wormser Warehouse, constructed in 1903-04 for the Wormser Furniture Co. This simple but large rectangular shaped building has two floors plus a ground level basement combining for a total of 21,000 square feet of space. It has a low gabled, composition roof with stepped parrapet trim at both gables. The floors are wooden and the walls are made of 8" brick put in the stretcher bond pattern. The double-hung, two sash windows are arched with radiating brick trim. Among the building's most distinguishing features are a trussed ceiling spanning a fifty foot width, eight skylights, and a centrally located freight elevator, still in working order. Among the few alterations from the structures original condition are the partitioning of office space and the addition of a guyed porch in 1952.

Immediately south of the Wormser Warehouse is the Swift Co. meat packing plant, built in 1910. It is is a two story building with a ground level basement and flat composition roof. As in the Wormser Warehouse, this building also has double-hung, two sash windows that are arched with radiating brick trim. Additions to the Swift plant include an expansion to the packing plant in 1919, a cooling tower in in 1935, and a tunnel in 1951. The tunnel was built under "P" Street to connect the packing plant to an eviscerating plant directly across the street. Other alterations came in 1935 when loading docks were added across the entire front and rear of the building, and in 1948 when the roof was elevated to a

8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE
<input type="checkbox"/> 1500-1599	<input checked="" type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER
<input type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input checked="" type="checkbox"/> TRANSPORTATION
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)
		<input type="checkbox"/> INVENTION		

SPECIFIC DATES

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

With the advent of irrigation in the 1890's and early 1900's Fresno County began its transformation from a desert region to one of the richest agricultural counties in the United States. The population of Fresno county nearly doubled during the first decade of the twentieth century from 37,862 to 75,657, and the city of Fresno was the hub of all of the new and increasing agricultural and commercial activity. At this same time, the very first years of the 1900's, the Santa Fe Railway came to Fresno and the opportunity for direct transportation between Fresno and other cities became an incentive for even more growth in agriculture and commercial output.

It was during these boom years in Fresno's history that the three buildings that today comprise the Warehouse Row Historic District were initiately constructed. They were built to accomodate the needs of a burgeoning population, but today they stand as a significant reminder of Fresno's early beginnings as a center of agriculture, transportation, and commerce.

In the fierce heats of Fresno's summers, ice has always been an indispensable commodity, esspecially so in the early 1900's. The Fresno Consumers Ice Co. was begun in 1903 under the name of the San Joaquin Ice Co. It was advertised at that time as the largest creamery on the Pacific Coast, but the next year, 1904, the name of the company was changed to the Fresno Consumers Ice Co. It concentrated solely on the manufacturing of ice, the first ice plant in

9 MAJOR BIBLIOGRAPHICAL REFERENCES

Vandor, Paul E. History of Fresno County, and the San Joaquin Valley with Biographical Sketches, Los Angeles, Historic Record Co., 1919, 2 vol.

Fresno County Historical Society. List of Historic Sites and Buildings in Fresno County. Fresno, California, 1977. (Continued)

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY 1.45

UTM REFERENCES

A 11 25 1760 4069000
ZONE EASTING NORTHING

B
ZONE EASTING NORTHING

C
VERBAL BOUNDARY DESCRIPTION

D
ZONE EASTING NORTHING

That property bounded on the southwest by "P" Street,
on the northwest by Inyo Street, on the northeast by S.
Santa Fe Ave., and on the southeast by Mono Street.

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
-------	------	--------	------

STATE	CODE	COUNTY	CODE
-------	------	--------	------

11 FORM PREPARED BY

NAME / TITLE

Jack Weyant

ORGANIZATION

Warehouse Row Development Co.

DATE

June 1, 1977

STREET & NUMBER

5335 N. McCall

TELEPHONE

(209) 229-1565

CITY OR TOWN

Clovis

STATE

California 93612

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL

STATE

LOCAL X

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

K. Weyant

TITLE State Historic Preservation Officer

DATE November 17, 1977

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DIRECTOR, OFFICE OF ARCHEOLOGY AND HISTORIC PRESERVATION

ATTEST: *William Cole*

KEEPER OF THE NATIONAL REGISTER

DATE

3/24/78

KEEPER OF THE NATIONAL REGISTER

DATE 3-14-78

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED NOV 18 1977

DATE ENTERED

MAR 24 1978

CONTINUATION SHEET

ITEM NUMBER 7 PAGE 2

new height.

Next to the Swift Co. plant is the Fresno Consumers Ice Co. building, which was built by T.J. Hammond in 1903. The Ice House was constructed in a manner similar to the other structures in the district. It is a rectangular two and three story building with a full basement, flat roof, and a number of loading docks. The walls are made of 8" brick put in the stretcher bond pattern, and there is some Queen Anne style brick detailing along the cornice. The double-hung two sash windows are arched with radiating brick trim. In 1910, a power house was added to the building, and in 1914 a garage and office space were added. The cold storage space was enlarged in 1916, and again in 1928 when a three story poured concrete structure was added to the original Ice House.

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED

NOV 18 1977

DATE ENTERED

MAR 24 1978

CONTINUATION SHEET

ITEM NUMBER 8 PAGE 2

Fresno to do so. It was also the first ice company in Fresno to make home deliveries. Horse drawn wagons were used until 1924 when the company made the transition to trucks. At its peak, the Fresno Consumers Ice Co. had a production capacity of 30 tons per day, using the can system of ice production, and its work force grew from 250 in 1903 to 2000 employees during the 1920's and 1930's. In 1946, the company made the transition from ice production to cold storage, but by then it had already made its mark in the commercial development of Fresno. It served Fresans for over forty years, and in a valley famous for its heat and shipping of agricultural products the Fresno Consumers Ice Co. supplied an indispensable product.

Another important link in the agricultural and commercial development of Fresno was the Swift Co. meat packing plant. It was first started in 1910 under the name of the Western Meat Co. In 1932, the company was sold to Swift and Co., concentrated primarily on poultry production. In 1945, the plant was converted completely over to turkey processing. In that same year, ice production ceased at the Fresno Consumers Ice Co. plant, and the Swift Co. then leased the building to store and **refrigerate** fresh frozed turkeys. A hatchery was constructed at 745 "P" Street, directly across the street from the Swift plant.

During the next decade the Swift Co. became an integral part of the turkey industry in the San Joaquin Valley. Swift's own hatchery increased poult production by 1,350,000 birds per year. The company would buy the eggs, hatch them, and then sell them to valley farmers to raise to maturity. Swift then bought them back and processed them at their plant. To handle the increased processing, an eviscerating plant

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY	
RECEIVED	NOV 18 1977
DATE ENTERED	MAR 24 1978

CONTINUATION SHEET

ITEM NUMBER 8

PAGE 3

was built across the street from the Swift plant and next door to the hatchery. In 1951, to convey the turkeys from the eviscerating plant to the freezing and storage units in the Swift plant, a tunnel was built under "P" Street to connect the two buildings. The frozen birds were shipped to markets throughout California, and until 1960 when the Swift Company relocated, the processing plant on "P" Street was a major focal point for the turkey industry in Fresno and throughout the San Joaquin Valley.

Another important part of the commercial history of Fresno belongs to the Wormser Furniture Co. The business was begun in 1903 by Sigmund Wormser, a noted Fresno business leader who first arrived in Fresno in 1889 and helped organize the Oil City Petrol Company, now Standard Oil Co., Section 28. He was also the organizer of the Raisin City Realty Co., but in 1903 he opened the Wormser Furniture Company which was an immediate success. It eventually became one of the largest businesses of its kind in the state of California. During those years, the Merchants Association of Fresno was formed and Wormser was elected its first president. Sigmund Wormser retired in 1922, and died in 1927. Today the Wormser Furniture Co. warehouse, one of the best preserved examples of Fresno's commercial architecture at the turn of the century, is the last structural reminder of an outstanding commercial enterprise and the man who began it.

In 1899, the Santa Fe Railway came to Fresno, and the opportunity for direct transportation between Fresno and other cities became a major incentive for locating commercial structures alongside the Santa Fe tracks. All three buildings in

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED NOV 18 1977

DATE ENTERED

MAR 24 1978

CONTINUATION SHEET

ITEM NUMBER

8

PAGE

4

the Warehouse Row Historic District are located where they are because the railroad provided easy shipment of their goods. The Wormser Furniture Co. became such a large enterprise because the company, with its warehouse right next to the railroad tracks, could transport what was bought and sold more easily. Swift and Co. took advantage of the railway and the entire state became a market for the turkeys that were processed at the Fresno plant. The Fresno Consumers Ice Co. used the railway system as a wholesaler of ice, and later, when being used primarily for cold storage, farmers sent agricultural produce into Fresno to be stored and kept frozen .

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED NOV 18 1977

DATE ENTERED

MAR 24 1978

Major Bibliographical References continued

CONTINUATION SHEET

ITEM NUMBER

9

PAGE

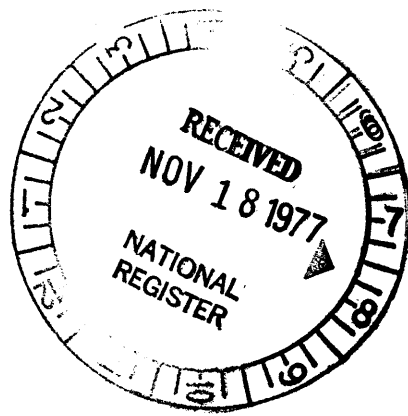
2

Fresno Bee. "Swift Company Opens Fresno Turkey Hatchery."
McClatchy Newspapers, Fresno, California, February 10,
1946, p. 7-C.

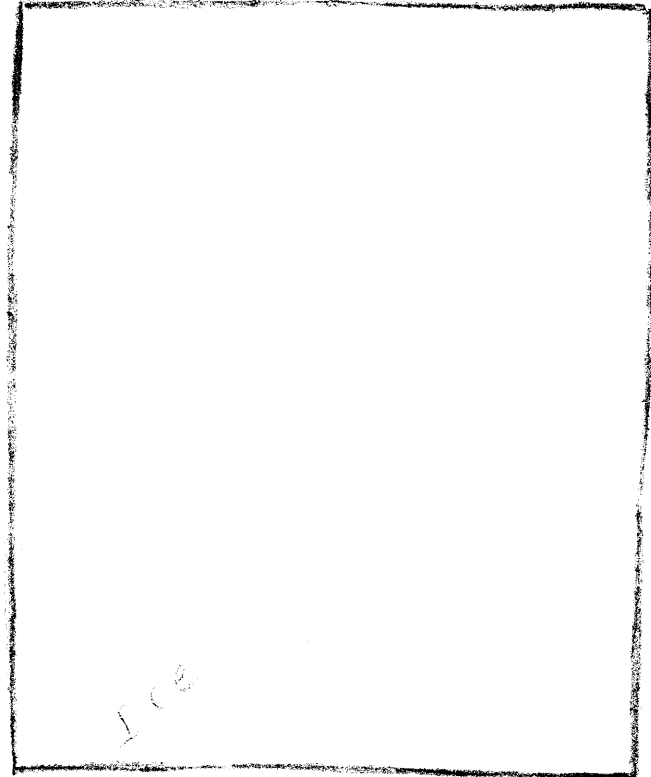
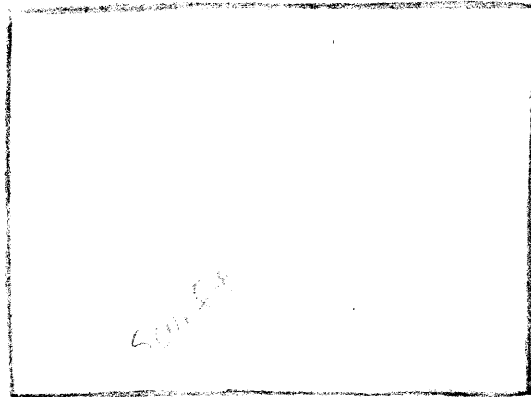
Fresno Bee. "Swift Company Opens Fresno Turkey Plant."
McClatchy Newspapers, Fresno, California, November 11,
1945, p. 5-C.

Fresno Bee. "Swift Takes Over Fresno Property of Western
Meat." McClatchy Newspapers, Fresno, California, November
3, 1932, p. 3-A.

WAREHOUSE ROW
HISTORIC DISTRICT



1. NYO



P Street



- 1) Swift meat packing plant,
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph credit: Jack Weyant
- 4) May, 1977
- 5) Fresno City and County Historical
Society

NOV 18 1977

- 6) Rear view of Swift plant as seen from
from S. Santa Fe Ave. Fresno
Fresno Consumers Ice Co. building
on the left, and Wormser Warehouse
on the right. Camera is pointed
south.

7) Photograph number: 10 **MAR 24 1978**



- 1) Fresno Consumers Ice Co. building,
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph credit: Jack Weyant
- 4) May, 1977
- 5) Fresno City and County Historical
Society

- 6) Southeast side of Fresno Consumers
Ice Co. building, along Mono St.
Camera is pointed west.
- 7) Photograph Number: 2

78
NOV 18 1977

MAR 24 1978



- 1) Fresno Consumers Ice Co. building,
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph credit: Jack Weyant.
- 4) May, 1977
- 5) Fresno City and County Historical
Society

MAR 24 1978

- 6) Southwest view of Fresno Consumers
Ice Co. building, along "P" St.

Camera is pointed east.

- 7) Photograph Number: 378

NOV 18 1977



- 1) Wormser Warehouse,
Warehouse Row Historic District
- 2) Fresno, Ca.
- 3) Photograph Credit: Jack Weyant
- 4) May, 1977
- 5) Fresno City and County Historical
Society

MAR 24 1978

- 6) Front view of Wormser Warehouse,
as seen from the corner of "P"
and Inyo Streets. Camera is pointed
east.

7) Photograph Number: 4¹⁸ NOV 18 1977



1) Warehouse Row Historic District

2) Fresno, Ca.

3) Photograph credit:

Jack Weyant

MAR 24 1978

4) May, 1977

NOV 18 1977

5) Fresno City and County Historical Society

6) Northeast side of entire District, along Santa Fe Ave. Camera is pointed Southwest.

7) Photograph Number: 598



- 1) Wormser Warehouse,
Warehouse Row Historic
District.
- 2) Fresno, Ca.
- 3) Photograph credit:
Jack Weyant

NOV 18 1977

- 4) May, 1977
- 5) Fresno City and County
Historical Society
- 6) Rear view of Wormser
Warehouse, along Santa
Fe Ave. Camera is
pointed Southwest.

7) Photograph Number: 6

98

MAR 24 1978



- 1) Swift Meat Packing
Plant, Warehouse Row
Historic District
- 2) Fresno, Ca.
- 3) Photograph Credit:
Jack Weyant
- 4) May, 1977 **NOV 18 1977**

- 5) Fresno City and County
Historical Society
- 6) Front view of Swift Meat
Packing Plant, along "P"
Street. Camera is pointed
North
- 7) Photograph Number: 778

MAR 24 1978



- 1) Fresno Consumers Ice Co.
Building, Warehouse Row
Historic District
- 2) Fresno, Ca.
- 3) Photograph Credit:
Jack Weyant
- 4) May, 1977 **NOV 18 1977**

- 5) Fresno City and County
Historical Society
- 6) Front view of Fresno
Consumers Ice Co. Camera
is pointed Northwest,
along "P" Street.
- 7) Photograph Number: 898
MAR 24 1978

EXHIBIT C:

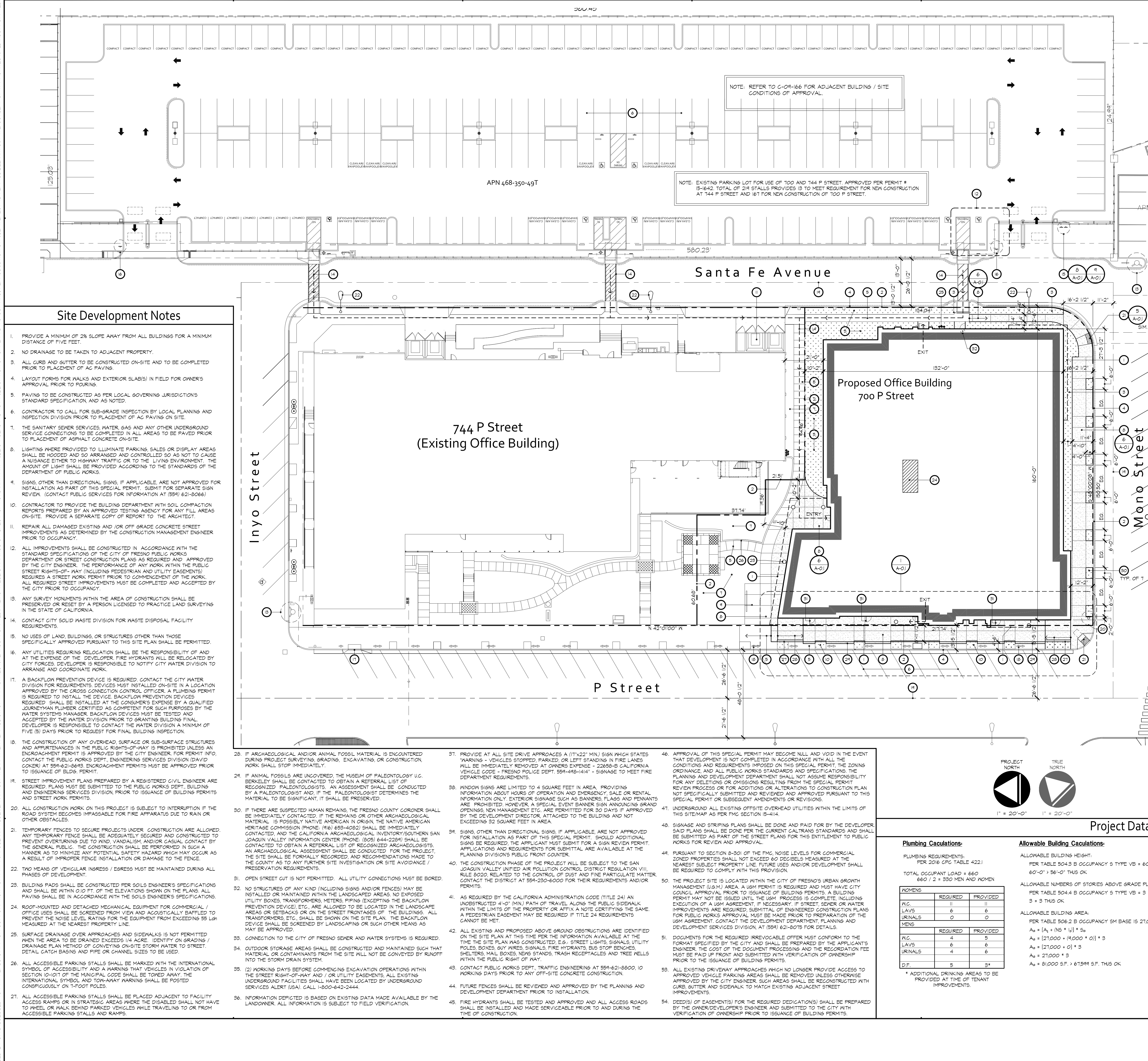








ALL DRAWINGS, SPECIFICATIONS, AND NOTES ARE THE PROPERTY OF BALTARA ENTERPRISES LP. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BALTARA ENTERPRISES LP. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT SHALL BE SUBJECT TO LEGAL ACTION. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



Keyed Site Plan Notes

- DASHED LINE INDICATES EDGE OF FLOOR OR CANOPY ABOVE.
- EXISTING PROPERTY LINE.
- NEW LANDSCAPE AREA. REFER TO LANDSCAPE AND IRRIGATION PLANS FOR ADDITIONAL INFORMATION.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING PARKING STALL(S) TO REMAIN UNDER PERMITS #15-1642.
- EXISTING LANDSCAPING AREA TO REMAIN, MAINTAIN AND PROTECT.
- NEW CONCRETE FLATWORK. CONSTRUCT SIDEWALK PER PWC STD P-5. SIDE WALK TO HAVE 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.
- EXISTING BIKE RACK TO REMAIN, MAINTAIN AND PROTECT.
- EXISTING STREET TREE WELL TO REMAIN, MAINTAIN AND PROTECT.
- EXISTING TRASH ENCLOSURE FOR SERVICE TO 700 P STREET TENANTS.
- EXISTING ACCESSIBLE PARKING STALLS FOR SERVICE TO 700 P STREET TENANTS. TYPICAL OF 7 TOTAL AVAILABLE IN THIS LOT, UNDER PERMIT #15-1642.
- INDICATES EXISTING FIRE HYDRANT.
- ACCESSIBLE PATH OF TRAVEL FROM A PUBLIC WAY. WALKS TO HAVE A MAXIMUM OF 5% SLOPE AND 2% CROSS SLOPE - LANDINGS AT RAMPS TO BE 2% MAXIMUM FOR 48" MINIMUM BEYOND EDGE OF RAMP 6'-0" AT OUTDOOR SEATING. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- EXISTING TOW-AWAY SIGNAGE AND FIRE LANE SIGNAGE, UNDER PERMITS #15-1642.
- EXISTING STOP SIGN TO REMAIN, MAINTAIN AND PROTECT.
- EXISTING STORM DRAIN TO REMAIN, MAINTAIN AND PROTECT.
- EXISTING PARKING METERS TO REMAIN, MAINTAIN AND PROTECT.
- EXISTING CENTERLINE OF STREET. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- EXISTING STOP SIGN (RIGHT TURN ONLY) SIGN, MAINTAIN AND PROTECT.
- NEW CURB RAMP WITH TRUNCATED DOMES. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- EXISTING STREET LIGHT, MAINTAIN AND PROTECT.
- NEW ALUMINUM COLUMN WRAP. TYPICAL. REFER TO FLOOR PLAN FOR ADDITIONAL INFORMATION.
- HATCHED AREA INDICATES LOCATION OF ELECTRICAL ROOM WITH IN COMMON CORE OF BUILDING. REFER TO FLOOR PLAN AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED GAS METER LOCATION.
- EXISTING PLANTER WALL TO REMAIN, MAINTAIN AND PROTECT.
- INDICATES NEW CONCRETE STEM WALL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- NEW SLOPING WALK (LESS THAN 5% SLOPE). REFER TO ENLARGED SITE PLAN, DETAIL AND CIVIL PLANS FOR ADDITIONAL INFORMATION.
- NEW CONCRETE RISER. REFER TO ENLARGED SITE PLAN, DETAIL AND CIVIL PLANS FOR ADDITIONAL INFORMATION.
- NEW STREET TREE WELL ALONG MONO STREET PER CITY STANDARD.
- INDICATES POTENTIAL ENTRY DOOR TO TENANT SPACE. TYPICAL OF 3 LOCATIONS ON P STREET. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- FIRE RISER LOCATION. REFER TO FLOOR PLAN FOR ADDITIONAL INFORMATION.

Landscape Notes

- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL, APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION OF THE DEVELOPMENT DEPARTMENT.
- A LANDSCAPING DESIGN PLAN IS REQUIRED TO MEET SHADING ORDINANCE REQUIREMENTS. SEE CITY TREE SPECIES LISTINGS FOR ACCEPTABLE TREE TYPES AND RELATED SHADING ALLOWANCES.

Vicinity Map

Project Data

Project Data:	
BUILDING ADDRESS:	700 P STREET, FRESNO, CALIFORNIA 93721
APN No.:	468-166-12
ZONING:	DT9/DT
OCCUPANCY TYPE:	TYPE VB (SPRINKLERED)
F.A.R.:	21
LAND AREA:	0.73 ACRES (± 31,930 ± 1)

Building Data:

	GROSS FLOOR AREA (FLOOR PLATE)	NET FLOOR AREA (FLOOR PLATE - VERTICAL PENETRATIONS)
FIRST FLOOR:	22,024 S.F.	22,024 S.F.
SECOND FLOOR:	22,743 S.F.	22,286 S.F.
THIRD FLOOR:	22,742 S.F.	22,285 S.F.
TOTAL:	67,509 S.F.	66,695 S.F.

Parking:

TOTAL STALLS REQUIRED: 1/400 = 66,695/400 = 167 STALLS
TOTAL STALLS PROVIDED: 167 STALLS
NOTE: EXISTING PARKING LOT PROVIDES 214 TOTAL STALLS. 13 WERE REQUIRED FOR NEW CONSTRUCTION OF BUILDING. 6 ADJACENT BUILDINGS CONFIGURATION. THIS CONSTRUCTION WILL CLAIM 167 OF THE REMAINING 208 STALLS AVAILABLE.

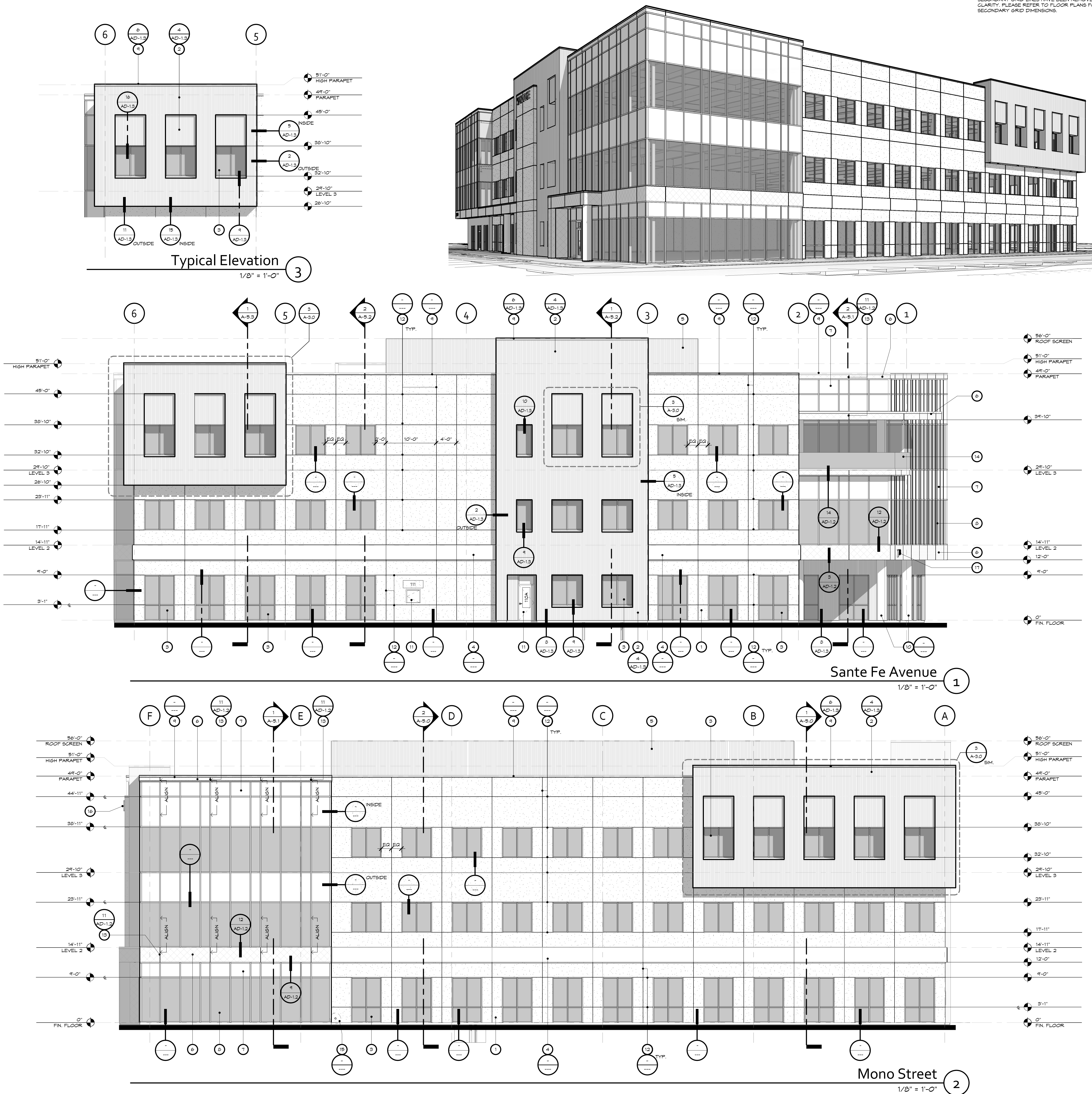
1465 North Van Ness Avenue
Fresno, California 93728
559-442-4642 voice
559-485-9081 fax

Warehouse Row / New Shell Building
700 P Street
Fresno, CA 93721

Baltara Enterprises LP
2025 N. Gateway #101
Fresno, CA 93727

Publishing Status	
Schematic	4-18-2018
Design Develop'm't.	
Site Plan Review	7-24-2018
Bidding	
Plan Check	08-14-2018
Revisions	
Scale	1" = 20'-0"
Project Manager	TODD CLARK
Project Number	18-029
Sheet	A-o.o

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE INCORPORATED. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE INCORPORATED. PILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT PUBLICATION OF SAME AND NO COPYING, REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF IT ARCHITECTURE.



- ### Keyed Elevation Notes
- 3-COAT STUCCO FINISH (LIGHT SAND TEXTURE, TYPICAL) 0/ WIRE MESH 0/ WEATHER BARRIER (TYVEK OR APPROVED EQUAL) 0/ SHEATHING: PROVIDE GSM KIEP SCREENED AT BASE (TYP.) REFER TO COLOR/MATERIAL SCHEDULE FOR SPECIFIC COLOR LATH TO COMPLY W/ LATEST CBC CHAPTER 25.
 - METAL PANEL SYSTEM, REFER TO DETAIL FOR PATTERN LAYOUT AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
 - ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KAPNEER "TRI-FAB" 451 SERIES 2" X 4 1/2") WITH DUAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
 - FRAMED ACCENT BAND, PROVIDED 3-COAT STUCCO FINISH (SMOOTH NO TEXTURE) 0/ WIRE MESH 0/ WEATHER BARRIER (TYVEK OR APPROVED EQUAL) 0/ SHEATHING: REFER TO DETAIL AND COLOR/MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION. LATH TO COMPLY W/ LATEST CBC CHAPTER 25.
 - METAL ROOF SCREEN, REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
 - ACM PANEL SYSTEM, REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
 - SPANDREL GLAZING PANEL, REFER TO MATERIAL FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 - ANODIZED ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KAPNEER "600" SERIES 2 1/2" X 1 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
 - GSM PARAPET CAP FLASHING, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
 - ALUMINUM COLUMN COVER, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
 - LOCATION OF DOOR AND FRAME, REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
 - EXPANSION JOINT, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
 - ACM PANEL JOINT, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
 - 42" HIGH, 1/2" TEMPERED LAMINATED GLASS GUARDRAIL, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
 - LOCATION OF OVERFLOW LEADER FROM ROOF DECK DRAIN ABOVE, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PAINT ALL EXPOSED MATERIAL (INCLUDING INTERIOR SURFACE) WITH 2 COATS ENAMEL TO MATCH ADJACENT SURFACE.
 - POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTIONS SIGNAGE ORDINANCE.
 - STREET ADDRESS NUMERALS LOCATED SO AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD. NUMBERS TO BE CLEAR ANODIZED ALUMINUM FINISH (12" HIGH TRIAXIAL PRO MEDIUM FONT).

- NOTES:
- ALL COLOR SELECTIONS TO BE APPROVED BY THE CITY OF FRESNO, AND BY THE OWNER PRIOR TO APPLICATION. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. ALLOW 5 DAYS MINIMUM FOR RESPONSE.
 - U.O.N. STUCCO TEXTURE TO BE LIGHT SAND FINISH. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
 - CONTRACTOR TO PROVIDE 10" X 10" PAINT AND/OR INTEGRAL COLOR STUCCO SAMPLES ON GYPSUMED WALL SURFACE OF EACH COLOR FOR REVIEW AND APPROVAL. SELECT A LESS OBVIOUS SIDE OF BUILDING FOR SAMPLES, AND AREA SHOULD SHOW 3 COLORS DIRECTLY ADJACENT TO EACH OTHER (AS POSSIBLE). ARCHITECT TO BE GIVEN 24 HOUR NOTICE FOR REQUESTED FIELD REVIEW.

1465 North Van Ness Avenue
Fresno, California 93728
559.442.4642
559.485.9083
www.itarchinc.com

Project

Warehouse Row / New Office Building
700 P Street
Fresno, California 93721

Owner

Baltara Enterprises LP
2025 N. Gateway #101
Fresno, California 93727

Publishing Status	
Schematic	
Design Develop'm't	
Site Plan Review	
Bidding	
Plan Check	

Revisions

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

Scale

1/8" = 1'-0"

Project Manager

TODD CLARK

Project Number

18-024

Sheet

A-3.0

Exterior Elevations

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE INCORPORATED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE INCORPORATED. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE INCORPORATED IS PROHIBITED. IT ARCHITECTURE INCORPORATED ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. IT ARCHITECTURE INCORPORATED IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING. IT ARCHITECTURE INCORPORATED IS NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING.



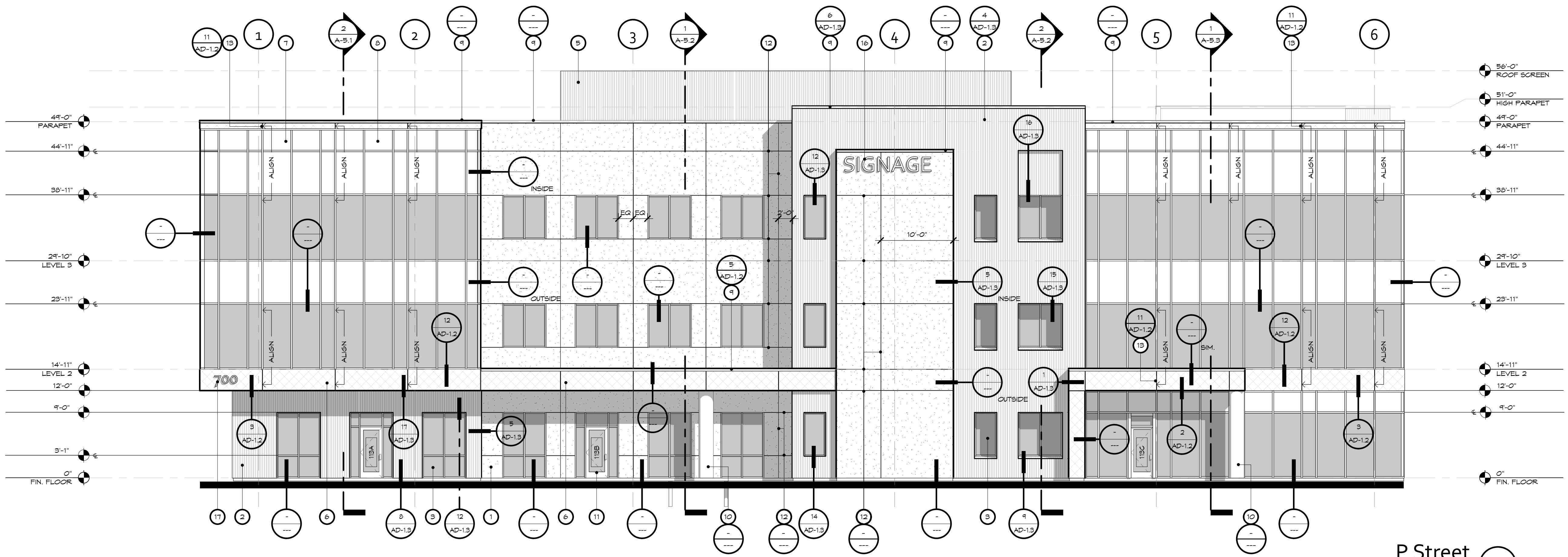
NOTE:
SECONDARY GRID LINES HAVE BEEN REMOVED FOR CLARITY. PLEASE REFER TO FLOOR PLANS FOR SECONDARY GRID DIMENSIONS.

Keyed Elevation Notes

- 3-COAT STUCCO FINISH (LIGHT SAND TEXTURE, TYPICAL) 0/ WIRE MESH 0/ WEATHER BARRIER (TYVEK OR APPROVED EQUAL) 0/ SHEATHING: PROVIDE GSM KNEE SCREED AT BASE (TYP.) REFER TO COLOR/MATERIAL SCHEDULE FOR SPECIFIC COLOR LATH TO COMPLY W/ LATEST CBC CHAPTER 25.
- METAL PANEL SYSTEM, REFER TO DETAIL FOR PATTERN LAYOUT AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KAPNEER "TRI-FAB" 451 SERIES 2" x 4 1/2") WITH DUAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- FRAMED ACCENT BAND: PROVIDED 3-COAT STUCCO FINISH (SMOOTH NO TEXTURE) 0/ WIRE MESH 0/ WEATHER BARRIER (TYVEK OR APPROVED EQUAL) 0/ SHEATHING: REFER TO DETAIL AND COLOR/MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION. LATH TO COMPLY W/ LATEST CBC CHAPTER 25.
- METAL ROOF SCREEN, REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- ACM PANEL SYSTEM, REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- SPANDREL GLAZING PANEL, REFER TO MATERIAL FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- ANODIZED ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KAPNEER "600" SERIES 2 1/2" x 1 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- GSM PARAPET CAP FLASHING, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- ALUMINUM COLUMN COVER, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- STOREFRONT DOOR, PROVIDE WIDE STYLE FRAME, REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- EXPANSION JOINT, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- ACM PANEL JOINT, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 42" HIGH, 1/2" TEMPERED LAMINATED GLASS GUARDRAIL, REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- LOCATION OF OVERFLOW LEADER FROM ROOF DECK DRAIN ABOVE, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PAINT ALL EXPOSED MATERIAL (INCLUDING INTERIOR SURFACE) WITH 2 COATS ENAMEL TO MATCH ADJACENT SURFACE.
- POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTIONS SIGNAGE ORDINANCE.
- STREET ADDRESS NUMERALS LOCATED SO AS TO BE PLAINLY VISIBLE FROM THE STREET OR ROAD. NUMBERS TO BE CLEAR ANODIZED ALUMINUM FINISH (12" HIGH TRIAXIAL PRO MEDIUM FONT).

NOTES:

- ALL COLOR SELECTIONS TO BE APPROVED BY THE CITY OF FRESNO, AND BY THE OWNER PRIOR TO APPLICATION. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. ALLOWS 5 DAYS MINIMUM FOR RESPONSE.
- U.O.N. STUCCO TEXTURE TO BE LIGHT SAND FINISH. PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
- CONTRACTOR TO PROVIDE 10" x 10" PAINT AND/OR INTEGRAL COLOR STUCCO SAMPLES ON GIPSUMED WALL SURFACE OF EACH COLOR FOR REVIEW AND APPROVAL. SELECT A LESS OBVIOUS SIDE OF BUILDING FOR SAMPLES, AND AREA SHOULD SHOW 3 COLORS DIRECTLY ADJACENT TO EACH OTHER (AS POSSIBLE). ARCHITECT TO BE GIVEN 24 HOUR NOTICE FOR REQUESTED FIELD REVIEW.



P Street

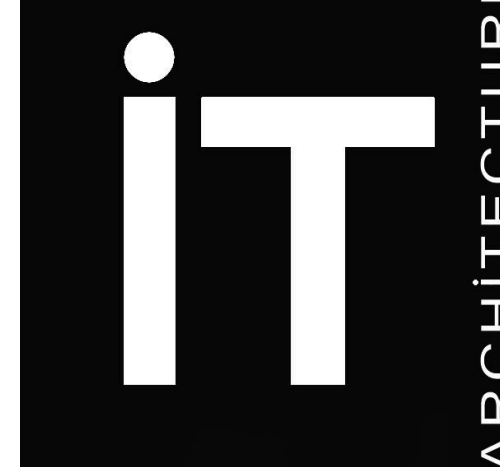
1



Plaza

2

Exterior Elevations



1465 North Van Ness Avenue
Fresno, California 93728
559.442.4642
559.485.9083
www.itarchinc.com

Project

Warehouse Row / New Office Building
700 P Street
Fresno, California 93721

Owner

Baltara Enterprises LP
2025 N. Gateway #101
Fresno, California 93727

Publishing Status

Schematic

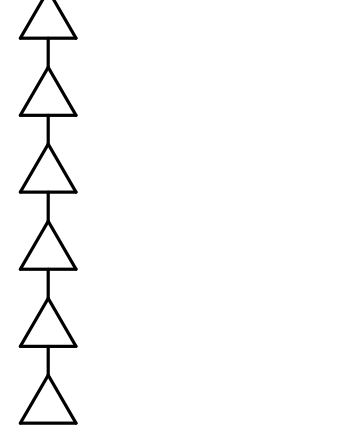
Design Develop'm't

Site Plan Review

Bidding

Plan Check

Revisions



Scale

1/8" = 1'-0"

Project Manager

TODD CLARK

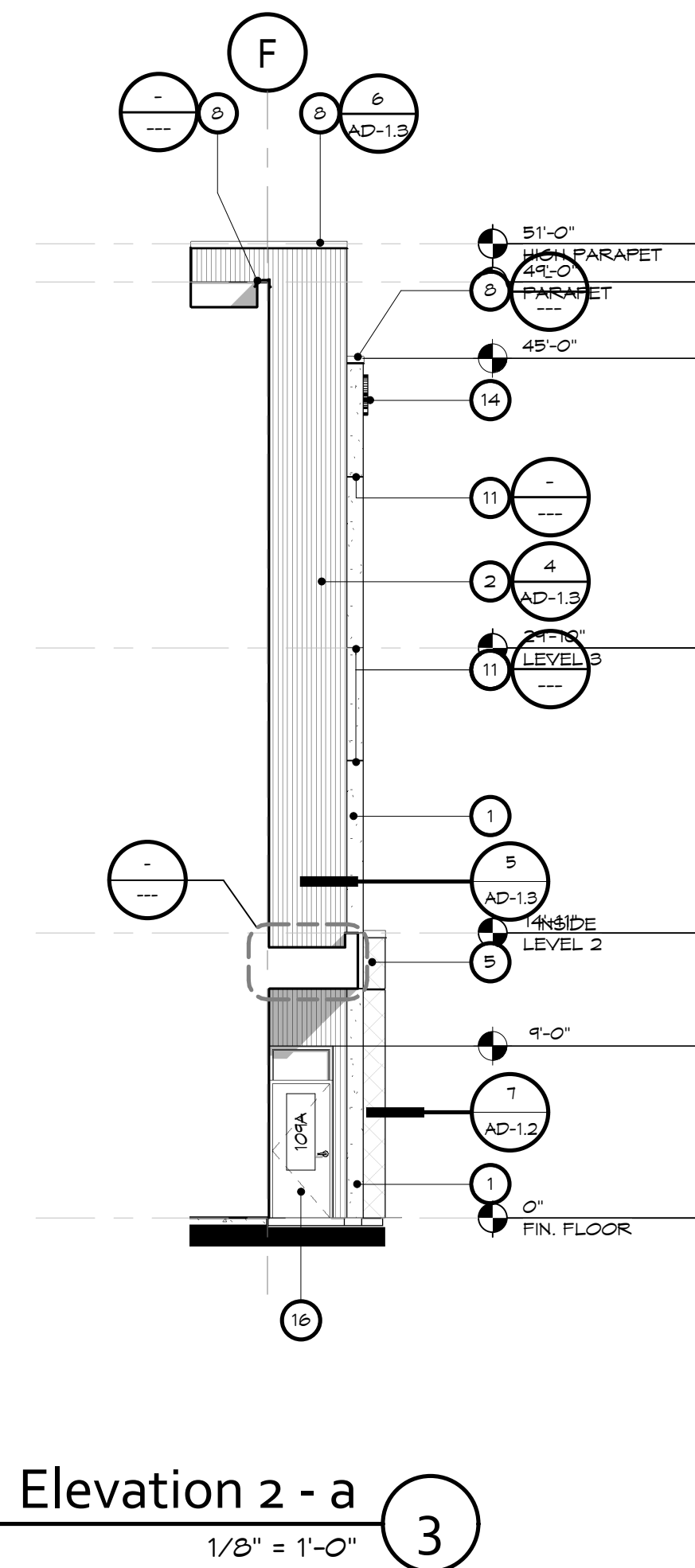
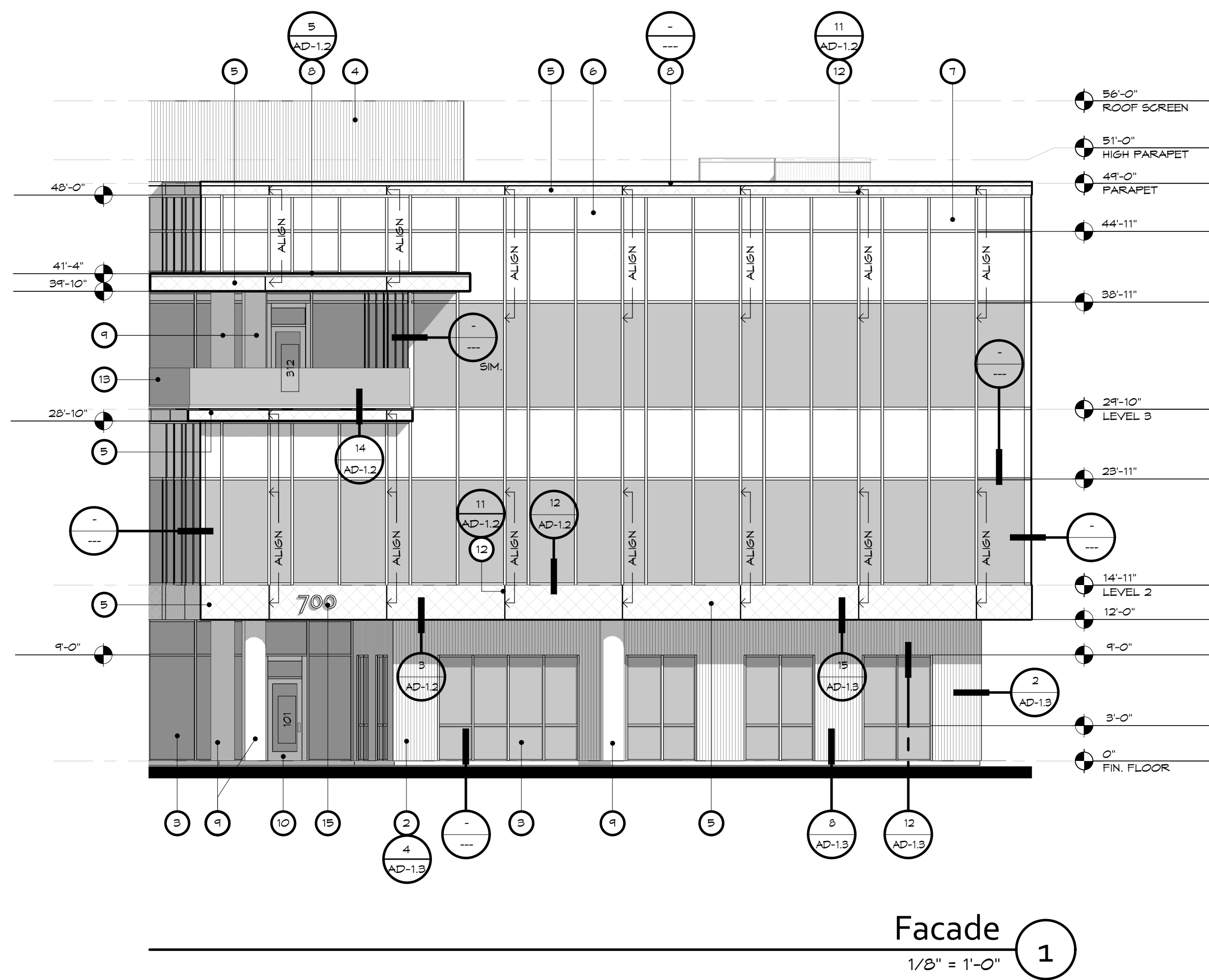
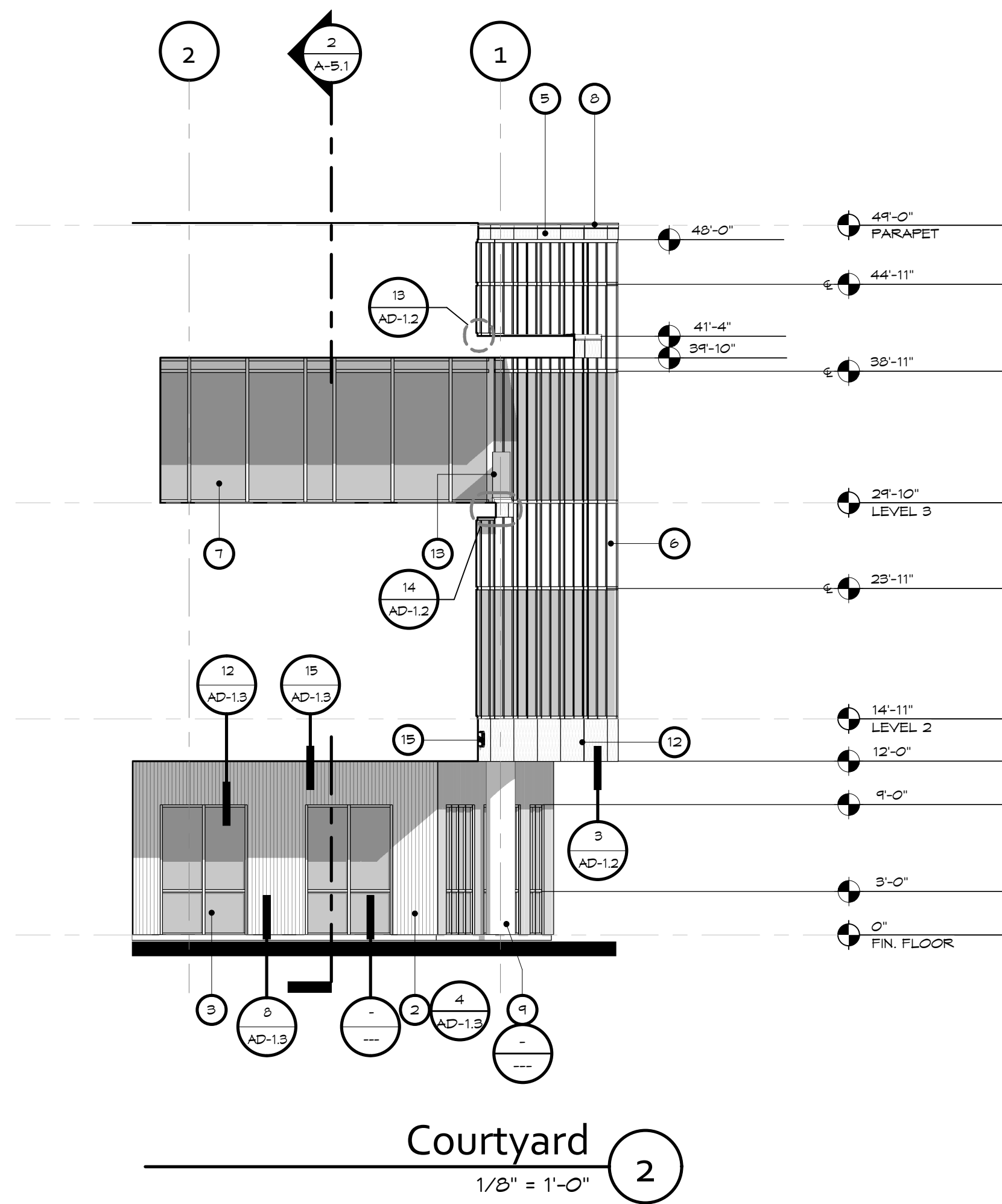
Project Number

18-024

Sheet

A-3.1

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS LOCATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF ARCHITECTURE, INCORPORATED OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY ANY PERSON FOR OR IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE, INCORPORATED OR CONSULTANTS. NO PUBLICATION OF SAME AND NO COPIING, REPRODUCTION OR USE THEREOF WITHOUT THE CONSENT OF ARCHITECTURE, INCORPORATED OR CONSULTANTS.



Keyed Elevation Notes

3. G-COAT STUCCO FINISH (LIGHT SAND TEXTURE, TYPICAL) / 0. NINE MESH / 0. WEATHER BARRIER (TYVEK OR EQUIVALENT) / 0. SHEATHING. PROVIDE GSM MEET SCALED AT BASE (TYP.). REFER TO COLOR/MATERIAL SCHEDULE FOR SPECIFIC COLOR, LATH TO COMPLY W/ LATEST CBC CHAPTER 2B.
2. METAL PANEL SYSTEM. REFER TO DETAIL FOR PATTERN LAYOUT AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
3. ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KAWNEER "TRI-FAB" 451 SERIES 2" X 1/2" NUT DIAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
4. METAL ROOF SCREEN. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
5. ACM PANEL SYSTEM. REFER TO DETAILS AND COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
6. SPANDREL GLAZING PANEL. REFER TO MATERIAL FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
7. ANODIZED ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KAWNEER "600" SERIES 2 1/2" X 1 1/2") NUT DIAL PANE GLAZING. REFER TO DETAILS AND INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
8. GSM PARAPET CAP FLASHING. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
9. ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
10. STOREFRONT DOOR. PROVIDE WIDE STYLE FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
11. EXPANSION JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
12. ACM PANEL JOINT. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
13. 42" HIGH, 1/2" THICKENED LAMINATED GLASS GUARDRAIL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
14. POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTION'S SIGNAGE ORDINANCE.
15. STREET ADDRESS NUMERALS LOCATED 80 AS TO BE PLAINLY VISIBLE FROM THE STREET OR OTHER BUILDERS TO BE CLEARLY ANODIZED ALUMINUM FINISH (1/2" HIGH TRAIN PPL MEDIUM FONT).
16. LOCATION OF DOOR AND FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

NOTES

1. ALL COLOR SELECTIONS TO BE APPROVED BY THE CITY OF PISMO, AND BY THE OWNER PRIOR TO APPLICATION, PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL, ALLOW 3 DAYS MINIMUM FOR RESPONSE.
2. U.O.N. STUCCO TEXTURE TO BE LIGHT SAND FINISH, PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL.
3. CONTRACTOR TO PROVIDE 12" X 12" PAINT AND/OR INTEGRAL COLOR STUCCO SAMPLES ON COMPLETED WALL SURFACE OF EACH COLOR FOR REVIEW AND APPROVAL. SELECT A LESS OBVIOUS SIDE OF BUILDING FOR SAMPLES, AND AREA SHOULD SHOW 3 COLORS DIRECTLY ADJACENT TO EACH OTHER (AS POSSIBLE). ARCHITECT TO BE GIVEN 24 HOUR NOTICE FOR REQUESTED FINAL REVIEW.

1465 North Van Ness Avenue
Fresno, California 93728
559.442.4642
559.485.9081
www.itarchinc.com

Project

Warehouse Row / New Office Building
700 P Street
Fresno, California 93721

Owner

Baltara Enterprises LP
2025 N. Gateway #101
Fresno, California 93727

Publishing Status

Schematic

Design Developm'

Site Plan Review

Bidding

Plan Check

Revisions

Scale

Project Manager
TODD CLARK

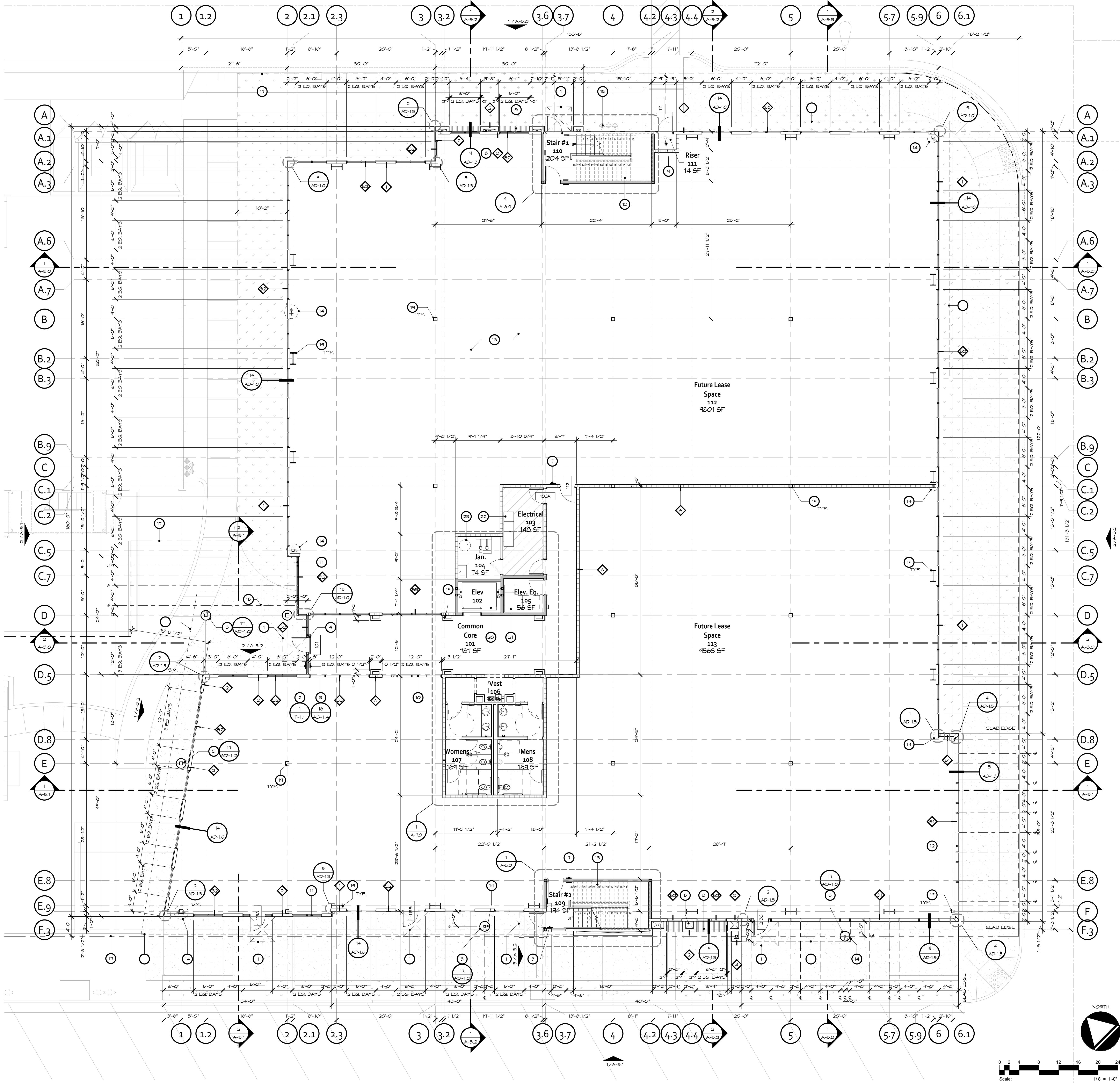
Project Number	18-029
----------------	--------

Sheet

A-3.2

Exterior Elevations

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE INCORPORATED. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE INCORPORATED. IT ARCHITECTURE INCORPORATED SHALL BE RESPONSIBLE FOR THE PROTECTION OF ITS INTELLECTUAL PROPERTY.



Keyed Floor Plan Notes

- DASHED BOX SHOWS AREA OF 5'-0" WIDE X 5'-0" DEEP LEVEL LANDING AT DOOR (6'-0" X 5'-0" AT DOUBLE DOORS). FLOOR SURFACE TO MAINTAIN A 2% MAX. SLOPE AWAY FROM BUILDING.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TACTILE TEXT SIGNAGE. REFER TO DETAIL. SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 11B-103.1, 2016 C.B.C.
- PROVIDE SIGN ABOVE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN 1" HIGH (MINIMUM) LETTERS ON CONTRASTING BACKGROUND.
- ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- VOID SPACE IN FRAMING. PROVIDE FIRE BLOCKING VERTICALLY AT SOFFIT / GELING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET, PER SECTION 11B-2.2, 2016 C.B.C.
- TACTILE TO EXIT SIGNAGE. REFER TO DETAIL. SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 11B-103.1, 2016 C.B.C.
- METAL PANEL SLOPE SILL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- FIRE SPRINKLER RISER. REFER TO FIRE DRAWINGS FOR ADDITIONAL INFORMATION.
- ALUMINUM CENTER LOADED STOREFRONT (KAWNEER "TRI-FAB" 480 SERIES 2" X 4 1/2") WITH SINGLE PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- ALUMINUM CENTER LOADED STOREFRONT (KAWNEER "TRI-FAB" 481 SERIES 2" X 4 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KAWNEER "1600" SERIES 2 1/2" X 1 1/2") WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- STAIR SYSTEM. REFER STRUCTURAL DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION.
- ROOF DRAIN LEADER FROM DRAIN ABOVE. ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF THE BUILDING FOR CLARITY ONLY). REFER TO ROOF PLAN AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- GAS METERS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CONCRETE FLOORWORK 5% SLOPE MAX. AND 2% GROSS SLOPE MAX. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- EXISTING PROPERTY LINE.
- CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS AND SOILS REPORT FOR PAD PREPARATION AND SLAB REQUIREMENTS.
- STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ELEVATOR SHAFT AND CAB. REFER TO SECTION AND DETAILS FOR ADDITIONAL INFORMATION.
- ELEVATOR PUMP EQUIPMENT. REFER TO MANUFACTURES SPECIFICATIONS FOR REQUIREMENTS.
- SWITCHGEAR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- BOOSTER PUMP. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

Legend

- 101 DOOR TAG - REFER TO DOOR SCHEDULE SHEET A-6.0
- 10 WALL TAG - REFER TO WALL LEGEND SHEET T-1.0
- 10 SPECILITY TAG - REFER TO ACCESSORY SCHEDULE SHEET A-7.0

General Floor Plan Notes

- PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLAR CONDITIONS ARE ENCOUNTERED.
- GENERAL CONTRACTOR SHALL INTERFERE WITH PLUMBING, MECHANICAL, AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, & FIXTURE SUPPLIERS.
- GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
- ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1/A-10.0.
- GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR TENANT SUITE MATCH IN COLOR (EXAMPLE: SWITCH PLATES, T-STATS, ETC.).
- ALL DIMENSIONS ARE FROM FACE OF STUD / CENTERLINE OF COLUMN U.N.O.
- PROVIDE MIN. 2A100G PORTABLE FIRE EXTINGUISHER (NIPPA 10), ONE EXTINGUISHER IS REQUIRED FOR 3,000 S.F. OF PORTION THEREOF OF SPACE WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET, 2016 C.F.C. SECTION 908.3. ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENTS.

GENERAL CONTRACTOR SHALL REFER TO SAFETY GLAZING DETAIL FOR INFORMATION AND REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF CALIFORNIA BUILDING CODE.

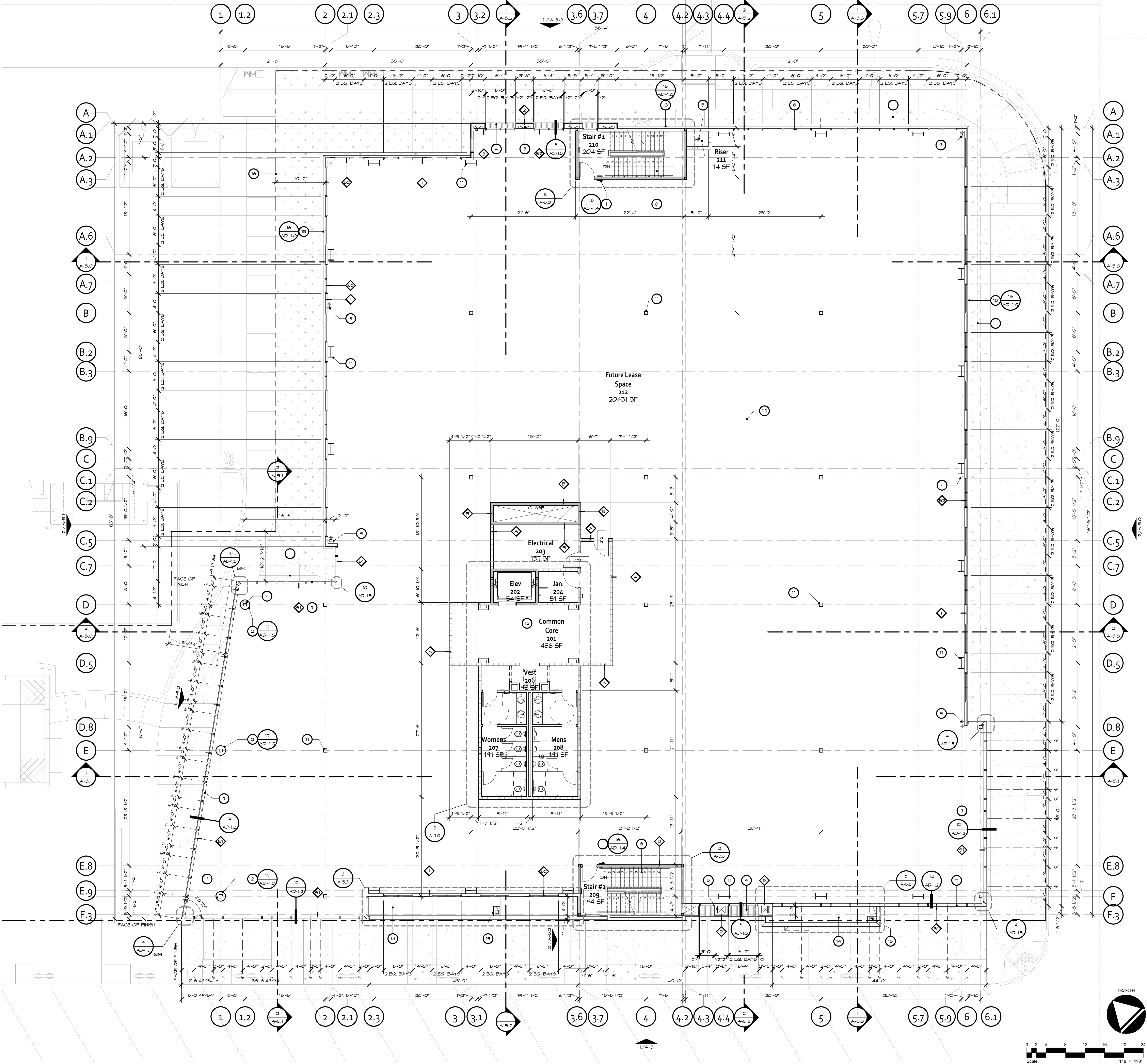
NOTE:
GENERAL CONTRACTOR TO PREPARE SOIL / FILL AREAS AND PROVIDE SAND AND VAPOR BARRIER AS DESCRIBED IN SOILS REPORT 18-02.002 AS PREPARED BY TECHNIQON ENGINEERING SERVICES, INC. DATED APRIL 14, 2024, UPDATED ON AUGUST 13, 2018 TBS NO 1028593.001. TEL: (554) 276-8911.

TITLE-24 ENERGY COMPLIANCE LISTINGS:	U-FACTORS:	SHSG:	VT:
EXTERIOR FIXED GLAZING (TINTED):	0.51	0.40	0.63

GENERAL INSULATION NOTES:
GENERAL CONTRACTOR TO PROVIDE RIDGED ROOF INSULATION AND WALL BATT INSULATION WITHIN ALL EXTERIOR WALLS AS REQUIRED WITHIN THE TITLE 24 ENERGY COMPLIANCE REPORT.

Ground Floor Plan

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE INCORPORATED. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE INCORPORATED. IT ARCHITECTURE INCORPORATED IS NOT PROVIDING ANY PROFESSIONAL ENGINEERING OR ARCHITECTURAL SERVICES. IT ARCHITECTURE INCORPORATED IS NOT PROVIDING ANY PROFESSIONAL ENGINEERING OR ARCHITECTURAL SERVICES. IT ARCHITECTURE INCORPORATED IS NOT PROVIDING ANY PROFESSIONAL ENGINEERING OR ARCHITECTURAL SERVICES.



Keyed Floor Plan Notes

- TACTILE "TEXT STAIR DOWN" SIGNAGE REFER TO DETAIL. SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 11B-103.1, 2016 C.B.C.
- ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- VOID SPACE IN FRAMING. PROVIDE FIRE BLOCKING VERTICALLY AT SOFFIT / CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET, PER SECTION 11B-2.2, 2016 C.B.C.
- METAL PANEL SLOPE BILL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- FIRE SPRINKLER RISER. REFER TO FIRE DRAWINGS FOR ADDITIONAL INFORMATION.
- ALUMINUM CENTER LOADED STOREFRONT (KAWNEER TRIPAB) SERIES 2" X 4 1/2" WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KAWNEER 1800) SERIES 3 1/2" X 1 1/2" WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- STAIR SYSTEM. REFER STRUCTURAL DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION.
- ROOF DRAIN LEADER FROM DRAIN ABOVE. ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF THE BUILDING FOR CLARITY ONLY). REFER TO ROOF PLAN AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- LIGHTWEIGHT CONCRETE OVER METAL DECK. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ELEVATOR SHAFT AND CAB. REFER TO SECTION AND DETAILS FOR ADDITIONAL INFORMATION.
- FRAMED ACCENT BAND. PROVIDED 3-COAT STUCCO FINISH (SMOOTH NO TEXTURE) 0" W/RE MESH 0" WEATHER BARRIER (TYVEK OR APPROVED EQUAL) 0" SHEATHING. REFER TO DETAIL AND COLOR/MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION. LATH TO COMPLY W/ LATEST CBC CHAPTER 25.
- HEAVY GAUGE SLIP SHEET MATERIAL AND CRUSHED ROCK OVER SINGLE PLY T.F.P.G. OVER METAL DECK. AT ALL LOW ROOF AREAS. CRUSHED ROCK TO MATCH THAT SPECIFIED PER LANDSCAPE DRAWINGS.
- ROOF DRAIN / OVERFLOW INLET (V.C.I. LEADERS, RUN R.D. LEADER DOWN THROUGH FRAMING AND DAYLIGHT AT LOCATION SHOWN ON ROOF PLAN. ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF THE BUILDING FOR CLARITY ONLY). OVERFLOW LEADERS TO DAYLIGHT AT 1/4" BEDDING FINISHED WALL / SOFFIT SURFACE AS SHOWN (6" MIN. FROM ADJACENT WALLS). PAINT ALL EXPOSED MATERIALS (INCLUDING INTERIOR OF OVERFLOW) WITH (2) COATS OF ENAMEL TO MATCH ADJACENT PLASTER FINISH. REFER TO PLUMBING PLANS FOR ROOF DRAIN FUTURE SPECIFICATION AND FOR DRAIN PIPE SIZE. (PROVIDE TRANSITION TO 3x5 TS FOR PASSAGE BELOW WALLS).
- EXISTING PROPERTY LINE.

Legend

101

DOOR TAG - REFER TO DOOR SCHEDULE SHEET A-6.0

◆

WALL TAG - REFER TO WALL LEGEND SHEET T-1.0

15

SPECILITY TAG - REFER TO ACCESSORY SCHEDULE SHEET A-7.0

General Floor Plan Notes

- PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
- GENERAL CONTRACTOR SHALL INTERFACE WITH PLUMBING, MECHANICAL, AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS).
- GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, & FIXTURE SUPPLIERS.
- GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
- ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1/AD-1.0.
- GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR TENANT SUITE MATCH IN COLOR. (EXAMPLE: SWITCH PLATES, T-SWATS, ETC.)
- ALL DIMENSIONS ARE FROM FACE OF STUD / CENTERLINE OF COLUMN UNLESS NOTED.
- PROVIDE MIN. 2A108.6 PORTABLE FIRE EXTINGUISHER (NIFPA 10). ONE EXTINGUISHER IS REQUIRED FOR 9,000 S.F. OF PORTION THEREOF OF SPACE WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET. 2016 CFC, SECTION 905.3. ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENTS.

GENERAL CONTRACTOR SHALL REFER TO SAFETY GLAZING DETAIL FOR INFORMATION AND REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF CALIFORNIA BUILDING CODE.

NOTE:
GENERAL CONTRACTOR TO PREPARE SOIL / FILL AREAS AND PROVIDE SAND AND VAPOR BARRIER AS DESCRIBED IN SOILS REPORT 18042.002 AS PREPARED BY TECHNIQON ENGINEERING SERVICES, INC. DATED APRIL 14, 2004, UPDATED ON AUGUST 13, 2010 TSS NO 102953.001. TEL: (554) 276-8011.

TITLE-24 ENERGY COMPLIANCE LISTINGS: U-FACTORS: SHSG: VT:

EXTERIOR FIXED GLAZING (TINTED): 0.51 0.40 0.63

GENERAL INSULATION NOTES:
GENERAL CONTRACTOR TO PROVIDE RIDGED ROOF INSULATION AND WALL BATT INSULATION WITHIN ALL EXTERIOR WALLS AS REQUIRED WITHIN THE TITLE 24 ENERGY COMPLIANCE REPORT.

Second Floor Plan

IT

ARCHITECTURE

1465 North Van Ness Avenue
Fresno, California 93728
559.442.4642
559.485.9081
www.itarchinc.com

Project

Warehouse Row / New Shell Building
700 P Street
Fresno, California 93721

Owner

Baltara Enterprises LP
2025 N. Gateway #101
Fresno, California 93727

Publishing Status

Schematic

Design Develop'm't

Site Plan Review

Bidding

Plan Check

Revisions

Scale

1/8" = 1'-0"

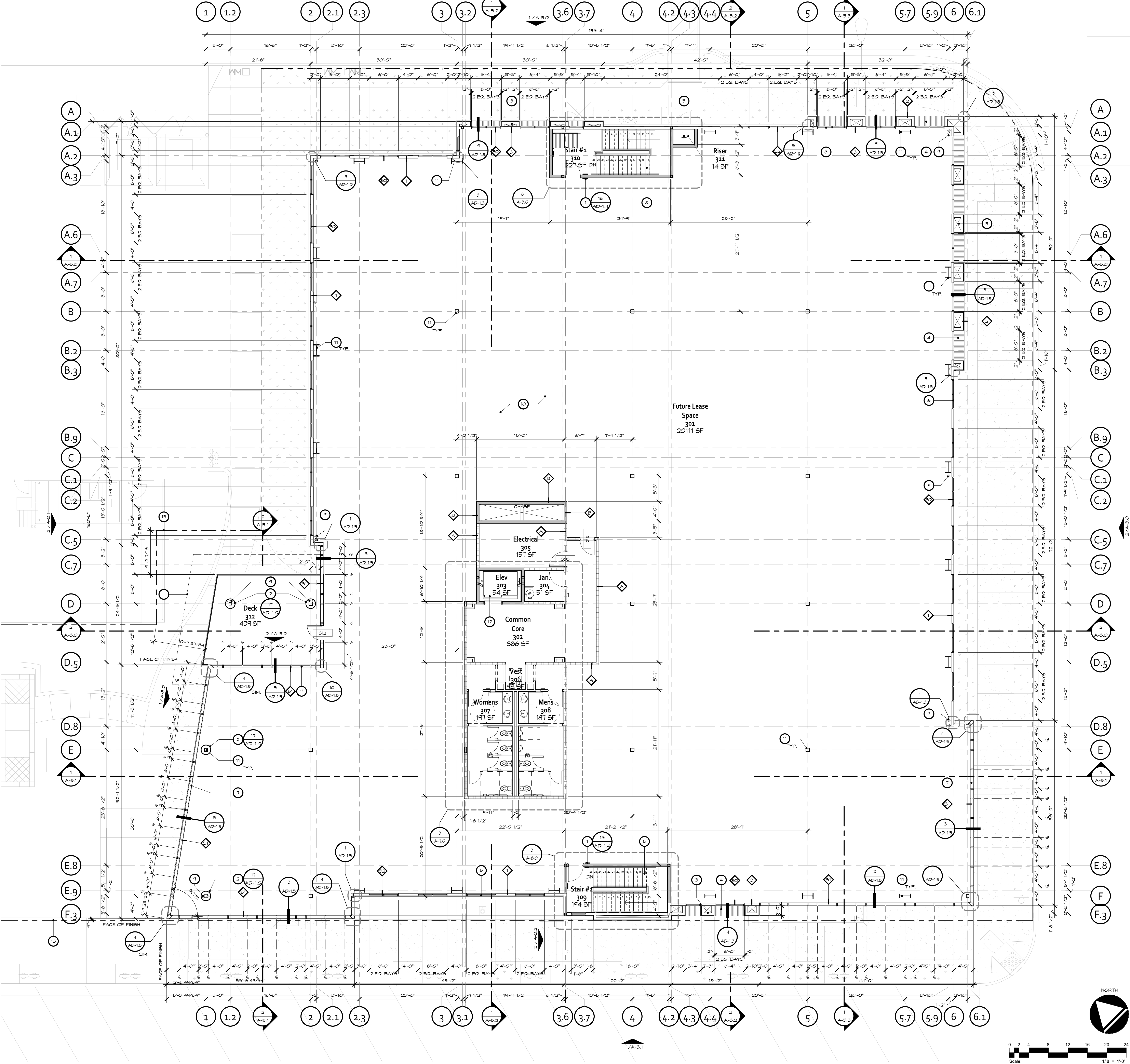
Project Manager
TODD CLARK

Project Number
18-024

Sheet
A-1.1

F:\01-Projects\2018\18-024 700-P St\Drawings\Digital Model\18-024.rvt

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE INCORPORATED. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE INCORPORATED. IT ARCHITECTURE INCORPORATED IS NOT PROVIDING ANY DESIGN OR ENGINEERING SERVICES. IT ARCHITECTURE INCORPORATED IS NOT PROVIDING ANY DESIGN OR ENGINEERING SERVICES. IT ARCHITECTURE INCORPORATED IS NOT PROVIDING ANY DESIGN OR ENGINEERING SERVICES.



Keyed Floor Plan Notes

- 1 TACTILE 'EXIT STAIR DOWN' SIGNAGE. REFER TO DETAIL. SIGNAGE SHALL MEET REQUIREMENTS OF SECTION 11B-103.1, 2016 C.B.C.
- 2 ALUMINUM COLUMN COVER. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 3 VOID SPACE IN FRAMING. PROVIDE FIRE BLOCKING VERTICALLY AT SOFFIT / CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET, PER SECTION 11B-2.2, 2016 C.B.C.
- 4 METAL PANEL SLOPE BILL. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 5 FIRE SPRINKLER RISER. REFER TO FIRE DRAWINGS FOR ADDITIONAL INFORMATION.
- 6 ALUMINUM CENTER LOADED STOREFRONT (KAWNEER THERMA-48) SERIES 2' x 4 1/2' WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 7 ALUMINUM FRONT LOADED CURTAIN WALL SYSTEM (KAWNEER 1600) SERIES 3 1/2' x 1 1/2' WITH DUAL PANE GLAZING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 8 STAIR SYSTEM. REFER TO STRUCTURAL DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION.
- 9 ROOF DRAIN LEADER FROM DRAIN ABOVE. ALL SECTIONS OF DRAIN LEADERS TO BE CONCEALED FROM INLET TO POINT OF TERMINATION (DRAIN LOCATION SHOWN INSIDE OF THE BUILDING FOR CLARITY ONLY). REFER TO ROOF PLAN AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 LIGHTWEIGHT CONCRETE OVER METAL DECK. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 ELEVATOR SHAFT AND CAB. REFER TO SECTION AND DETAILS FOR ADDITIONAL INFORMATION.
- 13 EXISTING PROPERTY LINE.

Legend

- | | |
|-----|---|
| 101 | DOOR TAG - REFER TO DOOR SCHEDULE SHEET A-6.0 |
| ◇ | WALL TAG - REFER TO WALL LEGEND SHEET T-1.0 |
| 15 | SPECILITY TAG - REFER TO ACCESSORY SCHEDULE SHEET A-1.0 |

General Floor Plan Notes

- 1 PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
- 2 GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
- 3 GENERAL CONTRACTOR SHALL INTERFERE WITH PLUMBING, MECHANICAL, AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLANS.
- 4 GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, & FIXTURE SUPPLIES.
- 5 GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
- 6 ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1/A-5.0.
- 7 GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR TENANT SUITE MATCH IN COLOR (EXAMPLE: SWITCH PLATES, T-STATS, ETC.).
- 8 ALL DIMENSIONS ARE FROM FACE OF STUD / CENTERLINE OF COLUMN U.N.O.
- 9 PROVIDE MIN. 2A100C PORTABLE FIRE EXTINGUISHER (NFPA 10), ONE EXTINGUISHER IS REQUIRED FOR 3,000 S.F. OF PORTION THEREOF OF SPACE WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET, 2016 C.F.C. SECTION 908.3. ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENTS.

GENERAL CONTRACTOR SHALL REFER TO SAFETY GLAZING DETAIL FOR INFORMATION AND REQUIREMENTS IDENTIFIED WITHIN CHAPTER 24 OF CALIFORNIA BUILDING CODE.

NOTE:
GENERAL CONTRACTOR TO PREPARE SOIL / FILL AREAS AND PROVIDE SAND AND VAPOR BARRIER IN SLOES REPORT 18-02.002 AS PREPARED BY TECHNIQON ENGINEERING SERVICES, INC. DATED APRIL 14, 2024, UPDATED ON AUGUST 13, 2019 TSS NO 1028593.001. TEL: (554) 276-9311.

TITLE 24 ENERGY COMPLIANCE LISTINGS: U-FACTORS: SHSG: VT:
EXTERIOR FIXED GLAZING (TINTED): 0.51 0.40 0.63

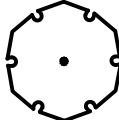

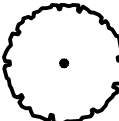
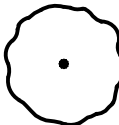






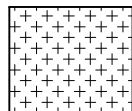
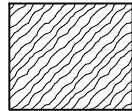
GENERAL INSULATION NOTES:
GENERAL CONTRACTOR TO PROVIDE RIDGED ROOF INSULATION AND WALL BATT INSULATION WITHIN ALL EXTERIOR WALLS AS REQUIRED WITHIN THE TITLE 24 ENERGY COMPLIANCE REPORT.

Third Floor Plan

REFERENCE NOTES SCHEDULE

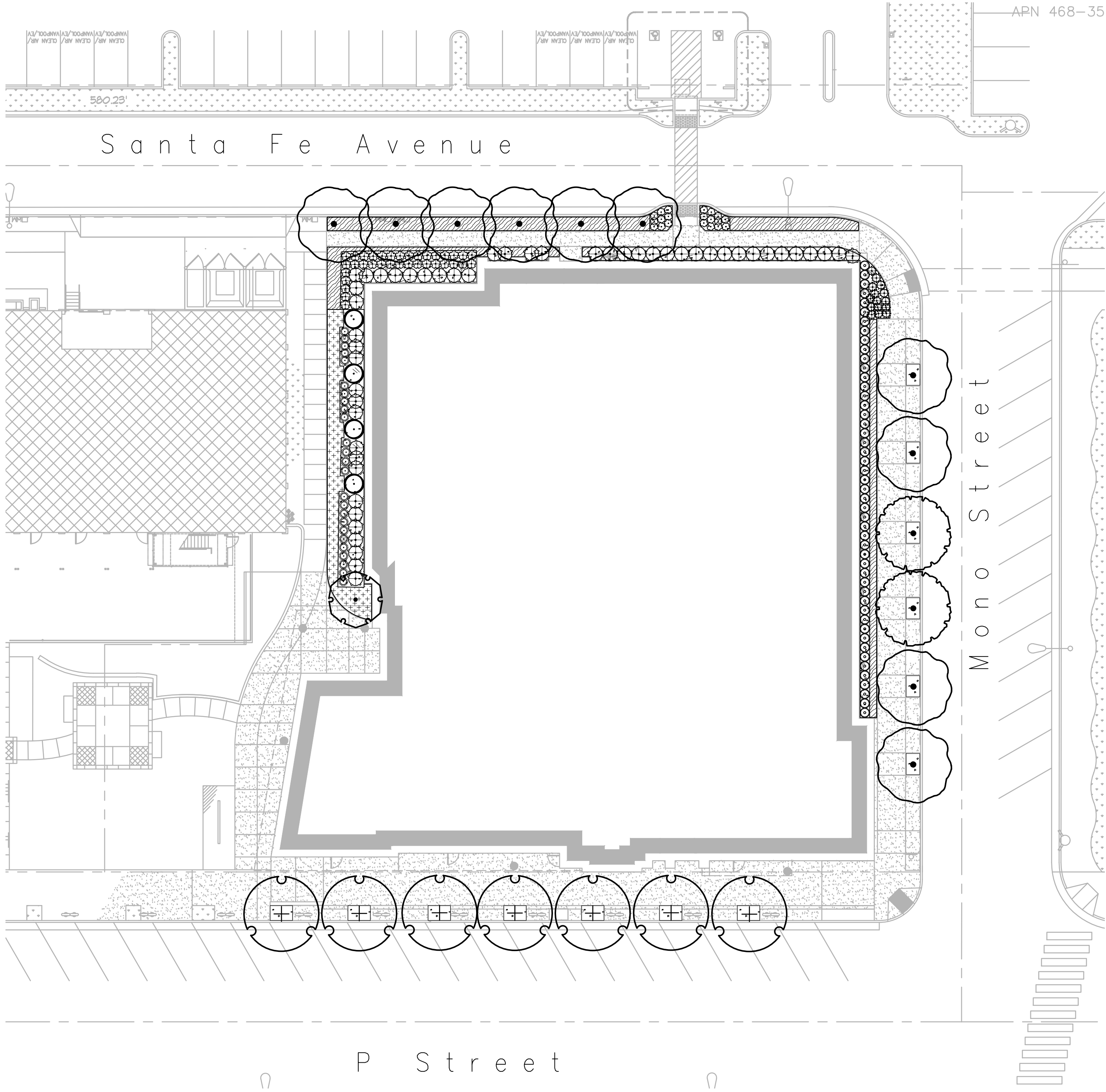
SYMBOL	DESCRIPTION	QTY
	MULCH 3" DEEP	1688 SF

PLANT SCHEDULE

TREES	BOTANICAL NAME	CONT.	WATER USE	QTY	
	CERCIS OCCIDENTALIS WESTERN REDBUD MULTI-TRUNK	15 GAL	L	1	
	CUPRESSUS SEMPERVIRENS 'TINY TOWER' TM TINY TOWER ITALIAN CYPRESS	15 GAL	L	4	
	GINKGO BILOBA 'AUTUMN GOLD' TM MAIDENHAIR TREE	15 GAL	L	2	
	PISTACIA CHINENSIS 'KEITH DAVEY' KEITH DAVEY CHINESE PISTACHE	15 GAL	L	10	
SHRUBS	BOTANICAL NAME	SIZE	WATER USE	QTY	
	CALLISTEMON CITRINUS 'LITTLE JOHN' DWARF BOTTLE BRUSH	5 GAL	L	50	
	DIETES BICOLOR FORTNIGHT LILY	1 GAL	L	20	
	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON' TM CIMMERON	5 GAL	L	49	
	LEYMUS CONDENSATUS 'CANYON PRINCE' NATIVE BLUE RYE	1 GAL	L	25	
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM MUHLY	5 GAL	L	35	
	MUHLENBERGIA RIGENS DEER GRASS	1 GAL	L	15	
GROUND COVERS	BOTANICAL NAME	CONT.	WATER USE	SPACING	QTY
	ARTEMISIA X 'POWIS CASTLE' POWIS CASTLE ARTEMISIA	1 GAL	L		316 SF
	MYOPORUM PARVIFOLIUM 'PINK' TRAILING MYOPORUM	1 GAL	L		753 SF

EXISTING PLANTING

	EXISTING STREET TREE	7
--	----------------------	---



project:

WAREHOUSE
ROW

702-764 P STREET

FRESNO,
CA 93721

client:

SUMMA
DEVELOPMENT
GROUP
2025 N.
GATEWAY
BLVD SUITE
101
FRESNO, CA 93727
559.288.3925

designlab 252

P.O. Box 27616 Fresno, CA 93729
Studio: 559.472.9966 Fax: 559.472.9969



drawn by: SA
checked by: PB

submittal:	date:
No. 1	08/07/2018
No. 2	XX/XX/XXXX
No. 3	XX/XX/XXXX
No. 4	08/07/2018

scale: 1"=20'-0"

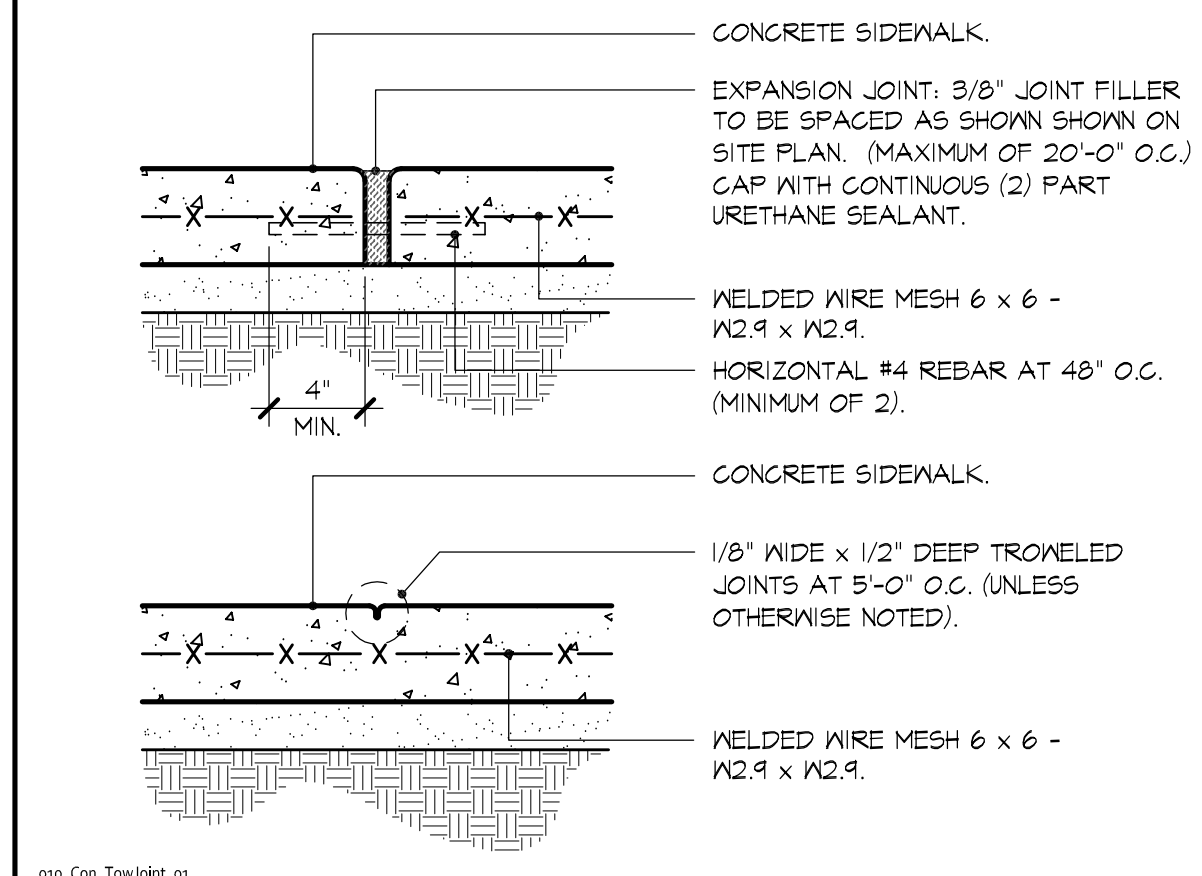
sheet title:

LANDSCAPE
SITE PLAN

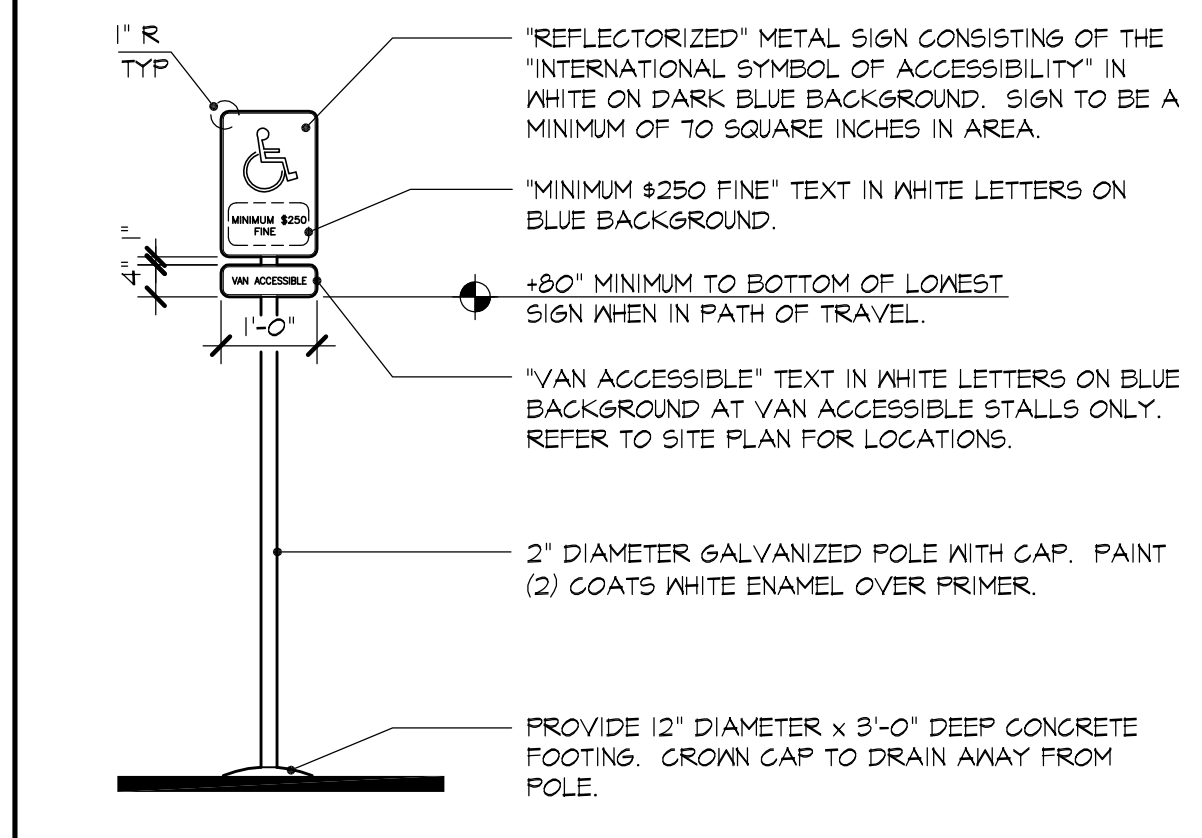
sheet no.

SP-1

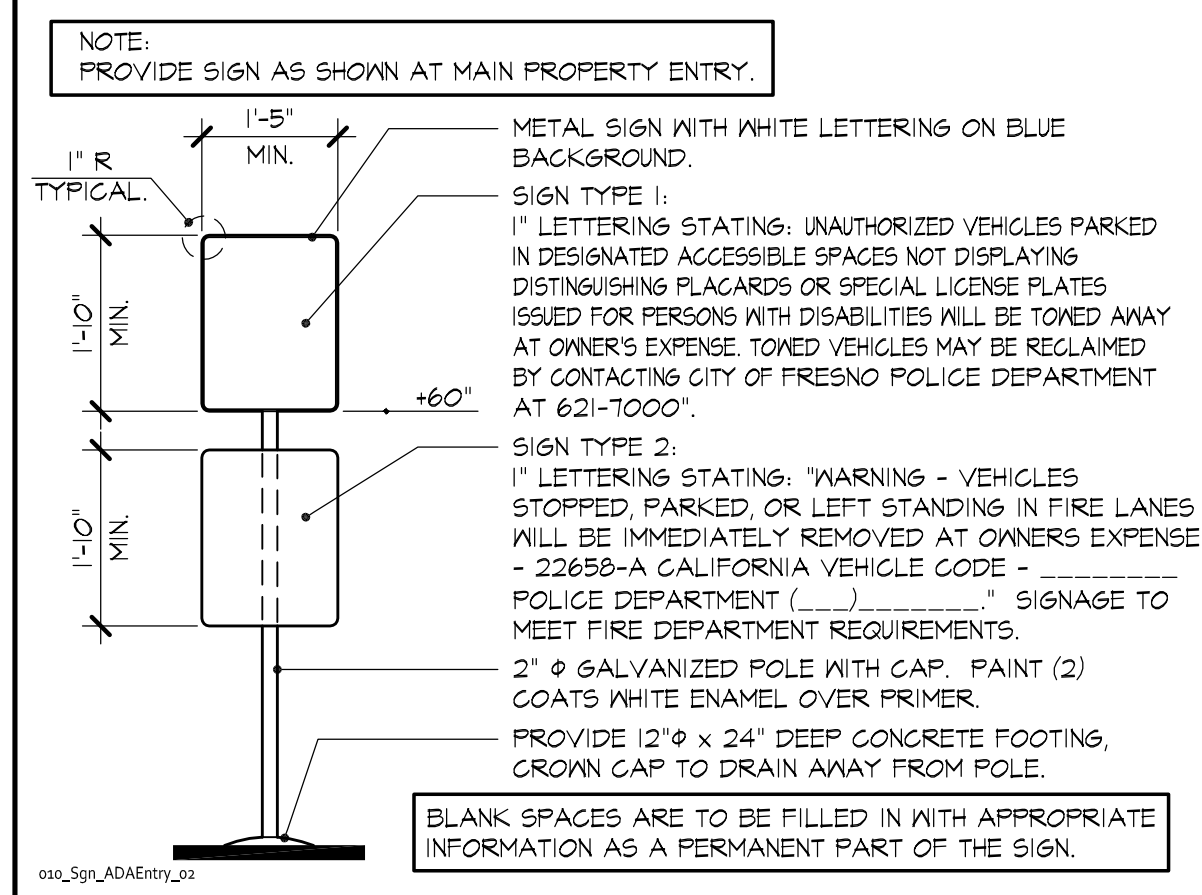
project no. 18-07-005



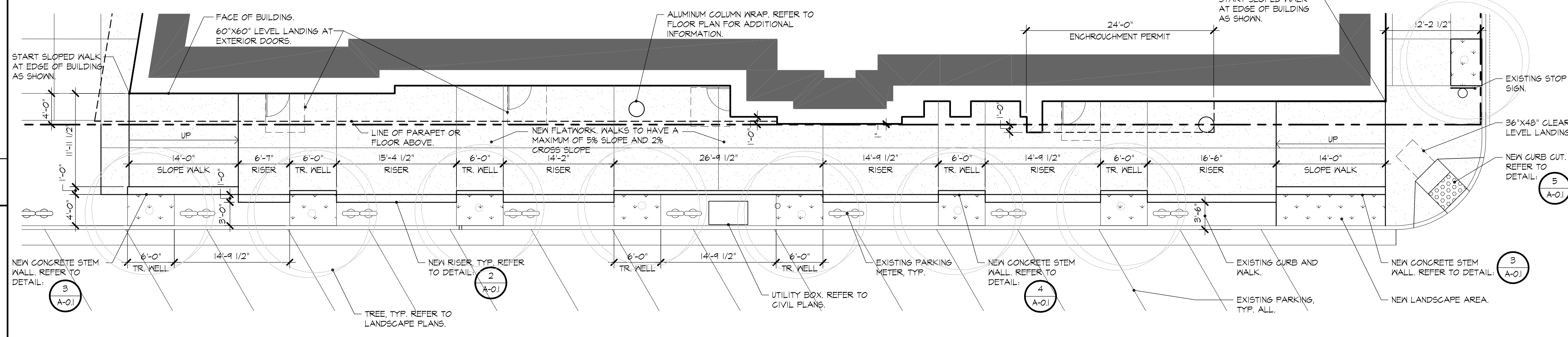
Troweled Joint / Exp. Joint	1 1/2"	7
-----------------------------	--------	---



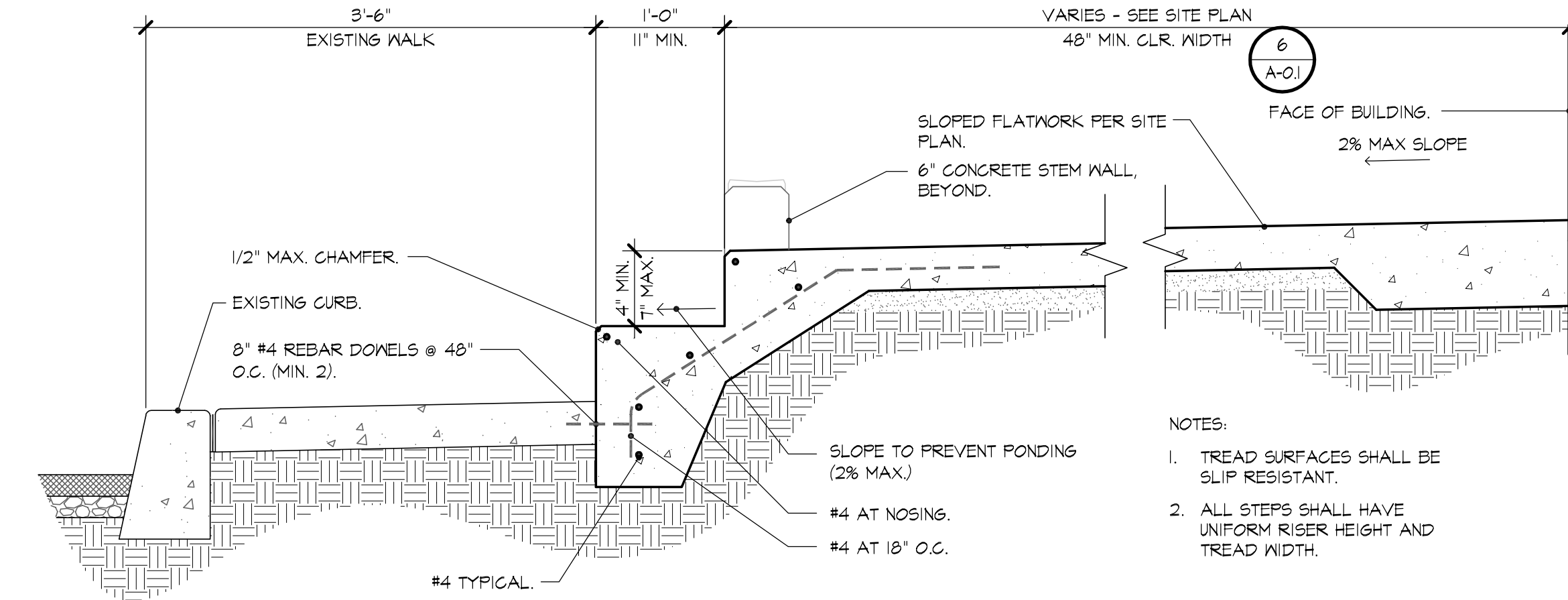
Accessible Stall Sign	1/2"	8
-----------------------	------	---



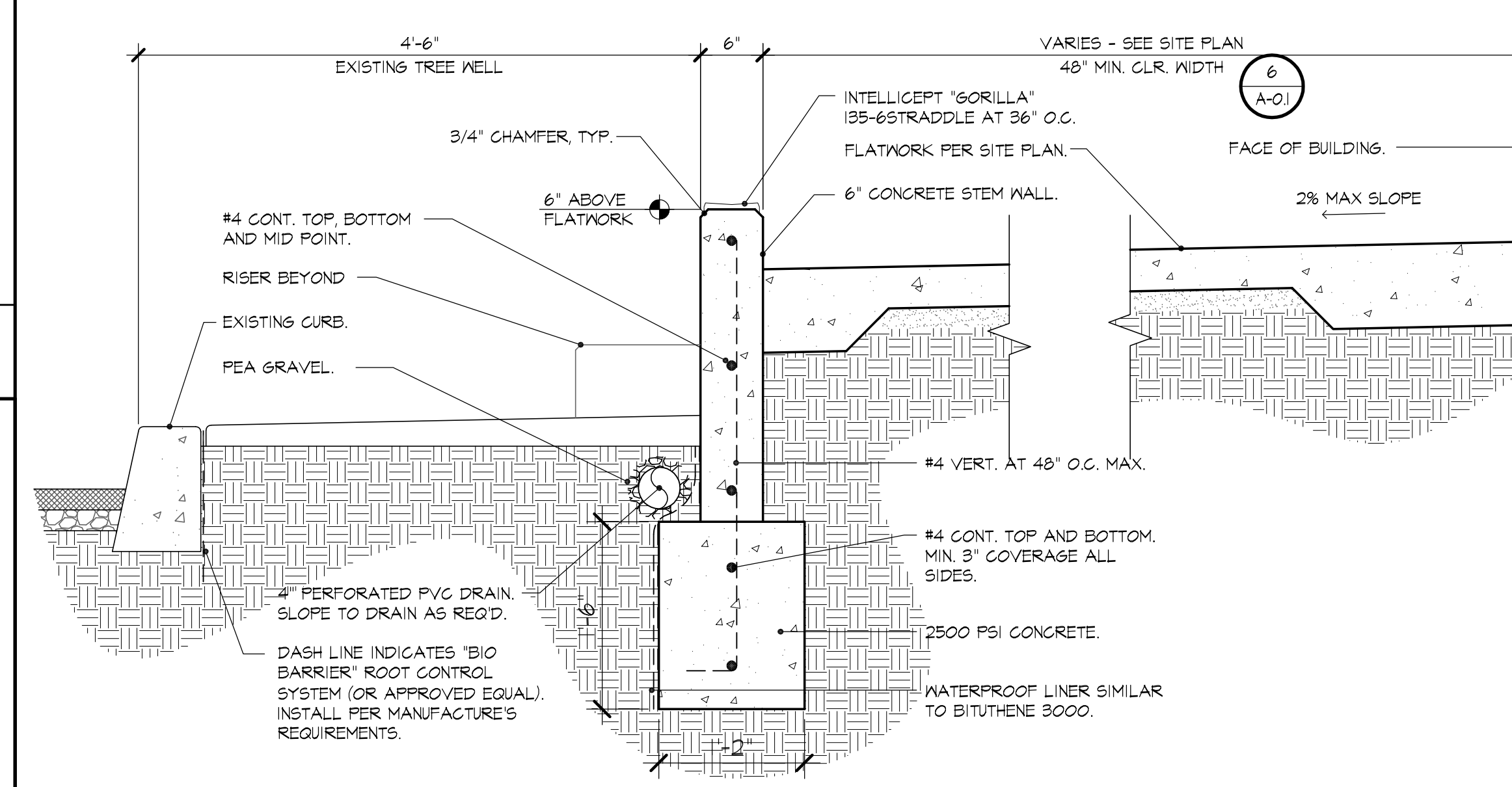
Tow-Away Sign	1/2"	9
---------------	------	---



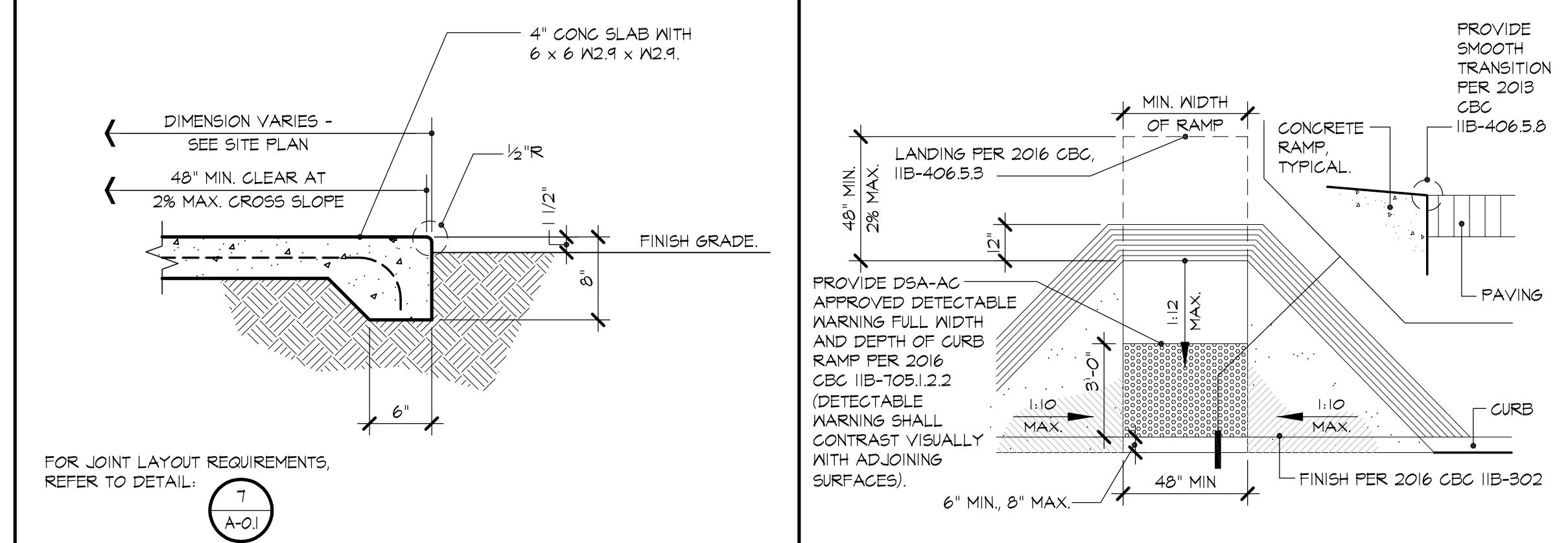
Enlarged Partial Site Plan	1/8"	1
----------------------------	------	---



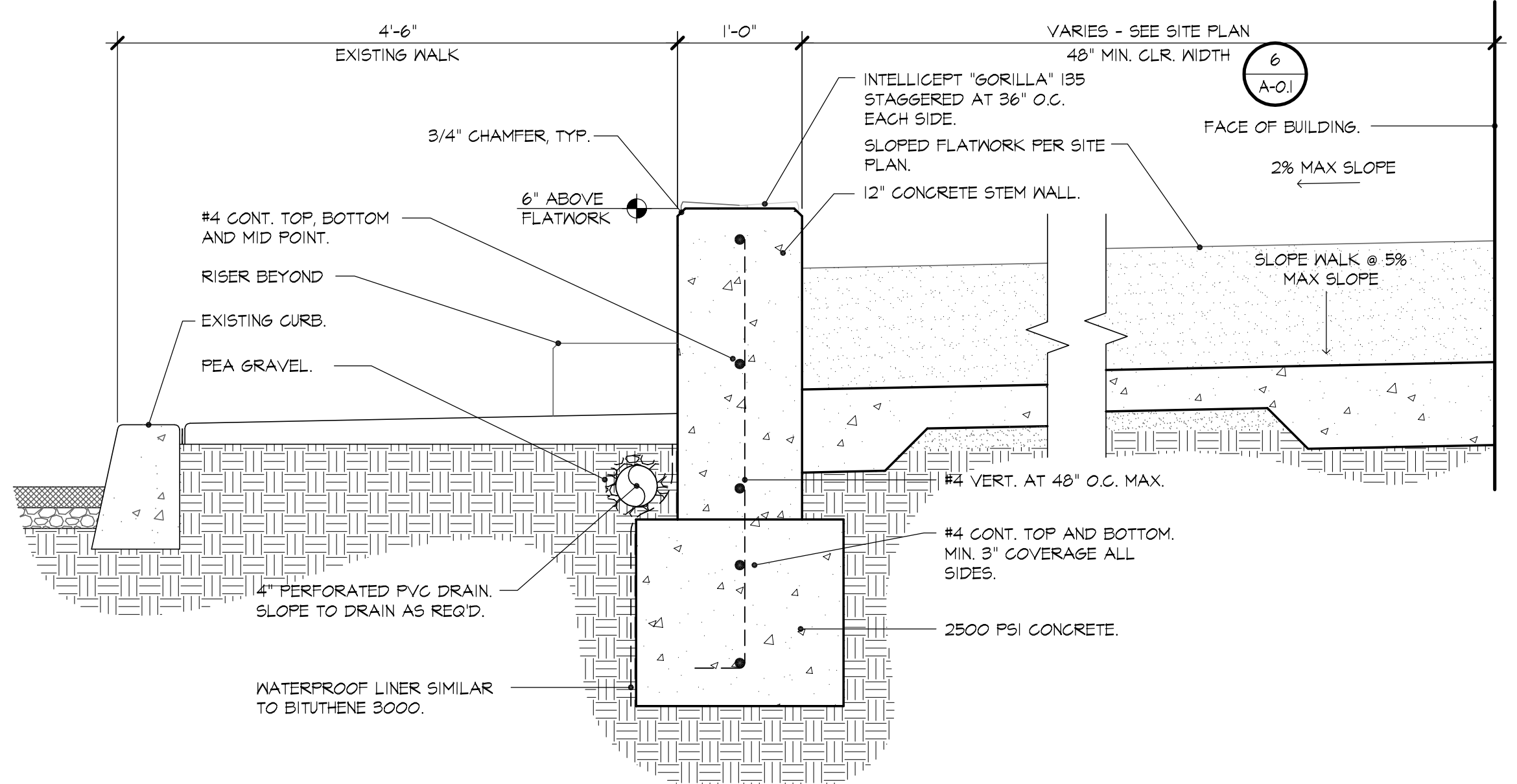
Riser Section	1"=1'-0"	2
---------------	----------	---



6" Stem Wall Section	1"=1'-0"	4
----------------------	----------	---



Concrete Walk Edge	1"	6	THE INTENTION OF THIS DETAIL IS TO CONFORM TO THE MOST STRINGENT PROVISIONS OF BOTH FEDERAL ADA AND CALIFORNIA TITLE 24	Curb-Cut Ramp	1/4"	5
---------------------------	----	---	---	----------------------	------	---



Sloped Walk Section	1"=1'-0"	3
---------------------	----------	---

Site Details

August 14, 2018

PROJECT DESCRIPTION and OPERATIONS STATEMENT
Proposed Class-A Office Building
700 P Street
Fresno, California

1. Proposed Facility:
Proposed is one three story Office Building on currently vacant land.
2. The Property:
This project is located at the N corner of P and Mono Streets in Fresno, California. The current land use data is as follows:
 - APN # 468-166-12
 - Address: 700 P Street Fresno, CA 93721
 - Zoning: DTG/DT
 - Land Use: Downtown General
 - Community Plan area: Downtown
 - Specific Plan: None
3. The Product:
The proposed Building is to be used as general office space with emphasis on Government Agency type Tenants.
4. Operational Time Limits:
The Proposed Facilities hours of operation will be Monday through Friday from 8:00 am to 5:00 pm for a total of 9 hours per day.
5. Special activities and/or events:
There are no special activities or events planned for this facility.
6. Employees and Staff:
Being initially constructed as a "shell building" the number of employees and staff is currently unknown, however CBC occupancy is proposed as 'B'. Assuming the CBC load value of 100 sf/occ. With a nominal circulation/common area load factor of 30% the proposed 46,572 SF usable area would generate approx. 466 occupants for both staff and visitors combined.
7. Materials, equipment and supplies:
No materials, equipment or supplies above that which is normally used in typical office type businesses are anticipated.
8. Service and Delivery Vehicles:
Deliveries shall be brought to the facility in small trucks and vehicles under 2-tons in size. Solid waste collection is via Santa Fe Avenue.

9. The Structure:

The proposed Building is a moment frame structure with a combination of metal and stucco siding with glass curtain walls.

10. Environmental impact – Sound:

The proposed Facility does not anticipate generating any noise above what would be normal for its proposed use and deemed to be no more obnoxious than that generated by surrounding properties.

11. Environmental impact – HAZMAT:

The proposed Facility will not generate any Hazardous materials. All generated waste products will be able to be disposed in standard City approved waste and recycle containers.

It is our hope that all parties involved will view the proposed project favorably. Should you have any questions or need further information, please do not hesitate to contact our office.

Sincerely,

William Dyck, Owner

August 14, 2018

PLANNED DEVELOPMENT PERMIT NARRATIVE
Proposed Class-A Office Building
700 'P' Street
Fresno, California

- Proposed Facility:
This project is proposing to construct a 3-story office building of approximately 67,000 square feet on undeveloped land.
- The Property:
This project is located at 700 'P' Street in Fresno, California. The current land use data is as follows:
 - APN # 468-166-12
 - Address: 700 'P' Street Fresno, CA 93721
 - Zoning: DTG/DT
 - Existing Land Use: Vacant
 - Community Plan area: Downtown
 - Specific Plan: N/A

To whom it may concern;

We propose to build a new 66,500 square foot, 3-story structure on vacant land, adjacent to an existing commercial office complex. The adjacent buildings are the result of adaptive reuse, consisting of 3 warehouse/industrial buildings from the early 1900's and one recent infill section (to replace a building that had collapsed).

Our proposed building represents both the completion of a full block for offices and an architectural tie-in by material and design-element similarities.

The overall 'P' Street building frontage will wrap around an open plaza of public spaces, and the new building will incorporate multiple tenant entries and active spaces. Because of a 12" grade offset between the existing public walk/curb height and the new building's finish floor, we will 'raise' the walk of the 'P' Street façade to the building's floor level. This is necessary for 'active space' access from the walk. We have covered a portion of the walk by 4'.0" cantilever of the upper floors and then we have added a running canopy, 5'.0" deep for an additional section of the façade. A third entry has a separate canopy of 4' x 22'. We acknowledge that these dimensions are slightly short of the 10 foot dimension defined in the Development Standards Checklist for a gallery or arcade. The property line location is 13' x 6" from the curb and the overhead canopy and floor cantilevers are within inches of this boundary. The third entry's canopy will encroach by a foot to provide the CBC required 4 foot entry cover.

We have provided a mix of materials (on all facades) including curtainwall glazing, stucco, and metal paneling. We hope to add both interest and an architectural tie-in to the adjacent development. The variety of exterior materials used, the offset of the façade elements and the

combination of open 'plaza' space with semi-covered public walks will provide a superior pedestrian experience along 'P' street.

The façade facing both Mono Street and Sante Fe Avenue will include a similar combination of materials and offsets to provide interest, but without the frequency of tenant entry points. There is no street parking adjacent to the facility on either Mono or Sante Fe, and so the possibility of public activity is small.

It is our hope that all parties will review our project proposal favorably. If you have any questions or need further information, please contact our office.

It is our hope that all parties involved will view the proposed project favorably. Should you have any questions or need further information, please do not hesitate to contact our office.

Sincerely,

William Dyck, Owner

Owner's Letter of Authorization

NAME AND ADDRESS OF OWNER(S) OF THE PROPERTY

Name: Baltara Enterprises, LP

Address: 2025 N. Gateway Avenue, Suite #101

City: Fresno State: CA Zipcode: 93727

Phone: 288-3925 Email: will@summafresno.com

To Whom It May Concern:

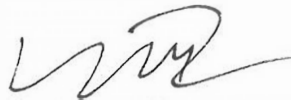
As owner(s) of the property located at 700 'P' Street - Fresno, CA 93721

I/we authorize iT Architecture, Inc. to act as Agent for the following permit(s):
for all aspects on the above noted property.

Sincerely,

Will Dyke

Owner's Printed Name



Owner's Signature

08/07/2018

Date