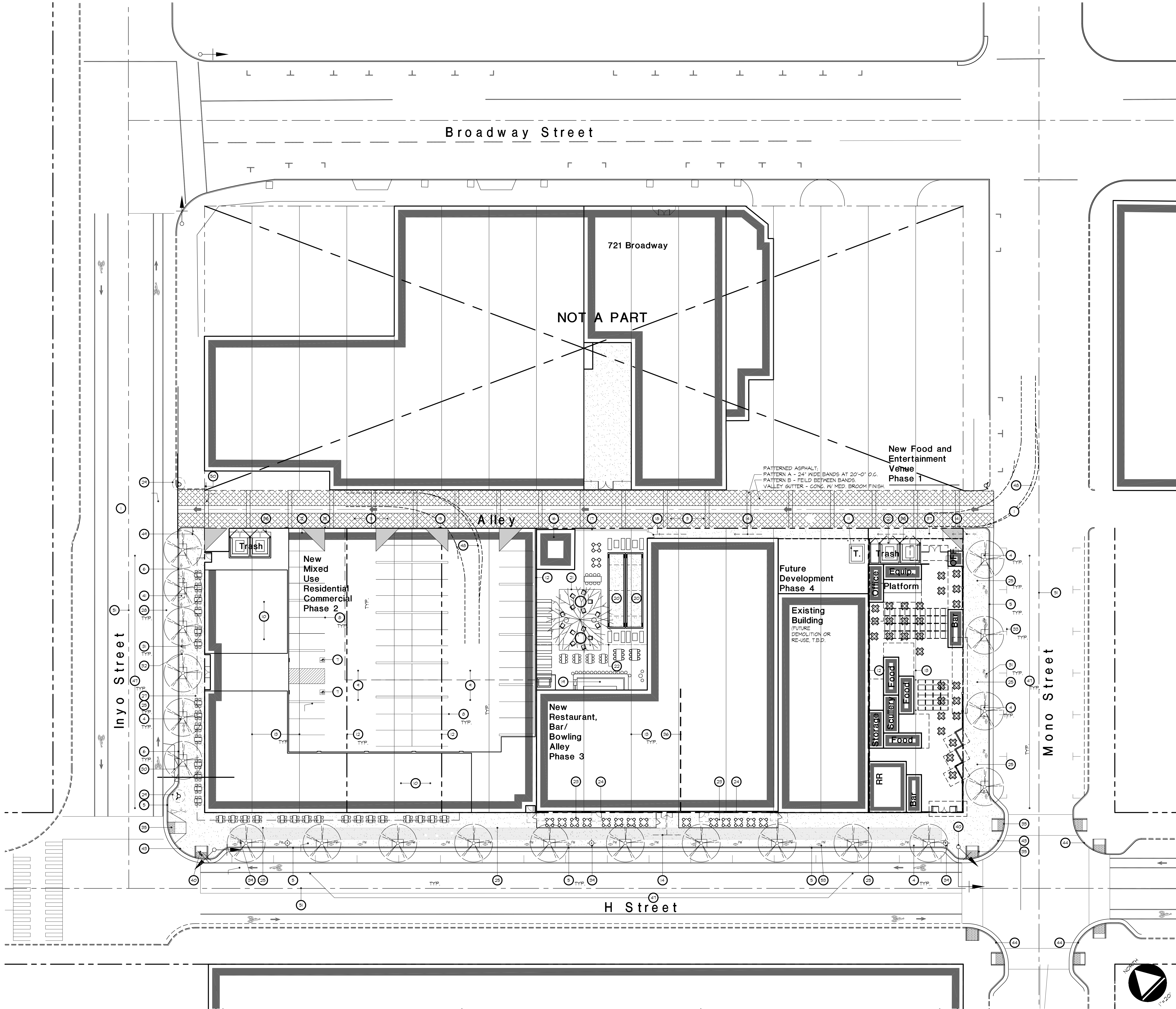


ALL DESIGN, PRELIMINARY, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TFS INVESTMENTS, INC. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TFS INVESTMENTS, INC. THESE DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF TFS INVESTMENTS, INC. THESE DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF TFS INVESTMENTS, INC.

Overall Site Plan



Keyed Site Plan Notes

- 1. CONSTRUCT NEW ALLEY APPROACH TO BE INSTALLED PER PUBLIC WORKS STANDARDS P-13 - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 2. INDICATES NEW CMU TRASH / RECYCLING ENCLOSURE TO MEET CITY STANDARDS - REFER TO DETAILS 15 AND 16/A-1 FOR ADDITIONAL INFORMATION.
- 3. CONSTRUCT NEW ENHANCED CONCRETE PAVING. REFER TO DETAIL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 4. INDICATES NEW STREET TREE WELL. CONSTRUCT SIMILAR TO PW STD. P-8 AND SPECIFICATION SECTION 28-2.11(C). SPECIE AND SPACING AS REQUIRED FOR LANDSCAPE PLAN.
- 5. CONSTRUCT NEW 6" HIGH CONCRETE CURB AND GUTTER PER PW STANDARD P-5 - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 6. INDICATES LOCATION OF EXISTING 6" HIGH CONCRETE CURB AND GUTTER - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 7. INDICATES ACCESSIBLE PARKING STALLS. PROVIDE WALL SIGNAGE AND PAVING MARKINGS TO MEET TITLE 24 AND A.D.A. REQUIREMENTS. SEE DETAIL FOR ADDITIONAL INFORMATION.
- 8. INDICATES 4" WIDE PARKING STRIPE TO BE PAINTED TRAFFIC WHITE PER CITY STANDARDS.
- 9. INDICATES FIRST FLOOR PARKING GARAGE.
- 10. INDICATES FIRST FLOOR RETAIL LEASE SPACE.
- 11. INDICATES TRANSFORMER LOCATION WITH BOLLARDS (WHERE SHOWN). REFER TO SITE UTILITY AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 12. INDICATES EXISTING PROPERTY LINE - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 13. INDICATES EXISTING LOT LINE - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 14. INDICATES ACCESSIBLE PATH OF TRAVEL FROM A PUBLIC WAY. WALKS TO HAVE A MAXIMUM OF 5% SLOPE AND 2% CROSS SLOPE - LANDINGS AT RAMPS TO BE 2% MAXIMUM FOR 48" MINIMUM BEYOND EDGE OF RAMP 8'-0" AT OUTDOOR SEATING. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 15. INDICATES TOW-AWAY SIGNAGE MOUNTED ON BUILDING - REFER TO DETAIL X/A-X-X FOR ADDITIONAL INFORMATION.
- 16. INDICATES NEW AUXILIARY KITCHEN FOR PATIO DINING.
- 17. INDICATES NEW 6'-0" WALL / W.I. FENCE.
- 18. INDICATES NEW SECOND EXIT FOR PATIO.
- 19. INDICATES NEW OUTDOOR BAR FOR PATIO DINING.
- 20. INDICATES NEW OUTDOOR BOGGY COURTS.
- 21. INDICATES NEW LANDSCAPED AREA W/ FIRE PIT.
- 22. INDICATES EDGE OF NEW SHADE STRUCTURE.
- 23. INDICATES NEW OUTDOOR DINING AREA ON SIDEWALK WITH MOVEABLE BARRIERS.
- 24. DASHED LINE INDICATES EXISTING FRONT FACADE TO REMAIN.
- 25. CONSTRUCT NEW CONCRETE SIDEWALK PER CITY OF FRESNO PUBLIC WORKS STANDARD P-5. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 26. INDICATES LOCATION OF BICYCLE RACK. PROVIDE "HADRAX" HEAVY DUTY KINDER (POWDER COATED) W/ 2 SPACES. REFER TO DETAIL X/A-X-X FOR ADDITIONAL INFORMATION. PROVIDE ARCHITECT WITH SHOP DRAWINGS AND COLOR SAMPLE FOR APPROVAL.
- 27. INDICATES EXISTING CONCRETE SIDEWALK AND FENCING TO BE REMOVED.
- 28. INDICATES EXISTING PARALLEL PARKING STALLS.
- 29. INDICATES EXISTING FIRE HYDRANT.
- 30. INDICATES EXISTING STORM DRAIN.
- 31. INDICATES EXISTING PARKING METERS. VERIFY WITH THE APPROVED STREET PLANS AND PARKING PER SEPARATE PERMIT. COORDINATE METER RELOCATION WITH PARKING.
- 32. INDICATES EXISTING PINEAPPLE STYLE STREET LIGHT.
- 33. INDICATES NEW PARALLEL PARKING STALLS PER CITY OF FRESNO STANDARDS.
- 34. INDICATES NEW PARKING METERS.
- 35. INDICATES NEW RAMP TO MEET CURRENT PUBLIC WORKS STANDARDS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. "DETECTABLE MARKING DEVICES" ARE REQUIRED IF NOT EXISTING. REF: PW STD. P-30, AND P-32.
- 36. DASHED LINE INDICATES EXISTING INTERIOR FACADE TO REMAIN.
- 37. INDICATES NEW CONCRETE SIDE WALK. REFER TO CIVIL PLANS.
- 38. NOT USED.
- 39. INDICATES NEW PINEAPPLE STYLE STREET LIGHT.
- 40. RELOCATE EXISTING SIGNAL LIGHTS OR INSTALL NEW PER CITY DIRECTION.
- 41. REMOVE EXISTING DRIVEWAY AND CONSTRUCT CURB, GUTTER, AND SIDEWALK PER PW STD. P-5. DEDICATION OF CORNER CUT MAY BE REQUIRED.
- 42. PROPOSED BUILD OUTS TO BE CONSTRUCTED PER APPROVED GAD AND STREET IMPROVEMENT PLANS. VERIFY AND PROVIDE DOCUMENTATION OF FIRE DEPARTMENT APPROVAL.
- 43. INDICATES FUTURE IMPROVEMENTS.
- 44. INSTALL "LEFT TURN ONLY" SIGN.
- 45. INSTALL "RESIDENTS ONLY" SIGN.
- 46. INSTALL PAVING PER PW STD. P-50 WHERE MISSING AND AS NEEDED, PER APPROVED STREET IMPROVEMENT PLANS.
- 47. INDICATES 35'-0" OUTSIDE TURNING RADIUS FOR A VEHICLE 24'-6" LONG.
- 48. INDICATES EXISTING "DO NOT ENTER" SIGN TO BE RELOCATED OUT OF PUBLIC WAY.
- 49. INDICATES EXISTING "STOP" SIGN TO REMAIN.
- 50. INDICATES EXISTING CENTERLINE OF STREET.
- 51. INDICATES OFF-HOURS/SPECIAL EVENT DINING IN PARKING AREA. PROTECT DINING FROM ADJACENT PARKING WITH TEMPORARY BARRIERS.
- 52. INDICATES NEW AND/OR ADJUSTED METERED PARKING PER CITY STANDARDS.

NOTE:
ALL LANDSCAPING AND IRRIGATION TO MEET CITY OF FRESNO REQUIREMENTS. LANDSCAPING TO BE SUBMITTED AND APPROVED PRIOR TO PERMITS.

Project Site Map



Overall Site Plan

1465 North Van Ness Avenue
Fresno, California 93728
559.442.4642 voice
559.485.9081 fax

Project

Mixed Use Development
H Street And Inyo
Fresno, CA

Owner

TFS Investments, Inc.
7643 N. Ingram Ave. #105
Fresno, CA 93711

Publishing Status

Schematic	
Design Developm't.	
Site Plan Review	12/11/18
Bidding	
Plan Check	

Revisions

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Scale

1" = 20'-0"

Project Manager

IAN ROBERTSON

Project Number

17-127

Sheet

A-0.1

Keyed Site Plan Notes

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|----|--|
| 1 | CONSTRUCT NEW ALLEY APPROACH TO BE INSTALLED PER PUBLIC WORKS STANDARDS P-13 - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION. |
| 2 | INDICATES NEW C&U TRASH / RECYCLING ENCLOSURE TO MEET CITY STANDARDS - REFER TO DETAILS 15 AND 16(A) FOR ADDITIONAL INFORMATION. |
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| 4 | INDICATES NEW STREET TREE WALK. CONSTRUCT SIMILAR TO: PM STD. P-8 AND SPECIFICATIONS SECTION 26-1110. SPECIE AND SPACING AS REQUIRED PER LANDSCAPE PLAN. |
| 5 | CONSTRUCT NEW 6" HIGH CONCRETE CURB AND GUTTER PER PM STANDARD P-5 - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION. |
| 6 | INDICATES LOCATION OF EXISTING 6" HIGH CONCRETE CURB AND GUTTER - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION. |
| 7 | INDICATES ACCESSIBLE PARKING STALLS. PROVIDE MAX SIGNAGE AND PAVING MARKINGS TO MEET TITLE 24 AND A.D.A. REQUIREMENTS. SEE DETAIL FOR ADDITIONAL INFORMATION. |
| 8 | INDICATES 4' WIDE PARKING STRIPE TO BE PAINTED TRAFFIC WHITE PER CITY STANDARDS. |
| 9 | INDICATES FIRST FLOOR PARKING GARAGE. |
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| 15 | INDICATES TOW-AWAY SIGNAGE MOUNTED ON BUILDING - REFER TO DETAIL X/A-X/X FOR ADDITIONAL INFORMATION. |
| 16 | INDICATES NEW AUXILIARY KITCHEN FOR PATIO DINING. |
| 17 | INDICATES NEW 6'-0" WALL / N.I. FENCE. |
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| 20 | INDICATES NEW OUTDOOR BOCCI COURT. |
| 21 | INDICATES NEW LANDSCAPED AREA W/ FIRE PIT. |
| 22 | INDICATES EDGE OF NEW SHADE STRUCTURE. |
| 23 | INDICATES NEW OUTDOOR DINING AREA ON SIDEWALK WITH MOVEABLE BARRIERS. |
| 24 | DASHED LINE INDICATES EXISTING FRONT FACADE TO REMAIN. |
| 25 | CONSTRUCT NEW CONCRETE SIDEWALK PER CITY OF FRESNO PUBLIC WORKS STANDARD P-5. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 26 | INDICATES LOCATION OF BICYCLE RACK. PROVIDE "MADRAK" HEAVY DUTY KINDER (PONDER COATED) W/ 21 SPACES. REFER TO DETAIL X/A-X/X FOR ADDITIONAL INFORMATION. PROVIDE ARCHITECT WITH SHOP DRAWINGS AND ORDER SAMPLE FOR MATERIAL. |
| 27 | INDICATES EXISTING CONCRETE SIDEWALK AND FENCING TO BE REMOVED. |
| 28 | INDICATES EXISTING PARALLEL PARKING STALLS. |
| 29 | INDICATES EXISTING FIRE HYDRANT. |
| 30 | INDICATES EXISTING STORM DRAIN. |
| 31 | INDICATES EXISTING PARKING METERS. VERIFY WITH THE APPROVED STREET PLANS AND PARKING PER SEPARATE PERMIT. COORDINATE METER RELOCATION WITH PARKING. |
| 32 | INDICATES EXISTING PINEAPPLE STYLE STREET LIGHT. |
| 33 | INDICATES NEW PARALLEL PARKING STALLS PER CITY OF FRESNO STANDARDS. |
| 34 | INDICATES NEW PARKING METERS. |
| 35 | INDICATES NEW RAMP TO MEET CURRENT PUBLIC WORKS STANDARDS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER. PROVIDE OCCUPANCY. DETECTABLE WARNING DEVICES ARE REQUIRED IF NOT EXISTING RAMP. PM STD. P-302 AND P-32. |
| 36 | DASHED LINE INDICATES EXISTING INTERIOR FACADE TO REMAIN. |
| 37 | INDICATES NEW CONCRETE SIDE WALK. REFER TO CIVIL PLANS. |

Legal Description

PARCEL ONE - APN 468-286-12
LOTS 30 TO 32, INCLUSIVE, IN BLOCK 5B, IN THE TOWN (NOW CITY) OF FRESCO, COUNTY OF
FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 1, PAGE 2 OF
FLATS, FRESCO COUNTY RECORDS.

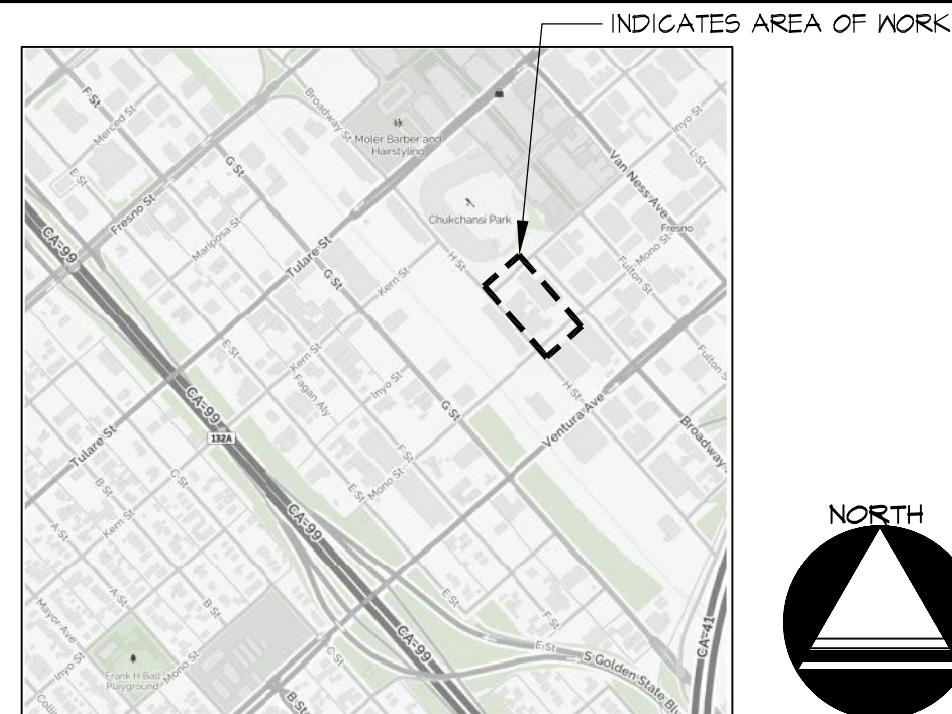
PARCEL TWO - APN 468-286-09
LOTS 28 AND 29, INCLUSIVE, IN BLOCK 5B, IN THE TOWN (NOW CITY) OF FRESCO, COUNTY OF
FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 1, PAGE 2 OF
FLATS, FRESCO COUNTY RECORDS.

PARCEL THREE - APN 468-286-07
LOTS 1 AND 1B, INCLUSIVE, IN BLOCK 5B, IN THE TOWN (NOW CITY) OF FRESCO, COUNTY OF
FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 1, PAGE 2 OF
FLATS, FRESCO COUNTY RECORDS.

PARCEL FOUR - APN 468-286-08
LOTS 19 TO 23, INCLUSIVE, IN BLOCK 5B, IN THE TOWN (NOW CITY) OF FRESCO, COUNTY OF
FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 1, PAGE 2 OF
FLATS, FRESCO COUNTY RECORDS.

PARCEL FIVE - APN 468-286-09
LOTS 26 AND 27, IN BLOCK 5B, IN THE TOWN (NOW CITY) OF FRESCO, COUNTY OF FRESCO,
STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 1, PAGE 2 OF FLATS,
FRESCO COUNTY RECORDS.

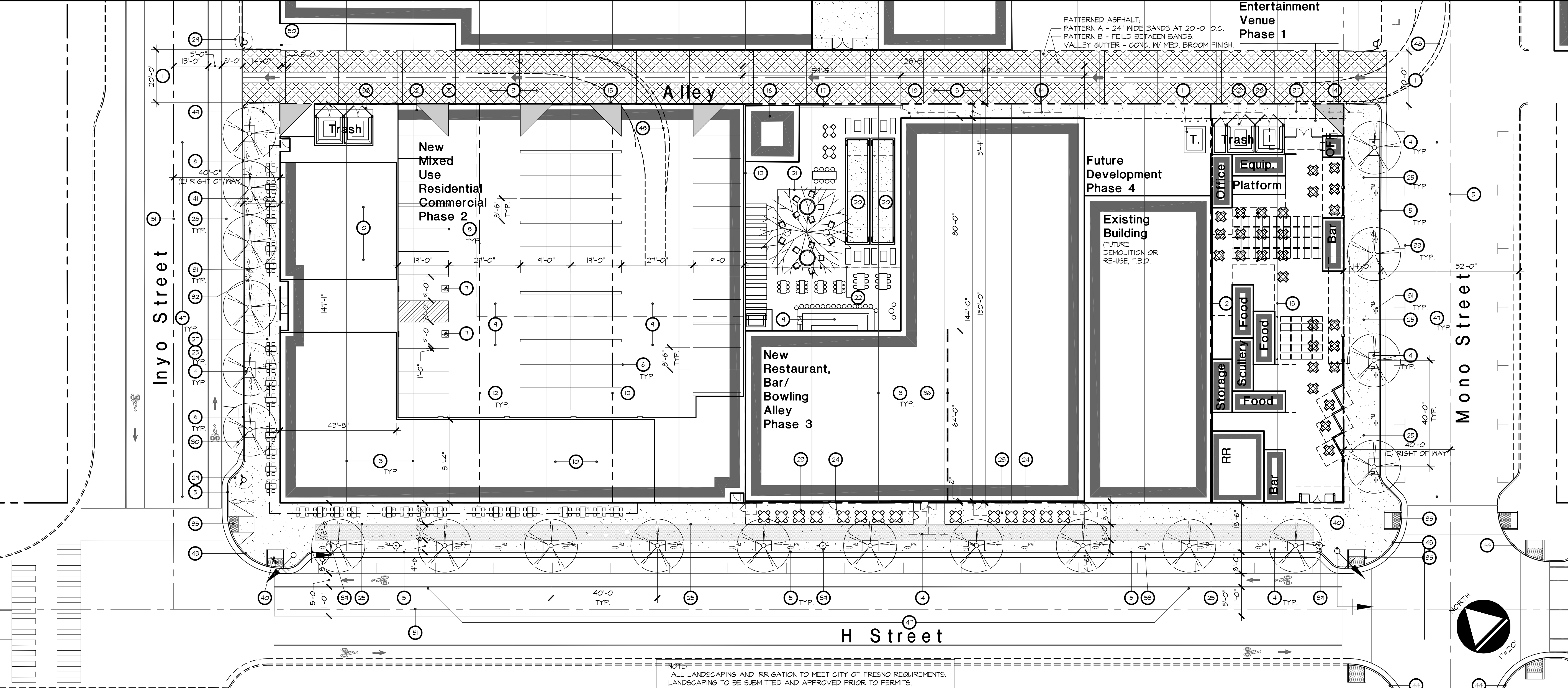
Project Site Map



Site Plan

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Site Plan



Site Development Notes

- PROVIDE A MINIMUM OF 2% SLOPE AWAY FROM ALL BUILDINGS FOR A DISTANCE OF FIVE FEET.

NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.

ALL CURB AND GUTTER TO BE CONSTRUCTED ON-SITE AND TO BE COMPLETED PRIOR TO PLACEMENT OF AC PAVING ON SITE.

LAYOUT FORMS FOR WALKS AND EXTERIOR SLAB IN FIELD FOR OWNER'S APPROVAL PRIOR TO POURING.

PAVING TO BE CONSTRUCTED AS PER LOCAL GOVERNING JURISDICTIONS STANDARD SPECIFICATION.

CONTRACTOR TO CALL FOR SUB-SURFACE INVESTIGATION BY LOCAL PLANNING AND INSPECTION DIVISION PRIOR TO PLACEMENT OF AC PAVING ON SITE.

THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICE CONNECTIONS TO BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF ASPHALT CONCRETE ON-SITE.

LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.

SIGNS OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SIGN FOR SEPARATE MASTER SIGN PROGRAM OR SIGN REVIEW APPLICATION, APPLICATIONS AND REQUIREMENTS FOR SUBMITTAL ARE AVAILABLE AT THE PLANNING DIVISIONS PUBLIC FRONT COUNTER. CONTRACTOR TO PROVIDE THE BUILDING DEPARTMENT WITH SOIL CONSTRUCTION REPORTS AND TESTING AGENCY REPORT FOR ALL FILL AREAS ON-SITE. PROVIDE A SEPARATE COPY OF REPORT TO THE ARCHITECT.

REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.

THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET RIGHTS-OF-WAY (INCLUDING PEDESTRIAN, WATER AND SEWER UTILITY EASEMENTS) REQUIRES A STREET WORK PERMIT ISSUED BY THE PUBLIC WORKS DEPARTMENT. ENGINEERING SERVICES DIVISION AT 859-61-8800 PRIOR TO COMMENCEMENT OF THE WORK. ALL REQUIRED STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO OCCUPANCY.

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED BY THE STATE OF CALIFORNIA SURVEYING IN THE STATE OF CALIFORNIA.

CONTACT CITY SOLID WASTE DIVISION FOR WASTE DISPOSAL FACILITIES REQUIREMENTS.

NO USE OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.

ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY OF THE OWNER AND AT THE EXPENSE OF THE DEVELOPER. THE PERMITS SHALL BE RELOCATED BY CITY FOR DEVELOPER'S RESPONSIBILITY TO NOTIFY COUNTY WATER DIVISION TO ARRANGE AND COORDINATE WORK.

TWO MEANS OF EGRESS / EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.

BACKLOG FOR PRE-EMERGENCY DEVICE MAY BE REQUIRED ON THE WATER SERVICE. CONTACT DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION (859) 621-5500 FOR REQUIREMENTS RELATING TO APPROVED DEVICES, LOCATIONS, TESTING AND ACCEPTANCE. THIS REQUIREMENTS MUST BE SATISFIED PRIOR TO FINAL OCCUPANCY PERMIT.

THE CONSTRUCTION OF ANY OVERHEAD, SURFACE OR SUB-SURFACE STRUCTURES AND APPURTENANCES IN THE PUBLIC RIGHTS-OF-WAY IS PROHIBITED UNLESS AN ENCROACHMENT PERMIT IS APPROVED BY THE CITY ENGINEER. FOR ENCROACHMENT PERMIT INFORMATION, CONTACT THE PUBLIC WORKS DEPARTMENT, ENGINEERING SERVICES DIVISION AT (859) 621-8660. ENCROACHMENT PERMITS MUST BE APPROVED PRIOR TO THE ISSUANCE OF BUILDING PERMIT.

INSTALL PERMANENT PAVING, PAVING TRANSITION, CONCRETE CURB, GUTTER, SIDEWALK AND DRIVEWAY APPROACHES, STREET TREE WELLS AND IRRIGATION PIKE PATHS, BUS BAYS, RIGHT TURN LANES, ETC. AS DETERMINED BY THE CITY ENGINEER ON ALL STREET FRONTS.

WHEELCHAIR RAMPS SHALL BE INSTALLED AT ALL CURB RETURNS.

STREET IMPROVEMENT PLANS PREPARED BY A REGISTERED CIVIL ENGINEER ARE REQUIRED. PLANS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPT. BUILDING AND ENGINEERING SERVICES DIVISION PRIOR TO ISSUANCE OF BUILDING PERMITS AND STREET WORK PERMITS.

TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERSIGHTS DUE TO WIND, VANDALISM AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.

BUILDING PADS SHALL BE CONSTRUCTED PER PERILS ENGINEERS SPECIFICATIONS AND SHALL BE AT 0.10 FT. OF THE ELEVATIONS SHOWN ON THE PLAN. ALL BUILDING PADS SHALL BE IN ACCORDANCE WITH THE SOILS ENGINEER'S SPECIFICATIONS.

OPEN STREET CUT IS NOT PERMITTED; ALL UTILITY CONNECTIONS MUST BE BORED.

ALL ACCESSIBLE STALLS SHALL BE LOCATED TO ALLOW THE SHORTEST PATH OF ACCESS TO THE BUILDING ENTRANCE. THE STALLS SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 01-007 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY.

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.

ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE ACCESSIBLE USER SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.

IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, STOP WORK IMMEDIATELY.

ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.

IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL. LIST OF RECOGNIZED PALEONTOLOGISTS, AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

PARKING LOT PAVEMENTS AND DRAINAGE DESIGN SHALL BE IN ACCORDANCE WITH PUBLIC WORKS DEPARTMENT STANDARD DRAWINGS NOS. P-1, P-2 AND P-23 AND INCORPORATED INTO THE SITE DRAINAGE PLAN. SITE DRAINAGE TO THE ALLEYS REQUIRED BY THE CITY ENGINEER. A SITE DRAINAGE PLAN TO BE REVIEWED AND APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT. BUILDING & SAFETY SERVICES DIVISION PRIOR TO THE COMMENCEMENT OF THE WORK.

APPLICANT SHALL PROVIDE ACCESS AND DIRECTIONAL SIGNS (E.G. "ENTRANCE," "EXIT," "RIGHT TURN ONLY," "ONE WAY" SIGNS, ETC.) AS DETERMINED BY THE CITY TRAFFIC ENGINEER AND AS NOTED ON EXHIBIT "A".

SURFACE DRAINAGE OVER APPROACHES AND SIDEWALKS IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE. IDENTIFY ON GRADING/DRAINAGE PLAN THE REQUIREMENTS FOR CONVEYING SURFACE WATER TO STREET, DETAIL CATCH BASINS AND PIPE OR CHANNEL SIZES TO BE USED.

ROOF-MOUNTED AND DETACHED MECHANICAL EQUIPMENT FOR COMMERCIAL SPECIFIC USES SHALL BE SCREENED FROM VIEW AND ADJACENT AREAS BY BAFFLE TO PREVENT THE NOISE LEVEL RATINGS FOR THE EQUIPMENT FROM EXCEEDING 55 DB MEASURED AT THE NEAREST PROPERTY LINE.

IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORNER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATURAL ORIGIN IN THE NATIVE AMERICAN HERITAGE CONSERVATION PROGRAM (NACHP) (859-4082) SHALL BE IMMEDIATELY CONTACTED AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY DEVELOPMENT INFORMATION CENTER (PHONE: (805) 430-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE REFINISHED TO THE ORIGINAL CONDITION. RECOMMENDATIONS MADE TO THE COUNTY TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE / PRESERVATION.

NO STRUCTURES OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE PROPOSED FRONTSIDES OF THE BUILDINGS, ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKLOG FOR PRE-EMERGENCY DEVICE MAY BE REQUIRED ON THE WATER SERVICE. CONTACT DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION (859) 621-5500 FOR REQUIREMENTS RELATING TO APPROVED DEVICES, LOCATIONS, TESTING AND ACCEPTANCE. THIS REQUIREMENTS MUST BE SATISFIED PRIOR TO FINAL OCCUPANCY PERMIT.

OUTDOOR STORAGE AREAS SHALL BE CONSTRUCTED AND MAINTAINED SUCH THAT MATERIAL OR EQUIPMENT FROM THE SITE WILL NOT BE CONVEYED BY RUNOFF INTO THE STORM DRAIN SYSTEM.

(2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND / OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.

PROVIDE ON SITE DRIVE APPROACHES (A 12'22" MIN) SIGN WHICH STATES "PARKING - VEHICLES STOPPED, PARKED, OR LEFT LANE LINES WILL BE IMMEDIATELY REMOVED AT OWNERS EXPENSE - 2365-B-6 CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPT. 589-621-7000" - SIGNAGE TO MEET FIRE DEPARTMENT REQUIREMENTS.

INFORMATION DEPICTED IS BASED ON EXISTING DATA MADE AVAILABLE BY LANDOWNER. ALL INFORMATION IS SUBJECT TO FIELD VERIFICATION.

CONNECTION OF SEWER HOUSE BRANCH REQUIRES MACHINE CURE TO EXISTING 2" LINE.

UNDERGROUND ALL EXISTING OFF-SITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE PLAN TO BE REMOVED PRIOR TO CONSTRUCTION.

THE CONSTRUCTION PHASE OF THE PROJECT WILL BE SUBJECT TO THE SAN JOAQUIN VALLEY UNIFIED AIR POLLUTION CONTROL DISTRICT REGULATION VII, RULE 8020, RELATED TO THE CONTROL OF DUST AND FINE PARTICULATE MATTER. CONTACT THE DISTRICT AT 559-61-6000 FOR THEIR REQUIREMENTS AND REGULATIONS.

A MINIMUM 4 FOOT WIDE PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK ON ALL FRONTSIDES OF THE PROPERTY AS REQUIRED BY TITLE 24 OF THE CALIFORNIA ADMINISTRATION CODE, AN ON-SITE PEDESTRIAN EASEMENT MAY BE REQUIRED IF TITLE 24 REQUIREMENTS CAN NOT BE MET. PROVIDE PUBLIC RIGHT OF WAY.

SITE PLAN TO BE PROVIDED TO INCLUDE ALL STREET FURNITURE, E.G. UTILITY POLES AND BOXES, GUY WIRES, SIGNS, FIRE HYDRANTS, BUS STOP BENCHES, MAIL BOXES, NEWS STANDS, TRASH RECEPTACLES, TREE WELLS, ETC. WITHIN THE EXISTING AND PROPOSED PUBLIC RIGHTS OF WAY.

WINDON SIGNS ARE LIMITED TO 4 SQUARE FEET IN AREA. PROVIDING INFORMATION ABOUT HOURS OF OPERATION AND EMERGENCY, SALE OR RENTAL INFORMATION ONLY. EXTERIOR SIGNS SUCH AS BANNERS, FLAGS AND FENESTRAS ARE PROHIBITED. HOWEVER, A SPECIAL EVENT BANNER SIGN ANNOUNCING GRAND OPENINGS, MANAGEMENT ETC. ARE PERMITTED FOR 30 DAYS IF APPROVED BY THE DEVELOPMENT DEPARTMENT, ATTACHED TO THE BUILDING AND NOT EXCEEDING 92 SQUARE FEET IN AREA.

FIRE HYDRANTS SHALL BE TESTED AND APPROVED 1 ALL ACCESS ROADS SHALL BE INSTALLED 4 MADE SERVICEABLE PRIOR TO 1 DURING THE TIME OF CONSTRUCTION.

N/A

THE PROPERTY SHALL BE IMPROVED IN ACCORDANCE WITH THE PROVISIONS OF FMC SECTION 11-208. ALL PUBLIC STREET IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF FRESNO, CALIFORNIA. THE DEPARTMENT OF PUBLIC WORKS ENGINEERING SERVICES DIVISION SHALL REVIEW AND APPROVED BY THE CITY ENGINEER. THE FINAL CORRECTED EXHIBIT (A) SHALL INCORPORATE ALL REQUIRED DEDICATIONS, PARKING LOT GEOMETRICS AND PRESERVE SIGNAGE, AND THE REQUIREMENTS OF THE CALIFORNIA DESIGN STANDARDS CODE. DRIVEWAY APPROACHES LESS THAN 8' IN DEPTH (REFER TO PUBLIC WORKS DEPARTMENT STANDARD DRAWING NOS. P-2 AND P-6 FOR DETAILS) REQUIRES THE INSTALLATION OF THE CONCRETE PEDESTRIAN WALKWAY BEHIND THE DRIVEWAY APPROACH. APPROXIMATELY 4' TO 6' WIDE SIDEWALKS SHALL BE PROVIDED FOR PUBLIC WORKS STANDARD DRAWING NOS. P-21 MAY BE SUBSTITUTED FOR CONCRETE. A PEDESTRIAN EASEMENT IS REQUIRED FOR THE PATH AREA LOCATED OUTSIDE THE PUBLIC STREET EASEMENT.

CONTACT PUBLIC WORKS DEPT. TRAFFIC ENGINEERING AT 559-621-8800, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONSTRUCTION.

OFF-SITE (ON-SITE) PARKING FACILITIES AND GEOMETRICS SHALL CONFORM TO THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT PARKING MANUAL STANDARD SPECIFICATIONS AND REQUIREMENTS AS NOTED ON EXHIBIT "A".

APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT INFORMATION CENTER (PHONE: (805) 430-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE REFINISHED TO THE ORIGINAL CONDITION. RECOMMENDATIONS MADE TO THE COUNTY TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE / PRESERVATION.

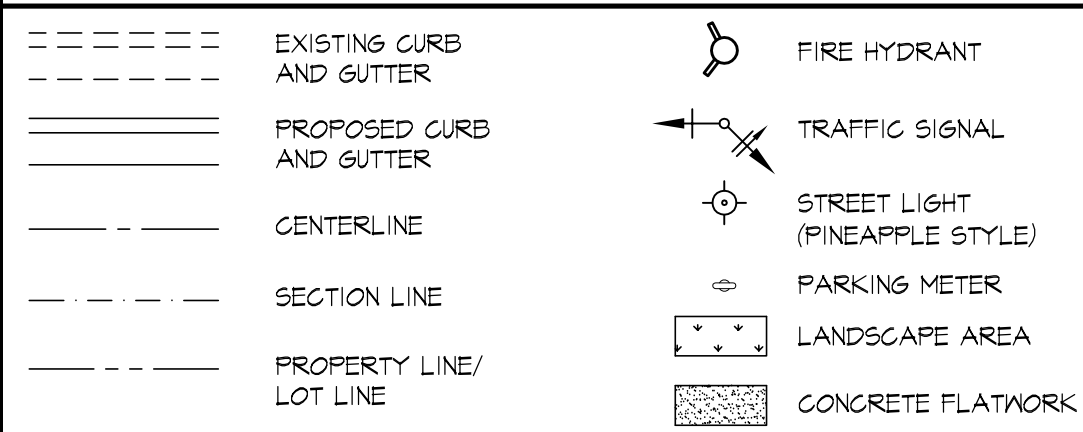
NO STRUCTURES OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE PROPOSED FRONTSIDES OF THE BUILDINGS, ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKLOG FOR PRE-EMERGENCY DEVICE MAY BE REQUIRED ON THE WATER SERVICE. CONTACT DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION (859) 621-5500 FOR REQUIREMENTS RELATING TO APPROVED DEVICES, LOCATIONS, TESTING AND ACCEPTANCE. THIS REQUIREMENTS MUST BE SATISFIED PRIOR TO FINAL OCCUPANCY PERMIT.

OUTDOOR STORAGE AREAS SHALL BE CONSTRUCTED AND MAINTAINED SUCH THAT MATERIAL OR EQUIPMENT FROM THE SITE WILL NOT BE CONVEYED BY RUNOFF INTO THE STORM DRAIN SYSTEM.

(2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND / OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444.

PROVIDE ON SITE DRIVE APPROACHES (A 12'22" MIN) SIGN WHICH STATES "PARKING - VEHICLES STOPPED, PARKED, OR LEFT LANE LINES WILL BE IMMEDIATELY REMOVED AT OWNERS EXPENSE - 2365-B-6 CALIFORNIA VEHICLE CODE - F

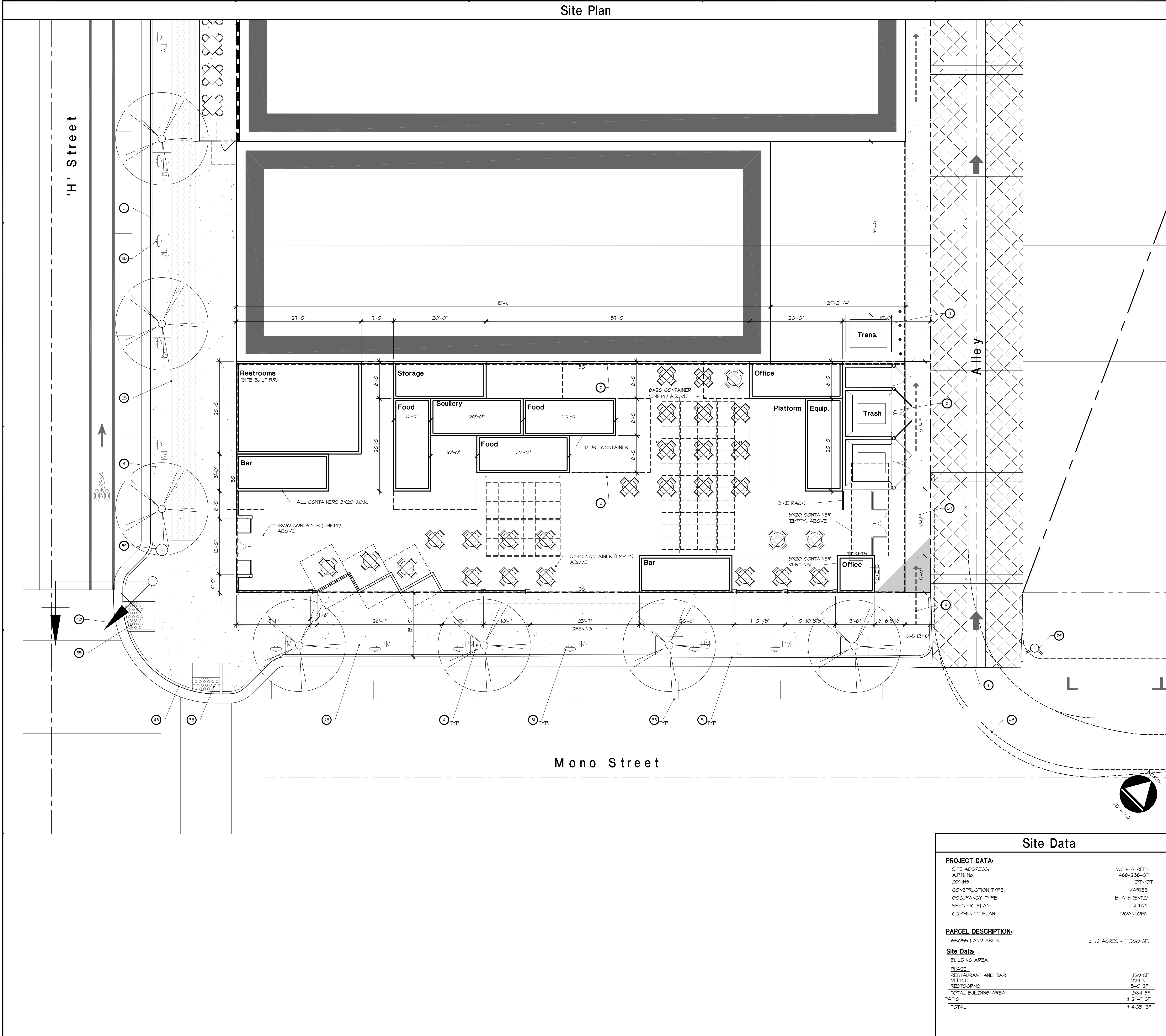
Legend



Overall Site Data

PROJECT DATA:	
SITE ADDRESS:	H STREET BETWEEN IYNG AND MON
LOT NUMBERS:	702, 704, 706, 728, 740, 7
ZONING:	468-286-07, 08, 09, 10, D1N
CONSTRUCTION TYPE:	VARIABLE
OCCUPANCY TYPE:	RM-3, M, B, B-3 (ENTIRE)
SPECIFIC PLAN:	FULTON
COMMUNITY PLAN:	DOWNTOWN
PARCEL DESCRIPTION:	
GROSS LAND AREA:	11.91 ACRES - (60,000 S
Site Data:	
BUILDING AREA	
PHASE 1	
CONTAINER CENTER (SEE SHEET A-0.2 FOR ADDITIONAL DATA)	4,031 SF
PHASE 2	
RESTAURANT, BAR, AND BOWLING ALLEY	13,678 SF
AUXILIARY KITCHEN	426 SF
TOTAL BUILDING AREA	14,104 SF
PATIO	4,444 SF
TOTAL	18,603 SF
PHASE 3	
RETAIL AREA FIRST FLOOR	7,000 SF
PARKING GARAGE FIRST FLOOR	7,789 SF
TOTAL FIRST FLOOR	16,788 SF
RESIDENTIAL AREA SECOND FLOOR	16,788 SF
RESIDENTIAL AREA THIRD FLOOR	16,788 SF
RESIDENTIAL AREA FOURTH FLOOR	16,788 SF
TOTAL RESIDENTIAL (21) 2 BEDROOMS (21) 1 BEDROOMS	50,364
TOTAL 48 UNITS	
PHASE 4 (FUTURE)	16,935 SF
TOTAL PARKING ON SITE:	
TOTAL STANDARD STALLS PROVIDED:	46 STALLS
TOTAL ACCESSIBLE STALLS PROVIDED: (PER 2016 C.B.C. TABLE (B-200.2) (1 VAN STALL PER 2006 C.B.C. (B-200.2.4)	2 STALLS
TOTAL STALLS PROVIDED:	48 STALLS

ALL DESIGN, PRELIMINARY, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TFS ARCHITECTURE, INC. INFORMATION FOR CONSULTANTS AND OTHERS SHOULD BE OBTAINED FROM THE ARCHITECT. NO PART OF THIS DRAWING SHOULD BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TFS ARCHITECTURE, INC. THESE DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TFS ARCHITECTURE, INC. THESE DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TFS ARCHITECTURE, INC.



Keyed Site Plan Notes

- CONSTRUCT NEW ALLEY APPROACH TO BE INSTALLED PER PUBLIC WORKS STANDARDS P-18 - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES NEW C.M.U. TRASH / RECYCLING ENCLOSURE TO MEET CITY STANDARDS - REFER TO DETAILS 15 AND 16/A-1 FOR ADDITIONAL INFORMATION.
- CONSTRUCT NEW ENHANCED CONCRETE PAVING. REFER TO DETAIL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- INDICATES NEW STREET TREE WELL. CONSTRUCT SIMILAR TO PW STD. P-8 AND SPECIFICATION SECTION 26-2.11/12. SPECIES AND SPACING AS REQUIRED PER LANDSCAPE PLAN.
- CONSTRUCT NEW 6" HIGH CONCRETE CURB AND GUTTER PER PW STANDARD P-5 - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES LOCATION OF EXISTING 6" HIGH CONCRETE CURB AND GUTTER - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES ACCESSIBLE PARKING STALLS. PROVIDE WALL SIGNAGE AND PAVING MARKINGS TO MEET TITLE 24 AND A.D.A. REQUIREMENTS. SEE DETAIL FOR ADDITIONAL INFORMATION.
- INDICATES 4" WIDE PARKING STRIPE TO BE PAINTED TRAFFIC WHITE PER CITY STANDARDS.
- INDICATES FIRST FLOOR PARKING GARAGE.
- INDICATES FIRST FLOOR RETAIL LEASE SPACE.
- INDICATES TRANSFORMER LOCATION WITH BOLLARDS (WHERE SHOWN). REFER TO SITE UTILITY AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES EXISTING PROPERTY LINE - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES EXISTING LOT LINE - REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES ACCESSIBLE PATH OF TRAVEL FROM A PUBLIC WAY. WALKS TO HAVE A MAXIMUM OF 5% SLOPE AND 2% CROSS SLOPE - LANDINGS AT RAMP TO BE 2% MAXIMUM FOR 48" MINIMUM BEYOND EDGE OF RAMP 8'-0" AT OUTDOOR SEATING. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
- INDICATES TOW-AWAY SIGNAGE MOUNTED ON BUILDING - REFER TO DETAIL X/A-X/X FOR ADDITIONAL INFORMATION.
- INDICATES NEW AUXILIARY KITCHEN FOR PATIO DINING.
- INDICATES NEW 6'-0" WALL / W.I. FENCE.
- INDICATES NEW SECOND EXIT FOR PATIO.
- INDICATES NEW OUTDOOR BAR FOR PATIO DINING.
- INDICATES NEW OUTDOOR BOGGY COURTS.
- INDICATES NEW LANDSCAPED AREA /V FIRE PIT.
- INDICATES EDGE OF NEW SHADE STRUCTURE.
- INDICATES NEW OUTDOOR DINING AREA ON SIDEWALK WITH MOVEABLE BARRIERS.
- DASHED LINE INDICATES EXISTING FRONT FACADE TO REMAIN.
- CONSTRUCT NEW CONCRETE SIDEWALK PER CITY OF FRESNO PUBLIC WORKS STANDARD P-5. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- INDICATES LOCATION OF BICYCLE RACK. PROVIDE "HADRAX" HEAVY DUTY KINDER (POWDER COATED) /V 2 SPACES. REFER TO DETAIL X/A-X/X FOR ADDITIONAL INFORMATION. PROVIDE ARCHITECT WITH SHOP DRAWINGS AND COLOR SAMPLE FOR APPROVAL.
- INDICATES EXISTING CONCRETE SIDEWALK AND FENCING TO BE REMOVED.
- INDICATES EXISTING PARALLEL PARKING STALLS.
- INDICATES EXISTING FIRE HYDRANT.
- INDICATES EXISTING STORM DRAIN.
- INDICATES EXISTING PARKING METERS. VERIFY WITH THE APPROVED STREET PLANS AND PARKING PER SEPARATE PERMIT. COORDINATE METER RELOCATION WITH PARKING.
- INDICATES EXISTING PINEAPPLE STYLE STREET LIGHT.
- INDICATES NEW PARALLEL PARKING STALLS PER CITY OF FRESNO STANDARDS.
- INDICATES NEW PARKING METERS.
- INDICATES NEW RAMP TO MEET CURRENT PUBLIC WORKS STANDARDS, AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. "TESTABLE MARKINGS DEVICES" ARE REQUIRED IF NOT EXISTING. REF: PW STD. P-30, AND P-32.
- DASHED LINE INDICATES EXISTING INTERIOR FACADE TO REMAIN.
- INDICATES NEW CONCRETE SIDE WALK. REFER TO CIVIL PLANS.
- NOT USED.
- INDICATES NEW PINEAPPLE STYLE STREET LIGHT.
- RELOCATE EXISTING SIGNAL LIGHTS OR INSTALL NEW PER CITY DIRECTION.
- REMOVE EXISTING DRIVEWAY AND CONSTRUCT CURB, GUTTER, AND SIDEWALK PER PW STD. P-5.
- DEDICATION OF CORNER CUT MAY BE REQUIRED.
- PROPOSED BUILT OUTS TO BE CONSTRUCTED PER APPROVED GAD AND STREET IMPROVEMENT PLANS. VERIFY AND PROVIDE DOCUMENTATION OF FIRE DEPARTMENT APPROVAL.
- INDICATES FUTURE IMPROVEMENTS.
- INSTALL "LEFT TURN ONLY" SIGN.
- INSTALL "RESIDENTS ONLY" SIGN.
- INSTALL PAVING PER PW STD. P-50 WHERE MISSING AND AS NEEDED, PER APPROVED STREET IMPROVEMENT PLANS.
- INDICATES 35'-0" OUTSIDE TURNING RADIUS FOR A VEHICLE 24'-6" LONG.
- INDICATES EXISTING "DO NOT ENTER" SIGN TO BE RELOCATED OUT OF PUBLIC WAY.
- INDICATES EXISTING "STOP" SIGN TO REMAIN.
- INDICATES EXISTING CENTERLINE OF STREET.
- INDICATES OFF-HOURS/SPECIAL EVENT DINING IN PARKING AREA. PROTECT DINING FROM ADJACENT PARKING WITH TEMPORARY BARRIERS.
- INDICATES NEW AND/OR ADJUSTED METERED PARKING PER CITY STANDARDS.

NOTE:
ALL LANDSCAPING AND IRRIGATION TO MEET CITY OF FRESNO REQUIREMENTS. LANDSCAPING TO BE SUBMITTED AND APPROVED PRIOR TO PERMITS.

Site Data	
PROJECT DATA:	
SITE ADDRESS:	702 H STREET
A.P.N. No.:	468-286-07
ZONING:	DTN/DT
CONSTRUCTION TYPE:	VARIES
OCCUPANCY TYPE:	B, A-3 (ENTZ)
SPECIFIC PLAN:	FULTON
COMMUNITY PLAN:	DOWNTOWN
PARCEL DESCRIPTION:	
GROSS LAND AREA:	1.172 ACRES - (7500 SF)
Site Data:	
BUILDING AREA	
PHASE I	
RESTAURANT AND BAR	1,120 SF
OFFICE	224 SF
RESTROOMS	540 SF
TOTAL BUILDING AREA	1,884 SF
PATIO	± 2,411 SF
TOTAL	± 4,031 SF

Project Site Map	
INDICATES AREA OF WORK.	
NORTH	

Overall Site Plan

1465 North Van Ness Avenue
Fresno, California 93728
559.442.4642 voice
559.485.9081 fax

Project

Mixed Use Development
H Street And Inyo
Fresno, CA

Owner

TFS Investments, Inc.
7643 N. Ingram Ave. #105
Fresno, CA 93711

Publishing Status	
Schematic	
Design Developm't.	
Site Plan Review	12/11/18
Bidding	
Plan Check	
Revisions	

Scale

1" = 20'-0"

Project Manager

IAN ROBERTSON

Project Number

17-127

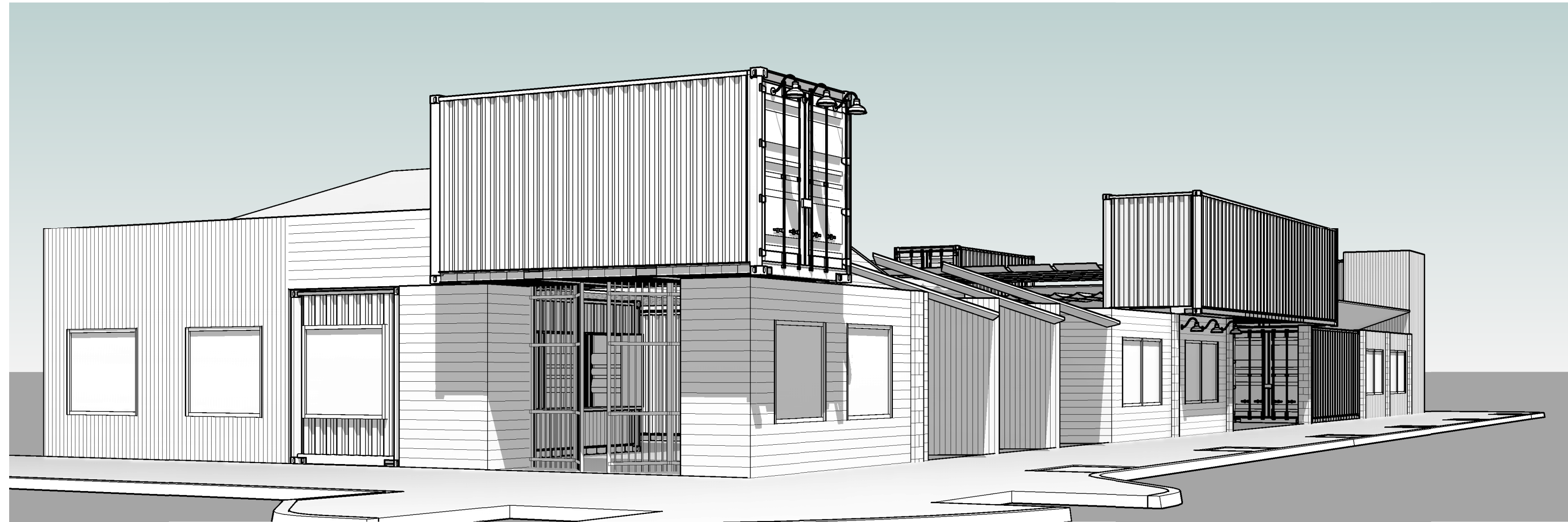
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A-0.2

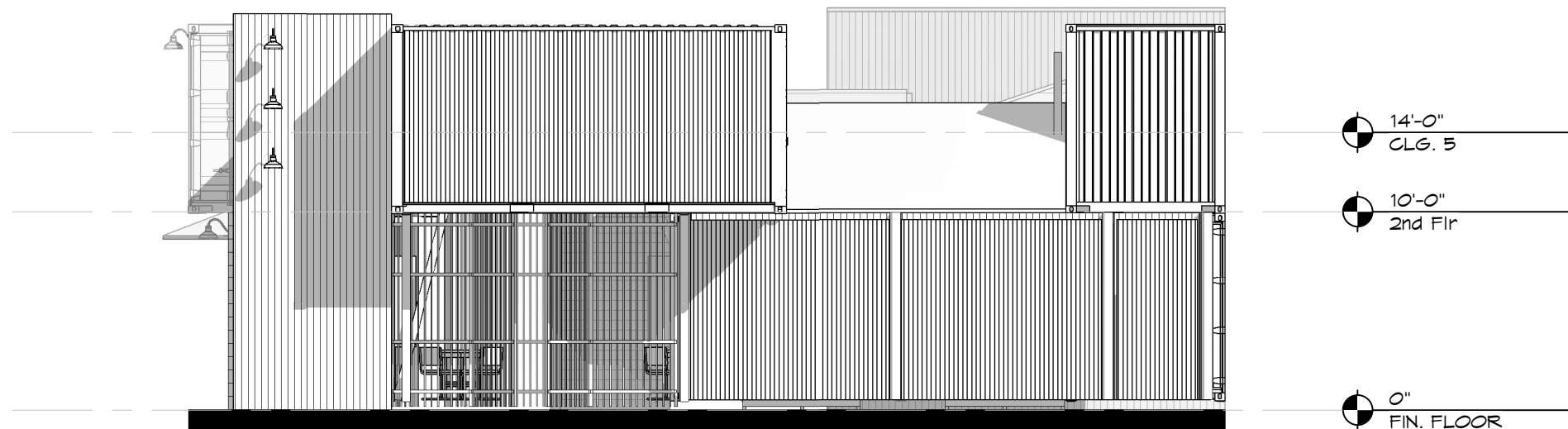
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF IT ARCHITECTURE, INCORPORATED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE, INCORPORATED. NO PART OF THIS DRAWING SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF IT ARCHITECTURE, INCORPORATED.



Mono St 3



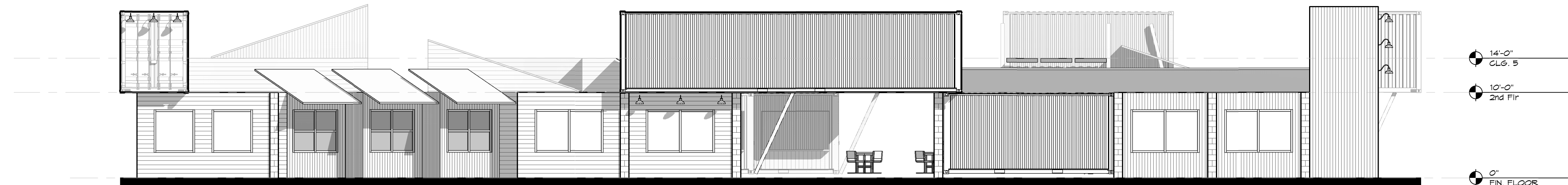
H Street 4



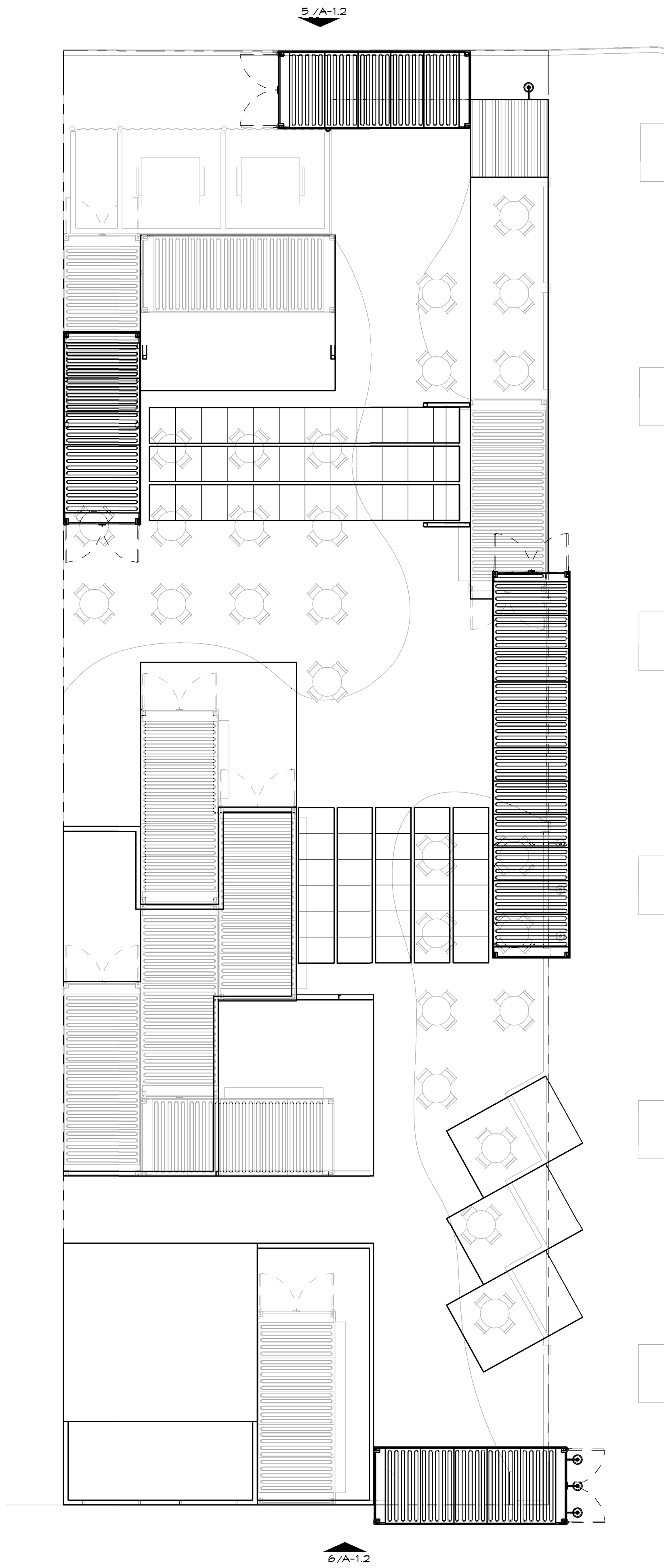
Alley Elevation 5



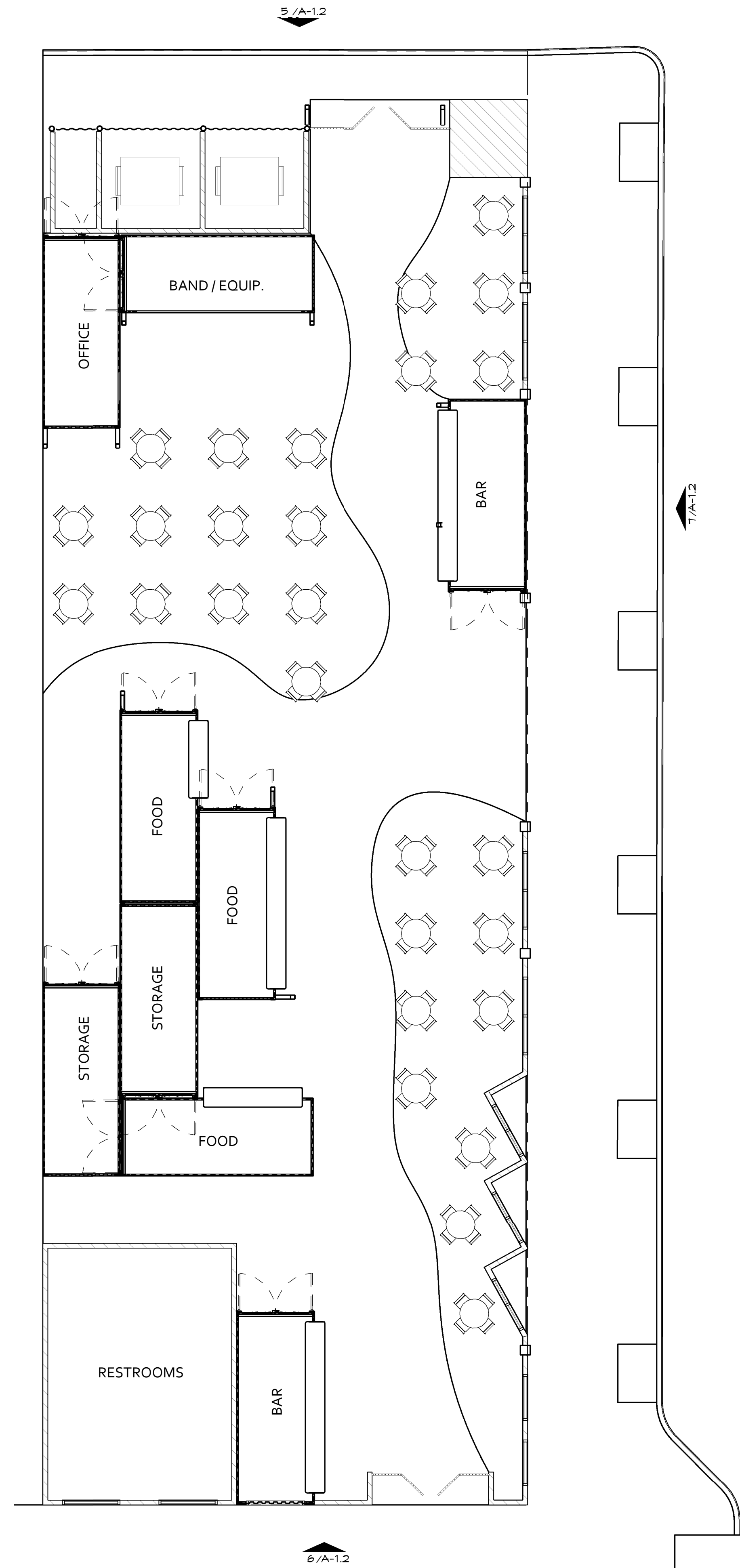
H Street Elevation 6



Mono Elevation 7



Second Floor 2



Ground Floor 1

Proposed Floor Plan

Project
Retail Development
702 H Street
Fresno, California

Owner
TFS Investments
1411 'L' Street, Suite #M
Fresno, California 93721

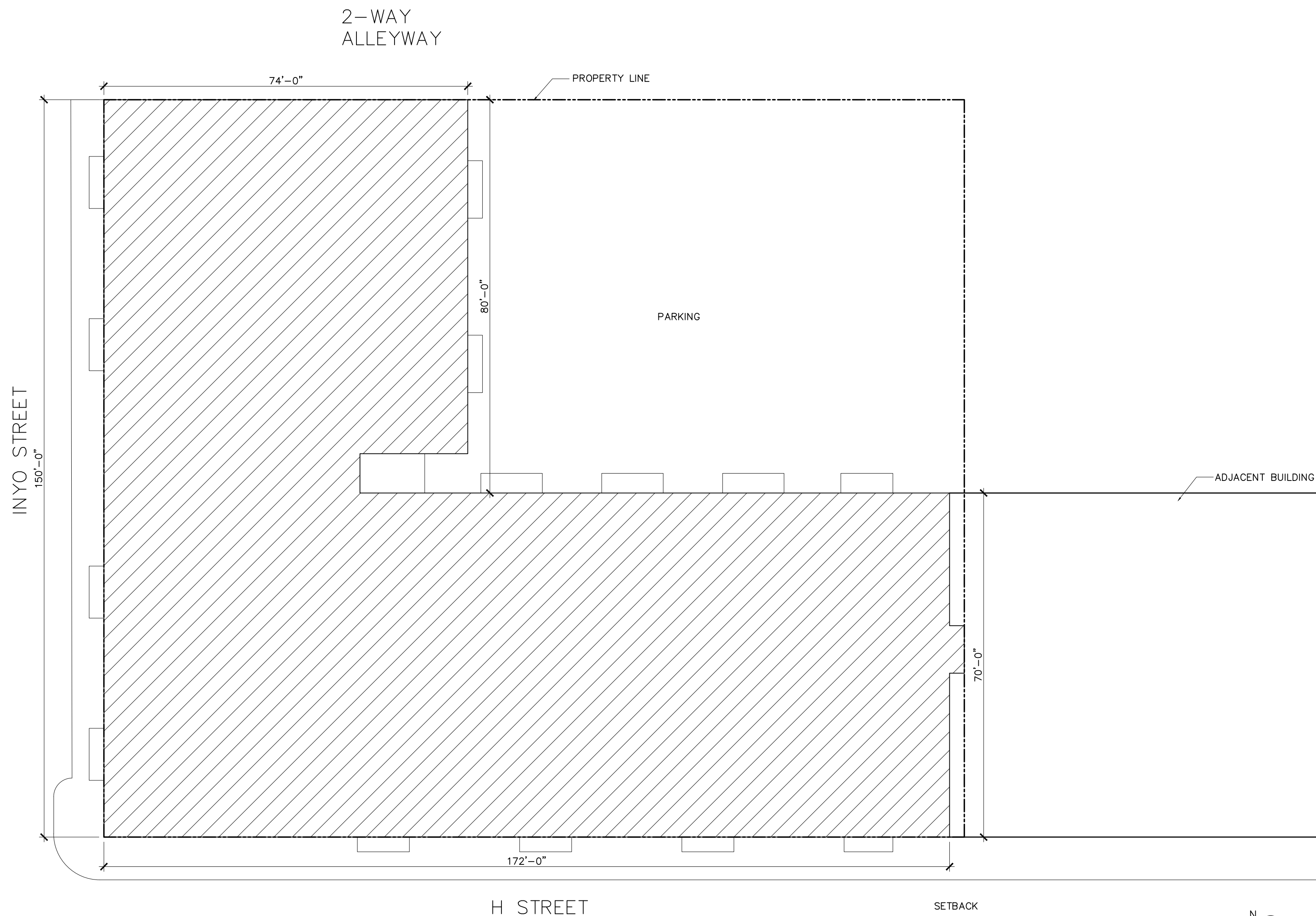
Publishing Status	
Schematic	
Design Developm't	
Site Plan Review	
Bidding	
Plan Check	

Revisions

Scale
1/8" = 1'-0"
Project Manager
Project Manager
Project Number
19-101
Sheet

A-1.2

45-Unit Multifamily
Building + Ground Floor Retail
H Street & Inyo



1
1/16" = 1'-0"

PLOT PLAN

SF SUMMARY

	UNIT #	SQUARE FEET	BALCONY SF	BEDROOMS	BATHROOMS
FIRST FLOOR	RETAIL	7883 SF			
	LOBBY	596 SF			
	MECH	654 SF			
	TOTAL 1ST FLOOR GBA	9133 SF			
SECOND FLOOR	UNIT #	SQUARE FEET (including Balcony)	BALCONY SF	BEDROOMS	BATHROOMS
	201	1068 SF	67 SF	2	2
	202	1063 SF	67 SF	2	2
	203	1063 SF	67 SF	2	2
	204	1106 SF	67 SF	2	2
	205	1063 SF	67 SF	2	2
	206	1063 SF	67 SF	2	2
	207	1063 SF	67 SF	2	2
	208	965 SF	63 SF	2	1
	209	910 SF	35 SF	2	2
	210	715 SF	42 SF	1	1
	211	715 SF	42 SF	1	1
	212	715 SF	42 SF	1	1
	213	869 SF	100 SF	1	1
	214	1153 SF	74 SF	2	2
	215	1112 SF	74 SF	2	2
	SUBTOTAL	14,643 SF	941 SF		
	LOBBY	338 SF			
	HALLWAYS	1481 SF			
	TOTAL 2ND FLOOR GBA	16,462 SF			
THIRD FLOOR	UNIT #	SQUARE FEET (including Balcony)	BALCONY SF	BEDROOMS	BATHROOMS
	301	1068 SF	67 SF	2	2
	302	1063 SF	67 SF	2	2
	303	1063 SF	67 SF	2	2
	304	1106 SF	67 SF	2	2
	305	1063 SF	67 SF	2	2
	306	1063 SF	67 SF	2	2
	307	1063 SF	67 SF	2	2
	308	965 SF	63 SF	2	1
	309	910 SF	35 SF	2	2
	310	715 SF	42 SF	1	1
	311	715 SF	42 SF	1	1
	312	715 SF	42 SF	1	1
	313	869 SF	100 SF	1	1
	314	1153 SF	74 SF	2	2
	315	1112 SF	74 SF	2	2
	SUBTOTAL	14,643 SF	941 SF		
	LOBBY	338 SF			
	HALLWAYS	1481 SF			
	TOTAL 3RD FLOOR GBA	16,462 SF			
FOURTH FLOOR	UNIT #	SQUARE FEET (including Balcony)	BALCONY SF	BEDROOMS	BATHROOMS
	401	1068 SF	67 SF	2	2
	402	1063 SF	67 SF	2	2
	403	1063 SF	67 SF	2	2
	404	1106 SF	67 SF	2	2
	405	1063 SF	67 SF	2	2
	406	1063 SF	67 SF	2	2
	407	1063 SF	67 SF	2	2
	408	965 SF	63 SF	2	1
	409	910 SF	35 SF	2	2
	410	715 SF	42 SF	1	1
	411	715 SF	42 SF	1	1
	412	715 SF	42 SF	1	1
	413	869 SF	100 SF	1	1
	414	1153 SF	74 SF	2	2
	415	1112 SF	74 SF	2	2
	SUBTOTAL	14,643 SF	941 SF		
	LOBBY	338 SF			
	HALLWAYS	1481 SF			
	TOTAL 4TH FLOOR GBA	16,462 SF			
ROOFTOP	UNIT #	SQUARE FEET			
	ROOFTOP LOUNGE	1500 SF			
	TOTAL ROOFTOP GBA	1500 SF			

DRAWING INDEX

ARCHITECTURAL
CV COVER SHEET
A2.1 GARAGE LEVEL PLAN
A2.2 SECOND FLOOR PLAN
A2.3 THIRD FLOOR PLAN
A2.4 FOURTH FLOOR PLAN
A2.5 FIFTH FLOOR PLAN
A2.6 ROOF PLAN
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A3.3 BUILDING SECTIONS
A3.4 BUILDING SECTION
A4.1 EXTERIOR RENDERING
A4.2 ROOF LOUNGE RENDERING

PROJECT DATA

PROJECT ADDRESS: H STREET & INYO
LOT AREA: 33,898 SF
ZONING: DTG
PROPOSED UNITS: (4) 1-BEDROOM UNITS
(11) 2-BEDROOM UNITS
45 UNITS TOTAL
44 MARKET RATE (80%)
10 AFFORDABLE (20%)
PROPOSED GROSS BUILDING AREA: 60,839 SF
PROPOSED FAR: 1.79
NUMBER OF STORIES: 3 STORIES RESIDENTIAL OVER 1 STORY RETAIL
PROPOSED HEIGHT: 61'-6"
CONSTRUCTION TYPE: 3 STORIES TYPE V-A (R-2 OCCUPANCY)
OVER 1 STORY TYPE I-A (M OCCUPANCY)
FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13
BUILDING CODE: 2016 CBC
UNIT MIX: 12 1BDR
33 2BDR

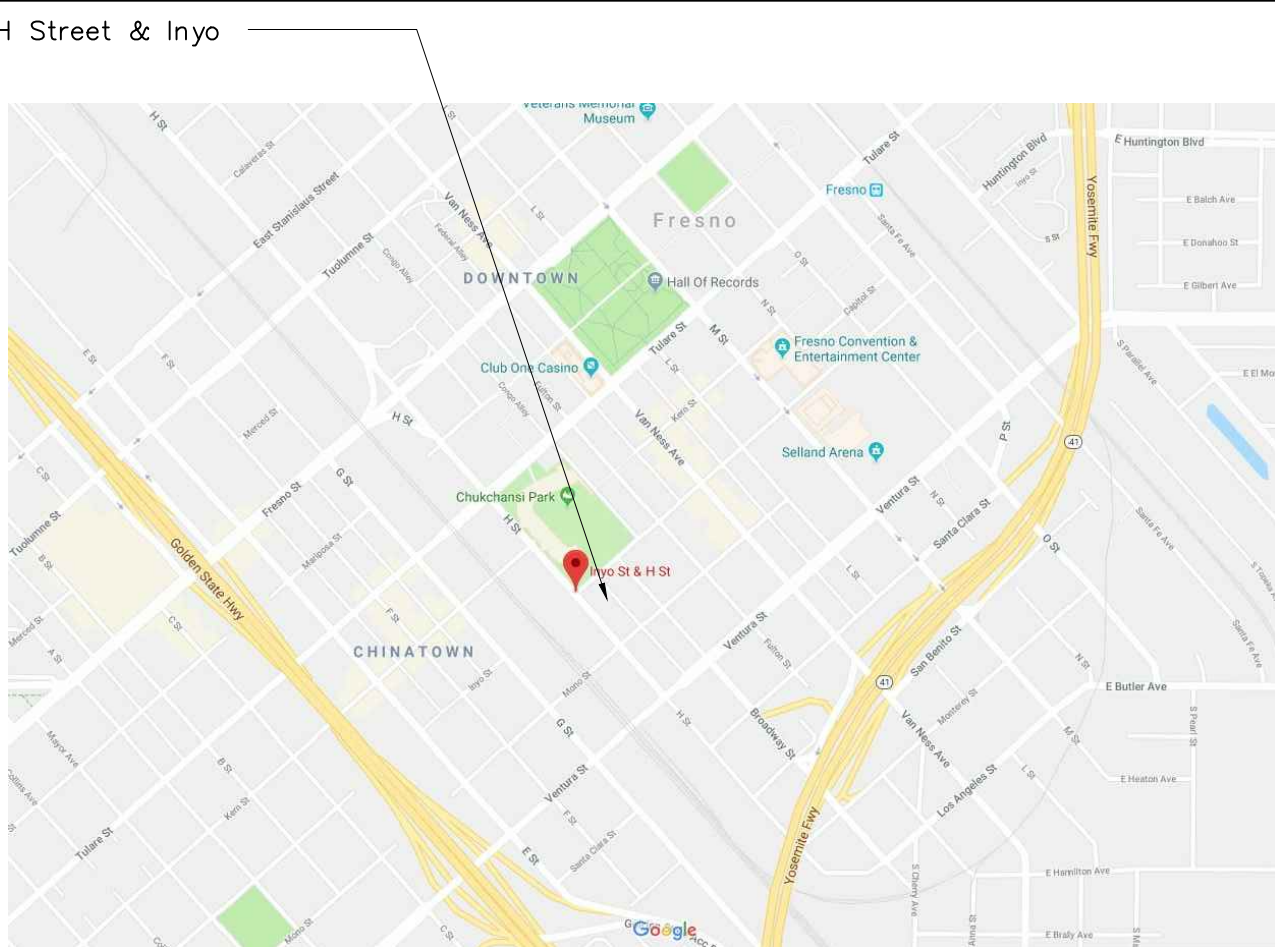
PARKING

PARKING:
PROPOSED PARKING: 45 STANDARD SPACES (1 PER UNIT)
INCLUDING 2 HANDICAPPED (W/ 2 VAN ACCESSIBLE) SPACES AND 4 EV PARKING SPACES
- EACH PARKING SPACE IS ASSIGNED TO A SPECIFIC UNIT
- STANDARD PARKING SPACES ARE 8'-6" X 19'-0"
BICYCLE PARKING:
PROPOSED LONG TERM = 45

GROSS BUILDING AREA

FIRST FLOOR	9133SF
SECOND FLOOR	16,462 SF
THIRD FLOOR	16,462 SF
FOURTH FLOOR	16,462 SF
ROOFTOP	1500 SF
TOTAL	60,019 SF

VICINITY MAP



ARCHITECT:
Aaron Bruner & Assoc. Architects
10999 Riverside Drive #300
Studio City, CA 91602
(310) 422-9234

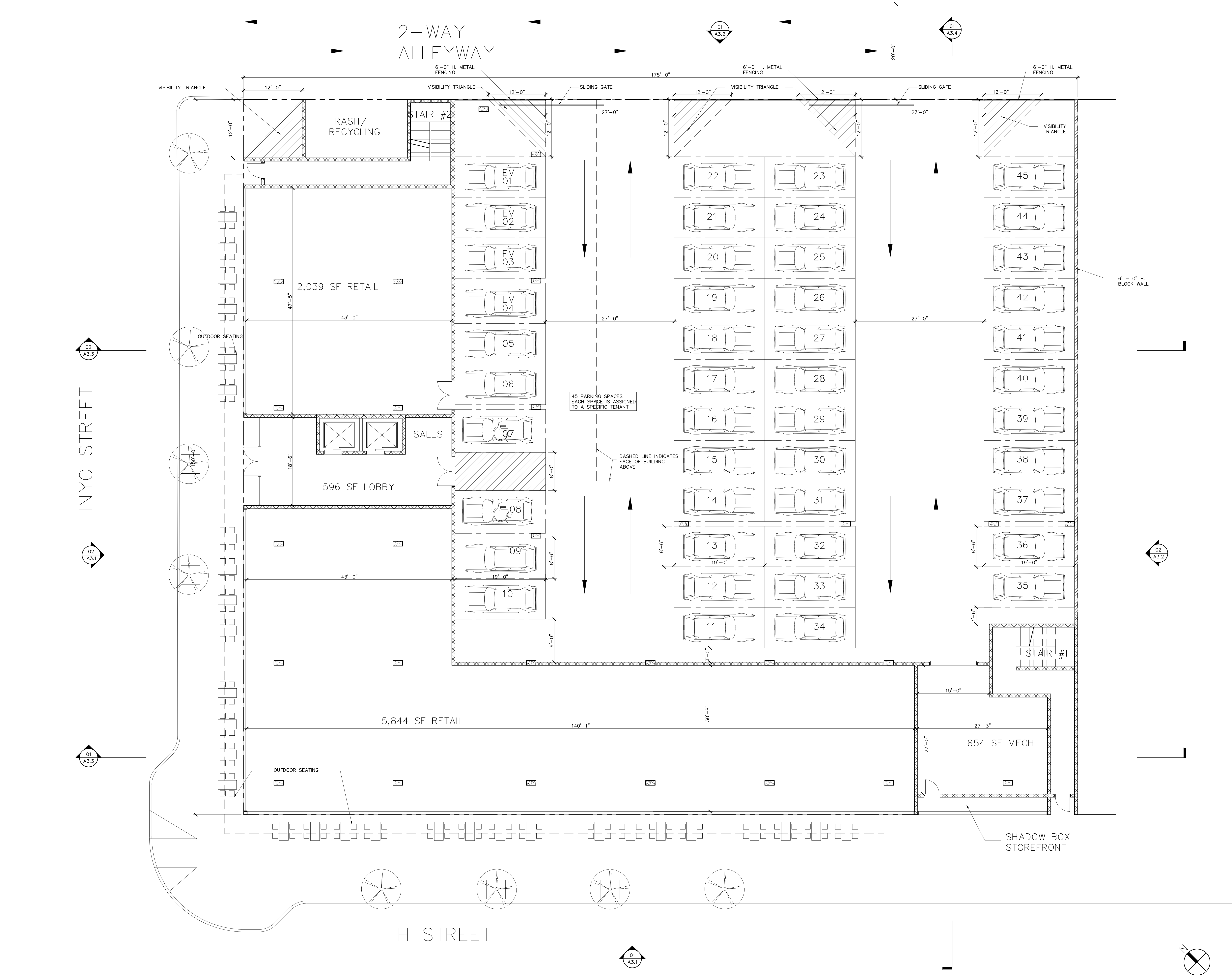
PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ISSUE	DATE	DESCRIPTION
01	07/25/17	CONCEPT SUBMITTAL
02	08/06/18	SCHEMATIC DESIGN SET
03	11/02/2018	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE
COVER SHEET

CV



1 FIRST FLOOR PLAN
1/8" = 1'-0"

SHEET NOTES

ISSUE	DATE	DESCRIPTION
01	07/27/17	CONCEPT SUBMITTAL
02	08/06/18	SCHEMATIC DESIGN SET
03	11/02/18	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE
FIRST FLOOR PLAN

A2.1

ARCHITECT:
Aron Bruner & Assoc. Architects
10990 Riverside Drive #300
Studio City, CA 91602
(310) 422-9234

PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING



1. NUMBER OF UNITS:	
1 BDR:	4
2 BDR:	11
TOTAL:	15

PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

01	07/27/2017	CITY PLANNING SUBMITTAL
02	08/06/2018	SCHEMATIC DESIGN SET
03	11/08/2018	SCHEMATIC DESIGN SET #2

SECOND FLOOR PLAN

A2.2



1. NUMBER OF UNITS:	
1 BDR:	4
2 BDR:	11
TOTAL:	15

PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ISSUE	DATE	DESCRIPTION
01	07/27/2017	CITY PLANNING SUBMITTAL
02	08/06/2018	SCHEMATIC DESIGN SET
03	11/08/2018	SCHEMATIC DESIGN SET #2

DRAWING TITLE
THIRD FLOOR PLAN

A2.3



1. NUMBER OF UNITS:	
1 BDR:	4
2 BDR:	11
TOTAL:	15

PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

01	07/27/2017	CITY PLANNING SUBMITTAL
02	08/06/2018	SCHEMATIC DESIGN SET
03	11/08/2018	SCHEMATIC DESIGN SET #2

FOURTH FLOOR PLAN

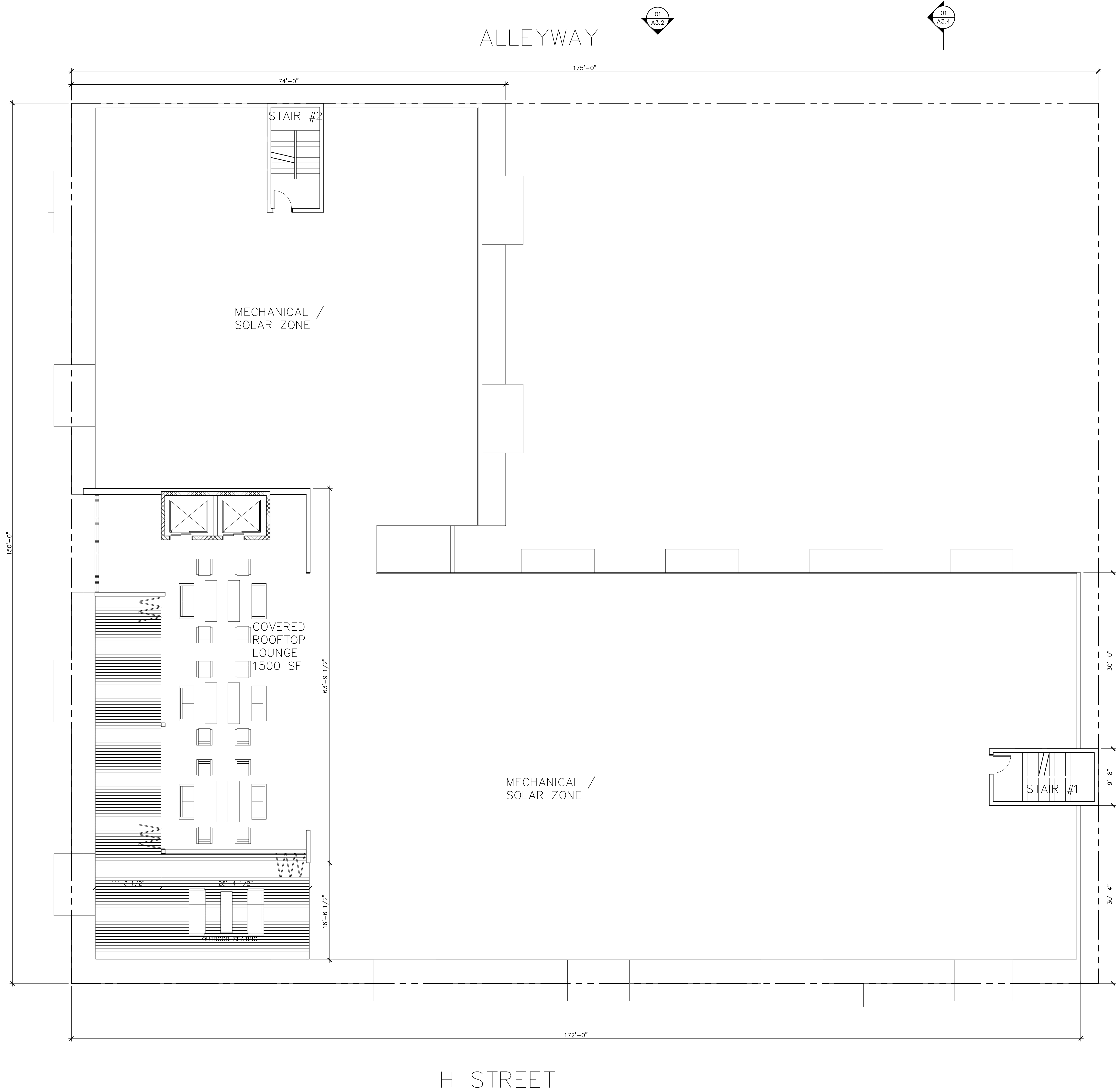
A2.4

01
A3.3

02
A3.1

02
A3.3

INYO STREET

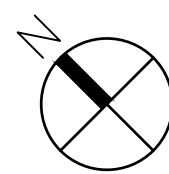


01
A3.1

02
A3.2

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A3.4

01
A3.2



SHEET NOTES

ISSUE	DATE	DESCRIPTION
01	07/27/2017	CONCEPT SUBMITTAL
02	08/06/2018	SCHEMATIC DESIGN SET
03	11/02/2018	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE

FIFTH FLOOR PLAN

PROJECT:

H STREET & INYO

45 UNIT MULTIFAMILY BUILDING

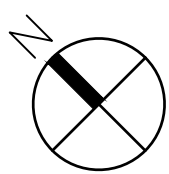
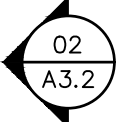
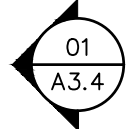
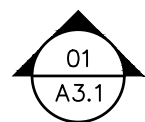
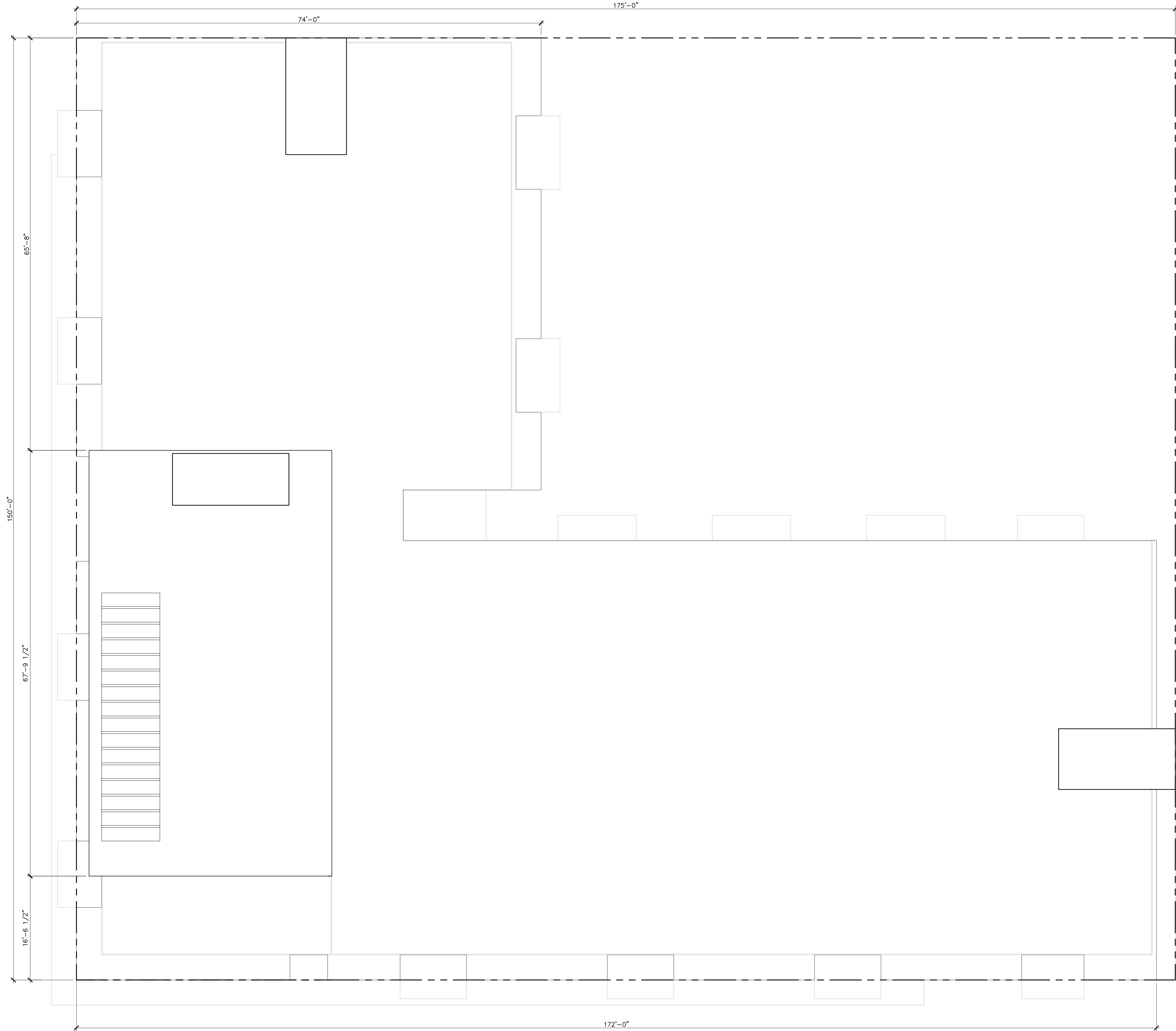
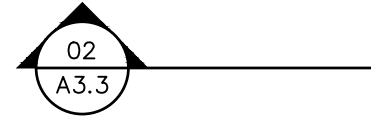
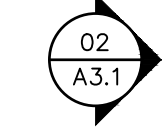
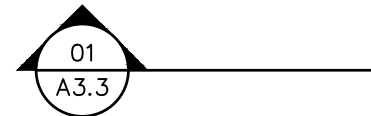
ARCHITECT:

Aaron Bruner & Assoc. Architects

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SHEET NOTES

DRAWING TITLE
ROOF PLAN

ISSUE	DATE	DESCRIPTION
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02	08/06/2018	SCHEMATIC DESIGN SET
03	11/02/2018	SCHEMATIC DESIGN SET #2

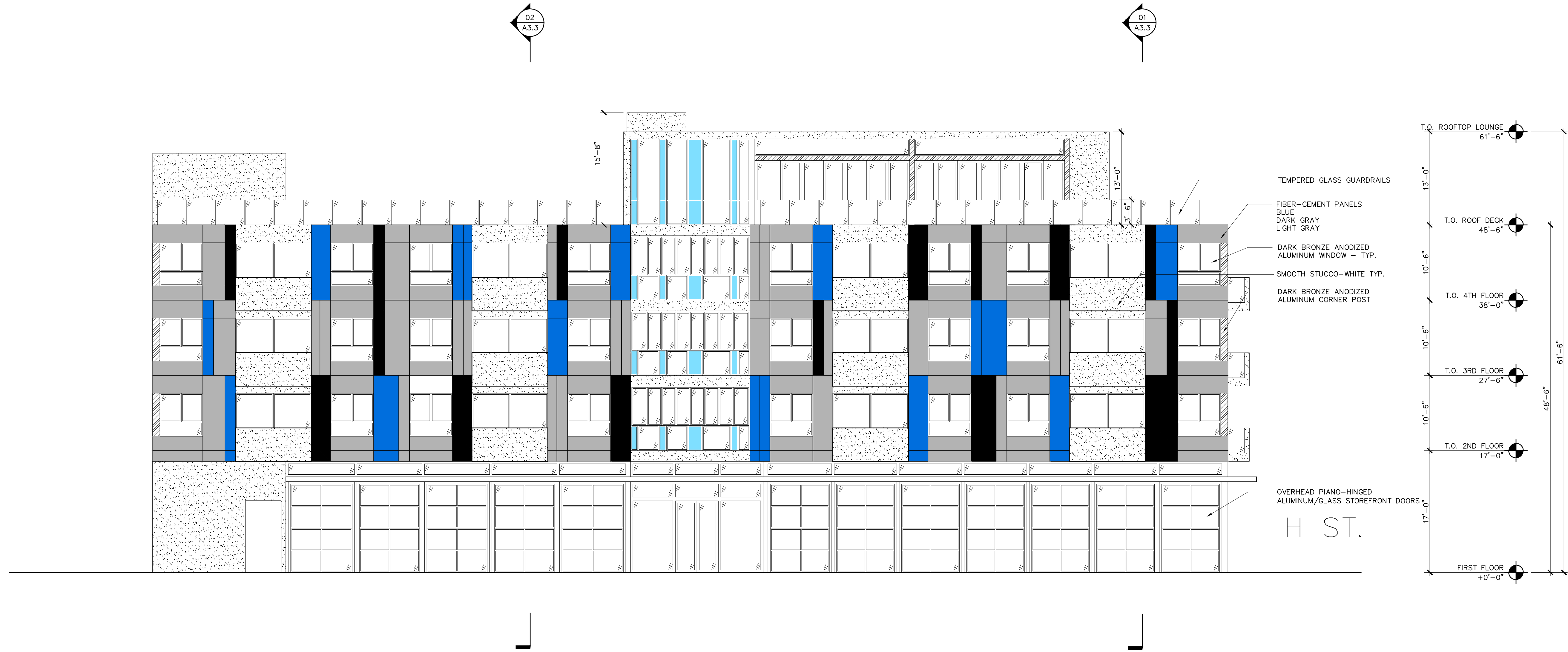
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PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ARCHITECT:
Aaron Bruner & Assoc. Architects
10999 Riverside Drive #300
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ALLEYWAY



2 EXTERIOR ELEVATION
FACING INYO ST.

INYO ST.



1 EXTERIOR ELEVATION
FACING H STREET

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PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

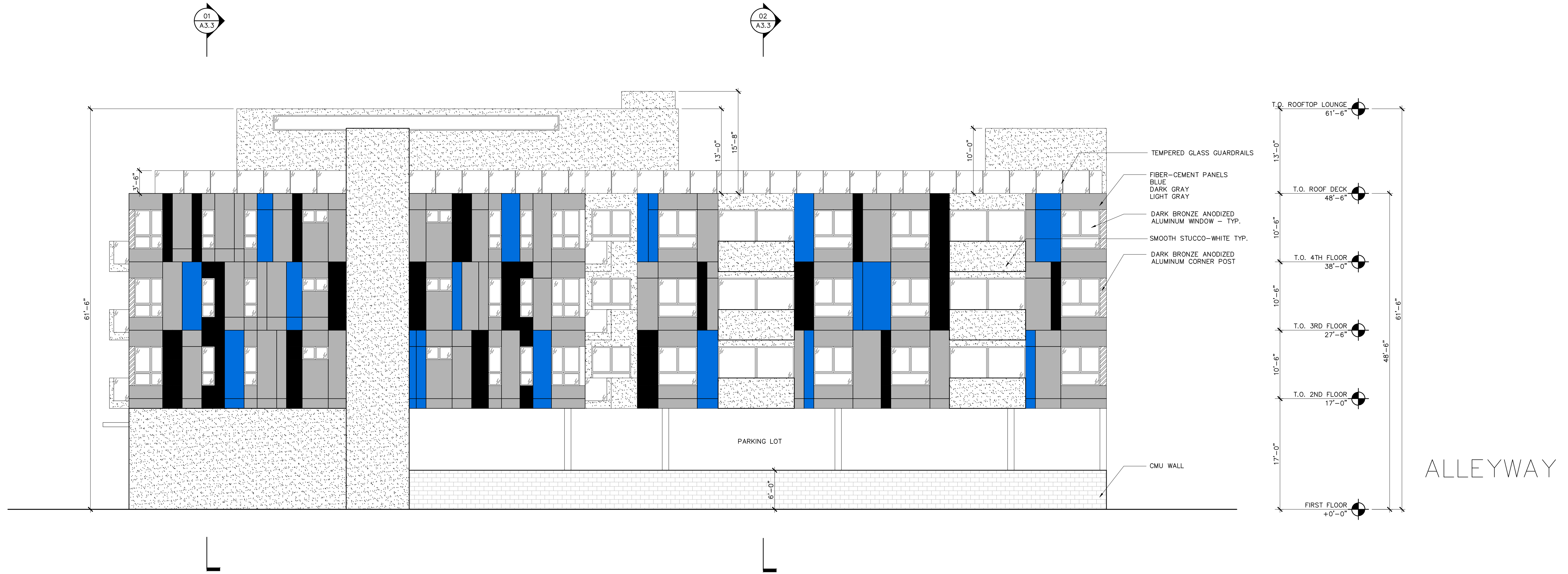
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01	07/27/17	SCHEMATIC SUBMITTAL
02	08/08/18	SCHEMATIC DESIGN SET
03	11/02/18	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE
EXTERIOR ELEVATIONS

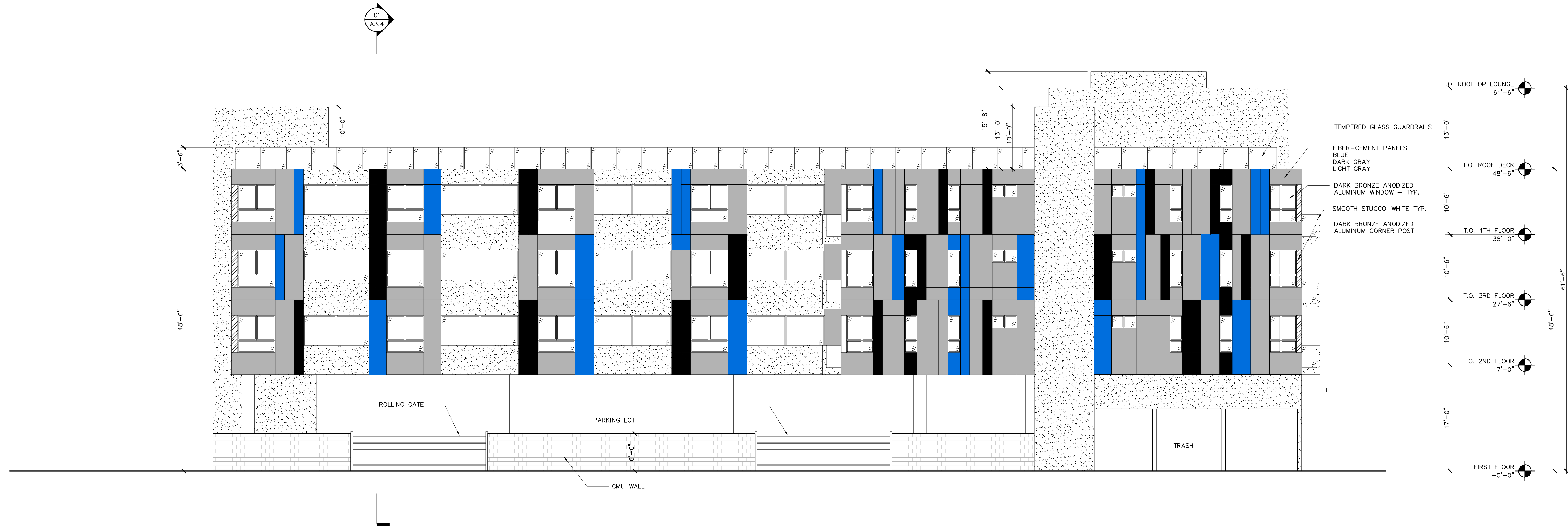
A3.1

H ST.



2 EXTERIOR ELEVATION
1/8" = 1'-0"

INYO ST.



1 EXTERIOR ELEVATION
1/8" = 1'-0"
FACING ALLEYWAY

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PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

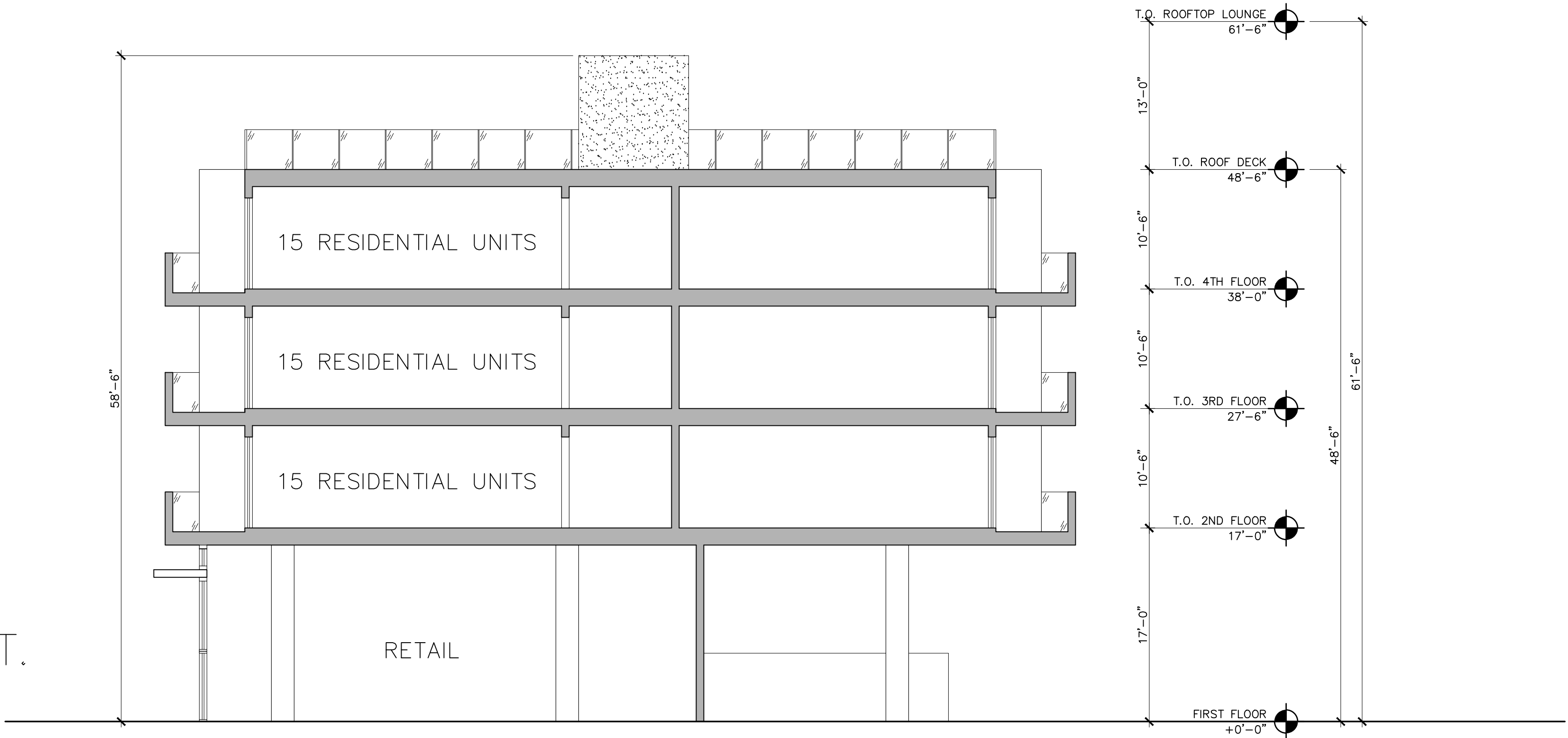
ISSUE	DATE	DESCRIPTION
01	07/27/17	SCHEMATIC SUBMITTAL
02	08/06/18	SCHEMATIC DESIGN SET
03	11/02/18	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE
EXTERIOR ELEVATIONS

A3.2

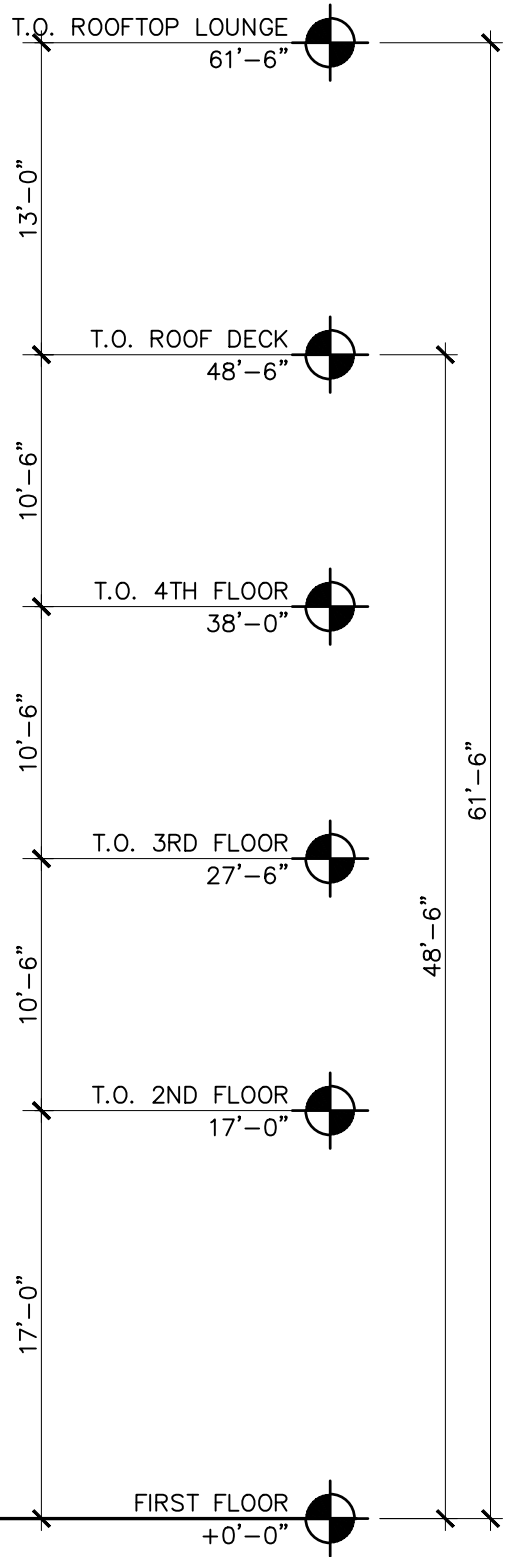
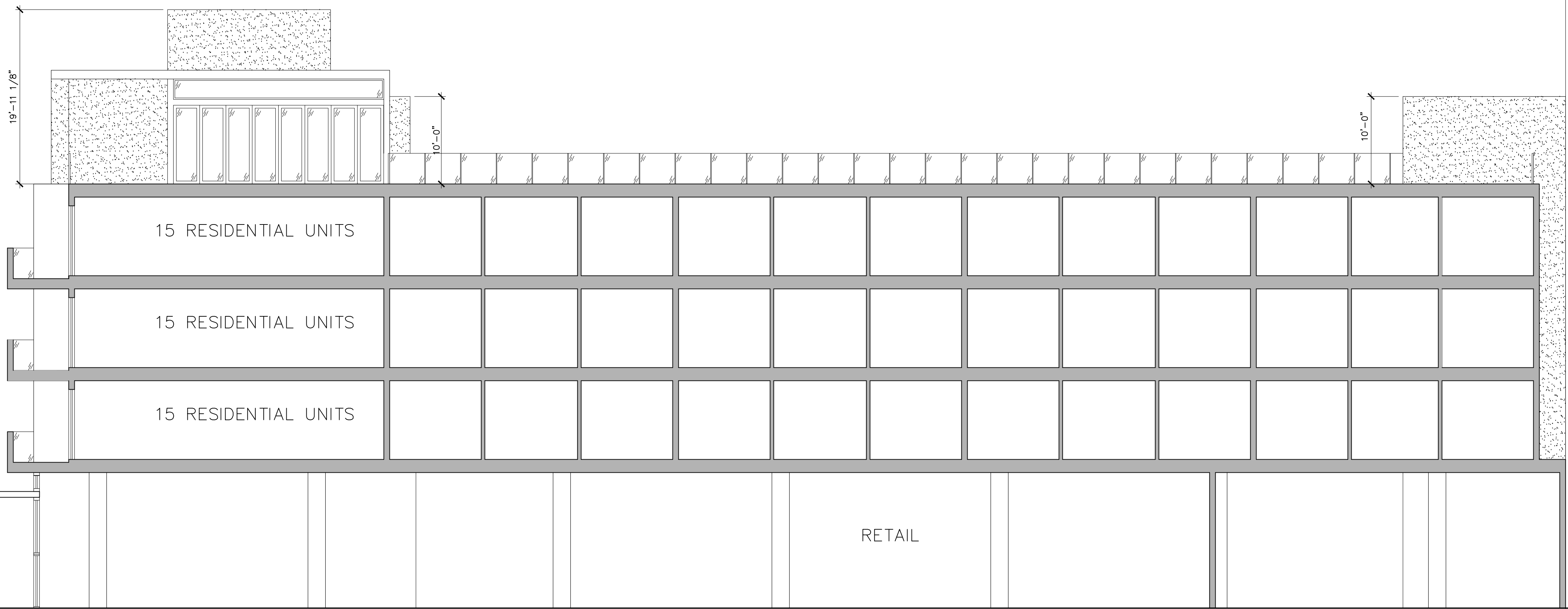
INYO ST.



2
1/8" = 1'-0"

SECTION

INYO ST.



1
1/8" = 1'-0"

SECTION

ARCHITECT:
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PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ISSUE	DATE	DESCRIPTION
01	07/27/17	SCHEMATIC SUBMITTAL
02	08/06/18	SCHEMATIC DESIGN SET
03	11/02/18	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE
SECTIONS

A3.3

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1 BUILDING SECTION
1/8" = 1'-0"

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PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ISSUE	DATE	DESCRIPTION
01	07/27/17	CONCEPT SUBMITTAL
02	08/06/2018	SCHEMATIC DESIGN SET
03	11/02/2018	SCHEMATIC DESIGN SET #2

STAMP

DRAWING TITLE
SECTION

A3.4



DRAWING TITLE
EXTERIOR RENDERING

STAMP

ISSUE	DATE	DESCRIPTION
01	07/27/2017	CONCEPT SUBMITTAL
02	08/06/2018	SCHEMATIC DESIGN SET
03	11/02/2018	SCHEMATIC DESIGN SET #2

PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ARCHITECT:
Aaron Bruner & Assoc. Architects
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DRAWING TITLE
EXTERIOR RENDERING

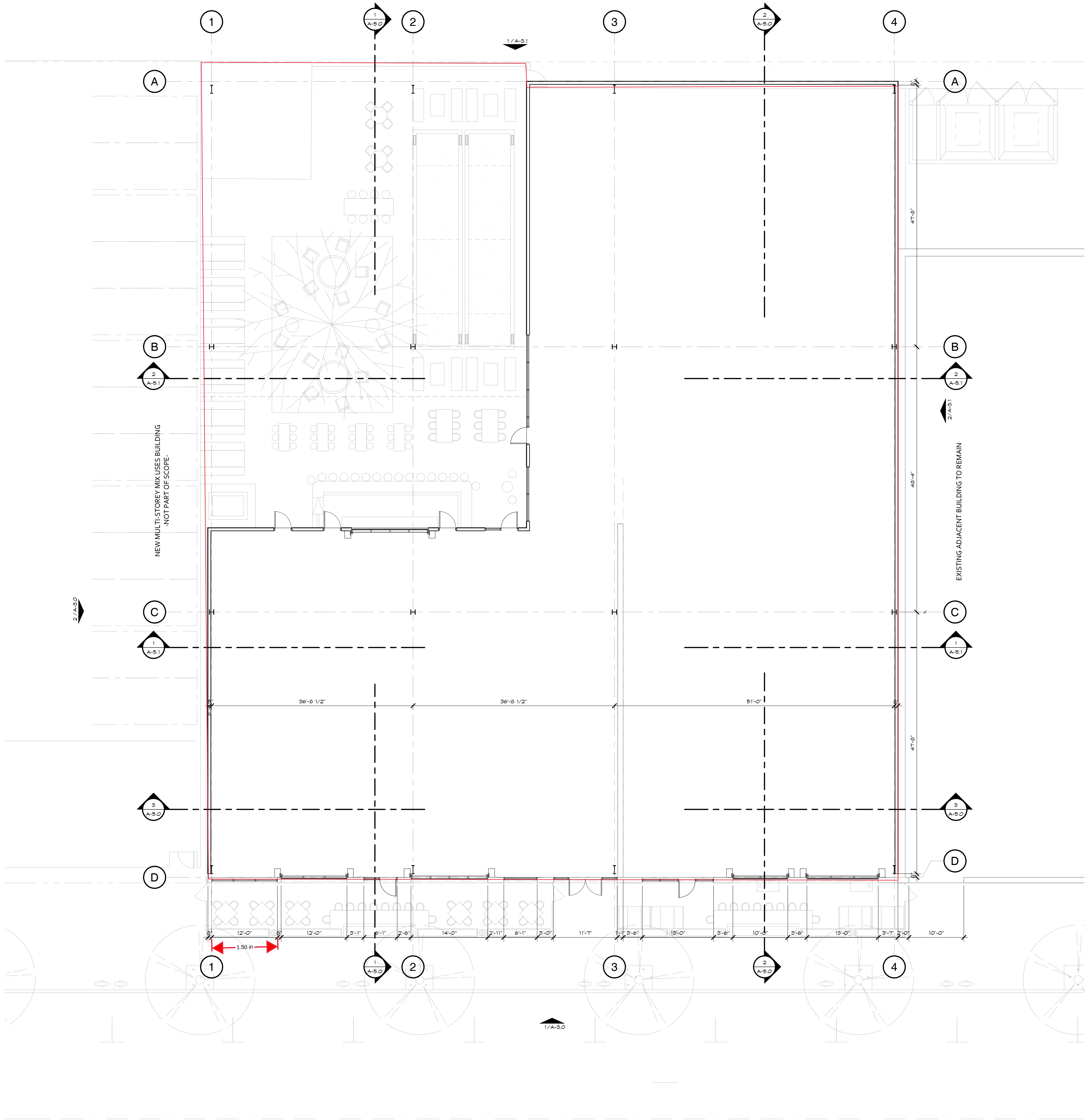
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ISSUE	DATE	DESCRIPTION
01	07/25/17	CONCEPT SUBMITTAL
02	08/08/18	SCHEMATIC DESIGN SET
03	11/02/18	SCHEMATIC DESIGN SET #2

PROJECT:
H STREET & INYO
45 UNIT MULTIFAMILY
BUILDING

ARCHITECT:
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Keyed Floor Plan Notes

- General Notes**
- PLANS ARE NOT TO BE SCALED - INDICATED DIMENSIONS SHALL GOVERN.
 - GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY AMBIGUOUS OR UNCLEAR CONDITIONS ARE ENCOUNTERED.
 - GENERAL CONTRACTOR SHALL INTERFACE WITH PLUMBING, MECHANICAL, AND ELECTRICAL PLANS TO CONFIRM ANY SPECIFIC REQUIREMENTS OF ALL FIXTURES/FURNISHINGS SHOWN ON PLAN(S).
 - GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL BLOCKING AND BACKING LOCATIONS AS REQUIRED BY EQUIPMENT, FURNISHINGS, & FIXTURE SUPPLIERS.
 - GENERAL CONTRACTOR SHALL VERIFY WITH OWNER FOR ALL INTERIOR FINISHES.
 - ALL METAL STUD FRAMING SHALL BE INSTALLED PER THE REQUIREMENTS OF DETAIL 2/AD-1.0.
 - ALL NEW GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 1/AD-1.0.
 - GENERAL CONTRACTOR SHALL CONFIRM THAT ALL SUB-CONTRACTOR DEVICES INSTALLED OR MOUNTED WITHIN INTERIOR TENANT SUITE MATCH IN COLOR (EXAMPLE: SWITCH PLATES, T-STATS, ETC.).
 - ALL EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING (REFER TO DETAIL 5/AD-1.0). EDGE OF SLAB, OR CENTER LINE OF COLUMNS U.O.N. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
 - ALL WOOD STUD FRAMING SHALL BE INSTALLED PER THE REQUIREMENTS OF DETAIL 3 & 4/AD-1.0.
 - PROVIDE MIN. 2A108.0 PORTABLE FIRE EXTINGUISHER (NIFPA 10), ONE EXTINGUISHER IS REQUIRED FOR 6,000 S.F. OF PORTION THEREOF OF SPACE, WITH TRAVEL DISTANCE NOT TO EXCEED 75 FEET. 2010 CFC, SECTION 908.3. ADDITIONAL EXTINGUISHERS WILL BE INSTALLED AT TIME OF TENANT IMPROVEMENT.

Legend

- 101 DOOR TAG - REFER TO DOOR SCHEDULE SHEET X-X-X
- 11 WINDOW TAG - REFER TO WINDOW SCHEDULE SHEET X-X-X

Wall Legend

Mark	Description
ES	INDICATES 2x6 D.P. WOOD STUDS AT 16" O.C. FROM SLAB TO UNDERSIDE OF ROOF FRAMING ABOVE OR AS SHOWN ON STRUCTURAL FRAMING PLAN. PROVIDE R-19 BATT INSULATION FULL HEIGHT WOOD PLANK PORCELAIN TILE OVER 2 COAT STUCCO SYSTEM. PROVIDE MOISTURE BARRIER EQUIVALENT TO 2 LAYERS TYPE D FELT (TYVEK OR EQUAL) & 1/2" FLYWOOD SHEATHING ON EXTERIOR SIDE OF FRAMING. TYPICAL PROVIDE (1) LAYER OF 5/8" TYPE X GYPSUM BOARD FULL HEIGHT ON INTERIOR SIDE OF FRAMING. SEE EXTERIOR ELEVATIONS, SECTIONS AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
(1 HOUR)	

Proposed Floor Plan

it ARCHITECTURE

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559.442.4642
559.485.9081
www.itarchinc.com

Project
Mixed Use Development
H Street And Inyo
Fresno, CA

Owner
TFS Investments, Inc.
7643 N. Ingram Ave. #105
Fresno, CA 93711

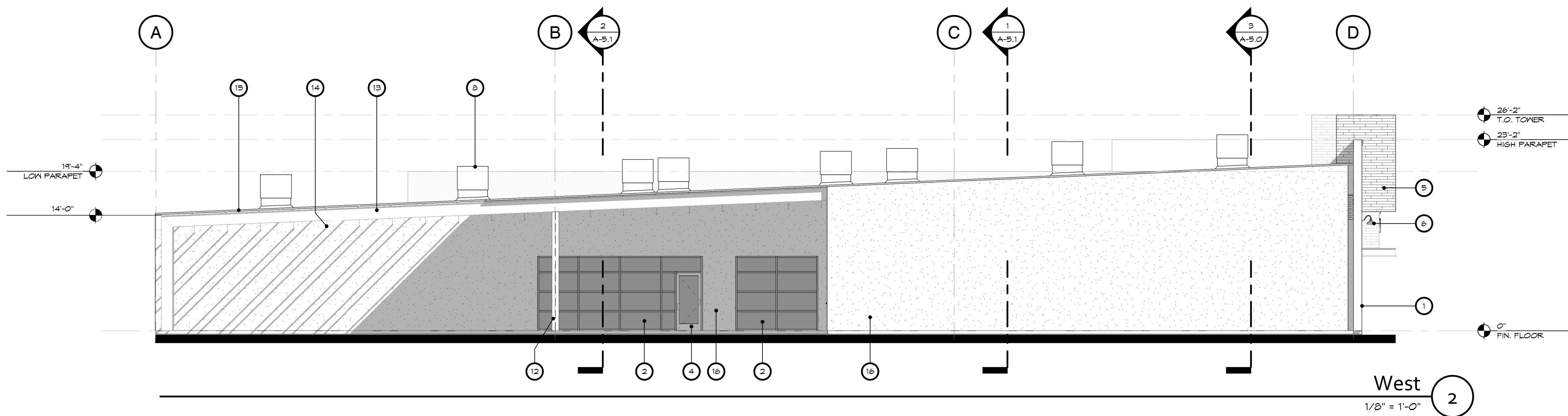
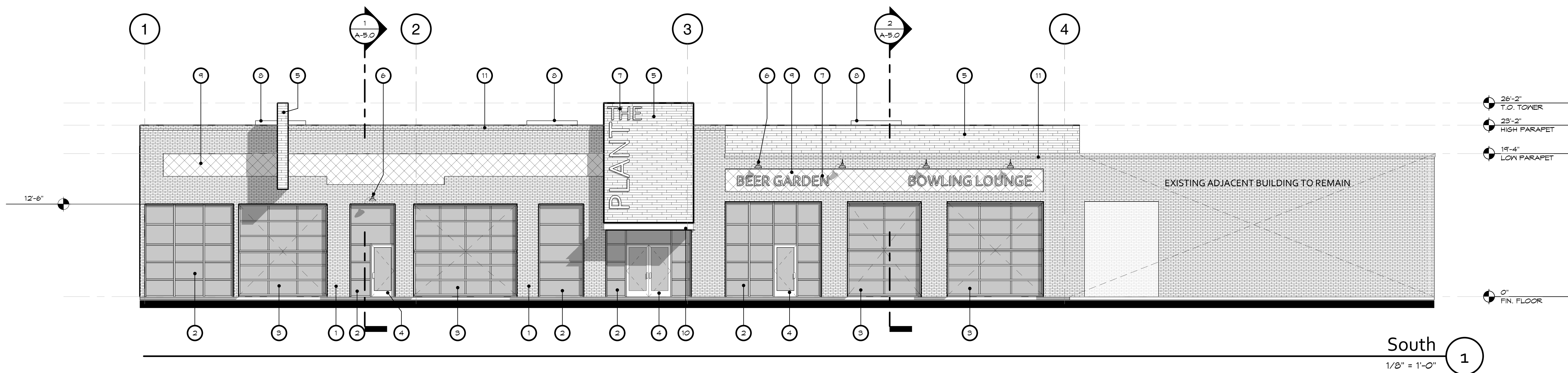
Publishing Status	
Schematic	
Design Developm't	
Site Plan Review	
Bidding	
Plan Check	

Revisions

Scale	As indicated
Project Manager	IAN ROBERTSON
Project Number	17-127
Sheet	

A-1.0

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Keyed Elevation Notes

- EXISTING UNREINFORCED MASONRY BRICK WALL TO REMAIN.
- ANODIZED ALUMINUM CENTER LOADED STOREFRONT (KAWNEER "TRI-FAB" 451 SERIES 2" X 4 1/2") WITH DUAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- RENITA 5-3000 FLOODWAY BIFOLD DOOR SYSTEM.
- STOREFRONT DOOR. PROVIDE WIDE STYLE FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- WOOD PLANK PORCELAIN TILE. REFER TO COLOR MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- WALL MOUNTED LIGHT FIXTURE. REFER TO REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- POTENTIAL LOCATION OF TENANT SIGNAGE (SIZE, TYPE AND LAYOUT TO BE DETERMINED). SIGN INSTALLATION TO BE UNDER SEPARATE PERMIT TO MEET JURISDICTIONS SIGNAGE ORDINANCE.
- NEW HVAC UNIT AND PRE-MANUF. CURB ON EXISTING SUB-CURB.
- EXISTING RECESS WITHIN BRICK FACADE. PAINT AND REPAIR AS REQUIRED.
- METAL SHADE CANOPY. REFER TO DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- EXISTING BRICK PARAPET CAP TO REMAIN.
- STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- MOMENT FRAME. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW STRUCTURAL ROOF FRAMING MEMBER. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW PRE-FINISHED METAL ROOF. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTERIOR FINISH MATERIAL. COLOR AND TEXTURE TO BE DETERMINED.

Architect

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Project

Mixed Use Development
H Street And Inyo
Fresno, CA

Owner

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7643 N. Ingram Ave. #105
Fresno, CA 93711

Publishing Status

Schematic

Design Developm't

Site Plan Review

Bidding

Plan Check

Revisions

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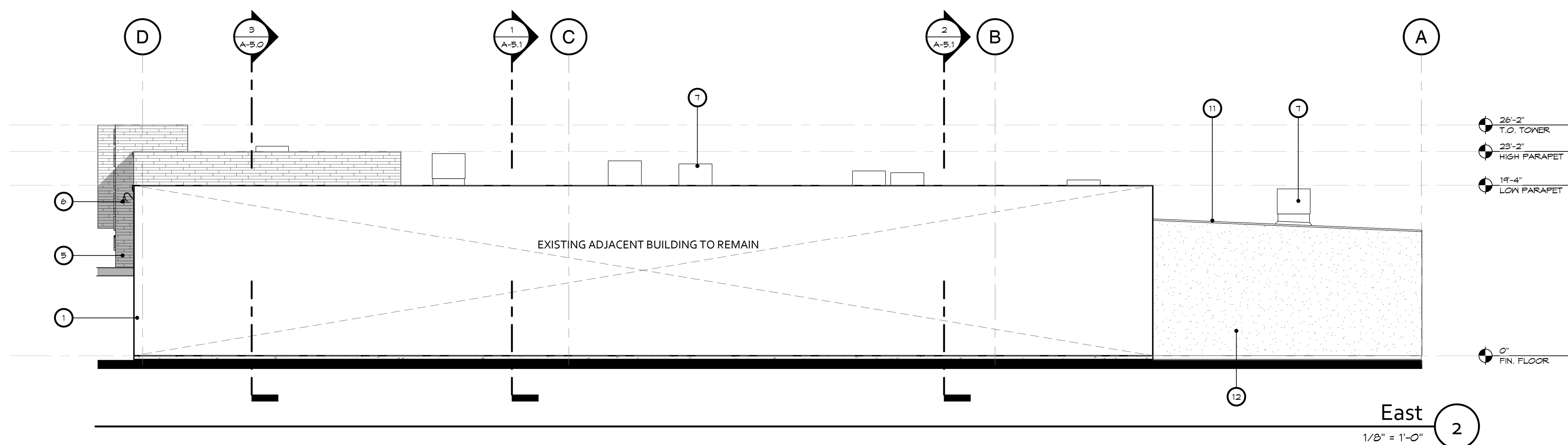
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- 1 EXISTING UNREINFORCED MASONRY BRICK WALL TO REMAIN.
- 2 ANCHORED ALUMINUM CLAMP LOADED STOREFRONT (KAWNEER TRI-FAB® 451 SERIES 2 1/4 X 12) WITH DUAL PANE GLAZING. REFER TO COLOR / MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- 3 LOCATION OF DOOR AND FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 4 STOREFRONT DOOR. PROVIDE WIDE STYLE FRAME. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 5 ROOF PLANK PORCELAIN TILE. REFER TO COLOR MATERIAL SCHEDULE FOR ADDITIONAL INFORMATION.
- 6 WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 NEW HVAC UNIT AND PRE-MANUF. CURB ON EXISTING SUB-CURB.
- 8 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 9 MOMENT FRAME. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 NEW STRUCTURAL ROOF TRAMING MEMBER. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 NEW PRE-FINISHED METAL ROOF. REFER TO METAL BUILDING DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 EXTERIOR FINISH MATERIAL. COLOR AND TEXTURE TO BE DETERMINED.

Owner	TFS Investments, Inc. 7643 N. Ingram Ave. #105 Fresno, CA 93711
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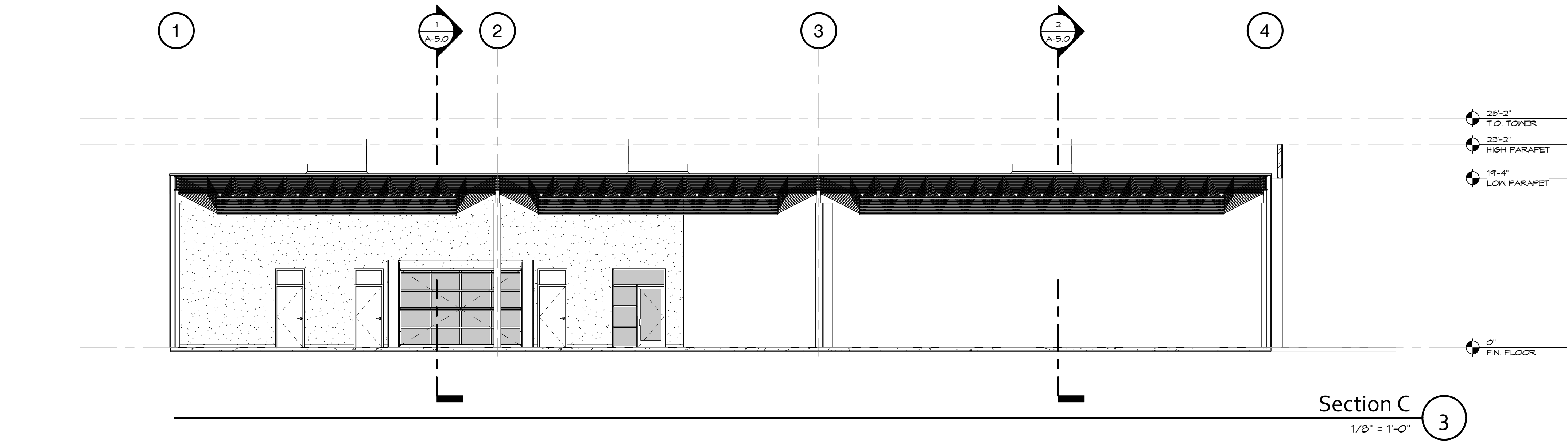
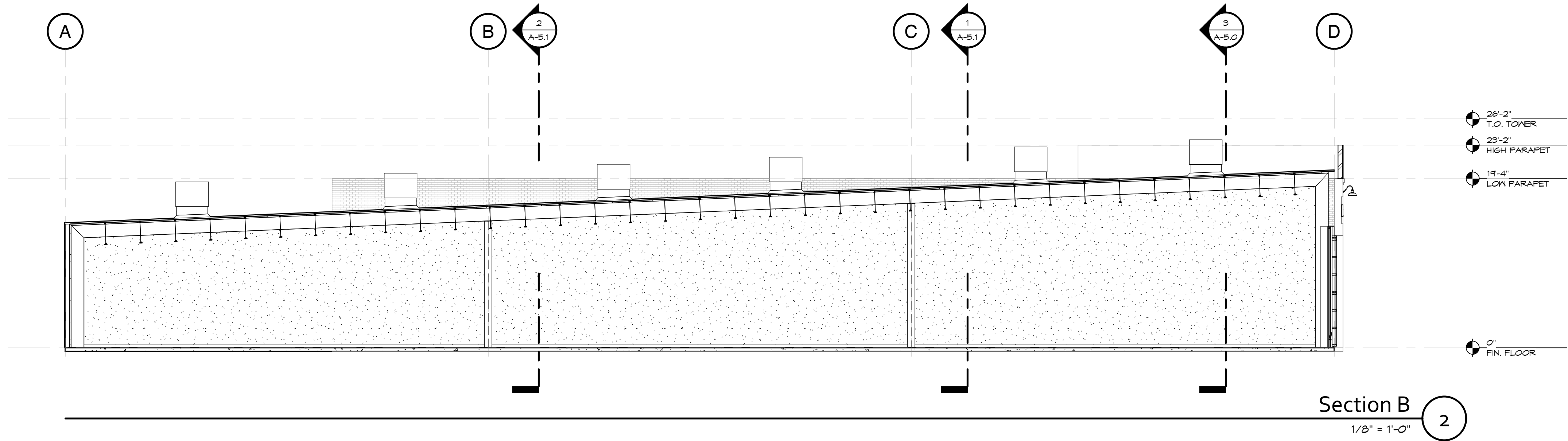
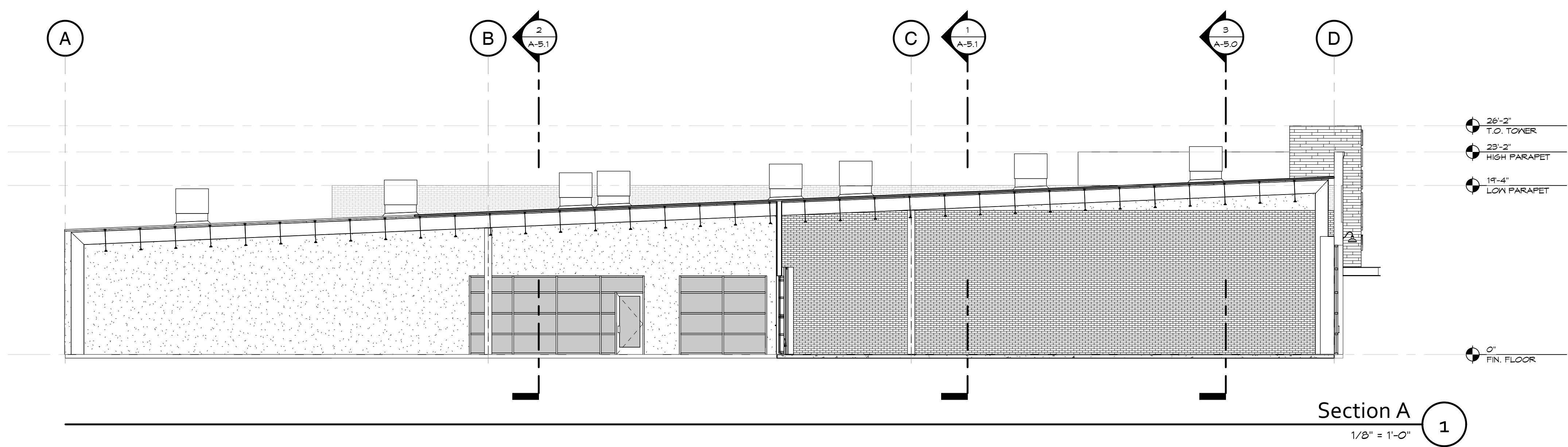
Publishing Status	
Schematic	
Design Developm't	
Site Plan Review	
Bidding	
Plan Check	

Scale	1/8" = 1'-0"
Project Manager	IAN ROBERTSON
Project Number	17-127
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Proposed Exterior Elevations

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Publishing Status

Schematic	
Design Developm't	
Site Plan Review	
Bidding	
Plan Check	

Revisions

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Scale

1/8" = 1'-0"

Project Manager

IAN ROBERTSON

Project Number

17-121

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A-5.0