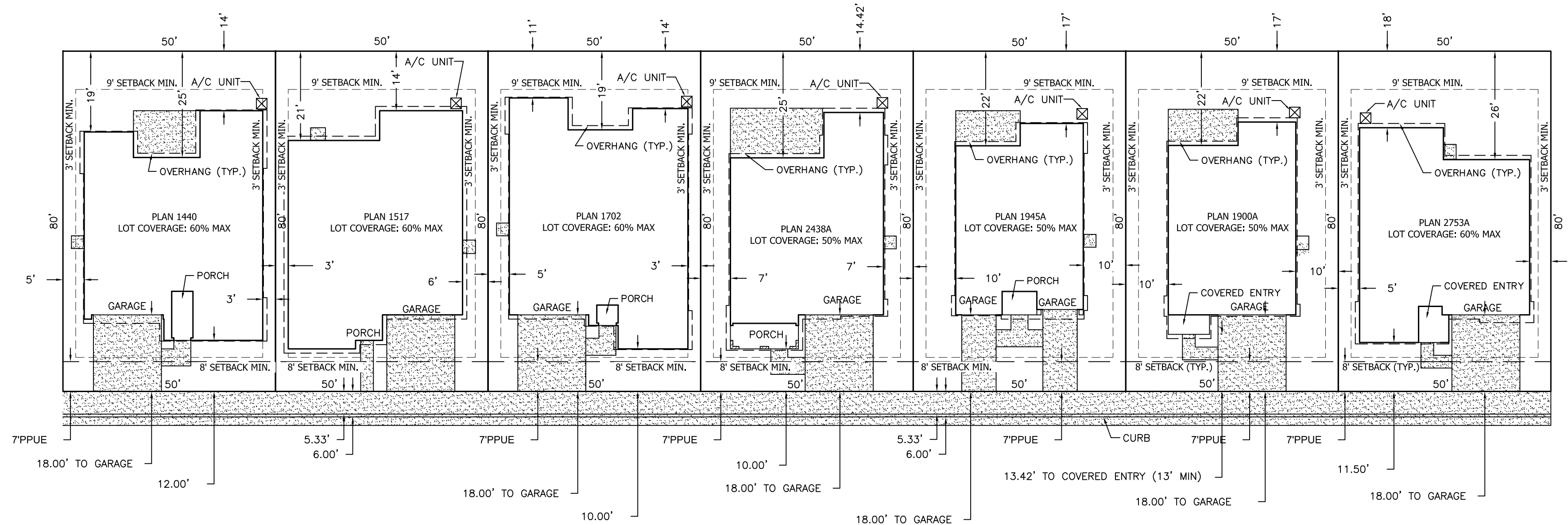


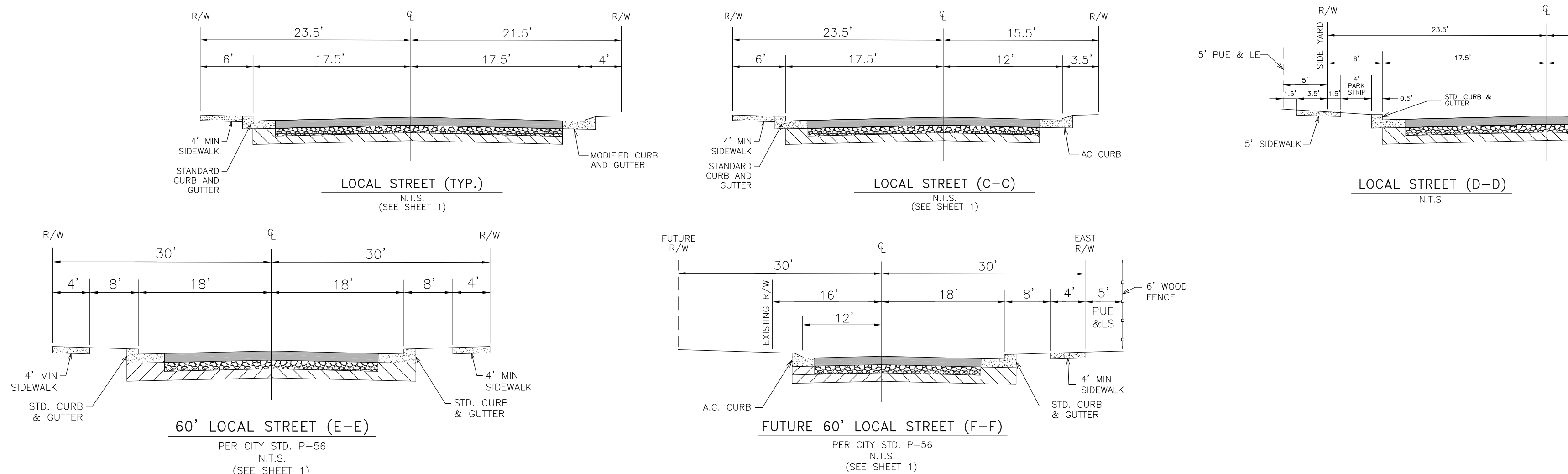
TYPICAL LOT DETAIL WITHOUT WALK
SCALE: 1" = 20'

- NOTE:
1. SIDE YARD SETBACKS SHALL BE 8' TOTAL (4' & 4', OR 5' & 3').
 2. OVERHANGS SHALL NOT EXTEND INTO THE 7' PPUE OR F.I.D. EASEMENT.
 3. 5' SETBACKS FROM CORNER CUT-OFFS ON CORNER LOTS.



TYPICAL LOT DETAIL WITH WALK
SCALE: 1" = 20'

- NOTE:
1. SIDE YARD SETBACKS SHALL BE 8' TOTAL (4' & 4', OR 5' & 3').
 2. OVERHANGS SHALL NOT EXTEND INTO THE 7' PPUE OR F.I.D. EASEMENT.
 3. 5' SETBACKS FROM CORNER CUT-OFFS ON CORNER LOTS.



NOTES

1. CONTACT SOLID WASTE DIVISION FOR APPOINTMENT TO ESTABLISH ACCESS AND IMPROVEMENTS REQUIRED AS CONDITIONS OF PROVIDING DISPOSAL SERVICE. 621-6888
2. THE SANITARY SEWER SERVICES, WATER, GAS AND ANY OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF ASPHALT CONCRETE ON SITE.
3. CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING SERVICES 621-8807, 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONSTRUCTION.
4. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
5. LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE SPECIFICATIONS AND TYPES OF LIGHTING FIXTURES TO BE INSTALLED ON THE SITE SHALL BE SUBMITTED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMITS. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE FRESNO POLICE DEPARTMENT.
6. ALL SIGN PROPOSALS TO BE SUBMITTED TO PLANNING DEPARTMENT FOR SEPARATE SIGN REVIEW PRIOR TO INSTALLATION FOR VERIFICATION OF COMPLIANCE WITH ZONING ORDINANCES.
7. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES. ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED "ALL WEATHER" SURFACE CAPABLE OF THE SUPPORTING 80,000 LB. VEHICLES (MINIMUM 4" OF BASE ROCK OVER COMPACTED OR UNDISTURBED SOIL OR PER APPROVED ENGINEERED PLANS) YEAR-ROUND AND WITH 24 FEET MINIMUM WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
8. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
9. TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
10. ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANTS WILL BE RELOCATED BY THE FORCES, DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION AT 621-5300 TO ARRANGE AND COORDINATE WORK.
11. NO USES OF LAND, BUILDING OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
12. ALL GATES OF COMMON ACCESS DRIVES AND ALL PEDESTRIAN GATES, WHERE REQUIRED SHALL BE EQUIPPED WITH APPROVED POLICE-FIRE BYPASS LOCKS (BEST LOCKS: PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782). (REQUIRED ON ALL GATES).
13. LANDSCAPING SHALL BE MAINTAINED IN GOOD HEALTH. TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
14. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF THE OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING DIVISION.
15. SIGNS, OTHER THAN DIRECTIONAL SIGNS, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SUBMIT FOR A SEPARATE MASTER SIGN PROGRAM OR SIGN REVIEW APPLICATION. APPLICATIONS AND REQUIREMENTS FOR SUBMITTAL ARE AVAILABLE AT THE PLANNING DIVISION'S PUBLIC FRONT COUNTER.
16. SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALK IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRES SHOW METHOD OF CONVEYING ON-SITE STORM WATER TO STREET. DETAIL CATCH BASINS AND PIPE OR CHANNEL SIZES TO BE USED. PER PUBLIC WORKS STDS. P-22 AND P-23.
17. A BACKFLOW PREVENTION DEVICE IS REQUIRED. CONTACT WATER DIVISION AT 621-5300 FOR REQUIREMENTS; DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED TO INSTALL BACKFLOW PREVENTION DEVICES REQUIRED SHALL BE INSTALLED AT CONSUMER'S EXPENSE BY A QUALIFIED JOURNEYMAN PLUMBER CERTIFIED AS COMPETENT FOR SUCH PURPOSES BY THE WATER SYSTEMS MANAGER; BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION.
18. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL 1-800-642-2444
19. AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODE (TITLE 24), AN UNOBSTRUCTED 4-FOOT MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK WITHIN THE LIMITS OF THE PROPERTY IS PROVIDED.
20. RAMP AND SIDE SLOPES SHALL BE ROUGH BROOM FINISH PARALLEL TO GROOVING.
21. EACH CURB RAMP IN PUBLIC STREETS SHALL HAVE A DETECTABLE WARNING DEVICE AS PER PW STD. DWG. P-32.
22. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORKS SHALL STOP IMMEDIATELY.
23. UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 12-1011 AND RES. NO. 78-522/88-229.
24. APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS. THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELAYATIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO HIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
25. NO STRUCTURES OF ANY KIND (INCLUDING SIGNS, TRASH AND RECYCLING, ETC.) MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPES AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE BUILDINGS, ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
26. ALL FUTURE PROPOSED FENCES, HEDGES AND WALLS, ETC. SHALL BE REVIEWED AND APPROVED BY THE CITY OF FRESNO, PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO INSTALLATION.
27. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AND ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
28. INSTALL STREET LIGHTS ON ALL FRONTS TO CITY STANDARDS AS DETERMINED BY THE CITY TRAFFIC ENGINEER, STREET LIGHTING PLANS ARE REQUIRED AND MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT/TRAFFIC ENGINEERING PRIOR TO COMMENCEMENT OF THE WORK.
29. IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER NATIVE AMERICAN HERITAGE COMMISSION (PHONE: 916-633-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/ SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: 805-644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/RESERVATION. CONSTRUCT CONCRETE DRIVEWAY APPROACH TO PUBLIC WORKS STANDARD(S) P-1 AND P-6. (LOTS:19-32)
30. CONSTRUCT CONCRETE CURB RAMP TO PUBLIC WORKS STANDARD(S) P-28 AND P-29.
31. PRIOR TO GRANTING OF FINAL OCCUPANCY, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM HAVE BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION.
32. WALKWAYS CONNECTING ACCESSIBLE ENTRANCES AND OTHER FEATURES CANNOT SLOPE MORE THAN 5% IN THE DIRECTION OF TRAVEL NOR HAVE A CROSS SLOPE EXCEEDING 2%.
33. TRUNCATED DOMES TO BE PLACED ON THE FULL WIDTH AND LENGTH OF ALL ON-SITE CURB RAMPS.
34. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING DIVISION.
35. CONSTRUCT STREET TYPE APPROACH PER PUBLIC WORKS STANDARDS P-76/P-77.
36. SIGNING AND STRIPING PLANS SHALL BE DONE AND PAID FOR BY THE DEVELOPER, SAID PLANS SHALL BE PER THE CURRENT CALTRANS STANDARDS AND SHALL BE SUBMITTED AS PART OF THE STREET PLANS FOR THIS ENTITLEMENT TO PUBLIC WORKS FOR REVIEW AND APPROVAL.

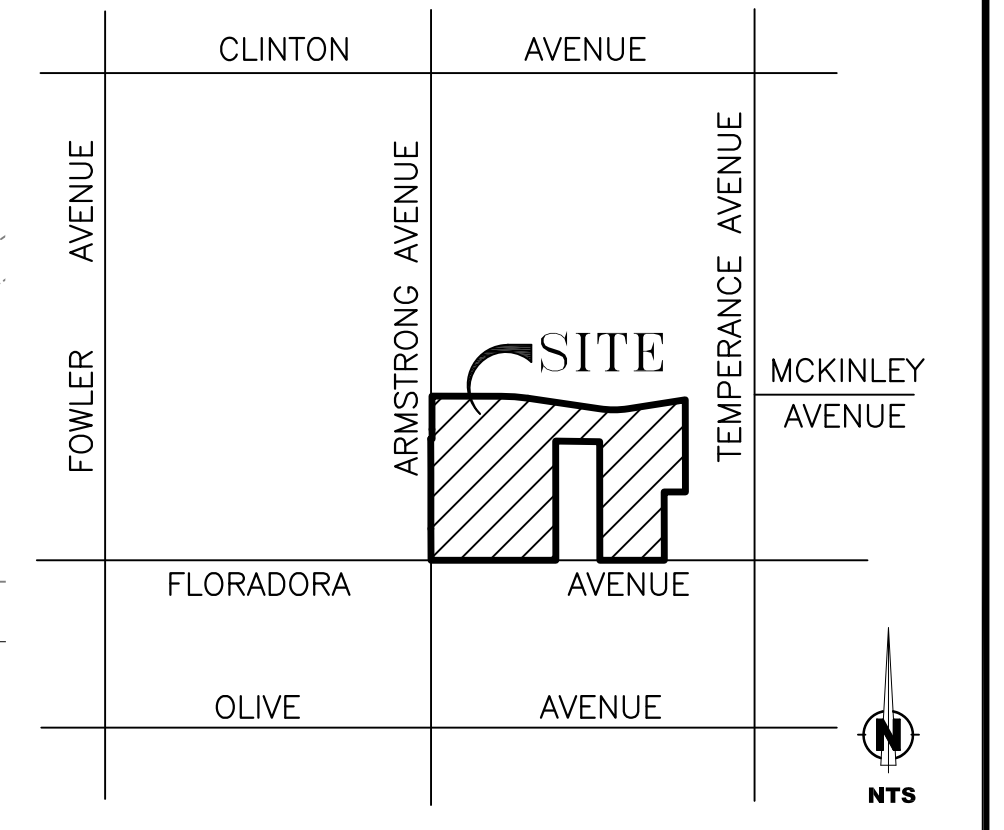
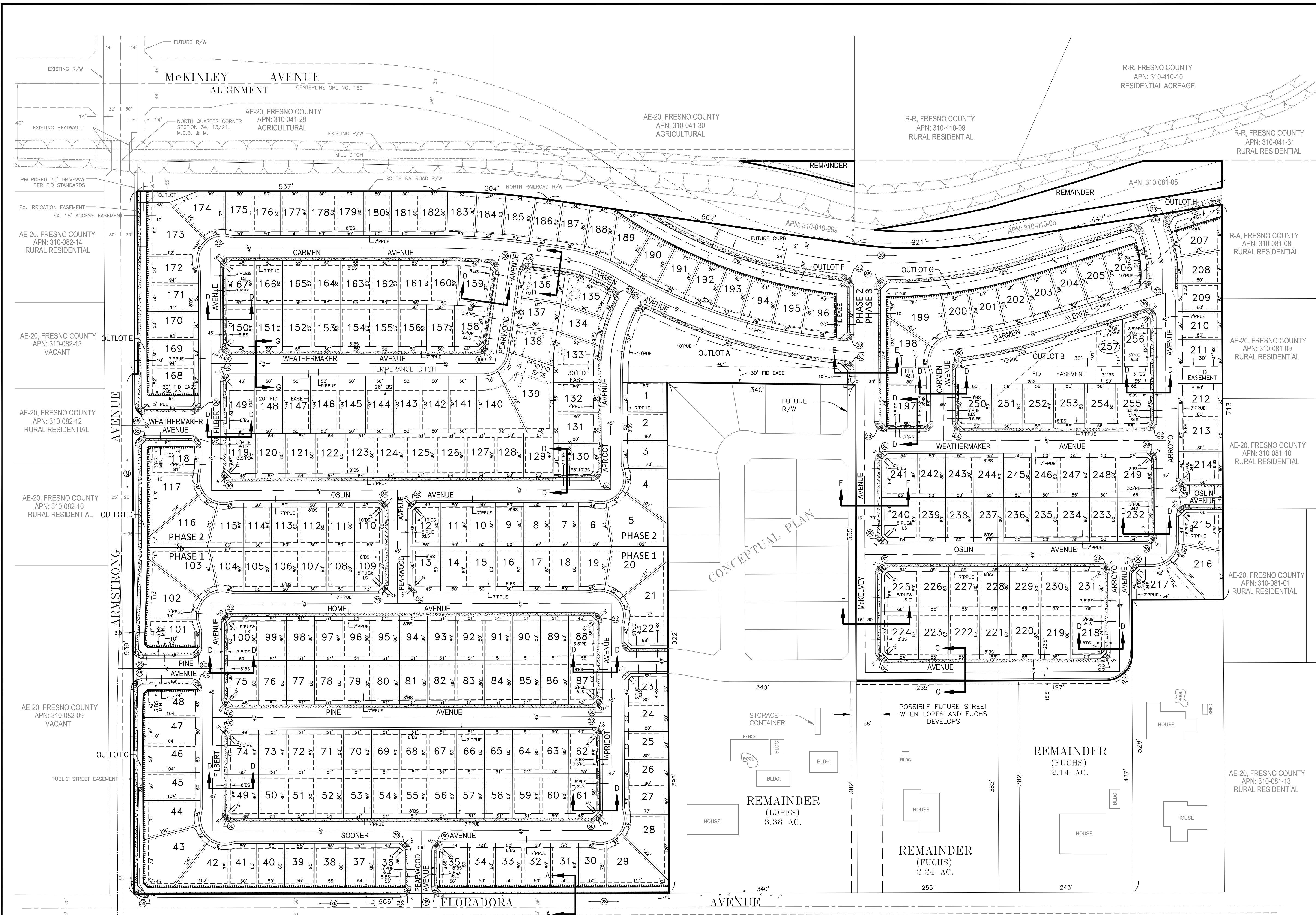
FIRE DEPARTMENT NOTES

1. PROVIDE APPROVED POLICE/FIRE BYPASS LOCK ("BEST" PADLOCK MODEL 218700 SERIES OR ELECTRIC CYLINDER SWITCH MODEL 1W782) ON ALL DRIVE ACCESS GATES INCLUDING PROPOSED EVA IF IT'S ELECTRIFIED. ALL ELECTRIFIED GATES SHALL BE EQUIPPED WITH BOTH THE BEST ELECTRIC CYLINDER LOCK 1W782 AND "CLICK TO ENTER" SYSTEM. GATES/FENCES SHALL NOT OBSTRUCT MINIMUM WIDTH FOR FIRE LANES.
2. THE ENTRANCE TO ALL EMERGENCY ACCESSES SHALL BE POSTED WITH PERMANENT SIGNS: "FIRE ACCESS (6" LETTERS) VEHICLES REMOVED AT OWNER'S EXPENSE (2" LETTERS) FRESNO POLICE DEPARTMENT 621-2300 (1" LETTERS)."
 - a. THE SAME SIGNAGE AS STATED ABOVE SHALL BE POSTED AT THE MAIN ENTRANCE INTO THE TRACT.
3. EMERGENCY ACCESSES ARE REQUIRED TO BE DEDICATED FIRE PROTECTION EASEMENTS.
4. ACCESS SURFACE SHALL NOT EXCEED A 10% OR GREATER GRADE OR CONTAIN ANY IRREGULARITY CREATING AN ANGLE OF APPROACH OR DEPARTURE IN EXCESS OF 10% EXCEPT AS APPROVED BY THE FIRE CHIEF.
5. GATES, POSTS, OR OTHER BARRIERS SUITABLE TO THE FIRE DEPARTMENT ARE REQUIRED TO BE INSTALLED AT THE ENTRANCE TO AN EMERGENCY ACCESS ONLY ROADWAY.

TM6201 & TM6235

C.U.P. SITE PLAN DETAILS

<div style="text-align: center;">SUBDIVIDER Tri-Wilson L.P. 7550 NORTH PALM AVENUE SUITE 102 FRESNO, CA 93711 559-224-7550</div>		<div>REVISIONS</div> <div><div></div><div></div><div></div><div></div><div></div><div></div></div>	<div>SHEET NO.</div> <div><div>1</div><div>OF</div><div>3</div></div>
<div><div></div><div>Harbour & Associates Civil Engineers 389 Clovis Avenue, Suite 300 • Clovis, California 93612 (559) 325-7676 • Fax (559) 325-7699 • e-mail khanna@harbour-engineering.com</div></div>			
DATE: 11-1-19	DRAWN BY: KPA		



VICINITY MAP
N.T.S.

EXISTING BUILDINGS
NONE

EXISTING TREES
NONE

EXISTING ZONING
AE-20 (FRESNO COUNTY)

PROPOSED ZONING
RS-5/UGM & RS-4/UGM

EXISTING USE
AGRICULTURE

PROPOSED USE
SINGLE FAMILY RESIDENTIAL SUBDIVISION

ASSESSOR'S PARCEL NUMBER
310-081-03s, 05, 06

SITE AREA
40.67 AC. (GROSS)
39.61 AC. (NET)

NUMBER OF LOTS
257

AVERAGE LOT SIZE
4,545.03 SF

DENSITY
6.50 UNITS/ACRE

OWNER:
ANDY P. & MARGARET J. WARMERDAM
1090 N. ARMSTRONG AVENUE
FRESNO, CA 93727
(559) 255-7550

JOE LOPES
6672 E. FLORADORA AVENUE
FRESNO, CA 93727

TIMOTHY A. AND MECHELLE FUCHS
6750 E. FLORADORA AVENUE
FRESNO, CA 93727

JONATHAN E. AND CAROL L. FUCHS
6804 E. FLORADORA AVENUE
FRESNO, CA 93727

LEGEND:

PPUE PROPOSED PLANTING & PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE

LE LANDSCAPE EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE

LS LANDSCAPE SETBACK FOR PRIVATE LANDSCAPING PURPOSES

RELINQUISHMENT OF ACCESS ALONG DOUBLE FRONTAGE LOTS

PE PEDESTRIAN EASEMENT NOW OFFERED FOR DEDICATION

PUE PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE.

OUTLOT NOTES:

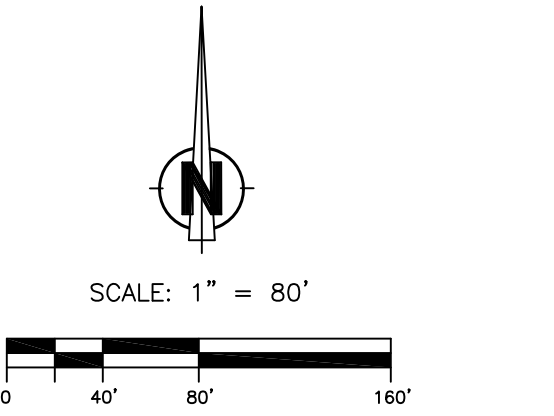
1. OUTLOTS A AND B TO BE DEDICATED FOR PUBLIC OPEN SPACE PURPOSES.

2. OUTLOTS C, D TO BE DEDICATED FOR PUBLIC UTILITY EASEMENT AND LANDSCAPE BUFFER PURPOSES.

3. OUTLOT E IS FOR PUBLIC LANDSCAPE PURPOSES.

4. OUTLOTS F, G AND H TO BE DEDICATED FOR PUBLIC TRAIL PURPOSES.

5. OUTLOT I IS TO BE DEDICATED TO THE FRESNO IRRIGATION DISTRICT



C.U.P. SITE PLAN FOR TRACT 6201

Tri-Wilson L.P.
7550 NORTH PALM AVENUE SUITE 102
FRESNO, CA 93711
559-224-7550

Harbour & Associates
Civil Engineers
389 Clovis Avenue, Suite 300 • Clovis, California 93612
(559) 325-7676 • Fax (559) 325-7699 • e-mail: hba@harbour-engineering.com

REVISIONS

DATE: 11-1-19

SCALE: 1"= 80'

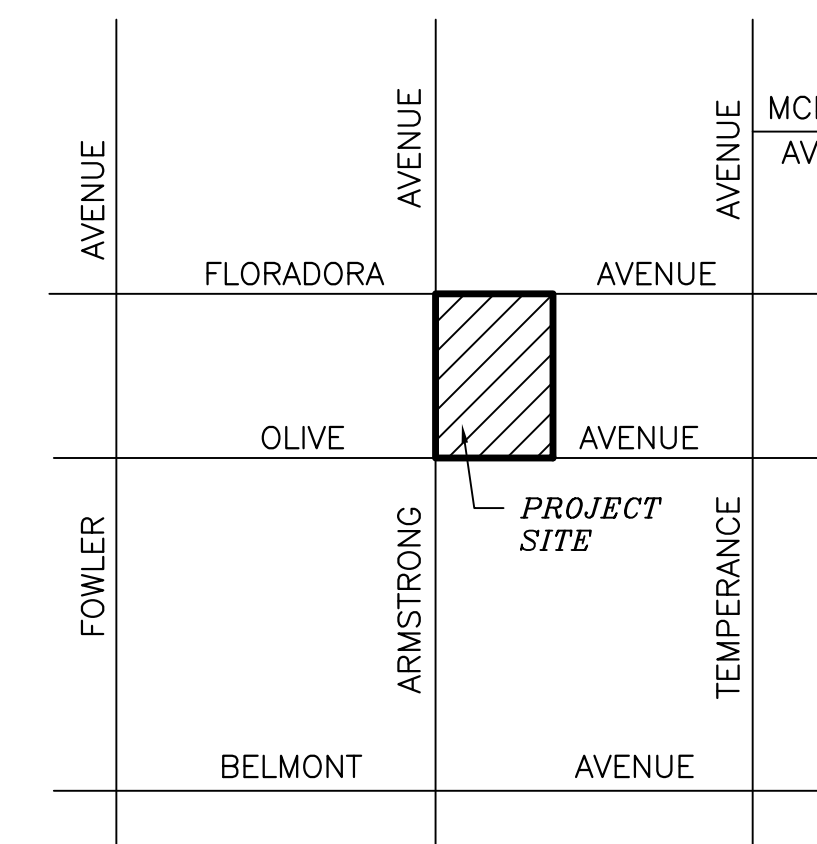
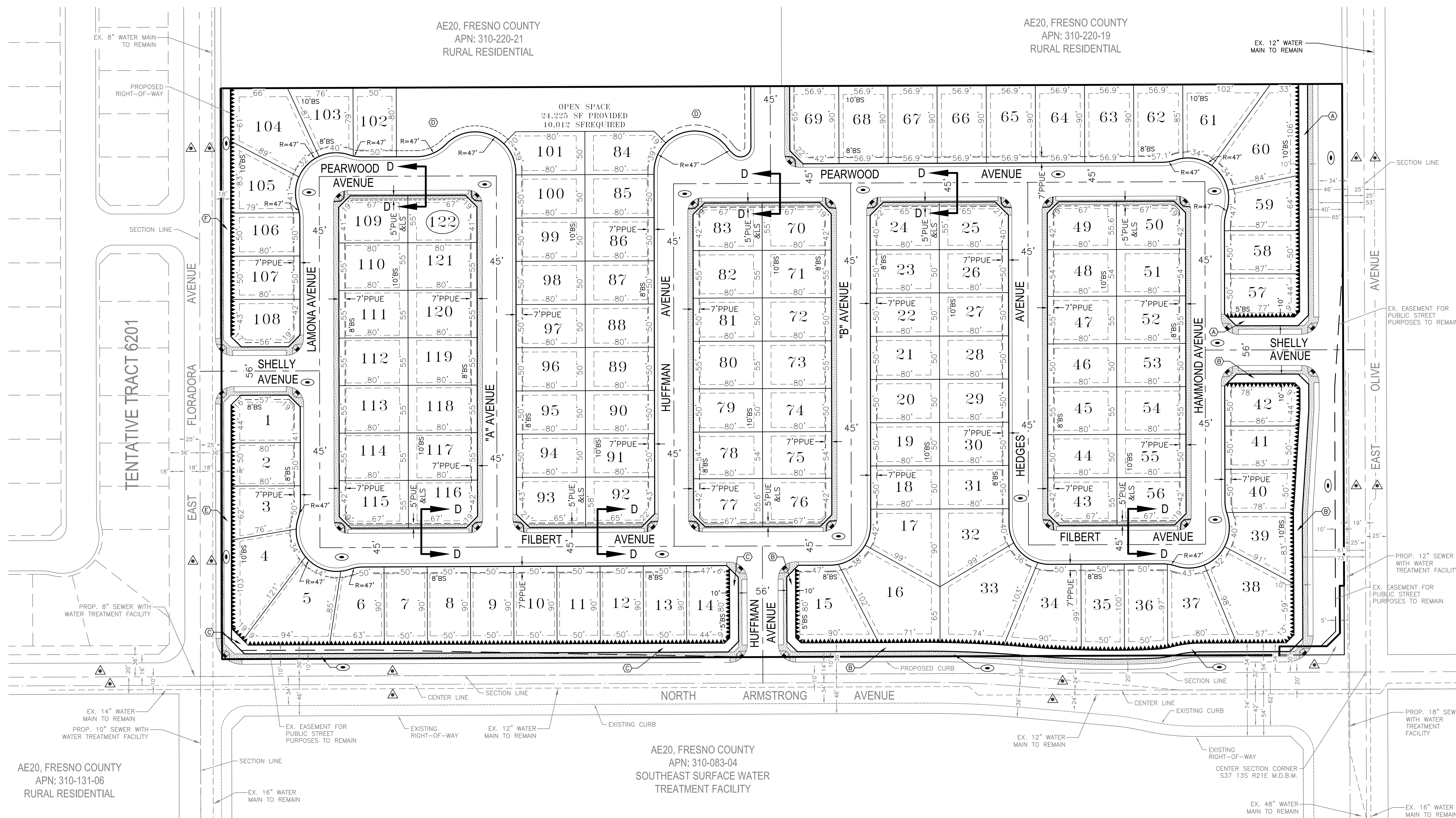
DRAWN BY: KPA

SHEET NO.
2
OF
3

PI, CITY OF FRESNO APN: 310-083-04 SOUTHEAST SURFACE WATER TREATMENT FACILITY	AE-20, FRESNO COUNTY APN: 310-082-14 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-082-13 VACANT	AE-20, FRESNO COUNTY APN: 310-082-12 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-082-16 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-082-09 VACANT	AE-20, FRESNO COUNTY APN: 310-081-01 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-081-10 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-081-09 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-081-05 RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-010-29s RURAL RESIDENTIAL	AE-20, FRESNO COUNTY APN: 310-041-30 AGRICULTURAL	AE-20, FRESNO COUNTY APN: 310-041-29 AGRICULTURAL
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VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 62
IN THE CITY OF FRESNO
FRESNO COUNTY, CALIFORNIA

IN THE CITY OF FRESNO
FRESNO COUNTY, CALIFORNIA

VICINITY MA

NOTES:

1. THIS AREA IS SUBJECT TO FLOODZONE X (UNSHADED).
2. ALL IMPROVEMENTS SHALL AS REQUIRED BY THE CITY OF FRESNO TO CITY STANDARDS, AND SHALL INCLUDE SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVEMENT STREET LIGHTS, ETC.
3. THERE ARE NO EXISTING GRADE DIFFERENTIALS OF GREATER THAN 6" WITHIN THE LIMITS OF GRADING FOR THIS PROJECT. PROPOSED GRADE DIFFERENTIALS GREATER THAN 6" WILL BE DETERMINED BY THE IMPROVEMENT PLANS AND MUST BE APPROVED BY THE CITY OF FRESNO DEVELOPMENT DEPARTMENT.
4. THERE ARE NO EXISTING ABOVE GROUND USES OR STRUCTURES SUCH AS BUILDINGS, WATER WELLS, POWER LINES, TOWERS, ETC., WITHIN THE PROPOSED SUBDIVISION.
5. THERE ARE NO UNDERGROUND FEATURES SUCH AS WELLS, CESSPOOLS, UNDERGROUND CURBS, DRAIN DRAINS, DUMP SITES AND OTHER UNDERGROUND STRUCTURES WITHIN THE PROPOSED SUBDIVISION.
6. THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE TO THE EXTENT FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NONRENEWABLE ENERGY RESOURCES AS PROVIDED IN THE SUBDIVISION MAP ACT. 79% OF THE LOTS ARE ORIENTED NORTH AND SOUTH.
7. OUTLOTS A, B, C, E & F ARE FOR PUBLIC LANDSCAPE, PEDESTRIAN ACCESS, AND BUFFER PURPOSES. OUTLOT D IS FOR OPEN SPACE PURPOSES.

LEGAL DESCRIPTION:







(APN: 310-220-30)

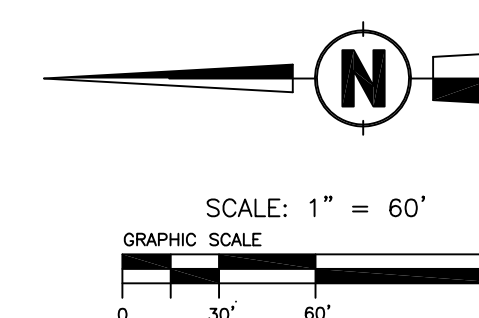
THE LAND REFERRED TO IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF FRESNO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 5 IN BLOCK 1 OF TEMPERANCE COLONY, ACCORDING TO THE MAP THEREOF RECORDED IN PLAT BOOK 2 AT PAGE 7, FRESNO COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE COUNTY OF
FRESNO IN THE GRANT DEED RECORDED AUGUST 25, 1979, DOCUMENT NO.
98647 IN BOOK 7355 PAGE 920. OFFICIAL RECORDS.

LEGEND:

- | | |
|---|--|
|  | INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE |
|  | PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE |
| PPUE | PROPOSED PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE |
| LE | PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE |
| PE | PEDESTRIAN EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE |
|  | DIRECTION OF STORMWATER FLOW |
|  | PROPOSED 6' CONCRETE SIDEWALK |
|  | RELINQUISHMENT OF ACCESS ALONG DOUBLE FRONTAGE LOTS |
|  | PROPOSED ADA RAMP PER CITY STD. P-28, P-29, P-30, P-31 |



C.U.P. SITE PLAN FOR TRACT 6235

OWNER/SUBDIVIDER
TRI-WILSON L.P.
7550 NORTH PALM AVENUE SUITE 10
FRESNO, CA. 93711
559.274.7550

<div style="text-align: right; font-size: small;">509-Z24/350</div>			REVISIONS <hr/> <hr/> <hr/> <hr/> <hr/>	SHEET NO. <div style="text-align: center; font-size: 2em;">3</div> OF <div style="text-align: center; font-size: 2em;">3</div>
DATE: 11-1-19	SCALE: 1" = 60'	DRAWN BY: KPA		

EXISTING BUILDINGS
NONE
EXISTING TREES
EXISTING TREES TO BE REMOVED
EXISTING USE
AGRICULTURAL
EXISTING ZONING
AE-20
PROPOSED ZONING
RS-3/UGM
PROPOSED USE
SINGLE FAMILY RESIDENTIAL SUBDIVISION

SOURCE OF WATER
CITY OF FRESNO

SOURCE OF SEWAGE DISPOSAL
CITY OF FRESNO

SOURCE OF WASTE DISPOSAL
CITY OF FRESNO

SOURCE OF ELECTRICITY
PG&E

SOURCE OF GAS
PG&E

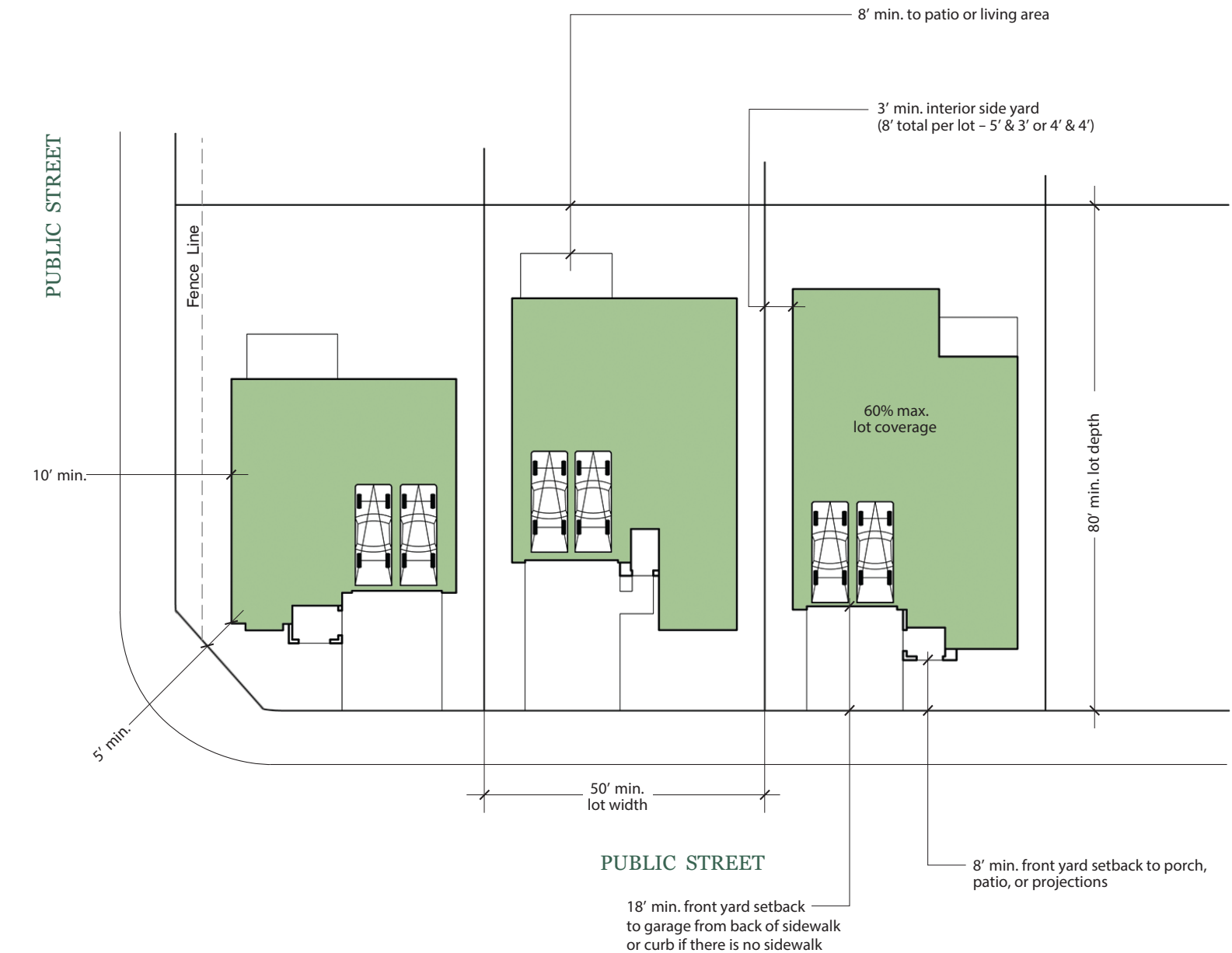
SOURCE OF CABLE T.V.
COMCAST

SOURCE OF TELEPHONE
AT&T
ASSESSOR'S PARCEL NUMBER
310-220-30
SITE AREA
19.65 AC. (GROSS)
18.90 AC. (NET)
NUMBER OF LOTS
122 LOTS & 4 OUTLOTS
DENSITY
6.45 D.U./AC.
AVERAGE LOT SIZE
4,705 S.F.
SITE ADDRESS
6552 E. OLIVE AVENUE
DENVER, CO 80221

TRACT 6201 - L!V

Residential Land Use Development Standards

LAND USE	DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		
	STANDARD	NOTES
DESIGNATION		
Zone District	RS-4 & RS-5	
GP Density Range	5.0 - 12.0 du/ac	Medium Density Residential
Dwelling Units	257	
BUILDING INTENSITY		
Minimum Lot Area	4,000 sqft	
Minimum Lot Width	50'	
Minimum Lot Depth	80'	
Maximum Height	35'	
Curved/Cul-de-sac/Corner Lot	30' min/30' min/55' min	
Reversed Corner	55' min	
Corner Cut-Off	5' min	
BUILDING SETBACKS		All setbacks measured from PL.
Front Yard (Local)	18' min	Back of sidewalk to garage on side of street with sidewalk
	18' min	Curb to garage on side of street without sidewalk
	8' min	To living area, projections and/or porch/patio
Side Yard	5' & 3' or 4' & 4' min	8' total (min 3' on one side)
Street Side & Reversed Corner	10' min	
Rear Yard	8' min	
GARAGES/STREETS/PARKING		
Garages	1.5 covered parking spaces per unit minimum	
Streets	Public	
On-Street Parking	Yes	



The imagery conveys samples of the architectural character intended for these neighborhoods.

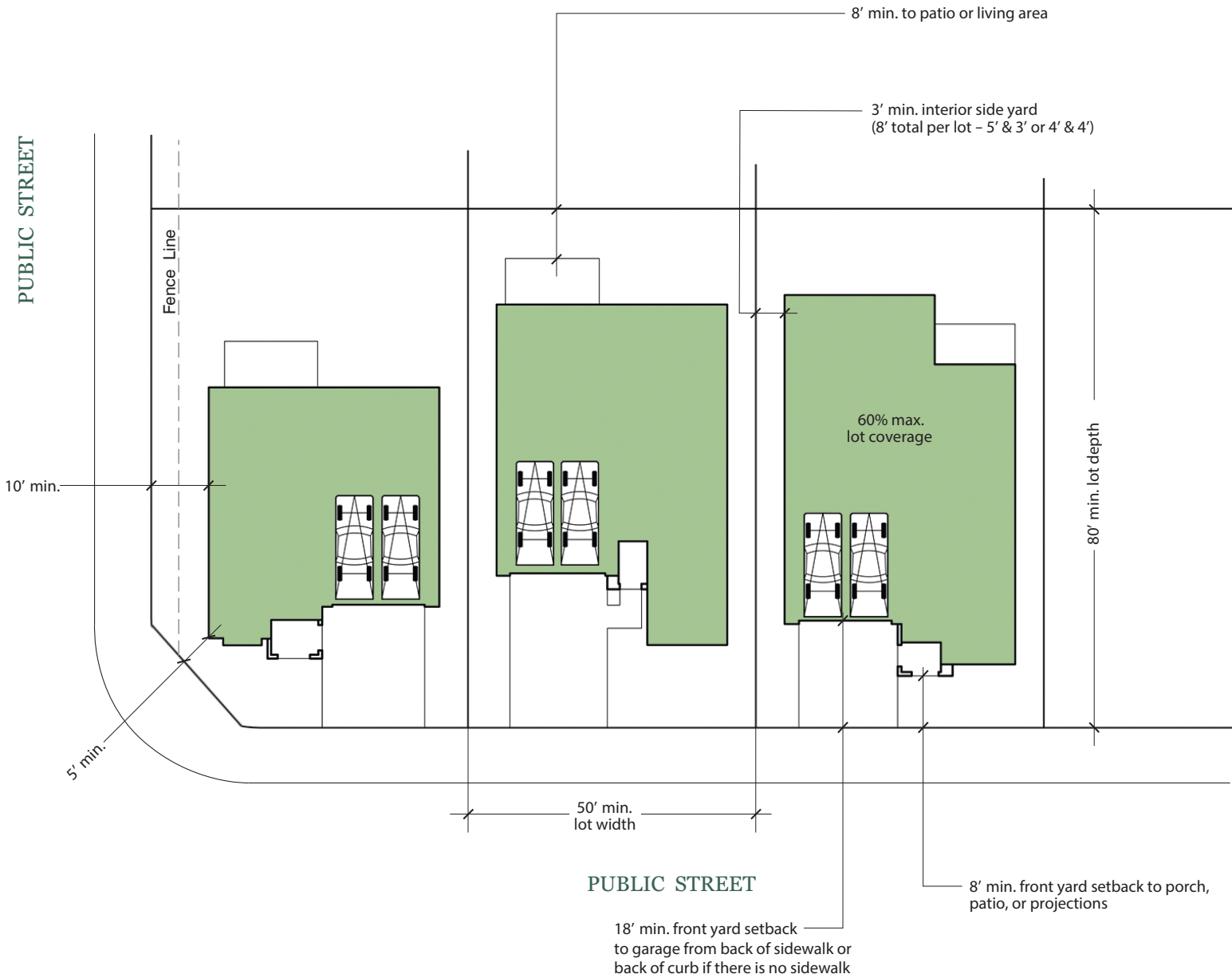
NOT TO SCALE

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TRACT 6235 - L!V

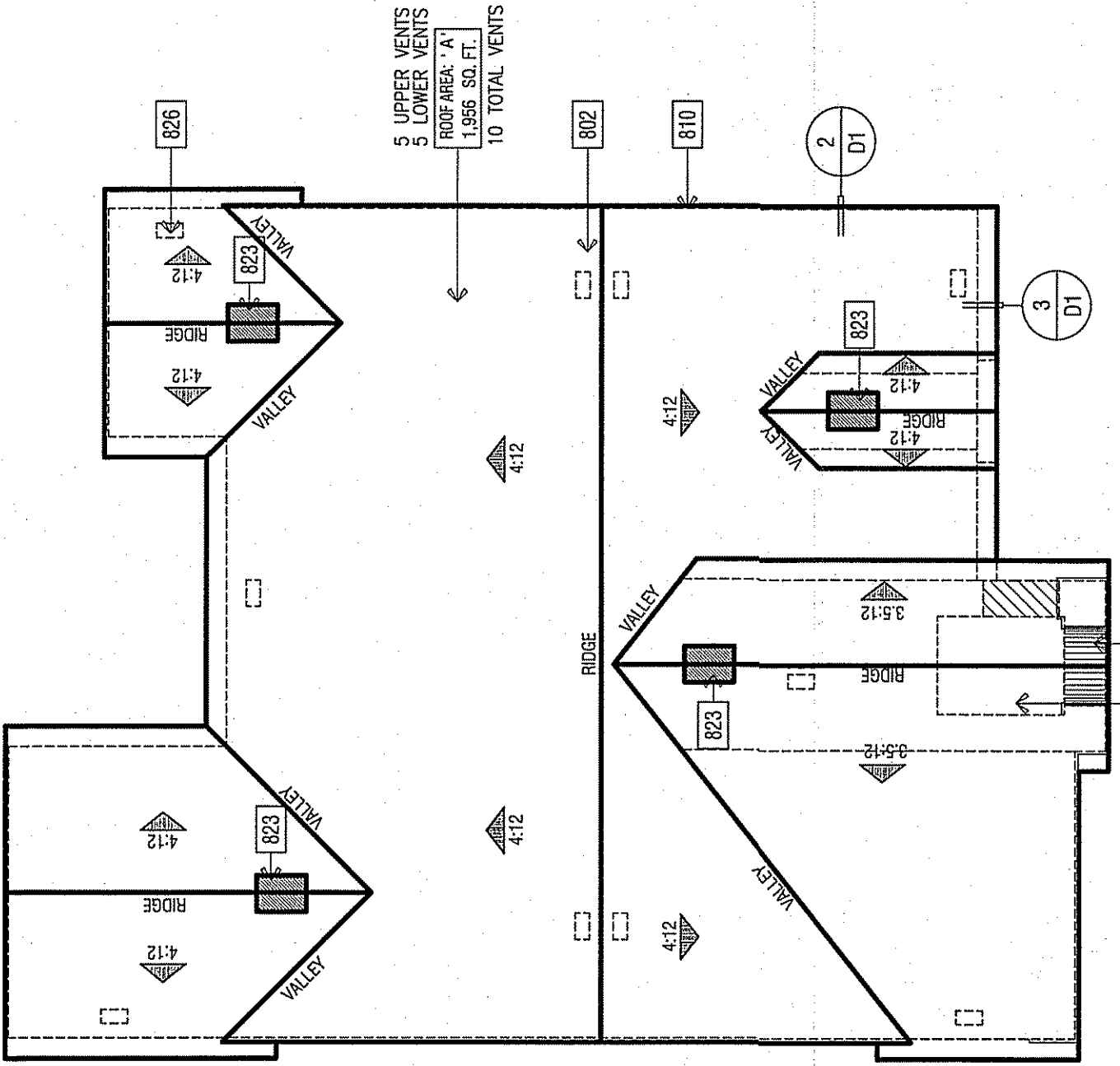
Residential Land Use Development Standards

LAND USE	DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		
	STANDARD	NOTES
DESIGNATION		
Zone District	RS-5	
GP Density Range	5.0 - 12.0 du/ac	Medium Density Residential
Dwelling Units	122	
BUILDING INTENSITY		
Minimum Lot Area	4,000 sqft	
Minimum Lot Width	50'	
Minimum Lot Depth	80'	
Maximum Height	35'	
Curved/Cul-de-sac/ Corner Lot	30' min/30' min/55' min	Frontage/Frontage/Lot Width
Reversed Corner	55' min	Lot Width
Corner Cut-Off	5' min	
BUILDING SETBACKS		All setbacks measured from PL.
Front Yard (Local)	18' min	Back of sidewalk to garage on side of street with sidewalk
	18' min	Back of curb to garage on side of street without sidewalk
	8' min	To living area, projections and/or porch/patio
Side Yard	5' & 3' or 4' & 4' min	8' total (min 3' on one side)
Street Side & Reversed Corner	10' min	
Rear Yard	8' min	
GARAGES/STREETS/PARKING		
Garages	1.5 covered parking spaces per unit minimum	
Streets	Public	
On-Street Parking	Yes	



The imagery conveys samples of the architectural character intended for these neighborhoods.

NOT TO SCALE



ROOF PLAN

SCALE: 1/8" = 1'-0"

ROOF MATERIAL	STANDARD ROOF	BARRE - UNJO.	OVERHANG DIM. - UNJO.	RAVE	RAVE
LOW PROFILE CONCRETE'S TILE	(1) D1	2X6	2X6	1'-0"	TIGHT

ROOF PLAN NOTES

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CIRC SECTION 110.10.

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CIRC SECTION 180.7.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CIRC SECTION 180.2. THE MINIMUM NET FREE AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 1 AND 16, A CLASS 1 (VAPOR RETARDER IS INSTALLED ON THE WARM-WINTER SIDE OF THE CEILING)
 - IN CLIMATE ZONES 2 THROUGH 15, A CLASS 2 (VAPOR RETARDER IS INSTALLED ON THE WARM-WINTER SIDE OF THE CEILING)
 - IN CLIMATE ZONES 17 AND 18, A CLASS 3 (VAPOR RETARDER IS INSTALLED ON THE WARM-WINTER SIDE OF THE CEILING)

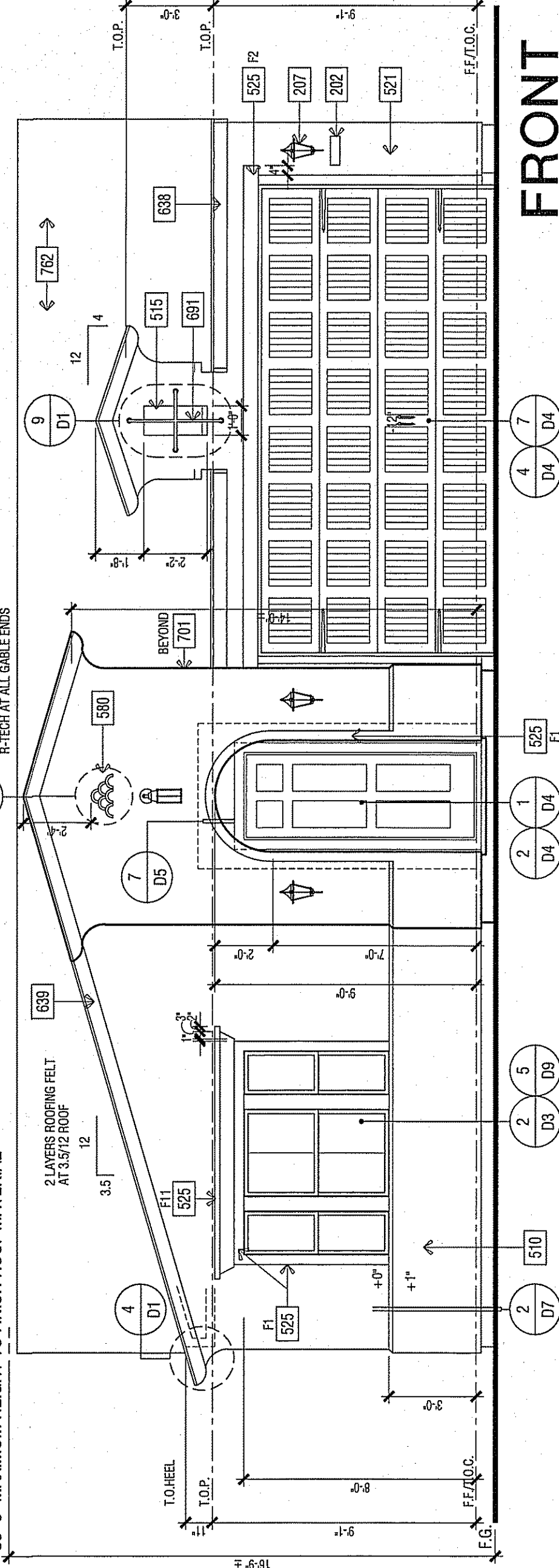
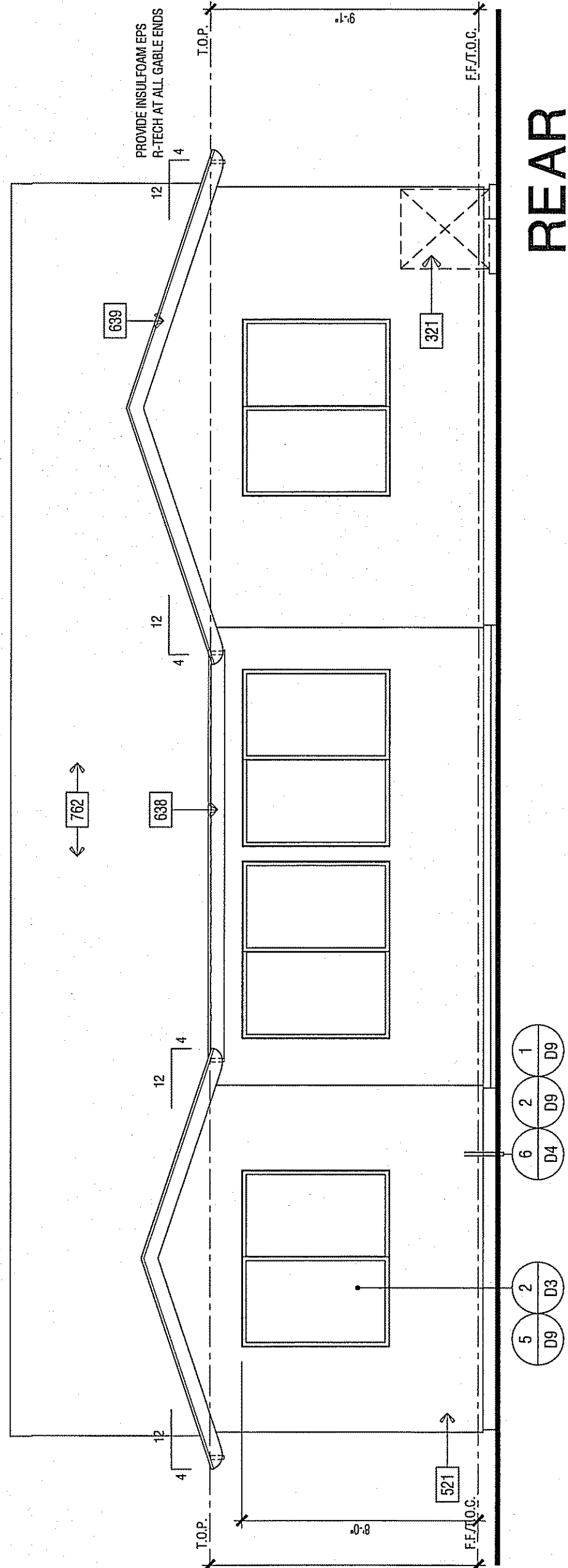
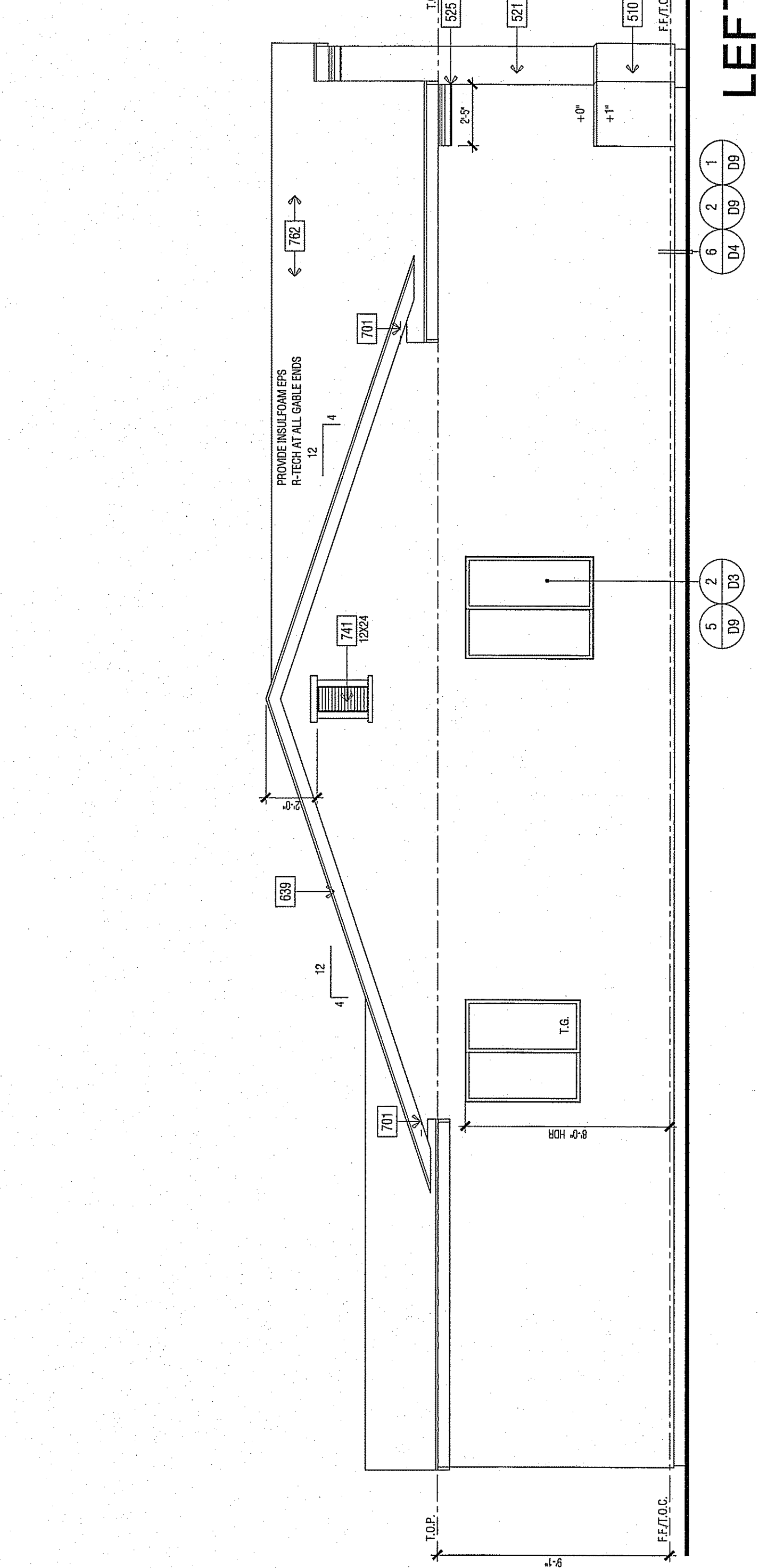
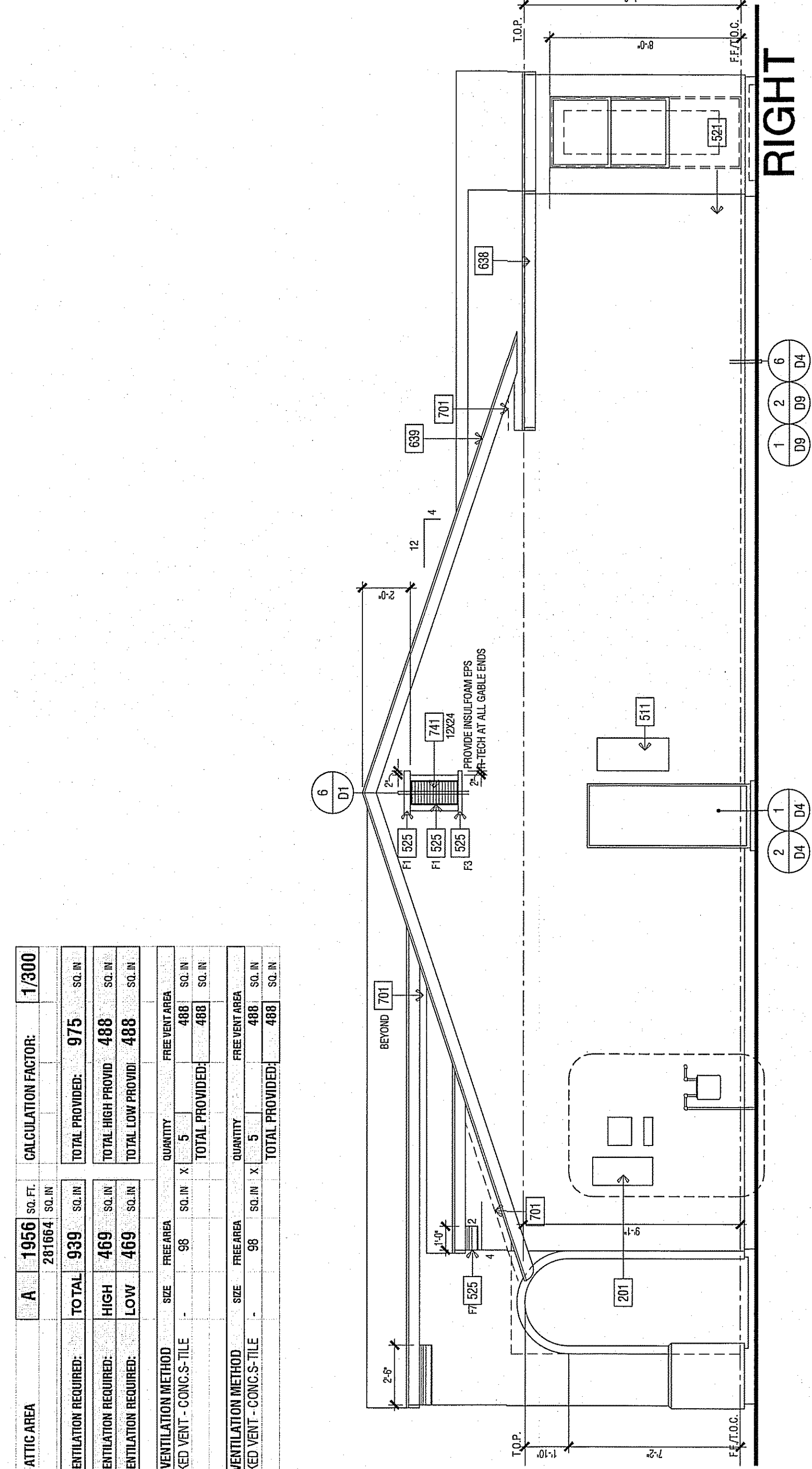
ROOF PLAN KEY NOTES

Name	NOTE
802	ROOFING - CONCRETE - LOW PROFILE "S" TILE BY EAGLE ROOFING (ICC# ESR-1900)
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22X20" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY ARROW TO
826	ALL ATTIC AREAS
826	ROOF VENT - DHAGIN "XL SERIES" CLOAKED VENT (ICC # IER-9504)

ROOF ATTIC AREA	A	1956	SQ. FT.	CALCULATION FACTOR:	1/300	
			281664	SQ. IN.		
MIN. VENTILATION REQUIRED:	TOTAL	939	SQ. IN.	TOTAL PROVIDED:	975	SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH	469	SQ. IN.	TOTAL HIGH PROVIDED:	488	SQ. IN.
MIN. VENTILATION REQUIRED:	LOW	469	SQ. IN.	TOTAL LOW PROVIDED:	488	SQ. IN.
HIGH VENTILATION METHOD	SIZE	PRE AREA	QUANTITY	PRE VENT AREA		
CLOAKED VENT - CONG'S-TILE	SIZE	90	SQ. IN. X 3	488	SQ. IN.	
			TOTAL PROVIDED:	488	SQ. IN.	
LOW VENTILATION METHOD	SIZE	PRE AREA	QUANTITY	PRE VENT AREA		
CLOAKED VENT - CONG'S-TILE	SIZE	90	SQ. IN. X 3	488	SQ. IN.	
			TOTAL PROVIDED:	488	SQ. IN.	

Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
510	STUCCO OVER 1" RIGID FOAM OVER 1" RIGID FOAM WALL - HEIGHT PER ELEVATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
515	"2" STUCCO RECESS - SIZE PER ELEVATION - SLOPE SILL 1/4" PER FT. MINIMUM
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO (CC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SHAT TR GUARD ESR-1586 BY START R FOAM OVER DUPONT TYVEK
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
580	DECORATIVE FOAM ACCENT
591	SHUTTER - SIZE PER ELEVATION
599	2X6 WOOD FASCIA
599	2X6 WOOD BARGE BOARD
691	DECORATIVE METAL ACCENT - PROVIDE SOLID BACKING MINIMUM 12X12" ELASTOMERIC SHEET WATERPROOFING AT ALL MOUNTING POINTS/PENETRATIONS
701	G.I. FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL LOUVER VENT - SIZE PER ELEVATION
762	ROOFING - CONCRETE - LOW PROFILE "S" TILE BY EAGLE ROOFING (ICC# ESR-1900 TYP. 2 LAYERS OF OF GRADE "D" BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R703.53

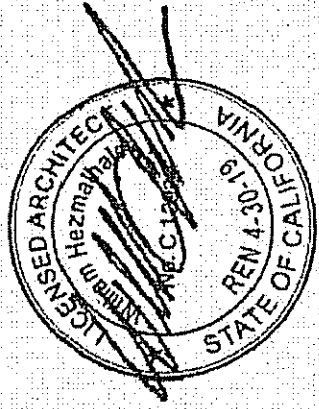
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR SHALL BE PROTECTED BY A GUARD OR HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1406.13.2



SCALE: 1/4" = 1'-0"



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PLAN NO. 1440 SFD

PLAN 1440

CLOVIS, CALIFORNIA

WILSON HOMES

FRESNO, CALIFORNIA

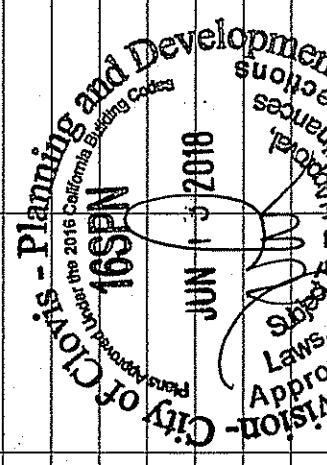
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breach, or enforcement of this contract, and shall be enforceable in any court of competent
jurisdiction.

DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION
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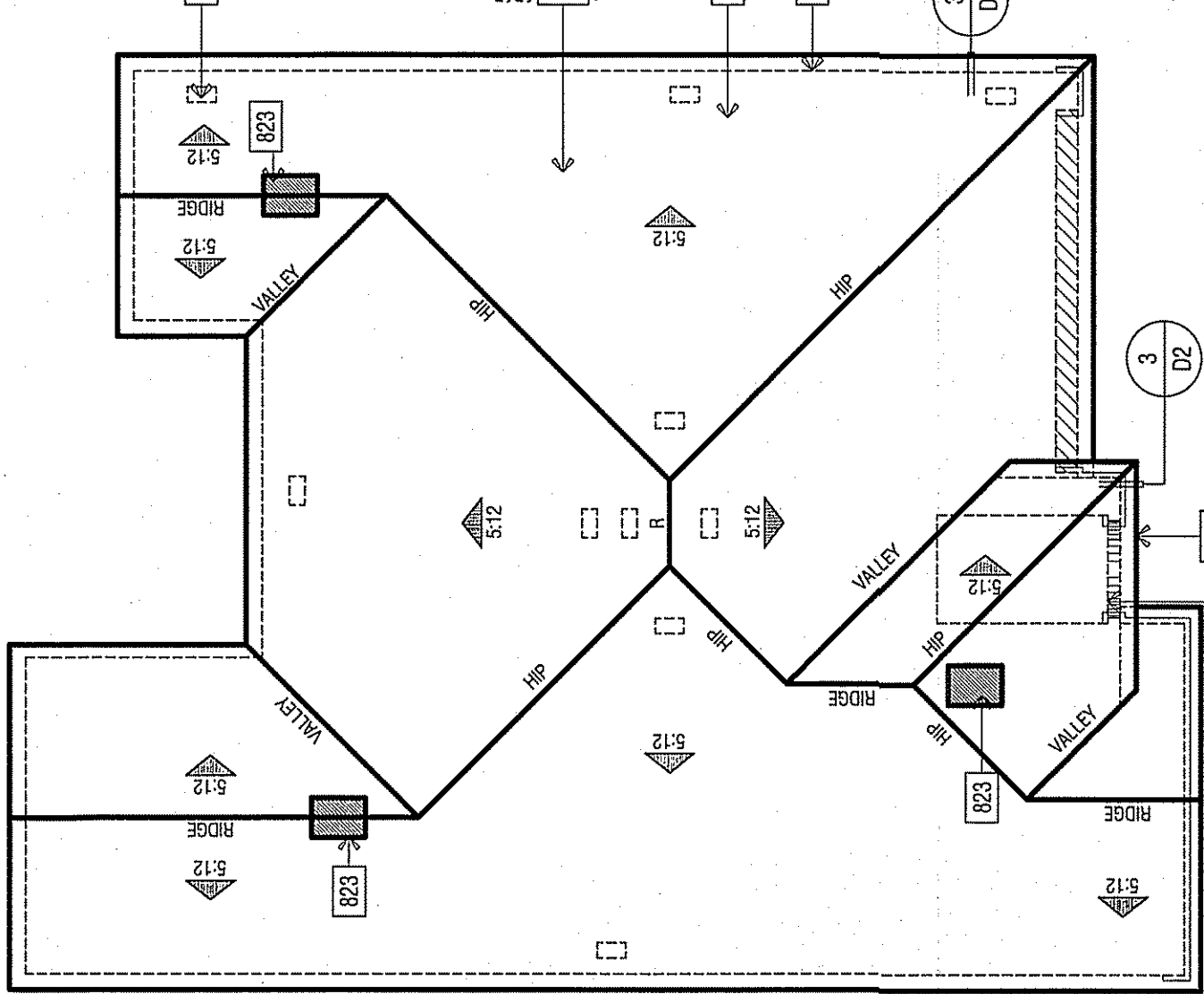
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DESIGNER:	PROJECT MANAGER: William Hezmalhalch
DRAWN BY:	PROJECT MANAGER: William Hezmalhalch
REVIEWED BY:	PROJECT MANAGER: William Hezmalhalch
1ST BLDG. DEPT. SUBMITTAL:	04-10-15
ISSUED FOR CONSTRUCTION:	2014027.00
JOB NUMBER:	2014027.00
CAD FILE NAME:	A104

DATE:	03-22-17	SHEET:	A1.4
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2014027 - 06-12-2018 - 2016 CODE UPDATE



ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE:	C	ELEVATION STYLE:	FRENCH COUNTRY
ROOF MATERIAL:	CONCRETE 'FLAT' TILE	STANDARD ROOF DETAIL UNCL. EAVE	UNCL. EAVE
CONCRETE 'FLAT' TILE	1/2"	2X6	2X6
CONCRETE 'FLAT' TILE	1/2"	9"	9"

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER IRC SECTION R807.
- PROVIDE ATTIC & SLOFT VENTILATION PER IRC SECTION R806. TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/200 IS PERMITTED IF THE SPACE IS VENTILATED BY MEANS OF MECHANICAL MEANS. MECHANICAL MEANS SHALL BE PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- MECHANICAL MEANS SHALL BE PROVIDED BY MEANS OF MECHANICAL MEANS. MECHANICAL MEANS SHALL BE PROVIDED BY MEANS OF MECHANICAL MEANS.
- MECHANICAL MEANS SHALL BE PROVIDED BY MEANS OF MECHANICAL MEANS.

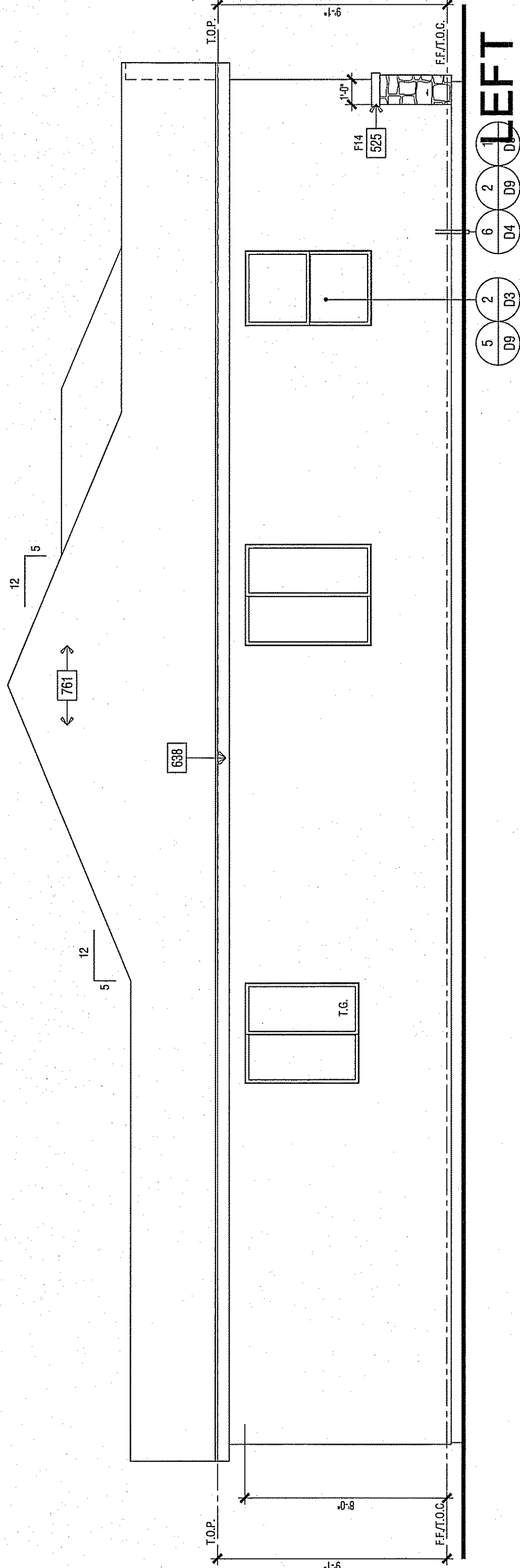
ROOF PLAN KEY NOTES

Name	NOTE
801	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING (CC# ESR-1900)
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SLOFT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - 'OHAGIN' 'M' SERIES 'CLOAKED' VENT (CC # MER-8650A)

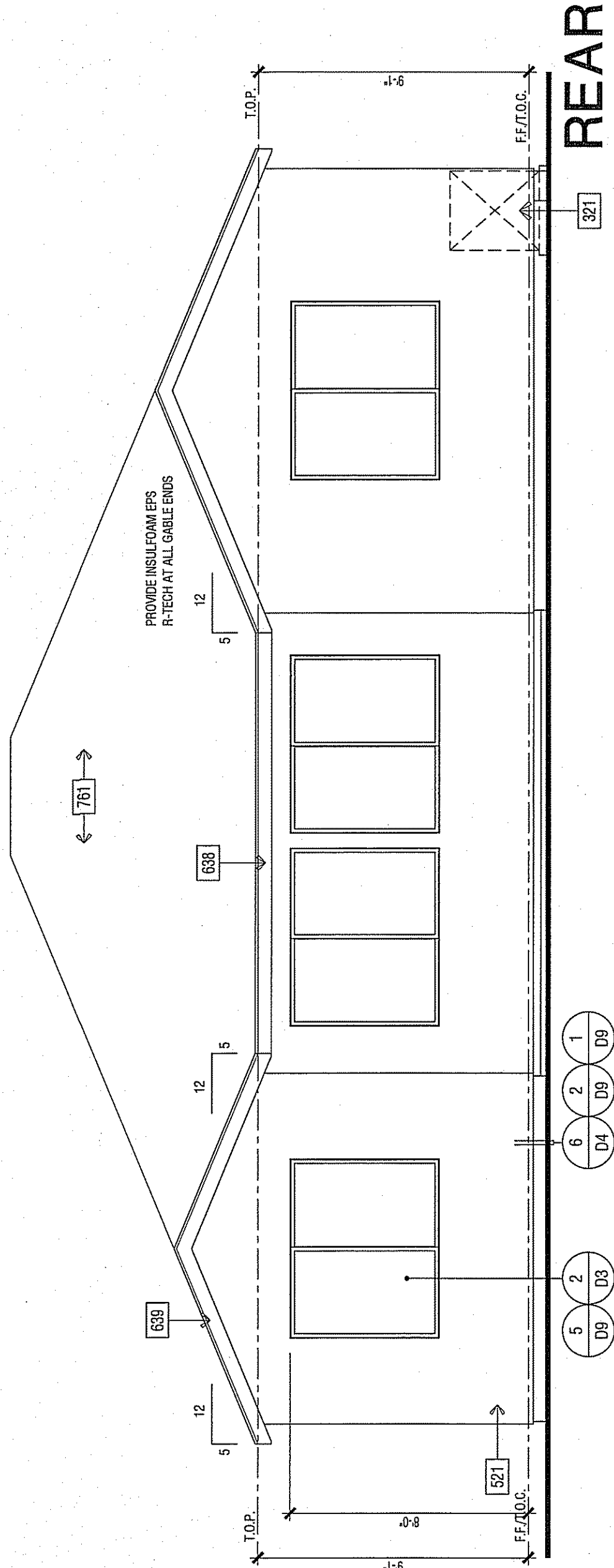
ROOF ATTIC AREA		A		1935		SQ. FT.		CALCULATION FACTOR:		1/300	
				278640		SQ. IN.					
MIN. VENTILATION REQUIRED:		TOTAL		929		SQ. IN.		TOTAL PROVIDED:		988	
MIN. VENTILATION REQUIRED:		HIGH		464		SQ. IN.		TOTAL HIGH PROVIDED		494	
MIN. VENTILATION REQUIRED:		LOW		435		SQ. IN.		TOTAL LOW PROVIDED		494	
HIGH VENTILATION METHOD											
CLOAKED VENT - CONC. F.L.T. -				SIZE		FREE AREA		QUANTITY		FREE VENT AREA	
						99		SQ. IN.		X 5	
								TOTAL PROVIDED:		494	
LOW VENTILATION METHOD											
CLOAKED VENT - CONC. F.L.T. -				SIZE		FREE AREA		QUANTITY		FREE VENT AREA	
						99		SQ. IN.		X 5	
								TOTAL PROVIDED:		494	

HIGH VENTILATION METHOD			
SIZE	FREE AREA	QUANTITY	FREE VENT AREA
9'9"	5'9"	5	494
TOTAL PROVIDED			494
CLOAKED VENT - CONG FLAT TILE -			

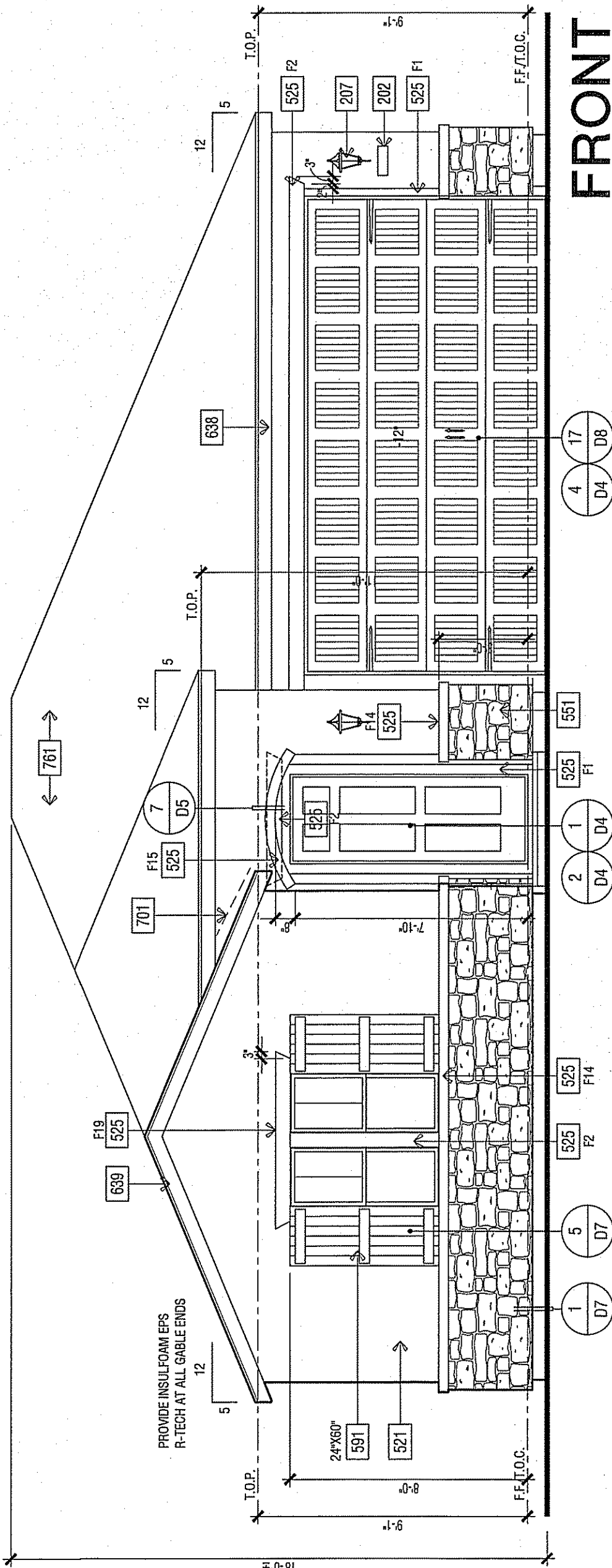
RIGHT



LEFT



REAR



FRONT

SCALE: 1/4" = 1'-0"

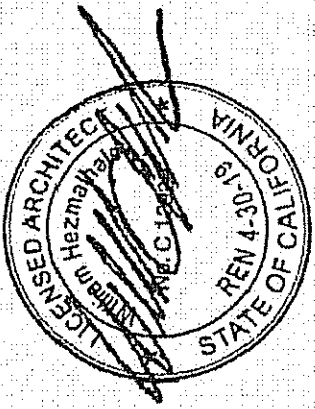
Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANEL S - VERIFY LOCATION
202	ADDRESS NUMBER - 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO (CC# ESR-1184 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SHAT 'R' GUARD ESR-1566 BY START R FOAM OVER DUPONT TYVEK
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
545	THIN SET BRICK VENEER BY ENDICOTT BRICK - ASTM C-1088 - INSTALL PER MANUFACTURERS INSTRUCTIONS
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE (CC-ES ESR-1384. INSTALL PER MANUFACTURERS INSTRUCTIONS
591	SHUTTER - SIZE PER ELEVATION
601	WOOD TRIM - SIZE PER ELEVATION
639	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
650	FIBER CEMENT LAP SIDING - 5/16" THICK 'HARDPLANK' BY JAMES HARDIE (CC-ES MER 405 (OR EQUIVALENT) FINISH: SELECT CEDAR MILL EXPOSURE 6" (INSTALLATION PER MANUFACTURERS INSTRUCTIONS)
701	G.I. FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL LOWER VENT - SIZE PER ELEVATION
761	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING (CC# ESR 1900
TYP.	2 LAYERS OF OF GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CRC 4703.03

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROVIDED WITH AN OPERABLE SCREEN OR SHUTTER. SCREENS AND SHUTTERS MUST BE A MINIMUM 4" IN DIAMETER CAN PASS THROUGH 2016 CRC 406.13.2

ELEVATION KEY NOTES



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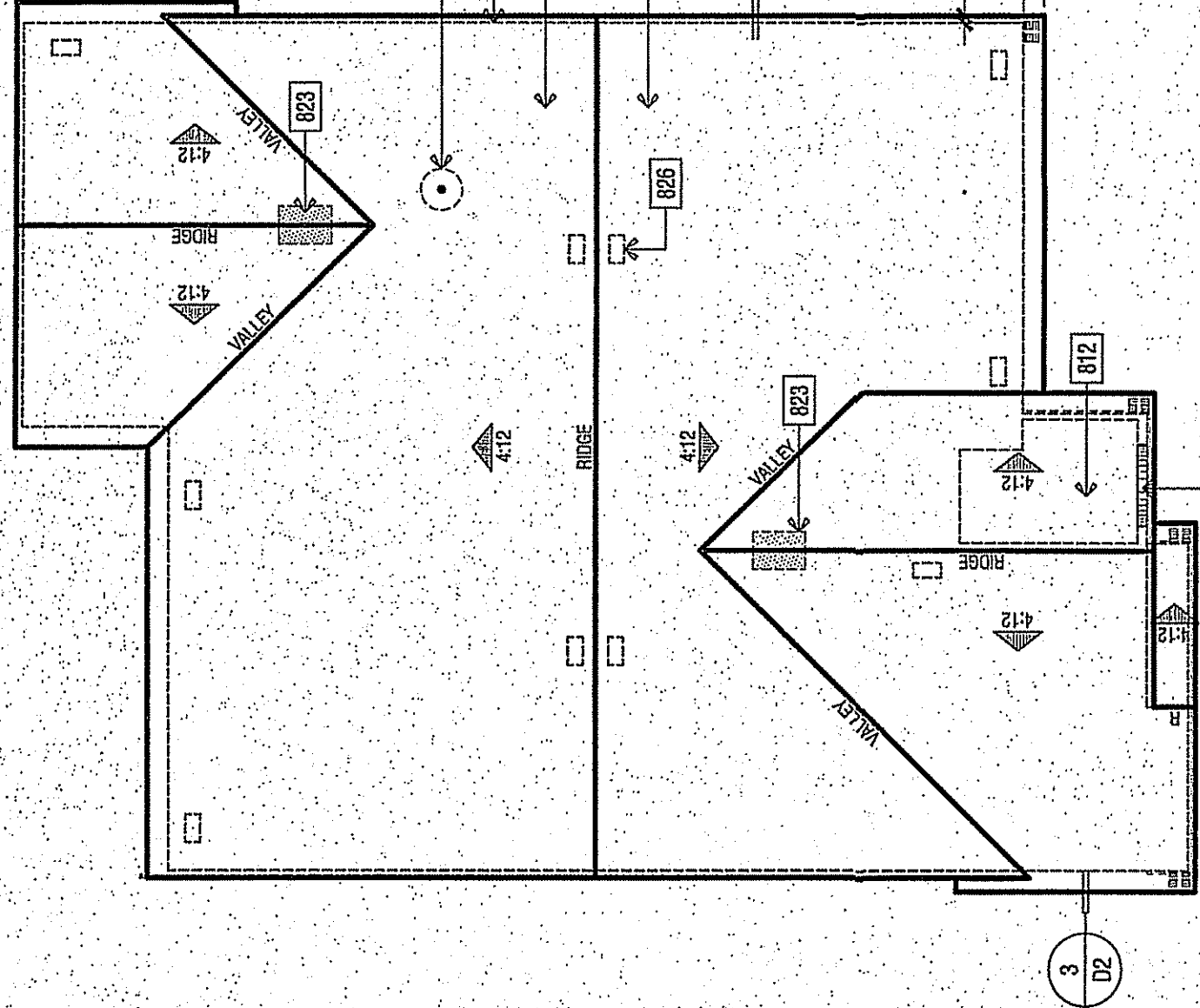


PLAN NO. 1440 SFD

PLAN 1440
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

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135	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
136	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
137	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
138	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
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140	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
141	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
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143	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
144	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
145	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
146	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
147	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
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153	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
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155	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
156	03-22-17	2014027 - 06-12-2018 - 2016 CODE UPDATE
157	03-22-17	2014027 - 06-12-2018



ROOF PLAN

SCALE: 1/8" = 1'-0"

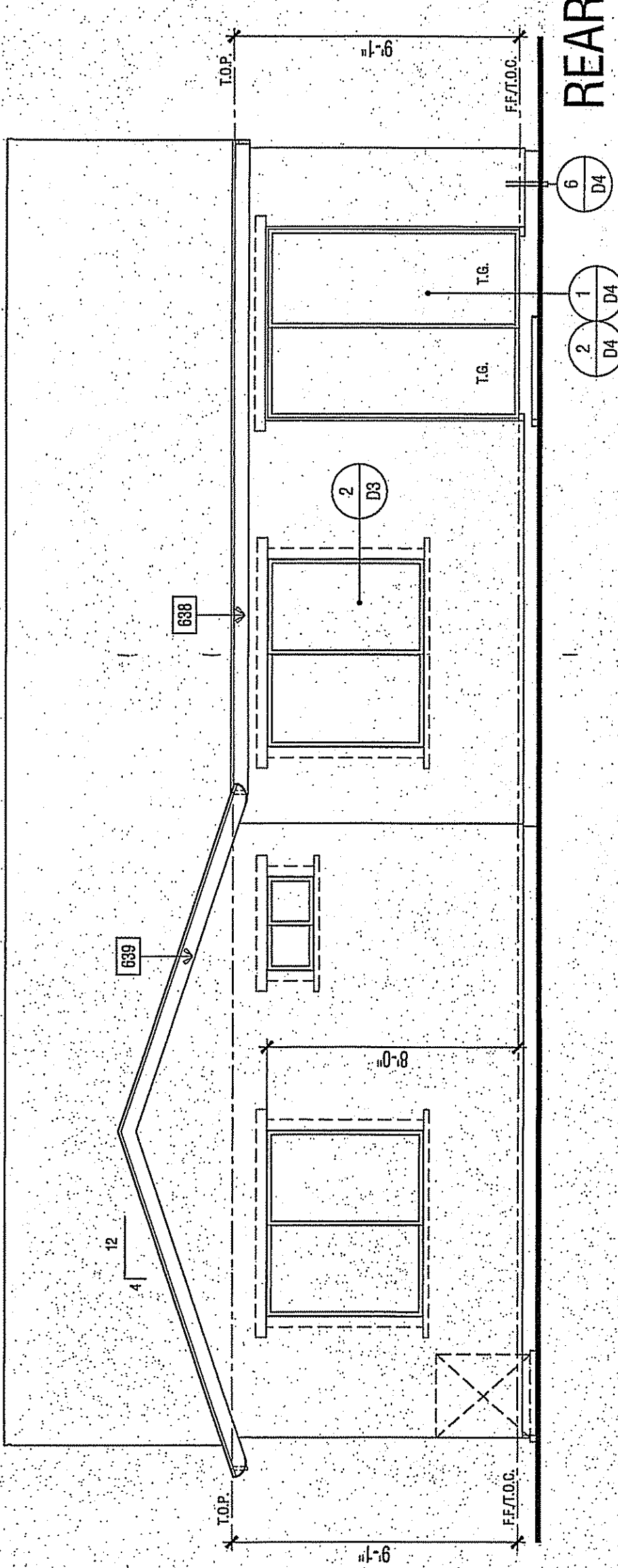
ELEVATION REFERENCE:	A	ELEVATION STYLE:	TUSCAN
ROOF MATERIAL:	STANDARD ROOF DETAIL UNO.	FACIA UNO.	OVERHANG DETAIL UNO.
LOW PROFILE CONCRETE S' TILE	(1) 2X6	2X6	1'-0" TIGHT

ROOF PLAN NOTES

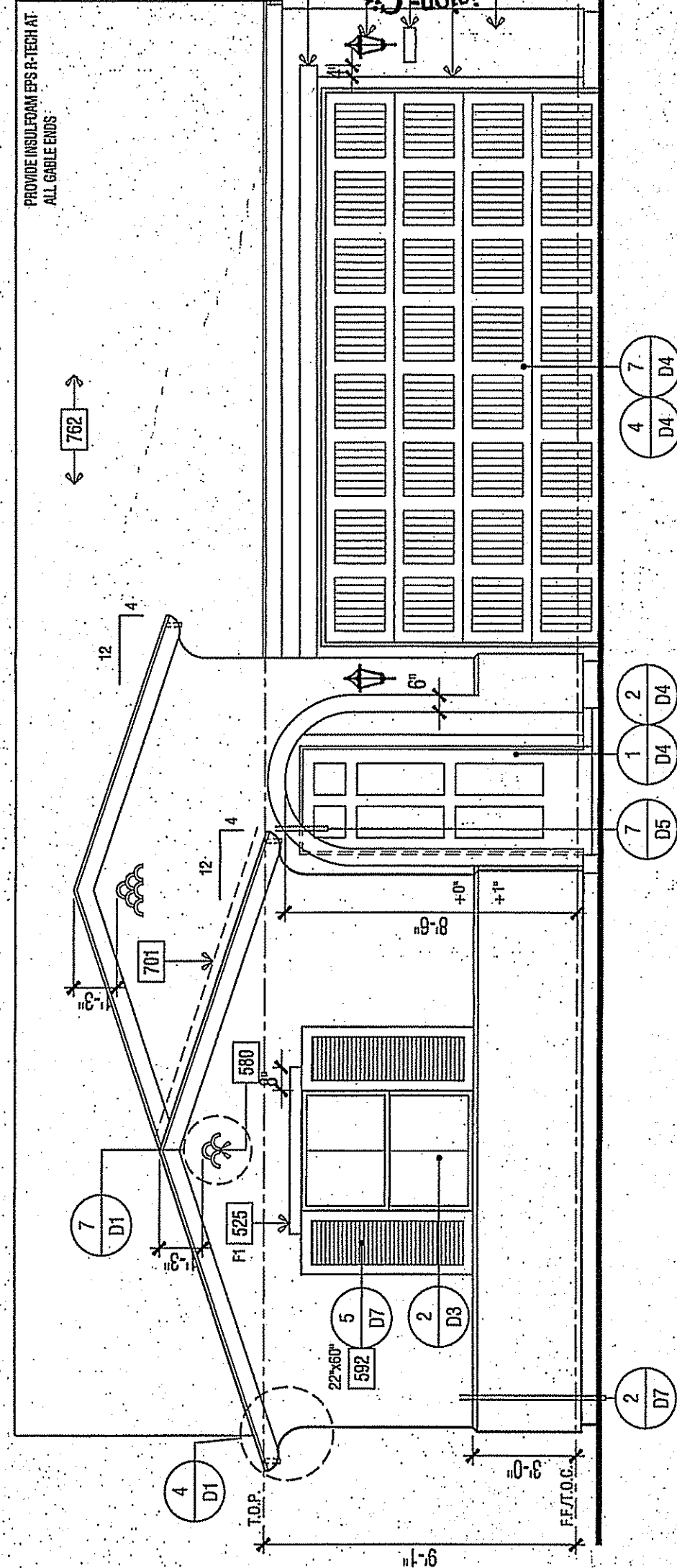
- NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CIRC SECTION 110.10.
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTIC ACCESS FOR CIRC SECTION 110.10.
 - VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - ESCALATE GABLES 14 AND 16. A CLASS 1 OR 11 WATER RESISTANT IS INSTALLED ON THE WIND-UP WIND SIDE OF THE GABLES.
 - NOT LESS THAN 10 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE INSTALLED TO MAINTAIN A MINIMUM 12 INCH CLEARANCE FROM THE ROOF FRAMING MEMBERS.
 - LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS.
 - INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ROOF PLAN KEY NOTES

NUMBER	NOTE
802	ROOFING - CONCRETE - LOW PROFILE S' TILE BY GABLE ROOFING (CCP# ESR 1000)
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN 2"X20" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - CHAMBER XL SERIES CLOAKED VENT (CC # VER-4550A)
827	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.



REAR



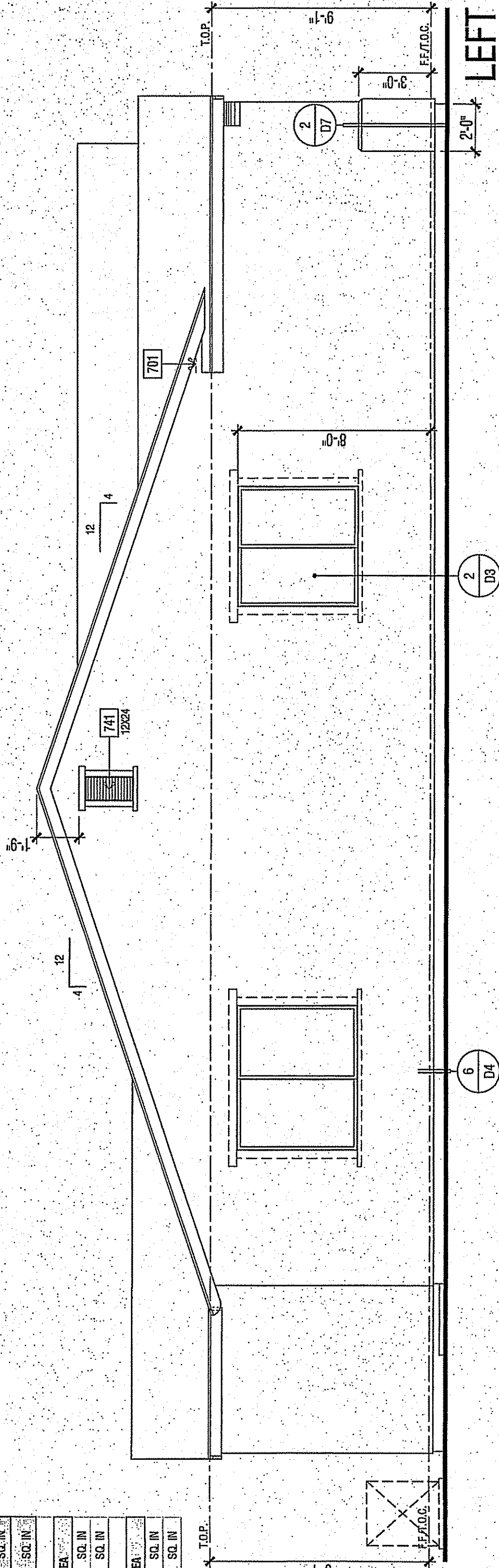
FRONT

SCALE: 1/4" = 1'-0"

NAME	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	ROUGH LIGHT LOCATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO (CCP# ESR-1194 STUCCO TYPE 1) OR 11 PORTLAND CEMENT OVER 5/8" 1" GUARD ESR-1586 BY S'ART R PAINT OVER DUPONT TYPIC
525	STUCCO OVER RIGID FOAM THIN - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
590	DECORATIVE FOAM ACCENT
592	SHUTTER - SIZE PER ELEVATION
638	2X6 WOOD BARGE BOARD
701	G.I. FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL LOWER VENT - SIZE PER ELEVATION
762	ROOFING - CONCRETE - LOW PROFILE S' TILE BY GABLE ROOFING (CCP# ESR 1000
TYP.	2 LAYERS OF 5/8" GRADE 70 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CIRC 1706.03

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CIRC 1405.02.2

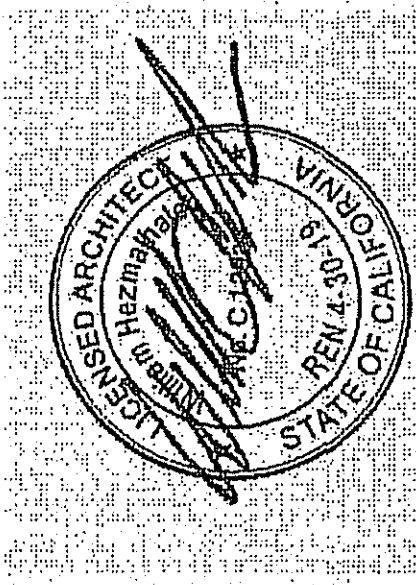
RIGHT



LEFT

ELEVATION KEY NOTES

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TRACT NUMBER
SFD

PLAN 1517
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

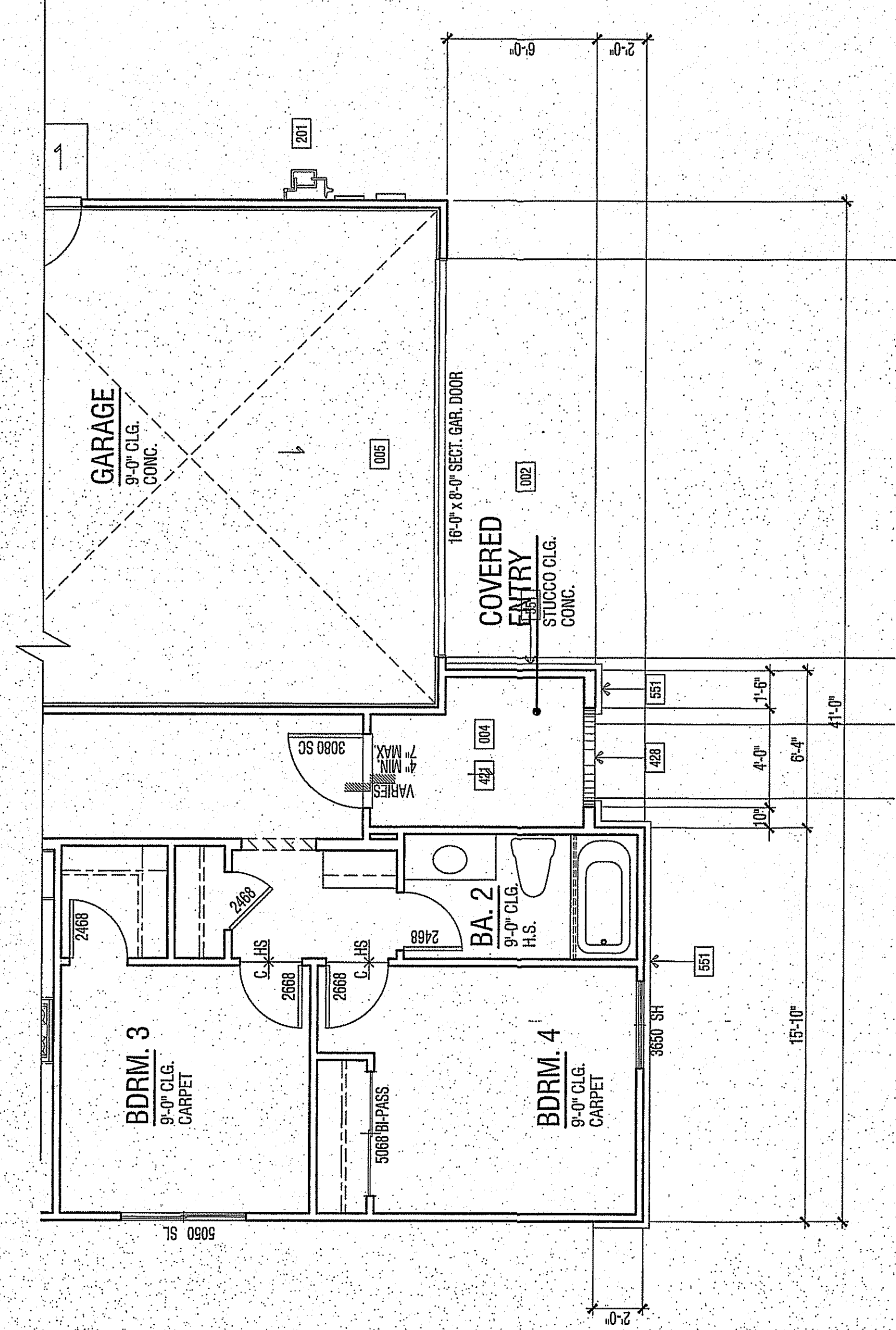
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REVISIONS

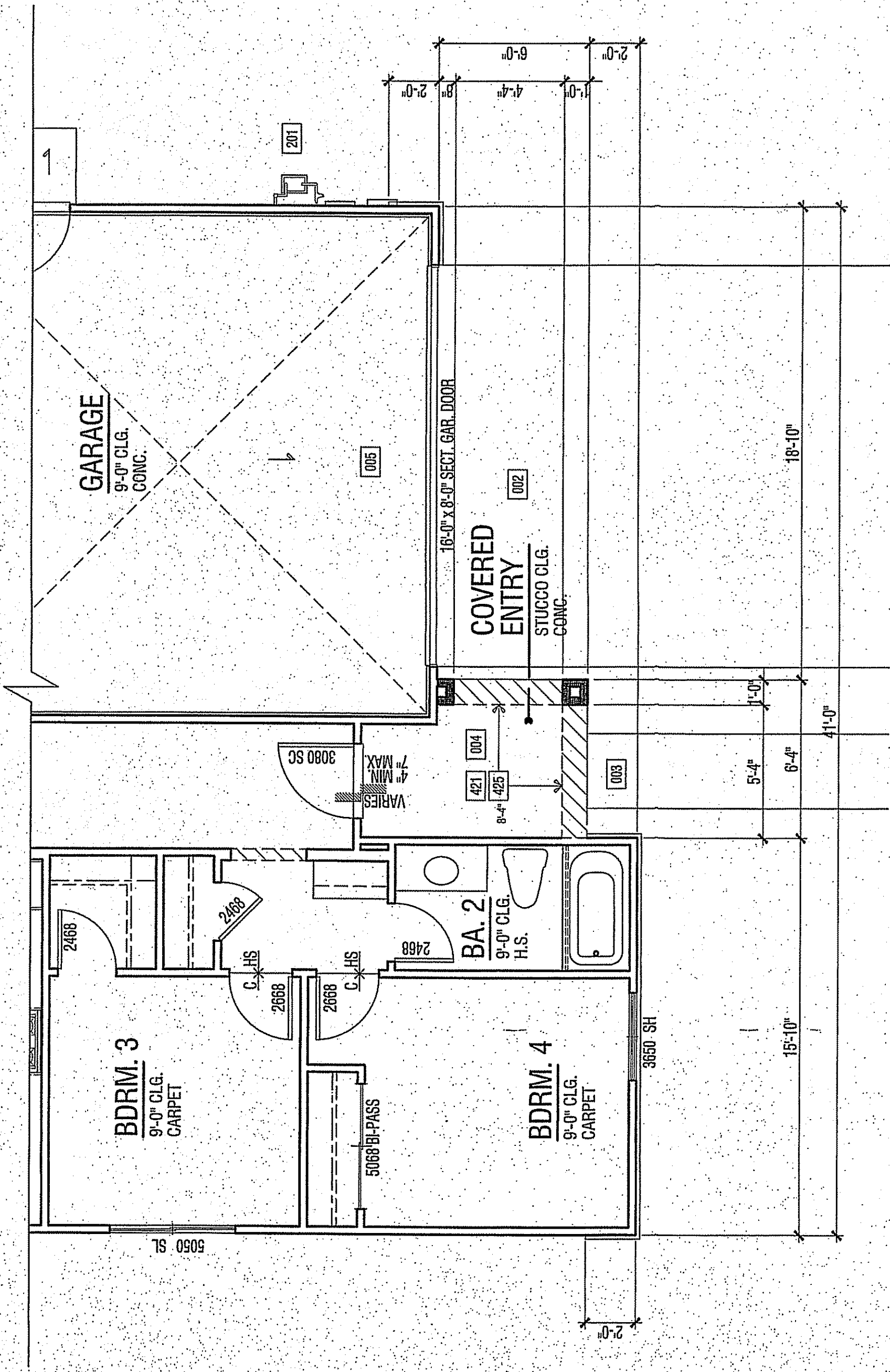
NO.	DATE	DESCRIPTION
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PROJECT MANAGER:	MH
DESIGNER:	BHAM
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2016084
CAD FILE NAME:	A704
DATE:	03-20-17
SHEET:	A7.4

2016084 - FIRST BUILDING SUBMITTAL - 03-20-17



FLOOR PLAN 1517 C



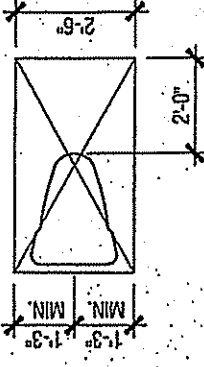
FLOOR PLAN 1517 B

FLOOR AREA TABLE		PLAN 1517 C	
FLOOR PLAN		1,517	SQ. FT.
TOTAL		1,517	SQ. FT.
GARAGE		414	SQ. FT.
COVERED ENTRY		52	SQ. FT.

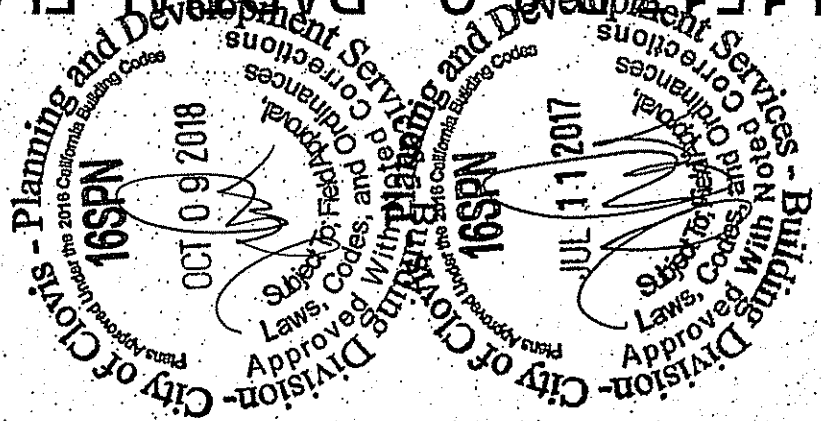
FLOOR PLAN NOTES	
1.	ATTICS: ACCESS PER CRC 1907, DRAFTSTOPS PER CRC 1902.12, AND VENTILATION PER 1906.
2.	GLAZING PER CRC 1907.1, DRAFTSTOPS PER CRC 1902.12, MEANS OF EGRESS PER CRC 1901.
3.	GLAZING PER CRC 1907.1 & 1908.
4.	FACTORY-BUILT PREFAB ASSEMBLY CHIMNEYS PER CRC 1904, RIDGES, R1006.
5.	MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 305 & 306.
6.	COMBUSTION AIR TO WATER HEATER PER CRC CHAPTER 7.
7.	ENVIRONMENTAL AIR DUCTS PER CRC SECTION 504.
8.	MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 305 & 306.
9.	MANDATORY REQUIREMENTS FOR APPLIANCES PER CRC SECTION 110.1.
10.	THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. 2016 CRC 1901.01.
11.	THAN 4" ABOVE THE FINISHED FLOOR AND MORE THAN 12" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR. MUST BE PROTECTED BY A GUARD OR HAVE PER GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH.
12.	A SHEETROCK INSULATION INSPECTION IS REQUIRED. 2016 CRC R103.1.2.2 & 2016 CRC 110.3.5.
13.	GLAZING IN A HAZARDOUS LOCATION IS REQUIRED. 2016 CRC R103.1.2.2 & 2016 CRC 110.3.5.
14.	MATERIAL. 2016 CRC 1903.
15.	VERTICAL CLEARANCE ABOVE THE WINDOW FOR THE GAS VENTILANCE OPENING SHALL BE 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 2016 CRC 916.1 & 916.2.
16.	A SHEETROCK INSULATION INSPECTION IS REQUIRED. 2016 CRC R103.1.1.
17.	THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SHALL BE FINISHED TO THE SAME STANDARD AS THE FINISH WALL. 2016 CRC 1901.01.
18.	NOTE THE USE OF FIBER GLASS, FIBER MAT, FIBERGLASS GELCOAT OR GLASS MAT EPS/PIR BATT INSULATION IN THE FLOOR PLAN. NOTE THAT WATER RESISTANT EPS/PIR BOARD IS NOT LONGER PERMITTED IN SLEEPING ROOMS. 2016 CRC 1902.4.2.
19.	NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CRC 1903.01.
20.	NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CRC 1903.01.
21.	AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH TITLE 24 REQUIREMENTS.
22.	THESE PLANS SHOW THE MINIMUM REQUIREMENTS FOR THE INSTALLATION OF MECHANICAL, ELECTRICAL, PLUMBING, AND HEATING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM FREQUENTLY. CDR TITLE 20

Items	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALL (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
421	STUCCO CEILING HEIGHT PER PLAN
425	WOOD SOFFIT HEIGHT PER ELEVATION
426	ARCHED STUCCO SOFFIT - HEIGHT PER ELEVATION
545	THIN SET BRICK FINISH BY SUBMITT BRICK - ASTM C-1088 - INSTALL PER MANUFACTURERS INSTRUCTIONS
551	MANUFACTURED ADHERED STUCCO STONE FINISH BY CULTURED STONE CC-55 CSR-354. INSTALL PER MANUFACTURERS INSTRUCTIONS

REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



FLOOR AREA TABLE		PLAN 1517 B	
FLOOR PLAN		1,517	SQ. FT.
TOTAL		1,517	SQ. FT.
GARAGE		414	SQ. FT.
COVERED ENTRY		52	SQ. FT.

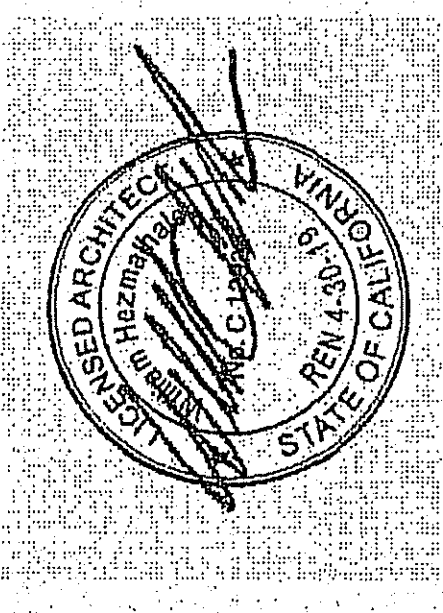


PLAN 1517-B & C - PARTIAL FLOOR PLANS

SCALE: 1/4" = 1'-0"



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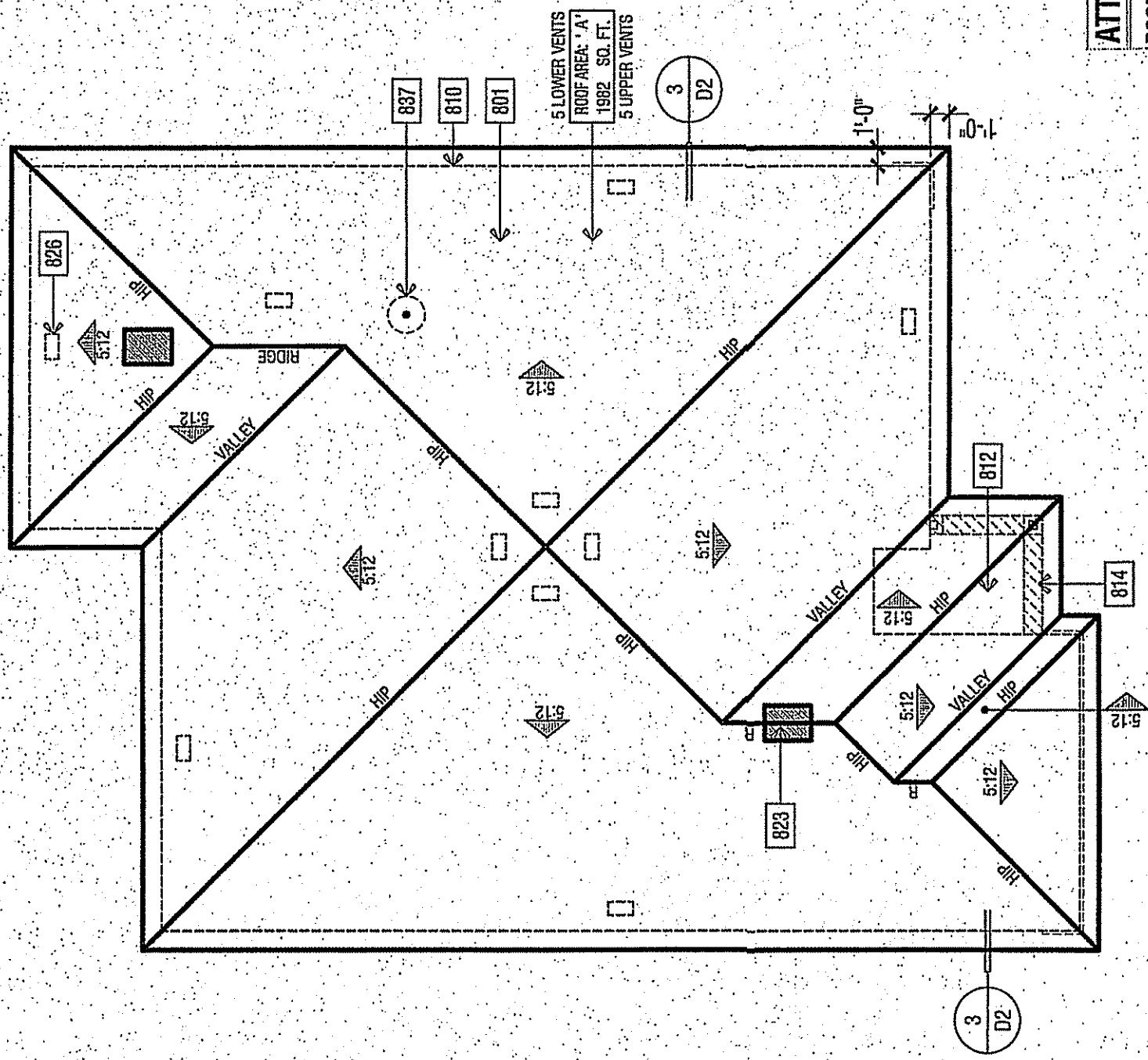
TRACT NUMBER
SFD

PLAN 1517
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS		DO	NOT	SCALE	PLANS
NO.	DATE	DESCRIPTION			
PROJECT MANAGER:		MM			
DESIGNER:		BHAM			
DRAWN BY:					
REVIEWED BY:					
1ST BLDG. DEPT. SUBMITTAL:					
ISSUED FOR CONSTRUCTION:					
JOB NUMBER:		2016084			
CNO FILE NAME:		A705			
DATE:		03-20-17			
SHEET:		A7.5			

2016084 - FIRST BUILDING SUBMITTAL - 03-20-17



ROOF PLAN

SCALE: 1/8" = 1'-0"

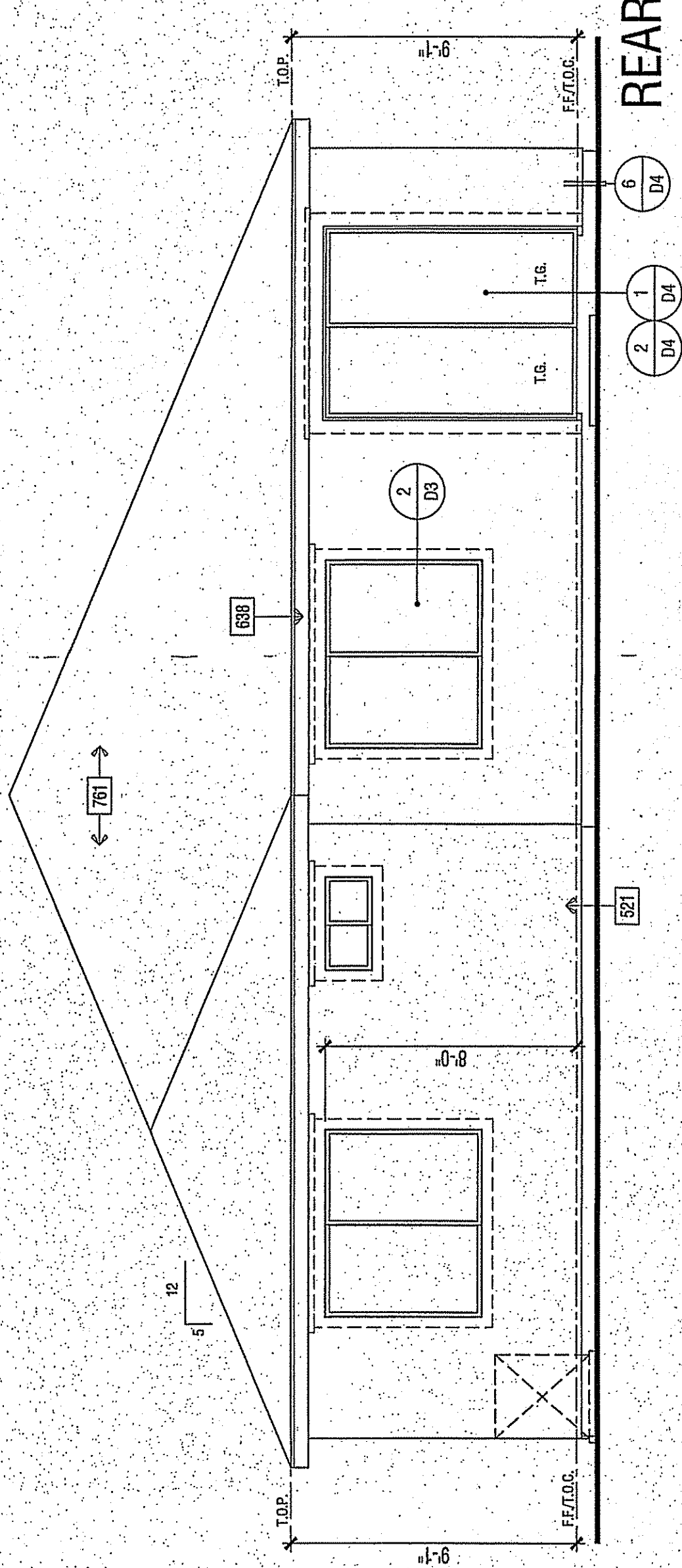
ELEVATION REFERENCE	B	ELEVATION STYLE	REGENCY
ROOF MATERIAL		STANDARD ROOF DETAIL UNL.O.	BARGE- UNL.O. FASCIA- UNL.O. EAVE PAKE
CONCRETE 'FLAT' TILE		1 122	2X6
"DABLE ROOFING" GOLF 533-1800			2X6
			1'-0"
			1'-0"

ROOF PLAN NOTES

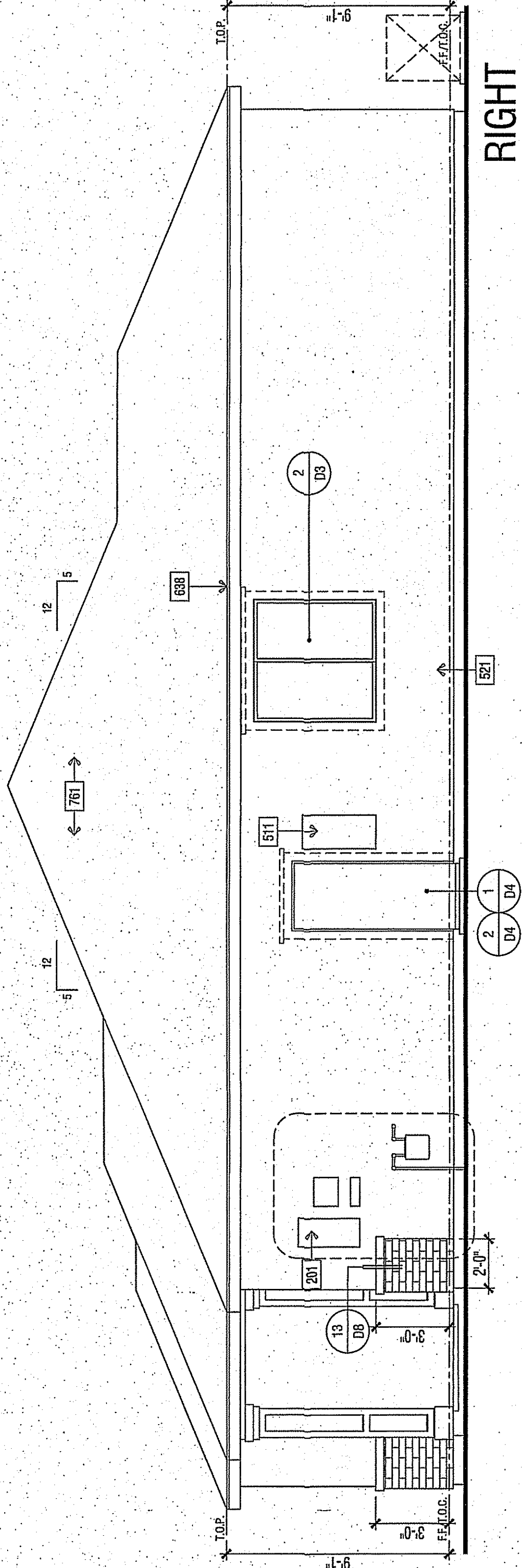
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CEC SECTION 110.10.

1. SEE GENERAL NOTES FOR ROOF NOTES.
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. PROVIDE A LATH & GYPSUM VENTILATING PER GIR SECTION R806. PER GIR SECTION R802, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/10 OF THE AREA OF THE VENTED SPACE. EXCEPT, THE MINIMUM NET FREE VENTILATING AREA LATH & GYPSUM VENTILATING PER GIR SECTION R806 SHALL BE 1/10 OF THE AREA OF THE VENTED SPACE.
4. PROVIDE 1/2" MINIMUM THICKNESS OF INSULATION. PROVIDE 1/2" MINIMUM THICKNESS OF INSULATION.
5. IN CLIMATE ZONES 14 AND 15, A CLASS 1 OR LOWER REFRIGERANT IS INSTALLED ON THE WARM-WATER SIDE OF THE CEILING.
6. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY MEANS OF MECHANICAL EXHAUST SYSTEMS.
7. MECHANICAL EXHAUST SYSTEMS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE INSIDE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY FAN OR EXHAUST VENTS, WHERE THE BALANCE OF THE REQUIRED VENTILATION IS PROVIDED BY MEANS OF MECHANICAL EXHAUST SYSTEMS.
8. MECHANICAL EXHAUST SYSTEMS SHALL BE LOCATED NO MORE THAN 6'6" (1981 MM) ABOVE THE SPACE OR EXHAUST VENTS, WHERE THE BALANCE OF THE REQUIRED VENTILATION IS PROVIDED BY MEANS OF MECHANICAL EXHAUST SYSTEMS.

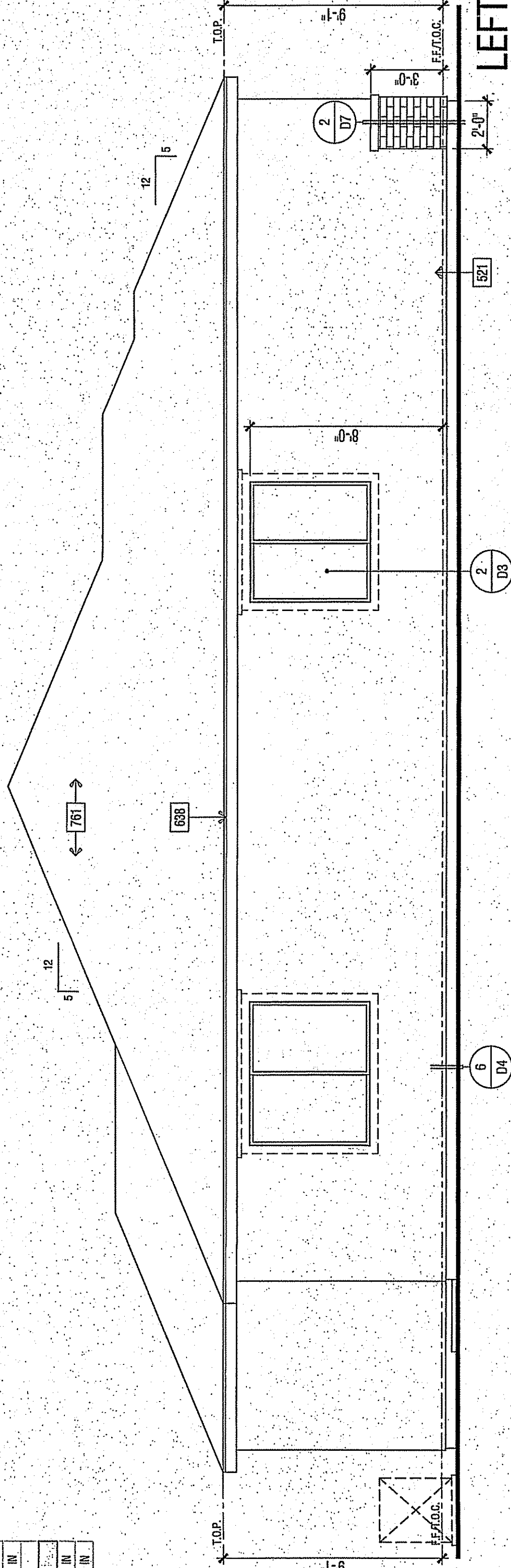
Notes	NOTE
807	ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING (OC# ESR 180)
810	LINE OF WALL BELOW
812	STUCCO CEILING
814	WOOD SOFFIT
823	MIN. 22'X30" CLEAR OPENING FOR ACCESS AND ARROWL CONTRACTOR TO VERIFY ARROWL TO ALL ATTIC BEAMS
828	ROOF VENT - CHIMNEY XL SERIES CLAUDED VENT (JC# 418R-850A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.



REAR



RIGHT



LEFT

ATTIC VENTILATION CALCULATIONS				PLAN	7B
ROOF ATTIC AREA	A	SQ. FT.		CALCULATION FACTOR:	1/300
	236.482	SQ. IN.			
MIN. VENTILATION REQUIRED:	TOTAL	942	SQ. IN.	TOTAL PROVIDED:	990
MIN. VENTILATION REQUIRED:	HIGH	471	SQ. IN.	TOTAL HIGH PROOF:	495
MIN. VENTILATION REQUIRED:	LOW	471	SQ. IN.	TOTAL LOW PROOF:	495
HIGH VENTILATION METHOD			SIZE	FREE VENT AREA	
CLOAKED VENT - CONC. TILE		99	SQ. IN. X 1/8"	QUANTITY	
				495	SQ. IN.
				TOTAL PROVIDED:	495
LOW VENTILATION METHOD			SIZE	FREE VENT AREA	
CLOAKED VENT - CONC. TILE		99	SQ. IN. X 1/8"	QUANTITY	
				495	SQ. IN.
				TOTAL PROVIDED:	495

Item	Note
201	UTILITY EQUIPMENT AND PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERISTICS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	CORNER LIGHT LOCATION
620	STUCCO - ONESKA DIAMOND WALL ONE COAT STUCCO GC-2 ESR-114 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER S-7 GUARD ESR-1666 BY START R
511	FOAM OVER DOWEL TIE/VEK
515	REINFORCING BAR, RAILLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER 1/2" FOAM TRIM - FORM SHIM PER ELEVATION (SEE SHEET D)
546	THIN SET BRICK VENEER BY ENDUMIT BRICK - ASTM C-1083 - INSTALL PER MANUFACTURERS INSTRUCTIONS - INSLA 137.1
620	BUILT UP COLUMN - SEE PER DETAIL 105
620	OUTLOOKER ASSEMBLY - WOOD (SIZE AND SHIM PER DETAIL 105)
638	2X6 WOOD FASCIA
761	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ESR 1800
TYP.	2 LAYERS OF 6" GRADE G BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CBC R703.63

AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT ARE OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1405.13.2

DO	NOT	SCALE	PLANS
REVISIONS			
NO.	DATE	DESCRIPTION	

PROJECT MANAGER:	RH	SHEET:
DESIGNER:	BHAM	
DRAWN BY:		
CHECKED BY:		
1ST BLDG. DEPT. SUBMITTAL:		
ISSUED FOR CONSTRUCTION:		
JOB NUMBER:	2016094	
CAD FILE NAME:	A706	

DATE: 03-20-17	SHEET: A7.6
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SCALE: 1/4" = 1'-0"

PLAN 1517

WILSON HOMES
FRESNO, CALIFORNIA

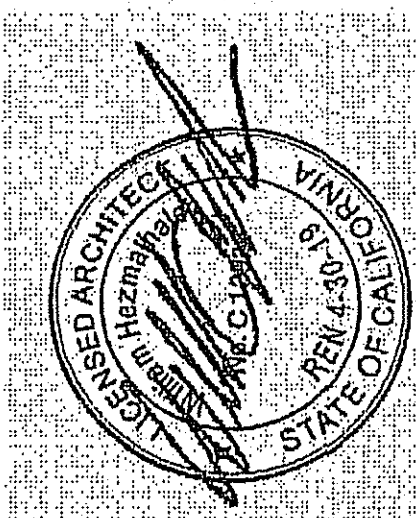
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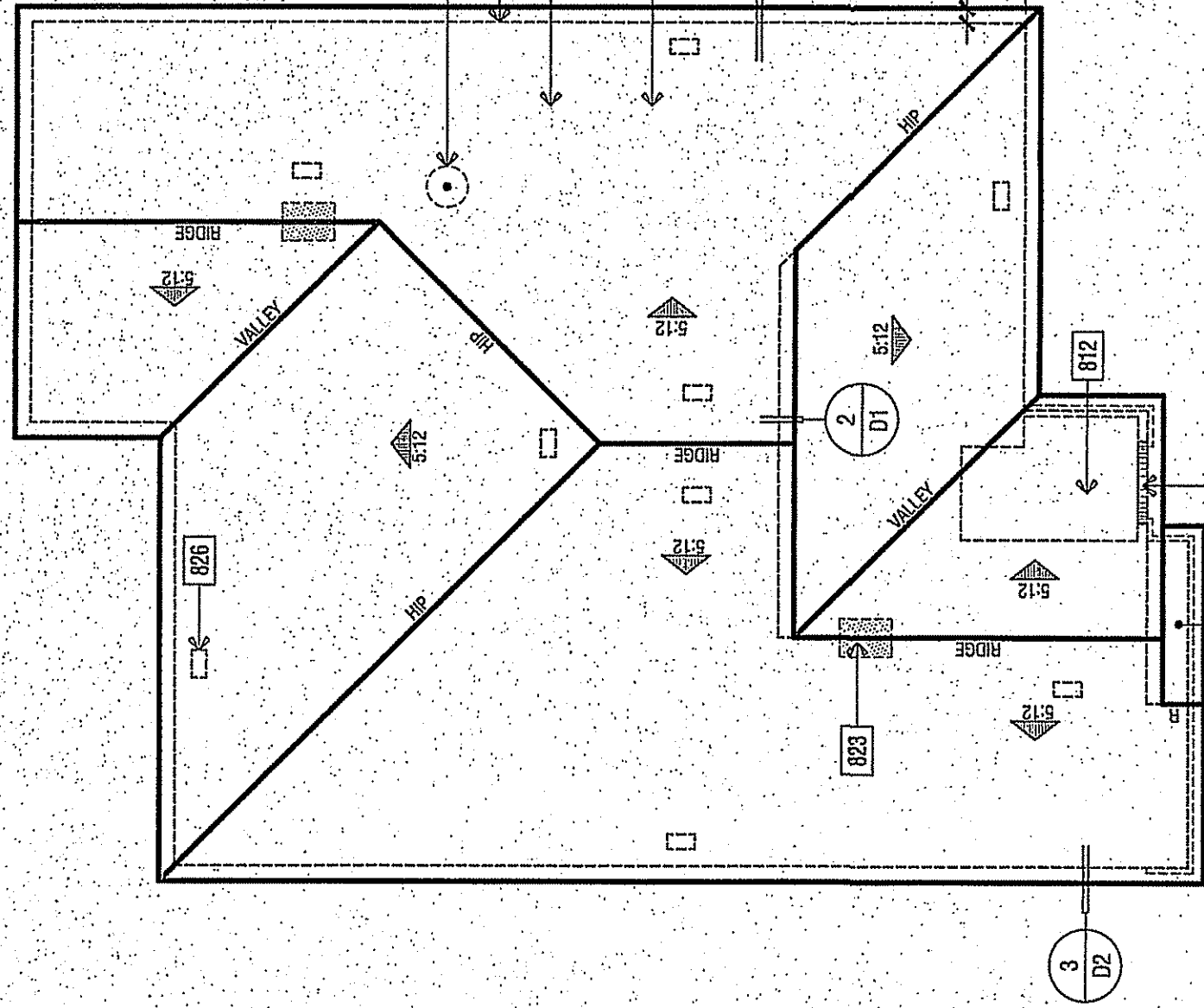
2016084 - FIRST BUILDING SUBMITTAL - 03-20-17

ELEVATION KEY NOTES

Name	201	202	207	521	511	525	545	620	626	638	761	TYP.
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ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE:	C	ELEVATION STYLE:	FRENCH COUNTRY
ROOF MATERIAL:	STANDARD ROOF CENTRAL VALLEY	BARRE - VALLEY	OVERHANGING EAVE - VALLEY
CONCRETE FLAT TILE	1 D2	2X6	2X6
SHINGLE ROOFING ICC# ESR-1600			

ROOF PLAN NOTES

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CIRC SECTION 110.10.

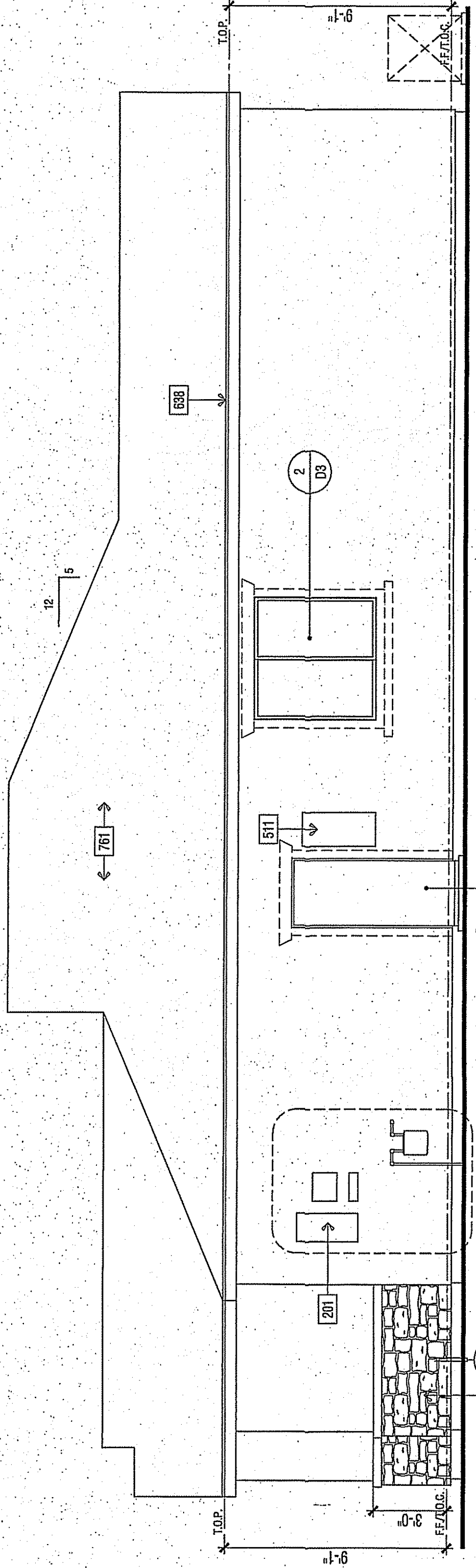
- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PROVIDE AT LEAST A SHORT VENTILATION PER CIRC SECTION 110.10.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - THE VENTED SPACE IS A GARAGE OR ATTACHED GARAGE.
 - THE VENTED SPACE IS A GARAGE OR ATTACHED GARAGE.
 - THE VENTED SPACE IS A GARAGE OR ATTACHED GARAGE.
- NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE VENTILATORS WITH THE RANGE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR GROUND VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMES CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ROOF PLAN KEY NOTES

Name	NOTE
801	ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING ICC# ESR 1600
810	LINE OF WALL BELOW
812	STUCCO CEILING
823	MIN. 22X30" CLEAR OPENING FOR ACCESS AND ABOVE LOW CONTRACTOR TO VERIFY ABOVE TO ALL ATTIC REGS
826	ROOF VENT - CHAMBER VAL SERIES (CLOSED VENT ICC # NER-850A)
827	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION

ATTIC VENTILATION CALCULATIONS				PLAN 7C	
ROOF ATTIC AREA	A	1982	SQ. FT.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL	942	SQ. IN.	TOTAL PROVIDED:	990
MIN. VENTILATION REQUIRED:	HIGH	471	SQ. IN.	TOTAL HIGH PROVIDED:	495
MIN. VENTILATION REQUIRED:	LOW	471	SQ. IN.	TOTAL LOW PROVIDED:	495
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CLOSED VENT - CONIC. FLAT TILE	59	SQ. IN. X 1	5	495	SQ. IN.
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CLOSED VENT - CONIC. FLAT TILE	59	SQ. IN. X 1	5	495	SQ. IN.

RIGHT



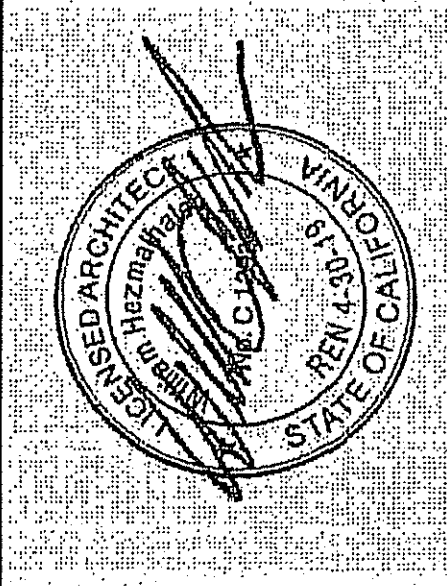
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR SHALL BE PROTECTED BY A GUARD OR, HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1405.13.2

Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERISTICS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
311	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
321	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO, TYPE 1 OR 11 PORTLAND CEMENT OVER SHAT 1/2" GAUDED ESR-1596 BY START R FOAM OVER DUCT POINT TYPER
325	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
351	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1384. INSTALL PER MANUFACTURER'S INSTRUCTIONS
392	SHUTTER - SIZE PER ELEVATION
393	2X6 WOOD BARGE BOARD
701	6:1 FLASHING
761	ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING ICC# ESR 1600
771	2 LAYERS OF 1/2" GROUND 9" BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CBC 1702.3.3

ELEVATION KEY NOTES



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TRACT NUMBER
SFD

PLAN 1517

WILSON HOMES
CLOVIS, CALIFORNIA
FRESNO, CALIFORNIA

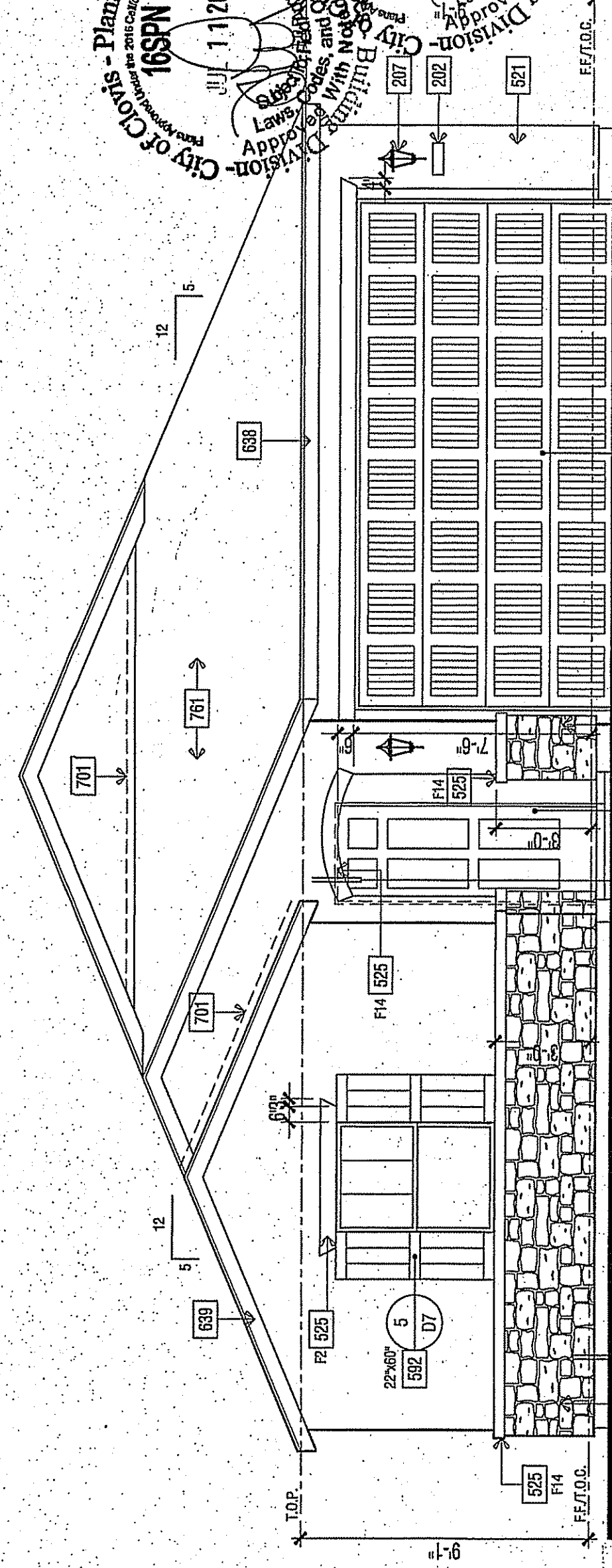
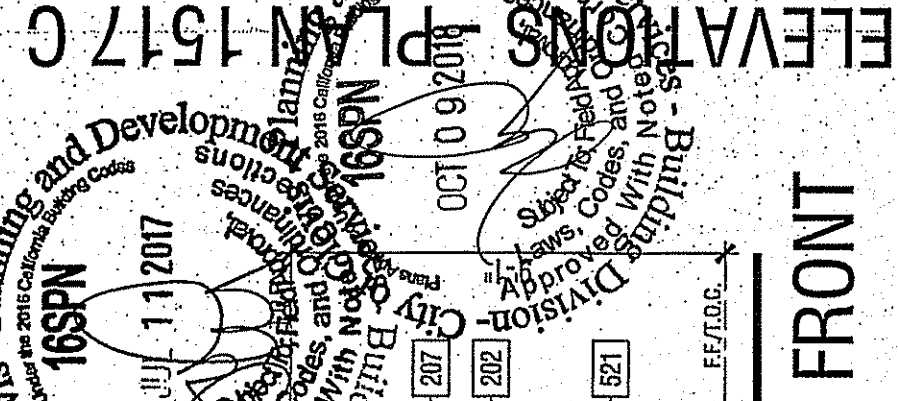
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REVISIONS

NO.	DATE	DESCRIPTION

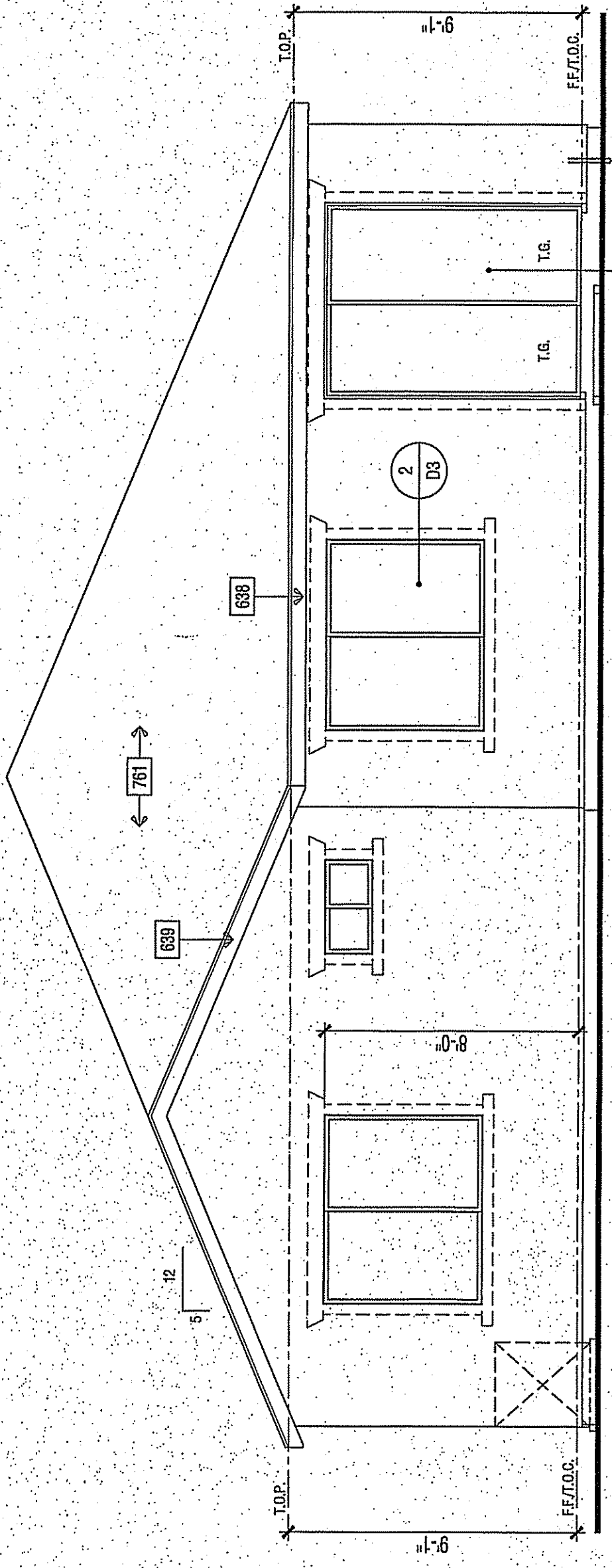
PROJECT MANAGER:	MH
DESIGNER:	BHAM
DRAWN BY:	
CHECKED BY:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2016084
DWG FILE NAME:	A707
DATE:	03-20-17
SHEET:	A7.7

2016084 - FIRST BUILDING SUBMITTAL - 03-20-17

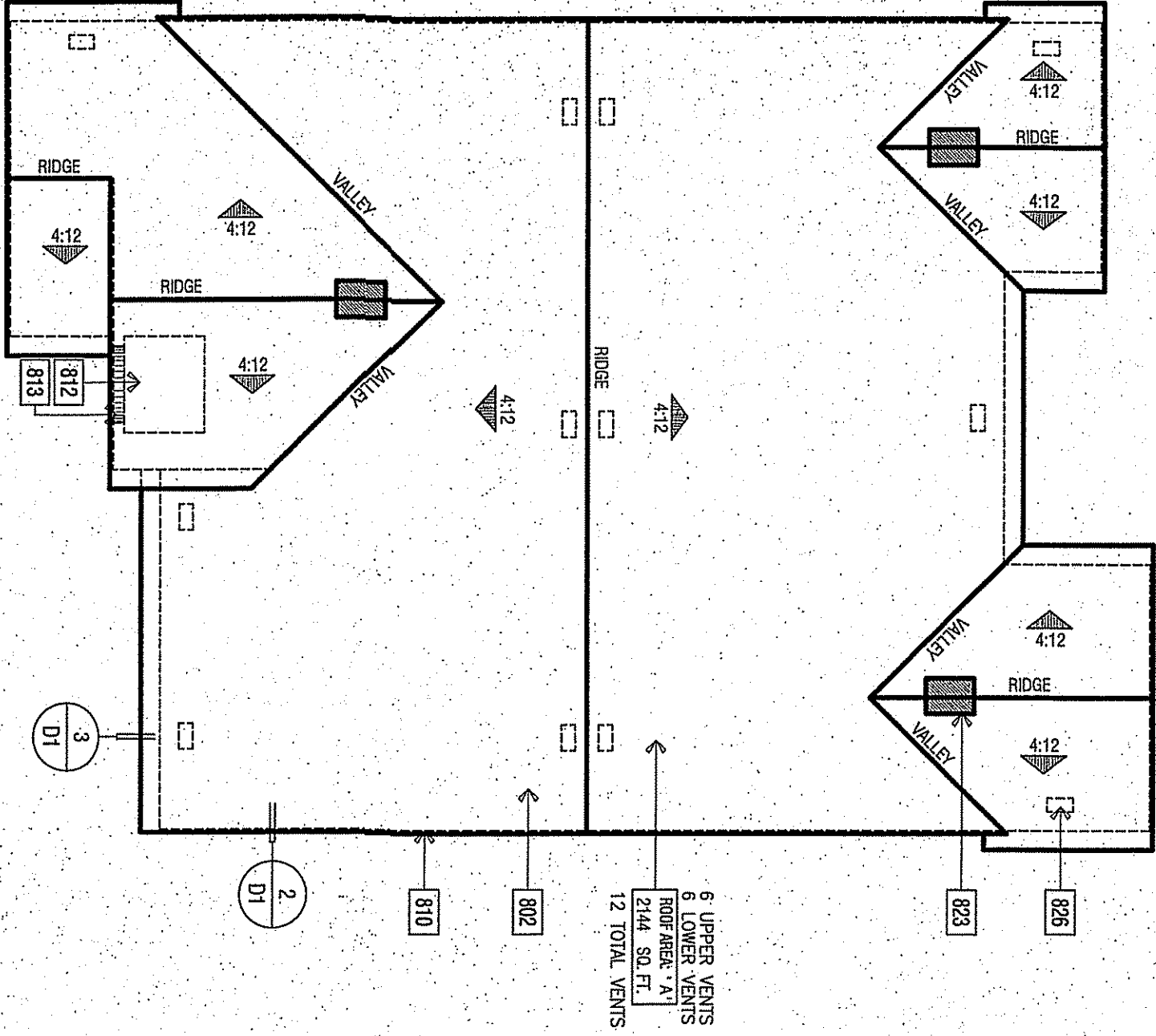


FRONT

SCALE: 1/4" = 1'-0"



REAR



ROOF FASC AREA	A	2144	SQ. FT.	CALCULATION FACTOR	71/300
MIN. VENTILATION REQUIRED		300/26	SQ. IN.	TOTAL PROVIDED	1170
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505
MIN. VENTILATION REQUIRED		515	SQ. IN.	TOTAL PROVIDED	505

ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE: A

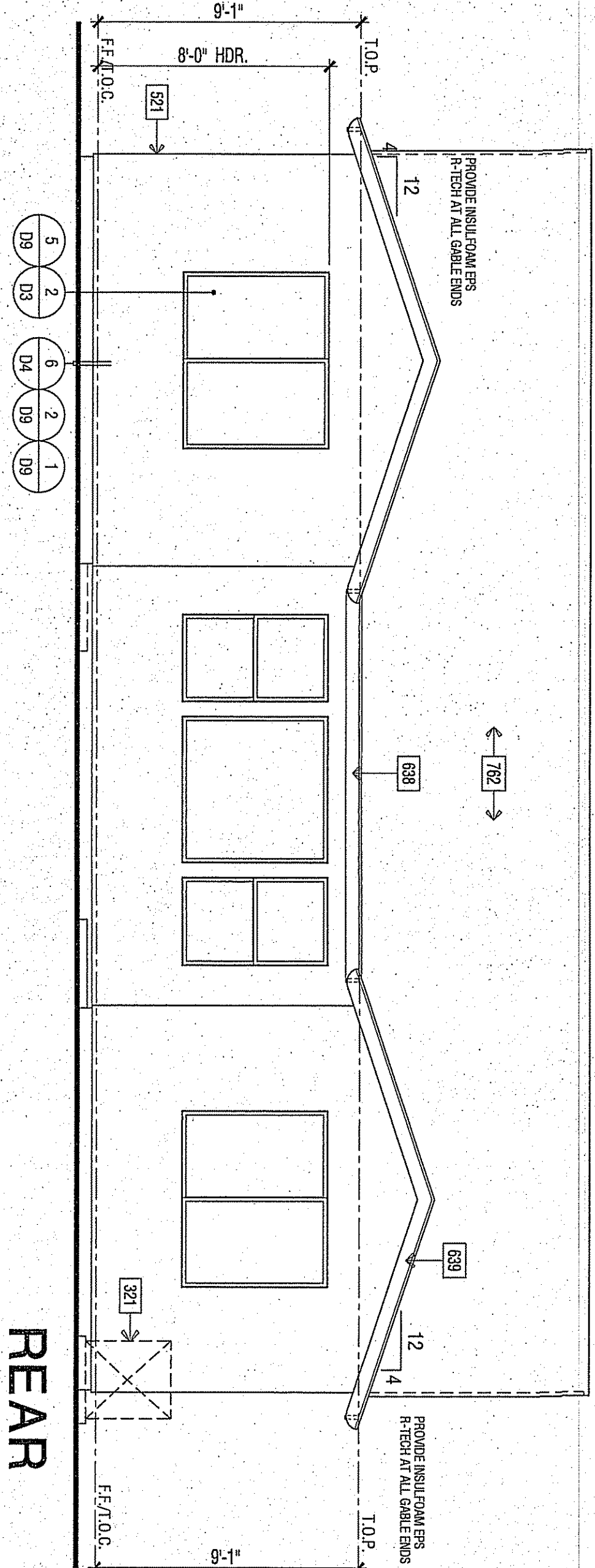
ELEVATION STYLE: SPANISH

ROOF MATERIAL	SPANISH	SPANISH	SPANISH	SPANISH	SPANISH
LOW PROFILE CONCRETE S TILE	1	2X6	2X6	1'-0"	1'-0"
SPANISH ROOFING ICC# ESR-1800					

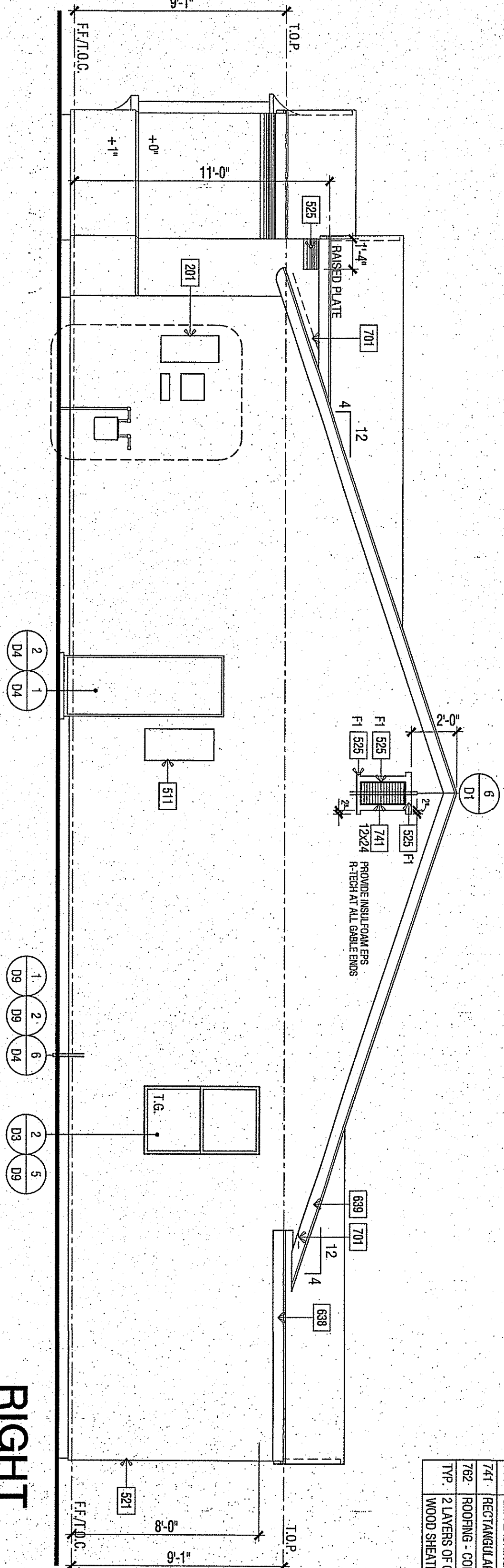
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPANISH ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- PROVIDE 4:12 SLOPE VENTILATION PER GABLE SECTION AREA. TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/60 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/200 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NO MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED THROUGH EACH GABLE. THE REMAINING VENTILATING AREA SHALL BE PROVIDED THROUGH THE ROOF. THE GABLES SHALL BE PROVIDED WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY GABLE OR GABLE VENTS.
- ALL ATTIC AREAS SHALL BE VENTILATED WITH 1:12 SLOPE VENTILATION PROVIDED BY GABLE OR GABLE VENTS.
- ALL ATTIC AREAS SHALL BE VENTILATED WITH 1:12 SLOPE VENTILATION PROVIDED BY GABLE OR GABLE VENTS.

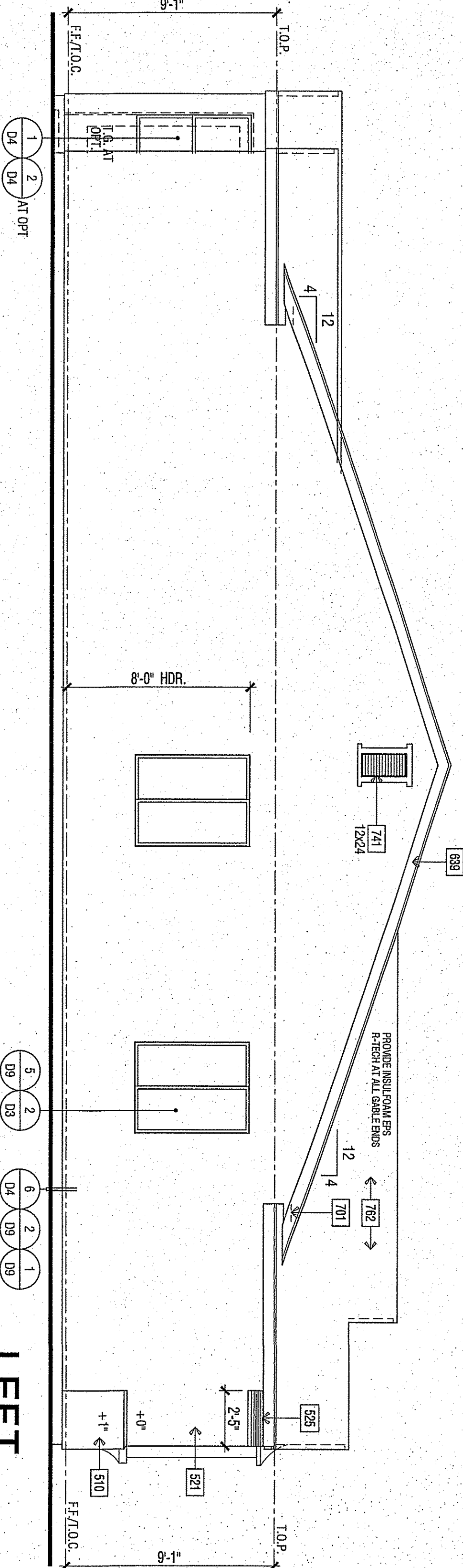
Name	NOTE
202	ROOFING - CONCRETE - LOW PROFILE S TILE BY EAGLE ROOFING ICC# ESR-1800
310	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
828	ROOF VENT - CHAIN XL SERIES CLOAKED VENT (ICC # IER-9650A)



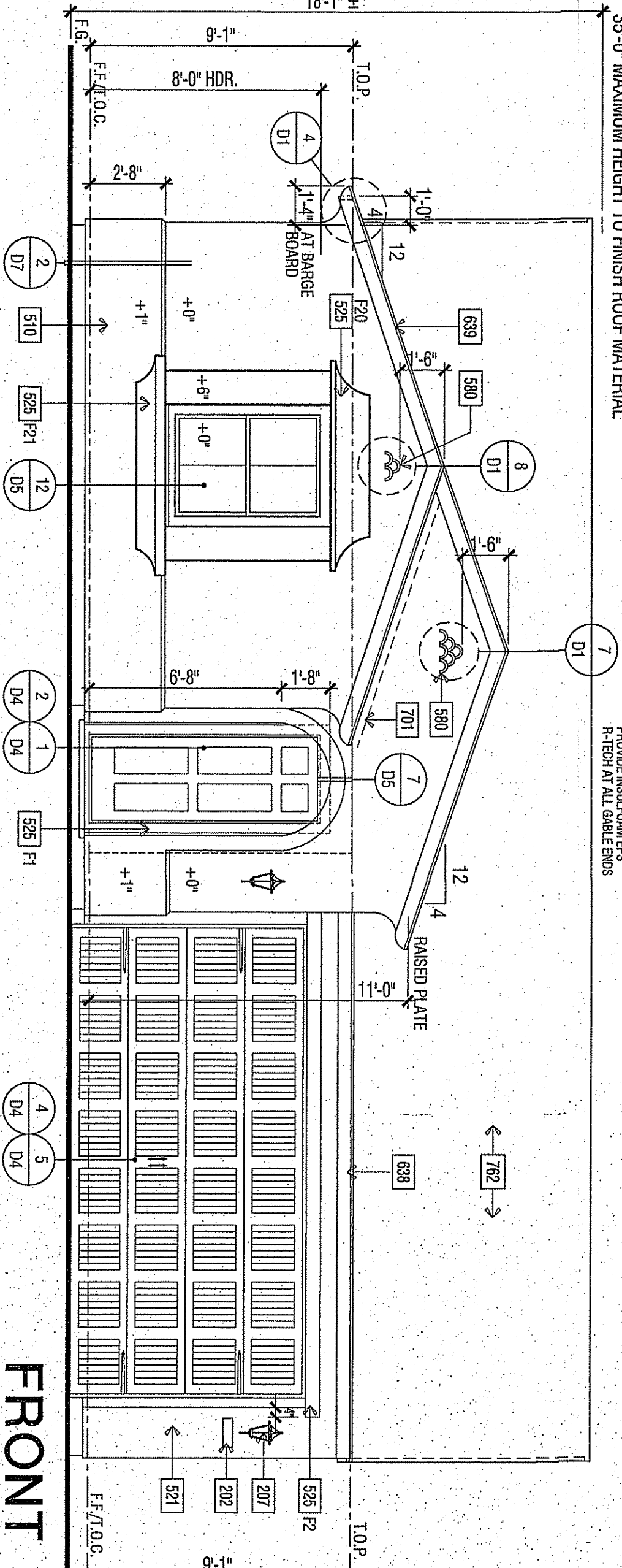
REAR



RIGHT



LEFT



FRONT

Item #	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER - 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
510	STUCCO OVER 1" RIGID FOAM OVER 1" RIGID FOAM WALL - HEIGHT PER ELEVATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFG. INSTRUCTIONS
515	2" STUCCO RECESS - SIZE PER ELEVATION. SLOPE 9/11 1/4" PER FT. MINIMUM
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SHAT 75 G/SMO ESR-1586 BY STARR R. FOM OVER DUPONT TYVEK
525	STUCCO OVER RIGID FOAM TBM - FOAM SHAIR PER ELEVATION (SEE SHEET 04)
580	DECORATIVE FOAM ACCENT
591	SHOOTER - SIZE PER ELEVATION
638	2X6 WOOD BARGE BOARD
639	2X6 WOOD BARGE BOARD
681	DECORATIVE METAL ACCENT - PROVIDE SOLID PACKING MINIMUM 1/2"x1/2" ELASTOMERIC SHEET WATERPROOFING AT ALL MOUNTING POINTS/PERIMETERS.
701	6x1 FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL CLOAKED VENT - SIZE PER ELEVATION
762	ROOFING - CONCRETE - LOW PROFILE S TILE BY EAGLE ROOFING ICC# ESR-1800
TYP.	2 LAYERS OF 5/8" GRADE 50 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R703.63

PLAN 1702A TUSCAN - EXTERIOR ELEVATIONS & ROOF PLAN

DATE: 03-22-17

SHEET: A5.4

2014027.02 - 03-22-2017 - 2016 CODE UPDATE

NO.

DATE: 03-22-2017

DESCRIPTION: PLAN 1702A TUSCAN - EXTERIOR ELEVATIONS & ROOF PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	03-22-2017	ISSUED FOR CONSTRUCTION
2	03-22-2017	ISSUED FOR CONSTRUCTION
3	03-22-2017	ISSUED FOR CONSTRUCTION
4	03-22-2017	ISSUED FOR CONSTRUCTION
5	03-22-2017	ISSUED FOR CONSTRUCTION
6	03-22-2017	ISSUED FOR CONSTRUCTION
7	03-22-2017	ISSUED FOR CONSTRUCTION
8	03-22-2017	ISSUED FOR CONSTRUCTION
9	03-22-2017	ISSUED FOR CONSTRUCTION
10	03-22-2017	ISSUED FOR CONSTRUCTION

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WILSON HOMES

FRESNO, CALIFORNIA

TRACT 6143

PLAN NO. 1702 SFD

WILLIAM HEZMALNACH ARCHITECTS, INC.

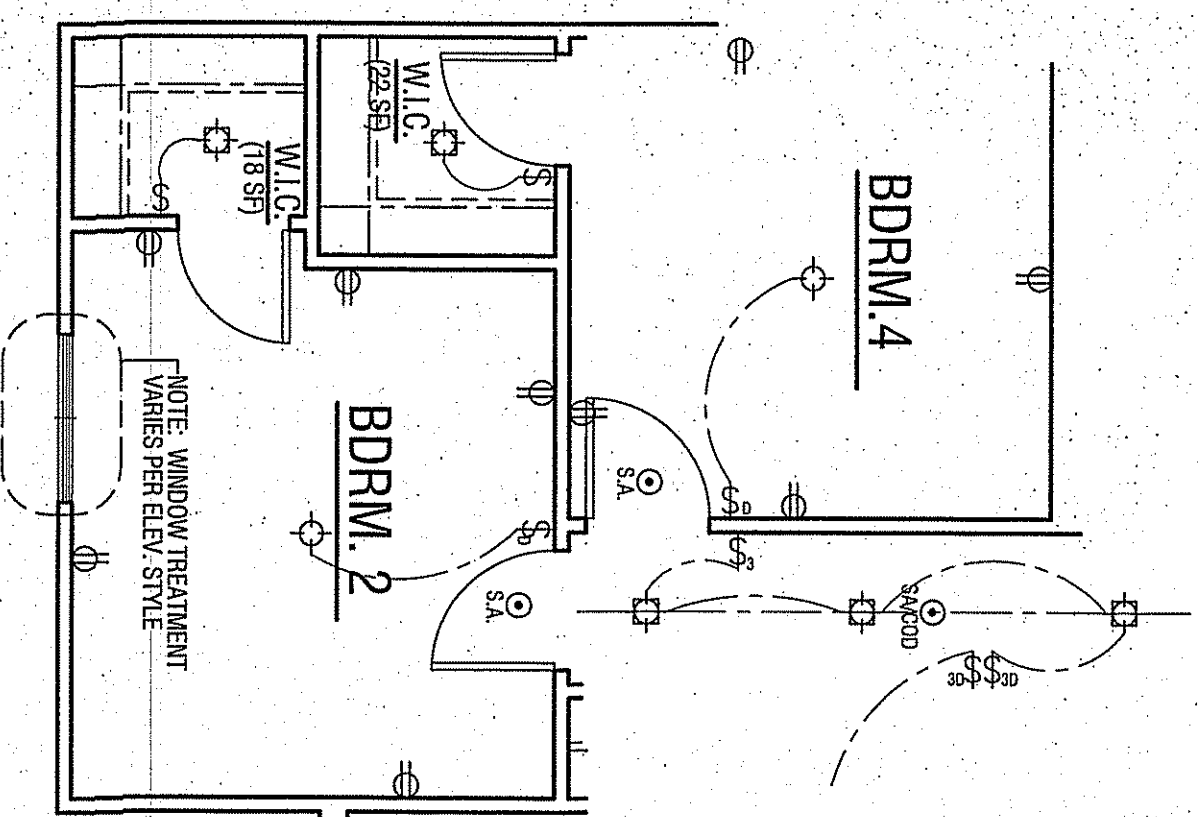
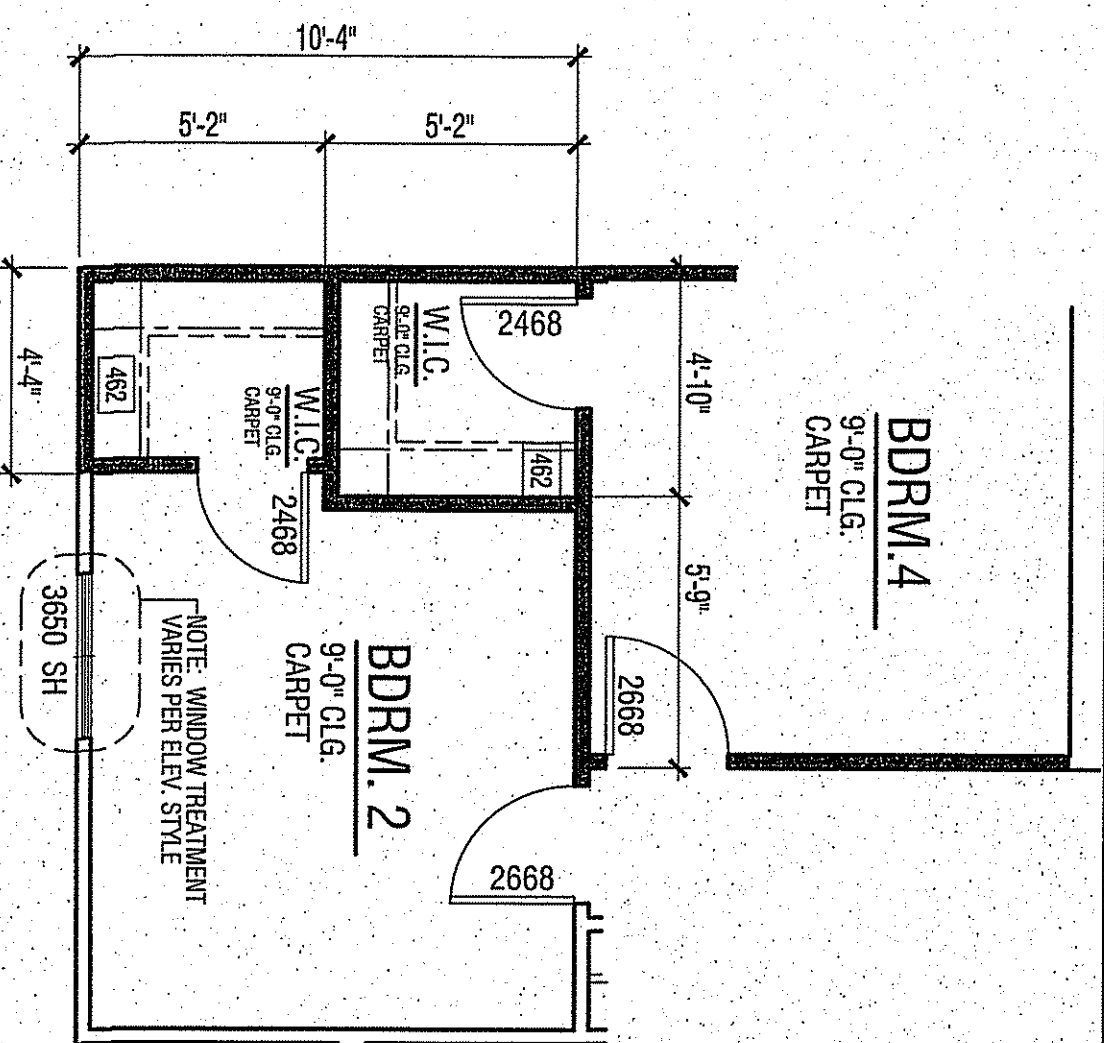
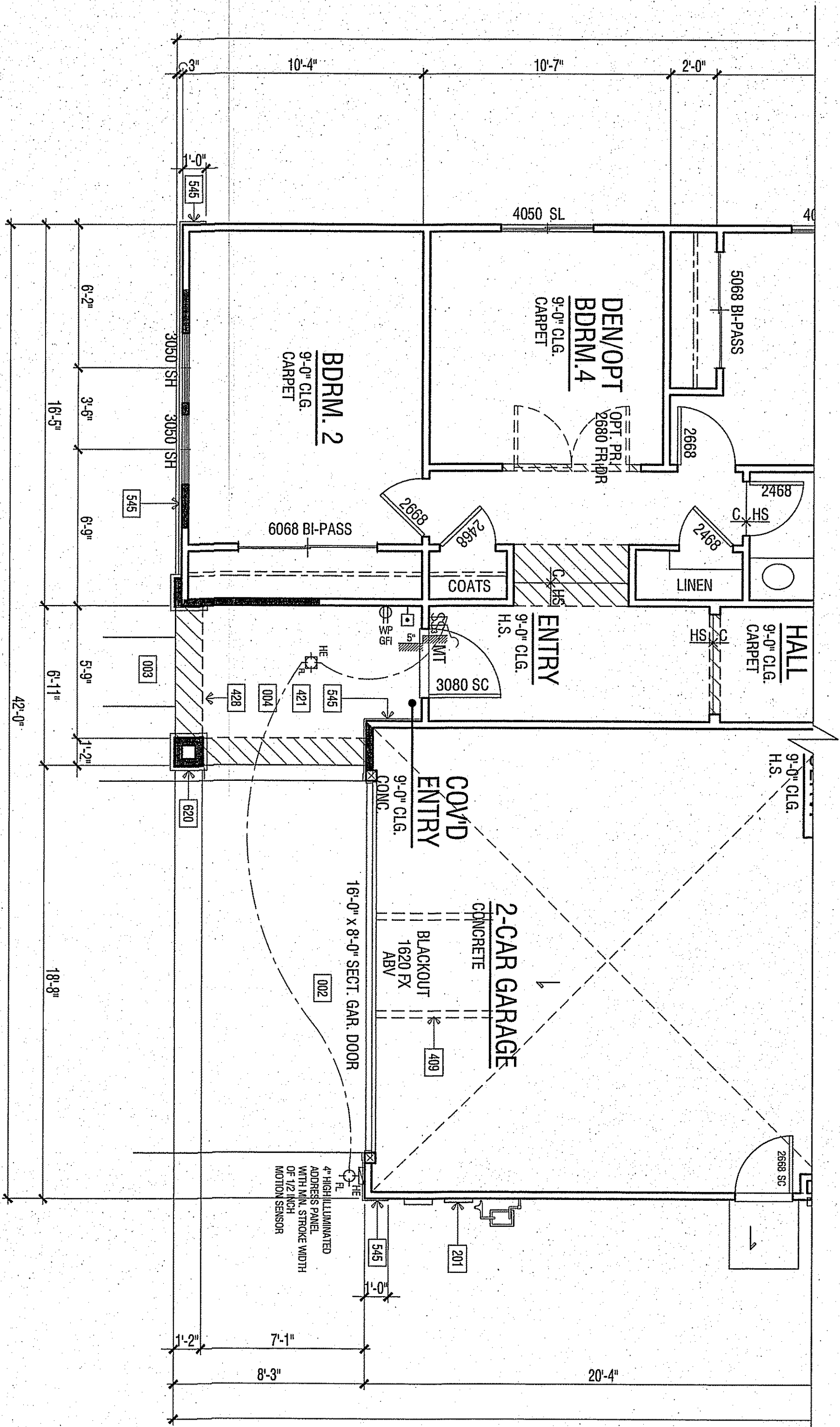
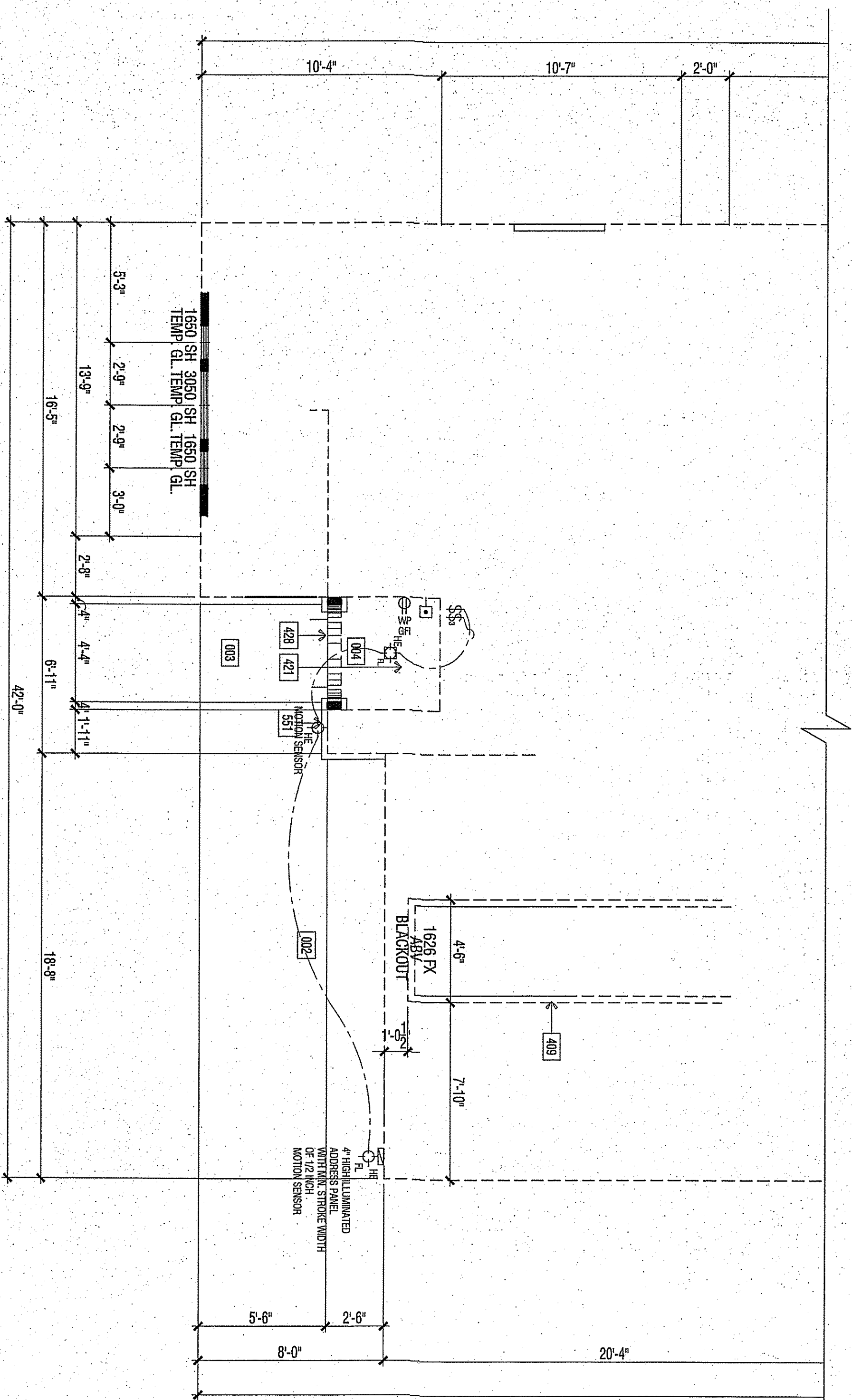
2800 KENNEL AVENUE SUITE 200 SANTA ANA, CA 92705-5583

949 253 0007 www.williamhach.com fax 949 253 1833

STATE OF CALIFORNIA

REV. 1.00

No. G 02520



Name	NOTE:
0002	CONCRETE DRIVE (BY OTHERS)
0003	CONCRETE WALK (BY OTHERS)
0004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
4009	LINE OF WALL ABOVE
421	STUCCO CEILING - HEIGHT PER PLAN
428	ARCHED STUCCO SOFT - HEIGHT PER ELEVATION
447	GRP - RD. WINDOW SEAL - WIDTH PER PLAN (HEIGHT PER DETAIL)
551	MANUFACTURED ARCHITECTED STUCCO STONE VENEER BY CULTURED STONE
6972	ICCS-SSR-388-78S (NAT'L. PER MANUFACTURER'S INSTRUCTIONS)
6972	CANTILEVER BRK. WINDOW

FLOOR AREA TABLE		PLAN 1702C
FLOOR PLAN		1,702 SQ. FT.
TOTAL		1,702 SQ. FT.
GARAGE		413 SQ. FT.
COVERED ENTRY		25 SQ. FT.

FLOOR AREA TABLE		PLAN 1702B
FLOOR PLAN		1,702 SQ. FT.
	TOTAL	1,702 SQ. FT.
GARAGE		413 SQ. FT.
COVERED ENTRY		67 SQ. FT.

- [illegible]

PLAN 1702B AND PLAN 1702C ADDENDA PLANS

[illegible]

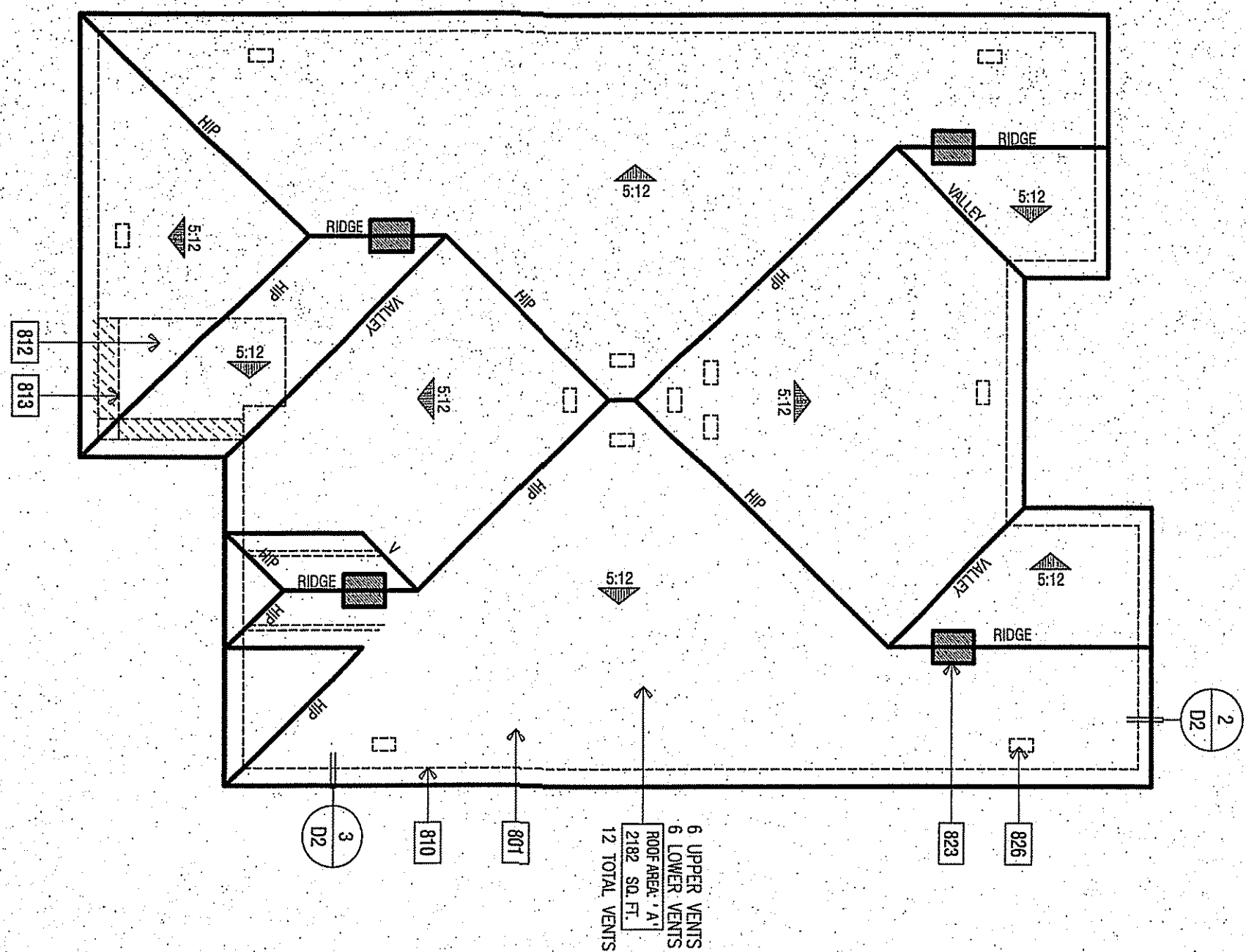
PLAN 1702
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

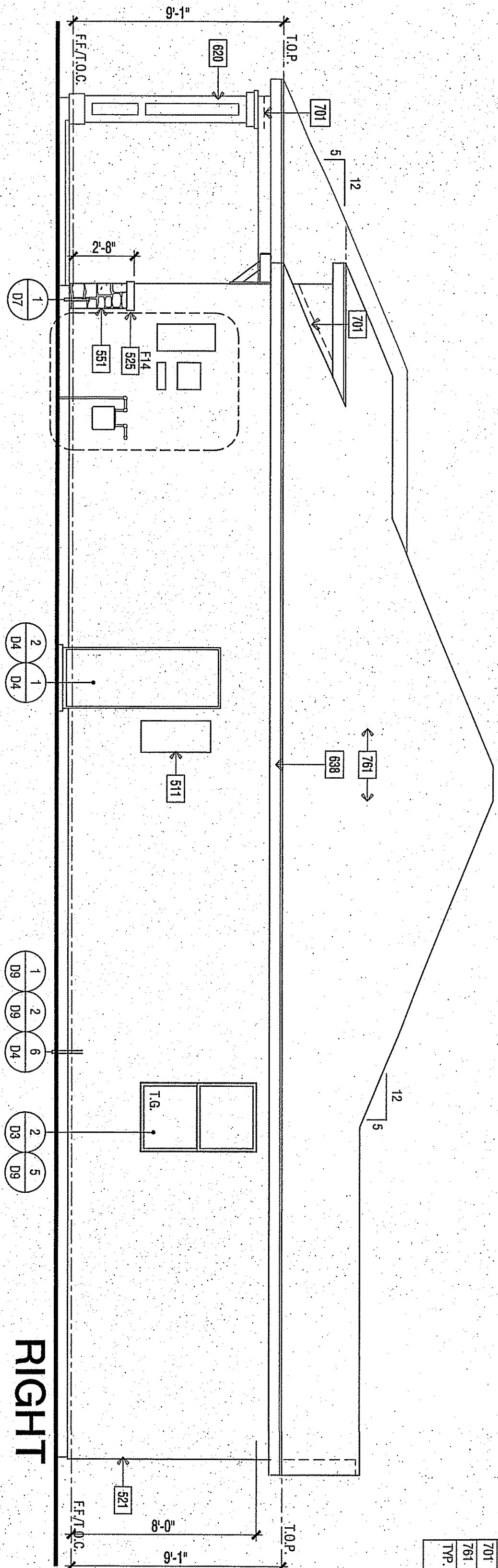
TRACT 6143
PLAN NO. 1702 SFD

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STATE OF CALIFORNIA
REN 4380
No. C 15920
WILSON
JAN 19 1968
JAN 19 1968




ROOF AREA		CALCULATION FACTOR	
A. 27182 sq.ft.		7/3000	
314208 sq.in.			
LOW VENTILATION REQUIRED		TOTAL PROVIDES 1185 sq.in.	
HIGH VENTILATION REQUIRED		TOTAL LIGHT PROVIDES 593 sq.in.	
MIN. VENTILATION REQUIRED		TOTAL LIGHT PROVIDES 593 sq.in.	
LOW 4/500 sq.in.			
HIGH 5/24 sq.in.			
HIGH VENT. AND MINOR		MINOR VENT. PROVIDES 593 sq.in.	
CROWN VENT. AND FLAT TILE		MINOR VENT. PROVIDES 593 sq.in.	
LOW VENTILATION REQUIRED		TOTAL PROVIDES 593 sq.in.	
CROWN VENT. - CONC. FLAT TILE		TOTAL PROVIDES 593 sq.in.	
99 sq.in.			
50 sq.in.			
50 sq.in.			
TOTAL PROVIDED 593		TOTAL PROVIDED 593	
MINOR VENT. PROVIDES 593		MINOR VENT. PROVIDES 593	
TOTAL PROVIDED 593		TOTAL PROVIDED 593	



ELEVATION KEY NOTES	
NAME	NOTE
1	UTILITY EQUIPMENT AND SERVICE PANS - VENTRY LOCATION
201	ADDRESS NUMBERS - 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE MAINLY VISIBLE FROM THE STREET
207	CLOACHT LIGHT LOCATION
321	AIR CONDITIONING CONDENSER LOCATION
323	STUCCO - ONCE DRYING TIME ONE COAT STUCCO CO-# ESR-1134 STUCCO FORM OVER OTHER TYPEX
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MAN. INSTRUCTIONS
515	2" CO STUCCO RECESSES - SIZE PER ELEVATION - SLOPE 1/4" PER FT. MINIMUM
516	STUCCO OVER RIBED GAOB TBM - FOAM SHAPE PER ELEVATION (SEE SHEET D)
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CALIBRED STONE CO-55 ESR-1364, INSTALL PER MANUFACTURERS INSTRUCTIONS
601	WOOD TBM - SIZE PER ELEVATION
603	WOOD TBM - SIZE PER DETAIL 3/05
620	BUILT UP WOOD COLUMN
626	OUTDOOR ASSEMBLY - WOOD SIZE/SHAPE PER ELEVATION
638	2" WOOD HASPA
639	2" WOOD BARGE BOARD
684	DECORATIVE STUCCO PLASTER SHEETS
689	DECORATIVE METAL ACCENT - PER DETAIL
701	G.L. FLASHING
701	ROOFING - CONCRETE - "FLAT" TILE PER EXAGLE ROOMING CO-# ESR-1900
TYPE 2	2 LAYERS OF CP GRADE CP BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING
WOOD SHEATHING	WOOD SHEATHING

ROOF PLAN

SCALE: 1/8" = 1'-0"

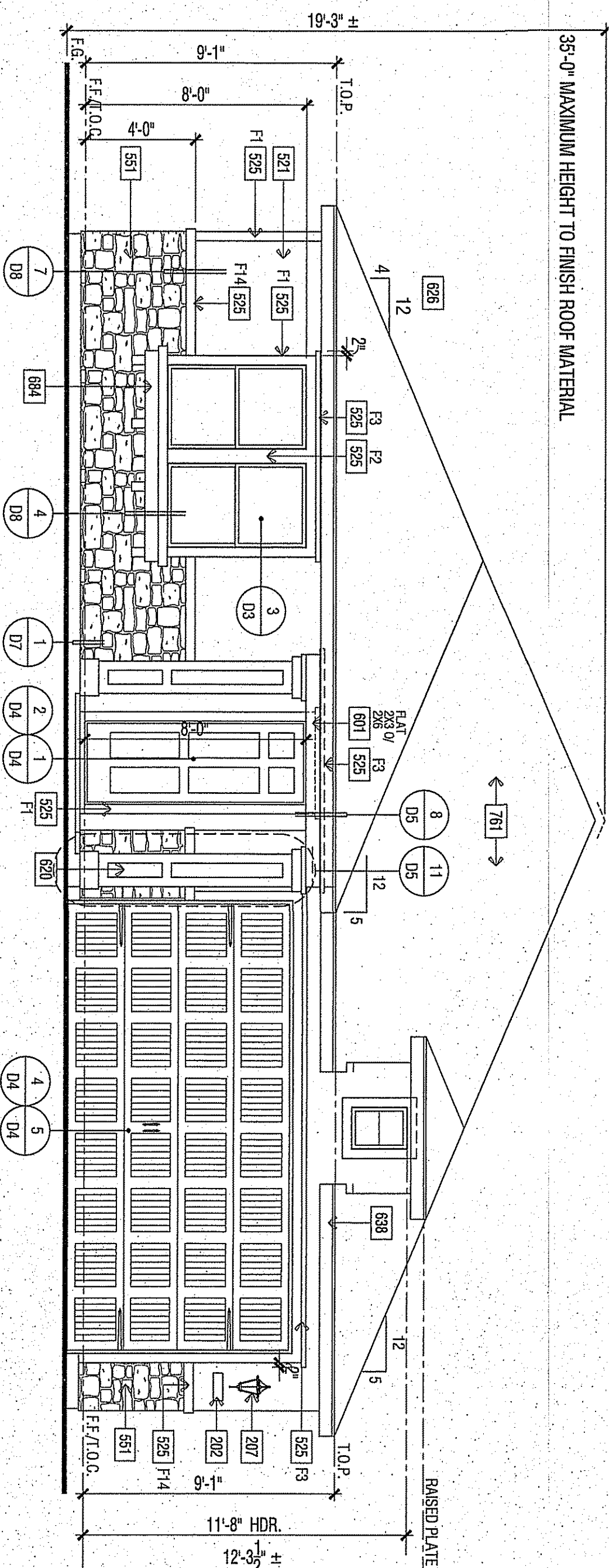
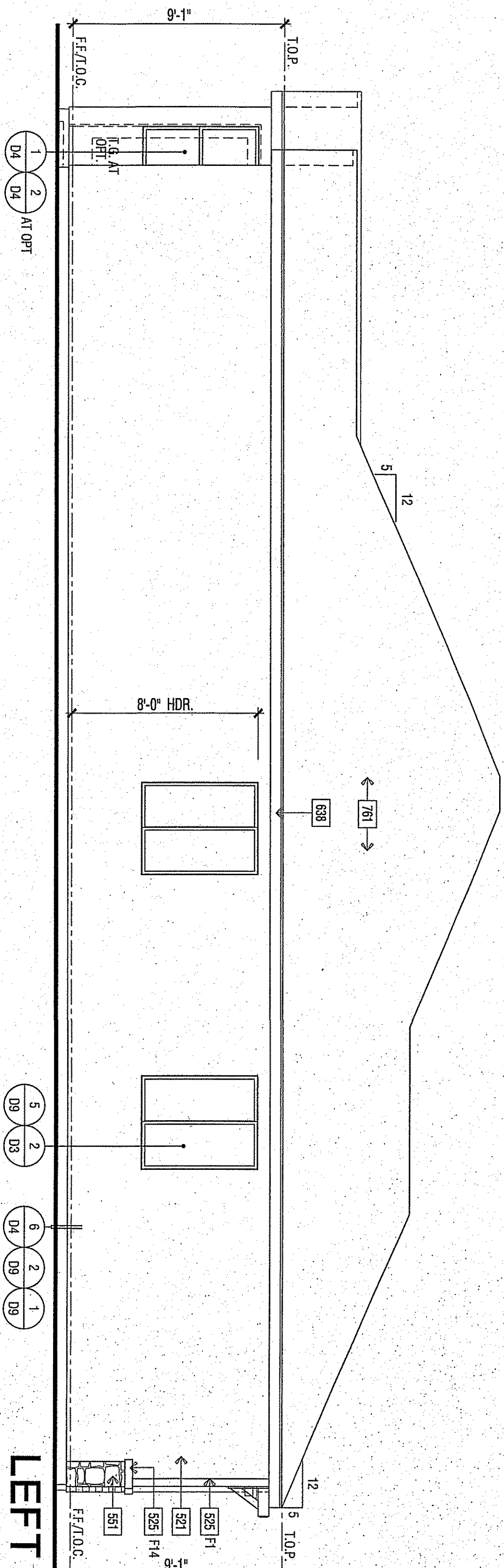
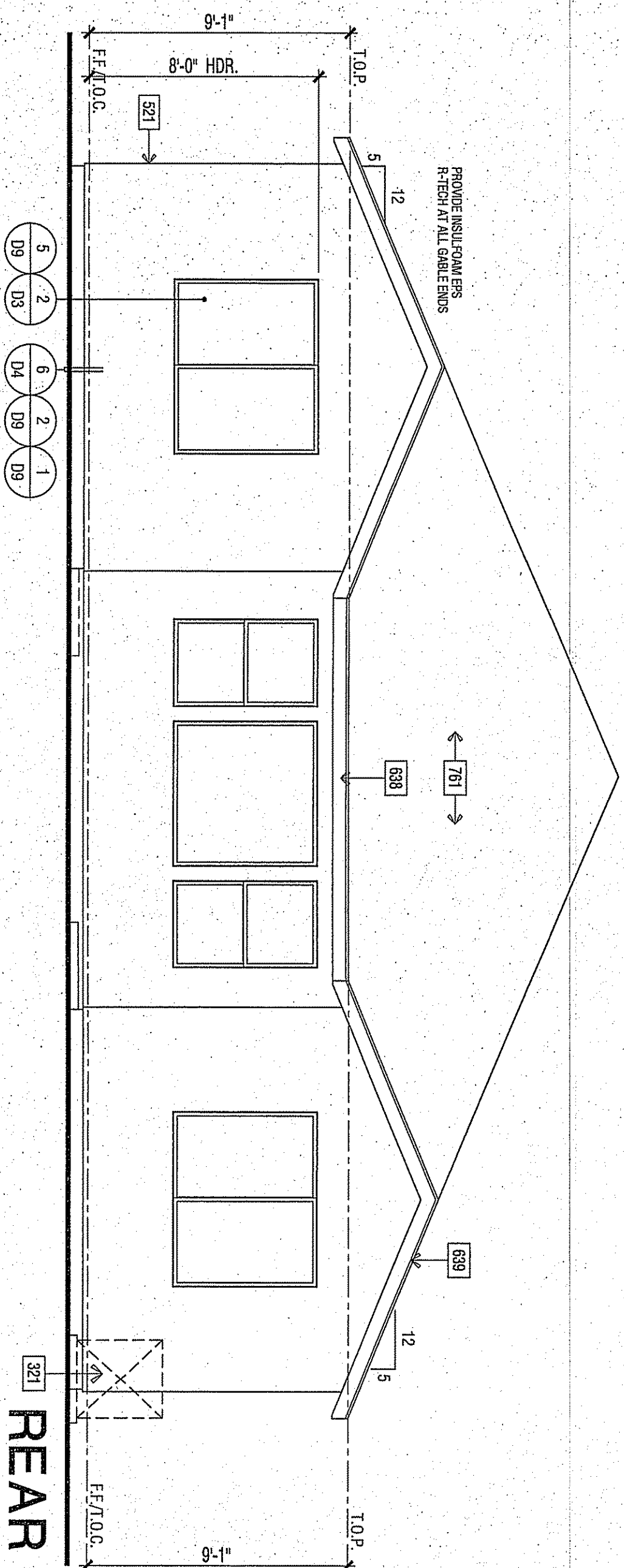
ELEVATION REFERENCE:	B	ELEVATION STYLE:	COTTAGE
ROOF MATERIAL:	STANDARD ROOF PERMAN DURA.	HATCH: BARBER DASH.	OVERHANG DIM.: EAVE RAISE
CONCRETE "FLAT" TILE		2X6	2X6
FLOORING CODE: BR-100		1'-0"	1'-0"
ROOF PL AN NOTES			

ROOF PLAN NOTES

2. SPARK ARRESTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
3. AIR/FLOW COEFFICIENT PER SECTION: 8007
4. PRIME FACT: A SPARK VENTILATING PER SECTION 9006. TOTAL AIR FLOW (LIGHTING, GAS, SMOKE) NOT LESS THAN 100% OF THE RATED SPARK VENTILATING PER SECTION. LIGHT REDUCTION OF THE TOTAL RATED TO 100% PERMITTED PROVIDED THAT AT LEAST 50% OF THE SPARK VENTILATING PER SECTION OF THE REMOVED VENTILATING AREA IS PROVIDED BY EQUIPMENT LOCATED IN THE REMOVED AREA. THE SPACE TO BE VENTILATED IN AT LEAST 30% ABOVE THE GIVE OR TAKE ALLOWANCE. THE REMOVED VENTILATING AREA MAY BE REDUCED TO 100% WHEN A CLASS III OR I WARDEN BARBIER IS INSTALLED ON THE FRESH-AIR INTAKE SIDE OF THE CEILING PER SECTION 9006.2.

ROOF PLAN KEY NOTES

ROOF PLAN KEY NOTES	
NOTE	
801	ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SLOTT
823	MIN. 2X2X90 CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO
825	ALL ATTIC AREAS
926	ALL ROOFING - CHANGING 2X4 SERIES CLOAKED VENT (ICC # NER-9550A)



RIGHT

PEAR

FRONT

SCALE: 1/4" = 1'-0"

PLAN 1702B REGENCY - EXTERIOR ELEVATIONS AND ROOF PLAN

PLAN 1702

CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT 6143
PLAN NO. 1702 SFD

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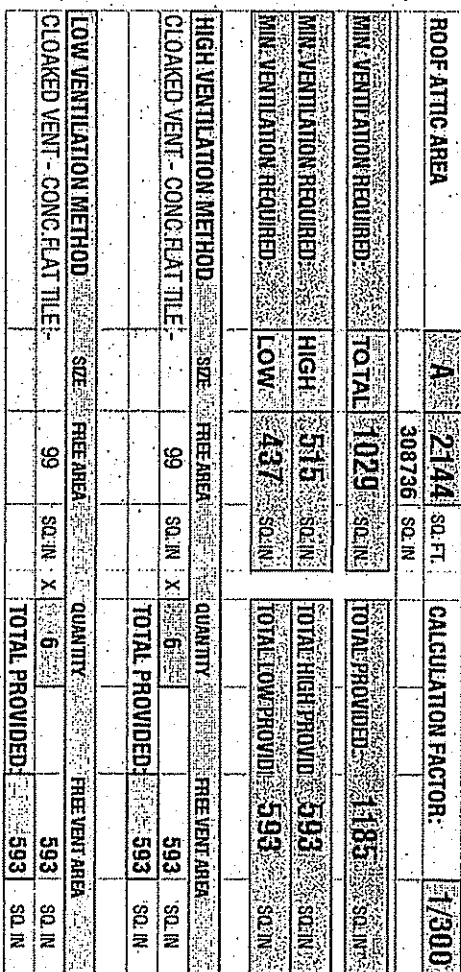
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REVISIONS

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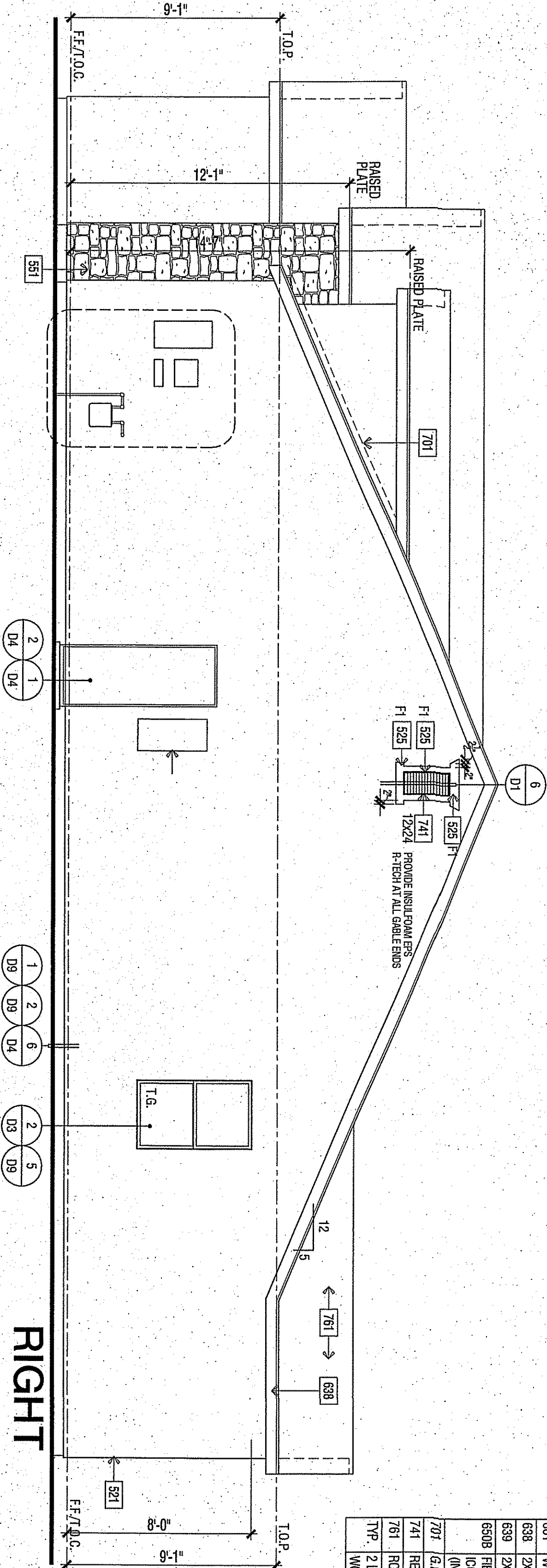
DRAWN BY:		MM
REVIEWED BY:		BH/MM
ISSUED FOR CONSTRUCTION:	04-06-15	
CAD FILE NAME:	A506	

2014027.02 - 03-22-2017 - 2016 CODE UPDATE



ELEVATION KEY NOTES	
NOTE	ITEM
UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION	201
ADDRESS NUMBER - 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE EASILY VISIBLE FROM THE STREET.	202
COACH LIGHT LOCATION	207
AIR CONDITIONING COMPRESSOR LOCATION	321
STUCCO - OVERLAP DAMAGED ONE COAT STUCCO CO-2 BSR, 1/4" THICK STUCCO FOM OVER EXISTING STUCCO OVER SH-17 ROAD BSR-1966 BY STATE R	521
REMOVE EXISTING WATER HEATER - INSTALL PER MFR INSTRUCTIONS	511
STUCCO DAMAGED FROM TERM - FOM SHEET ELEVATION (SEE SHEET D44)	525
THIN SET BRICK VENEER BY ENDICOTT BRICK - ASTM C-1098 - INSTALL PER MANUFACTURERS INSTRUCTIONS	545
MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE CO-ES BSR-1984 - INSTALL PER MANUFACTURERS INSTRUCTIONS	551
SHUTTER - SIZE PER ELEVATION	591
WOOD TERM - SIZE PER ELEVATION	601
WOOD TRIM - SIZE PER ELEVATION	638
2X6 WOOD BISCIA	658
2X6 WOOD BISCIA	659
PAVER CEMENT JAP SIMING - 5/16" THICK HARPOIN BRX DAMASCUS CO-5 BSR 405 PER MANUFACTURER FINISH SELECT PER CRUIAL EXPOSURE P (INSTALLATION PER MANUFACTURERS INSTRUCTIONS)	659B
6x6 FLOORING	701
RECOMMEND DECORATIVE SL METAL DOWN VENT - SIZE PER ELEVATION	741
RECOMMEND - CONCRETE - FLAT TILE BY VEGAL ROOMING CO-5 BSR 1900	761
2 LAYERS OF GR GRADE P-BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 30# OR F703-63	762

SCALE: 1/8" = 1'-0"



RIGHT

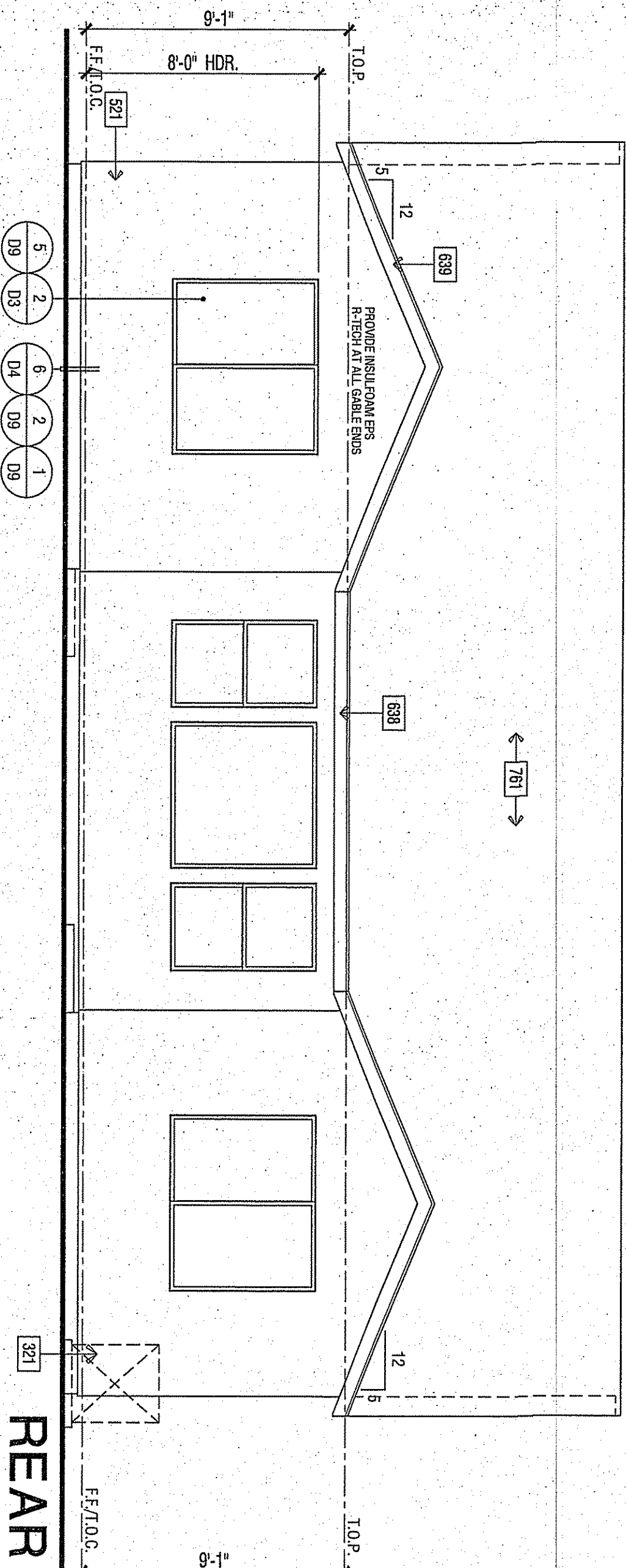
ELEVATION REFERENCE:	C	ELEVATION STYLE:	TUSCAN			
ROOF MATERIAL:	LOW PROFILE CONCRETE S TILE <small>GRADE: 100MMG 1024 SSB-100</small>	STANDARD ROOF DETAIL 1110.0	R523A • U1.0.	BARGE • U1.0.	OVERHANG DIM. • U1.0.	
		2X6	2X6	EAVE RAKE	1'-0"	1'-0"

ROOF PLAN NOTES

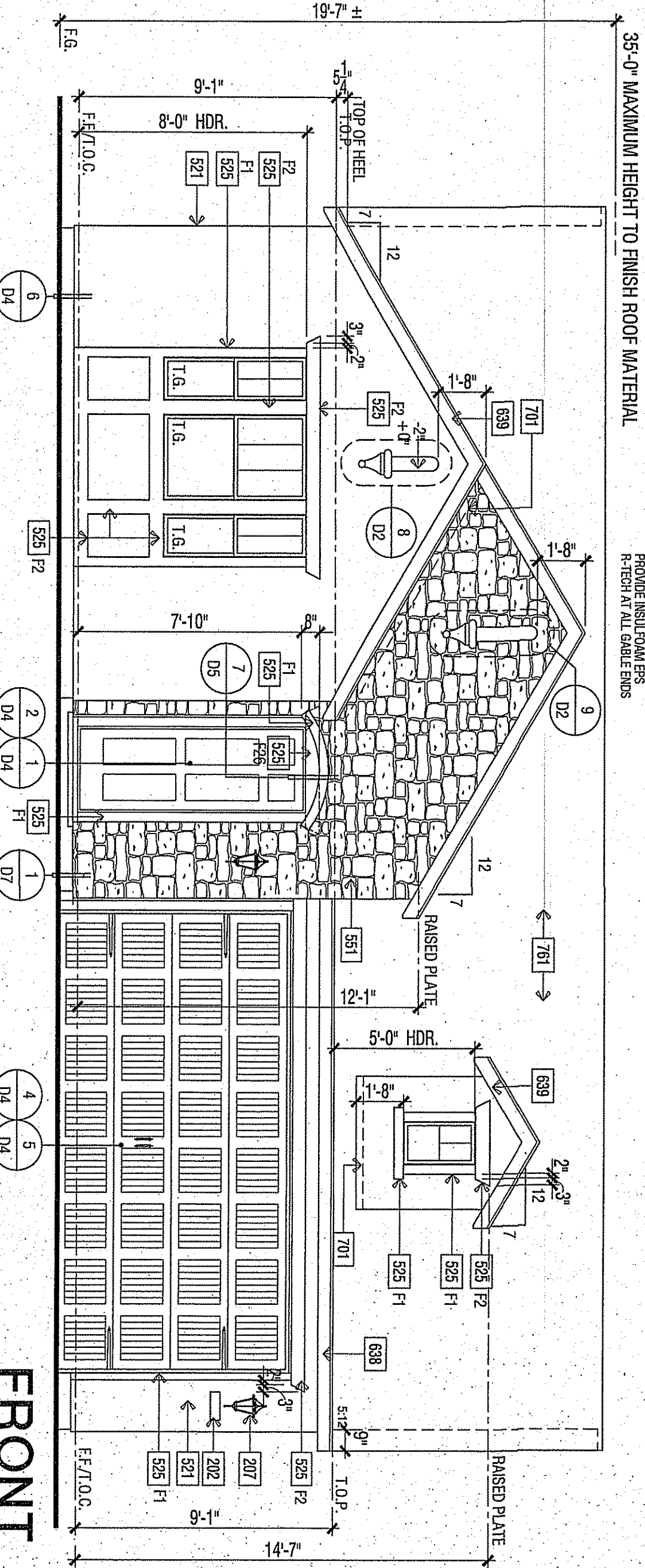
1. SEE GENERAL NOTES ON ROOF NOTES.
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. RAINFALL ACCESS PER EACH SECTION RIB.
4. REMOVE ALLOY & SPARK EMISSION FROM EACH SECTION RIBS. TOTAL NET FLOOR LANDING AREA SHALL NOT BE LESS THAN 10% OF TOTAL AREA OF EACH SECTION RIB. ALL EMISSIONS SHALL BE COLLECTED IN A TIGHT AHEAD OF EACH RIB AND SHALL BE EXHAUSTED TO THE OUTSIDE THROUGH A 12" DIA. VENT. ALL VENTS SHALL BE SHUTTERED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE EXHAUSTED AT LEAST 3 FEET ABOVE THE OVERHANG OF THE RIBS. THE EXHAUST SHALL BE PROTECTED BY A 1/2" DIA. CORNICE GENTS.
5. ALL VENTS SHALL BE INSTALLED ON THE WINDWARD SIDE OF THE BUILDING PER EACH SECTION RIB.
6. BARBERS IS AVAILABLE ON THE WINDWARD SIDE OF THE BUILDING PER EACH SECTION RIB.

ROOF PLAN KEY NOTES

ROOF PLAN KEY NOTES	
NAME	NOTE
801	ROOFING - CONCRETE - "FLAT TILE BY EAGLE ROOFING INC." ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SLOPE
823	MIN. 22"x36" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO
826	FLAT ROOF VENT - OTAGAN XL SERIES CLOAKED VENT (QCS - NR-9550A)



PEAR



FRONT

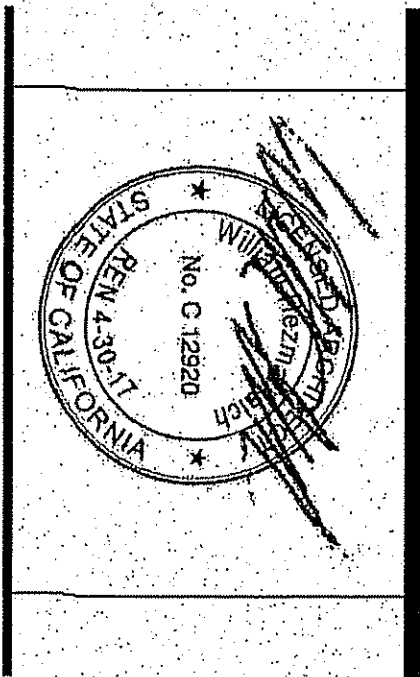
PLAN 1702C FRENCH COUNTRY - EXTERIOR ELEVATIONS AND ROOF PLAN

PLAN 1702

CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT 6143
PLAN NO. 1702 SFD



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[illegible]

FLOOR PLAN NOTES

1.	ATTICS: ACCESS PER CIRC BROW, DRIFTWAYS PER CIRC R08Z.12 AND VENTILATION PER R08B.
2.	EMERGENCY ESCAPE AND RESCUE OPENINGS PER CIRC R310L MEANS OF EGRESS PER CIRC R81L.
3.	GLAZING PER CIRC R08D1.1 & R08B.
4.	CROSSLIGHT WALLS: MAXIMUM PER CIRC R10A, R10DS, R10DE PER CIRC SECTION 7.6.1, SECTION 9.1.1.
5.	COMBUSTION AIR TO BE PROVIDED AS UNIT PER CHAPTER 7. PER CIRC SECTION 7.6.1, SECTION 9.1.1.
6.	COMBUSTION AIR TO HEAT WEAVER PER CIRC SECTION 9.7.0.
7.	ENVIRONMENTAL AIR DUCTS PER CIRC SECTION 9.6A.
8.	MECHANICAL EQUIPMENT LOCATION AND PROTECTION DAMAGE PER CIRC 305 & 308.
9.	MANDATORY REQUIREMENTS FOR APPLIANCES PER CIRC SECTION 110.1.
10.	THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR.
11.	UPPER FLOOR PLANNING, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR LESS THAN 7' ABOVE THE STAIRWAY, SHALL BE PROVIDED BY A GUARDrail HAVE PICKETAILS. THE GUARDrail SHALL BE THE SPACING THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 IRC R312.2

[illegible]

FLOOR PLAN KEY NOTES	
Item	NOTE
001	CONCRETE SLAB (SEE STRUCTURAL DRAWINGS)
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALKY (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/8" (PER FOOT MINIMUM IN DIRECTION INDICATED)
006	CONCRETE STOP - 3" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
007	CONCRETE PATIO (BY OTHERS)
010	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SIFTS PROTECTED ON THE ENCLOSURE SIDE WITH 1/2" OPSMM BOARD PER IRC SECTION P302.7.
104	GARAGE ANCHOR CARRIER WITH HARBABLE FIBERS ABOVE SHALL BE SEPARATED FROM THE REINFORCE BY A MIN. 5/8" TYPE "X" OPT. RD. OR ETD. STRUCTURES SUPPORTING THE FLOOR/G. ASSEMBLY USED FOR WALL SEPARATION SHALL BE A MIN. 5/8" OPT. RD. OR ETD. PER 2016 CRC P302.2.3 & P302.6
110	PROVIDE SOLID WOOD DOOR, OR SOLID OR HONEYCOMB CORE STEEL DOORS, NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE RATED DOOR. DOORS SHALL BE SELF CLOSING AND SELF LATCHING PER CRC SECTION P301.1
201	UTILITY EQUIPMENT AND SERVICE PANELS - VARY LOCATION
305	TANKLESS WATER HEATER - MODEL RINNOV (RTLS.) - INSTALL PER MANUFACTURERS INSTRUCTIONS
309	TEMPERATURE AND PRESSURE RELIEF VALVE - DISCHARGE LINE TO THE OUTSIDE OUTSIDE PER 2016 CRC SECTION P2803
312	METAL FRET FACE (AS APPLICABLE) - HEIGHT PER PLAN - INSTALL PER MANUFACTURERS INSTRUCTIONS. BY VENTILATOR MODEL# 104642 ANSI Z21.88-2002
314	OPTIONAL NON COMBUSTIBLE HEARTH
321	AIR CONDITIONING CONDENSER LOCATION
322	FORCED AIR UNIT (FAU) AT/IC INSULATION
336	9" D.I. G/L DRYER VENT WITH APPROVED LIMIT TRAP - VENT THROUGH ROOF
342	RETURN AIR GRILL - SEE MECHANICAL
344	WALL HOUSE EXHAUST FAN PER 2016 REC. REFER TO ATTACHED SUMMARY OF THE 2016 ENERGY CODE ASHRAE 62.2 REQUIREMENTS
351	REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
355	SINK WITH GARBOARD DISPOSER
357	UTILITY SINK
359	DISHWASHER - ENERGY STAR
364	3" COCKUP WITH EXHAUST HOOD AND LIGHT, OVER BELOW; OPT. MICRO WITH FAN AND LIGHT IN PLACE OF FAN. HOOD ABOVE
372	WASHER SPACE WITH RECESSED WATER BOX AND DEL. WIDE SMITTY PAN DRYER SPACE
373	TOB - 42" X 60"
381	CURTAIN ROD
383	SAFETYROOF SHOWER DOOR ENCLOSURE
385	TOB ACCESS PANEL
386	SHOWER - PREFABRICATED STALL - 35"X65"X76" MODEL 16030TS - GELCOAT SURFACE - BY AQUATIC
387	SHOWER - PREFABRICATED STALL - 35"X65"X76" MODEL# 3830CM-GELCOAT - BY AQUATIC
388	3" CRDLE PROVIDED AT SHOWER
390	SHOWER SEAT - SLOPE 1/2" MINIMUM TO DRAIN
392	PEDESTAL SINK
393	TOILET - PROVIDE MINIMUM 24" X 30" CLEAR FLOOR AREA IN FRONT OF TOILET
401	INTERIOR SUFFITS (SLOPPED CEILING)S HEIGHT PER PLAN
410	LINE OF FLOOR ABOVE
411	LINE OF FLOOR BELOW
412	OPEN TO ABOVE
413	OPEN TO BELOW
415	22"X30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
416	30"X30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
417	22"X30" 1-HOOR ATTIC ACCESS-DIMENSIONS ARE CLEAR
421	STUCCO CEILING HEIGHT PER PLAN
421	STUCCO SUFFIT - HEIGHT PER PLAN
422	STUCCO SUFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE (1/4" PER FOOT MINIMUM)
428	ARCHED STUCCO SUFFIT - SEE EXTERIOR ELEVATION
441	6"X6" RD. SHELF/LIN WALL - WIDTH AND HEIGHT PER PLAN
442	24"X24" WIRE SHELF - SEE PER PLAN
444	+3/4" - +38" HANDRAIL (SEE DETAIL H05)
445	+4"Z GUARD (SEE DETAIL G06)
451	KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE TO ISLAND
453	PANTRY WITH WIRE SHELVING
455	LINEN
456	LINEN (UPPER & LOWER)
457	LINEN (LOW ONLY)
458	WIRE SHELF
459	BASE CABINET
460	UPPER CABINET
462	SHELF AND PILE
464	SHELF (OR SHELVES)
465	VANITY
510	STUCCO OVER 1" RIGID FOAM WALL - HEIGHT PER ELEVATION



REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL

LOWER FLOOR PLAN

INTERIOR ELEVATION KEY:

FLOOR AREA TABLE		PLAN AREA TOTAL	
LOWER FLOOR PLAN	848	SQ. FT.	
UPPER FLOOR PLAN	1,052	SQ. FT.	
TOTAL	1,900	SQ. FT.	
GARAGE	422	SQ. FT.	
FRONT PORCH	45	SQ. FT.	

SCALE: 1/4" = 1'-0"

CITY OF CLOVIS - Planning
Approved under the 2016 California
16SPK-283
Planning Department
APPROVED FOR THE 2016
CITY OF CLOVIS
JULY 22 2016
CITY OF CLOVIS

REVISIONS		
NO.	DATE	DESCRIPTION
△	12-21-16	2016 CODE UPDATE

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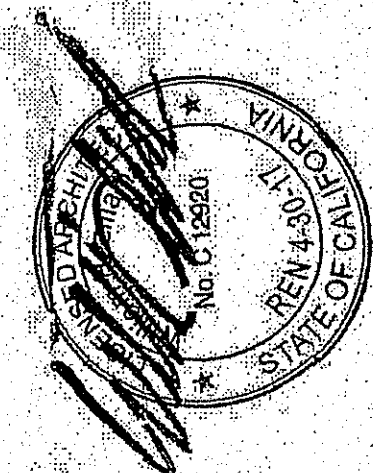
WILSON HOMES
FRESNO, CALIFORNIA

CLOVIS, CALIFORNIA

PLAN 1900

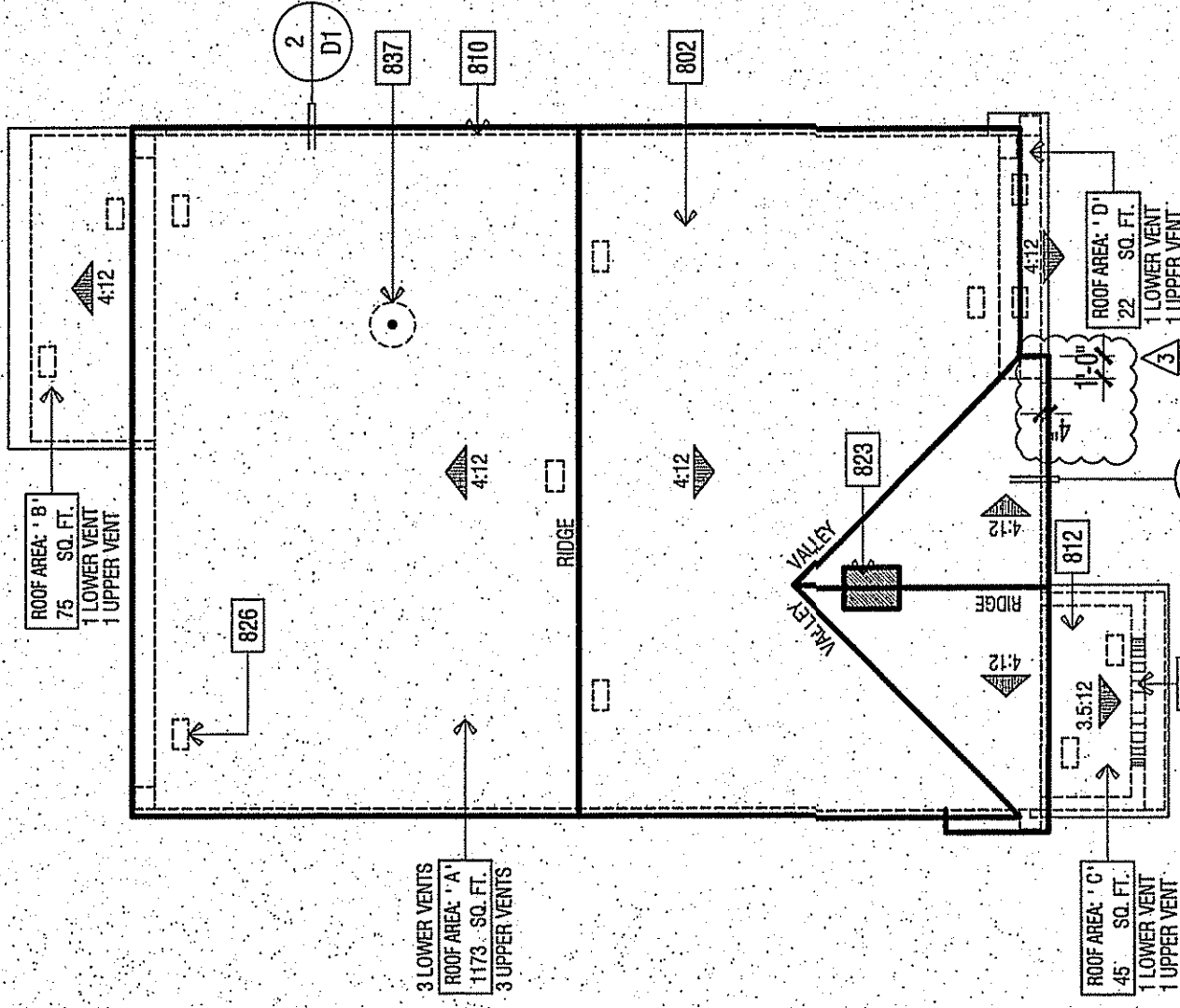
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2016084 - 2016 CODE UPDATE



ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	A	ELEVATION STYLE	TUSCAN
ROOF MATERIAL	STANDARD ROOF	FASADA - UNLO.	BARBE - UNLO.
		EAVE	RASE
LOW PROFILE CONCRETE S' TILE	1 DT	2X6	2X6
SPACE INSULATION (COP 5381-1800)			1'-0" TIGHT

ROOF PLAN NOTES

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CGC SECTION 110.10.

1. SEE GENERAL NOTES FOR ROOF NOTES.

2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

3. PROVIDE A TIGHT AND SEFTT VENTILATION PER CGC SECTION 1806. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/500 OF THE VENTED SPACE. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/500 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

- THE EXHAUST FAN SHALL BE INSTALLED IN THE MAIN CHAMBER OF THE CEILING.
- NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE INSTALLED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE INSTALLED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE INSTALLED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.
- THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR GROUND LEVELS, WHERE THE INSTALLATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS.

LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS.

ROOF PLAN KEY NOTES

NOTE

1. ROOFING - CONCRETE - LOW PROFILE S' TILE BY EAVE ROOFING (COP EST 1900)

2. LINE OF WALL BELOW

3. STUCCO CEILING

4. STUCCO SPOFT

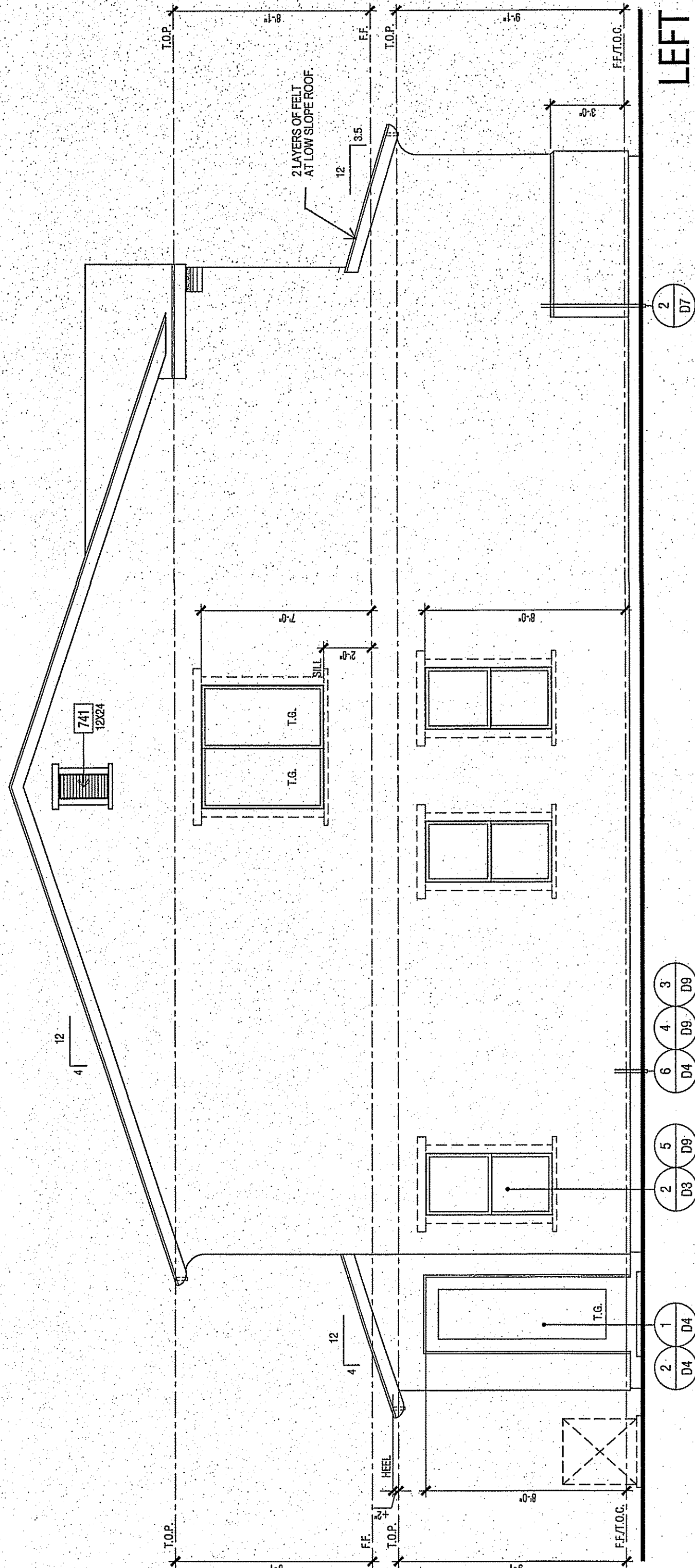
5. MIN. 22X20" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS

6. ROOF VENT - CHIMNEY "AL SERIES" CLOAKED VENT (COP # MER-9550A)

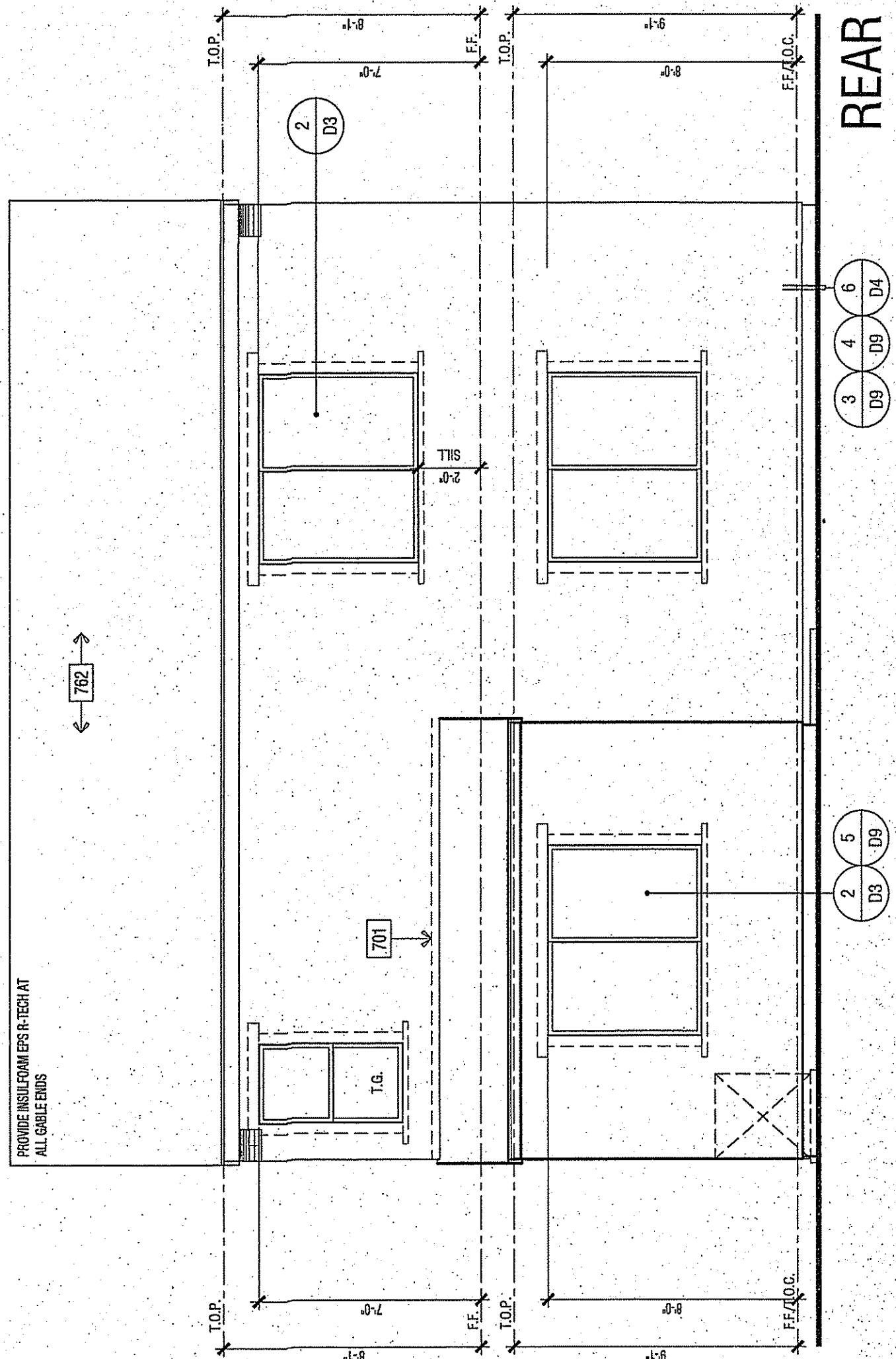
7. PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.

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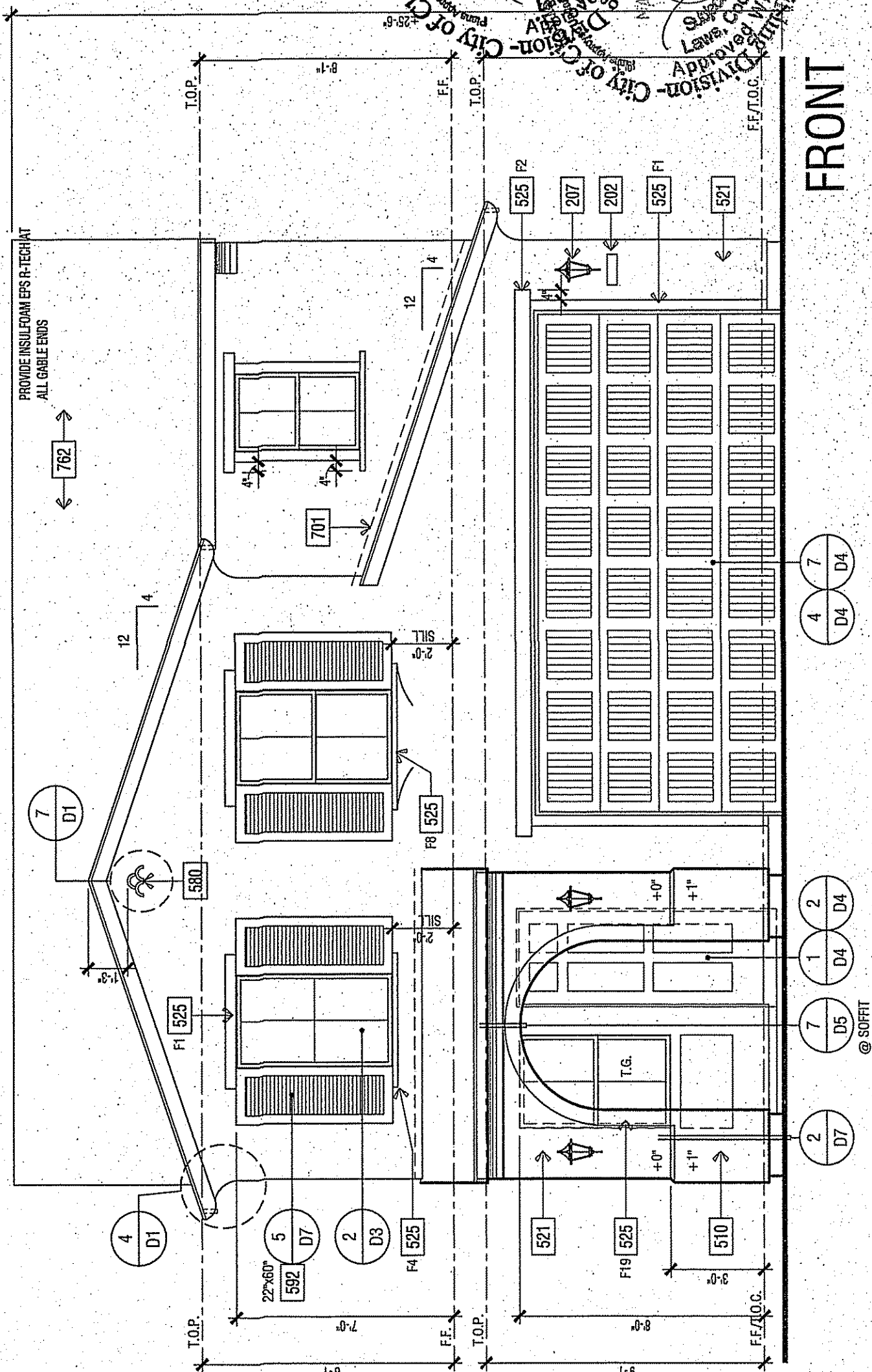
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LEFT



REAR



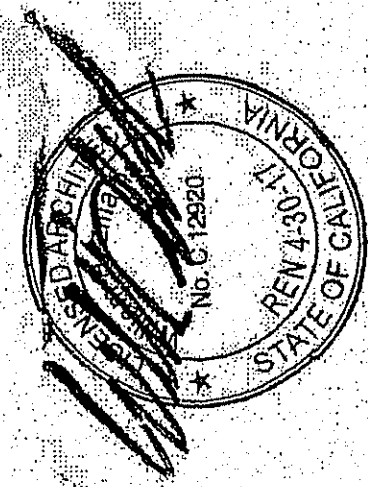
FRONT

ELEVATION KEY/NOTES		NOTE
Item		UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
201		ADDRESS NUMBER, 4' MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
202		CORNER LIGHT LOCATION
203		STUCCO-ORANGE DIAMOND WALL ONE COAT STUCCO GC&F ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAI 1" GUARD ESR-1568 BY START A FOAM OVER DUCT TYPE-X
204		STUCCO OVER 1" HIGD FOAM OVER 1" HIGD FOAM OVER 1" HIGD FOAM OVER RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
510		RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
511		RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
520		STUCCO OVER RIGD FOAM FRM - FOAM SHAPE PER ELEVATION (SEE SHEET D)
525		DECORATIVE GYM ACCENT
592		SHUTTER - SIZE PER ELEVATION
638		2X6 WOOD FASCIA
639		2X6 WOOD BARGE BOARD
701		GL. SLASHING
741		REGULAR CORNERS 6" METAL LOWER VENT - SIZE PER ELEVATION
762		ROOFING - CONCRETE - LOW PROFILE 5" TILE TILE PER EAGLE ROOFING GC&F ESR100
763		2 LAYERS OF 6" GRADE C BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 IRC R703.3.
TYP.		

ELEVATION KEY NOTES:

Item No.	Notes
201	UTILITY EQUIPMENT AND BULDINGS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
321	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO GC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SPAT "B" GUARD ESR-1568 BY START R FOAM OVER DUPONT TYVEK
510	STUCCO OVER 1" RIGID FOAM OVER 1" RIGID FOAM WALL - HEIGHT PER ELEVATION
515	RECESS BOX FOR RAINLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
520	STUCCO OVER RIGID FOAM FROM - FOAM SHAPE PER ELEVATION (SEE SHEET DA)
560	REDECORATIVE GUM ACENT
638	SHUTTER - SIZE PER ELEVATION
692	2X6 WOOD FASCIA
693	2X6 WOOD BARGE BOARD
701	G.I. FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL LOWER VENT - SIZE PER ELEVATION
762	ROOFING - CONCRETE - LOW PROFILE 5" TILE PER EAGLE ROOFING GC# ESR 1900
1701	12 SHEETS OF 6'x8'x1/2" MINIMUM PAPER IS REQUIRED TO BE INSTALLED OVER WOOD ROOFING. SEE ESR 1900 FOR DETAILS.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE A PAVED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1406.13.2



SFD

TRACT:

WILSON HOMES
FRESNO, CALIFORNIA

PLAN 1900
CLOVIS, CALIFORNIA

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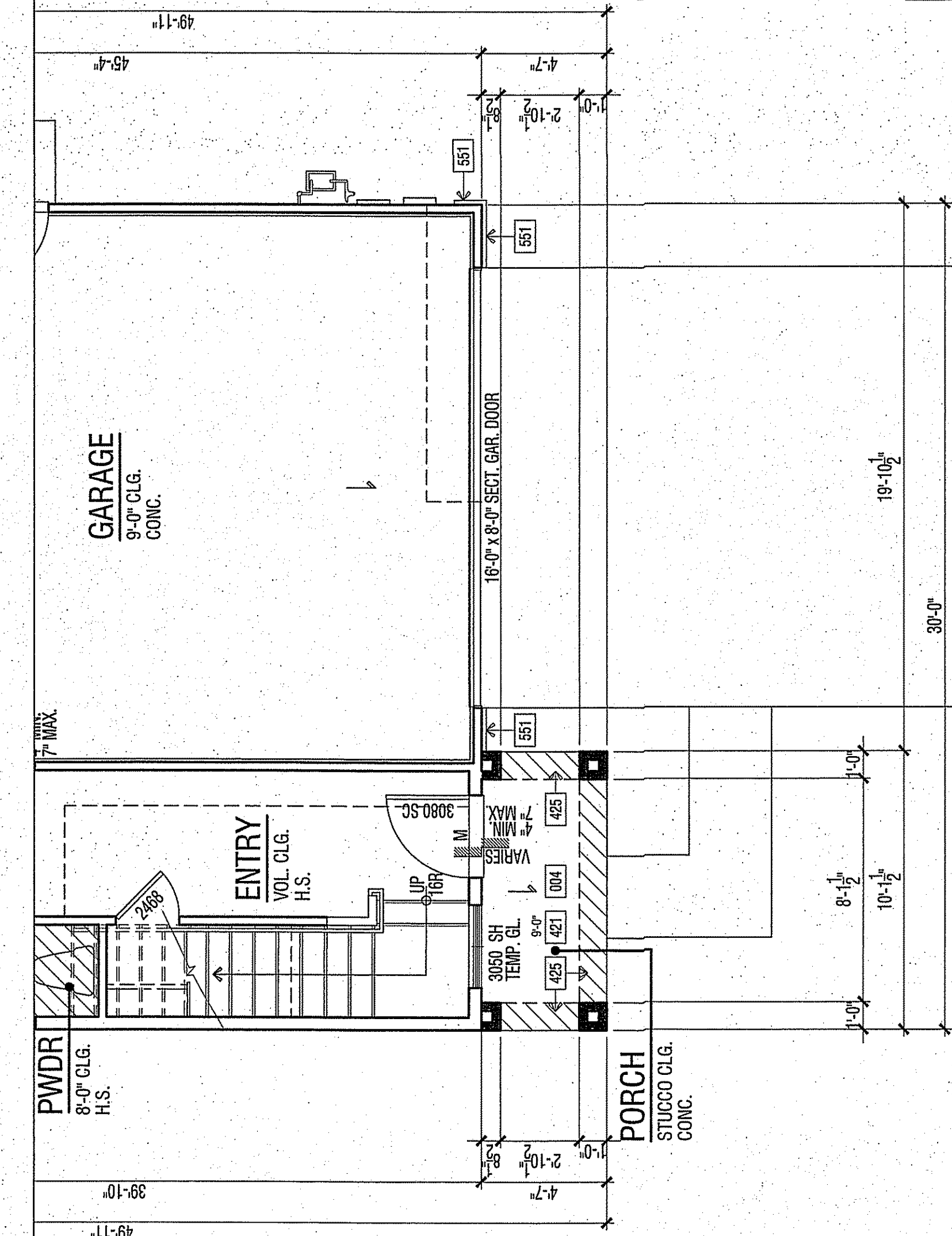
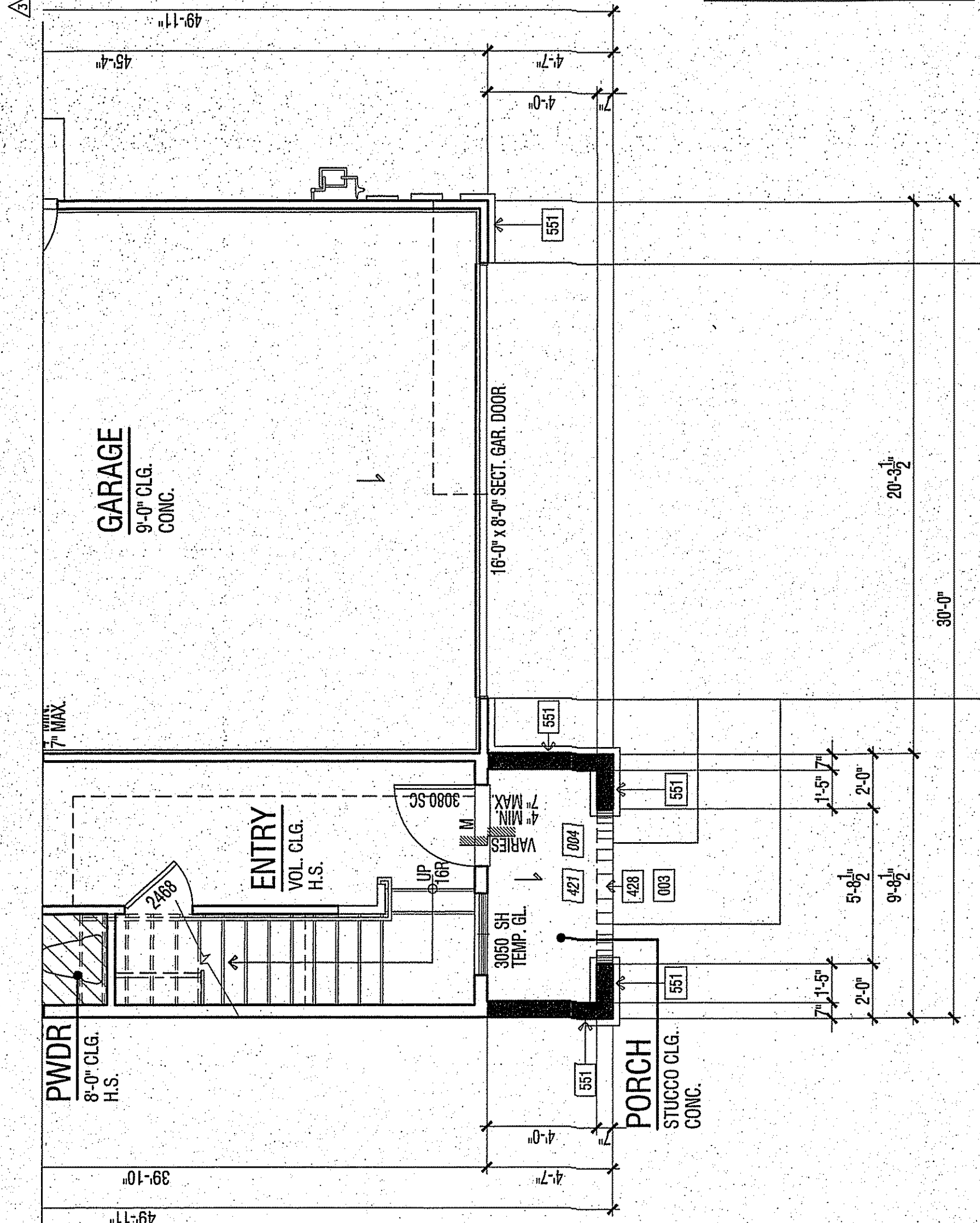
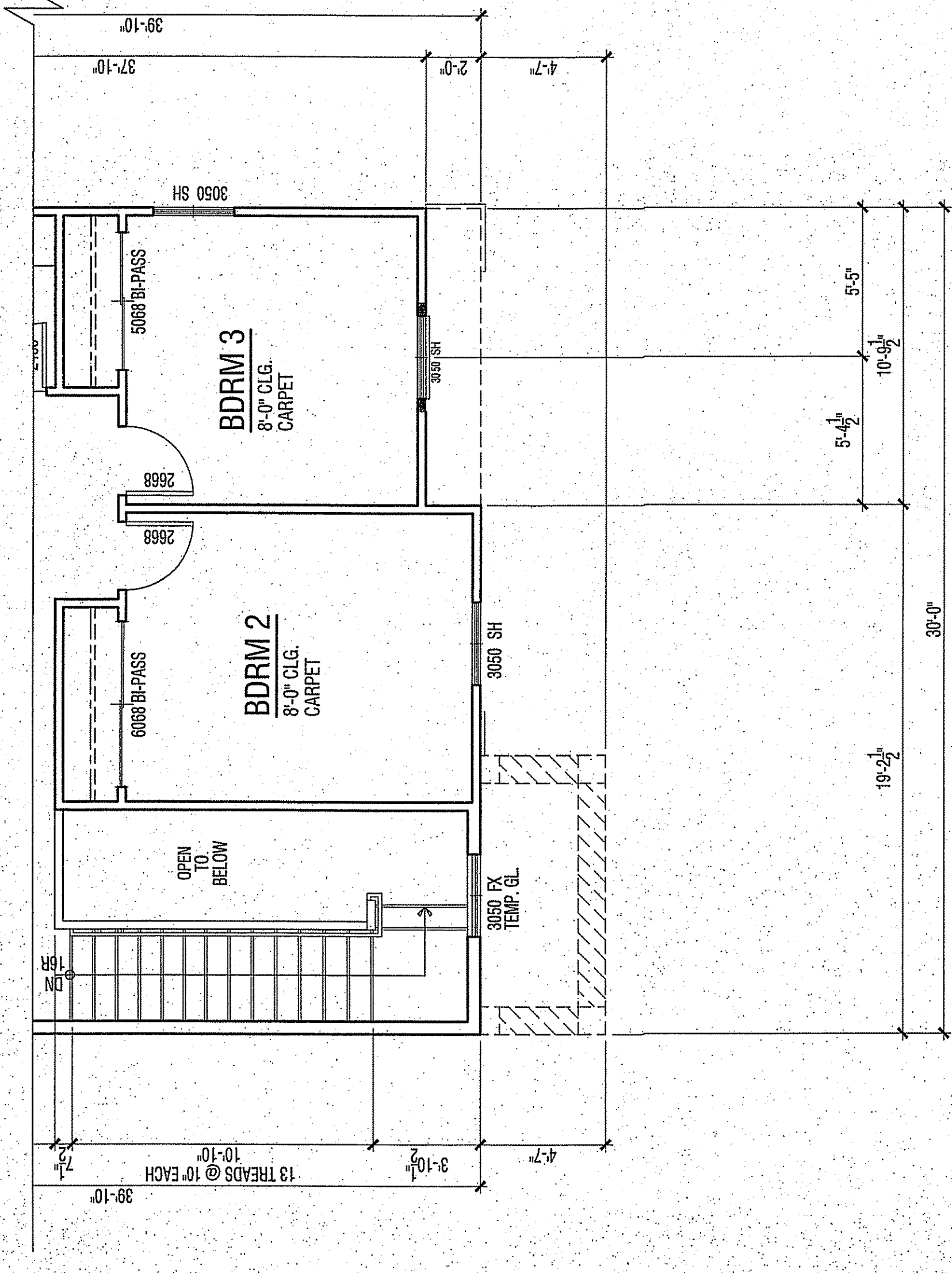
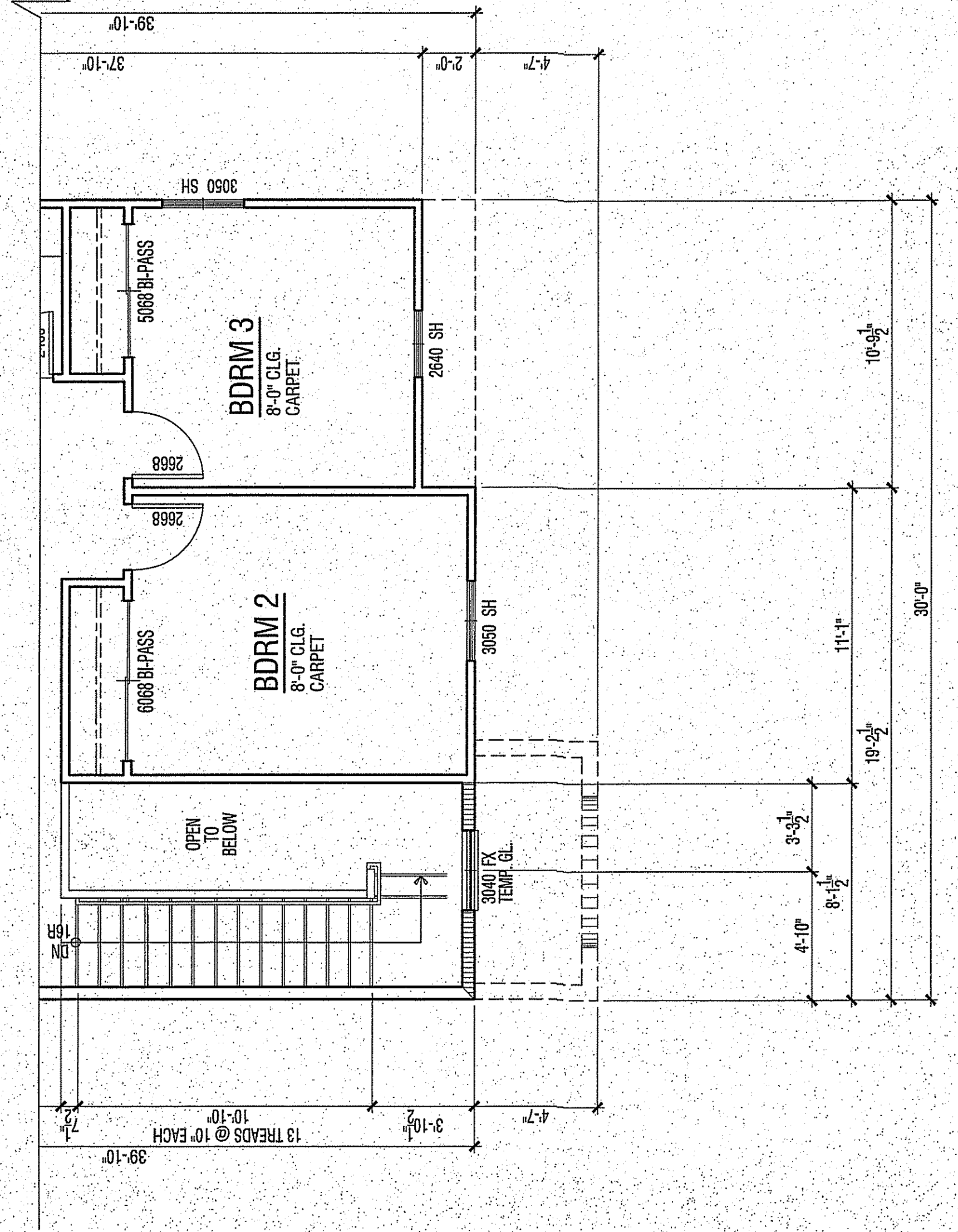
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SHEET: A3.4

DATE: 11-2-21-16

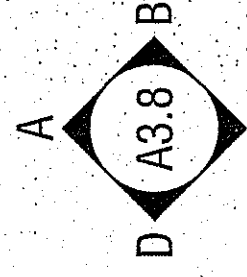
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UPPER FLOOR PLAN 1900B

LOWER FLOOR PLAN 1900B

INTERIOR ELEVATION KEY



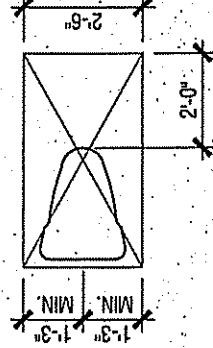
SCALE: 1/4" = 1'-0"

Number	Note
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
421	STUCCO CEILING - HEIGHT PER PLAN
425	WOOD SILLING - HEIGHT PER ELEVATION
551	MANUFACTURED ADHESED STUCCO STONE VENEER BY GEORGE STONE COMPANY, INC. INSTALL PER MANUFACTURER'S INSTRUCTIONS

FLOOR AREA TABLE		SQ. FT.
LOWER FLOOR PLAN		47
UPPER FLOOR PLAN		47
TOTAL		94
GARAGE		47
FRONT PORCH		47

FLOOR PLAN KEY NOTES	
NAME	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION
421	STUCCO CEILING HEIGHT PER PLAN
425	WIND SHIELD - HEIGHT PER ELEVATION
551	MAINTAINED EXTERIOR STUCCO STONE UNDER 6" (BY OTHERS) STUCCO STONE
	INSTALL PER MANUFACTURERS INSTRUCTIONS

REQUIRED FLOOR CLEARANCES
AT WATER CLOSETS - TYPICAL



FLOOR AREA TABLE	PLAN 1900C
LOWER FLOOR PLAN	848 SQ. FT.
UPPER FLOOR PLAN	1,052 SQ. FT.
TOTAL	1,900 SQ. FT.
GARAGE	422 SQ. FT.
FRONT PORCH	45 SQ. FT.

FLOOR PLAN KEY NOTES	
NAME	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PUGH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
421	STUCCO CEILING; HEIGHT PER PLAN
422	STUCCO SOFFIT; HEIGHT PER ELEVATION
428	ARCHED STUCCO SOFFIT - HEIGHT PER ELEVATION
551	MANUFACTURED ADHESED STUCCO STONE VENEER BY CULTURED STONE CC-55 ESR-1384. INSTALL PER MANUFACTURERS INSTRUCTIONS

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PARTIAL FLOOR PLANS - PLAN 1900B & 1900C

PLAN 1900
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

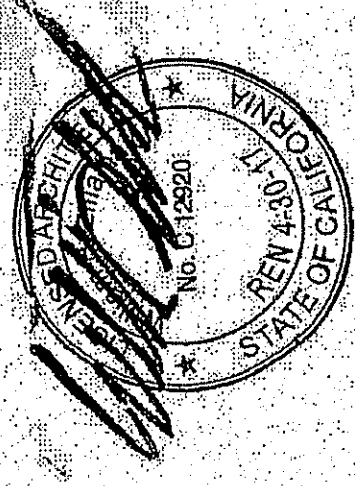
WILSON HOMES
FRESNO, CALIFORNIA

WILSON HOMES
FRESNO, CALIF.

FRESNO, CALIFORNIA

TRACT:

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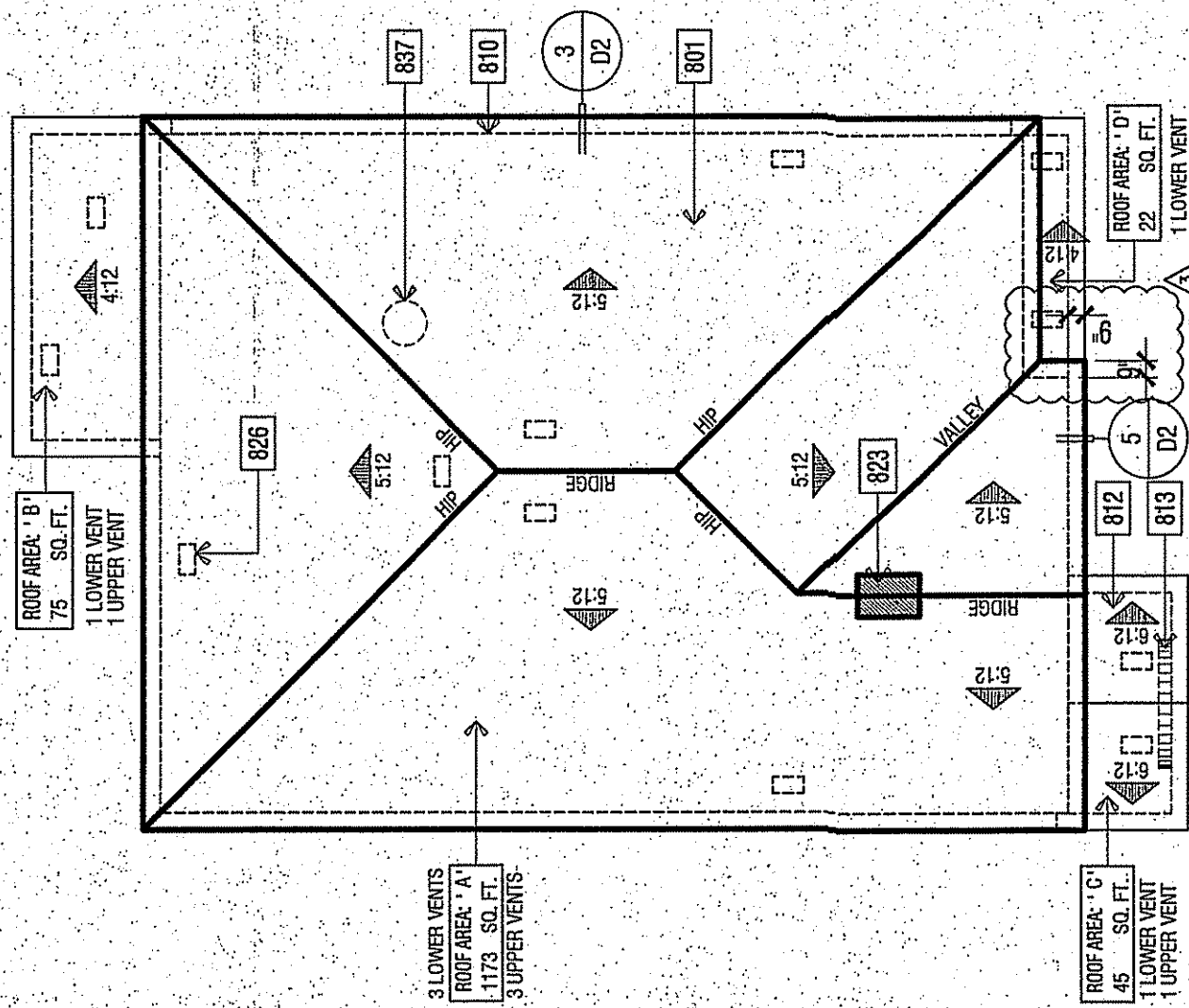


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
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PROJECT MANAGER :	HH
DESIGNER :	BRYAN
DRAWN BY :	
REVIEWED BY :	
1ST FLOOR DEPT. SUBMITTAL :	7-15-2016
ISSUED FOR CONSTRUCTION :	
JOB NUMBER :	2016064
CAD FILE NAME :	A305
DATE :	12-21-16
SHEET :	A3.5



ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	C	ELEVATION STYLE	FRENCH COUNTRY
ROOF MATERIAL		STANDARD ROOF DETAIL U.N.O.	OVERHANG U.N.O. FAVE RANGE
CONCRETE 'FLAT' TILE		2X6	2X6
*SINGLE ROOFING GCR ESR-1800.			

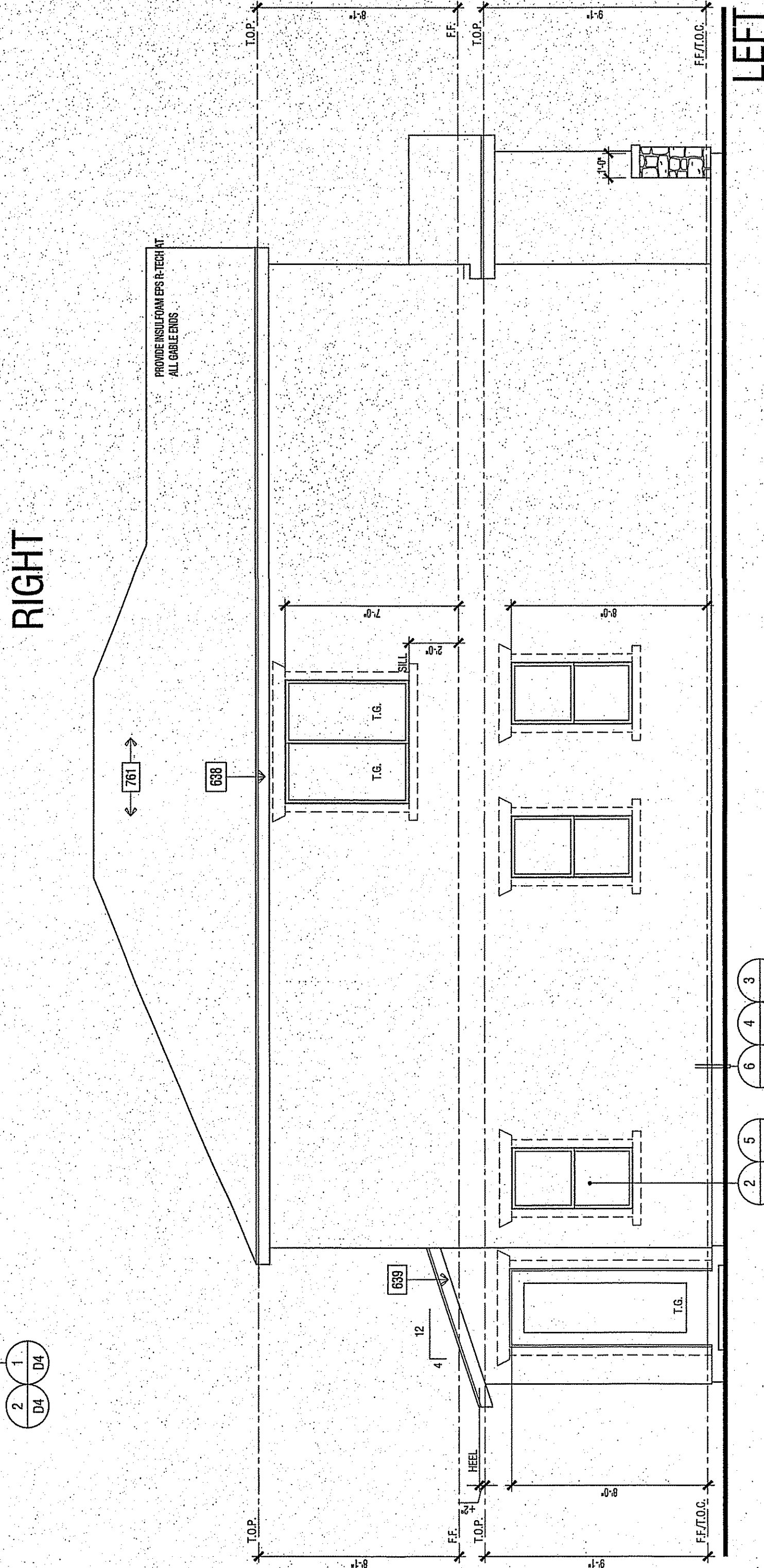
ROOF PLAN NOTES

NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CENIC SECTION 110.10.
SEE GENERAL NOTES FOR ROOF NOTES.
SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

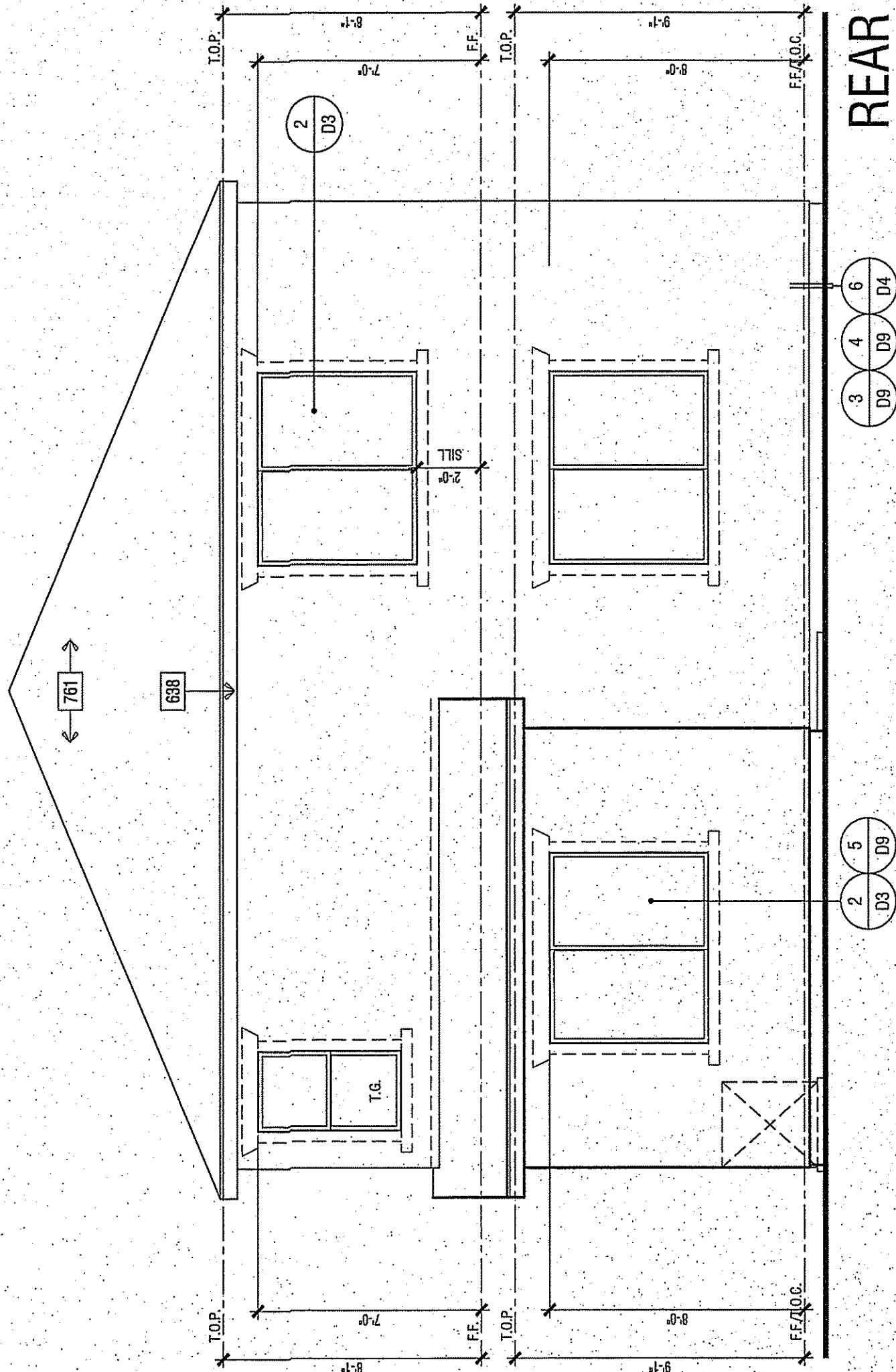
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ROOF PLAN KEY NOTES

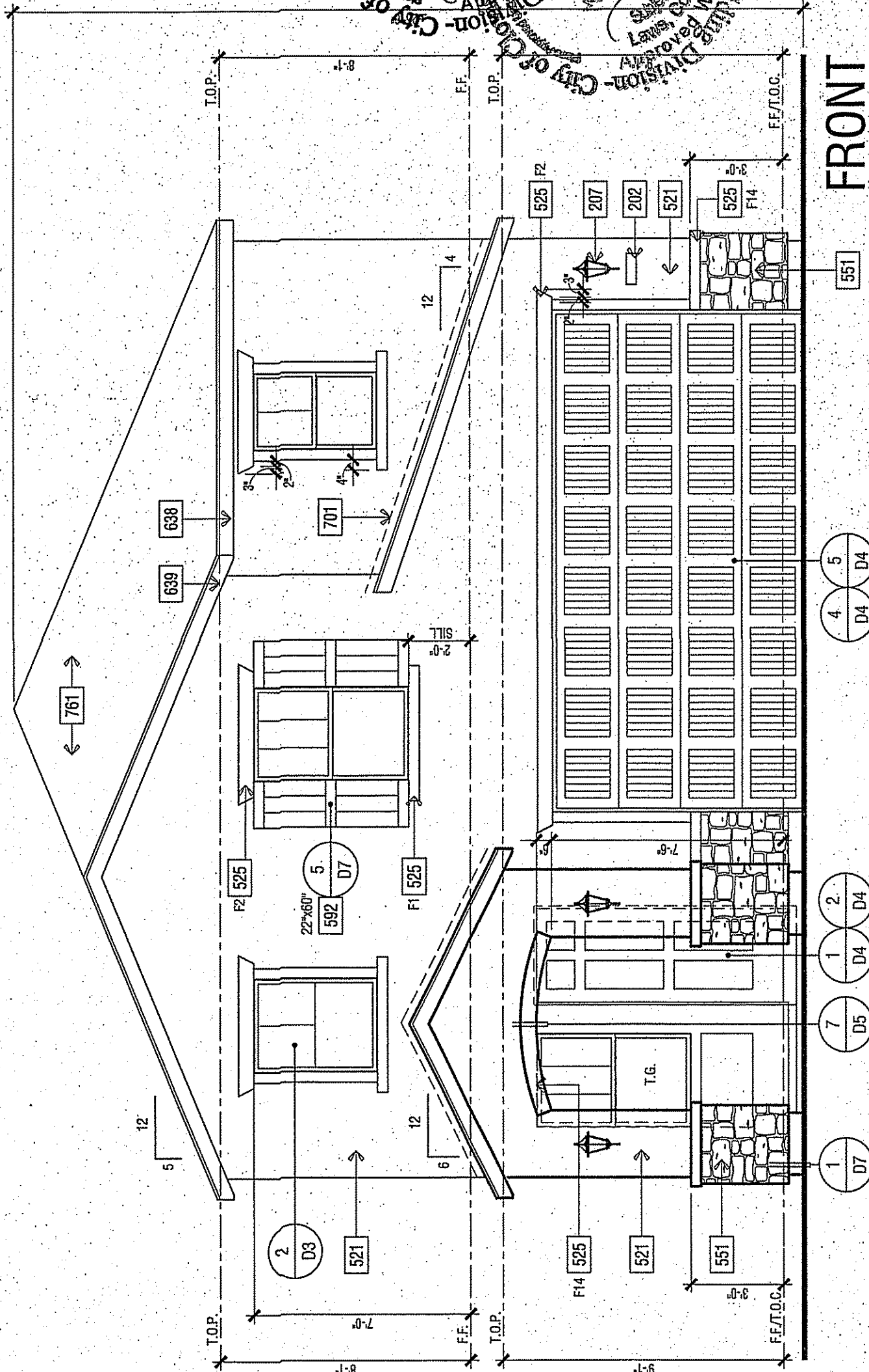
Item	NOTE
801	ROOFING - CONCRETE - FLAT - TILE BY EAGLE ROOFING CO# ESR 1000
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SLOPE
823	MAN 22X30 CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC REGS
826	ROOF VENT - OTVAGN "XL SERIES" CLOAKED VENT (CC # AER-8560A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR RITURE SOLAR INSTALLATION.

[illegible]

THE



REAR



FRONT

ELEVATION KEY NOTES	
Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
203	COUCH LIGHT LOCATION
207	STUCCO - OMEGA
321	OMEGA DIAMONDO WALL ONE COAT STUCCO ICC# SSR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER GRAT R GUARD SSR-1566 BY START R FORM OVER DUPONT TYVEK
511	RECESS BOX FOR RAINLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
515	STUCCO OVER RIBD FOAM TRIM - FOAM SHIP PER ELEVATION (SEE SHEET 10)
555	HANDICAPPED ADHERED STUCCO TYPE VENEER BY COLI BORDO ICC# SSR-1564
557	INSTALL PER MANUFACTURERS INSTRUCTIONS
638	2X6 WOOD FASCEA
639	2X6 WOOD BARGE BOARD
671	1" C1 FLASHING
701	RAVING - CONCRETE - PLAT TYLE BY EAGLE ROOFING ICC# SSR 1500
702	1" C1 FLASHING
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ANY CORNER WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR 48" ABOVE FINISHED GRADE AT THE EXTERIOR MUST BE PROTECTED BY AN EXTERIOR FINISH. THE FINISH SHALL BE A MINIMUM OF 1/2" ABOVE THE FINISHED GRADE. A SPHERE #1 IN DIAMETER CAN PASS THROUGH. 2016 DCS 1405.132.

A

ELEVATION KEY NOTES

RIGHT

SFD

TRACT:

WILSON HOMES
FRESNO, CALIFORNIA

PLAN 1900
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION
3	12-21-16	2016 CODE UPDATE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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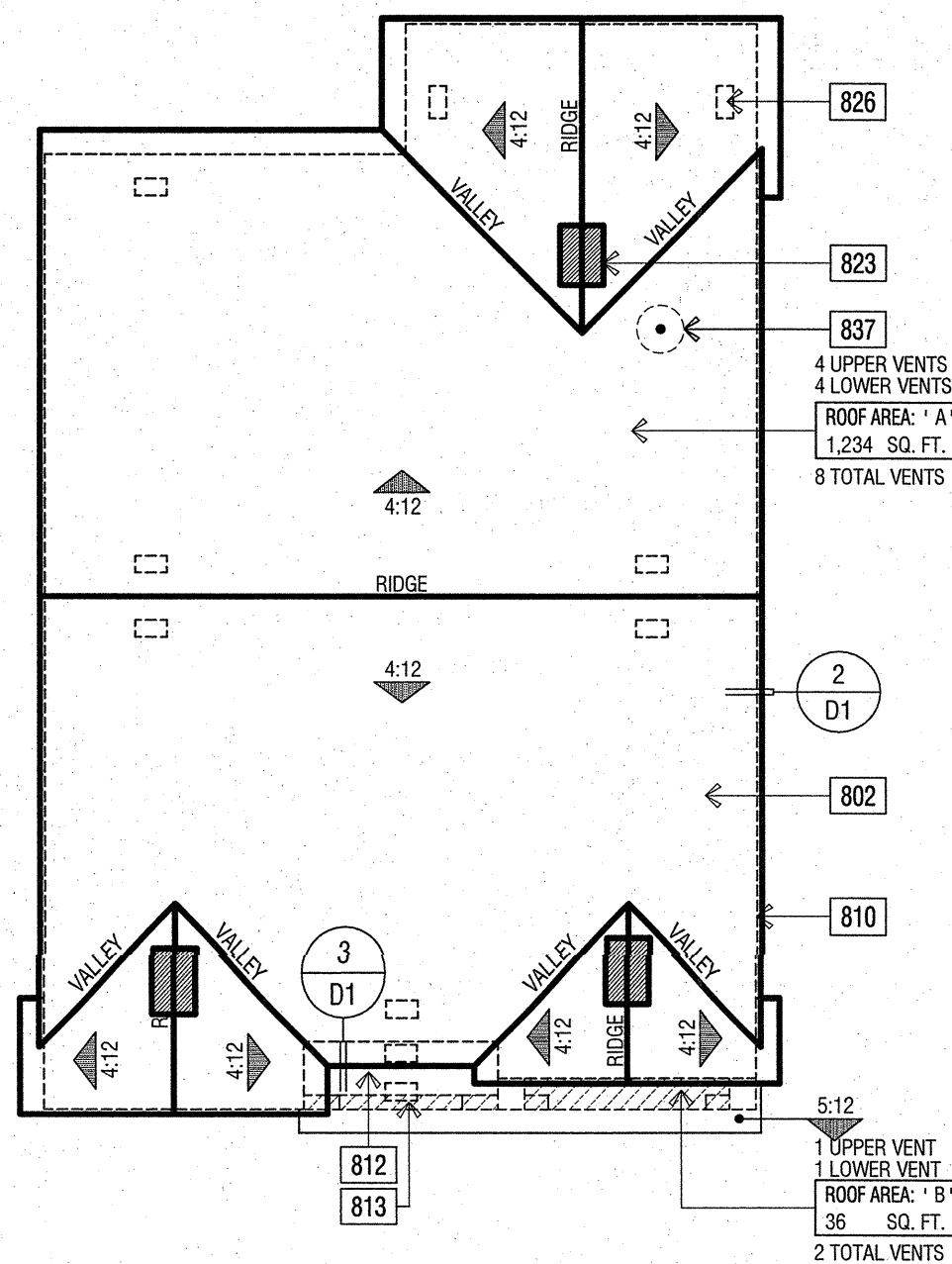
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DESIGNER :	BH/AM
DRAWN BY :	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	7-15-2016
ISSUED FOR CONSTRUCTION :	
JOB NUMBER :	2016084
CAD FILE NAME :	A307

DATE: 12-21-16
SHEET: A37

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
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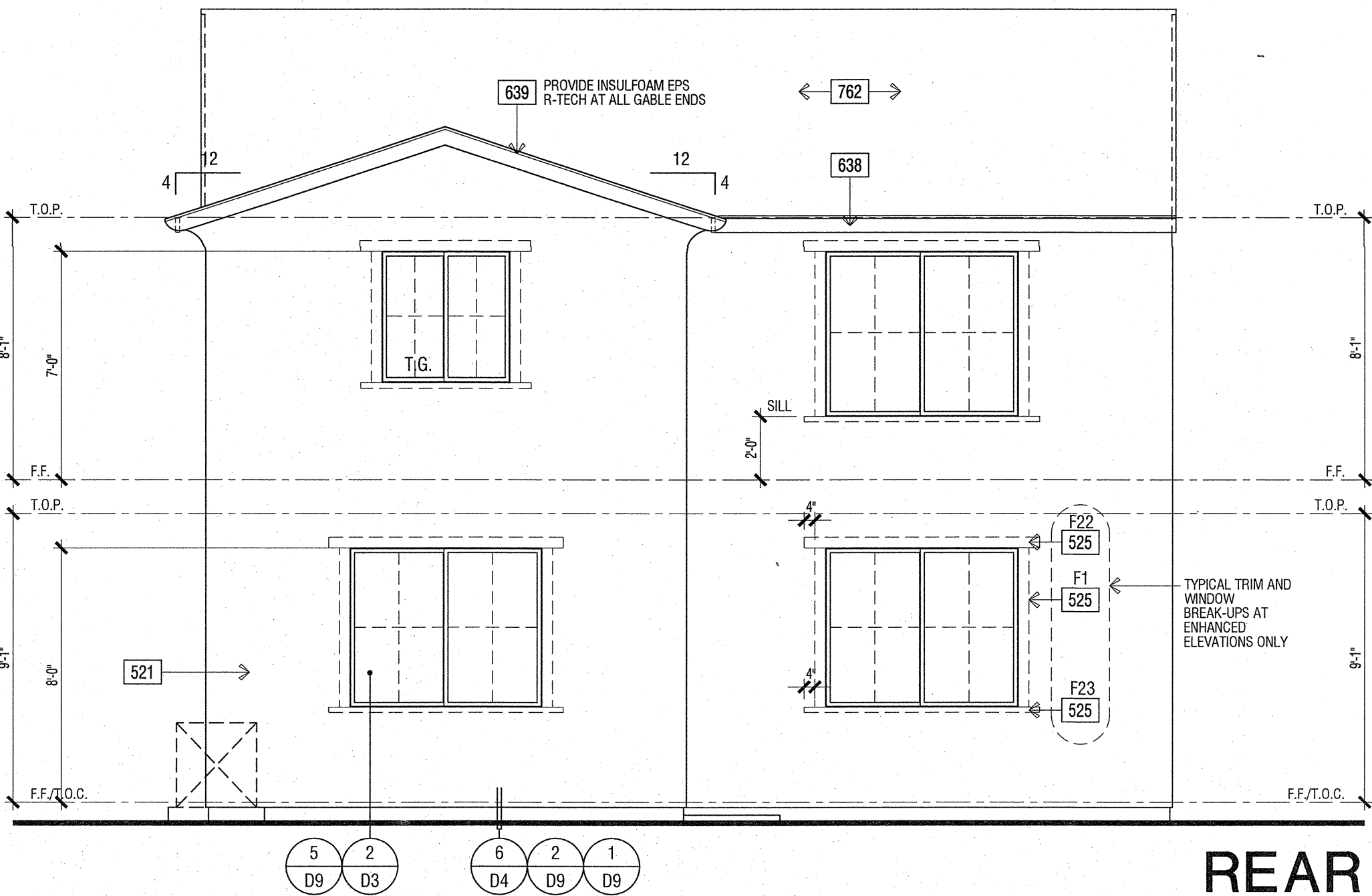


ROOF PLAN

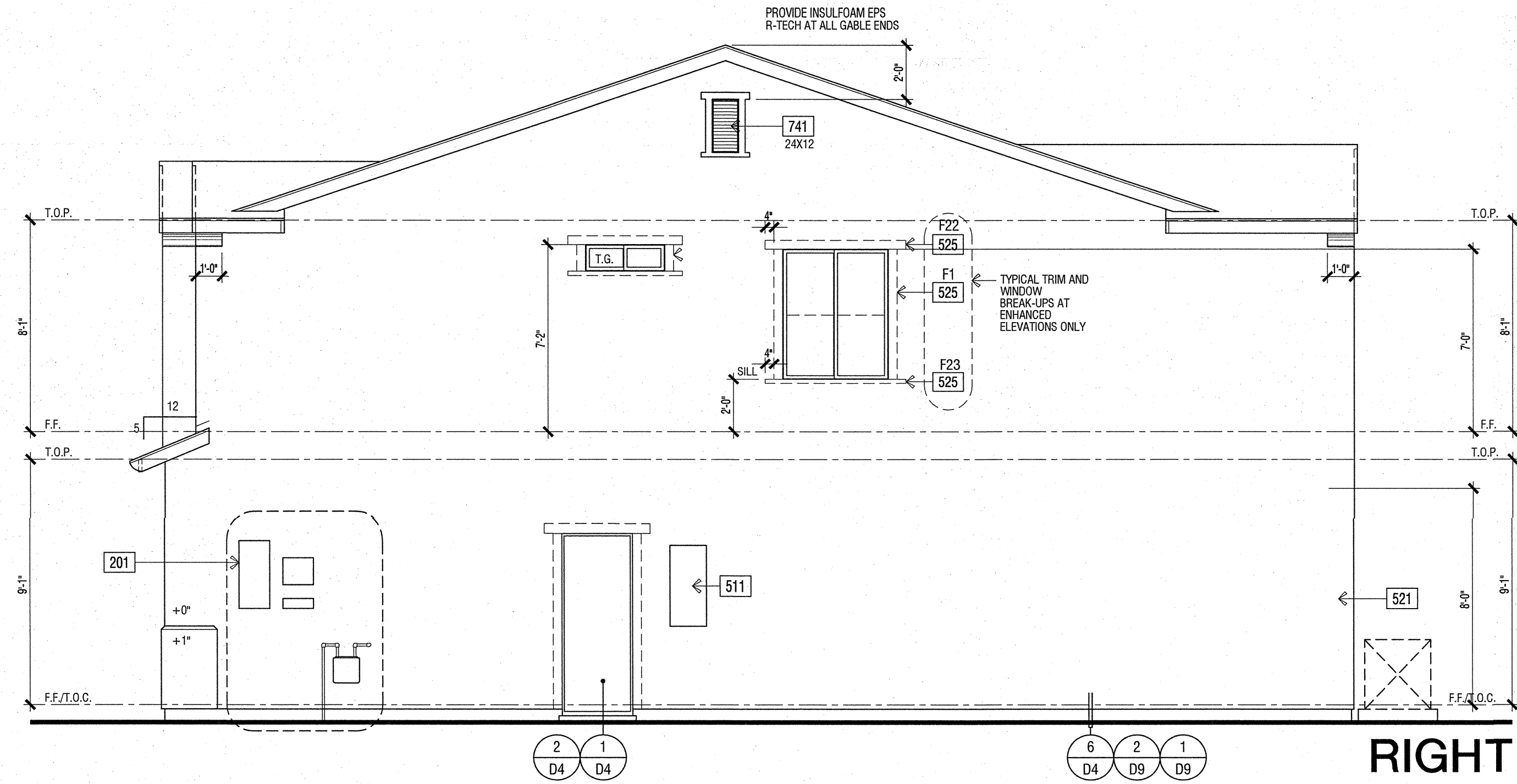
SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE:	A	ELEVATION STYLE:	TUSCAN		
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	
				EAVE	RAKE
LOW PROFILE CONCRETE S-TILE "EAGLE ROOFING" ICC# ESR-1900		2X6	2X6	1'-0"	TIGHT
ROOF PLAN NOTES					
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CENC SECTION 110.10.					
1. SEE GENERAL NOTES FOR ROOF NOTES.					
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.					
3. ATTIC ACCESS PER CIRC SECTION R007.					
4. PROVIDE ATTIC & SOFFIT VENTILATION PER CIRC SECTION R006. PER CIRC SECTION R006.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: 1. IN CLIMATE ZONES 14 AND 15, A CLASS 1 OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.					

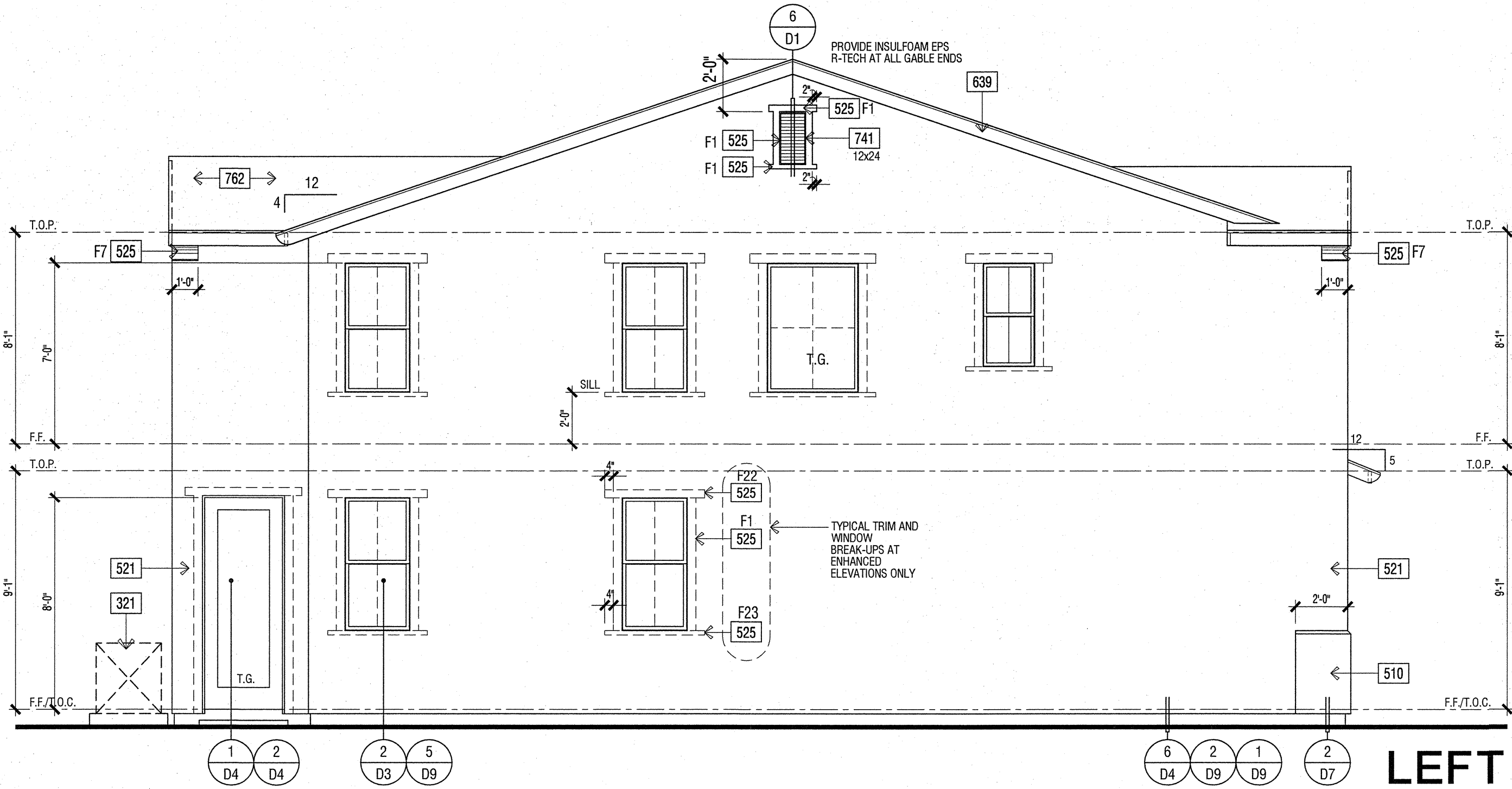
Name	NOTE
802	ROOFING - CONCRETE - LOW PROFILE "S" TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - OHAGIN "XL SERIES" CLOAKED VENT (ICC # NER-9650A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.



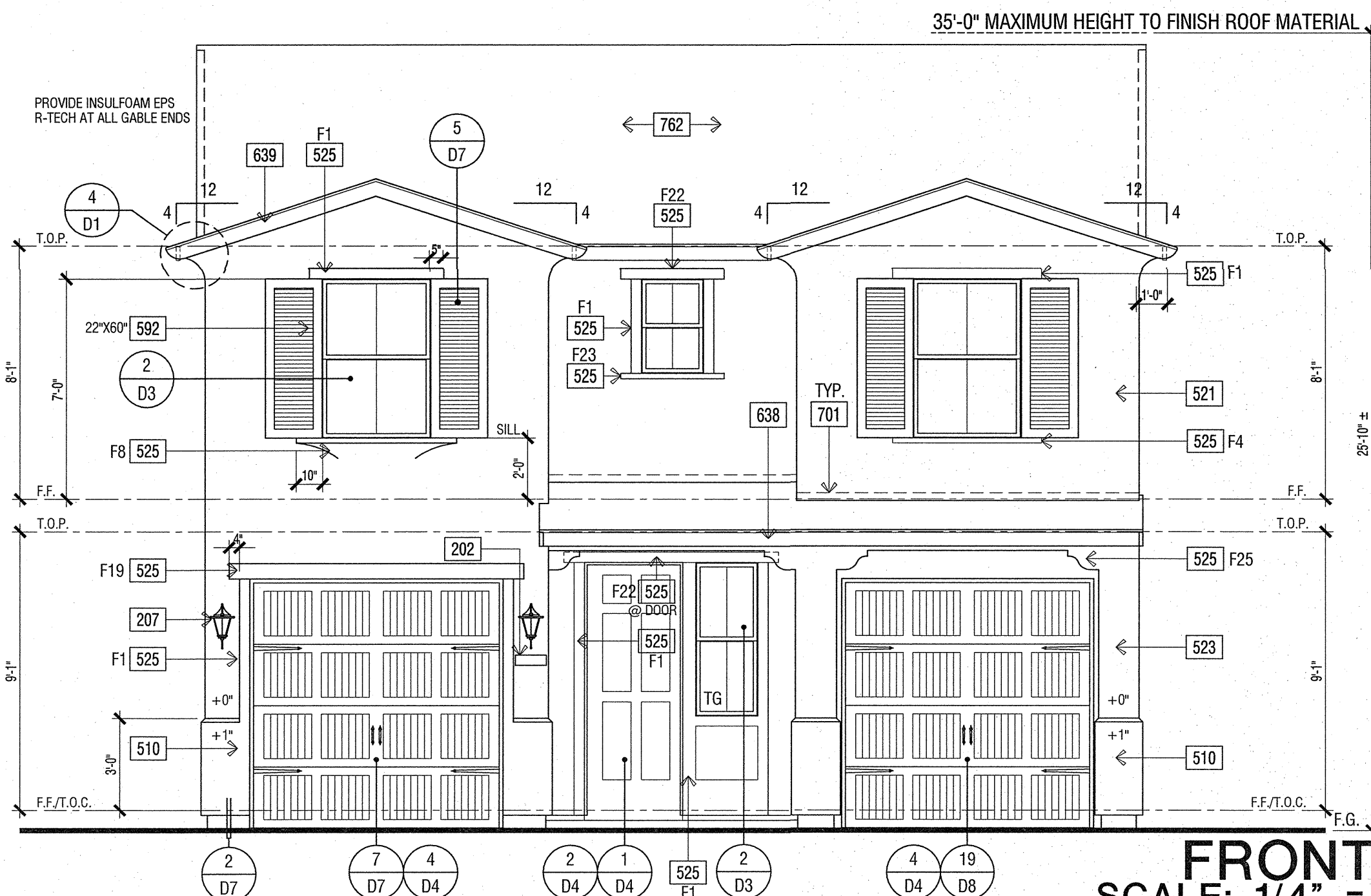
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SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
510	STUCCO OVER 2x FURRING - SIZE PER DETAIL
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT R GUARD ESR-1566 BY START R FOAM OVER DUPONT TYVEK
523	STUCCO COLUMN - SIZE PER PLAN - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4/D5)
580	DECORATIVE FOAM ACCENT
592	SHUTTER - SIZE PER ELEVATION
601	WOOD TRIM - SIZE PER ELEVATION
638	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
701	G.I. FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL LOUVER VENT - SIZE PER ELEVATION
762	ROOFING - CONCRETE - LOW PROFILE "S" TILE TILE BY EAGLE ROOFING ICC# ESR 1900
TYP.	2 LAYERS OF OF GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R703.63

ROOF ATTIC AREA		A	1234	SQ. FT.	CALCULATION FACTOR:		1/300	
			177696	SQ. IN.				
MIN. VENTILATION REQUIRED:		TOTAL	592	SQ. IN.	TOTAL PROVIDED:		780	SQ. IN.
MIN. VENTILATION REQUIRED:		HIGH	296	SQ. IN.	TOTAL HIGH PROVIDED:		390	SQ. IN.
MIN. VENTILATION REQUIRED:		LOW	296	SQ. IN.	TOTAL LOW PROVIDED:		390	SQ. IN.
HIGH VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC S-TILE		-	98	SQ. IN. X 4	390	SQ. IN.		
					TOTAL PROVIDED:	390	SQ. IN.	
LOW VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC S-TILE		-	98	SQ. IN. X 4	390	SQ. IN.		
					TOTAL PROVIDED:	390	SQ. IN.	
ROOF ATTIC AREA		B	36	SQ. FT.	CALCULATION FACTOR:		1/300	
			5184	SQ. IN.				
MIN. VENTILATION REQUIRED:		TOTAL	17	SQ. IN.	TOTAL PROVIDED:		195	SQ. IN.
MIN. VENTILATION REQUIRED:		HIGH	9	SQ. IN.	TOTAL HIGH PROVIDED:		98	SQ. IN.
MIN. VENTILATION REQUIRED:		LOW	9	SQ. IN.	TOTAL LOW PROVIDED:		98	SQ. IN.
HIGH VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC S-TILE		-	98	SQ. IN. X 1	98	SQ. IN.		
					TOTAL PROVIDED:	98	SQ. IN.	
LOW VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC S-TILE		-	98	SQ. IN. X 1	98	SQ. IN.		
					TOTAL PROVIDED:	98	SQ. IN.	

PLAN 1945A TUSCAN - EXTERIOR ELEVATIONS AND ROOF PLAN

PLAN 1945
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT MANAGER:	MM
DESIGNER:	BH/AM
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	04-10-15
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2014027.03
CAD FILE NAME:	A604

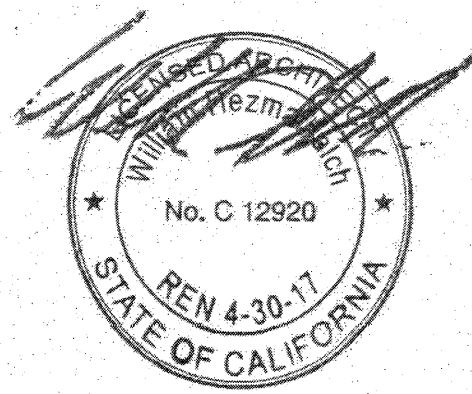
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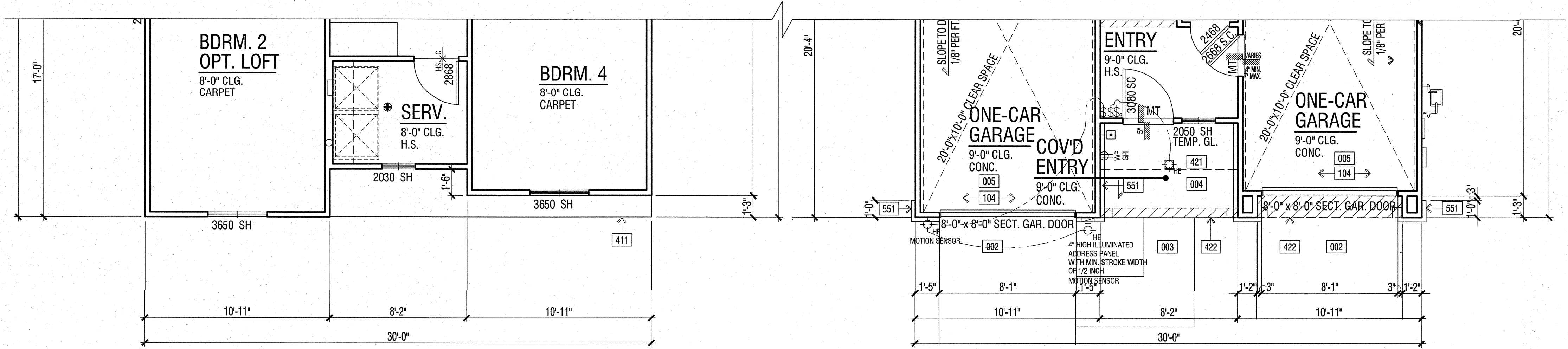
2014027.03 - 03-23-2017 - 2016 CODE UPDATE



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949 250 0607 www.wharchitects.com fax 949 250 1529



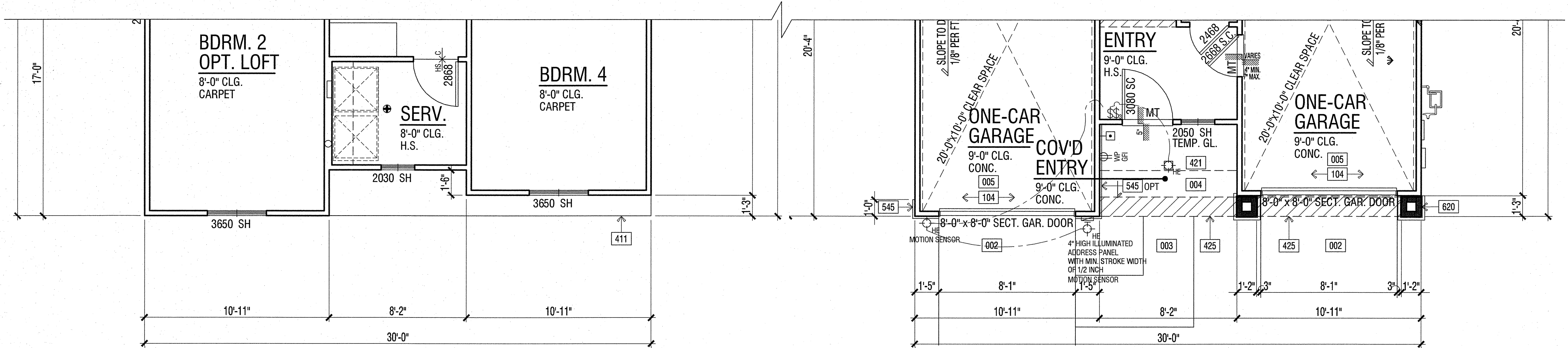
TRACT 5701-6143
SFD



UPPER FLOOR PLAN 1945C

LOWER FLOOR PLAN 1945C

ADDENDA PLAN 1945C



UPPER FLOOR PLAN 1945B

LOWER FLOOR PLAN 1945B

ADDENDA PLAN 1945B

SCALE: 1/4" = 1'- 0"

FLOOR AREA TABLE	PLAN 1945C
LOWER FLOOR PLAN	777 SQ. FT.
UPPER FLOOR PLAN	1168 SQ. FT.
TOTAL	1945 SQ. FT.
1st GARAGE	217 SQ. FT.
2nd GARAGE	217 SQ. FT.
COVERED ENTRY	45 SQ. FT.

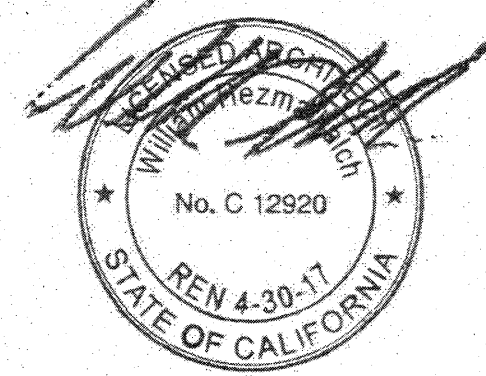
FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
411	LINE OF FLOOR BELOW
421	STUCCO CEILING: HEIGHT PER PLAN
422	STUCCO SOFFIT: HEIGHT PER PLAN
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS
610	WOOD POST - SIZE PER STRUCTURAL

FLOOR PLAN NOTES	
1.	ATTICS: ACCESS PER CRC R807, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R806.
2.	EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310. MEANS OF EGRESS PER CRC R311.
3.	GLAZING PER CRC R303.1 & R308
4.	FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006 (GBSIC SECTION 4.503 & CIRC SECTION 150.0(i)).
5.	COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
6.	COMBUSTION AIR TO WATER HEATER PER CPC SECTION 507.0.
7.	ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
8.	MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 305 & 308.
9.	MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
10.	THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. 2016 CRC R31.0.1
11.	IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC R312.2
12.	A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R109.1.4.2 & 2016 CRC 110.3.5
13.	GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 2016 CRC R308
14.	PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE 2016 T-24
15.	VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 2016 CMC 916.1 & 916.2
16.	A SHEETROCK NAILING INSPECTION IS REQUIRED. - 2016 CRC R106.1.1
17.	THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. - 2016 CRC R702.4.2
18.	THE THREE CAR GARAGE IS NON-CONFORMING AND THE REQUIRED SIDEYARD SETBACKS MAY NOT BE RELAXED. 2016 CRC R106.1.1
19.	NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CEC 150.0(a)
20.	A MINIMUM 30" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. 2016 CPC 408.6

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
411	LINE OF FLOOR BELOW
421	STUCCO CEILING: HEIGHT PER PLAN
425	WOOD SOFFIT - HEIGHT PER PLAN
545	THIN SET BRICK VENEER BY ENDICOTT BRICK - ASTM C-1088 - INSTALL PER MANUFACTURER'S INSTRUCTIONS
620	BUILT-UP WOOD COLUMN - SIZE PER PLAN

FLOOR AREA TABLE	PLAN 1945B
LOWER FLOOR PLAN	777 SQ. FT.
UPPER FLOOR PLAN	1168 SQ. FT.
TOTAL	1945 SQ. FT.
1st GARAGE	217 SQ. FT.
2nd GARAGE	217 SQ. FT.
COVERED ENTRY	45 SQ. FT.

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TRACT 5701-6143
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PLAN 1945
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

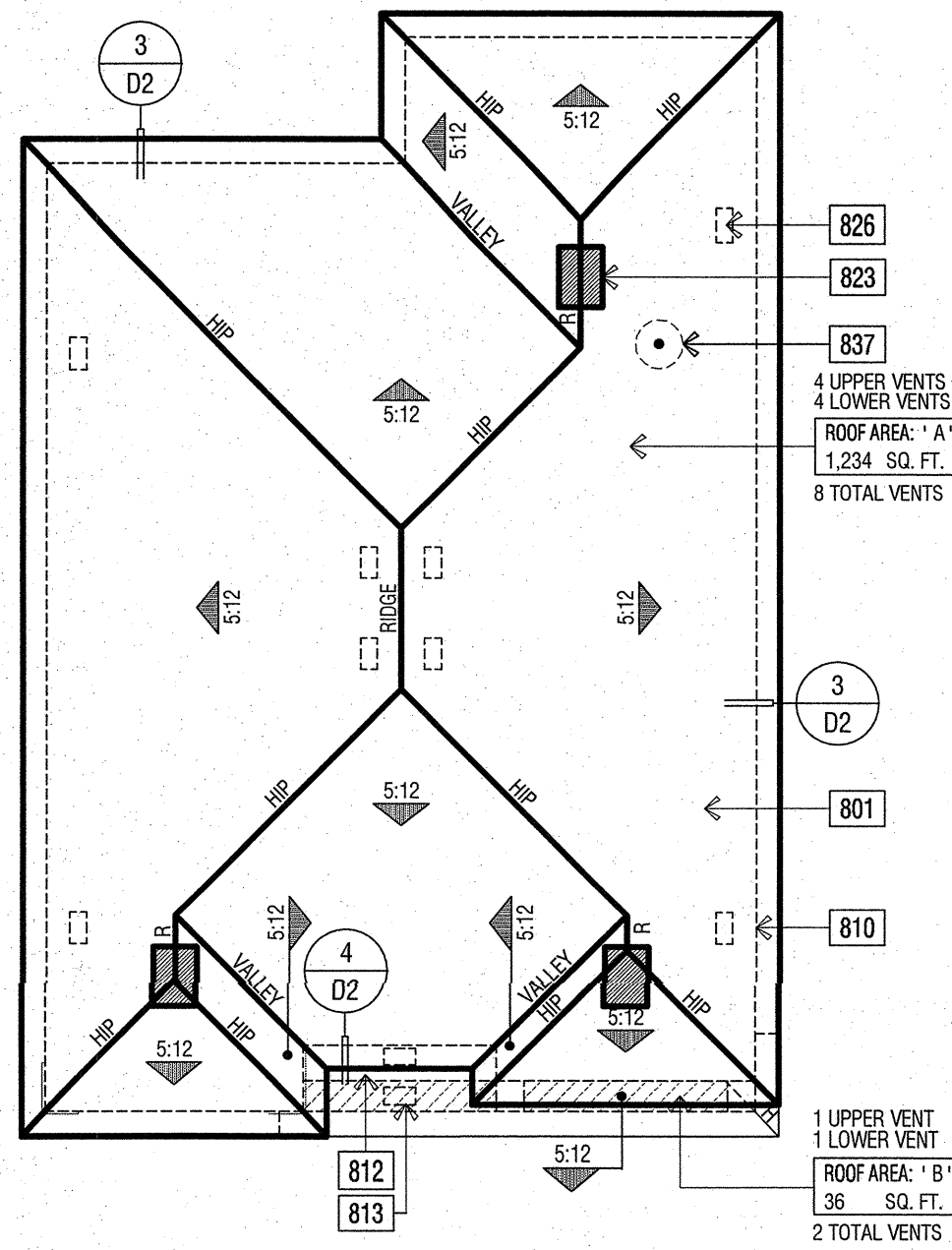
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER :	MM
DESIGNER :	BH/AM
DRAWN BY :	
REVIEWED BY :	-
1ST BLDG. DEPT. SUBMITTAL :	04-10-15
ISSUED FOR CONSTRUCTION :	-
JOB NUMBER :	2014027.03
CAD FILE NAME :	A605

DATE:	SHEET:
03-23-17	A6.5

PLAN 1945B AND PLAN 1945C ADDENDA PLANS

2014027.03 - 03-23-2017 - 2016 CODE UPDATE

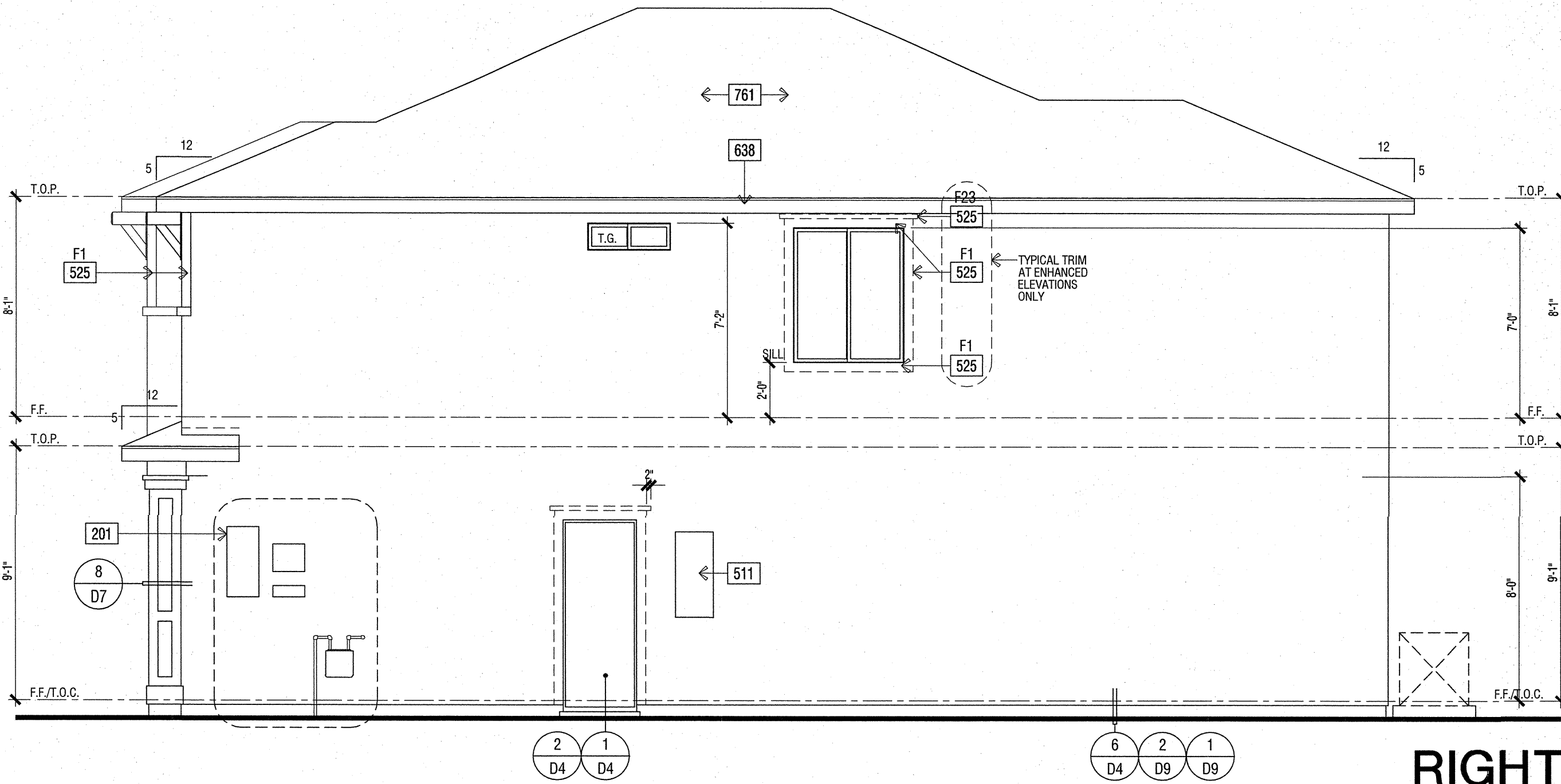


ROOF PLAN

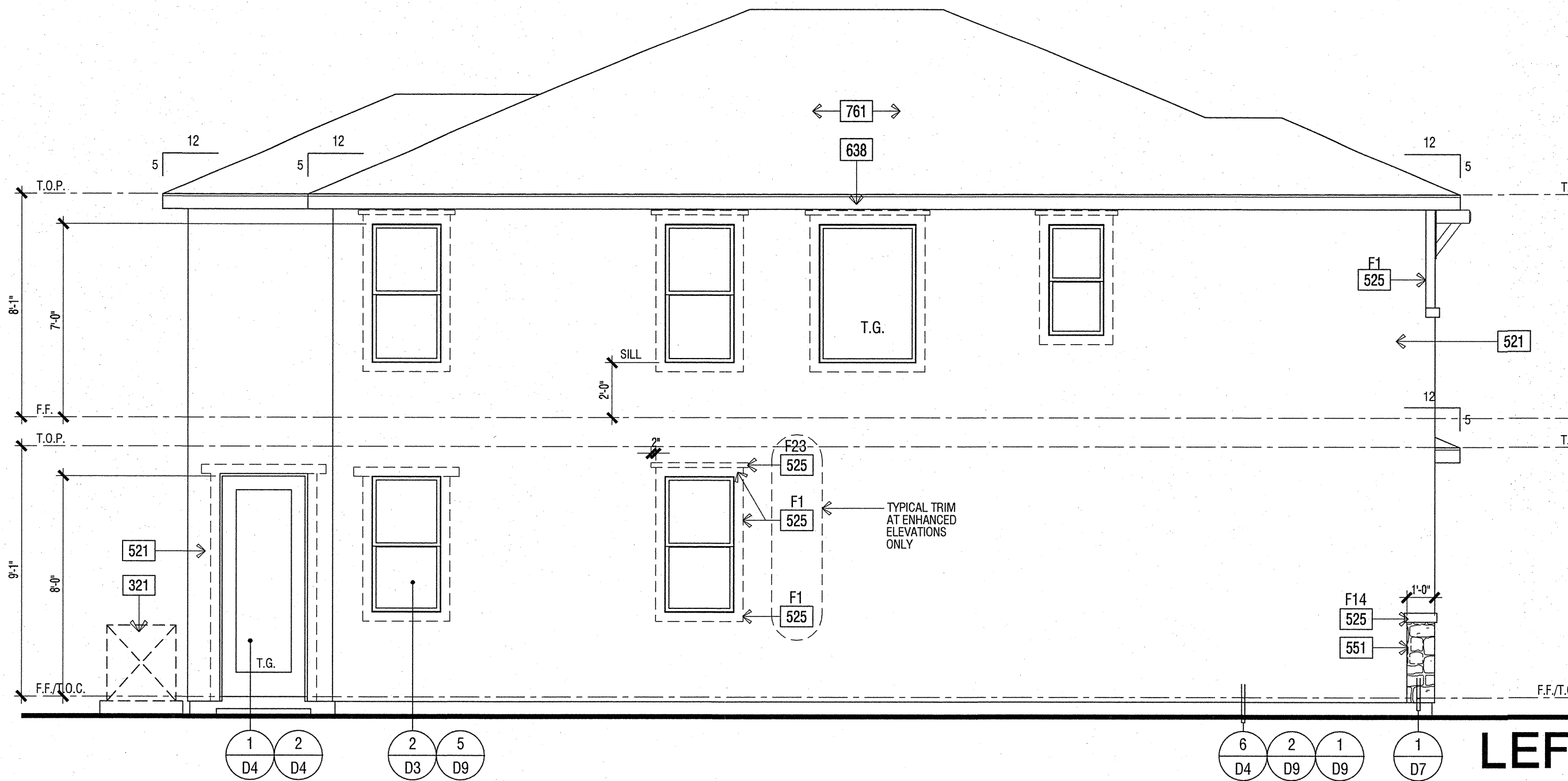
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ELEVATION REFERENCE: B		ELEVATION STYLE: COTTAGE	
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	OVERHANG DIM. - U.N.O.
CONCRETE 'FLAT' TILE	1 D2	2X6	2X6
EAGLE ROOFING ICC# ESR-1900			
ROOF PLAN NOTES			
1. SEE GENERAL NOTES FOR ROOF NOTES. 2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3. ATTIC ACCESS PER CRC SECTION R807. 4. PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R806. TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NO MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING PER CRC SECTION R806.2.			

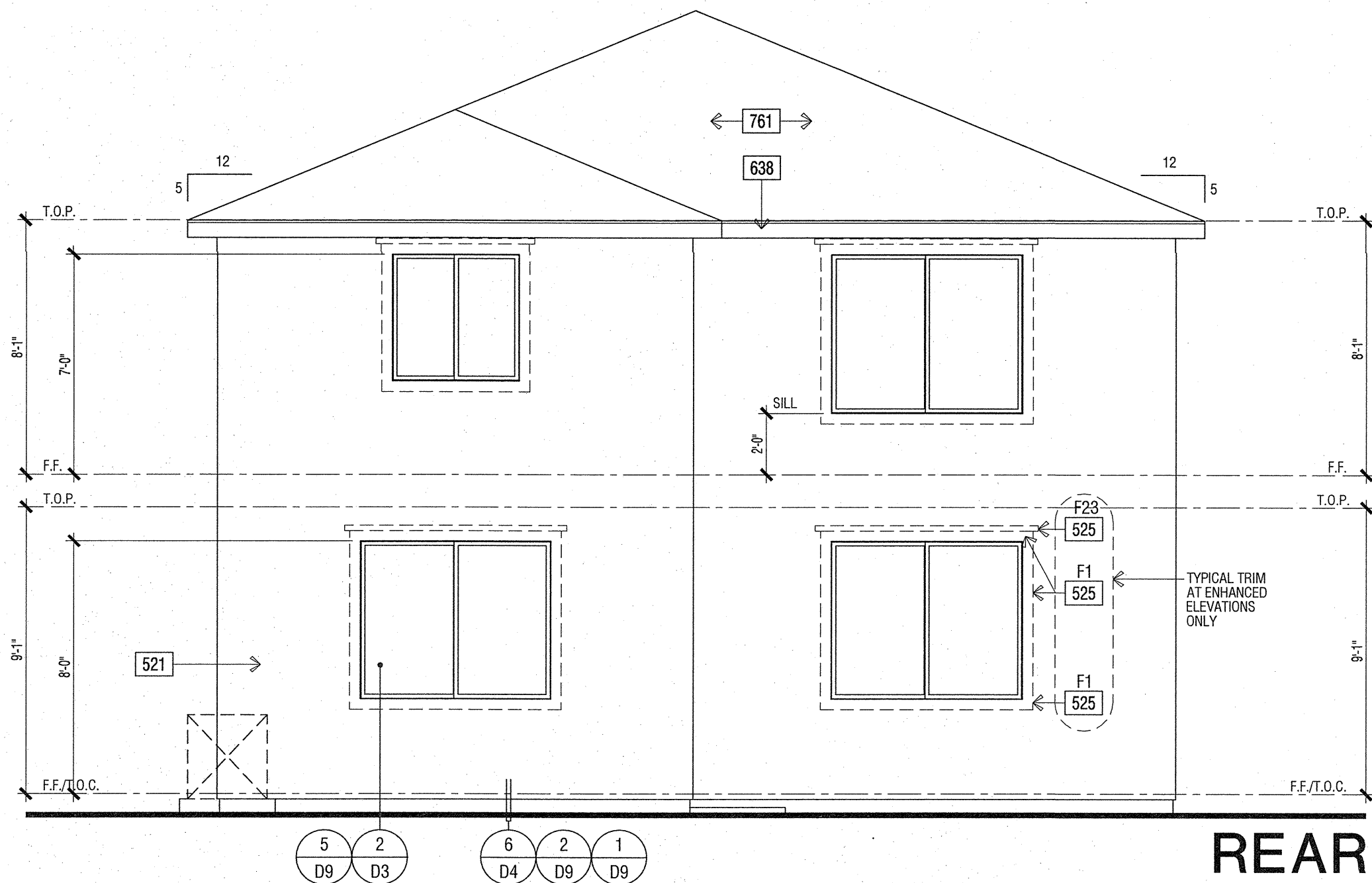
ROOF PLAN KEY NOTES	
Name	NOTE
801	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
814	WOOD SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - "HAGIN" "XL SERIES" CLOAKED VENT (ICC # NER-9650A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.



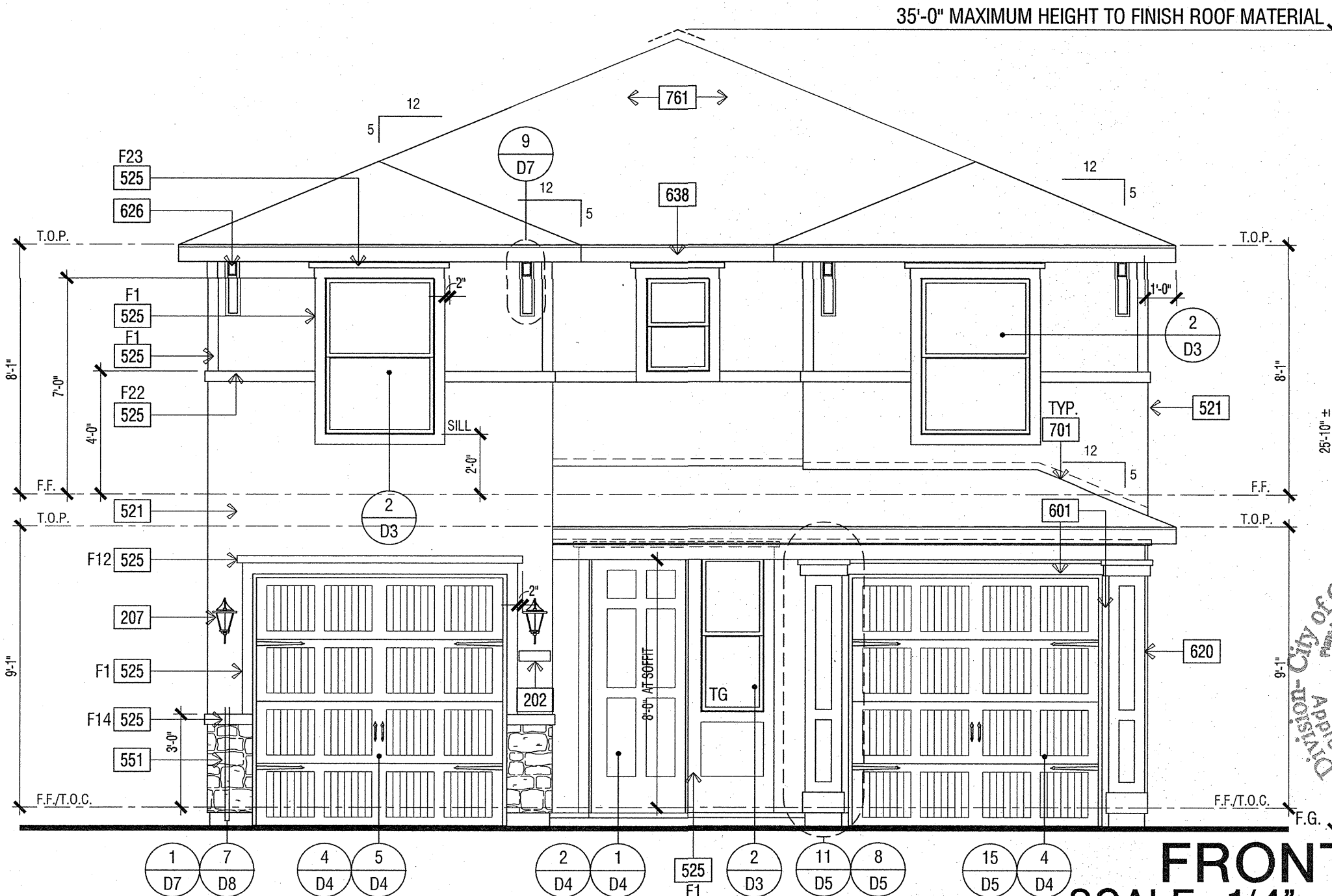
RIGHT



LEFT



REAR



FRONT
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES	
Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER. 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT "R" GUARD ESR-1566 BY "START R FOAM" OVER DUPONT TYVEK
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS
601	WOOD TRIM - SIZE PER ELEVATION/DETAIL
620	BUILT-UP WOOD COLUMN - SIZE PER PLAN
603	WOOD CORNER TRIM - SIZE PER DETAIL 3/D5
6508	FIBER CEMENT LAP SIDING - 5/16" THICK "HARDIPLANK" BY JAMESHARDIE ICC-ES NER 405 (OR EQUIVALENT), FINISH: SELECT CEDARMILL. EXPOSURE 6" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
626	OUTLOOKER ASSEMBLY - WOOD (SIZE/SHAPE PER ELEVATION)
638	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
691	DECORATIVE METAL ACCENT - PER DETAIL
701	G.I. FLASHING
761	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
TYP.	2 LAYERS OF OF GRADE "D" BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R703.63

ROOF ATTIC AREA		Calculation Factor:
A	1234 SQ. FT.	1/300
MIN. VENTILATION REQUIRED:	TOTAL 592 SQ. IN.	TOTAL PROVIDED: 790 SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH 296 SQ. IN.	TOTAL HIGH PROVIDED: 395 SQ. IN.
MIN. VENTILATION REQUIRED:	LOW 197 SQ. IN.	TOTAL LOW PROVIDED: 395 SQ. IN.
HIGH VENTILATION METHOD		Quantity
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 4	395 SQ. IN.
TOTAL PROVIDED:		395 SQ. IN.
LOW VENTILATION METHOD		Quantity
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 4	395 SQ. IN.
TOTAL PROVIDED:		395 SQ. IN.
ROOF ATTIC AREA		Calculation Factor:
B	36 SQ. FT.	1/300
MIN. VENTILATION REQUIRED:	TOTAL 17 SQ. IN.	TOTAL PROVIDED: 198 SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH 9 SQ. IN.	TOTAL HIGH PROVIDED: 99 SQ. IN.
MIN. VENTILATION REQUIRED:	LOW 3 SQ. IN.	TOTAL LOW PROVIDED: 99 SQ. IN.
HIGH VENTILATION METHOD		Quantity
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 1	99 SQ. IN.
TOTAL PROVIDED:		99 SQ. IN.
LOW VENTILATION METHOD		Quantity
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 1	99 SQ. IN.
TOTAL PROVIDED:		99 SQ. IN.

PLAN 1945B REGENCY - EXTERIOR ELEVATIONS AND ROOF PLAN

PLAN 1945
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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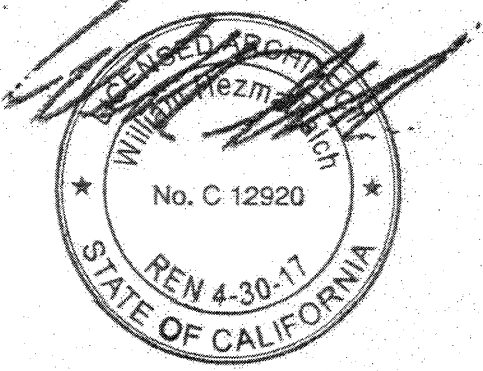
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DESIGNER :	BH/AM
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REVIEWED BY :	-
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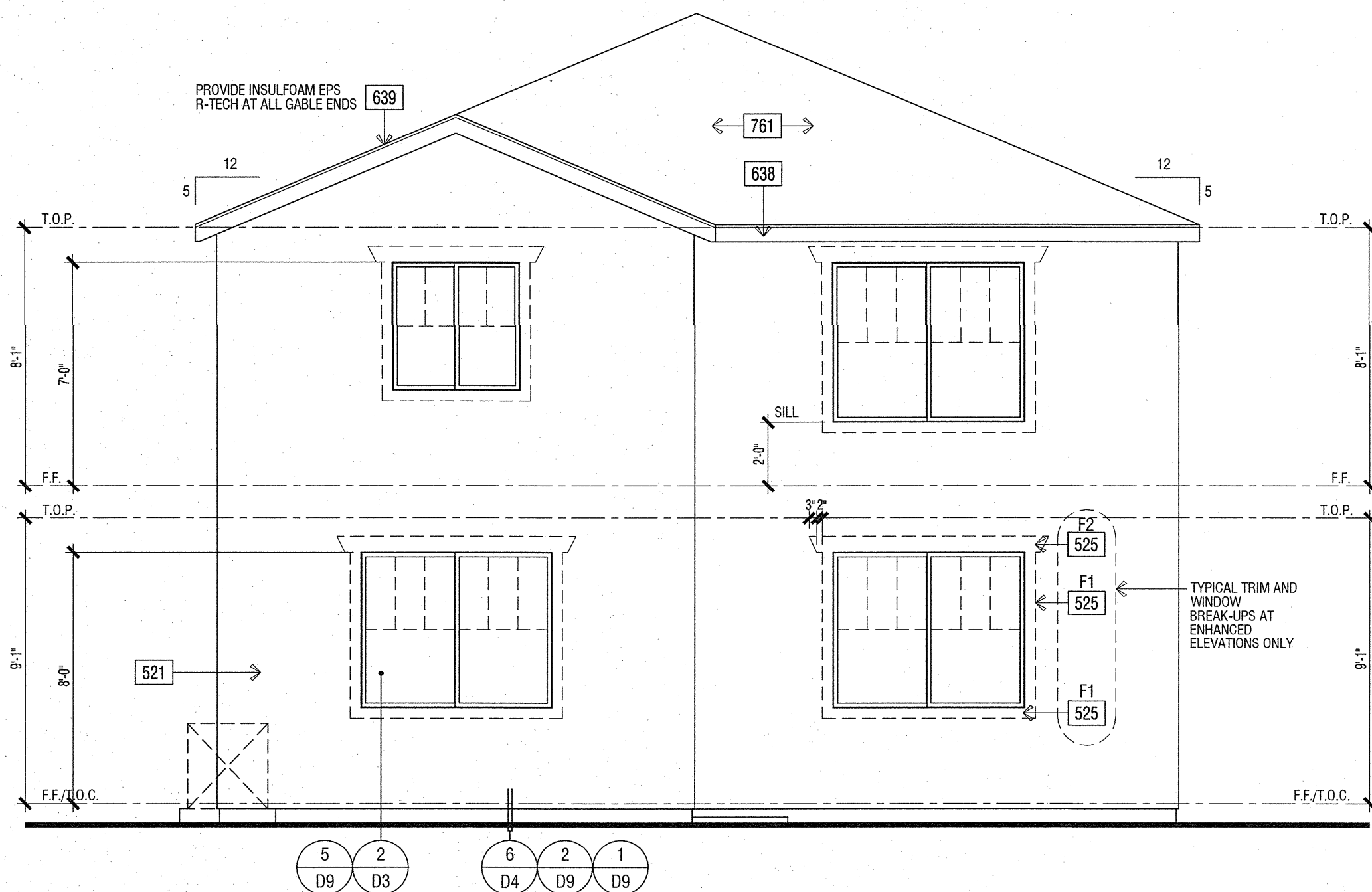
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ROOF PLAN

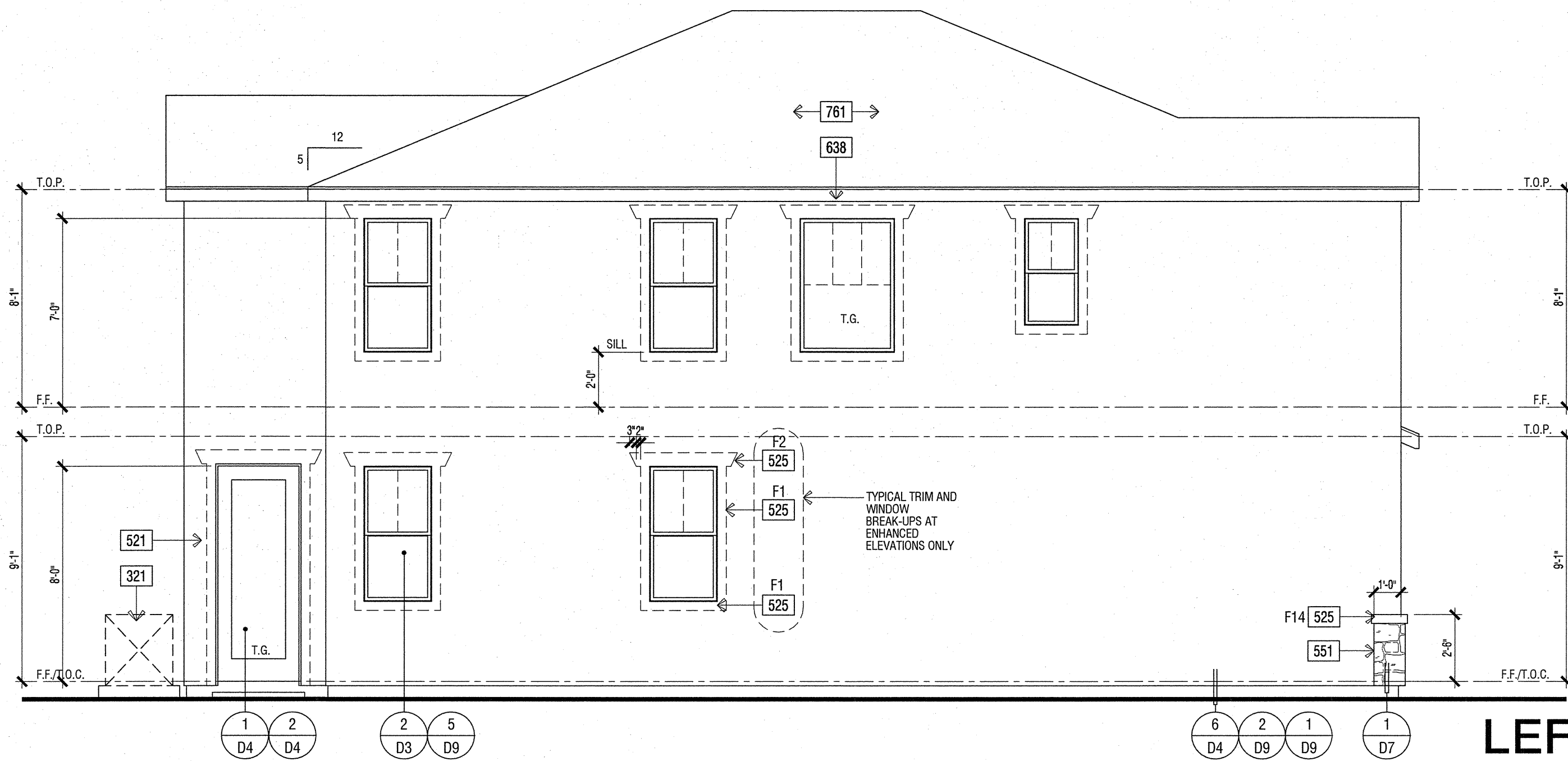
SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE: C		ELEVATION STYLE: FRENCH COUNTRY			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	
CONCRETE 'FLAT' TILE *EAGLE ROOFING* ICC# ESR-1900	1 D2	2X6	2X6	9"	9"
ROOF PLAN NOTES					
1. SEE GENERAL NOTES FOR ROOF NOTES.					
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.					
3. ATTIC ACCESS PER CRC SECTION R807.					
4. PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R806. TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/1000 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NO MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING PER CRC SECTION R806.2.					

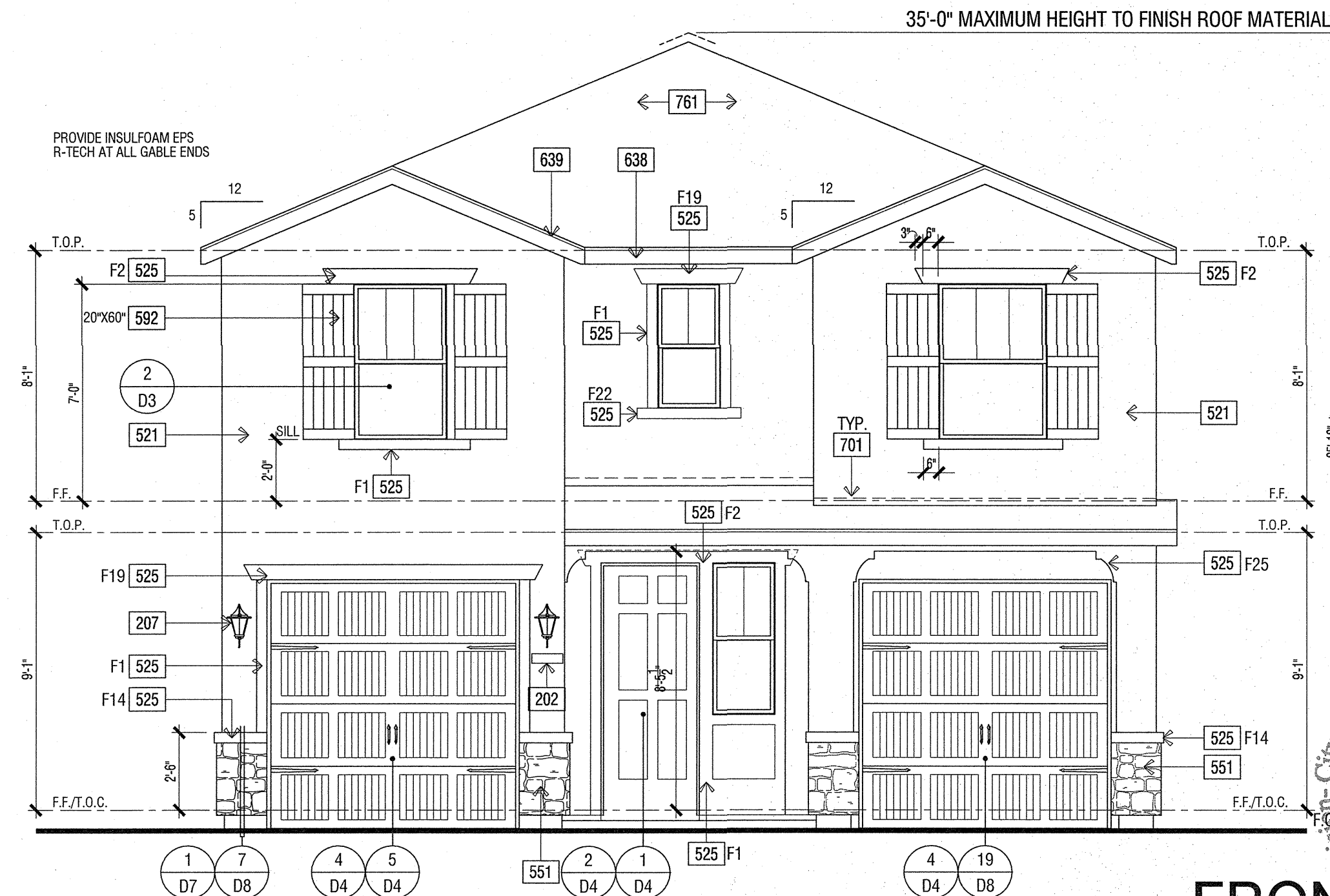
ROOF PLAN KEY NOTES	
Name	NOTE
801	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - OHAGIN 'XL SERIES' CLOAKED VENT (ICC # NER-9650A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.



REAR



LEFT



FRONT

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES	
Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER - 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT 'R' GUARD ESR-1568 BY 'START R FOAM' OVER DUPONT TYVEK
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS
592	SHUTTER - SIZE PER ELEVATION
601	WOOD OVER TRIM - SIZE PER ELEVATION
610	WOOD POST - SIZE PER STRUCTURAL
624	CORBEL - WOOD (SIZE/SHAPE PER DETAIL)
638	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
650B	FIBER CEMENT LAP SIDING - 5/16" THICK 'HARDPLANK' BY JAMESHARDIE ICC-ES NER 405 (OR EQUIVALENT). FINISH: SELECT CEDARMILL. EXPOSURE 6" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
701	G.I. FLASHING
761	ROOFING - CONCRETE - 'FLAT' TILE BY EAGLE ROOFING ICC# ESR 1900
TYP.	2 LAYERS OF OF GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2010 CRC R703.63

ROOF ATTIC AREA		A	1234	SQ. FT.	177696	SQ. IN.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL	592	SQ. IN.	TOTAL PROVIDED: 790				SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH	296	SQ. IN.	TOTAL HIGH PROVIDED: 395				SQ. IN.
MIN. VENTILATION REQUIRED:	LOW	197	SQ. IN.	TOTAL LOW PROVIDED: 395				SQ. IN.
HIGH VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC.FLAT TILE -		99	SQ. IN.	4	396	TOTAL PROVIDED: 395		
CLOAKED VENT - CONC.FLAT TILE -		99	SQ. IN.	4	396	TOTAL PROVIDED: 395		
LOW VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC.FLAT TILE -		99	SQ. IN.	4	396	TOTAL PROVIDED: 395		
ROOF ATTIC AREA		B	36	SQ. FT.	5184	SQ. IN.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL	17	SQ. IN.	TOTAL PROVIDED: 198				SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH	9	SQ. IN.	TOTAL HIGH PROVIDED: 99				SQ. IN.
MIN. VENTILATION REQUIRED:	LOW	3	SQ. IN.	TOTAL LOW PROVIDED: 99				SQ. IN.
HIGH VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC.FLAT TILE -		99	SQ. IN.	1	99	TOTAL PROVIDED: 99		
CLOAKED VENT - CONC.FLAT TILE -		99	SQ. IN.	1	99	TOTAL PROVIDED: 99		

PLAN 1945C FRENCH COUNTRY - EXTERIOR ELEVATIONS AND ROOF PLAN

PLAN 1945
CLOVIS, CALIFORNIA

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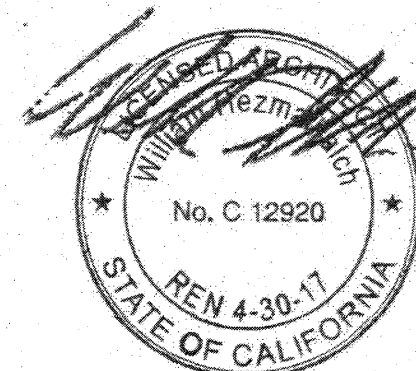
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DESIGNER :	BHAM
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REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	04-10-15
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CAD FILE NAME :	A607

DATE:	03-23-17
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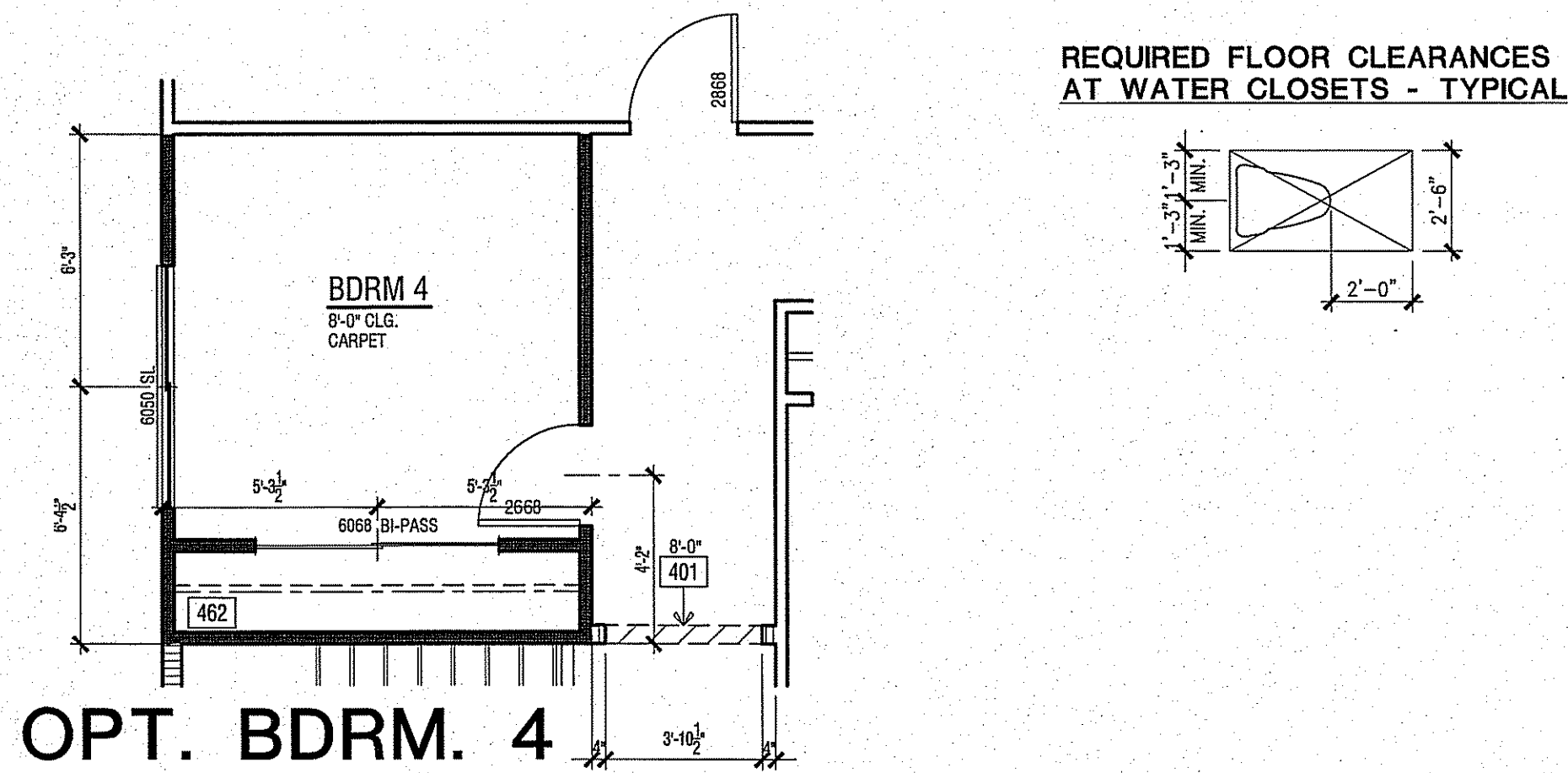
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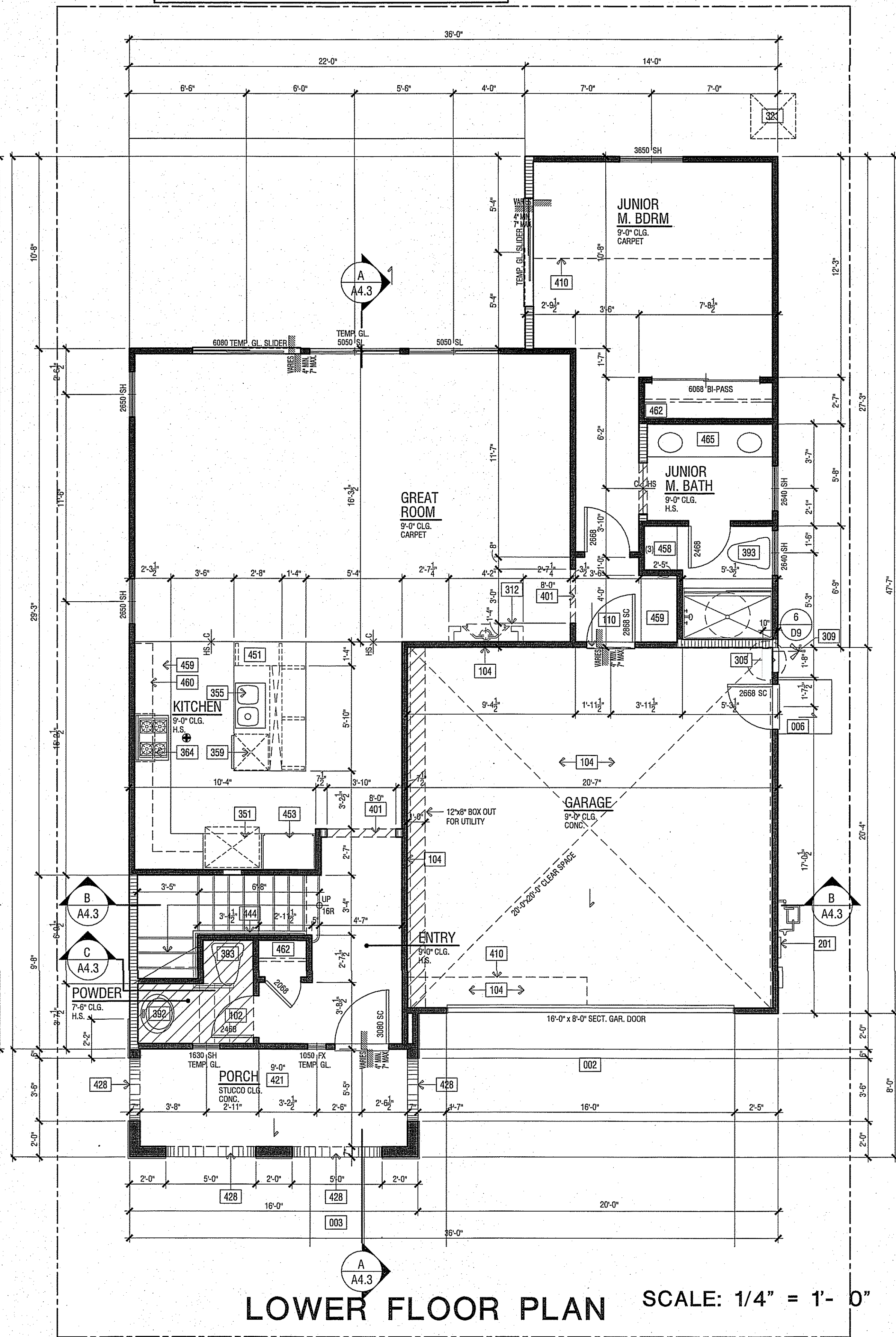
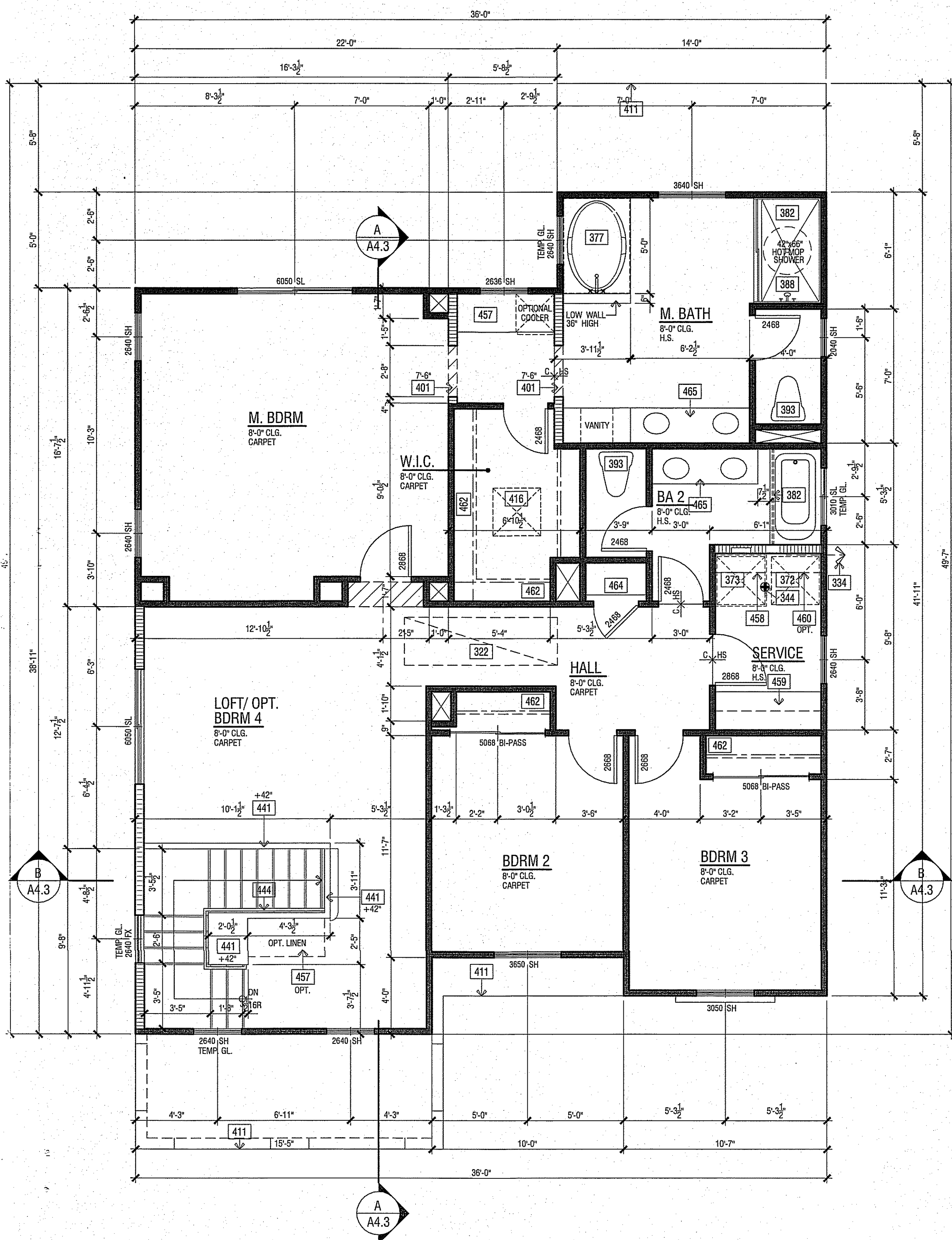
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- FLOOR PLAN NOTES**
1. ATTICS: ACCESS PER CRC R907, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R908.
 2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310.
 3. MEANS OF EGRESS PER CRC R311.
 4. GLAZING PER CRC R303.1 & R309.
 5. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006.
 6. COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
 7. COMBUSTION AIR TO WATER HEATER PER CMC SECTION 507.0.
 8. ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
 9. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 305 & 308.
 10. MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
 11. THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. 2016 CRC R31.0.1.
 12. IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC R312.2.
 13. A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R108.1.4.2 & 2016 CBC 110.3.5.
 14. MATERIAL. 2016 CRC R308.
 15. PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE REFRIGERATOR 2016 T-24.
 16. VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 2016 CMC 915.1 & 915.2.
 17. A SHEETROCK NAILING INSPECTION IS REQUIRED. - 2016 CRC R108.1.1.
 18. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. - 2016 CRC R702.4.2.
 19. WHERE OCCURS, THE THREE CAR GARAGE IS NON-CONFORMING AND THE REQUIRED SIDEWALK SETBACKS MAY NOT BE RELAXED. 2016 CRC R108.1.1.
 20. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CBC 150.0(a).
 21. A MINIMUM 30" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. 2016 CRC 408.6.
 22. AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH TITLE 24 REQUIREMENTS. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CCR TITLE 20.

FLOOR PLAN KEY NOTES

Name	NOTE
001	CONCRETE SLAB (SEE STRUCTURAL DRAWINGS)
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/8" PER FOOT MINIMUM IN DIRECTION INDICATED
006	CONCRETE STOOP - 36" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
010	CONCRETE PATIO (BY OTHERS)
102	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD PER CRC SECTION R302.7.
104	GARAGE AND/OR CARPORT WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY A MIN. 5/8" TYPE 'X' GYP. BD., OR EQ. STRUCTURE(S) SUPPORTING THE FLR./CLG. ASSEMBLY USED FOR WALL SEPARATION SHALL BE A MIN. 5/8" GYP. BD., OR EQ. PER CRC R302.2.5 & R302.6
312	PROVIDE SOLID WOOD DOOR, OR SOLID OR HONEYCOMB CORE STEEL DOORS, NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE FIRE RATED DOOR. DOORS SHALL BE SELF CLOSING AND SELF LATCHING PER CRC SECTION R302.5.1.
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
305	TANKLESS WATER HEATER - MODEL RINNAI (R75LS) - INSTALL PER MANUFACTURER'S INSTRUCTIONS
309	TEMPERATURE AND PRESSURE RELIEF VALVE. DISCHARGE LINE TO THE OUTSIDE PER CRC SECTION P2803
312	METAL FIREPLACE (GAS APPLIANCE) - HEIGHT PER PLAN - INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY HEATILATOR MODEL# ND4842 ANSI Z21.88-2002
314	OPTIONAL NON COMBUSTIBLE HEARTH
321	AIR CONDITIONING CONDENSER LOCATION
322	FORCED AIR UNIT (FAU) ATTIC INSTALLATION
334	4" DIA. G.I. DRYER VENT WITH APPROVED LINT TRAP - VENT TO OUTSIDE
342	RETURN AIR GRILL - SEE MECHANICAL
344	WHOLE HOUSE EXHAUST FAN PER 2010 CEC. REFER TO ATTACHED "SUMMARY OF THE 2016 ENERGY CODE ASHRAE 62.2 REQUIREMENTS"
351	REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
355	SINK WITH GARBAGE DISPOSER
357	UTILITY SINK
359	DISHWASHER - ENERGY STAR
364	30" COOKTOP WITH EXHAUST HOOD AND LIGHT. OVEN BELOW. OPT. MICRO WITH FAN AND LIGHT IN LIEU OF EXH. HOOD ABOVE
372	WASHER SPACE WITH RECESSED WATER BOX AND DBL. WIDE SMITTY PAN
373	DRYER SPACE
377	TUB - 42" X 60"
380	TUB/ SHOWER - 32"X60" MODEL 2603DT - GELCOAT SURFACE - BY AQUATIC
382	SHATTERPROOF SHOWER DOOR/ ENCLOSURE 22" MIN.
383	TUB ACCESS PANEL
386	SHOWER - PREFABRICATED STALL - 36"X60"X76" MODEL 1603DTS - GELCOAT SURFACE - BY AQUATIC
387	SHOWER - PREFABRICATED STALL - 36"X36"X75" MODEL# 363CTM-GELCOAT - BY AQUATIC
388	30" CIRCLE PROVIDED AT SHOWER
390	SHOWER SEAT - SLOPE 1/4" MINIMUM TO DRAIN
392	PEDESTAL SINK
393	TOILET - PROVIDE MINIMUM 24" X 30" CLEAR FLOOR AREA IN FRONT OF TOILET
401	INTERIOR SOFFIT(S)/ DROPPED CEILING(S): HEIGHT PER PLAN
410	LINE OF FLOOR ABOVE
411	LINE OF FLOOR BELOW
412	OPEN TO ABOVE
413	OPEN TO BELOW
416	30"X30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
417	22"X30" 1-HOUR ATTIC ACCESS-DIMENSIONS CLEAR
421	STUCCO CEILING: HEIGHT PER PLAN
422	STUCCO SOFFIT: HEIGHT PER PLAN
427	STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE (1/4" PER FOOT MINIMUM)
428	ARCHED SOFFIT - SEE EXTERIOR ELEVATION
441	GYP. BD. SHELF/LOW WALL - WIDTH AND HEIGHT PER PLAN
442	2X PONY WALL - SIZE PER PLAN
444	+34" - +38" HANDRAIL (SEE DETAIL H/D5)
445	+42" GUARD (SEE DETAIL G/D5)
451	KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE TO ISLAND
453	PANTRY WITH WIRE SHELVING
455	LINEN
456	LINEN (UPPER & LOWER)
457	LINEN (LOW ONLY)
458	WIRE SHELF
459	BASE CABINET
460	UPPER CABINET
462	SHELF AND POLE
464	SHELF (OR SHELVES)
465	VANITY



FLOOR AREA TABLE

	PLAN 2438A
LOWER FLOOR PLAN	1,091 SQ. FT.
UPPER FLOOR PLAN	1,347 SQ. FT.
TOTAL	2,438 SQ. FT.
GARAGE	419 SQ. FT.
FRONT PORCH	96 SQ. FT.

PLAN 2438
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION
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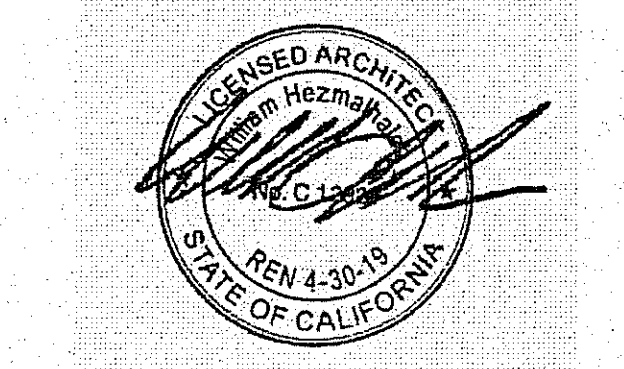
City of Clovis - Planning and Development
16SPN
JUL 6 7 2017
Approved for Construction
City of Clovis - Planning and Development
16SPN
JUL 6 7 2017
Approved for Construction

PROJECT MANAGER	MM
DESIGNER	BH/M
DRAWN BY	
REVIEWED BY	
1ST BLDG. DEPT. SUBMITTAL	04-10-15
ISSUED FOR CONSTRUCTION	
JOB NUMBER	2014027.00
CAD FILE NAME	A401
DATE	04-13-17
SHEET	A4.1

PLAN 2438A

2014027 - 04-13-17 - 2016 CODE UPDATE

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949 250 0607 www.wharchitects.com fax 949 250 1529



TRACT 5701-6143
SFD

FLOOR PLAN NOTES

1. ATTICS: ACCESS PER CRC R607, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R306.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310.
MEANS OF EGRESS PER CRC R311.
3. GLAZING PER CRC R303.1 & R308
4. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006
GBGSC SECTION 4.503 & GBGSC SECTION 150J(6).
5. COMBUSTION AIR TO FORCED AIR UNIT PER CRC CHAPTER 7.
6. COMBUSTION AIR TO WATER HEATER PER CRC SECTION 507.0.
7. ENVIRONMENTAL AIR DUCTS PER CRC SECTION 504.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 305 & 309.
9. MECHANICAL REQUIREMENTS FOR APPLIANCES PER CRC SECTION 110.1.
10. THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE GLAZED OPENING IN SLEEPING ROOMS. 2016 CRC R31.0.1
11. IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE GLASS, THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC R312.2
12. A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R109.1.4.2 & 2016 CMC 110.3.5
13. GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 2016 CRC R309
14. PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE 24" T-24
VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKINGS LISTED ON THE UNIT. 2016 CMC 916.1 & 916.2
15. A SHEETROCK NAILING INSPECTION IS REQUIRED. - 2016 CRC R106.1.1
16. THE WALL SURFACE BETWEEN CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER.
NOTE THE USE OF FIBER REINFORCED, GROUT OR NOT REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS ON THE FLOOR OF GARAGE, NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. -2016 CRC R702.4.2
17. THE THREE CAR GARAGE IS NON-CONFORMING AND THE REQUIRED SIDEWAY STRACKS MAY NOT BE RELAXED. 2016 CRC R106.1.1.
18. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CGC 150J(6)
19. A MINIMUM 30" DIA. CIRCUIS IS PROVIDED AT THE SHOWER FLOOR, THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. 2016 CGC 408.6



FLOOR AREA TABLE	PLAN 2438C
LOWER FLOOR PLAN	1,091 SQ. FT.
UPPER FLOOR PLAN	1,347 SQ. FT.
TOTAL	2,438 SQ. FT.
GARAGE	419 SQ. FT.
FRONT PORCH	96 SQ. FT.



FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
421	STUCCO CEILING- HEIGHT PER PLAN
425	WOOD SOFFIT - HEIGHT PER PLAN
545	THIN SET BRICK VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS

FLOOR AREA TABLE	PLAN 2438B
LOWER FLOOR PLAN	1,091 SQ. FT.
UPPER FLOOR PLAN	1,347 SQ. FT.
TOTAL	2,438 SQ. FT.
GARAGE	419 SQ. FT.
FRONT PORCH	96 SQ. FT.

SCALE: 1/4" = 1'- 0"

PLAN 2438B AND 2438C ADDENDA FLOOR PLANS

PLAN 2438
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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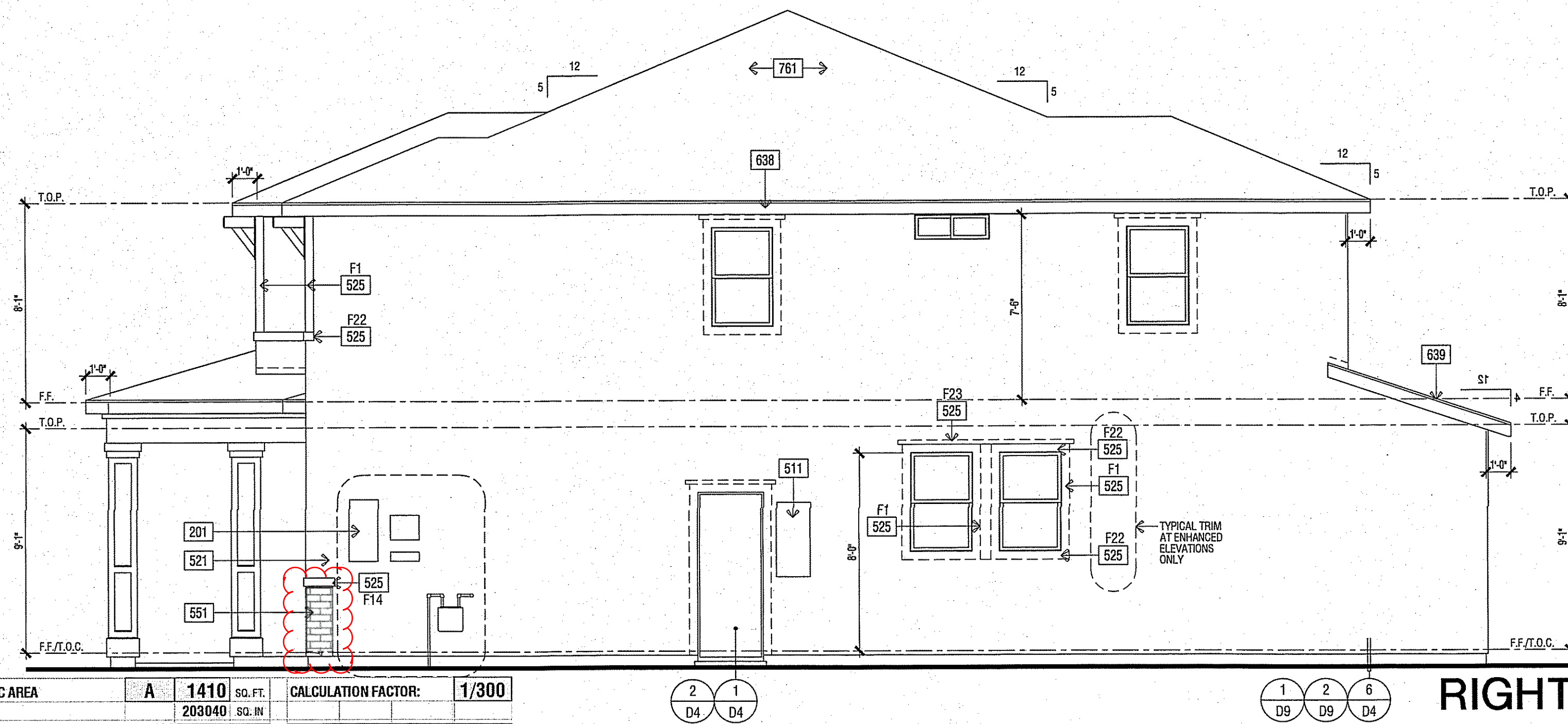
DO NOT SCALE PLANS

REVISIONS

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DESIGNER :	BH/AM	
DRAWN BY :		
REVIEWED BY :	-	
1ST BLDG. DEPT. SUBMITTAL :	04-10-15	
ISSUED FOR CONSTRUCTION :	-	
JOB NUMBER :	2014027.00	
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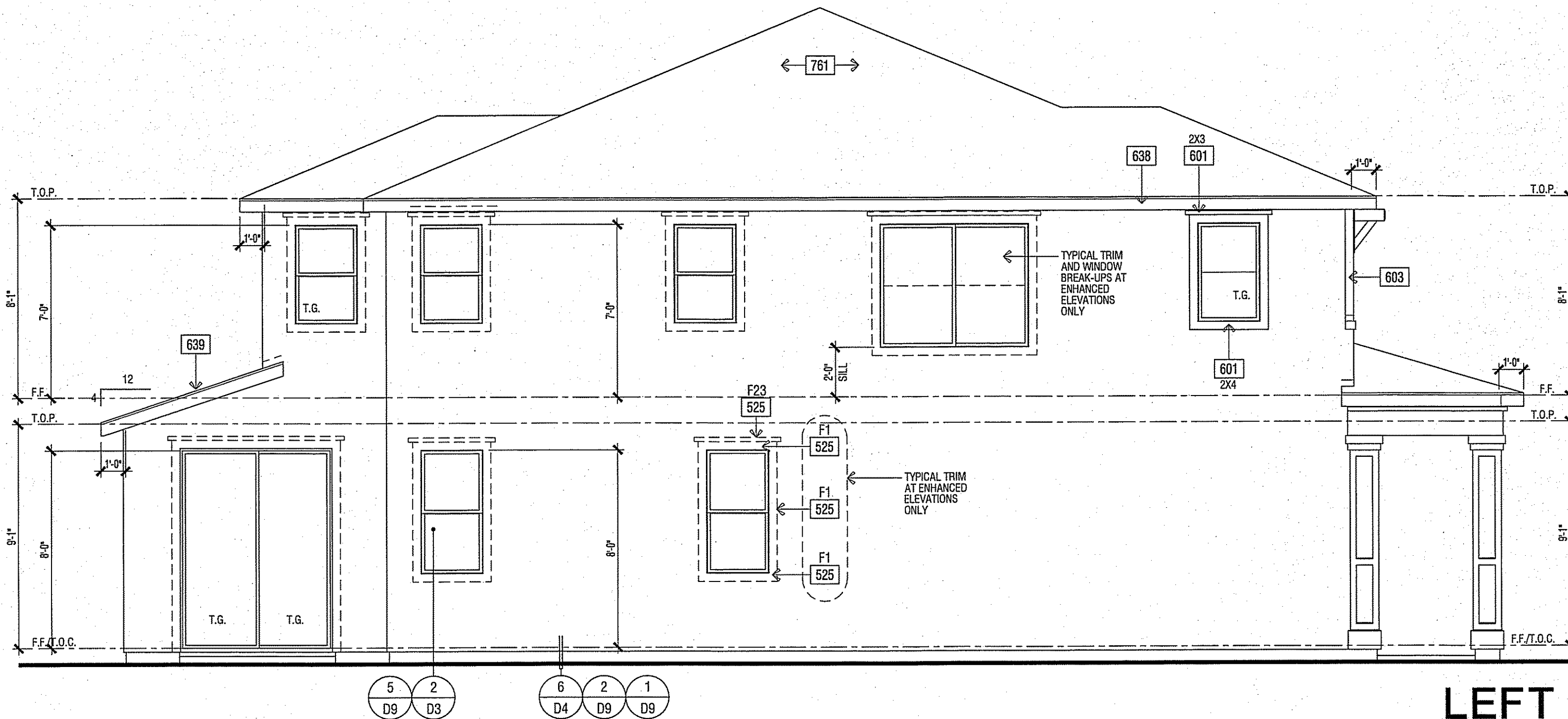
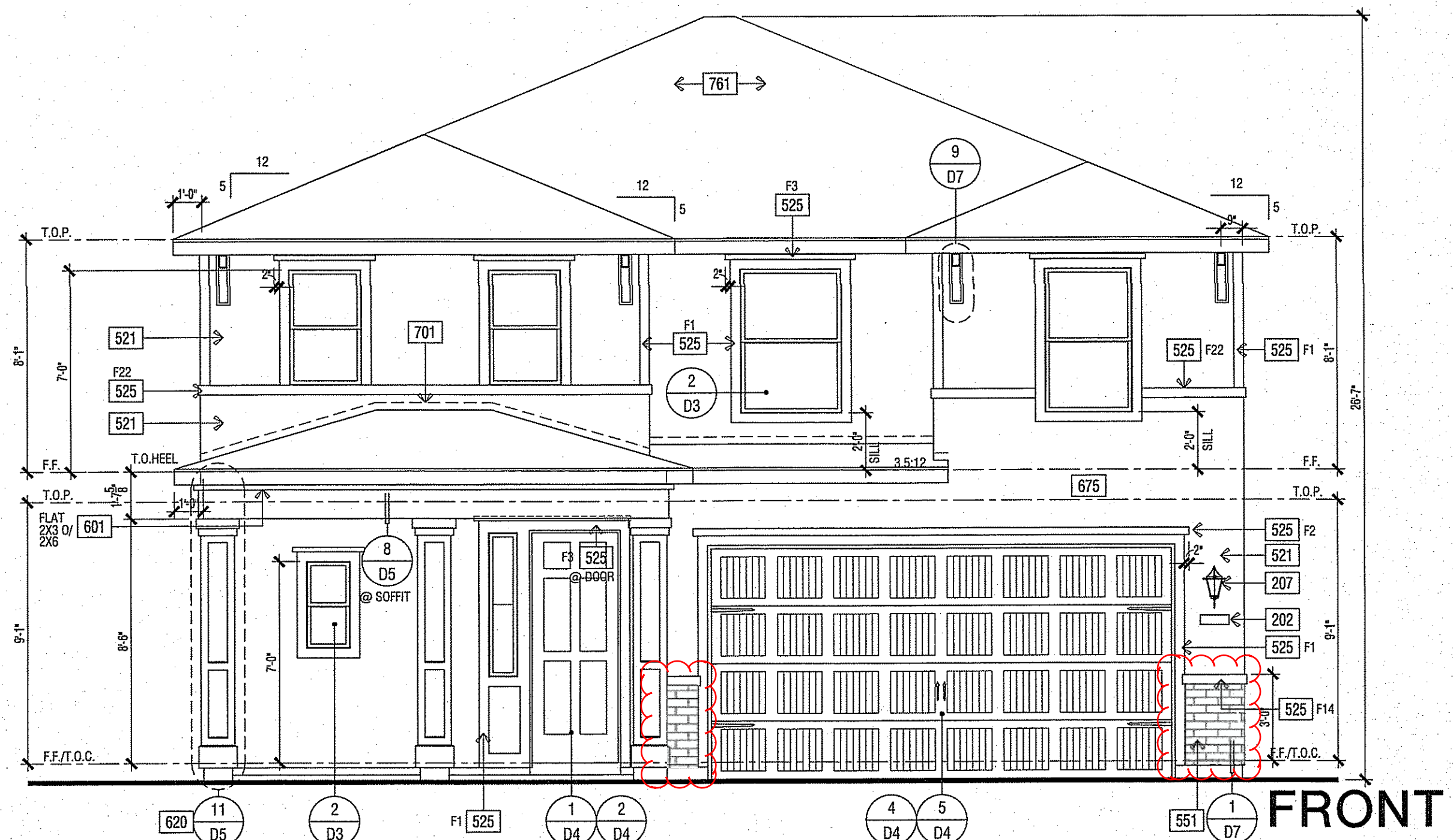

DATE: 04-13-17	SHEET: A4.5
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2014027 - 04-13-17 - 2016 CODE UPDATE



HIGH VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLOAKED VENT - CONC.FLAT TILE -	99	SQ.IN.	X	1	99
				TOTAL PROVIDED:	99
					SQ.IN.

LOW VENTILATION METHOD		SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLOAKED VENT - CONC.FLAT TILE -	99	SQ.IN.	X	1	99
				TOTAL PROVIDED:	99
					SQ.IN.

[illegible][illegible][illegible]

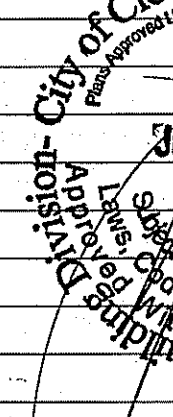
FRESNO, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLAN

REVISIONS

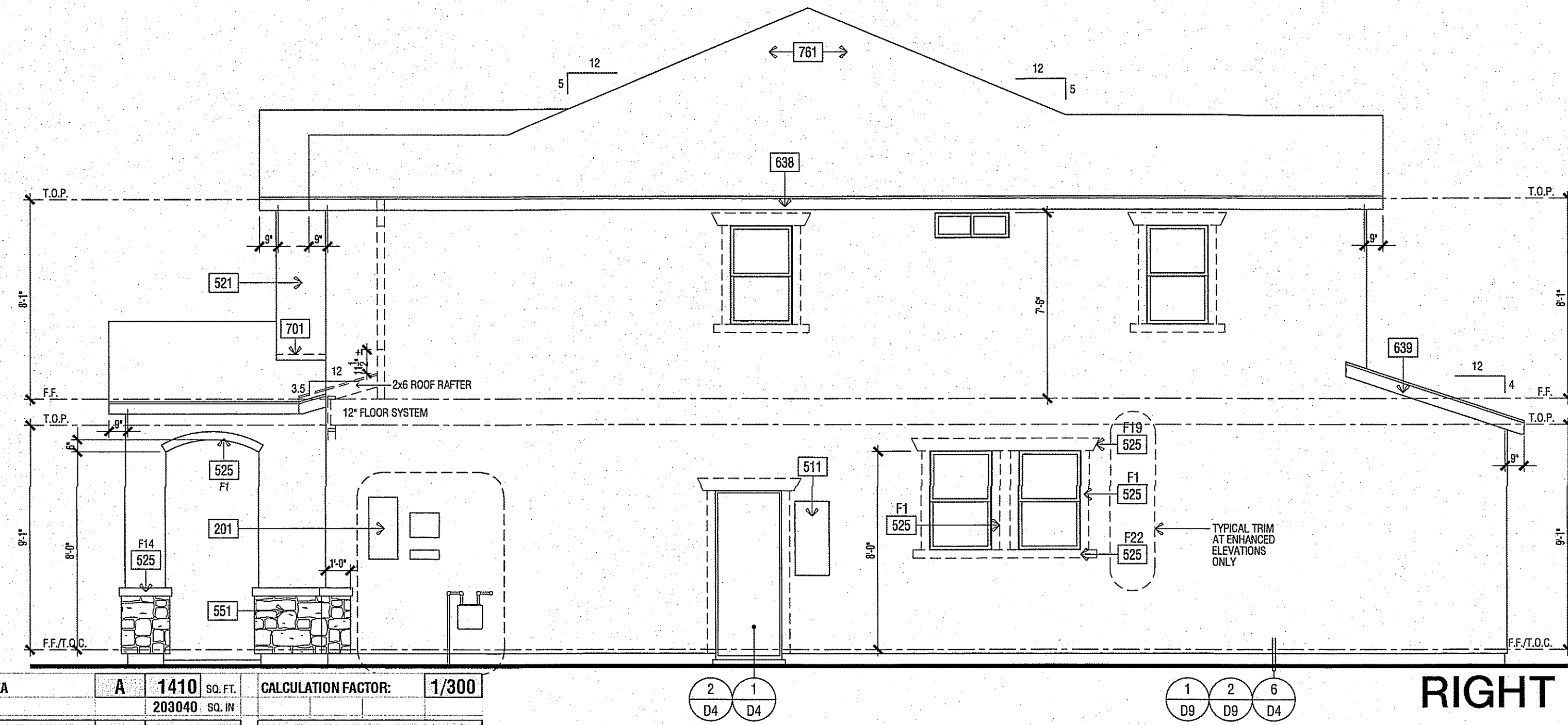
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DESIGNER :		BH/AM
DRAWN BY :		-
REVIEWED BY :		-
1ST BLDG. DEPT. SUBMITTAL :	04-10-15	
ISSUED FOR CONSTRUCTION :		-
JOB NUMBER :		2014027.00
CAD FILE NAME :	A406	

DATE:
04-13-17

SHEET:
A4.6

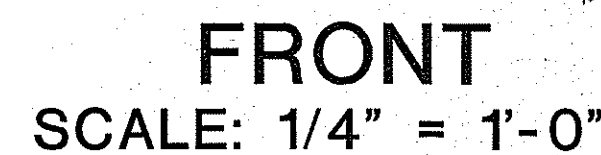
2014027 - 04-13-17 - 2016 CODE UPDATE

SCALE: 1/4" = 1'-0"

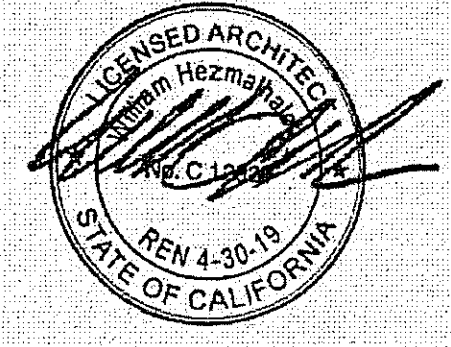


ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1405.13.2

ROOF PLAN KEY NOTES	
Name	NOTE
801	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
814	WOOD SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - D'HAGIN "XL SERIES" CLOAKED VENT (ICC # NR-9650A)

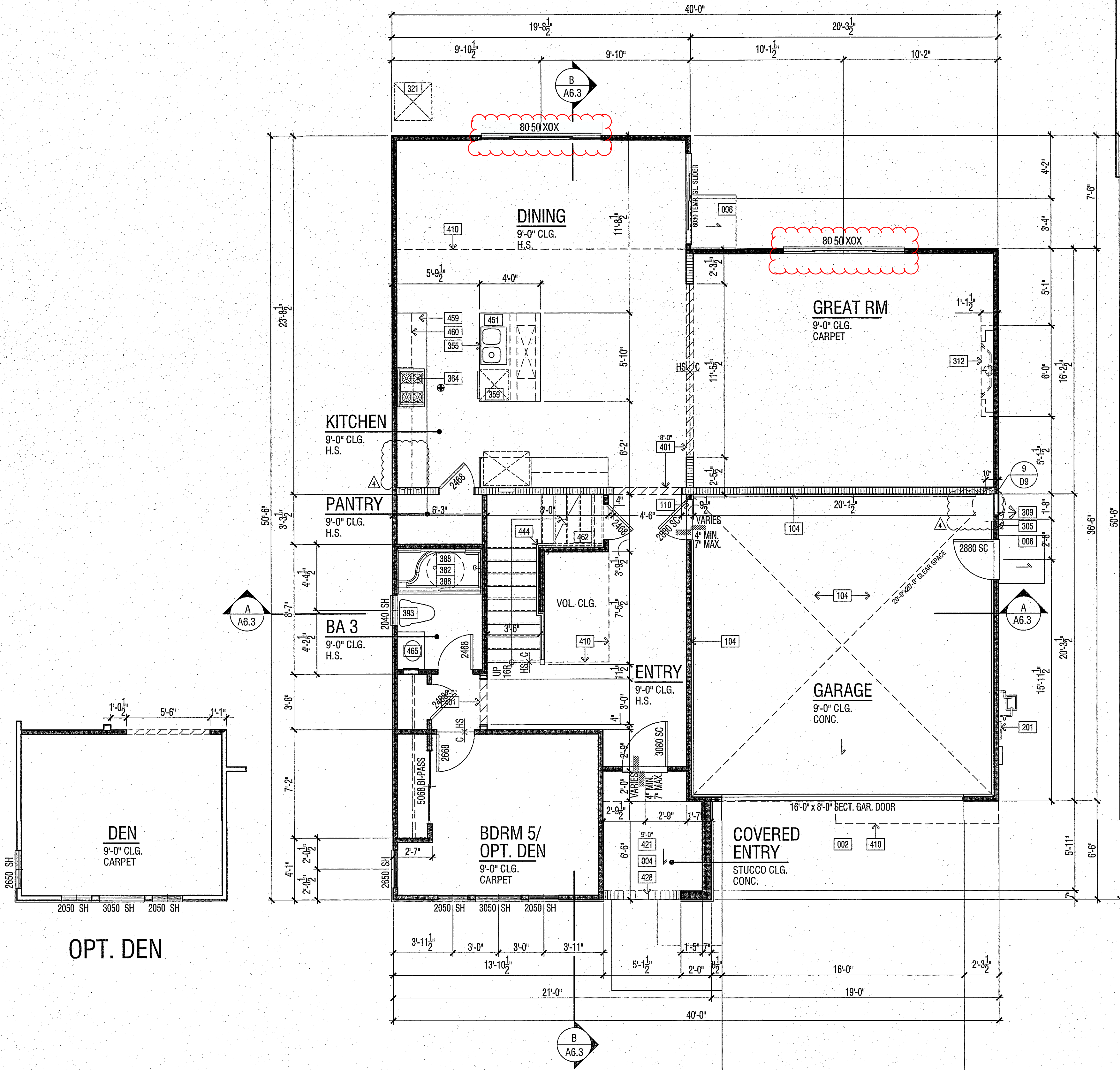


TRACT 5701-6143
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DATE: 04-13-17	SHEET: A4.7
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2014027 - 04-13-17 - 2016 CODE UPDATE

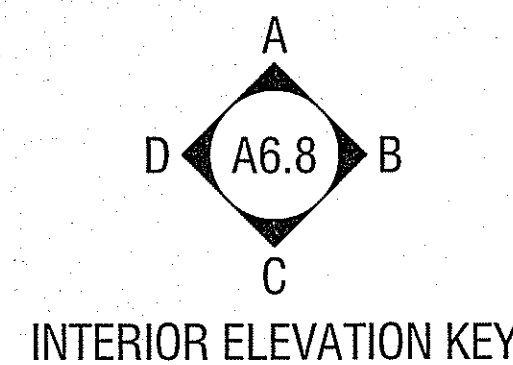


FLOOR PLAN NOTES

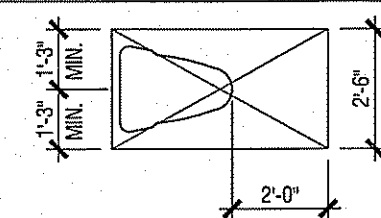
1. ATTIC: ACCESS PER CRC R807, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R808.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310. MEANS OF EGRESS PER CRC R311.
3. GLAZING PER CRC R303.1 & R308
4. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1008 CIRC SECTION 4.503 & CIRC SECTION 150.0(6).
5. COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
6. COMBUSTION AIR TO WATER HEATER PER CPC SECTION 507.0.
7. ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 305 & 306.
9. MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
10. THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. 2016 CRC R31.1.1.
11. IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC R312.2.
12. A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R106.1.4.2 & 2016 CBC 110.3.5
13. GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 2016 CRC R308
14. PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE 2016 T-24
15. VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 2016 CMC 916.1 & 916.2
16. THE THREE CAR GARAGE IS NON-CONFORMING AND THE REQUIRED SIDEYARD SETBACKS MAY NOT BE RELAXED. 2016 CRC R106.1.1
17. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CEC 150.09
18. A MINIMUM 30" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. 2016 CPC 406.6
19. AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH TITLE 24 REQUIREMENTS.
20. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CDR TITLE 20
- 21.
- 22.

FLOOR PLAN KEY NOTES

Name	NOTE
001	CONCRETE SLAB (SEE STRUCTURAL DRAWINGS)
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/8" PER FOOT MINIMUM IN DIRECTION INDICATED
006	CONCRETE STOOP - 36" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
010	CONCRETE PATIO (BY OTHERS)
102	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD PER CRC SECTION R302.7.
104	GARAGE AND/OR CARPORT WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY A MIN. 5/8" TYPE 'X' GYP. BD., OR EQ. STRUCTURE(S) SUPPORTING THE FLR./CLG. ASSEMBLY USED FOR WALL SEPARATION SHALL BE A MIN. 5/8" GYP. BD., OR EQ. PER 2016 CRC R302.2.5 & R302.5
110	PROVIDE SOLID WOOD DOOR, OR SOLID OR HONEYCOMB CORE STEEL DOORS, NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE FIRE RATED DOOR. DOORS SHALL BE SELF CLOSING AND SELF LATCHING PER CRC SECTION R302.5.1
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
305	TANKLESS WATER HEATER - MODEL RINWAL (R7SL) - INSTALL PER MANUFACTURER'S INSTRUCTIONS
309	TEMPERATURE AND PRESSURE RELIEF VALVE - DISCHARGE LINE TO THE OUTSIDE OUTSIDE JESD 16.00 CIRC SECTION P2803
312	METAL FIREPLACE (GAS APPLIANCE) - HEIGHT PER PLAN - INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY HEATILATOR MODEL# ND4042 ANSI Z21.88-2002
314	OPTIONAL NON COMBUSTIBLE HEARTH
321	AIR CONDITIONING CONDENSER LOCATION
322	FORCED AIR UNIT (FAU) ATTIC INSTALLATION
336	5" DIA. G.L. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF
342	RETURN AIR GRILL - SEE MECHANICAL
344	WHOLE HOUSE EXHAUST FAN PER 2016 CEC - REFER TO ATTACHED 'SUMMARY OF THE 2016 ENERGY CODE ASHRAE 62.2 REQUIREMENTS'
351	REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
355	SINK WITH GARBAGE DISPOSER
357	UTILITY SINK
359	DISHWASHER - ENERGY STAR
364	30" COOKTOP WITH EXHAUST HOOD AND LIGHT. OVEN BELOW. OPT. MICRO WITH FAN AND LIGHT IN LIEU OF EXH. HOOD ABOVE
372	WASHER SPACE WITH RECESSED WATER BOX AND DBL. WIDE SMITTY PAN
373	DRYER SPACE
377	TUB - 42" X 60"
380	TUB/ SHOWER - 32"x60" MODEL 26030T - GELCOAT SURFACE - BY AQUATIC
381	CURTAIN ROD
382	SHATTERPROOF SHOWER DOOR ENCLOSURE
383	TUB ACCESS PANEL
386	SHOWER - PREFABRICATED STALL - 36"x60"x76" MODEL 16030TS - GELCOAT SURFACE - BY AQUATIC
387	SHOWER - PREFABRICATED STALL - 36"x72"x75" MODEL# 363CTM-GELCOAT - BY AQUATIC
388	30" CIRCLE PROVIDED AT SHOWER
390	SHOWER SEAT - SLOPE 1/2" MINIMUM TO DRAIN
392	PEDESTAL SINK
393	TOILET - PROVIDE MINIMUM 24" X 30" CLEAR FLOOR AREA IN FRONT OF TOILET
401	INTERIOR SOFFIT(S) DROPPED CEILING(S): HEIGHT PER PLAN
410	LINE OF FLOOR ABOVE
411	LINE OF FLOOR BELOW
412	OPEN TO ABOVE
413	OPEN TO BELOW
415	22"x30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
416	30"x30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
417	22"x30" 1-HOUR ATTIC ACCESS-DIMENSIONS CLEAR
421	STUCCO CEILING: HEIGHT PER PLAN
422	STUCCO SOFFIT: HEIGHT PER ELEVATION
427	STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE (1/4" PER FOOT MINIMUM)
428	ARCHED STUCCO SOFFIT - SEE EXTERIOR ELEVATION
441	GYP. BD. SHELF/FLOW WALL - WIDTH AND HEIGHT PER PLAN
442	2X PONY WALL - SIZE PER PLAN
444	+34" - +38" HANDRAIL (SEE DETAIL H/D5)
445	+42" GUARD (SEE DETAIL G/D5)
451	KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE TO ISLAND
453	PANTRY WITH WIRE SHELVING
455	LINEN
456	LINEN (UPPER & LOWER)
457	LINEN (LOW ONLY)
458	WIRE SHELF
459	BASE CABINET
460	UPPER CABINET
462	SHELF AND POLE
464	SHELF (OR SHELVES)
465	VANITY



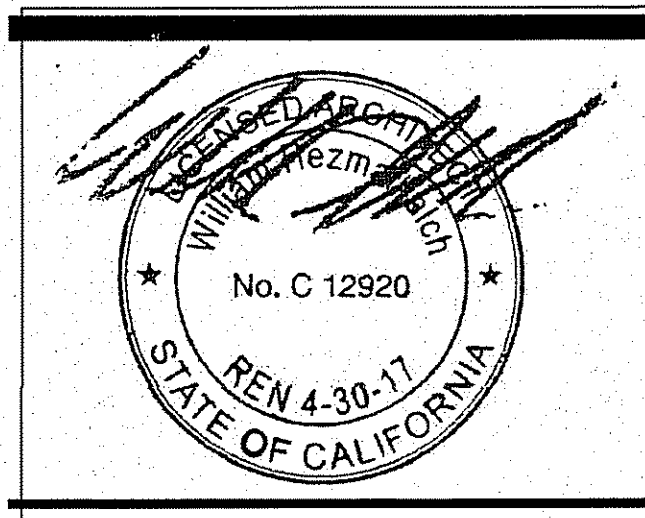
REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



SCALE: 1/4" = 1'- 0"

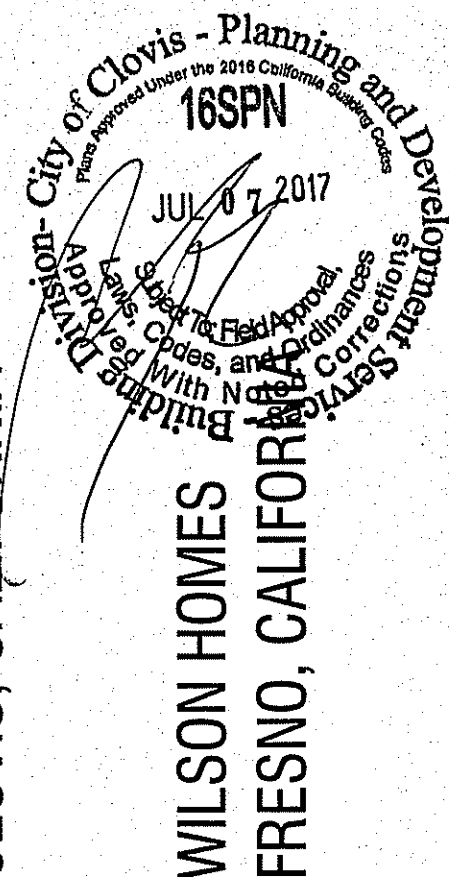
FLOOR AREA TABLE	PLAN 2753 A
LOWER FLOOR PLAN	1,275 SQ. FT.
UPPER FLOOR PLAN	1,478 SQ. FT.
TOTAL	2,753 SQ. FT.
GARAGE	413 SQ. FT.
COVERED ENTRY	57 SQ. FT.

W
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TRACT# 5701 / 6143
SFD

PLAN 2753
CLOVIS, CALIFORNIA



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DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION
1	06-21-17	BLDG. DEPT. REVISIONS

PROJECT MANAGER :	MH
DESIGNER :	BHAM
DRAWN BY :	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	
ISSUED FOR CONSTRUCTION :	
JOB NUMBER :	2016084
CAD FILE NAME :	A601

DATE:	SHEET:
06-21-17	A6.1

LOWER FLOOR PLAN - 2753 A

2016084 - 2016 CODE UPDATE - 06-21-2017

FLOOR PLAN NOTES

1. ATTICS: ACCESS PER CRC R807, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R805.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310. MEANS OF EGRESS PER CRC R310.
3. GLAZING PER CRC R303.1 & R303.1.1
4. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006 CORRO SECTION 4.503 & 4.504 SECTION 150.0(g).
5. COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
6. COMBUSTION AIR TO WATER HEATER PER CPC SECTION 507.0.
7. ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 305 & 308.
9. MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
10. THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS, 2016 CRC R310.1.
11. IN UPPER FLOOR PLANS, ANY OPENABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 44" ABOVE THE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC R312.2

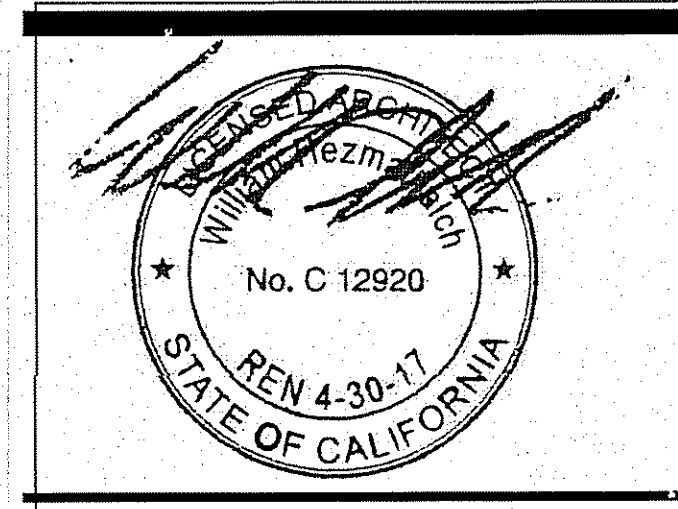
1. ATTICS: ACCESS PER CRC R807, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R805.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310.
3. MEANS OF EGRESS PER CRC R311.
4. GLAZING PER CRC R312.1 & R308
5. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006 CBIRC SECTION 4.303 & DECIG SECTION 150(a).
6. COMBUSTION AIR TO FORCED AIR UNIT PER CMFC CHAPTER 7.
7. COMBUSTION AIR TO WATER HEATER PER CFC SECTION 507.0.
8. ENVIRONMENTAL AIR DUCTS PER CMFC SECTION 504.
9. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMFC 905 & 308.
10. MAINTENANCE REQUIREMENTS FOR APPLIANCES PER CFC SECTION 110.1.
11. HAVE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS PER CRC R310.1.
12. IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE THE GUARD WITH A SILL HEIGHT HAVE OPENINGS THAT A SPHERE 6" IN DIAMETER CAN PASS THROUGH. 2016 CBC R312.2

FLOOR PLAN NOTES	
12.	A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R109.1.4.2 & 2016 CRC 110.3.5
13.	GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 2016 CRC R308
14.	PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE 2016 T-24
15.	VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 2016 CRC R16.1 & R16.2
16.	A SHEETROCK NAILING INSPECTION IS REQUIRED. - 2016 CRC R108.1.1
17.	THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. 2016 CRC R102.4.2
18.	THE THREE CAR GARAGE IS NON-COMFORMING AND THE REQUIRED SIDEWY SETBACKS MAY NOT BE RELAXED. 2016 CRC R106.1.1
19.	NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CPC 150.0(a)
20.	A MINIMUM 30" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. 2016 CPC 408.6
21.	AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH TITLE 24 REQUIREMENTS.
22.	THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CRC TITLE 20

- | | | | |
|-----|--|-----|---|
| 12. | A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R901.1.4.2 & 2016 CBC 1103.5.3 GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 2016 CBC R508 | 21. | AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH TITLE 24 REQUIREMENTS. |
| 13. | PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE 2016 T-54 | 22. | THE BUILDER SHALL PROVIDE THE ORIGINAL, COORDINATE WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. |
| 14. | VERTICAL CLEARANCE ABOVE THE ROOF SHALL BE 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. 2016 CBC 916.1 & 916.2 | | CCR TITLE 20 |
| 15. | A SHEETROCK NAILING INSPECTION IS REQUIRED. - 2016 CRC R106.1.1 | | |
| 16. | THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. 2016 CRC R702.4.2 | | |
| 17. | THE THREE CAR GARAGE IS NON-CONFORMING AND THE REQUIRED SIDEWALL SETBACKS MAY NOT BE RELAXED. 2016 CRC R106.1.1 | | |
| 18. | NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CBC 150.0(a) | | |
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FLOOR PLAN KEY NOTES	
Name	NOTE
001	CONCRETE SLAB (SEE STRUCTURAL DRAWINGS)
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/8" PER FOOT MINIMUM IN DIRECTION INDICATED
006	CONCRETE STOOP - 3" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
010	CONCRETE PATIO (BY OTHERS)
102	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD PER PLAN SECTION R302.7.
104	GARAGE AND/OR CARPORT WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY A MIN. 5/8" TYPE "X" GYP. BD., OR EQ. STRUCTURE(S) SUPPORTING THE FLR./CL.G. ASSEMBLY USED FOR WALL SEPARATION SHALL BE A MIN. 5/8" GYP. BD., OR EQ. PER 2016 CRC R302.2.5 & R302.5.
110	PROVIDE SOLID WOOD DOOR, OR SOLID OR HONEYCOMB CORE STEEL DOORS, NOT LESS THAN 1-3/8" THICK, OR 20 MINUTE FIRE RATED DOOR. DOORS SHALL BE SELF CLOSING AND SELF LATCHING PER CRC SECTION R302.5.1.
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
305	TANKLESS WATER HEATER - MODEL RINNAI (R75LS) - INSTALL PER MANUFACTURERS INSTRUCTIONS
309	TEMPERATURE AND PRESSURE RELIEF VALVE. DISCHARGE LINE TO THE OUTSIDE OUTSIDE PER 2016 CRC SECTION P2303
312	METAL FIREPLACE (GAS APPLIANCE) - HEIGHT PER PLAN - INSTALL PER MANUFACTURERS INSTRUCTIONS. BY HEATILATOR MODEL# ND4042 ANSI Z21.86-2002
314	OPTIONAL NON COMBUSTIBLE HEARTH
321	AIR CONDITIONING CONDENSER LOCATION
322	FORCED AIR UNIT (FAU) ATTIC INSTALLATION
336	5" DIA. GL. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF
342	RETURN AIR GRILL - SEE MECHANICAL
344	WHOLE HOUSE EXHAUST FAN PER 2016 CEC. REFER TO ATTACHED "SUMMARY OF THE 2016 ENERGY CODE ASHRAE 62.2 REQUIREMENTS"
351	REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
355	SINK WITH GARABGE DISPOSER
357	UTILITY SINK
359	DISHWASHER - ENERGY STAR
364	30" COCKTOOP WITH EXHAUST HOOD AND LIGHT. OPEN BELOW. OPT. MICRO WITH FAN AND LIGHT IN LIEU OF EXH. HOOD ABOVE
372	WASHER SPACE WITH RECESSED WATER BOX AND DBL. WIDE SMITTY PAN
373	DRYER SPACE
377	TUB - 42" X 60"
380	SHWR / SHOWER - 32"x60" MODEL 2608DT - GEL-COAT SURFACE - BY AQUATIC
381	CURTAIN ROD
382	SHATTERPROOF SHOWER DOOR ENCLOSURE
383	TUB ACCESS PANEL
386	SHOWER - PREFABRICATED STALL - 36"x60"x78" MODEL 1603DTS - GEL-COAT SURFACE - BY AQUATIC
387	SHOWER - PREFABRICATED STALL - 36"x72"x78" MODEL# 363CTA-GEL-COAT - BY AQUATIC
388	30" CIRCLE PROVIDED AT SHOWER
390	SHOWER SEAT - SLOPE 1/4" MINIMUM TO DRAIN
392	PEDESTAL SINK
393	TOILET - PROVIDE MINIMUM 24" X 30" CLEAR FLOOR AREA IN FRONT OF TOILET
401	INTERIOR SOFFIT(S) DROPPED CEILING(S); HEIGHT PER PLAN
410	LINE OF FLOOR ABOVE
411	LINE OF FLOOR BELOW
412	OPEN TO ABOVE
413	OPEN TO BELOW
415	22"x30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
416	30"x30" ATTIC ACCESS - DIMENSIONS ARE CLEAR
417	22"x30" 1-HOUR ATTIC ACCESS-DIMENSIONS CLEAR
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442	2X PONY WALL - SIZE PER PLAN
444	+34" - +38" HANDRAIL (SEE DETAIL H05)
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451	KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE TO ISLAND
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465	VANITY

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373	DRYER SPACE	
377	TUB - 42" X 60"	
380	TUB/ SHOWER - 32"x60" MODEL 26302T - GELCOAT SURFACE - BY AQUATIC	
381	CURTAIN ROD	
382	SHATTERPROOF SHOWER DOOR ENCLOSURE	
383	TUB ACCESS PANEL	
386	SHOWER - PREFABRICATED STALL - 36"x80"x76" MODEL 16032TS - GELCOAT SURFACE - BY AQUATIC	
387	SHOWER - PREFABRICATED STALL - 36"x72"x75" MODEL# 363CTM-GELCOAT - BY AQUATIC	
388	30" CIRCLE PROVIDED AT SHOWER	
390	SHOWER SEAT - SLOPE 1/4" MINIMUM TO DRAIN	
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465	VANITY	



PLAN 2753
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIF.

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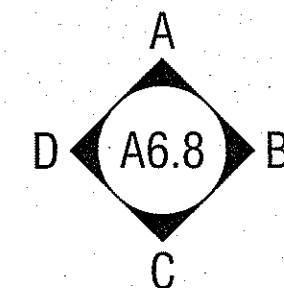
DO NOT SCALE PLANS

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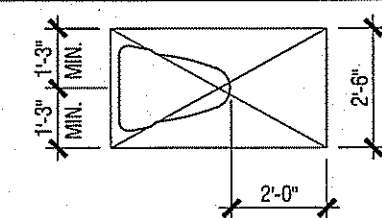
PROJECT MANAGER :	MH
DESIGNER :	BH/AM
DRAWN BY :	
REVIEWED BY :	-
1ST BLDG. DEPT. SUBMITTAL :	-
ISSUED FOR CONSTRUCTION :	
JOB NUMBER :	2016084
CAD FILE NAME :	A6011

DATE: 12-21-16	SHEET: A6 1 1
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2016084 - 2016 CODE UPDATE



REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



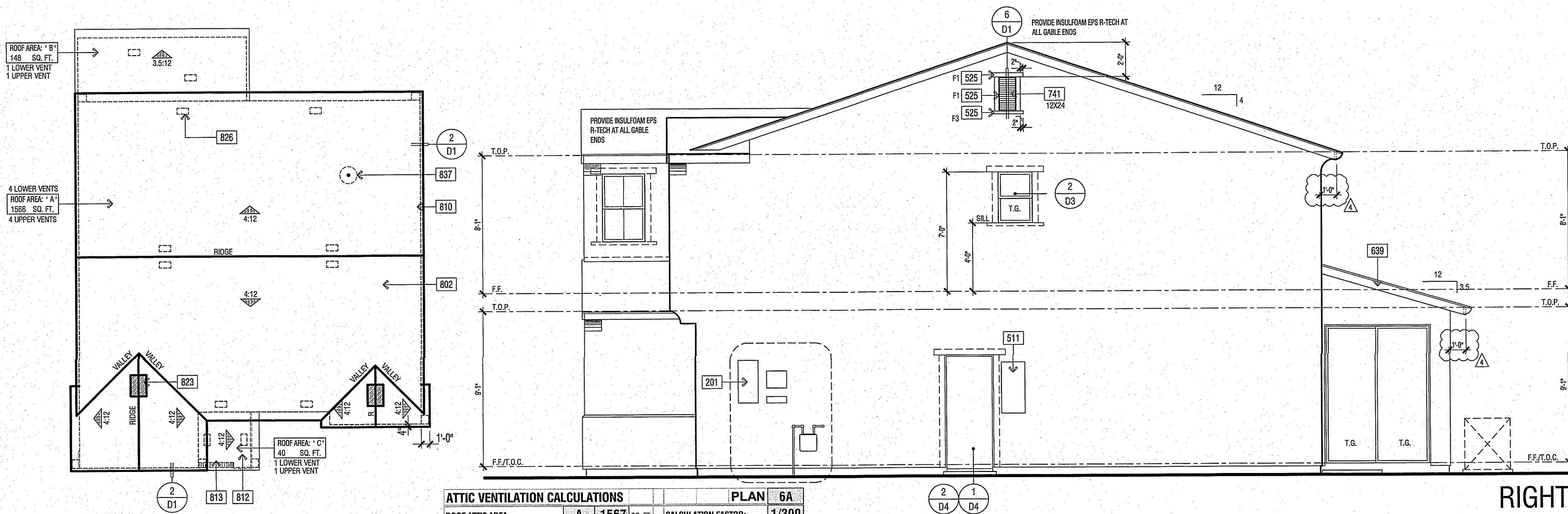
SCALE: 1/4" = 1'-0"

UPPER FLOOR PLAN

FLOOR AREA TABLE	PLAN 2753 A
LOWER FLOOR PLAN	1,275 SQ. FT.
UPPER FLOOR PLAN	1,478 SQ. FT.
TOTAL	2,753 SQ. FT.
GARAGE	413 SQ. FT.
COVERED ENTRY	57 SQ. FT.

FLOOR AREA TABLE	PLAN 2753 A
LOWER FLOOR PLAN	1,275 SQ. FT.
UPPER FLOOR PLAN	1,478 SQ. FT.
TOTAL	2,753 SQ. FT.
GARAGE	413 SQ. FT.
COVERED ENTRY	57 SQ. FT.

UPPER FLOOR PLAN - PLAN 2753 A



ROOF PLAN

SCALE: 1/8" = 1'-0"

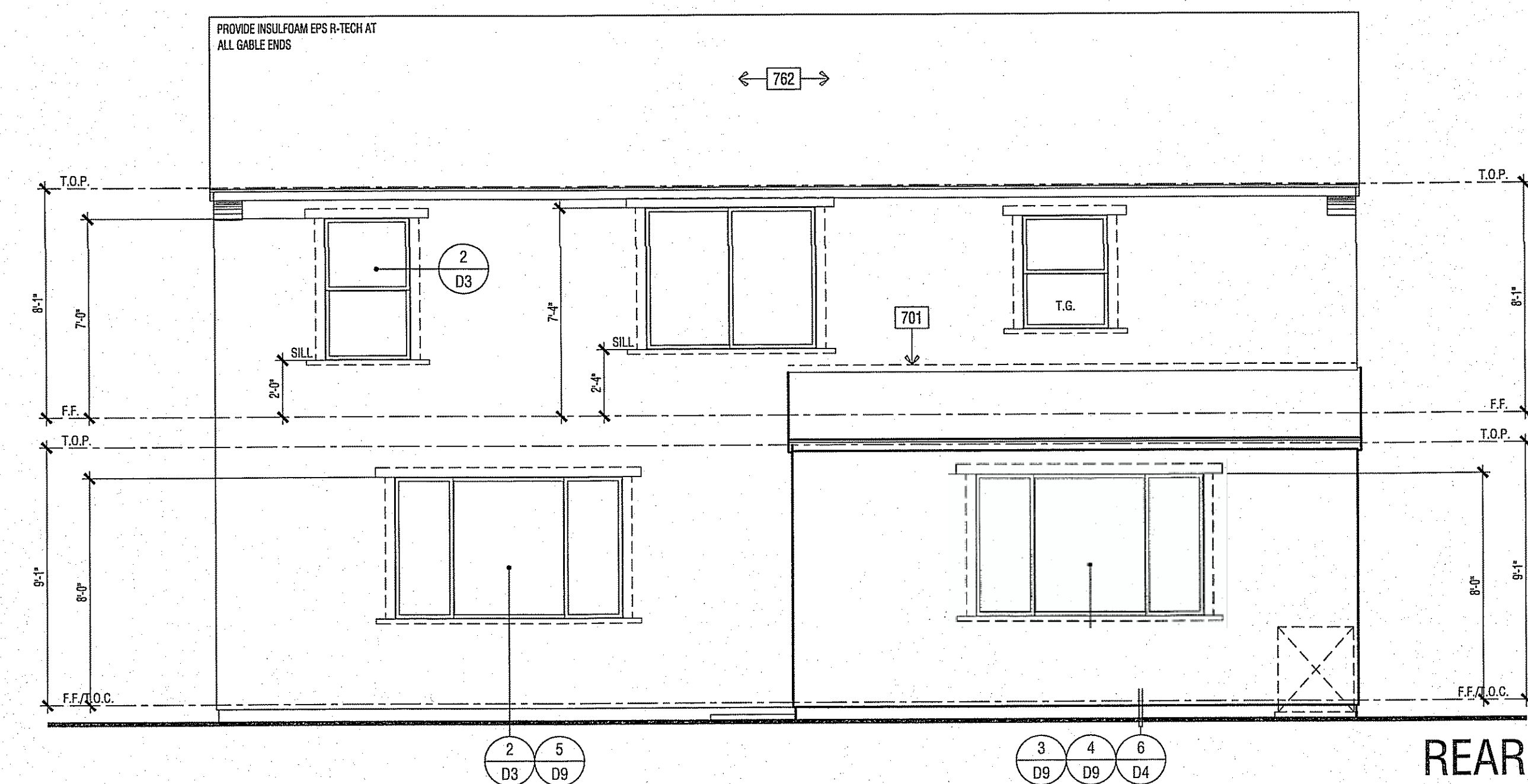
ELEVATION REFERENCE:	A	ELEVATION STYLE:	TUSCAN
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.
LOW PROFILE CONCRETE 'S' TILE	1 D1	2X6	2X6
"EAGLE ROOFING" ICC# ESR-1900		1'-0"	TIGHT

ROOF PLAN NOTES

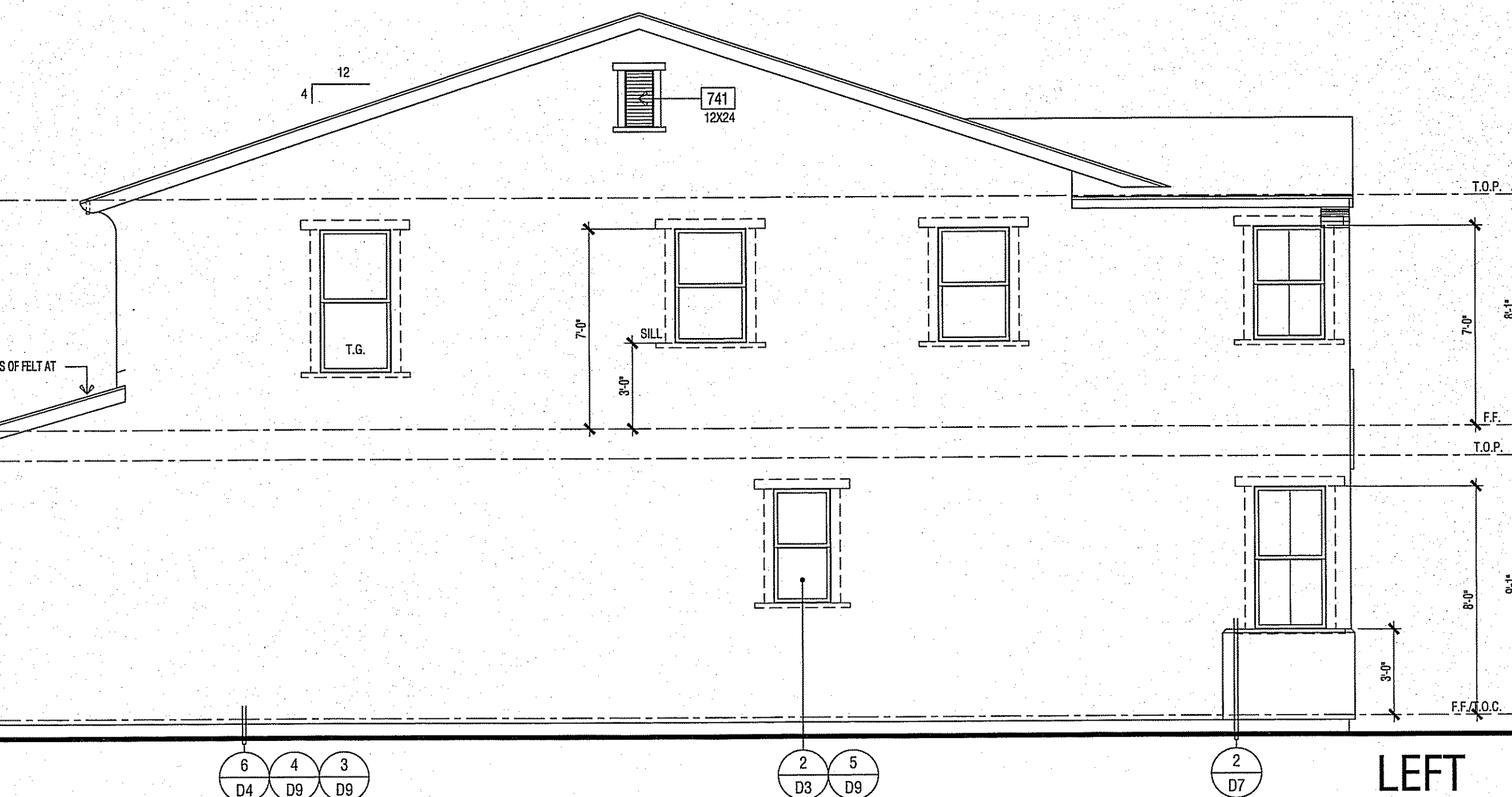
- NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CENC SECTION 110.10.
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTIC ACCESS PER CRC SECTION R807.
 - PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R806.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ROOF PLAN KEY NOTES

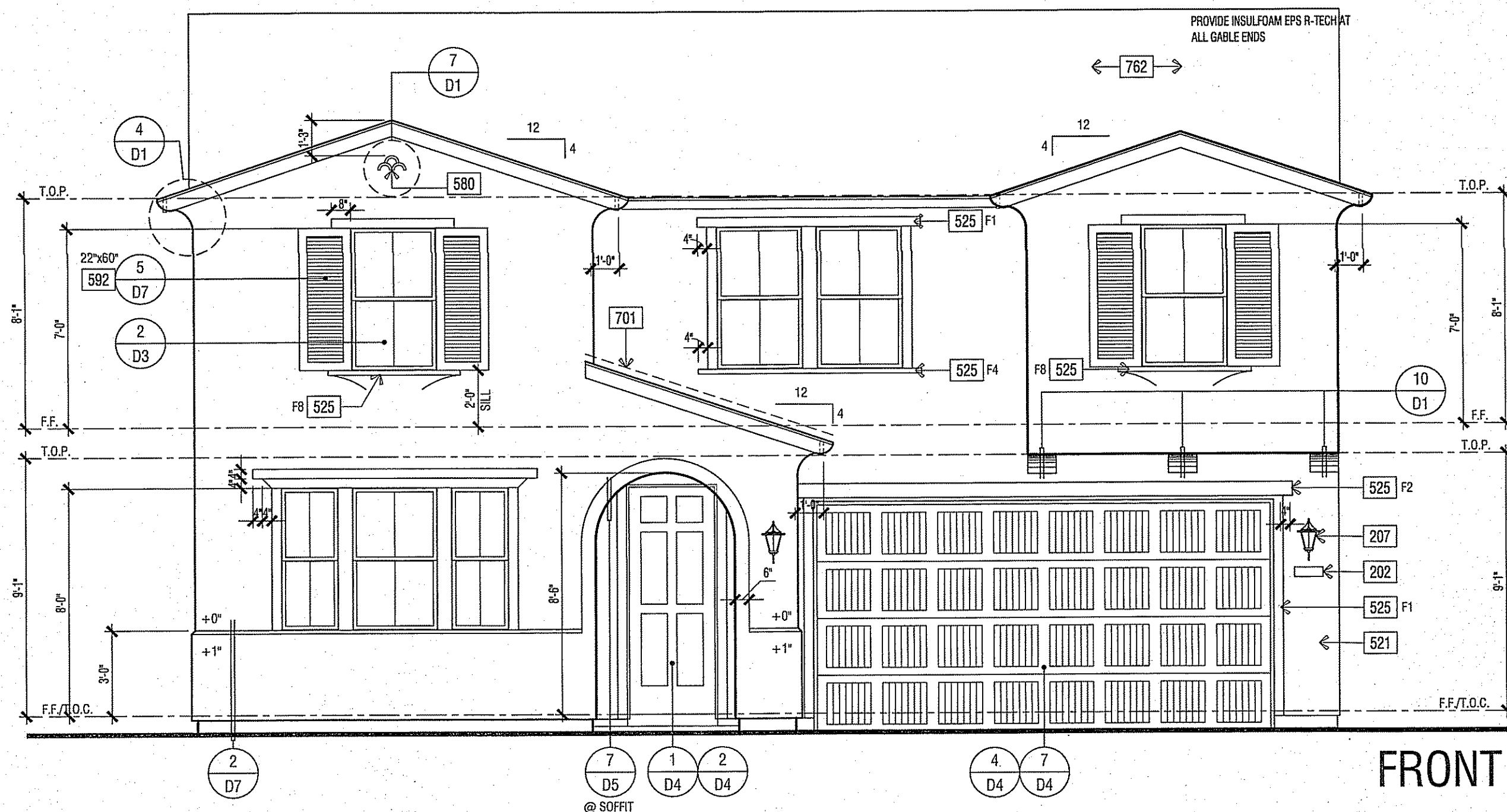
Name	NOTE
802	ROOFING - CONCRETE - LOW PROFILE 'S' TILE TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - O'HAGIN 'XL SERIES' CLOAKED VENT (ICC # NER-9850A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.



REAR



LEFT



FRONT

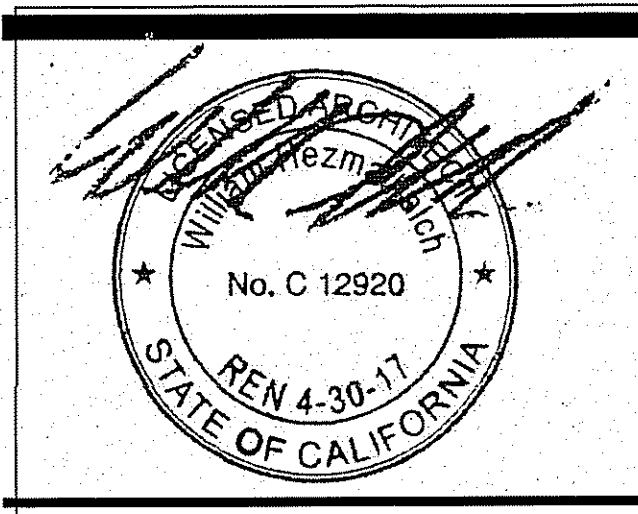
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT 'R' GUARD ESR-1566 BY 'START R FOAM' OVER DUPONT TYVEK
510	STUCCO OVER 1" RIGID FOAM OVER 1" RIGID FOAM WALL - HEIGHT PER ELEVATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
580	DECORATIVE FOAM ACCENT
592	SHUTTER - SIZE PER ELEVATION
638	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
701	G.I. FLASHING
741	RECTANGULAR DECORATIVE G.I. METAL LOUVER VENT - SIZE PER ELEVATION
762	ROOFING - CONCRETE - LOW PROFILE 'S' TILE BY EAGLE ROOFING ICC# ESR 1900
TYP.	2 LAYERS OF OF-GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CRC R703.63

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1405.13.2

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PLAN 2753
CLOVIS, CALIFORNIA

TRACT# 5701 / 6143
SFD

WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

REVISIONS

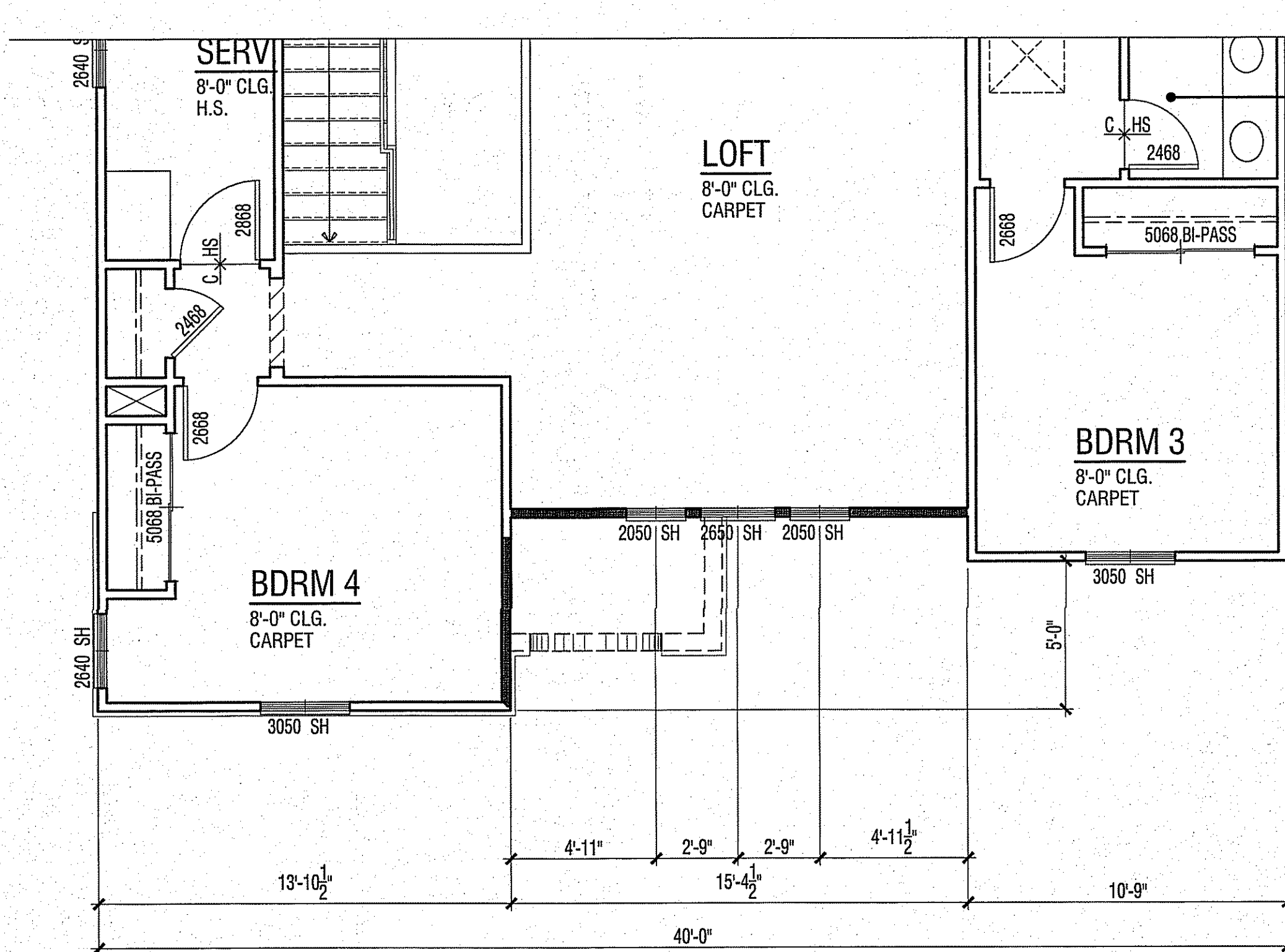
NO.	DATE	DESCRIPTION
1	06-21-17	BLDG. DEPT. REVISIONS

PROJECT MANAGER:	MH
DESIGNER:	BHAM
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2016084
CAD FILE NAME:	A604

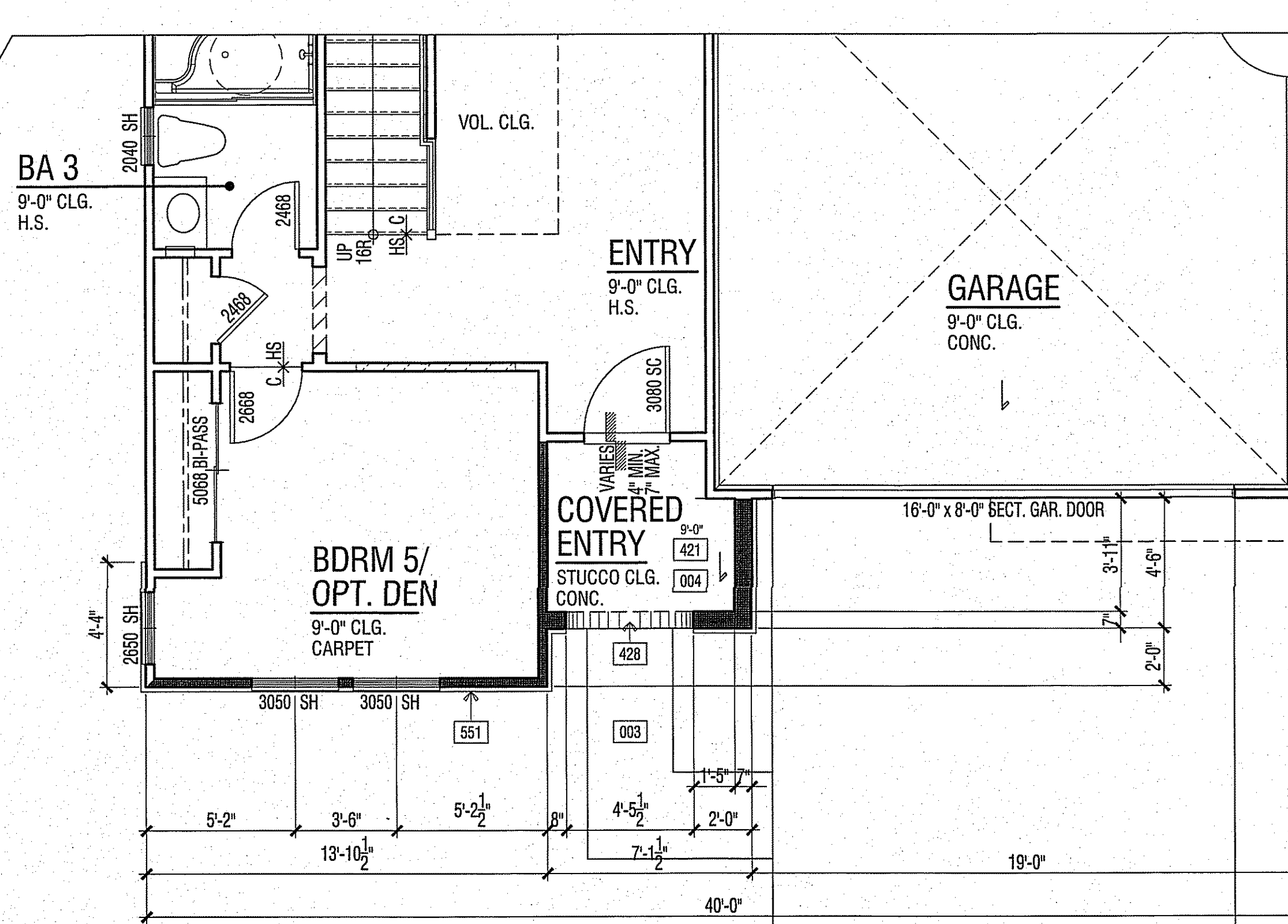
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SHEET:	A6.4

ELEVATIONS - PLAN 2753 A

2016084 - 2016 CODE UPDATE - 06-21-2017



UPPER FLOOR PLAN 2753 C

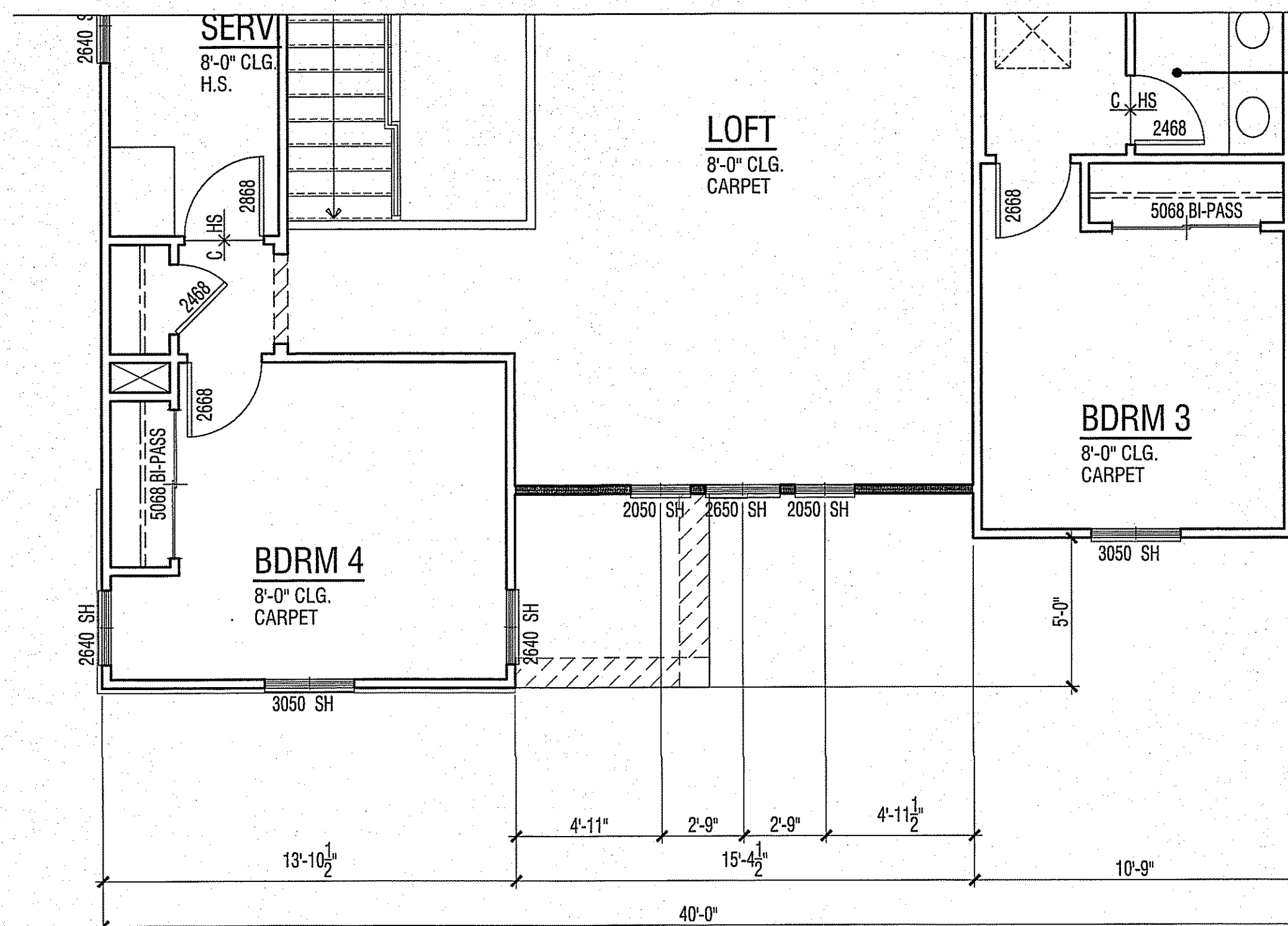


LOWER FLOOR PLAN 2753 C

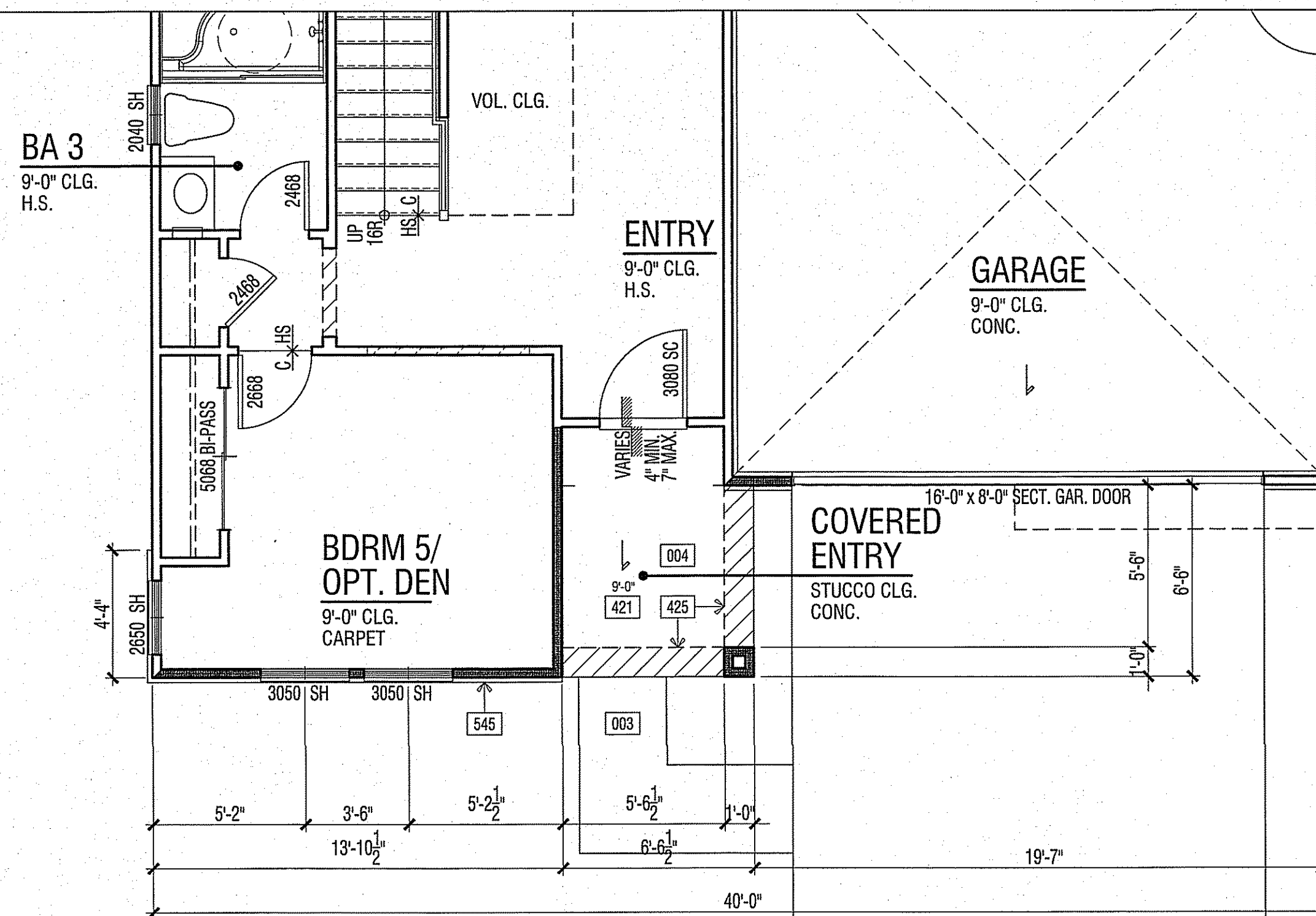
FLOOR PLAN NOTES	
1.	ATTICS: ACCESS PER CRC R307, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R306.
2.	EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R310.
3.	MEANS OF EGRESS PER CRC R311.
4.	GLAZING PER CRC R308.1 & R309.
5.	FACTORY-BUILT FIREPLACES AND CHIMNEYS PER CRC R1004, R1005, R1006.
6.	COMBUSTION AIR TO FORCED AIR UNIT PER CMC CHAPTER 7.
7.	COMBUSTION AIR TO WATER HEATER PER CPC SECTION 507.0.
8.	ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
9.	MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMC 305 & 306.
10.	MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
11.	THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. 2016 CRC R310.1.
12.	IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC R312.2.
13.	A SHEETROCK NAILING INSPECTION IS REQUIRED. 2016 CRC R106.1.4.2 & 2016 CBC 110.3.5.
14.	GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. 2016 CRC R308.
15.	PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE 2016 T-24.
16.	VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS 30" UNPROTECTED, OR 24" PROTECTED. 2016 CBC R106.1.1.
17.	A SHEETROCK NAILING INSPECTION IS REQUIRED. - 2016 CRC R106.1.1.
18.	THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CEMENT OR GLASS MAT GYPSUM BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. - 2016 CRC R702.4.2.
19.	THE THREE CAR GARAGE IS NON-CONFORMING AND THE REQUIRED SIDEYARD SETBACKS MAY NOT BE RELAXED. 2016 CRC R106.1.1.
20.	NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. 2016 CEC 150.0(a).
21.	A MINIMUM 30" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. 2016 CPC 408.6.

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
421	STUCCO CEILING: HEIGHT PER PLAN
422	STUCCO SOFFIT: HEIGHT PER ELEVATION
425	WOOD SOFFIT: HEIGHT PER ELEVATION
428	ARCHED STUCCO SOFFIT - HEIGHT PER ELEVATION
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS

FLOOR AREA TABLE	PLAN 2753 C
LOWER FLOOR PLAN	1,275 SQ. FT.
UPPER FLOOR PLAN	1,478 SQ. FT.
TOTAL	2,753 SQ. FT.
GARAGE	413 SQ. FT.
COVERED ENTRY	43 SQ. FT.



UPPER FLOOR PLAN 2753 B

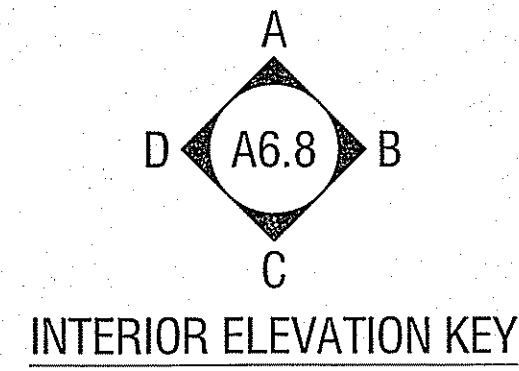
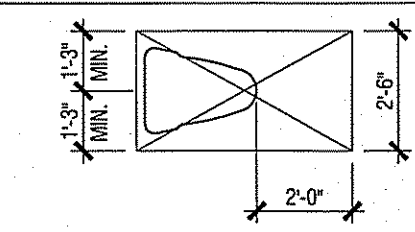


LOWER FLOOR PLAN 2753 B

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
421	STUCCO CEILING: HEIGHT PER PLAN
422	STUCCO SOFFIT: HEIGHT PER ELEVATION
425	WOOD SOFFIT - HEIGHT PER ELEVATION
545	THIN SET BRICK VENEER BY ENDICOTT BRICK - ASTM C-1088 - INSTALL PER MANUFACTURER'S INSTRUCTIONS

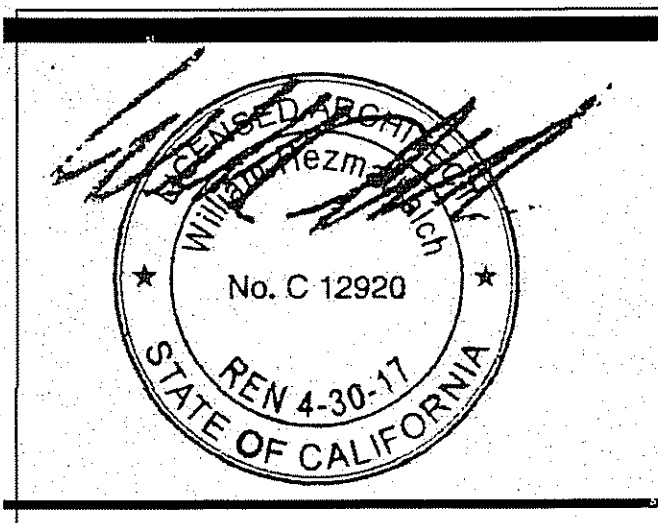
FLOOR AREA TABLE	PLAN 2753 B
LOWER FLOOR PLAN	1,275 SQ. FT.
UPPER FLOOR PLAN	1,478 SQ. FT.
TOTAL	2,753 SQ. FT.
GARAGE	413 SQ. FT.
COVERED ENTRY	54 SQ. FT.

REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



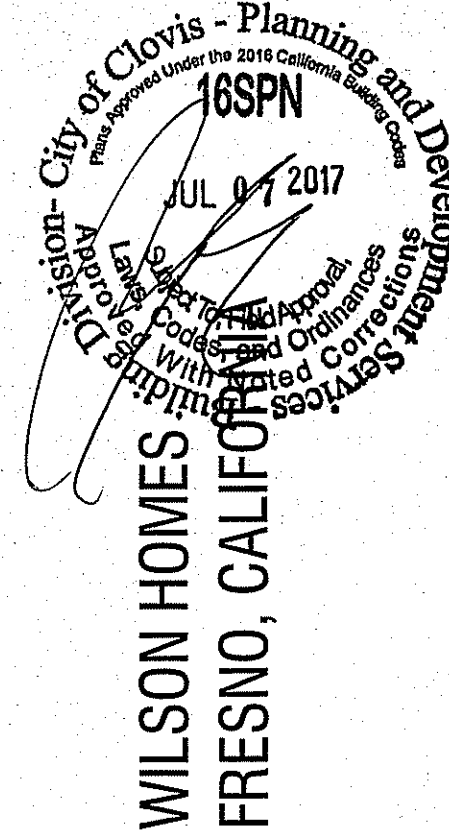
SCALE: 1/4" = 1'-0"

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TRACT # 5701 / 6143 SFD

PLAN 2753
CLOVIS, CALIFORNIA



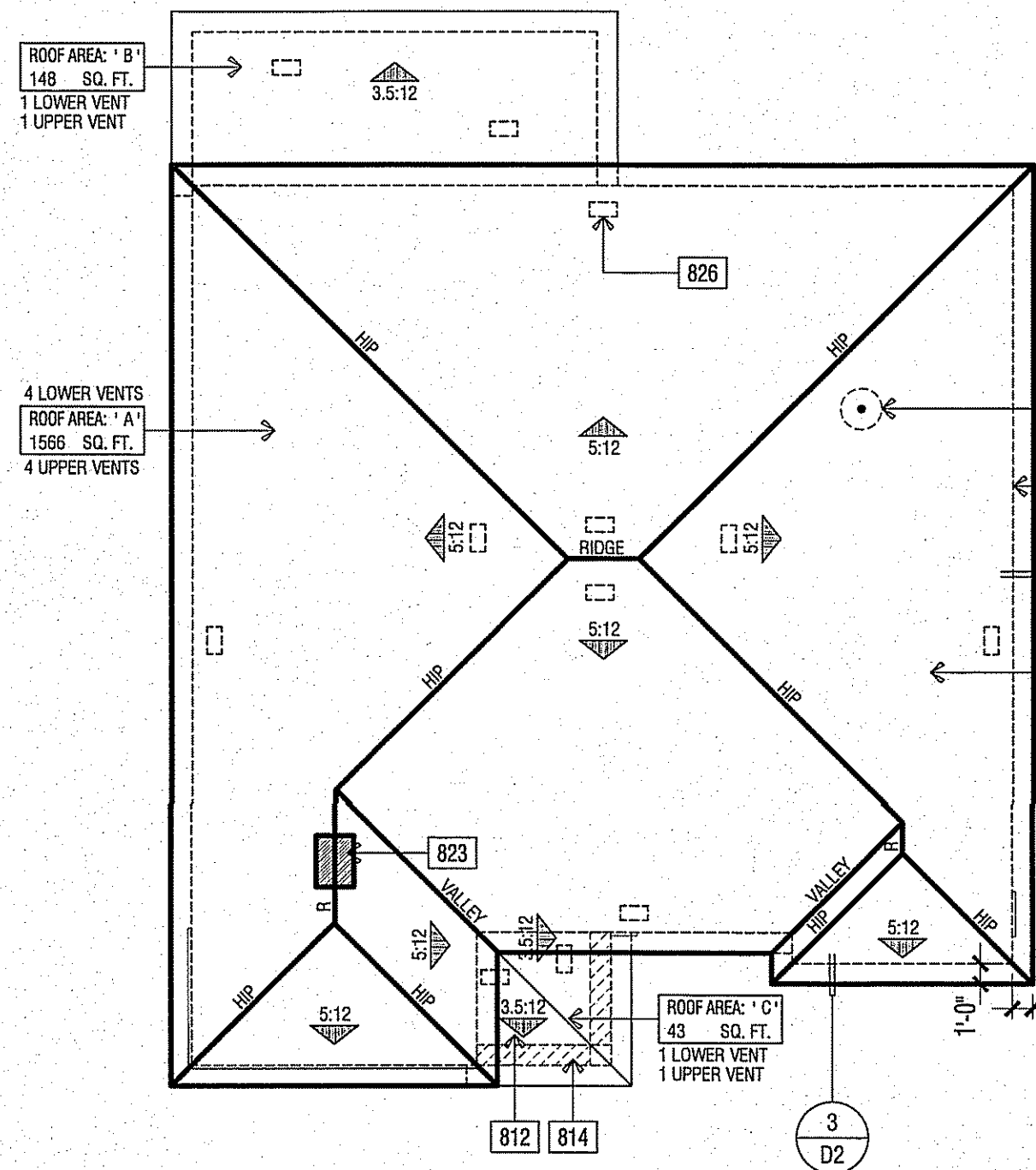
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DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	12-21-16	2016 CODE UPDATE

PROJECT MANAGER:	MH
DESIGNER:	BH/AM
DRAWN BY:	-
REVIEWED BY:	-
1ST BLDG. DEPT. SUBMITTAL:	-
ISSUED FOR CONSTRUCTION:	-
JOB NUMBER:	2016084
CAD FILE NAME:	A605
DATE:	12-21-16
SHEET:	A6.5

2016084 - 2016 CODE UPDATE

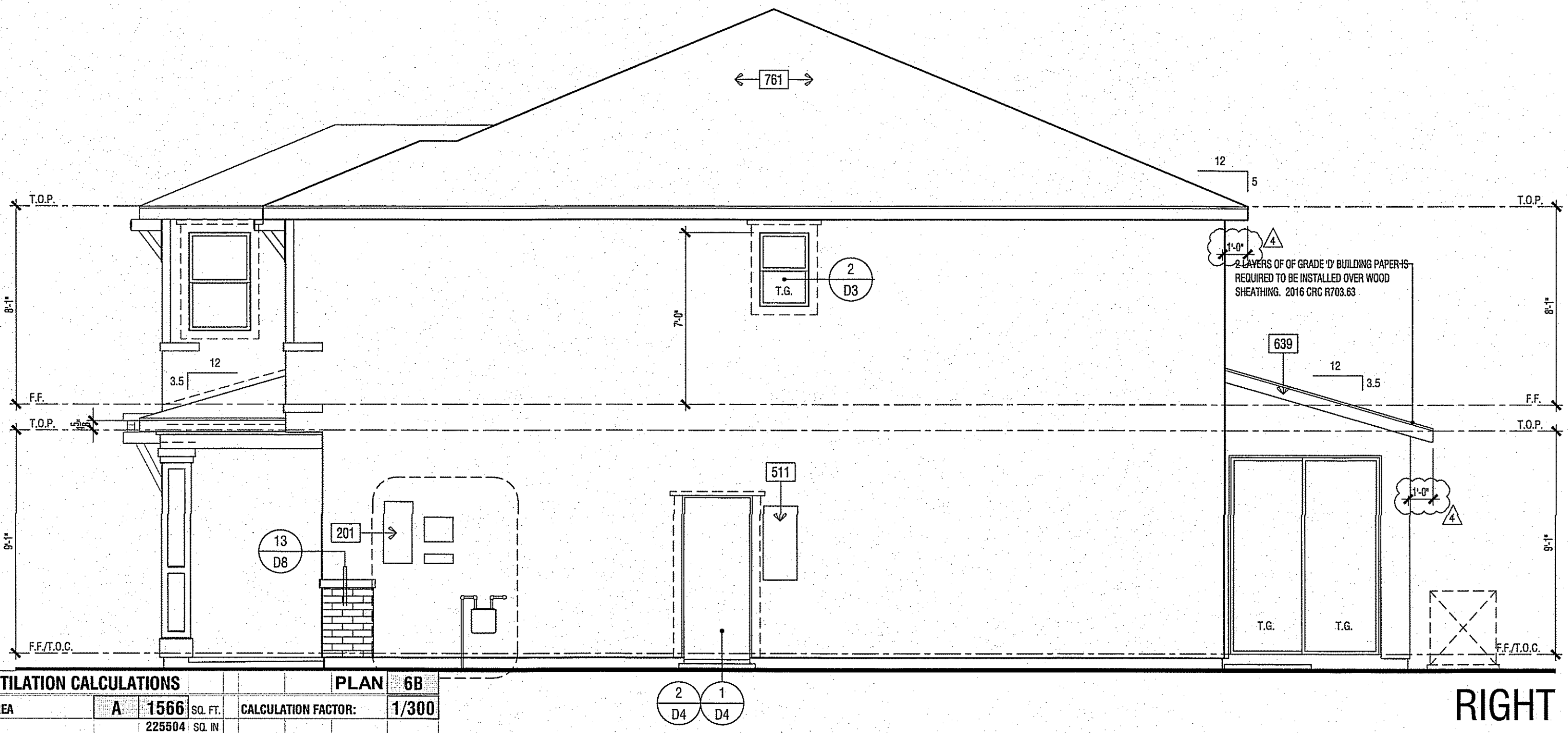


ROOF PLAN

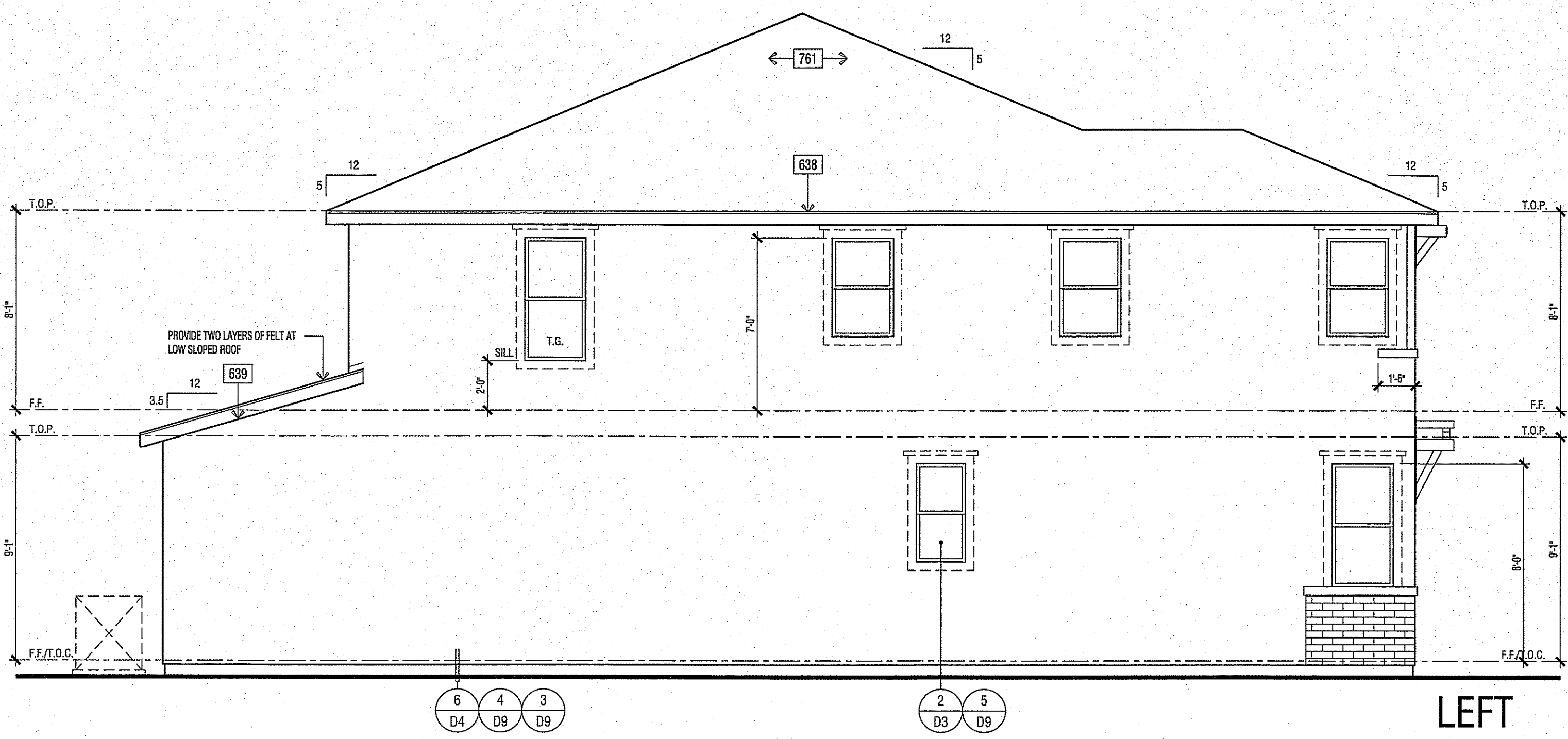
SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE: B		ELEVATION STYLE: REGENCY			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	RAKE
CONCRETE 'FLAT' TILE	1/2"	2X6	2X6	1'-0"	1'-0"
ROOF PLAN NOTES					
NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CENC SECTION 110.10.					
1. SEE GENERAL NOTES FOR ROOF NOTES.					
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.					
3. ATTIC ACCESS PER CRC SECTION R807.					
4. PROVIDE ATTIC & SOFT VENTILATION PER CRC SECTION R806. PER CRC SECTION R806.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:					
• IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.					
• NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.					
ROOF PLAN KEY NOTES					
Name	NOTE				
801	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900				
810	LINE OF WALL BELOW				
812	STUCCO CEILING				
814	WOOD SOFFIT				
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS				
826	ROOF VENT - OHAGIN 'XL SERIES' CLOAKED VENT (ICC # NER-9650A)				
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.				

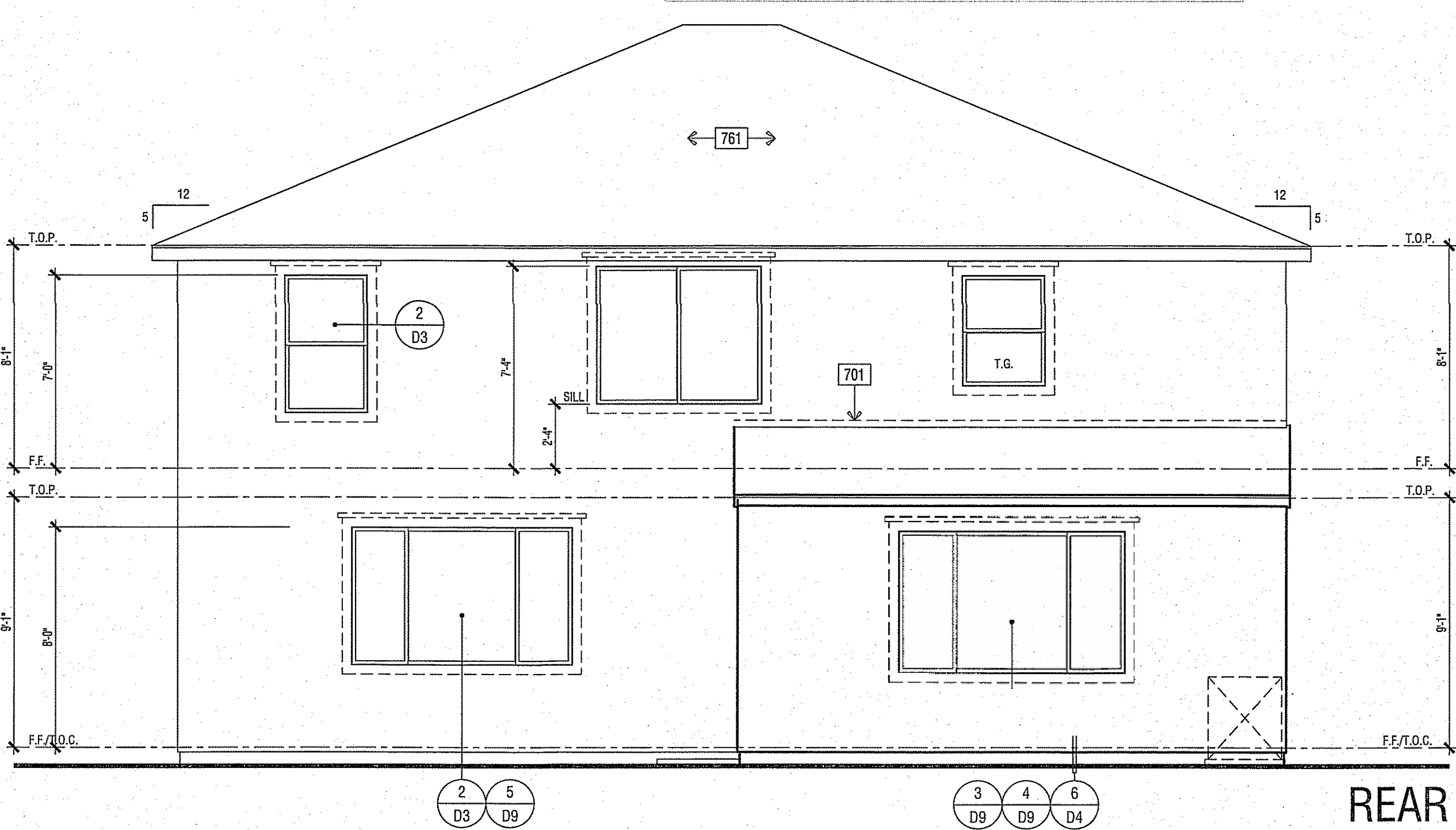
ATTIC VENTILATION CALCULATIONS		PLAN 68	
ROOF ATTIC AREA	A 1566 SQ. FT.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL 744 SQ. IN.	TOTAL PROVIDED:	792 SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH 372 SQ. IN.	TOTAL HIGH PROVIDED:	396 SQ. IN.
MIN. VENTILATION REQUIRED:	LOW 372 SQ. IN.	TOTAL LOW PROVIDED:	396 SQ. IN.
HIGH VENTILATION METHOD		FREE VENT AREA	
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 4	396 SQ. IN.	
TOTAL PROVIDED:		396 SQ. IN.	
LOW VENTILATION METHOD		FREE VENT AREA	
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 4	396 SQ. IN.	
TOTAL PROVIDED:		396 SQ. IN.	
ROOF ATTIC AREA	B 148 SQ. FT.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL 70 SQ. IN.	TOTAL PROVIDED:	198 SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH 35 SQ. IN.	TOTAL HIGH PROVIDED:	99 SQ. IN.
MIN. VENTILATION REQUIRED:	LOW 35 SQ. IN.	TOTAL LOW PROVIDED:	99 SQ. IN.
HIGH VENTILATION METHOD		FREE VENT AREA	
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 1	99 SQ. IN.	
TOTAL PROVIDED:		99 SQ. IN.	
LOW VENTILATION METHOD		FREE VENT AREA	
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 1	99 SQ. IN.	
TOTAL PROVIDED:		99 SQ. IN.	
ROOF ATTIC AREA	C 43 SQ. FT.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL 20 SQ. IN.	TOTAL PROVIDED:	198 SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH 10 SQ. IN.	TOTAL HIGH PROVIDED:	99 SQ. IN.
MIN. VENTILATION REQUIRED:	LOW 10 SQ. IN.	TOTAL LOW PROVIDED:	99 SQ. IN.
HIGH VENTILATION METHOD		FREE VENT AREA	
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 1	99 SQ. IN.	
TOTAL PROVIDED:		99 SQ. IN.	
LOW VENTILATION METHOD		FREE VENT AREA	
CLOAKED VENT - CONC. FLAT TILE	99 SQ. IN. X 1	99 SQ. IN.	
TOTAL PROVIDED:		99 SQ. IN.	



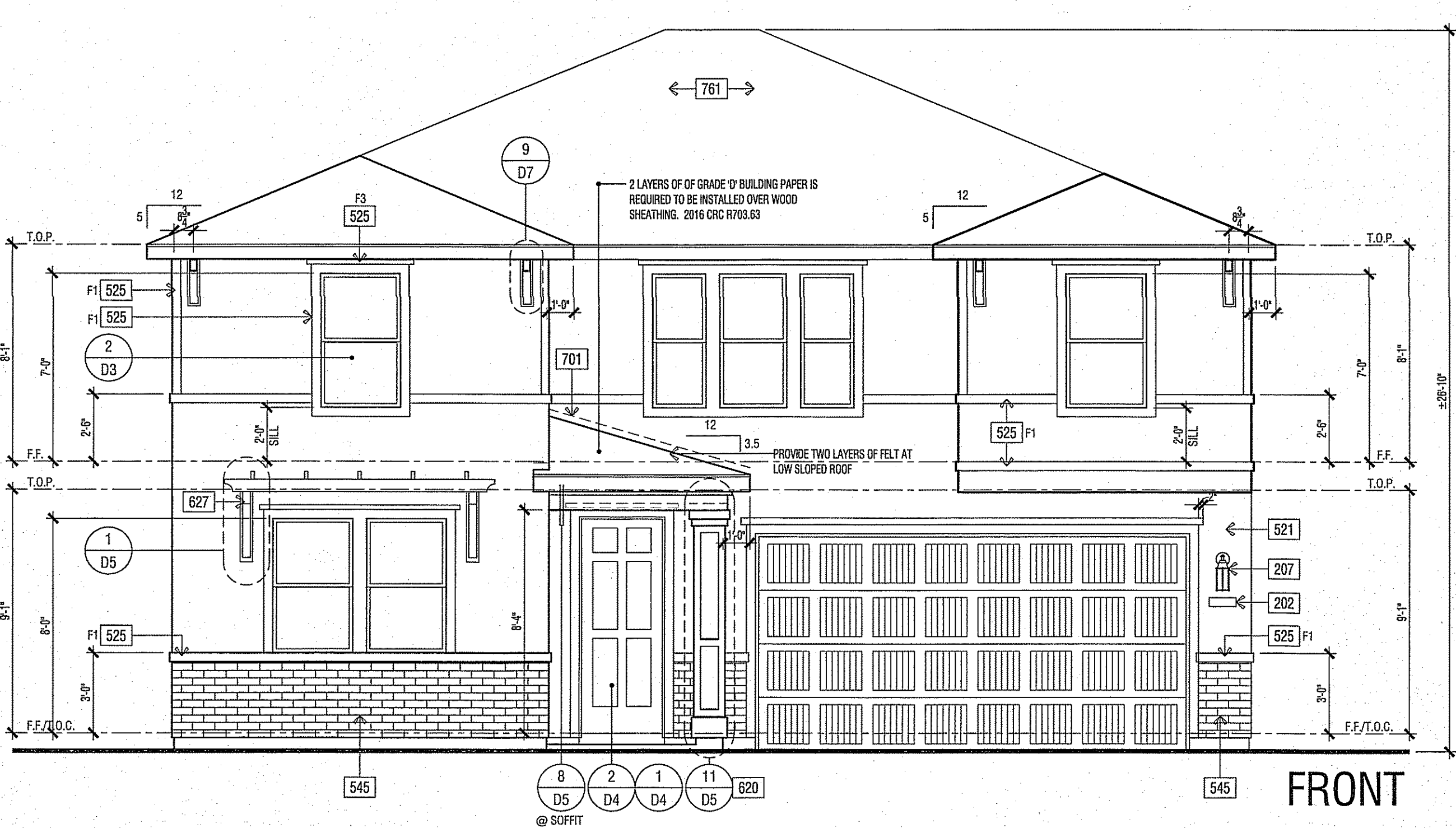
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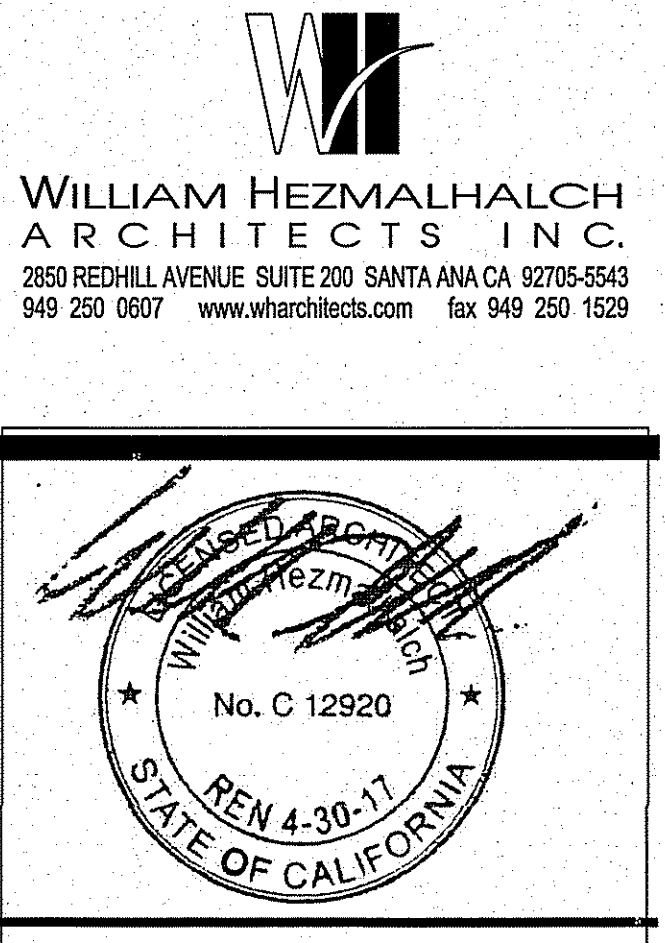


FRONT

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT 'R' GUARD ESR-1566 BY START R FOAM OVER DUPONT TYVEK
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
545	THIN SET BRICK VENEER BY ENDICOTT BRICK - ASTM C-1088 - INSTALL PER MANUFACTURER'S INSTRUCTIONS - ANSI A 137.1
601	WOOD TRIM - SIZE PER ELEVATION
603	WOOD CORNER TRIM - SIZE PER DETAIL 305
620	BUILT UP COLUMN - SIZE PER PLAN
627	KNEE BRACE ASSEMBLY - WOOD (SIZE AND SHAPE PER DETAIL 1/05)
650B	FIBER CEMENT LAP SIDING - 5/16" THICK 'HARDPLANK' BY JAMESHARDIE ICC-ES NER 405 (OR EQUIVALENT), FINISH: SELECT CEDARMILL. EXPOSURE 6" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
638	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
691	DECORATIVE METAL ACCENT - PER DETAIL
701	G.I. FLASHING
761	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
TYP.	2 LAYERS OF OF GRADE 'D' BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CRC R703.63
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CRC 1405.13.2	



PLAN 2753
CLOVIS, CALIFORNIA

City of Clovis - Planning and Development
JUL 17 2017
16SPN
WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION
1	06-21-17	BLDG. DEPT. REVISIONS
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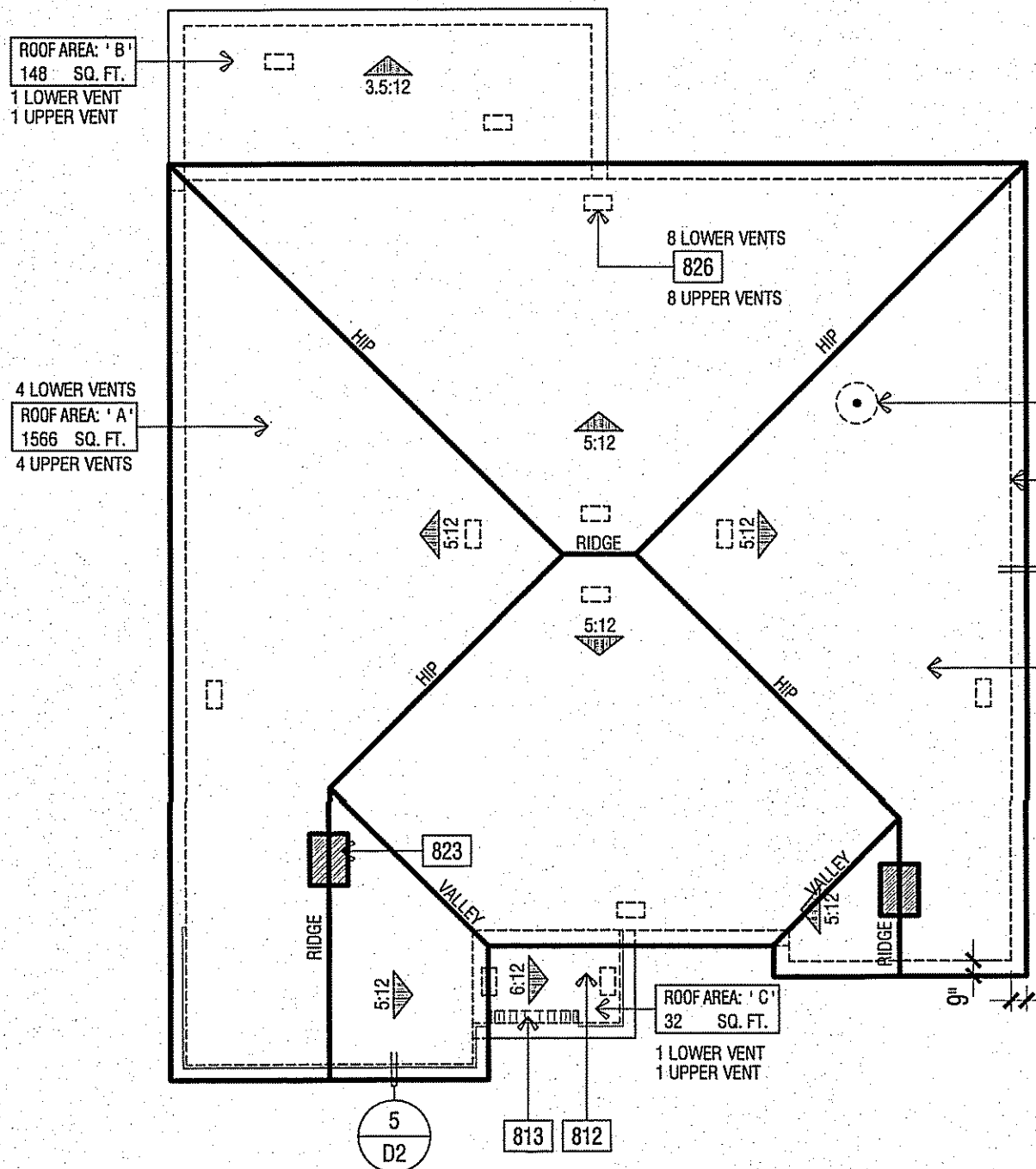
DATE:
06-21-17

SHEET:
A6.6

ELEVATIONS - PLAN 2753 B

2016084 - 2016 CODE UPDATE - 06-21-2017

TRACT # 5701 / 6143
SFD



ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE:	C	ELEVATION STYLE:	FRENCH COUNTRY
ROOF MATERIAL	CONCRETE 'FLAT' TILE	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O. BARGE - U.N.O. OVERHANG DIM. - U.N.O. EAVE - U.N.O. RAKE - U.N.O.
*EAGLE ROOFING® ICC# ESR-1900	1/2"	2X6	2X6 9" 9"

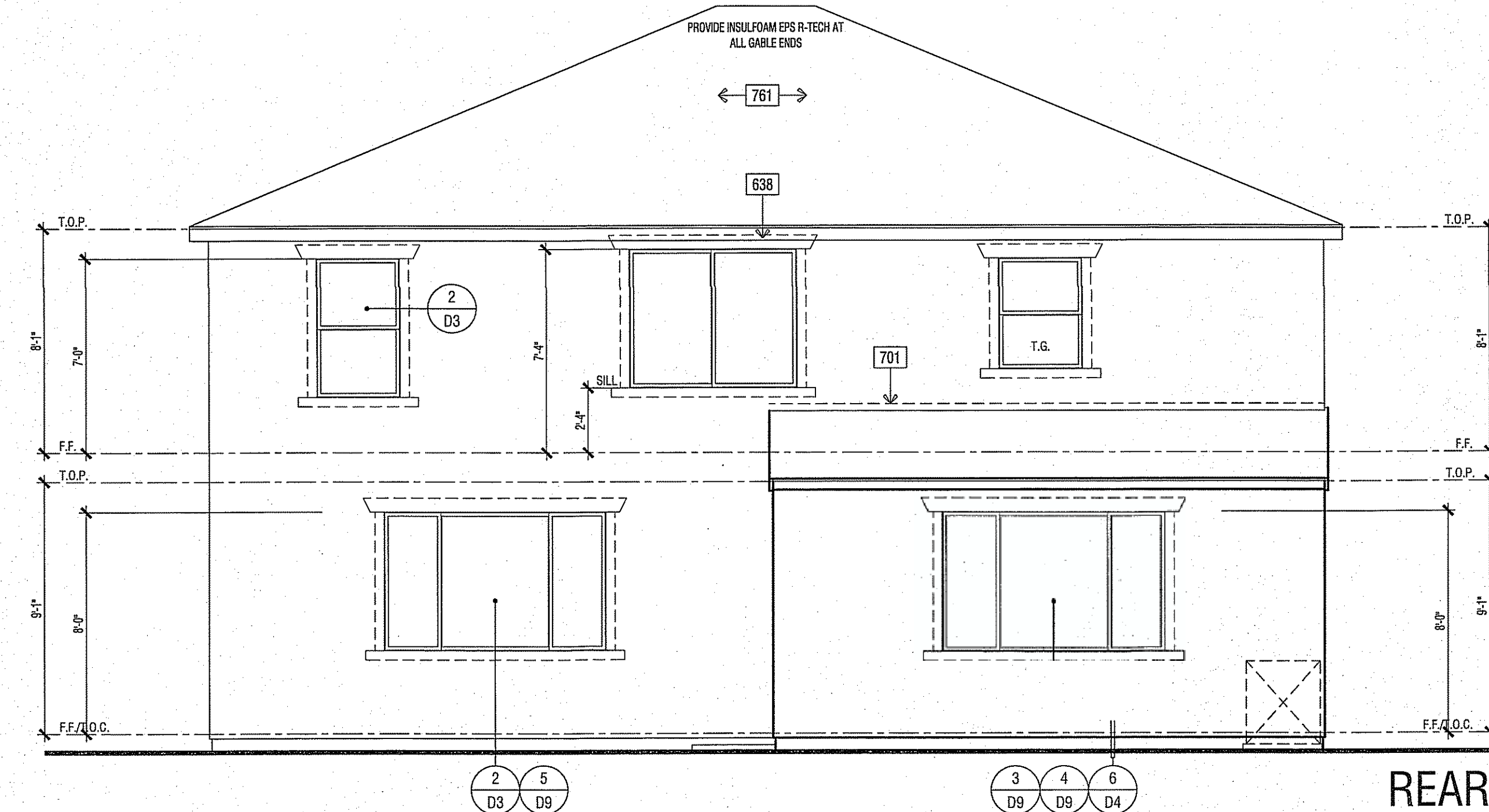
ROOF PLAN NOTES

- NOTE: MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS PER CENC SECTION 110.10.
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTIC ACCESS PER CRC SECTION R806.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 - PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R806. PER CRC SECTION R806.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

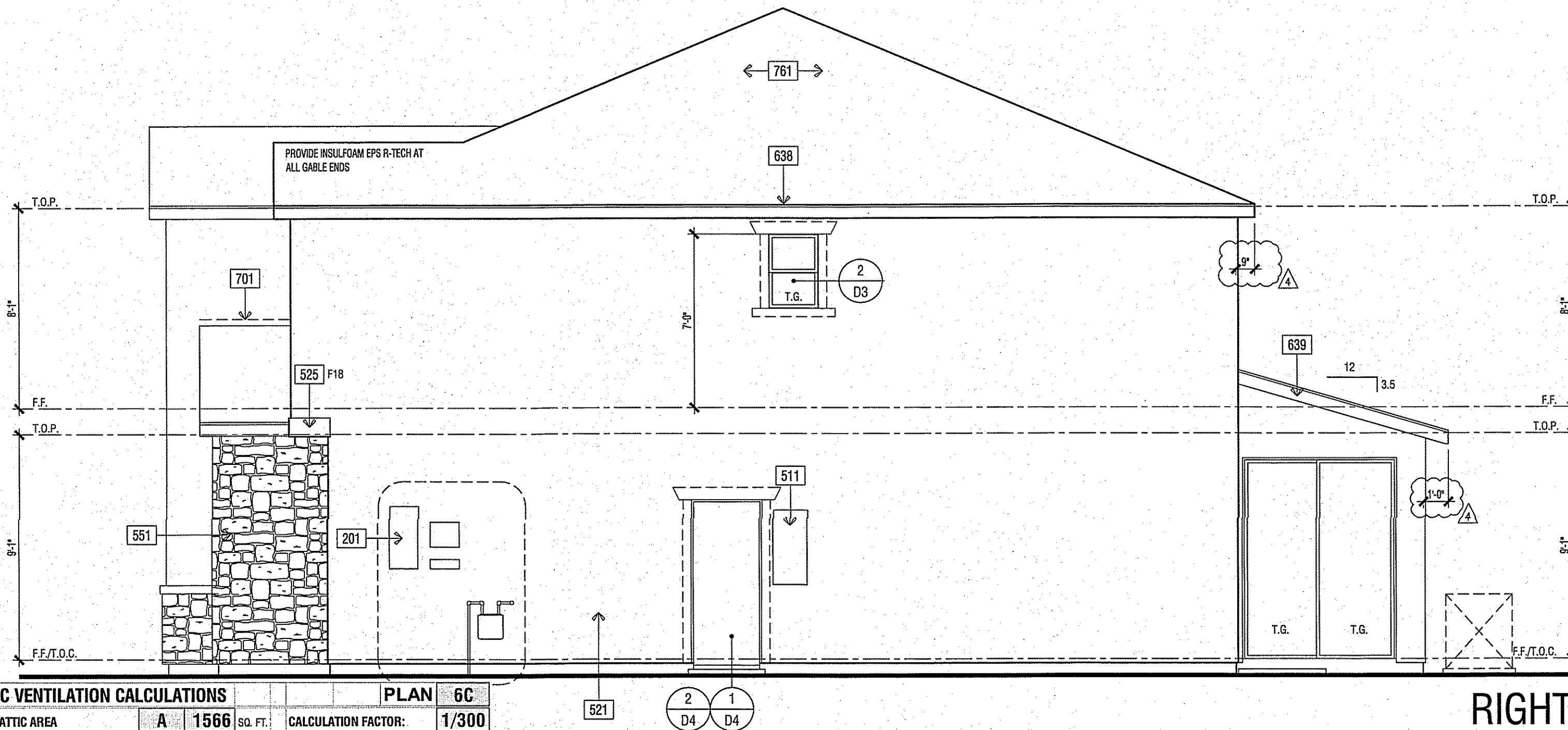
ROOF PLAN KEY NOTES

Name	NOTE
801	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SOFFIT
823	MIN. 22"x30" CLEAR OPENING FOR ACCESS AND AIRFLOW CONTRACTOR TO VERIFY AIRFLOW TO ALL ATTIC AREAS
826	ROOF VENT - OHAGIN "XL SERIES" CLOAKED VENT (ICC # NER-9850A)
837	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR FUTURE SOLAR INSTALLATION.

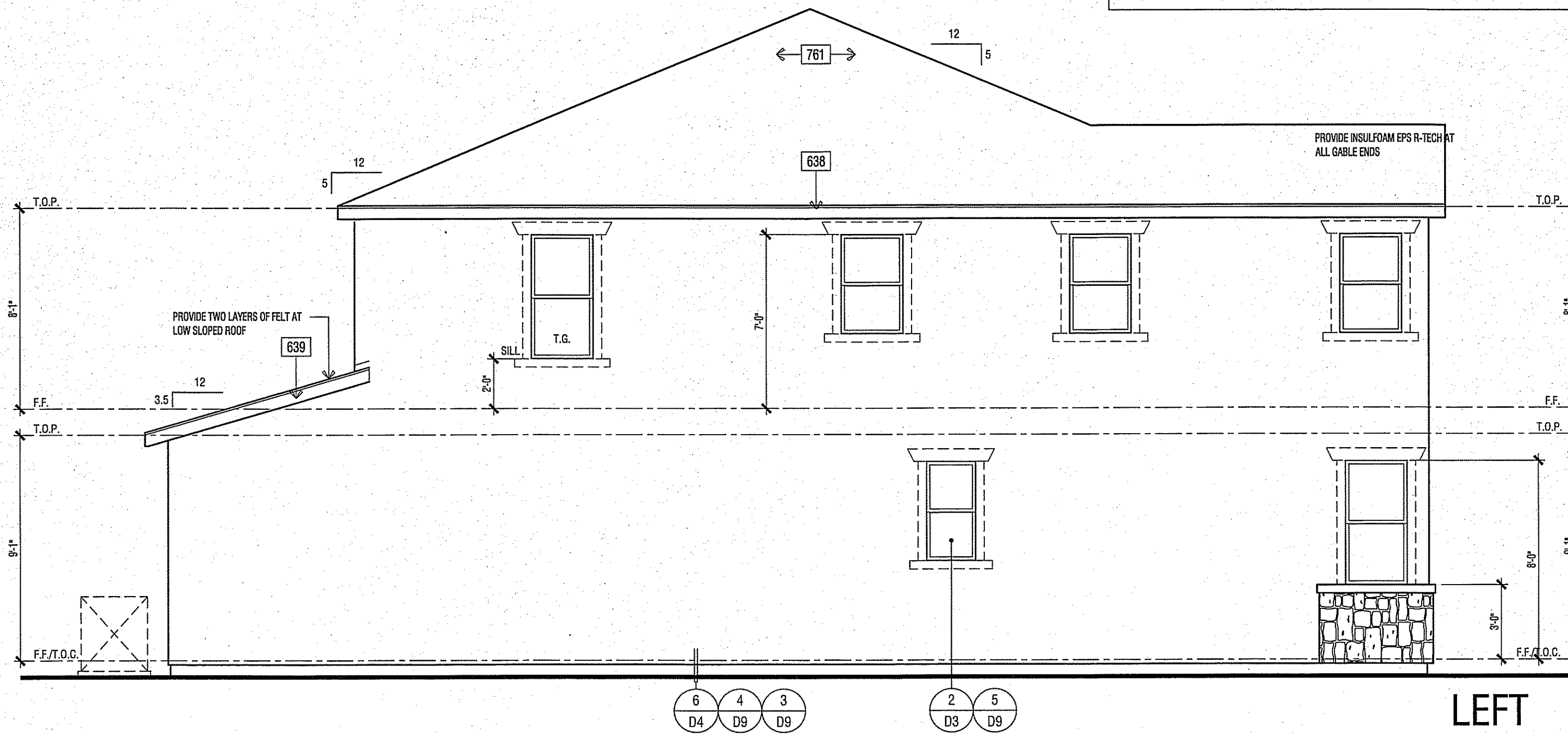
ATTIC VENTILATION CALCULATIONS				PLAN 6C			
ROOF ATTIC AREA	A	1566	SQ. FT.	CALCULATION FACTOR:	1/300		
		225904	SQ. IN.				
MIN. VENTILATION REQUIRED:	TOTAL	744	SQ. IN.	TOTAL PROVIDED:	792	SQ. IN.	
MIN. VENTILATION REQUIRED:	HIGH	372	SQ. IN.	TOTAL HIGH PROVIDED:	396	SQ. IN.	
MIN. VENTILATION REQUIRED:	LOW	372	SQ. IN.	TOTAL LOW PROVIDED:	396	SQ. IN.	
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC. FLAT TILE -	99	SQ. IN. X	4	396	SQ. IN.		
				TOTAL PROVIDED:	396	SQ. IN.	
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC. FLAT TILE -	99	SQ. IN. X	4	396	SQ. IN.		
				TOTAL PROVIDED:	396	SQ. IN.	
ROOF ATTIC AREA	B	148	SQ. FT.	CALCULATION FACTOR:	1/300		
		21312	SQ. IN.				
MIN. VENTILATION REQUIRED:	TOTAL	70	SQ. IN.	TOTAL PROVIDED:	198	SQ. IN.	
MIN. VENTILATION REQUIRED:	HIGH	35	SQ. IN.	TOTAL HIGH PROVIDED:	99	SQ. IN.	
MIN. VENTILATION REQUIRED:	LOW	35	SQ. IN.	TOTAL LOW PROVIDED:	99	SQ. IN.	
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC. FLAT TILE -	99	SQ. IN. X	3	99	SQ. IN.		
				TOTAL PROVIDED:	99	SQ. IN.	
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC. FLAT TILE -	99	SQ. IN. X	1	99	SQ. IN.		
				TOTAL PROVIDED:	99	SQ. IN.	
ROOF ATTIC AREA	C	32	SQ. FT.	CALCULATION FACTOR:	1/300		
		4608	SQ. IN.				
MIN. VENTILATION REQUIRED:	TOTAL	15	SQ. IN.	TOTAL PROVIDED:	198	SQ. IN.	
MIN. VENTILATION REQUIRED:	HIGH	8	SQ. IN.	TOTAL HIGH PROVIDED:	99	SQ. IN.	
MIN. VENTILATION REQUIRED:	LOW	8	SQ. IN.	TOTAL LOW PROVIDED:	99	SQ. IN.	
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC. FLAT TILE -	99	SQ. IN. X	1	99	SQ. IN.		
				TOTAL PROVIDED:	99	SQ. IN.	
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA			
CLOAKED VENT - CONC. FLAT TILE -	99	SQ. IN. X	1	99	SQ. IN.		
				TOTAL PROVIDED:	99	SQ. IN.	



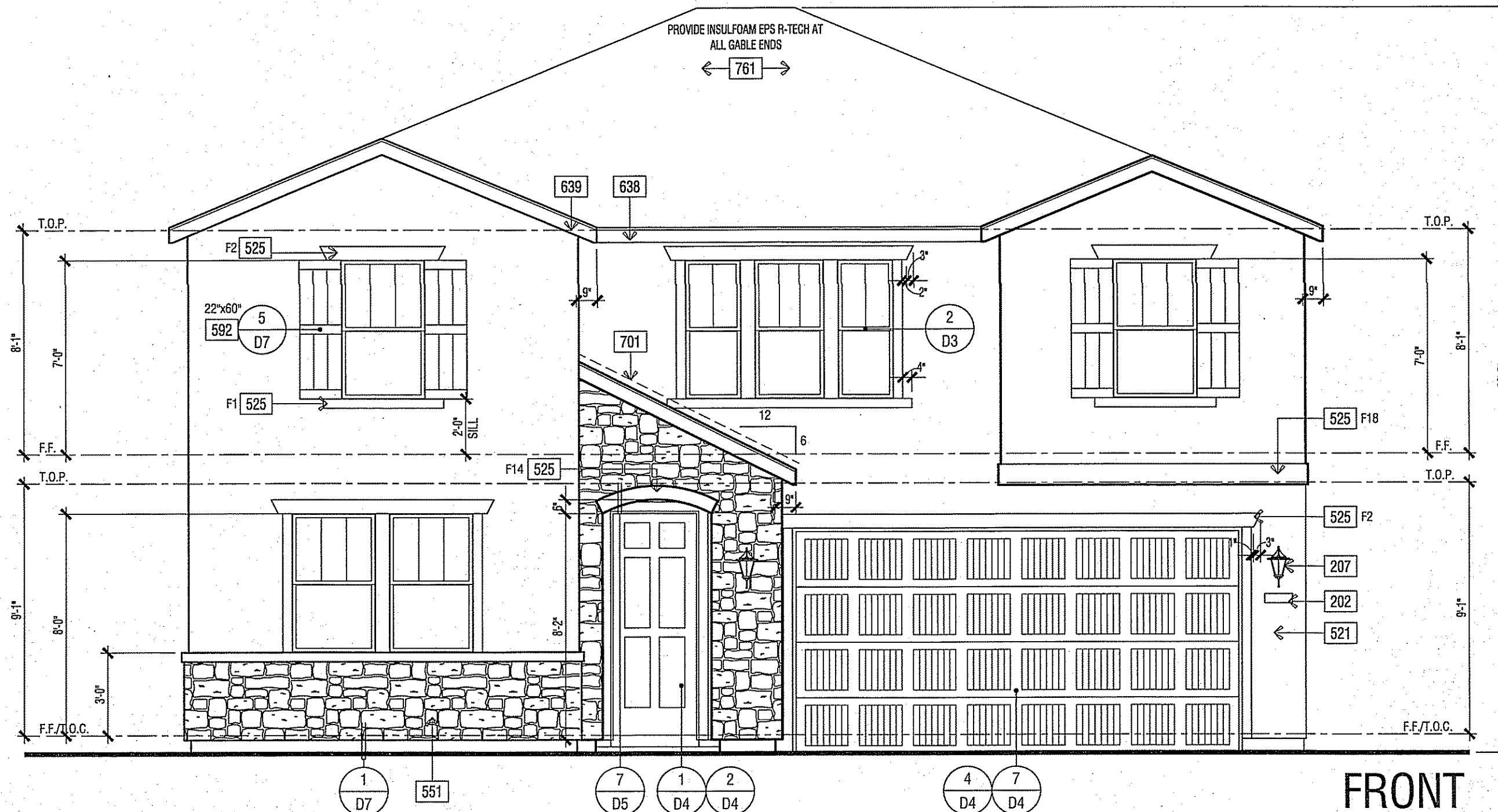
REAR



RIGHT



LEFT



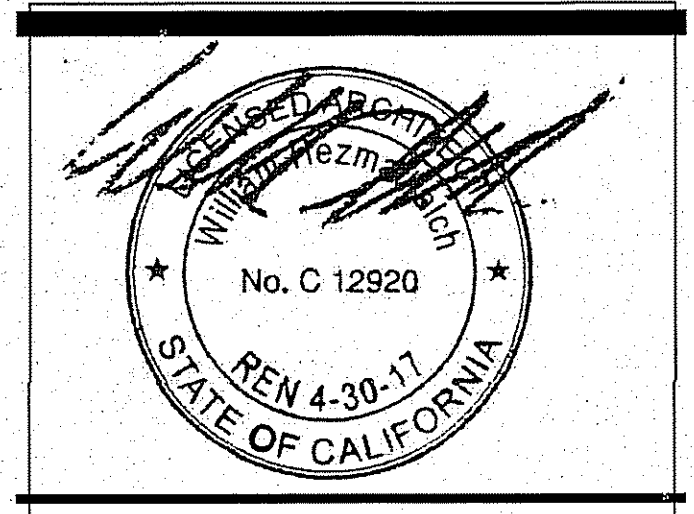
FRONT

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES	
Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	ADDRESS NUMBER. 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
207	COACH LIGHT LOCATION
521	STUCCO - OMEGA DIAMOND WALL ONE COAT STUCCO ICC# ESR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER SRAT "R" GUARD ESR-1566 BY "START R" FOAM OVER DUPONT TYVEK
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE SHEET D4)
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS
592	SHUTTER - SIZE PER ELEVATION
601	WOOD TRIM - SIZE PER ELEVATION
610	WOOD POST - SIZE PER ELEVATION
624	CORBEL - WOOD (SIZE/SHAPE PER DETAIL)
638	2X6 WOOD FASCIA
639	2X6 WOOD BARGE BOARD
650A	FIBER CEMENT VERTICAL SIDING - 5/16" THICK "HARDIPLANK" (OR EQUIVALENT). FINISH: SELECT CEDARMILL. (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
650B	FIBER CEMENT LAP SIDING - 5/16" THICK "HARDIPLANK" BY JAMESHARDIE ICC-ES NER 406 (OR EQUIVALENT). FINISH: SELECT CEDARMILL. EXPOSURE 6" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
675	DECORATIVE WOOD SHELF - PROVIDE SOLID BACKING AND MINIMUM 12"x12" ELASTOMERIC SHEET WATERPROOFING AT ALL MOUNTING POINTS/PENETRATIONS
701	G.I. FLASHING
761	ROOFING - CONCRETE - "FLAT" TILE BY EAGLE ROOFING ICC# ESR 1900
TYP.	2 LAYERS OF OF GRADE "D" BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2016 CRC R703.63

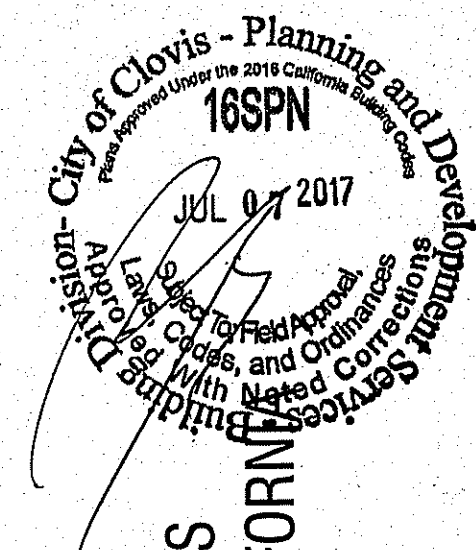
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2016 CBC 1405.13.2

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PLAN 2753
CLOVIS, CALIFORNIA

TRACT # 5701 / 6143
SFD



WILSON HOMES
FRESNO, CALIFORNIA

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DO NOT SCALE PLANS

REVISIONS

NO.	DATE	DESCRIPTION
1	06-21-17	BLDG. DEPT. REVISIONS
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT MANAGER :	MH
DESIGNER :	BH/AM
DRAWN BY :	
REVIEWED BY :	
1ST BLDG. DEPT. SUBMITTAL :	
ISSUED FOR CONSTRUCTION :	
JOB NUMBER :	2016084
CAD FILE NAME :	A607

DATE:	06-21-17
SHEET:	A6.7

ELEVATIONS - PLAN 2753 C

2016084 - 2016 CODE UPDATE - 06-21-2017