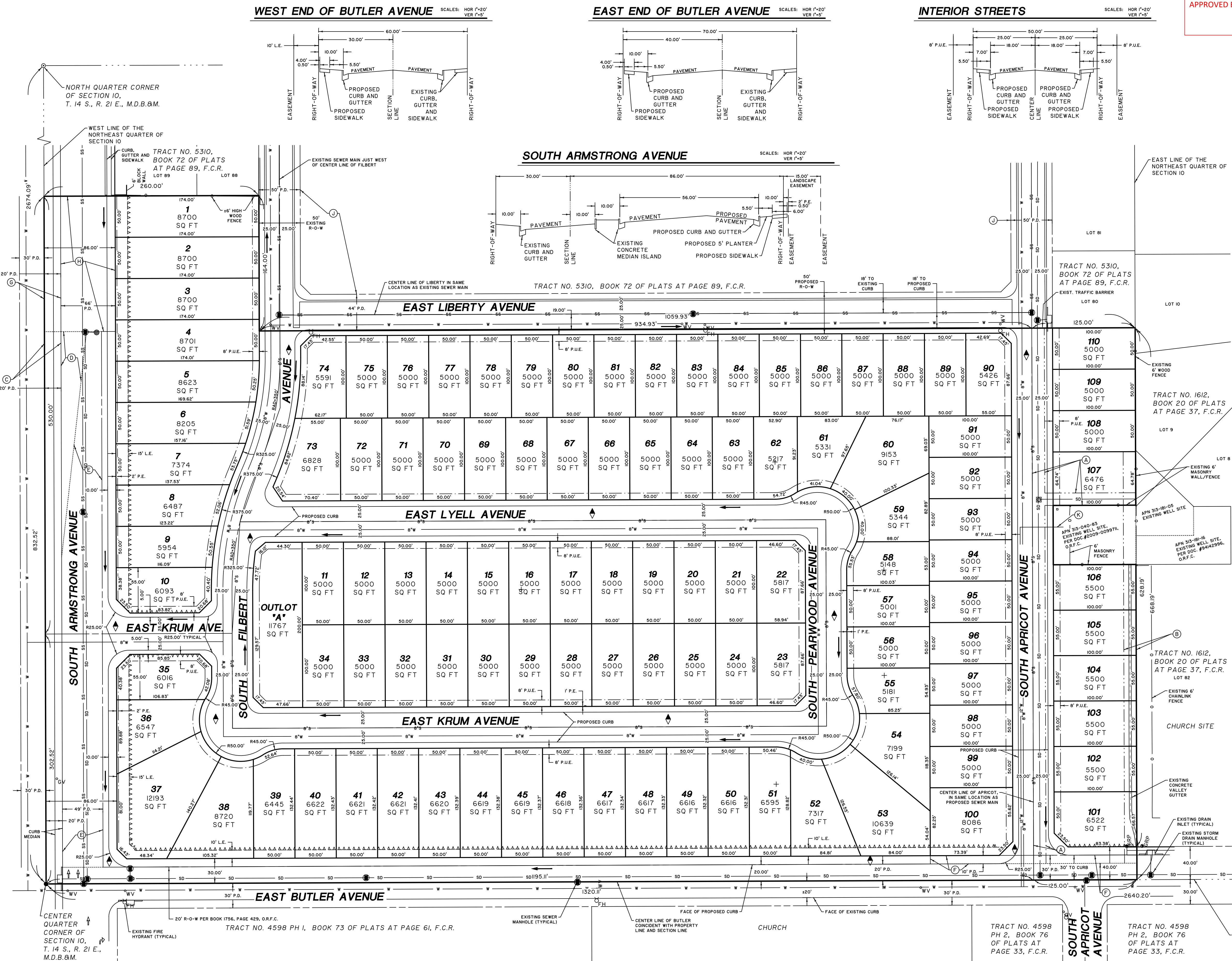


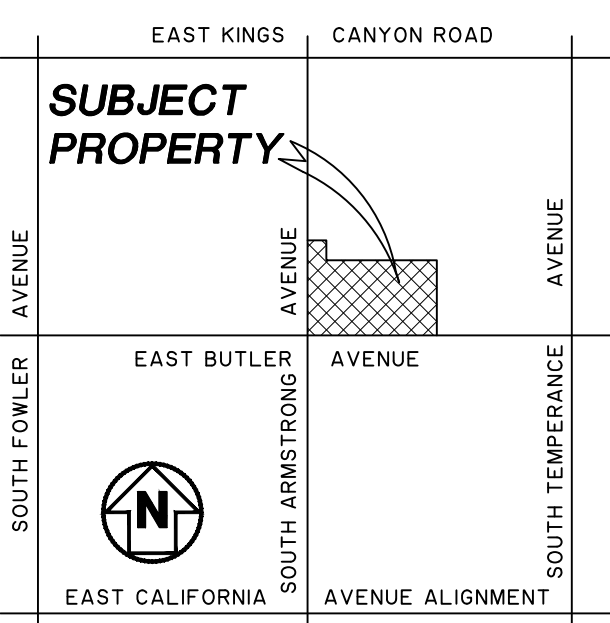
VESTING TENTATIVE
TRACT MAP NO. 6295
IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA
PREPARED FOR
LENNAR HOMES OF CALIFORNIA, INC.,
A CALIFORNIA CORPORATION



NOTES

- EXISTING AND PROPOSED LAND USE: MEDIUM - LOW DENSITY RESIDENTIAL.
- EXISTING AND PROPOSED ZONING: RS-4/UGM.
- EXISTING USE: VACANT LAND.
- WATER SUPPLY BY CITY OF FRESNO.
- SEWER DISPOSAL BY CITY OF FRESNO.
- UNDERGROUND ELECTRICAL POWER AND GAS BY P.G. & E. UNDERGROUND TELEPHONE BY SBC. UNDERGROUND CABLE TV BY COMCAST.
- STREETS, FIRE HYDRANTS, SIDEWALK, CURB, GUTTER, SEWER, WATER, STORM SEWER AND STREET LIGHTS TO BE CONSTRUCTED AND INSTALLED PER CITY OF FRESNO REQUIREMENTS.
- UTILITY LOCATIONS AND SIZES TO BE PER SUBDIVISION IMPROVEMENT PLANS.
- THIS LAND IS LOCATED IN FEMA ZONE X.
- THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NON-RENEWABLE ENERGY RESOURCES. ROUGHLY 64% OF THE LOTS IN THIS SUBDIVISION ARE ORIENTED IN A NORTH TO SOUTH ORIENTATION IN ORDER TO TAKE ADVANTAGE OF NATURAL HEATING AND COOLING OPPORTUNITIES.
- THERE IS LESS THAN A 6" DIFFERENCE BETWEEN THIS TRACT AND ADJACENT PROPERTIES, EXCEPT AS MAY BE SHOWN.
- THERE ARE NO BUILDINGS, KNOWN WELLS, OR KNOWN SEPTIC SYSTEMS ON THIS SITE.
- THERE ARE NO TREES TO BE REMOVED WITHIN THIS DEVELOPMENT.
- THERE ARE NO PROPOSED DWELLING UNITS.
- THERE ARE NO CANALS OR PRIVATE DITCHES WITHIN THIS SUBDIVISION.
- THE EXISTING 15" WATER MAIN EASEMENT IDENTIFIED HERON AS EASEMENT "B" WILL BE ABANDONED WITH THE RECORDED OF THE FINAL MAP, AND ANY FACILITIES THEREIN WILL BE ROUTED TO THE PROPOSED SOUTH APRICOT AVENUE.
- STREET ADDRESS IS 6650 E. BUTLER AVE S/A
- MAP IS DRAWN FROM RECORD DATA AND FROM A FIELD SURVEY BY ENGINEER/SURVEYOR.
- FUTURE GRADE DIFFERENTIALS OF 6" OR MORE MAY ARISE ALONG LOT 1, AND LOTS 101-110. DETAILS WILL BE SHOWN ON THE GRADING PLAN FOR THE SUBDIVISION.
- OUTLOT "A" OFFERED AS A PUBLIC PARK.
- EXISTING STREET FURNITURE IS SHOWN, AS EVIDENT. PROPOSED STREET FURNITURE TO BE SHOWN ON IMPROVEMENT PLANS.
- NO KNOWN UNDERGROUND FEATURES, SUCH AS PRIVATE WELLS, CESSPOOLS, SEPTIC SYSTEMS, DUMP SITES, OR OTHER UNDERGROUND STRUCTURES ARE PRESENT.
- CALCULATED DENSITY = 5.2

VICINITY MAP



LEGEND

- RECORD LOCATION, NOTHING FOUND OR SET.
- BOUNDARY LINE OF SUBJECT PROPERTY
- PROPOSED DIVISION LINE
- BOUNDARY LINE OF ADJACENT PROPERTY
- SECTION LINE
- CENTER LINE OF RIGHT-OF-WAY
- RIGHT-OF-WAY LINE
- PROPOSED RELINQUISHMENT OF DIRECT ACCESS RIGHTS
- PROPOSED SEWER MAIN
- EXISTING SEWER MAIN
- PROPOSED WATER MAIN
- EXISTING WATER MAIN
- EXISTING STORM DRAIN PIPELINE
- PROPOSED DIRECTION OF SURFACE WATER DRAINAGE
- EXISTING 15" STORM DRAIN EASEMENT, PER DOC.#2005-0218663, O.R.F.C.
- EXISTING 15" WATER MAIN EASEMENT, PER DOC.#90-55293, O.R.F.C.
- PREVIOUSLY DEDICATED FOR PUBLIC RIGHT-OF-WAY PER DEED RECORDED JANUARY 30, 1920 IN BOOK 596 AT PAGE 408, O.R.F.C.
- EXISTING EASEMENT AND RIGHT-OF-WAY FOR PUBLIC STREET PURPOSES PER DOC.#2006-20356, O.R.F.C.
- EXISTING EASEMENT AND RIGHT-OF-WAY FOR PUBLIC STREET PURPOSES PER DOC.#2006-84614, O.R.F.C.
- EXISTING EASEMENT AND RIGHT-OF-WAY FOR PUBLIC STREET PURPOSES PER DOC.#2006-84614, O.R.F.C.
- PREVIOUSLY DEDICATED FOR PUBLIC RIGHT-OF-WAY PER DEED RECORDED JANUARY 30, 1920 IN BOOK 596 AT PAGE 415, O.R.F.C.
- EXISTING EASEMENT AND RIGHT-OF-WAY FOR PUBLIC STREET PURPOSES PER DOC.#2005-0296344, O.R.F.C.
- EXISTING PUBLIC RIGHT-OF-WAY PER TRACT NO. 5310, FILED IN BOOK 72 OF PLATS AT PAGE 89, F.C.R.
- PROPOSED 12" WATER MAIN
- TO BE OFFERED FOR DEDICATION FOR PUBLIC USE
- F.C.R. FRESNO COUNTY RECORDS
- O.R.F.C. OFFICIAL RECORDS FRESNO COUNTY
- L.E. LANDSCAPE EASEMENT (PROPOSED)
- P.E. PEDESTRIAN EASEMENT (PROPOSED)
- P.U.E. PUBLIC UTILITIES EASEMENT (PROPOSED)
- P.P.P.U.E. PLANTING, PEDESTRIAN AND PUBLIC UTILITY EASEMENT (PROPOSED)
- P.D. PREVIOUSLY DEDICATED FOR PUBLIC STREET PURPOSES

LEGAL DESCRIPTION

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, ACCORDING TO THE UNITED STATES GOVERNMENT TOWNSHIP PLAT APPROVED BY THE SURVEYOR GENERAL, TOGETHER WITH THE SOUTH 164 FEET OF THE WEST 240 FEET OF THE NORTH HALF SAID SOUTHWEST QUARTER, ALL IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA.

BASIS OF BEARINGS

THE SOUTH LINE OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, AS SHOWN ON THE MAP OF TRACT NO. 5310, FILED IN VOLUME 72 OF PLATS AT PAGES 89-90, FRESNO COUNTY RECORDS, IS TAKEN TO BEAR:

NORTH 89°46'37" EAST

BASIS OF ELEVATIONS

CITY OF FRESNO BENCHMARK NUMBER "CITY BM 621" BEING A BRASS CAP STAMPED "CITY OF FRESNO BENCHMARK" ON THE TOP OF CURB, AT THE SOUTH RETURN OF THE SOUTHWEST CORNER OF BUTLER AVENUE AND ARMSTRONG AVENUE, PER THE PUBLISHED CITY BENCHMARK LIST, IS TAKEN TO HAVE AN ELEVATION OF:

320.993 FEET (CITY OF FRESNO)

SUBDIVIDER

LENNAR HOMES OF CALIFORNIA, INC.
A CALIFORNIA CORPORATION
8080 N. PALM AVE., SUITE 110
FRESNO, CA 93711
PHONE 559-437-4200

ASSESSOR'S PARCEL NUMBERS

313-040-84
313-635-03

OWNERS

LENNAR FRESNO, INC.
A CALIFORNIA CORPORATION
8080 N. PALM AVE., SUITE 110
FRESNO, CA 93711
PHONE 559-437-4200

ENGINEER/SURVEYOR

BEDROCK ENGINEERING, INC.
DAVID O. HARTLEY, RICHARD C. SHEPARD
BOX 25783
FRESNO, CA 93729
PHONE 559-645-4849

SITE ACREAGES

21.07 ACRES GROSS SITE
18.49 ACRES NET
0.27 ACRES PARK

BEDROCK ENGINEERING
A solid foundation for your next project
Land Surveying • Civil Engineering • Utility Locating

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DATE JUNE 30, 2020
DRAWN BY RCS
CHECKED BY MSH
PROJECT NO. 19-5155
DRAWING NO. 19-5155 TTM
SHEET NO.