

LEGAL DESCRIPTION :
LOTS 1,2,3,4 & 5 IN BLOCK 21 OF THE TOWNSITE OF PINEDALE IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGES 92 AND 93 OF PLATS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

GENERAL NOTES

APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.

NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.

NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACK OR ON THE STREET FRONTAGES OF THE BUILDINGS. ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.

LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPARTMENT.

TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT DIRECTOR.

ALL HANDICAPPED PARKING STALLS SHALL BE PAVED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS OR RAMPS.

SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.

IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.

IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/ PRESERVATION.

IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGIST AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/ MAP AS PER FMC SECTION 12-1011, AND RES. NO. 78-522/ 88-229.

REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.

2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATION WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT -USA-. CALL 1-800-642-2444.

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA

ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE APPROVED ACCESS SHALL BE REMOVED AND REPLACED WITH CURB, GUTTER AND SIDEWALK PER P.W. STD. P5

SITE DATA

APPLICANT	: OMAR YANEZ 1611 W. WRENWOOD AVENUE TEL. NO. (559) 824-6048
ADDRESS	: 7236 N. COLLEGE AVE. FRESNO, CA 93650
APN	: 303-082-37
ZONING	: RS-5
EXISTING USE	: VACANT LAND
OCCUPANCY	: R-2
LOT AREA	: 13,600 SQ. FT.
BUILDING AREA	: 910 SQFT. / UNIT X 4 = 3,640 SQFT.
BUILDING / LOT COVERAGE	: 26% OF SITE TOTAL
OPEN SPACE	: 5,000 SQ. FT. (36%)
LANDSCAPE AREA	: 4,737 SQFT.
PAVED AREA (DRIVEWAYS)	: 3,694 SQFT. (SIDEWALKS) : 1,363 SQFT.
PARKING SPACES : (1 : 1.25 RATIO)	REQUIRED : 5 STALLS PROPOSED : 4 STALLS (COVERED PARKING) 1 ACCESSIBLE PARKING
BIKE PARKING	PROPOSED : 4

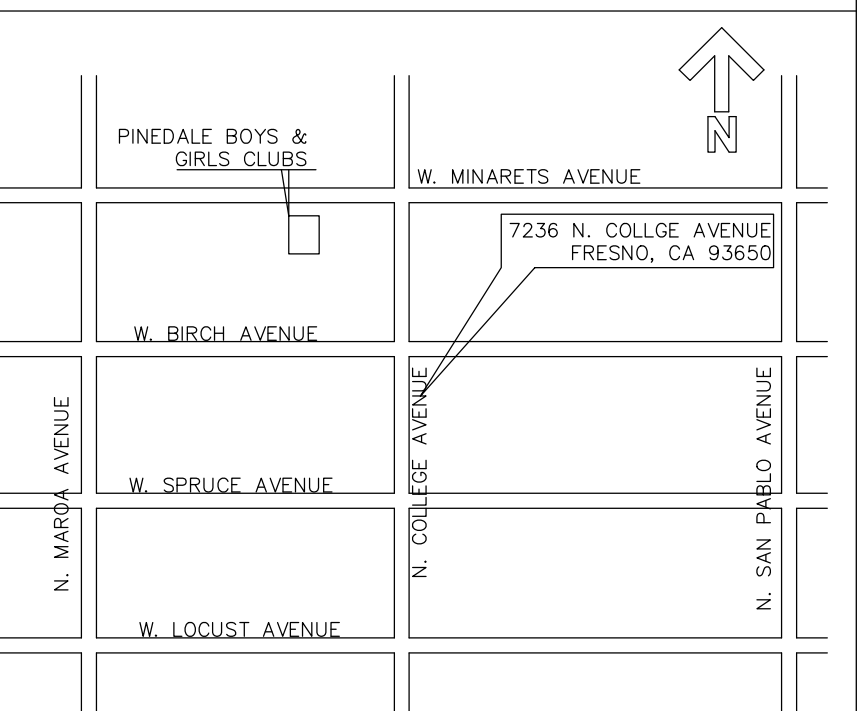
KEYNOTES

1. INSTALL PAVEMENT PER CITY OF FRESNO PW STD. P-21, 22 AND 23
2. COVERED PARKING STALL
3. ACCESSIBLE PARKING STALL
4. EXISTING FENCE TO REMAIN
5. NOT USED
6. PROPOSED LANDSCAPE
7. EXISTING DRIVEWAY APPROACH TO BE WIDENED TO 22'
8. DRIVEWAY APPROACH EXTENSION
9. NEW TRASH ENCLOSURE PER CITY OF FRESNO STD DRAWING P-33
10. EXISTING 6' HIGH WOOD FENCE TO REMAIN
11. CONCRETE WALK
12. NOT USED
13. EXISTING FIRE HYDRANT
14. EXISTING POWER POLE
15. ADA PARKING SIGNAGE
16. 6" HIGH WHEEL STOP (TYP.)
17. BIKE PARKING - 4 SPACES
18. ROOF TOP UNIT - HVAC
19. EXISTING ± 4'-0" CONCRETE SIDEWALK - PATH OF TRAVEL
20. 4"Ø STEEL POST (TYP. OF 4)
21. 6' HIGH DECORATIVE WROUGHT IRON FENCE

LEGEND

---	PROPERTY & RIGHT OF WAY
----	LOT LINES
- - - - -	EXISTING CURB AND GUTTER
⬆	12' HIGH LED SITE LIGHT
▒	CONCRETE
▤	LANDSCAPE AREA
●	EXISTING TREE TO REMAIN
🌳	PROPOSED TREE - SEE LANDSCAPE PLAN
⊙	EXISTING OFF-SITE WATER VALVE
⊗	EXISTING SEWER MANHOLE
W	PROPOSED WATER METER
G	PROPOSED GAS METER
BP	PROPOSED RBPB
➡	DIRECTIONAL ARROW

VICINITY MAP



C+E

Design Group

Design, Planning & Development

4021 N. Fresno Street, ste #103 Fresno, CA 93726
Phone: (559) 360.7143

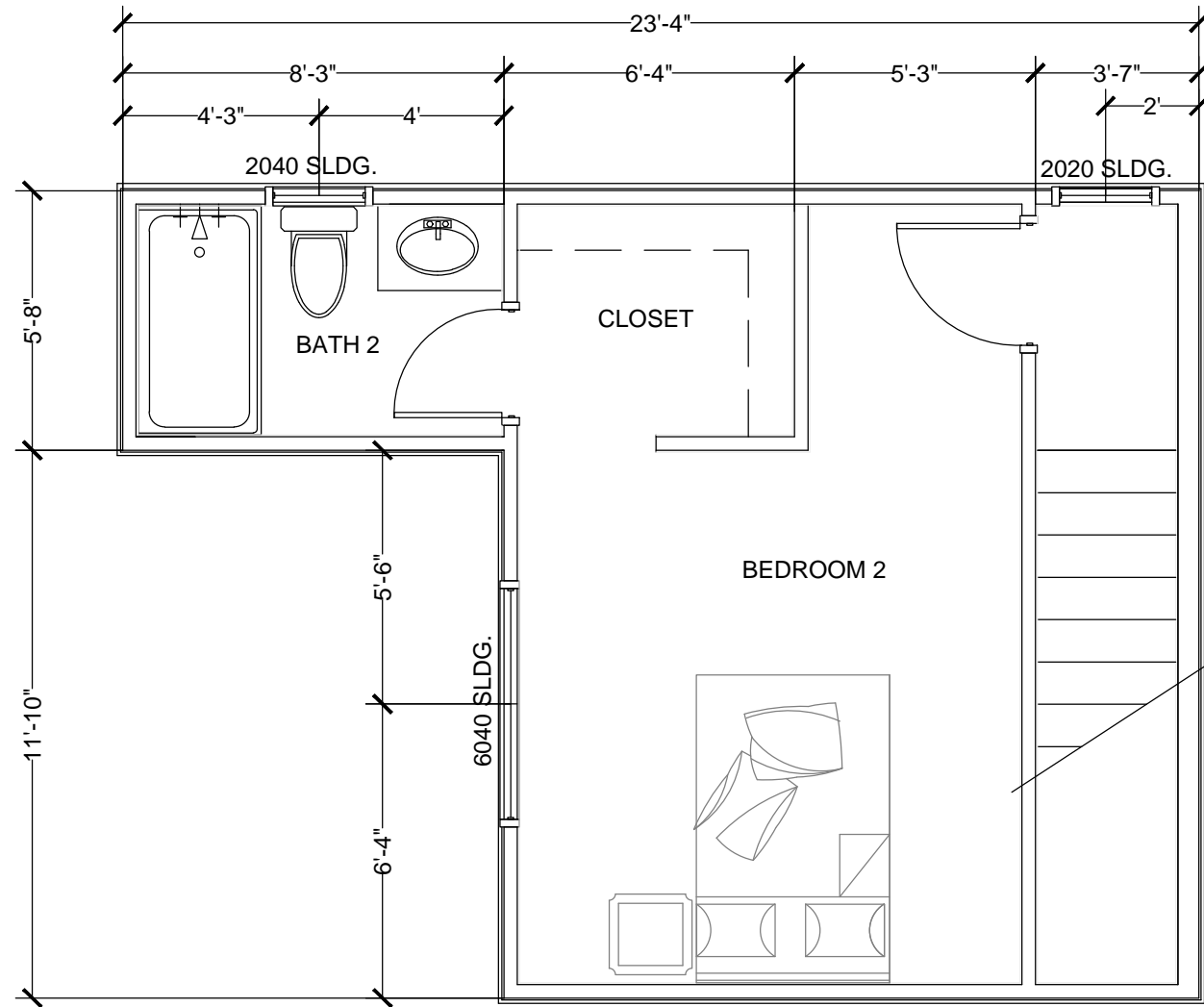
PLANS PREPARED FOR:
4 UNIT APARTMENT
7236 N. COLLEGE AVE., FRESNO CA 93650

REGISTERED PROFESSIONAL ENGINEER
CYNTHIA L. ZAMORA
No. C 74564
Exp. 12-31-21
CIVIL
STATE OF CALIFORNIA

REVISION(S):

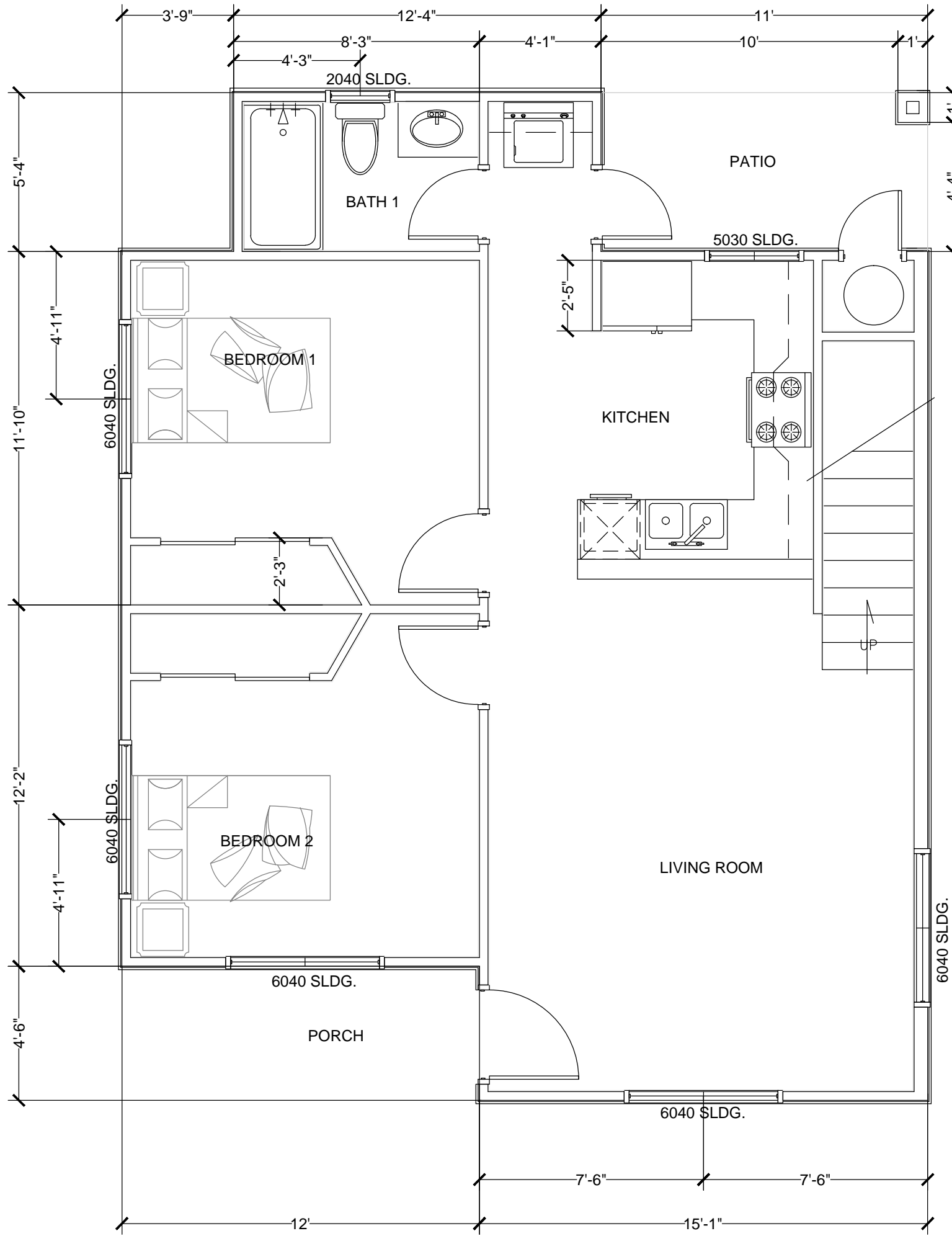
☒ PRELIMINARY - PLAN CHECK SET
☐ PERMIT SET

DRAWN BY : AT
CHECKED BY : CZ
DATE: 3-12-20
SHEET TITLE: SITE PLAN
SHEET: **A1.0**



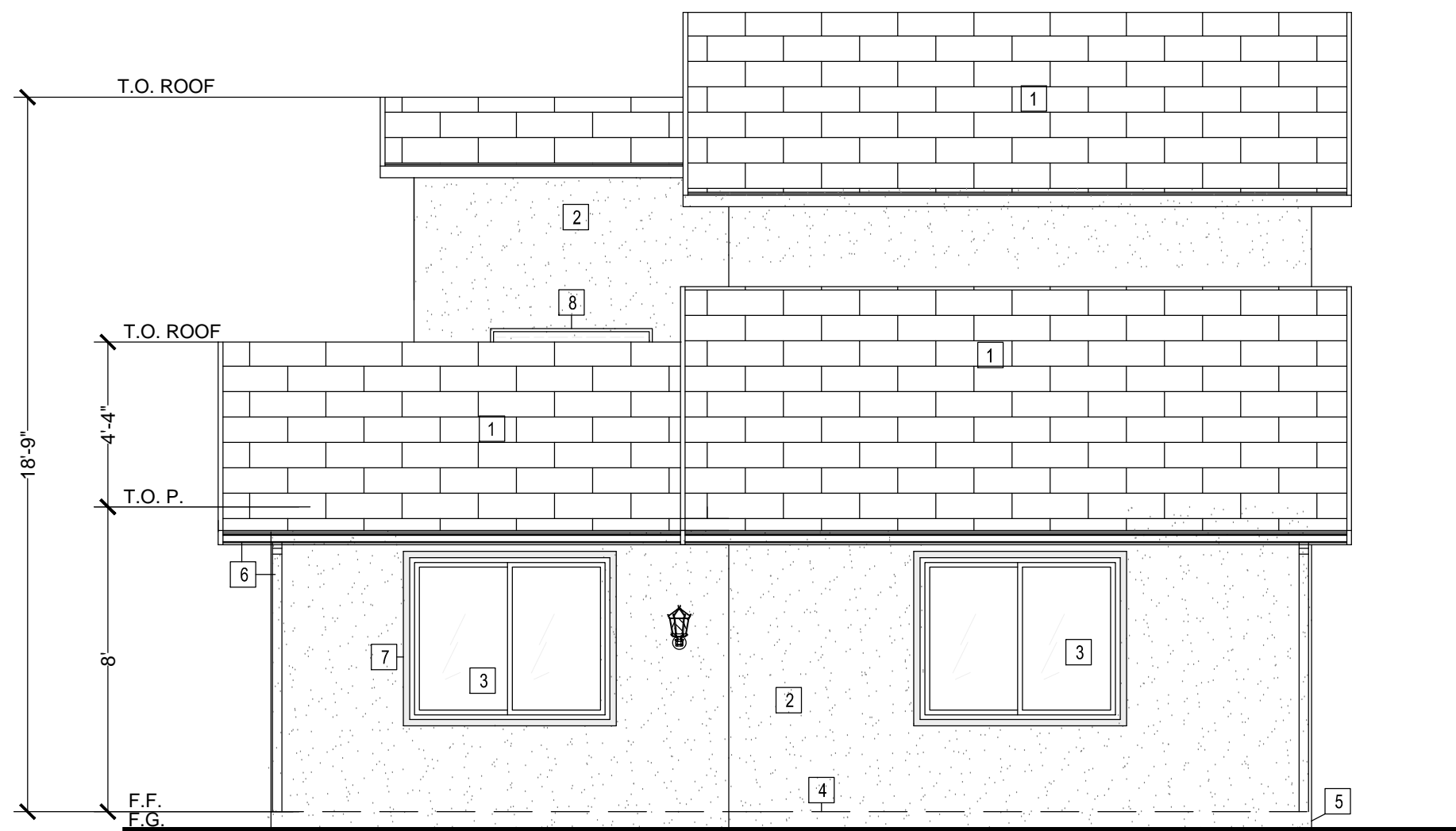
2ND FLOOR PLAN

SCALE 1/4" = 1'



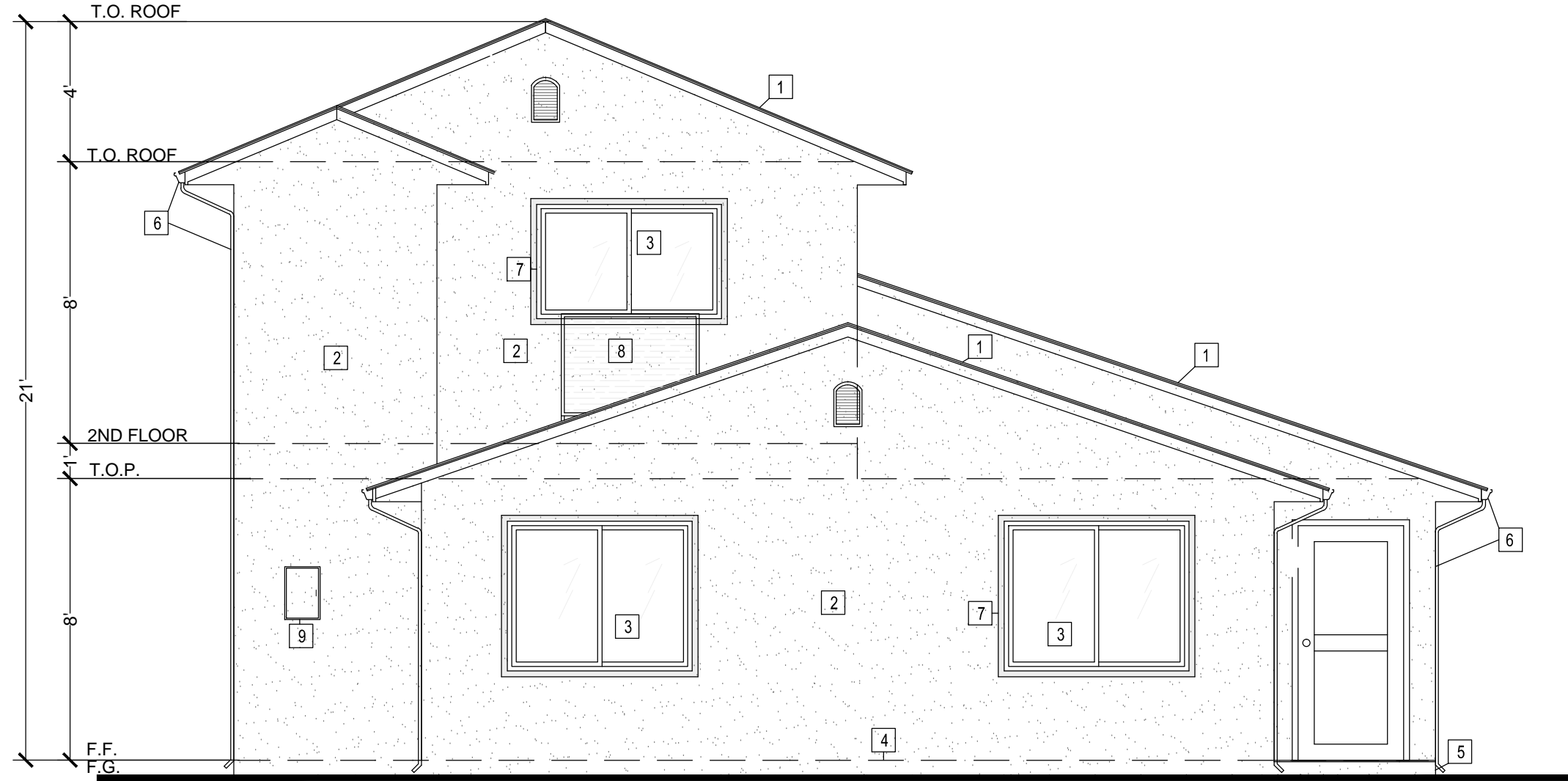
1ST FLOOR PLAN

SCALE 1/4" = 1'



NORTH ELEVATION - UNIT 3
EAST ELEVATION - UNIT 4

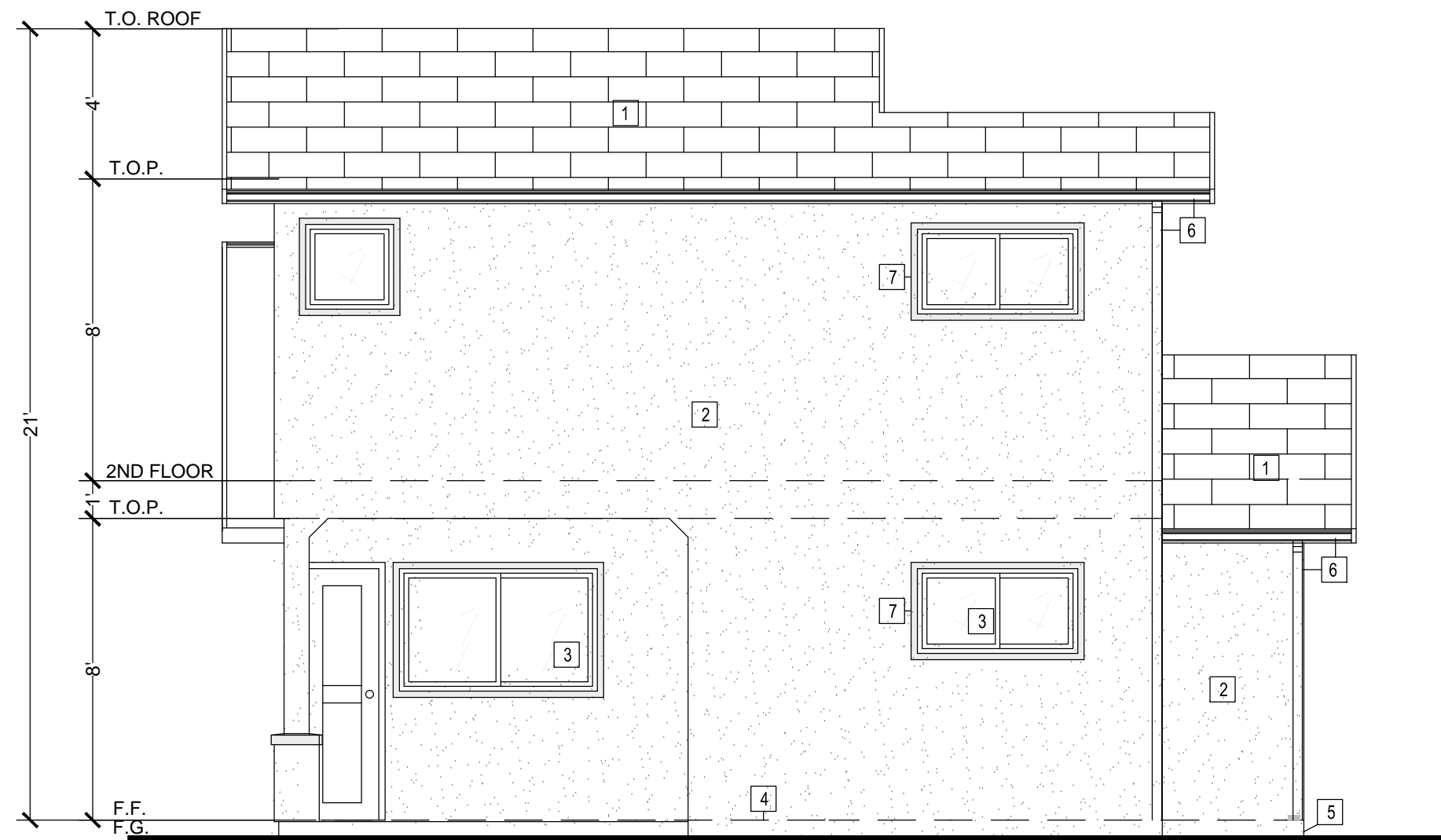
SCALE 1/4" = 1'



EAST ELEVATION - UNIT 3
SOUTH ELEVATION - UNIT 4

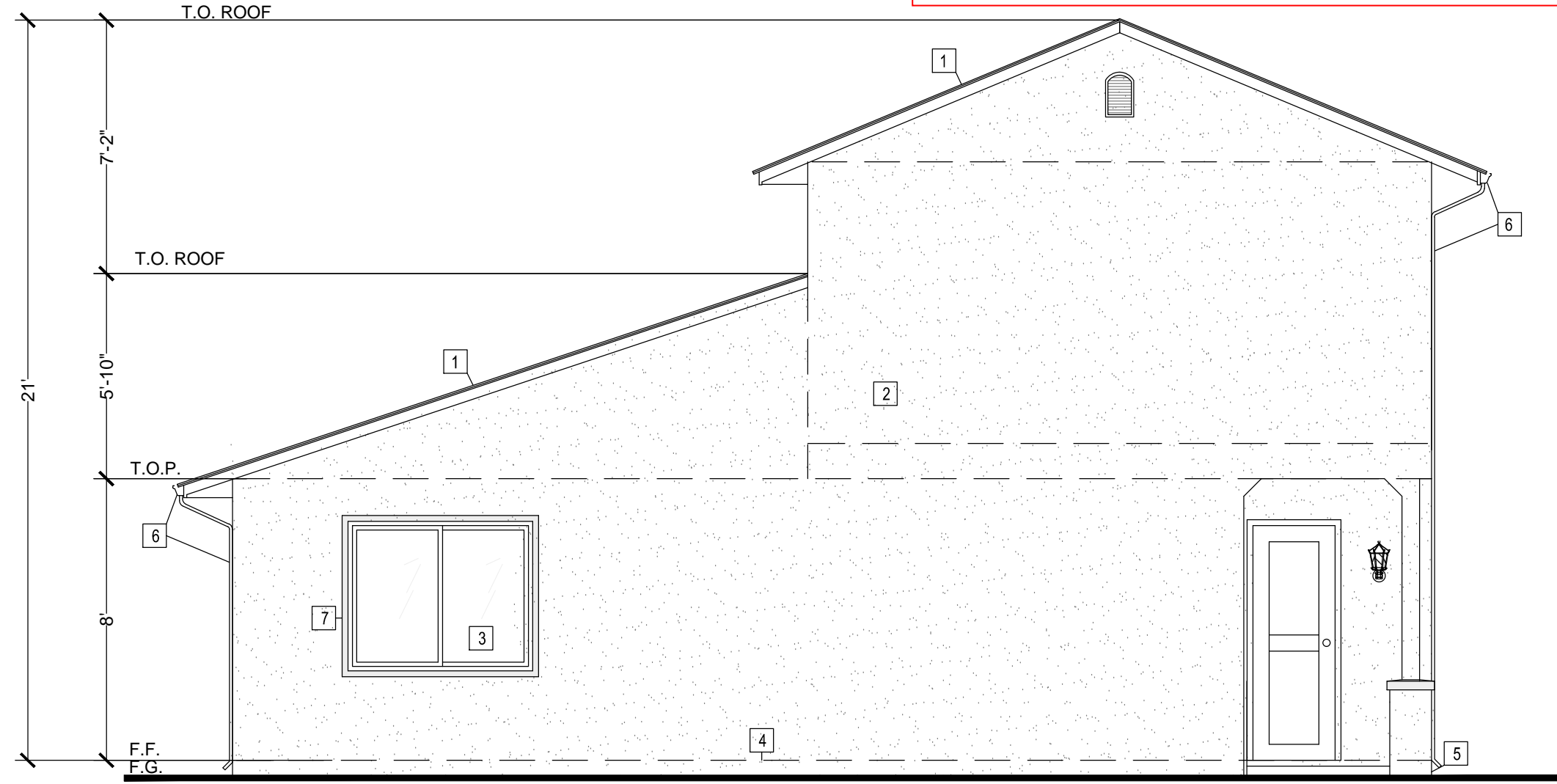
SCALE 1/4" = 1'

APPL. NO. P20-00488 EXHIBIT E-1 DATE 06/05/2020
PLANNING REVIEW BY DATE
TRAFFIC ENG. DATE
APPROVED BY DATE
CITY OF FRESNO DARM DEPT



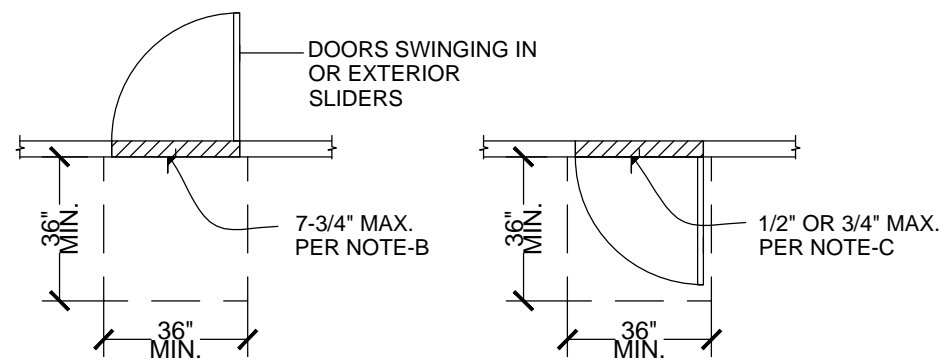
SOUTH ELEVATION - UNIT 3
WEST ELEVATION - UNIT 4

SCALE 1/4" = 1'



WEST ELEVATION - UNIT 3
NORTH ELEVATION - UNIT 4

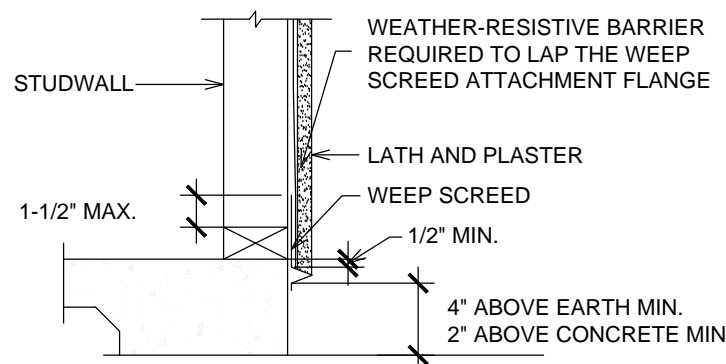
SCALE 1/4" = 1'



DOOR LANDING NOTES:

- A. WIDTH OF DOOR 36" MINIMUM.
B. NO MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
C. NOT MORE THAN 7 1/2" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
D. MINIMUM NET HEIGHT OF THE REQUIRED EGRESS DOOR TO BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

1 DOOR LANDING DETAIL



2 WEEP SCREED DETAIL

ELEVATION KEYNOTES

- 1 CLASS 'A' ASPHALT ROOFING O/ 3/8" UNDERLAYMENT O/ ROOF SHEATHING. (COOL ROOF REQUIRED PER TITLE 24) OWENS CORNING DURATION PREMIUM COOL SHINGLES ROOF (NOTE: UNDERLAYMENT SHALL BE TWO LAYERS FOR SLOPE 2:12 TO 4:12 FOR ASPHALT ROOFING PER CRC-R905.2.7)
2 3-COAT (7/8" THK.) STUCCO OVER PAPER-BACKED WIRE STUCCO NETTING W/ GA. 16 x 7/8" STAPLES @ 6" O.C. (TYPICAL AT EXTERIOR WALLS)
3 WINDOWS- DUAL PANE VINYL TYPE WINDOWS- SEE FLOOR PLAN FOR SIZES AND TITLE-24 FOR FENESTRATION
4 FINISH FLOOR LINE- 6" MIN. FROM FINISH GRADE AT MAIN HOUSE
5 PROVIDE WEEP SCREED AT ALL EXTERIOR LOCATION INCLUDING PORCH, PATIO INCLUDING BUILT UP COLUMNS PER DET. 2/A3
6 26 GA GUTTER AND DOWNSPOUT
7 STUCCO TRIM
8 RTU - HVAC
9 ELECTRICAL PANEL

NOTE:
PROVIDE RIB LATH AT HORIZONTAL CEMENT PLASTER CONDITIONS.
PROVIDE 2-LAYERS OF GRADE 'D' PAPER UNDER COVERING WHEN LATH IS APPLIED OVER WOOD SHEATHING.

REVISION(S):

☒ PRELIMINARY -
☐ PLAN CHECK SET
☐ PERMIT SET

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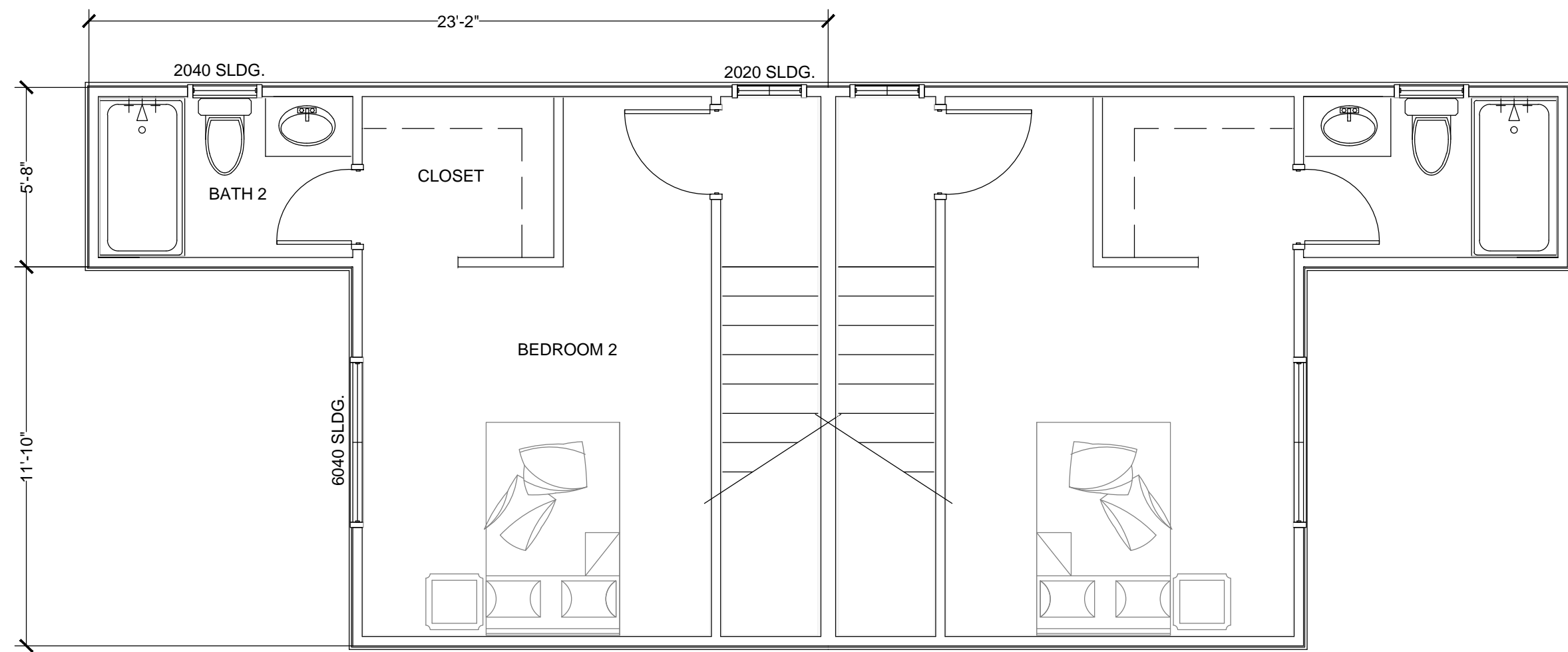
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PLAN-ELEVATIONS

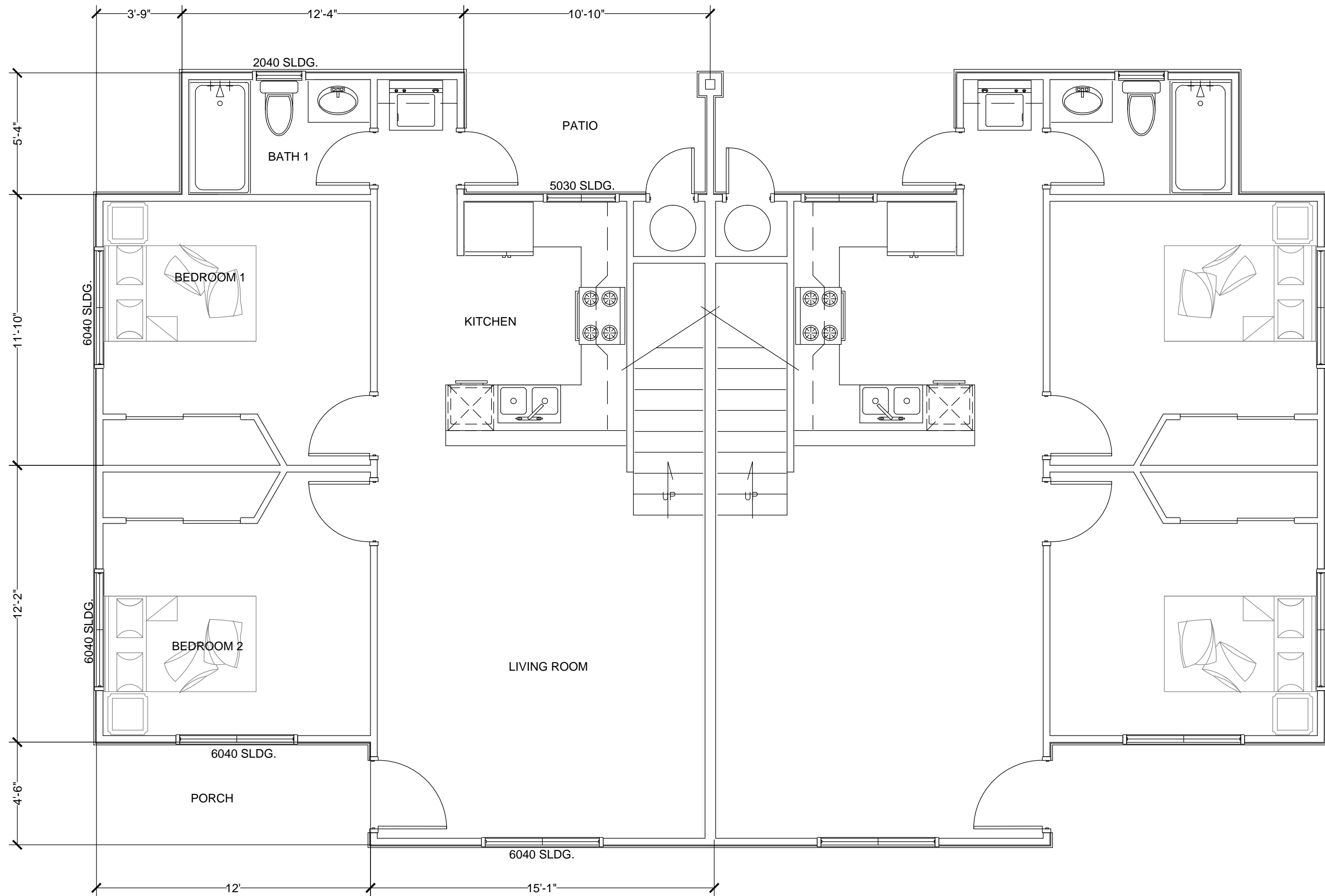
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2ND FLOOR PLAN

SCALE 1/4" = 1'



1ST FLOOR PLAN

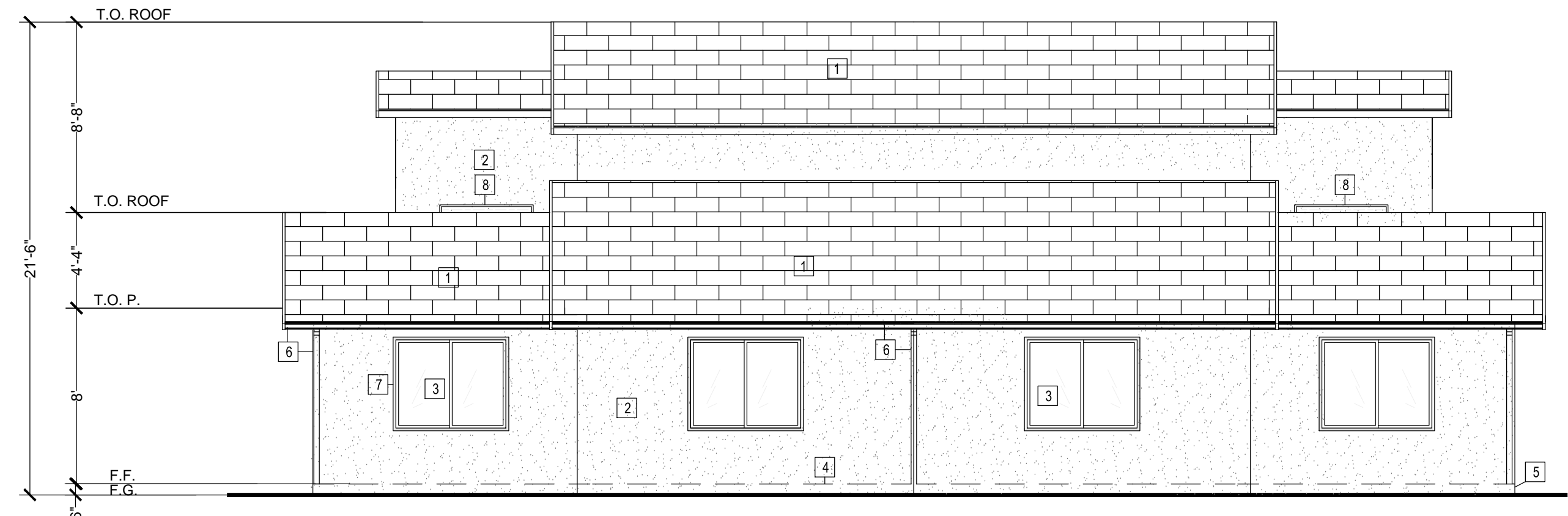
SCALE 1/4" = 1'

ELEVATION KEYNOTES

- 1 CLASS 'A' ASPHALT ROOFING O/ 30# UNDERLAYMENT O/ ROOF SHEATHING. (COOL ROOF REQUIRED PER TITLE 24) OWENS CORNING DURATION PREMIUM COOL SHINGLES ROOF (NOTE: UNDERLAYMENT SHALL BE TWO LAYERS FOR SLOPE 2:12 TO 4:12 FOR ASPHALT ROOFING PER CRC-R905.2.7)
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- 3 WINDOWS- DUAL PANE VINYL TYPE WINDOWS- SEE FLOOR PLAN FOR SIZES AND TITLE-24 FOR FENESTRATION
- 4 FINISH FLOOR LINE- 6" MIN. FROM FINISH GRADE AT MAIN HOUSE
- 5 PROVIDE WEEP SCREED AT ALL EXTERIOR LOCATION INCLUDING PORCH, PATIO INCLUDING BUILT UP COLUMNS PER DET. 2/A3
- 6 26 GA GUTTER AND DOWNSPOUT
- 7 STUCCO TRIM
- 8 RTU - HVAC
- 9 ELECTRICAL PANEL

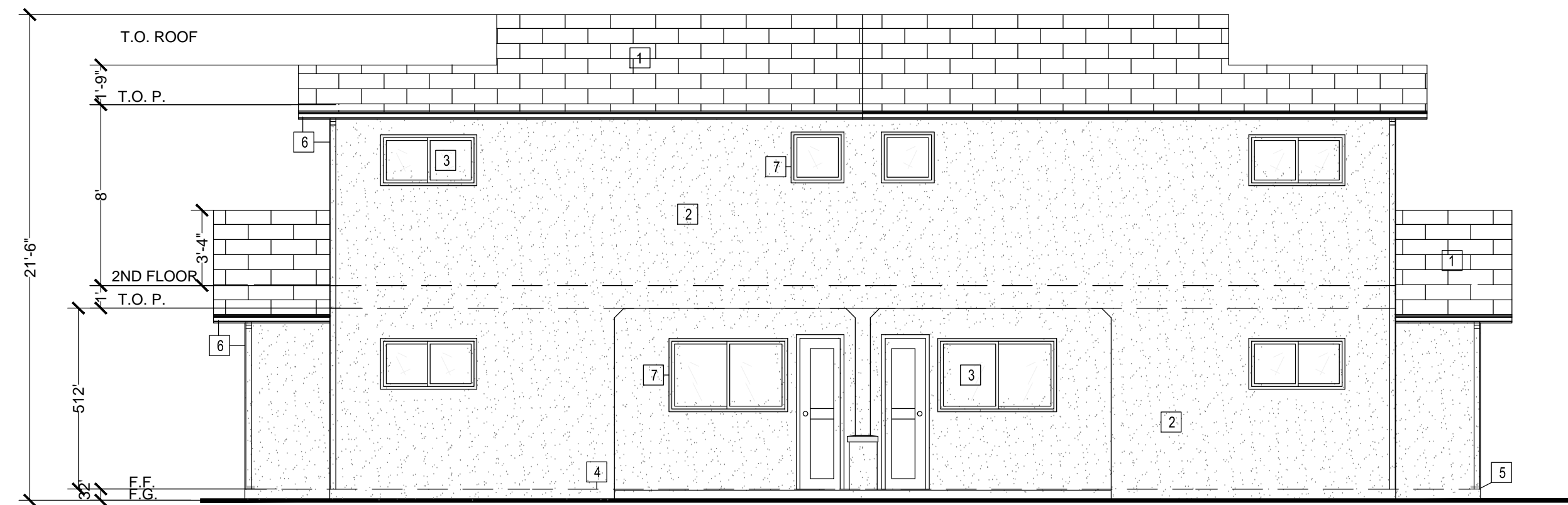
NOTE:
PROVIDE RIB LATH AT HORIZONTAL CEMENT PLASTER CONDITIONS.

NOTE:
PROVIDE 2-LAYERS OF GRADE 'D' PAPER UNDER COVERING WHEN LATH IS APPLIED OVER WOOD SHEATHING.



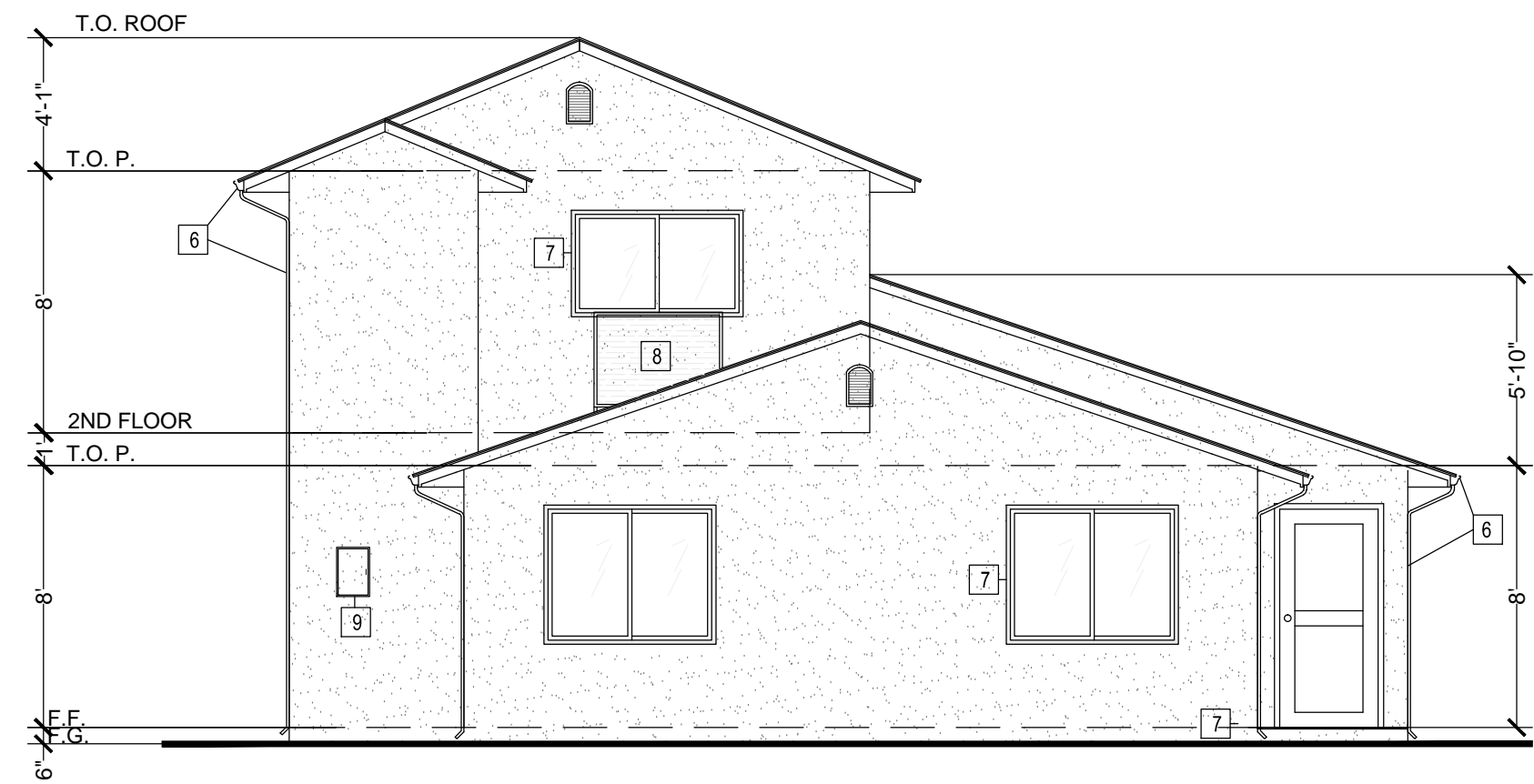
EAST ELEVATION - UNIT 1 & 2

SCALE 3/16" = 1'



WEST ELEVATION - UNIT 1 & 2

SCALE 3/16" = 1'



NORTH AND SOUTH ELEVATION - UNIT 1 & 2

SCALE 3/16" = 1'

APPL. NO. P20-00488 EXHIBIT E-2 DATE 06/05/2020
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____

CITY OF FRESNO DARM DEPT

C+E Design Group
Design, Planning & Development

4021 N. Fresno Street, ste #103 Fresno, CA. 93726
Phone: (559) 360.7143 Phone: (559) 289.2192

PLANS PREPARED FOR:
4 UNIT APARTMENT

7236 N. COLLEGE AVE., FRESNO CA 93650



REVISION(S):

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☐ PERMIT SET

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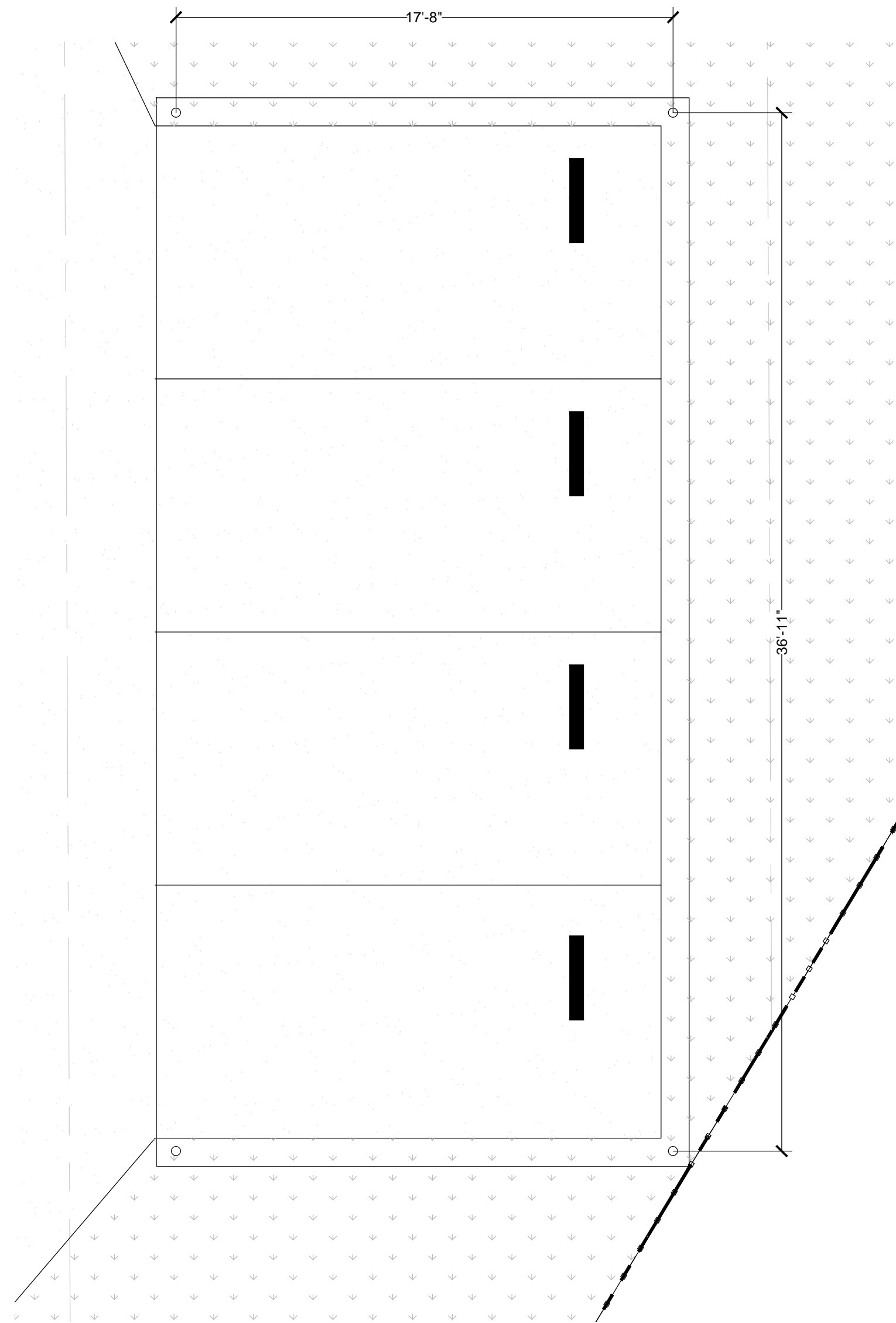
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DUPLEX PLAN-ELEVATION

SHEET:

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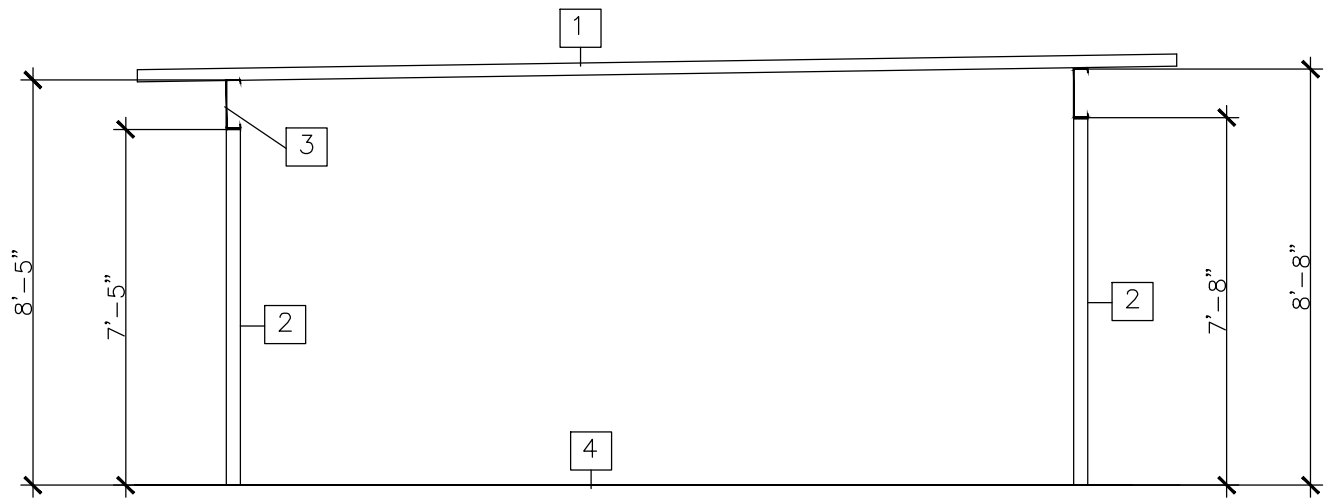


CARPORT FLOOR PLAN

SCALE 1/4" = 1'-0" _XREF

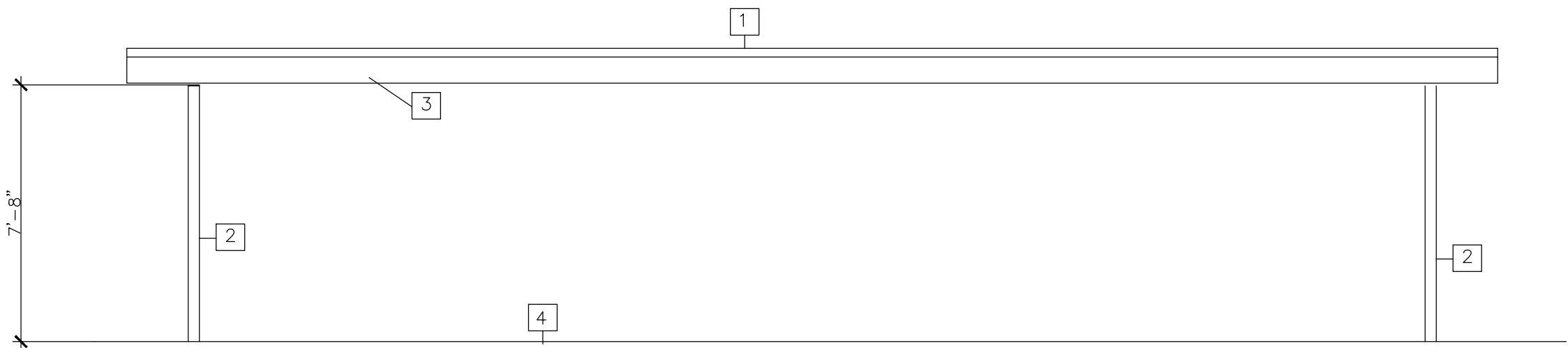
ELEVATION KEYNOTES

- 1 VERCO STEEL ROOF
- 2 TUBE STEEL PER STRUCTURAL PLAN
- 3 BEAM PER STRUCTURAL PLAN
- 4 CONCRETE PAVEMENT



NORTH/ SOUTH ELEVATION

SCALE 1/4" = 1'-0" _XREF



EAST/ WEST ELEVATION

SCALE 1/4" = 1'-0" _XREF

APPL. NO. P20-00488 EXHIBIT E-3 DATE 06/05/2020
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____
CITY OF FRESNO DARM DEPT

PLANS PREPARED FOR:

4 UNIT APARTMENT

7236 N. COLLEGE AVE., FRESNO CA 93850



REVISION(S):

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DATE: 3-12-20

SHEET TITLE:
CARPORT

SHEET:

A2.2

C+E Design Group
Design, Planning & Development
4021 N. Fresno Street, ste #103 Fresno, CA. 93726
Phone: (559) 360.7143 Phone: (559) 289.2192

APPL. NO. P20-00488 EXHIBIT L-1 DATE 06/05/2020

PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

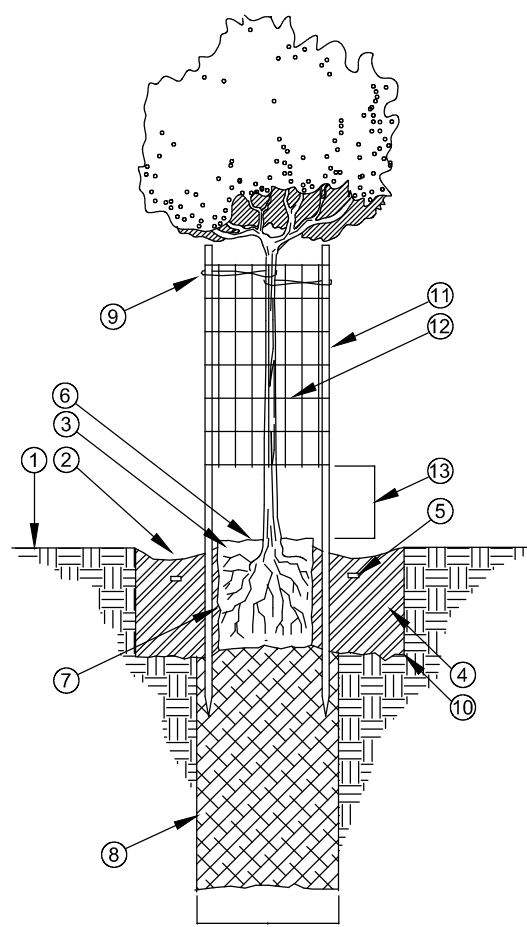
COLLEGE AVE.

LANDSCAPE PLAN

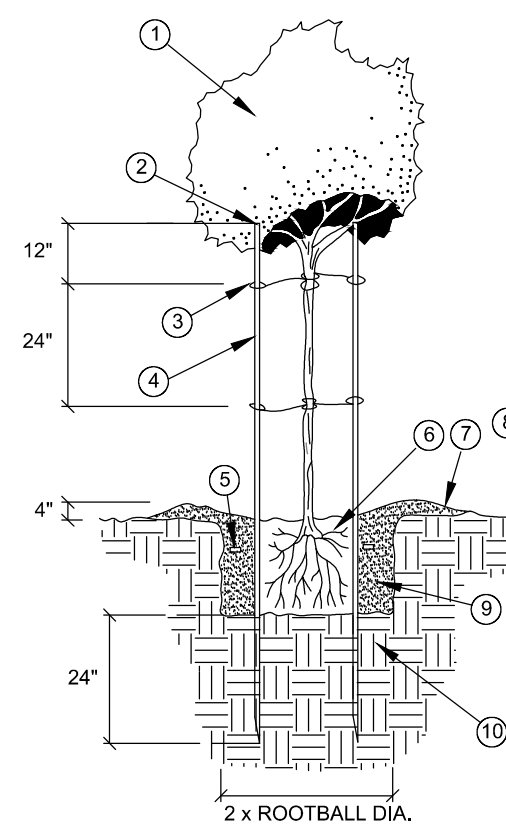
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LANDSCAPE LEGEND

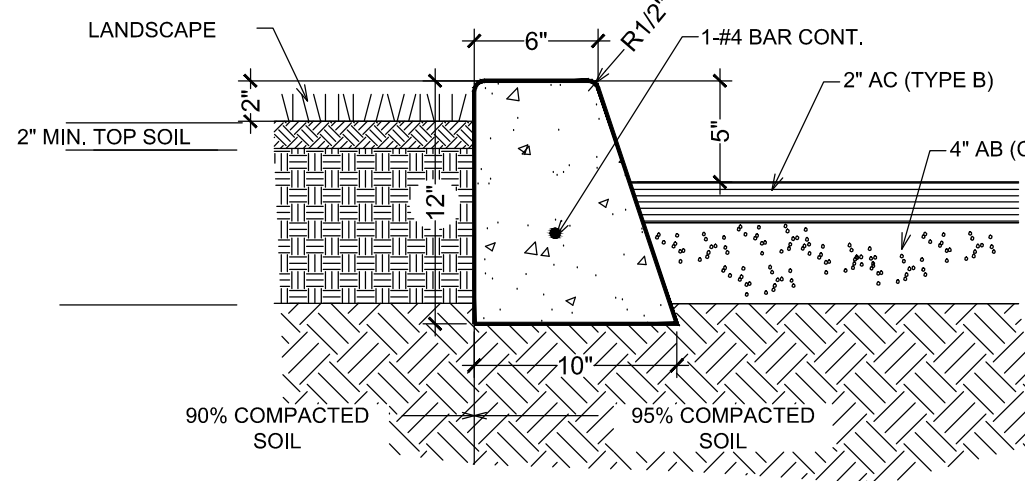
- PROPERTY & RIGHT OF WAY
- LOT LINES
- EXISTING CURB AND GUTTER
- SITE LIGHT
- ASPHALT PAVING
- CONCRETE
- ZOYSIA GRASS
- REDWOOD BARK MULCH
- EXISTING TREE TO REMAIN (PROTECT IN PLACE)
- PISTACIA CHINENSIS / CHINESE PISTACHE
- DWARF OLIVE



TREE PLANTING



TREE PLANTING



CURB / LANDSCAPE / AC DETAIL

SCALE 1 1/2"=1'

GENERAL NOTES

- Trees planted in the right-of-way shall be planted by the property owner after first obtaining street tree planting permit and a street work permit.
- Trees planted within the right-of-way shall be located with the following minimum setbacks:
 - 30' from street corners for visibility
 - 15' from driveways, stop signs, alleys, light poles, and power poles.
 - 10' from fire hydrants & 8' from sewer lines
 - 5' from building overhangs
 - 2' from adjacent concrete and adjoining property lines
 - 3' from gas, electrical, and water lines, and roof drains
- Not used.
- Drilling shall be completed within the 14 days for which clearance was obtained for approved locations. Holes shall be 2 feet in diameter and drilled to a depth where visual evidence of the subsurface sand or gravel drainage stratum is apparent; the drainage hole shall be drilled to a minimum of 10 feet deep. Immediately following drilling, the hole shall be backfilled with soil drilled from the hole, using sufficient water to thoroughly saturate the backfill material. Immediately following backfilling, the white spot designating the planting site is painted black to indicate the site has been drilled. The drilled sites are barricaded and checked daily for 5 working days for soil settling. Soil levels are adjusted as necessary during this time. After 7 days, the barricades and excess soil are removed. Soil shall be allowed to settle for a minimum of 20 days prior to planting.
- Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree. Except as necessary for the health of the tree and public safety, or as may otherwise be approved by the Public Works Department
- Landscape must be in place before issuance of the Certificate of Occupancy
- Prior to final inspection. A written certification, signed by a landscape professional, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the Landscape and Irrigation plans approved by the Planning Division, Development Department
- No structures of any kind may be installed or maintained within the landscaped areas. No exposed utility boxes, transformers, meters, piping, (excepting the backflow prevention device), etc., are allowed to be located in the landscape areas or setbacks or on the street frontages of the buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.

SUPPLEMENTAL NOTES

- Quantities shown are Designer's estimate only. Contractor shall be responsible for the installation of all material appearing on the plan.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- See specifications for planting requirements, materials and execution.
- All plant material shall be approved by the Owner's authorized representative prior to installation.
- Final location of all plant materials shall be subject to the approval of the Owner's authorized representative.
- Contractor shall notify Owner's authorized representative 48 hours prior to commencement of work to coordinate project observation schedules.
- See details and specifications for staking method, plant pit dimensions and backfill requirements.
- If conflicts arise between size of areas and plans, contractor shall contact Riverside Landscaping for resolution. Failure to make such conflicts known to Landscape Architect, will result in contractor's responsibility to relocate the materials at no expense to Owner.
- All ground cover shall extend beneath taller plant material.
- No planting shall be done until installation of the irrigation system is completed, final grades have been established, planting areas have been properly graded and soil prepared, and the work approved by Landscape Architect.
- All existing trees to remain shall be protected from damage due to construction. Provide protective barrier throughout construction.
- The contractor shall be responsible for replacement and reconditioning the existing landscape damaged by this construction contract. Replacement and reconditioning will include but not be necessarily limited to: turf establishment (ripping, soil preparation, soil conditioning, fine grading and seeding); tree, shrub, and ground cover replacement, etc.
- Landscape areas to be rough graded plus or minus a tenth of a foot by others.
- All on-grade planting areas shall be cross ripped to a depth of 10-12 inches in two directions and receive per thousand square feet of area the following:

Kellogg's 'Nitro-humus'	6 cu yards
12-12-12 Commercial fertilizer	15 lbs
Soil sulfur	10 lbs
Gro-power Plus	200 lbs
- Planting beds shall be top dressed with DECOMPOSED GRANITE (DG) at a rate of 2 inches thick. (6 cu yard per 1000 s.f.)
- Prior to top dressing, use pre-emergent herbicide, 'Ronstar' at a rate of 5 lbs per 1000 sq. ft..
- Controlled release fertilizer tablets to be added per manufacturers recommendations.

PLANS PREPARED FOR:

4 UNIT APARTMENT

7236 N. COLLEGE AVE., FRESNO CA 93650



REVISION(S):

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PRELIMINARY -
PLAN CHECK SET
PERMIT SET

DRAWN BY : AT

CHECKED BY : CZ

DATE: 8-24-19

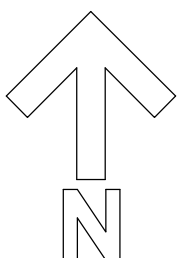
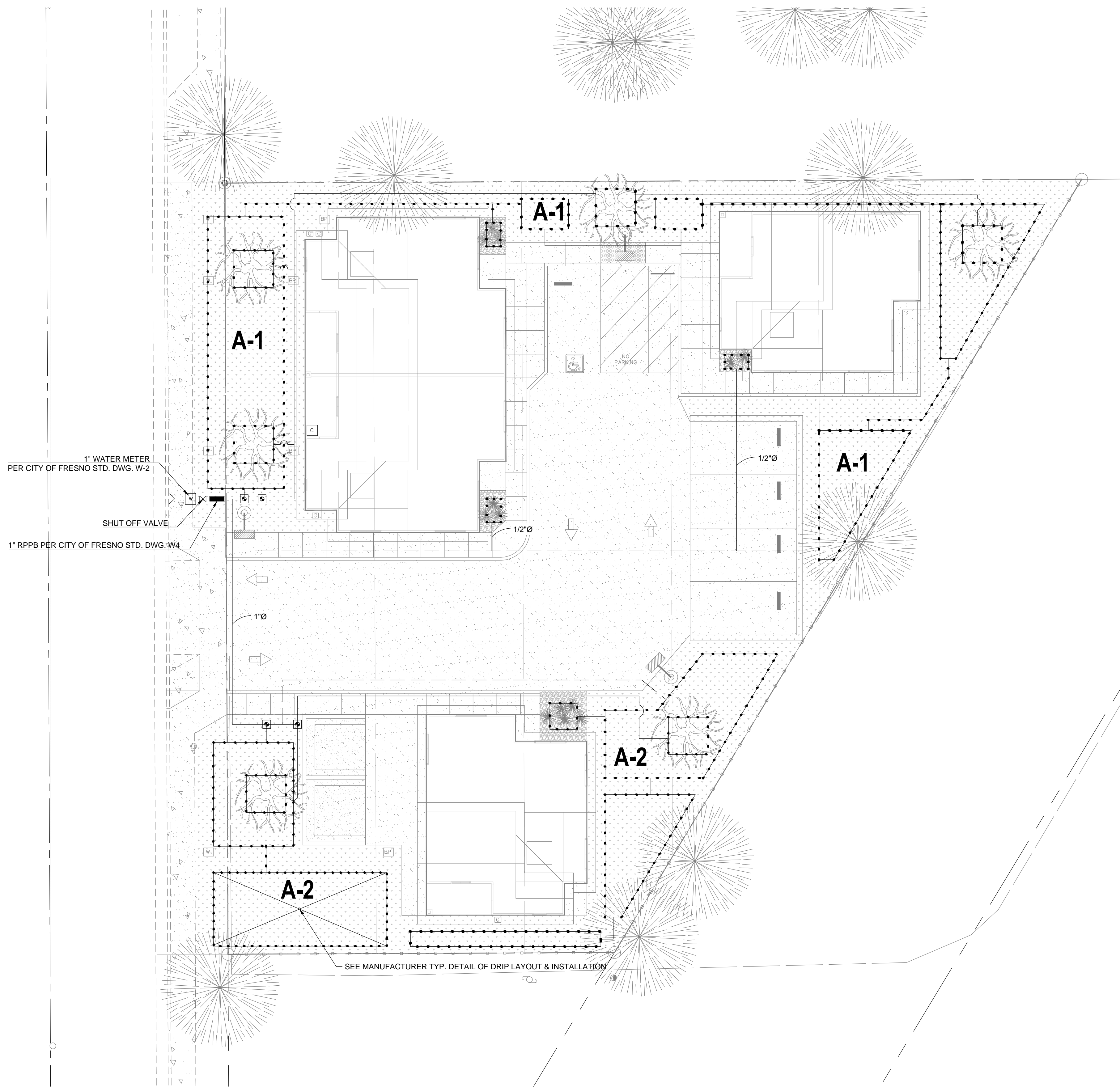
SHEET TITLE:
LANDSCAPE PLAN

SHEET:

L1.0

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IRRIGATION PLAN

SCALE 1"=10'

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PLANNING REVIEW BY DATE

TRAFFIC ENG. DATE

APPROVED BY DATE

CITY OF FRESNO DARM DEPT

LANDSCAPE LEGEND

- PROPERTY & RIGHT OF WAY
- LOT LINES
- EXISTING CURB AND GUTTER
- ⦿

SITE LIGHT
- ASPHALT PAVING
- CONCRETE
- ZOYSIA GRASS
- REDWOOD BARK MULCH
- ⦿

EXISTING TREE TO REMAIN (PROTECT IN PLACE)

TREES	QTY.	BOTANICAL NAME/ COMMON NAME	COMMENT	(WUCOLS) WATER USAGE
	(6) 24" BOX	PISTACIA CHINENSIS / CHINESE PISTACHE	STANDARD	LOW
SHRUBS	QTY.	BOTANICAL NAME/ COMMON NAME	COMMENT	(WUCOLS) WATER USAGE
	1 GAL.	OLEA EUROPEA / DWARF OLIVE	3' O.C.	LOW

TREES REQUIRED PER FRESNO MUNICIPAL CODE : 5

IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	COMMENT
	NETAFIM TECHLINE 0.9 GPH @ 12" SPACING DRIP IRRIGATION SYSTEM	(INSTALL PER MANUFACTURER)
	1"Ø IRRIGATION BACK FLOW PREVENTER AND RP DEVICE	
	1"Ø HUNTER PGV GLOBE MASTER VALVE	
	1"Ø IRRIGATION WATER METER	
	HUNTER PRO-HC IRRIGATION CONTROLLER	
	PVC SCHD. 40 SUPPLY PIPE	(SIZE AS NOTED ON PLANS)
	3/4"Ø PE PIPE LOOP SYSTEM	

State of California Model Water Efficiency Landscape Ordinance Calculation (MWELO)

Project: Multi Family Residential
Location: 7236 N. College Ave. Fresno CA
Water Supply Type: Potable

Site Details

WUCOLS Plant Factor (PF):	0.3 (Low)			
IRRIGATION EFFICIENCY (IE):	0.71 (Drip)			
EVAPOTRANSPIRATION RATE (ET _o):	51.1 Inches per year			
TOTAL LANDSCAPE AREA (HA):	5,232 SQFT			
Special Landscape Area (SLA):	0			
Turf	0			
Zone or Valve	Hydrozone	Irrigation Method	Area	% of Landscape Area
A-1	Low	Drip	2,885	55.14%
A-2	Low	Drip	2,347	44.86%
Total			5,232	100.00%

Site Summary:

Max. Applied Water Allowance (MAWA) :
51.1 x 0.62 [.71 x 5,232] = 117,385 gal / year (MAWA)

Est. Total Water Use (ETWU) :
PF x HA / IE = 3,029
51.1 x 0.62 [PF x HA / IE] = 70,035 gal / year (ETWU)

Project Compliance:

MAWA > ETWU Project is compliant under allowed limit.

" I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE."

" I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS."

Design Group
Design, Planning & Development
C+E
4021 N. Fresno Street, ste #103 Fresno, CA, 93726
Phone: (559) 360.7143

PLANS PREPARED FOR:
4 UNIT APARTMENT



REVISION(S):

☒ PRELIMINARY - PLAN CHECK SET

☐ PERMIT SET

DRAWN BY : AT
CHECKED BY : CZ
DATE: 3-12-20

SHEET TITLE:
LANDSCAPE PLAN

SHEET:

L1