

Exhibit E

Conditions of Approval



2600 Fresno Street, Room 3043  
Fresno, California 93721-3604  
(559) 621-8277  
www.fresno.gov

Jennifer K. Clark, AICP, HDP  
Director

December 7, 2020

*Please reply to:*  
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**SUBJECT: DEVELOPMENT PERMIT MAJOR REVISED EXHIBIT APPLICATION NO. P20-03406  
3611 SOUTH NORTHPOINTE DRIVE (APN: 33002182S)**

On December 7, 2020 the Planning and Development Director, approved Development Permit Major Revised Exhibit Application No. P20-03406, authorizing your request to modify the 469,569 sq. ft. cold dark shell building shell building and site plan for a previously approved Development Permit (D-17-175). Changes to the site/shell include addition of truck docks and reduction of auto parking spaces on the site. An Addendum to the previously approved California Environmental Quality Act Environmental Assessment was reviewed and approved on December 7, 2020. The approval of this project is subject to compliance with the following Conditions of Approval:

**CONDITIONS OF APPROVAL**

**PART A - ITEMS TO BE COMPLETED**

The following items are required prior to plan check submittal:

Planner to check when completed	
<input type="checkbox"/>	Development shall take place in accordance with Plan Exhibits A-1 to A-4, E-1 to E-3, L1 to L7, and O dated 10/1/2020; and CP1 A-1 to A-4 dated 10/27/2020. Revise and transfer all comments or corrections to Plan exhibits and resubmit prior to plan check submittal.
<input type="checkbox"/>	All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from major streets, highways, passenger railways, or abutting Residential Districts.
<input type="checkbox"/>	Approval of Revised Exhibit is contingent on approval of Indemnification Agreement by City Council. Verification of filing of the Council approved notarized and recorded agreement is required before final building permit will be issued.

**PART B:- COMMENTS FROM OTHER DEPARTMENTS**

Planner to check when completed	
<input type="checkbox"/>	<b>TRAFFIC PLANNING</b> See attached traffic planning redlines CP-1 A-1 to A-4 dated 10/27/2020.
<input type="checkbox"/>	<b>DPU SEWER, SOLID WASTE, AND WATER</b> See attached comments and conditions memo dated 10/27/2020.

<input type="checkbox"/> <b>DPU ENGINEERING – LANDSCAPING</b>
See attached redlines dated 10/21/2020 (uploaded 10/23/2020).
<input type="checkbox"/> <b>BUILDING AND SAFETY SERVICES</b>
The items below require a separate process with additional fees and timelines, in addition to the Development Permit Application process. 1. Revised Building and Grading Plans are required to be submitted to Building and Safety Services Division for approval and permits for the proposed changes to existing permit applications.
<input type="checkbox"/> <b>FIRE DEPARTMENT</b>
Approved as submitted. No appointment or initial required. Approval of this plan does not authorize or approve any omission or deviation from applicable adopted codes and adopted standards. Final approval is subject to field inspection.
<input type="checkbox"/> <b>PUBLIC WORKS TIS REVIEW</b>
Comply with all prior conditions of D-17-175.

#### PART C - PLANNING - OTHER REQUIREMENTS

1. Development shall take place in accordance with the policies of the Fresno General Plan and with the IH/UGM (Industrial - Heavy / Urban Growth Management) planned land use designation.
2. Development shall take place in accordance with the IH/UGM (Industrial - Heavy / Urban Growth Management) zone district, and all other applicable sections of the Fresno Municipal Code. **Development shall comply with previously approved Development Permit D-17-175 and all applicable conditions.**
3. Comply with the operational statement submitted for the proposed project dated 10/1/2020.
4. Parking lot shall comply with all provisions of City of Fresno Parking Manual.
5. Comply with any applicable conditions listed in the attached General Notes and Requirements document.

#### PART D - MISCELLANEOUS AND GENERAL NOTES AND REQUIREMENTS

1. Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
  - a. All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;
  - b. All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
  - c. Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.
2. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. The Planning and Development Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.

## **APPEALS**

Please be advised that this project may be subject to a variety of discretionary conditions of approval. These conditions based on adopted City plans, ordinances and policies; those determined to be required through the interdepartmental/interagency review process; and those determined through the environmental assessment process as necessary to mitigate adverse effects on the health, safety and welfare of the community. The conditions of approval may also include requirements for development and use that would, on the whole, enhance the project and its relationship to the neighborhood and environment.

All conditions of approval based on adopted plans, codes, and regulations are mandatory. Conditions based on the FMC may only be modified by variance, provided the findings required by FMC Section 15-5506 can be made. Discretionary conditions of approval may be appealed, but will ultimately be deemed mandatory unless appealed in writing to the Director within 15 days or by **December 22, 2020**. In the event you wish to appeal the Director's decision, you may do so by filing a written appeal with the Director. The appeal shall include the appellant's interest in or relationship to the subject property, the decision or action appealed and specific reasons why the applicant believes the decision or action appealed should not be upheld.

## **EXPIRATION DATES**

The exercise of rights granted by this special permit must be commenced by, **December 7, 2023** (three years from the date of approval), pursuant to FMC Section 15 5013.

Our goal is to continuously improve our customer service. Please take a moment to complete a quick survey linked [here](#). If you have any questions regarding this letter, feel free to give me a call at the number listed above.

Sincerely,

Thomas Veatch, Planner  
Development Services Division





**DEPARTMENT OF PUBLIC UTILITIES  
MEMORANDUM**

**DATE:** October 27, 2020

**TO:** MINDI MARIBOHO – Development Services Coordinator  
Planning & Development Dept/Current Planning

**FROM:** KEVIN GRAY, Supervising Engineering Technician  
Department of Public Utilities – Utilities Planning & Engineering

**THRU:** ROBERT A. DIAZ, Supervising Engineering Technician  
Department of Public Utilities – Utilities Planning & Engineering

**SUBJECT: DPU CONDITIONS OF APPROVAL P20-03406 3611 SOUTH  
NORTHPOINTE DRIVE**

**Water Requirements**

City of Fresno Water Division approves of the proposed project, subject to the following water conditions listed below:

1. On-site water facilities shall be private.
2. An existing 12-inch water main exists within a 30-foot water main easement along the northwesterly boundary of the proposed project.
3. All water main easements shall be clear and unobstructed by buildings or other structures. No fencing or wall shall either enclose or be located above the water main. The planting plan, for any proposed landscape within the easement, shall be approved by the Department of Public Utilities. No Trees shall be located within 8-feet of the water main.
4. No water connections shall be allowed to the existing 12-inch water main along the northwesterly boundary of the proposed project.
5. Two independent sources of water, meeting Federal and State Drinking Water Act Standards, are required to serve the tract including any subsequent phases thereof. The two-source requirement may be accomplished through any combination of water main extensions, construction of supply wells, or other acceptable sources of water supply approved by the Assistant Public Utilities Director.
6. Destruct any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-81 and 74-90 or current revisions issued by California

MEMORANDUM

MINDI MARIBOHO – Development Services Coordinator

Planning & Development Dept/Current Planning

October 27, 2020

DPU CONDITIONS OF APPROVAL FOR P20-03406 3611 SOUTH NORTHPOINTE DRIVE

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Department of Water Resources and City of Fresno standards.

7. The water supply requirements for this project are as follows:
8. The project applicant shall be required to pay Water Capacity Fee charges for the installation of new water services and meters to serve the property.
  - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
  - b. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule.
  - c. The City reserves the right to require an applicant to increase or decrease the size of a water meter for a project or a property to ensure that the meter is properly sized to accommodate fire protection requirements, and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
  - d. The Water Capacity Fee Charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.
9. The project applicant shall be required to pay all other water-related fees and charges in accordance with the City's Master Fee Schedule and Municipal Code.

**Sewer Requirements**

The nearest sanitary sewer main to serve the proposed project is a 10-inch sewer main located in South Northpointe Avenue. Sanitary sewer facilities are available to provide service to the site subject to the following requirements:

1. Installation of sewer house branch(s) shall be required.
2. House branch(sewer lateral) larger than 6-inch shall require a manhole connection.
3. Street work permit is required for any work in the Right-of-Way.
4. On-site sanitary sewer facilities shall be private.
5. Abandon any existing on-site private septic systems.
6. The Project Developer shall contact Utility Billing and Collection Services at (559)

MEMORANDUM

MINDI MARIBOHO – Development Services Coordinator

Planning & Development Dept/Current Planning

October 27, 2020

DPU CONDITIONS OF APPROVAL FOR P20-03406 3611 SOUTH NORTHPOINTE DRIVE

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621-6765 prior to pulling building permits regarding conditions of service for special users.

**Sanitary Sewer Fees**

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Sewer Lateral Charge.
2. Sewer Oversize Area.
3. Sewer Facility Charge (Non-Residential)
4. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility charges per Fresno Municipal Code Sections 6-304 and 6-305. Sewer Facility Charges consist of two components, a Wastewater Facilities Charge and Trunk Sewer Charge where applicable.
5. Sewer Facility Charges are collected after occupancy on a monthly basis over time based on metered (water or sewer effluent) usage. The developer may contact the Department of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect, at that time, per Fresno's Master Fee Resolution. The developer shall provide data regarding estimated sewer discharge rates [flow] and loading [BOD/TSS levels] required for calculating the estimated charge.

**Solidwate Requirements:**

This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Mid Valley Disposal at 559-237-9425.

1. This location will require a one, 2-cell trash enclosure, designed to accommodate separate facilities containing 2 - 4cu. yd. bins, one for trash and one for recycling collection to be serviced weekly.
2. Developer will need to provide a 44' (centerline) turning radius at all corners and a T-turnaround (or hammerhead) area where the solid waste vehicle is to turn around.

**Future Needs/Requirements:**

Revise plans to address concerns stated above and resubmit for approval.

# NORTH POINTE BUSINESS PARK BUILDINGS 31 - SHELL ONLY 3611 S. NORTHPOINTE DR. FRESNO, CALIFORNIA

## MAJOR REVISED EXHIBIT SUBMITTAL

NOTE: TENANT IMPROVEMENT PLAN SUBMITTAL, APPROVAL, AND PERMIT IS REQUIRED  
PRIOR TO OCCUPANCY OF BUILDING.

ABBREVIATIONS		VICINITY MAP		PROJECT TEAM		SHEET INDEX	
<div><div><div><div><div>&amp;</div><div>∠</div><div>⊙</div><div>⊕</div><div>~</div><div>⊖</div><div>#</div><div>(E)</div></div><div>ACOUS</div><div>A.D.</div><div>ADJ.</div><div>AGGR.</div><div>AL</div><div>APPROX.</div><div>ARCH.</div><div>ASB.</div><div>ASPH.</div><div>BD.</div><div>BITUM.</div><div>BLDG.</div><div>BLK.</div><div>BLKG.</div><div>BM.</div><div>B.O.P.</div><div>B.O.R.</div><div>BOT.</div><div>CAB.</div><div>C.B.</div><div>CEM.</div><div>CER.</div><div>C.I.</div><div>C.G.</div><div>CLG.</div><div>CLKG.</div><div>CLO.</div><div>CLR.</div><div>C.O.</div><div>COL.</div><div>C.O.M.</div><div>COND.</div><div>CONN.</div><div>CONSTR.</div><div>CONT.</div><div>C.O.R.</div><div>CORR.</div><div>CTS.</div><div>CNTR.</div><div>DBL.</div><div>DEPT.</div><div>D.F.</div><div>DET.</div><div>DIA.</div><div>DM.</div><div>DISP.</div><div>DN.</div><div>D.O.</div><div>DR.</div><div>DWR.</div><div>DS.</div><div>D.S.P.</div><div>DWG.</div><div>E.</div><div>E.A.</div><div>E.J.</div><div>EL.</div><div>ELEC.</div><div>ELEV.</div><div>EMER.</div><div>ENCL.</div><div>E.P.</div><div>EQ.</div><div>EQPT.</div><div>E.W.C.</div><div>EXT.</div><div>EXPO.</div><div>EXP.</div><div>EXT.</div></div><div><div>And</div><div>Angle</div><div>At</div><div>Centerline</div><div>Diameter or Round</div><div>Pound or Number</div><div>Existing</div><div>ACOUSTICAL</div><div>Area Drain</div><div>Adjustable</div><div>Aggregate</div><div>Aluminum</div><div>Approximate</div><div>Architectural</div><div>Asbestos</div><div>Asphalt</div><div>Board</div><div>Bituminous</div><div>Building</div><div>Block</div><div>Blocking</div><div>Beam</div><div>Bottom of Panel</div><div>Bottom of Reveal</div><div>Bottom</div><div>Cabinet</div><div>Catch Basin</div><div>Cement</div><div>Ceramic</div><div>Cast Iron</div><div>Corner Guard</div><div>Ceiling</div><div>Caulking</div><div>Closet</div><div>Clear</div><div>Cased Opening</div><div>Column</div><div>Center of Mullion</div><div>Concrete</div><div>Connection</div><div>Construction</div><div>Continuous</div><div>Continuous</div><div>Corridor</div><div>Countersunk</div><div>Counter</div><div>Center</div><div>Double</div><div>Department</div><div>Drinking Fountain</div><div>Detail</div><div>Diameter</div><div>Dimension</div><div>Dispenser</div><div>Down</div><div>Door Opening</div><div>DR</div><div>Drawer</div><div>Downspout</div><div>Dry Standpipe</div><div>Drawing</div><div>East</div><div>Each</div><div>Expansion Joint</div><div>Elevation</div><div>Electrical</div><div>Elevator</div><div>Emergency</div><div>Enclosure</div><div>Electrical Panelboard</div><div>Equal</div><div>Equipment</div><div>Electric Water Cooler</div><div>Existing</div><div>Exposed</div><div>Expansion</div><div>Exterior</div></div><div><div>F.A.</div><div>F.B.</div><div>F.D.</div><div>FDN.</div><div>F.E.</div><div>F.E.C.</div><div>F.H.C.</div><div>FIN.</div><div>FL.</div><div>FLASH.</div><div>FLUOR.</div><div>F.O.C.</div><div>F.O.F.</div><div>F.O.S.</div><div>F.PRF.</div><div>F.S.</div><div>FT.</div><div>FTG.</div><div>FURR.</div><div>FUT.</div><div>GA.</div><div>GALV.</div><div>G.B.</div><div>GL.</div><div>GND.</div><div>GR.</div><div>GYP.</div><div>H.B.</div><div>H.C.</div><div>HDWD.</div><div>HDWE.</div><div>H.M.</div><div>HORIZ.</div><div>HR.</div><div>HGT.</div><div>I.D.</div><div>INSUL.</div><div>INT.</div><div>JAN.</div><div>JT.</div><div>KIT.</div><div>LAB.</div><div>LAM.</div><div>LAV.</div><div>LKR.</div><div>LT.</div><div>MAX.</div><div>M.C.</div><div>MECH.</div><div>MEMB.</div><div>MET.</div><div>MFR.</div><div>MH.</div><div>MIN.</div><div>MIR.</div><div>MISC.</div><div>N.O.</div><div>MTD.</div><div>MUL.</div><div>N.</div><div>N.I.C.</div><div>NO.</div><div>NOM.</div><div>N.T.S.</div><div>O.A.</div><div>Obs.</div><div>On Center</div><div>Outside Diameter (Dim.)</div><div>OFF.</div><div>OPNG.</div><div>OPP.</div></div><div><div>Fire Alarm</div><div>Flat Bar</div><div>Floor Drain</div><div>Foundation</div><div>Fire Extinguisher</div><div>Fire Extinguisher Cab</div><div>Fire Hose Cabinet</div><div>Finish</div><div>Floor</div><div>Flashing</div><div>Fluorescent</div><div>Face of Concrete</div><div>Face of Finish</div><div>Face of Stud</div><div>Fireproof</div><div>Full Size</div><div>Foot or Feet</div><div>Footing</div><div>Furring</div><div>Future</div><div>Gauge</div><div>Galvanized</div><div>Grab Bar</div><div>Grass</div><div>Ground</div><div>Grade</div><div>Gypsum</div><div>Hose Bibb</div><div>Hollow Core</div><div>Hardwood</div><div>Hardware</div><div>Hollow Metal</div><div>Horizontal</div><div>Hour</div><div>Height</div><div>Inside Diameter (Dim.)</div><div>Insulation</div><div>Interior</div><div>Janitor</div><div>Joint</div><div>Kitchen</div><div>Laboratory</div><div>Laminate</div><div>Lavatory</div><div>Locker</div><div>Light</div><div>Maximum</div><div>Medicine</div><div>Mechanical</div><div>Membrane</div><div>Metal</div><div>Manufacturer</div><div>Manhole</div><div>Minimum</div><div>Mirror</div><div>Miscellaneous</div><div>Masonry Opening</div><div>Mounted</div><div>Mullion</div><div>North</div><div>Not in Contract</div><div>Number</div><div>Nominal</div><div>Not To Scale</div><div>Overall</div><div>Obscure</div><div>On Center</div><div>Outside Diameter (Dim.)</div><div>Office</div><div>Opening</div><div>Opposite</div></div><div><div>PRCST.</div><div>PL.</div><div>P.LAM.</div><div>PLAS.</div><div>PLYWD.</div><div>PR.</div><div>PT.</div><div>P.T.D.</div><div>P.T.D.R.</div><div>PTN.</div><div>P.T.R.</div><div>Q.T.</div><div>R.</div><div>RAD.</div><div>R.D.</div><div>REF.</div><div>RETR.</div><div>RGTR.</div><div>REINF.</div><div>REQ.</div><div>RESIL.</div><div>RM.</div><div>R.O.</div><div>RWD.</div><div>R.W.L.</div><div>S.</div><div>S.C.</div><div>S.C.D.</div><div>SCHED.</div><div>S.D.</div><div>SECT.</div><div>SH.</div><div>SHR.</div><div>SHT.</div><div>SN.</div><div>S.N.D.</div><div>S.N.R.</div><div>SPEC.</div><div>SQ.</div><div>S.S.T.</div><div>S.SK.</div><div>STA.</div><div>STD.</div><div>STL.</div><div>STOR.</div><div>STR.</div><div>SUSP.</div><div>SYS.</div><div>TRD.</div><div>T.B.</div><div>T.C.</div><div>TEL.</div><div>TER.</div><div>T. &amp; G.</div><div>THK.</div><div>T.O.P.</div><div>T.O.R.</div><div>T.P.</div><div>T.P.D.</div><div>T.V.</div><div>T.W.</div><div>TYP.</div><div>UNF.</div><div>U.O.N.</div><div>UR.</div><div>VERT.</div><div>VEST.</div><div>W.</div><div>W.C.</div><div>WD.</div><div>W/O.</div><div>WP.</div><div>WRB.</div><div>WSCT.</div><div>WT.</div></div><div><div>Pre-cast</div><div>Plate</div><div>Plastic Laminat</div><div>Plaster</div><div>Plywood</div><div>Pair</div><div>Point</div><div>Paper Towel Dispenser</div><div>Combination Paper Towel</div><div>Partition</div><div>Paper Towel Receptacle</div><div>Quarry Tile</div><div>Riser</div><div>Radius</div><div>Roof Drain</div><div>Reference</div><div>Refrigerator</div><div>Register</div><div>Reinforced</div><div>Required</div><div>Resilient</div><div>Room</div><div>Rough Opening</div><div>Redwood</div><div>Rain Water Leader</div><div>South</div><div>Solid Core</div><div>Seat Cover Dispenser</div><div>Schedule</div><div>Soap Dispenser</div><div>Section</div><div>Shelf</div><div>Shower</div><div>Sheet</div><div>Similar</div><div>Sanitary Napkin Dispenser</div><div>Sanitary Napkin Receptacle</div><div>Specification</div><div>Square</div><div>Stainless Steel</div><div>Service Sink</div><div>Station</div><div>Standard</div><div>Steel</div><div>Storage</div><div>Structural</div><div>Suspended</div><div>Symmetrical</div><div>Tread</div><div>Towel Bar</div><div>Top of Curb</div><div>Telephone</div><div>Terrazzo</div><div>Tongue and Groove</div><div>Thick</div><div>Top of Panel</div><div>Top of Reveal</div><div>Top of Pavement</div><div>Toilet Paper Dispenser</div><div>Television</div><div>Top of Wall</div><div>Typical</div><div>Unfinished</div><div>Unless Otherwise Noted</div><div>Urinal</div><div>Vertical</div><div>Vestibule</div><div>West</div><div>With</div><div>Water Closet</div><div>Wood</div><div>Without</div><div>Waterproof</div><div>Water Resistive Barrier</div><div>Wainscot</div><div>Weight</div></div></div></div>							

PRCST.

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P.T.D.R.

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W/O.

WP.

WRB.

WSCT.

WT.

Pre-cast

Plate

Plastic Laminat

Plaster

Plywood

Pair

Point

Paper Towel Dispenser

Combination Paper Towel

Partition

Paper Towel Receptacle

Quarry Tile

Riser

Radius

Roof Drain

Reference

Refrigerator

Register

Reinforced

Required

Resilient

Room

Rough Opening

Redwood

Rain Water Leader

South

Solid Core

Seat Cover Dispenser

Schedule

Soap Dispenser

Section

Shelf

Shower

Sheet

Similar

Sanitary Napkin Dispenser

Sanitary Napkin Receptacle

Specification

Square

Stainless Steel

Service Sink

Station

Standard

Steel

Storage

Structural

Suspended

Symmetrical

Tread

Towel Bar

Top of Curb

Telephone

Terrazzo

Tongue and Groove

Thick

Top of Panel

Top of Reveal

Top of Pavement

Toilet Paper Dispenser

Television

Top of Wall

Typical

Unfinished

Unless Otherwise Noted

Urinal

Vertical

Vestibule

West

With

Water Closet

Wood

Without

Waterproof

Water Resistive Barrier

Wainscot

Weight

PRCST.

PL.

P.LAM.

PLAS.

PLYWD.

PR.

PT.

P.T.D.

P.T.D.R.

PTN.

P.T.R.

Q.T.

R.

RAD.

R.D.

REF.

RETR.

RGTR.

REINF.

REQ.

RESIL.

RM.

R.O.

RWD.

R.W.L.

S.

S.C.

S.C.D.

SCHED.

S.D.

SECT.

SH.

SHR.

SHT.

SN.

S.N.D.

S.N.R.

SPEC.

SQ.

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S.SK.

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TEL.

TER.

T. & G.

THK.

T.O.P.

T.O.R.

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U.O.N.

UR.

VERT.

VEST.

W.

W.C.

WD.

W/O.

WP.

WRB.

WSCT.

WT.

Pre-cast

Plate

Plastic Laminat

Plaster

Plywood

Pair

Point

Paper Towel Dispenser

Combination Paper Towel

Partition

Paper Towel Receptacle

Quarry Tile

Riser

Radius

Roof Drain

Reference

Refrigerator

Register

Reinforced

Required

Resilient

Room

Rough Opening

Redwood

Rain Water Leader

South

Solid Core

Seat Cover Dispenser

Schedule

Soap Dispenser

Section

Shelf

Shower

Sheet

Similar

Sanitary Napkin Dispenser

Sanitary Napkin Receptacle

Specification

Square

Stainless Steel

Service Sink

Station

Standard

Steel

Storage

Structural

Suspended

Symmetrical

Tread

Towel Bar

Top of Curb

Telephone

Terrazzo

Tongue and Groove

Thick

Top of Panel

Top of Reveal

Top of Pavement

Toilet Paper Dispenser

Television

Top of Wall

Typical

Unfinished

Unless Otherwise Noted

Urinal

Vertical

Vestibule

West

With

Water Closet

Wood

Without

Waterproof

Water Resistive Barrier

Wainscot

Weight

PRCST.

PL.

P.LAM.

PLAS.

PLYWD.

PR.

PT.

P.T.D.

P.T.D.R.

PTN.

P.T.R.

Q.T.

R.

RAD.

R.D.

REF.

RETR.

RGTR.

REINF.

REQ.

RESIL.

RM.

R.O.

RWD.

R.W.L.

S.

S.C.

S.C.D.

SCHED.

S.D.

SECT.

SH.

SHR.

SHT.

SN.

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S.N.R.

SPEC.

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SYS.

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T.W.

TYP.

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U.O.N.

UR.

VERT.

VEST.

W.

W.C.

WD.

W/O.

WP.

WRB.

WSCT.

WT.

Pre-cast

Plate

Plastic Laminat

Plaster

Plywood

Pair

Point

Paper Towel Dispenser

Combination Paper Towel

Partition

Paper Towel Receptacle

Quarry Tile

Riser

Radius

Roof Drain

Reference

Refrigerator

Register

Reinforced

Required

Resilient

Room

Rough Opening

Redwood

Rain Water Leader

South

Solid Core

Seat Cover Dispenser

Schedule

Soap Dispenser

Section

Shelf

Shower

Sheet

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Plastic Laminat

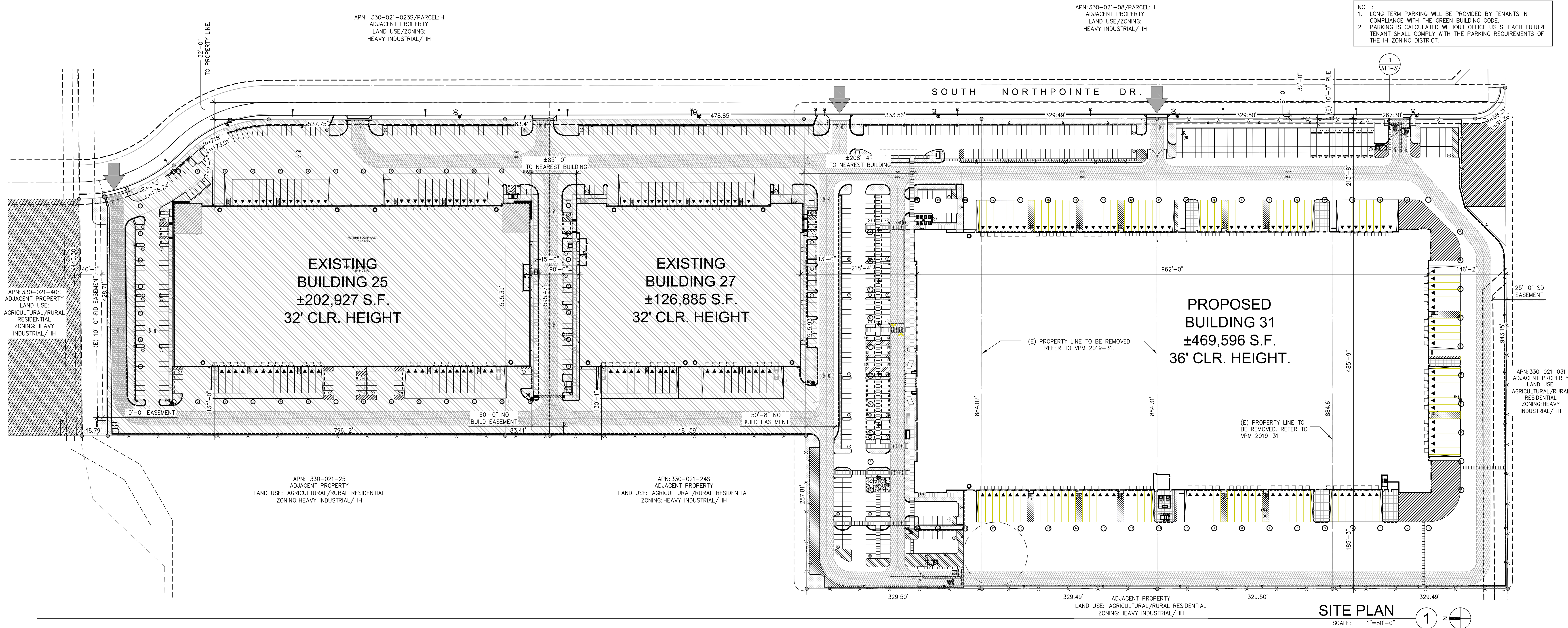
Plaster

Plywood

Pair

Point





### CITY OF FRESNO GENERAL NOTES

- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THIS SPECIAL PERMIT IS GRANTED, AND THE CONDITIONS IMPOSED, BASED UPON THE OPERATION STATEMENT PROVIDED BY THE APPLICANT, THE OPERATION STATEMENT IS MATERIAL TO THE ISSUANCE OF THIS SPECIAL PERMIT. UNLESS THE CONDITIONS OF APPROVAL SPECIFICALLY REQUIRE OPERATION INCONSISTENT WITH THE OPERATION STATEMENT, A NEW OR REVISED SPECIAL PERMIT IS REQUIRED IF THE OPERATION OF THIS ESTABLISHMENT CHANGES OR BECOMES INCONSISTENT WITH THE OPERATION STATEMENT. FAILURE TO OPERATE IN ACCORDANCE WITH THE CONDITIONS AND REQUIREMENTS IMPOSED MAY RESULT IN REVOCATION OF THE SPECIAL PERMIT OR ANY OTHER ENFORCEMENT REMEDY AVAILABLE UNDER THE LAW. THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLANS NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS OF THE CITY OF FRESNO PUBLIC WORKS DEPARTMENT; <http://www.fresno.gov/Government/DepartmentDirectory/PublicWorks/DeveloperDocs/02/TechnicalLibrary/StandardSpecifications/010101.htm>
- DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY, COUNTY, STATE AND FEDERAL LAWS AND REGULATIONS.
- OWNERS AND PERSONS HAVING OWNERSHIP INTEREST IN BUSINESSES OPERATING IN THE CITY OF FRESNO (INCLUDING LEASING OUT ANY COMMERCIAL OR INDUSTRIAL PROPERTY, OR RENTING OUT FOUR OR MORE DWELLING UNITS) ARE REQUIRED BY THE FRESNO MUNICIPAL CODE TO OBTAIN A BUSINESS TAX CERTIFICATE. CONTACT THE CITY OF FRESNO FINANCE DEPARTMENT'S BUSINESS TAX DIVISION AT (559) 621-6880 FOR MORE INFORMATION. INFORMATION AND AN APPLICATION FORM IS AVAILABLE AT THE FOLLOWING WEBSITE: <http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/businessapplication.htm>
- ALL PROPOSED BUILDING(S) OR STRUCTURE(S) CONSTRUCTED ON THE PROPERTY MUST COMPLY WITH THE PREVAILING CALIFORNIA BUILDING CODE STANDARDS.
- ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND WOULD BE SUBJECT TO A NEW SPECIAL PERMIT.
- FOR PROJECTS INITIATED IN RESPONSE TO CODE ENFORCEMENT ACTION, THE EXERCISE OF RIGHTS GRANTED BY THIS SPECIAL PERMIT MUST BE COMMENCED BY SIX MONTHS. COMPLETION OF THE PROJECT, INCLUDING IMPROVEMENTS, SHALL OCCUR BY 12 MONTHS.
- TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM, AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD, WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION.
- FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT & RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
- NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE-LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OR SETBACKS OR ON THE STREET FRONTS OF THE

### FENCES/WALLS, LANDSCAPING, PARKING

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- THE BUILDINGS, ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW PREVENTION DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE DEVELOPMENT SERVICES DIVISION.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL AND APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPARTMENT.
- ALL HANDICAPPED PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS AND RAMPS.
- LIGHTING WERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT.
- ROOF-MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BAPFLED TO PREVENT THE NOISE LEVEL RATING FOR THE EQUIPMENT FROM EXCEEDING 70 LDN MEASURED AT THE NEAREST PROPERTY LINE.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE: (805) 644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- OUTDOOR STORAGE OF MATERIALS, INCLUDING ISO CONTAINERS, IS PROHIBITED. ALL MATERIALS SHALL BE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT.
- CONSTRUCT PARKING LOT PER P-21, P-22, P-23 FRESNO STANDARD DRAWINGS AND STRIPE PER THE PARKING MANUAL.

### FIRE NOTES

- ALL REQUIRED FIRE ACCESS LANES SHALL BE PROVIDED AND MAINTAINED WITH AN APPROVED "ALL WEATHER" SURFACE CAPABLE OF SUPPORTING 80,000 LB. VEHICLES (MINIMUM 4" OF BASE ROCK OVER COMPACTED PLANS) YEAR-AROUND AND WITH 24 FEET MINIMUM WIDTH OR OTHER APPROVED METHOD THAT WOULD PREVENT SHOULDER DEGRADATION.
- NO FIRE LANE SHALL BE USED IN CONJUNCTION WITH THE FIRE LANE SIGNS SHOWN ON SHEET 7/A&1 AND 8/A&1. INSTALL LEDD BUILDING EVERY 50 FEET OF TRAVEL DISTANCE. SEE FIRE NOTE 16 FOR MORE INFORMATION.

- PROPOSED CANOPY SITE PLAN NOTE #26 SHALL NOT IMPEDE ON THE DESIGNATED FIRE LANE AND IF IT DOES, IT SHALL HAVE A MINIMUM 13 FOOT 6 INCH VERTICAL CLEARANCE.
- INTERIOR SPRINKLER RISERS NOT LOCATED WITHIN 5 FEET OF AN EXTERIOR DOOR REQUIRE AN EXTERIOR WALL MOUNTED INDICATING CONTROL VALVE.
- EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED SIGN READILY VISIBLE FROM ANY OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS SHALL BE MARKED BY READILY VISIBLE SIGNS TO CLEARLY INDICATE THE DIRECTION OF TRAVEL IN CASES WHERE THE EXIT OR PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE. INTERVENING MEANS OF EGRESS DOORS SHALL BE MARKED WITH EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IS MORE THAN 100 FEET OR LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS. 2013 CFC, SECTION 1011.1.
- PROVIDE EMERGENCY LIGHTING ON EXTERIOR LANDINGS FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. 2013 CFC, SECTION 1006.3.
- THIS PROJECT WAS REVIEWED BY THE FIRE DEPARTMENT ONLY FOR REQUIREMENTS RELATED TO WATER SUPPLY, FIRE HYDRANTS, AND FIRE APPARATUS ACCESS TO THE BUILDING(S) ON SITE. REVIEW FOR COMPLIANCE WITH FIRE AND LIFE SAFETY REQUIREMENTS FOR THE BUILDING INTERIOR AND ITS INTENDED USE ARE REVIEWED BY BOTH THE FIRE DEPARTMENT AND THE BUILDING AND SAFETY SECTION OF DARM WHEN A SUBMITTAL FOR BUILDING PLAN REVIEW IS MADE AS REQUIRED BY THE CALIFORNIA BUILDING CODE BY THE ARCHITECT OR ENGINEER OF RECORD FOR THE BUILDING.
- PROVIDE A COPY OF THE APPROVED STAMPED SITE PLAN FROM THE PLANNING DIVISION INCLUDING ALL FIRE DEPARTMENT NOTICES TO VERIFY COMPLIANCE WITH REQUIREMENTS. SITE PLAN REVIEW SHALL BE PROVIDED ACCORDING TO THE SUBJECT TO THE CONDITIONS ON THE PLANNING DIVISION APPROVED SET.
- SITE PLAN REQUIREMENTS SHALL BE COORDINATED WITH THE SITE UTILITY PLAN.
- FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED, TESTED, AND APPROVED, AND SHALL BE MAINTAINED SERVICEABLE PRIOR TO AND DURING ALL PHASES OF DEVELOPMENT. THE 4 1/2" OUTLET SHALL FACE THE ACCESS LINE, INCLUDE NORTH POINTE AND PRIME AVE. AND FIRE HYDRANTS ON THEM.
- TURNS IN PRIVATE DRIVES FOR FIRE APPARATUS ACCESS SHALL HAVE MINIMUM 44 FOOT CENTERLINE TURN RADIUS.
- THE ENTIRE WIDTH OF A REQUIRED ACCESS WAY SHALL REMAIN UNOBSTRUCTED TO A VERTICAL HEIGHT OF 13 FEET, 6 INCHES. COORDINATE LANDSCAPE PLAN TO MEET THIS REQUIREMENT WITH ASSUMED PLANT GROWTH.
- SUBMIT PLANS TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION FOR THE INSTALLATION OR MODIFICATION OF FIRE ALARM SYSTEM.
- SUBMIT PLAN TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION.
- INSTALL ON SITE HYDRANTS AS PROPOSED AND SHOWN ON THE SITE PLAN WITH A MINIMUM 8 INCHES MAIN AND FIRE FLOW OF 1500 GPM.
- EMERGENCY VEHICLE ACCESS SHALL BE DESIGNATED BY PAINTING THE CURB RED (TOP AND SIDE) AND STENCILING "FIRE LANE NO PARKING" IN 3-INCH WHITE LETTERS ON THE MOST VERTICAL CURB, AT LEAST EVERY 50 FEET. IF NO CURB IS PRESENT, A MINIMUM 6-INCH WIDE RED STRIPE SHALL BE PAINTED ALONG THE EDGE OF THE ROADWAY WITH "FIRE LANE" IN 3-INCH WHITE LETTERS AT LEAST EVERY 50 FEET. (FPD DEVELOPMENT POLICY 403.005)
- PROVIDE SIGN(S) (17"x22" MINIMUM) AT ALL PUBLIC ENTRANCES DRIVES TO THE PROPERTY WHICH STATE "WARNING-VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANE WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE--22658(c) CALIFORNIA VEHICLE CODE -- FRESNO FIRE DEPARTMENT 621-2300
- SIGNS MAY BE USED IN CONJUNCTION WITH, OR IN LIEU OF, CURB PAINTING. (FPD DEVELOPMENT POLICY 403.005) THE CURBSIDE SIGNS SHALL BE AT A MINIMUM:
  - a. THE SIGN SHALL BE AT A MINIMUM 12X18 INCH SIGN WITH A WHITE REFLECTIVE BACKGROUND
  - b. THE SIGN SHALL READ "FIRE LANE NO PARKING" IN MINIMUM 3-INCH RED LETTERS
  - c. SIGNS SHALL BE PLACED AT THE BEGINNING AND END OF THE DESIGNATED FIRE LANE AND BE AT 50 FOOT INTERVALS. DIRECTIONAL ARROWS SHALL BE PLACED ON THE SIGNS TO INDICATE THE EXTENT AND DIRECTION OF THE FIRE LANE
  - d. SIGNS SHALL BE SET AT LEAST 18 INCHES BUT NO MORE THAN 24 INCHES FROM THE CURB AND MUST HAVE A FINISHED HEIGHT OF 7 FEET TO THE BOTTOM OF THE SIGN WHEN ADJACENT TO SIDEWALKS
  - e. SIGNS SHALL NOT BE OBSTRUCTED BY LANDSCAPING OR STREET FIXTURES AND SHALL BE READILY VISIBLE FROM A VEHICLE.

### GENERAL NOTES

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA), CALL (1-800-642-2444).
- A BACKFLOW PREVENTION DEVICE IS REQUIRED. CONTACT WATER DIVISION AT 621-5480 FOR REQUIREMENTS. DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED TO INSTALL DEVICE BACKFLOW PREVENTION DEVICES REQUIRED SHALL BE INSTALLED AT THE CONSUMER'S EXPENSE BY A QUALIFIED JOURNEMAN PLUMBER CERTIFIED AS COMPETENT FOR SUCH PURPOSES BY THE WATER SYSTEMS MANAGER. BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL. DEVELOPER IS RESPONSIBLE TO CONTACT THE WATER DIVISION A MINIMUM OF 5 DAYS PRIOR TO REQUEST FOR FINAL BUILDING INSPECTION.
- NO USES OF LAND, BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- UNDERGROUND ALL EXISTING OFF SITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE AS PER FMC SECTION 15-4114.
- PURSUANT TO SECTION 10-102 OF THE FMC, NOISE LEVELS FOR INDUSTRIAL ZONED PROPERTIES SHALL NOT EXCEED 70 DECIBELS MEASURED AT THE NEAREST SUBJECT PROPERTY LINE. FUTURE USES AND/OR DEVELOPMENT SHALL BE REQUIRED TO COMPLY WITH THIS PROVISION.
- ALL DOORS TO HAVE LEVEL LANDING PER DETAIL 10/A&1.
- WHERE ROOF DRAINS EXIT THROUGH CURB SEE DETAIL 20/A&1.
- CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PUBLIC WORKS STANDARDS WITHIN THE LIMITS OF THIS APPLICATION. SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO PUBLIC WORKS DEPARTMENT, ENGINEERING SERVICES.
- SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.
- SUBMIT STREET LIGHTING PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- LONG TERM PARKING WILL BE PROVIDED BY TENANTS IN COMPLIANCE WITH THE GREEN BUILDING CODE.
- PARKING IS CALCULATED WITHOUT THE OFFICE USES, EACH TENANT SHALL COMPLY WITH THE PARKING REQUIREMENT OF THE IH ZONE DISTRICT.

### MITIGATION MEASURE NOTES

- MM AES-3. LIGHTING SYSTEMS FOR NON-RESIDENTIAL USES, NOT INCLUDING PUBLIC FACILITIES, SHALL NOT PROVIDE SHIELDS ON THE LIGHT FIXTURES AND ORIENT THE LIGHTING SYSTEM AWAY FROM ADJACENT PROPERTIES. LOW INTENSITY LIGHT FIXTURES SHALL ALSO BE USED IF EXCESSIVE SPILLOVER LIGHT ONTO ADJACENT PROPERTIES WILL OCCUR.

### SITE PLAN NOTES

REFER TO NOTES ON A1.1a AND A1.1b.

### LEGAL DESCRIPTION

REFER TO PARCEL MAP 2012-06, PARCELS A THROUGH F OF PM-2012-06; FOR NEW PROPERTY LINE LOCATIONS REFER TO LLA NO. 2018-42 AND VPM 2019-31.

### DEVELOPER / PROPERTY OWNER

**NORTH POINTE BP, LP**  
8570 SOUTH CEDAR AVE.  
FRESNO, CA 93725

LELAND PARNAGIAN  
PH: (559) 834-5911  
FAX: (559) 834-5272

### ARCHITECT / APPLICANT

**WARE MALCOMB**

4683 CHABOT DRIVE, SUITE 300  
PLEASANTON, CA 94588

NICHOLAS DETORRES, AIA  
PH: (925) 244-9620  
FAX: (925) 244-9621

### CONSULTANTS

**CIVIL ENGINEER**  
YAMABE & HORN ENGINEERING, Inc.  
1300 E. SHAW AVE., SUITE 176  
FRESNO, CA 93710

BRANDON BROUSSARD  
PH: (559) 244-3123  
FAX: (559) 244-3120

**LANDSCAPE ARCHITECT**  
THOMAS BAAK & ASSOCIATES, LLP  
1620 NORTH MAIN STREET, SUITE 4  
WALNUT CREEK, CA 94596

RICK STOVER  
PH: (925) 933-2583  
FAX: (925) 933-0242

### PROJECT DATA

APN: BUILDING 31: 330-021-645, 330-021-655, 330-021-665, AND 330-021-675

OVERALL SITE AREA (ENTIRE PARCEL AREA): 44.76 ACRES (1,949,746 SF)  
EXISTING PLANNED LAND USE: HEAVY INDUSTRIAL (H)/URBAN GROWTH MANAGEMENT

EXISTING ZONE DISTRICT: H/UJOM  
PROPOSED ZONE DISTRICT: H/UJOM  
TOTAL BUILDING AREA: REFER TO SPECIFIC SITE PLAN  
BUILDING/SITE COVERAGE: REFER TO SPECIFIC SITE PLAN  
PAVED AREA: REFER TO SPECIFIC SITE PLAN  
LANDSCAPE: REFER TO SPECIFIC SITE PLAN  
OCCUPANCY: REFER TO SPECIFIC SITE PLAN  
CONSTRUCTION TYPE: REFER TO SPECIFIC SITE PLAN

PARKING: REFER TO SPECIFIC SITE PLAN

### SITE LEGEND

- PARKING LIGHTING SINGLE HEAD - 25'-0" HIGH. SEE ELECTRICAL DRAWINGS & DETAIL 18/A&1.
- EXISTING METAL STREET LIGHT
- NEW METAL STREET LIGHT
- TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS.
- TRASH ENCLOSURE
- DOCK HIGH TRUCK DOOR.
- GRADE LEVEL TRUCK DOOR.
- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT.
- 9 BIKE PARKING, SEE DETAILS 24/A&1.
- STANDARD PARKING PER CITY OF FRESNO REQ. L19XW9' STANDARD PAINTED / L18XW9' STANDARD PLUS CONTINUOUS CONCRETE CURB ACCESSIBLE PARKING REFER TO A6.1/1 FOR DETAILS
- COMPACT PARKING W9X16' - COMPACT PLUS CONTINUOUS CONCRETE CURBS.
- 12'x60' TRUCK LOADING DOCK SPACE
- POINT OF VEHICULAR ENTRY
- EXISTING PROPERTY LINE
- NEW PROPERTY LINE
- EXISTING EASEMENT (U.O.N.)
- STREET CENTERLINE
- ADJACENT SITE. (NOT IN SCOPE).

PLANNING DIVISION TO REVIEW AND APPROVE ONSITE PARKING AND CIRCULATION.

APPL. NO	P20-03406	EXHIBIT A-1	DATE	10/01/2020
PLANNING REVIEWED BY			DATE	
TRAFFIC ENG	REVIEWED		DATE	
APPROVED BY	By PUBLIC WORKS - ANDRENA AGUILAR at 9:04 am, Oct 27, 2020		DATE	

CITY OF FRESNO DARM DEPT

**WARE MALCOMB**  
Leading Design for Commercial Real Estate

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san ramon, california 94583  
p 925.244.9620  
f 925.244.9621

**NORTH POINTE BUSINESS PARK**  
**BUILDING 31**  
**3611 S. NORTHPOINTE DR.**  
**FRESNO, CALIFORNIA**

SITE PLAN		REMARKS	DATE
DATE	09/27/2020	MAJOR REVISED EXHIBIT SUBMITTAL	
D			

PA / PM:	J.B.
DRAWN BY:	Z.P.
JOB NO.:	SNR17-0048-00

SHEET

**A1.0**



SITE PLAN GENERAL NOTES

1. REFER TO A1.1 FOR SITE PLAN GENERAL NOTES

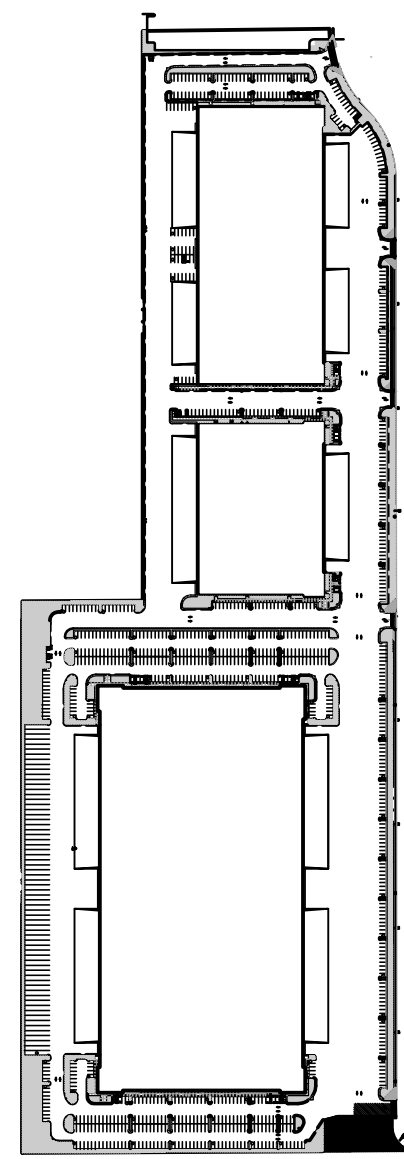
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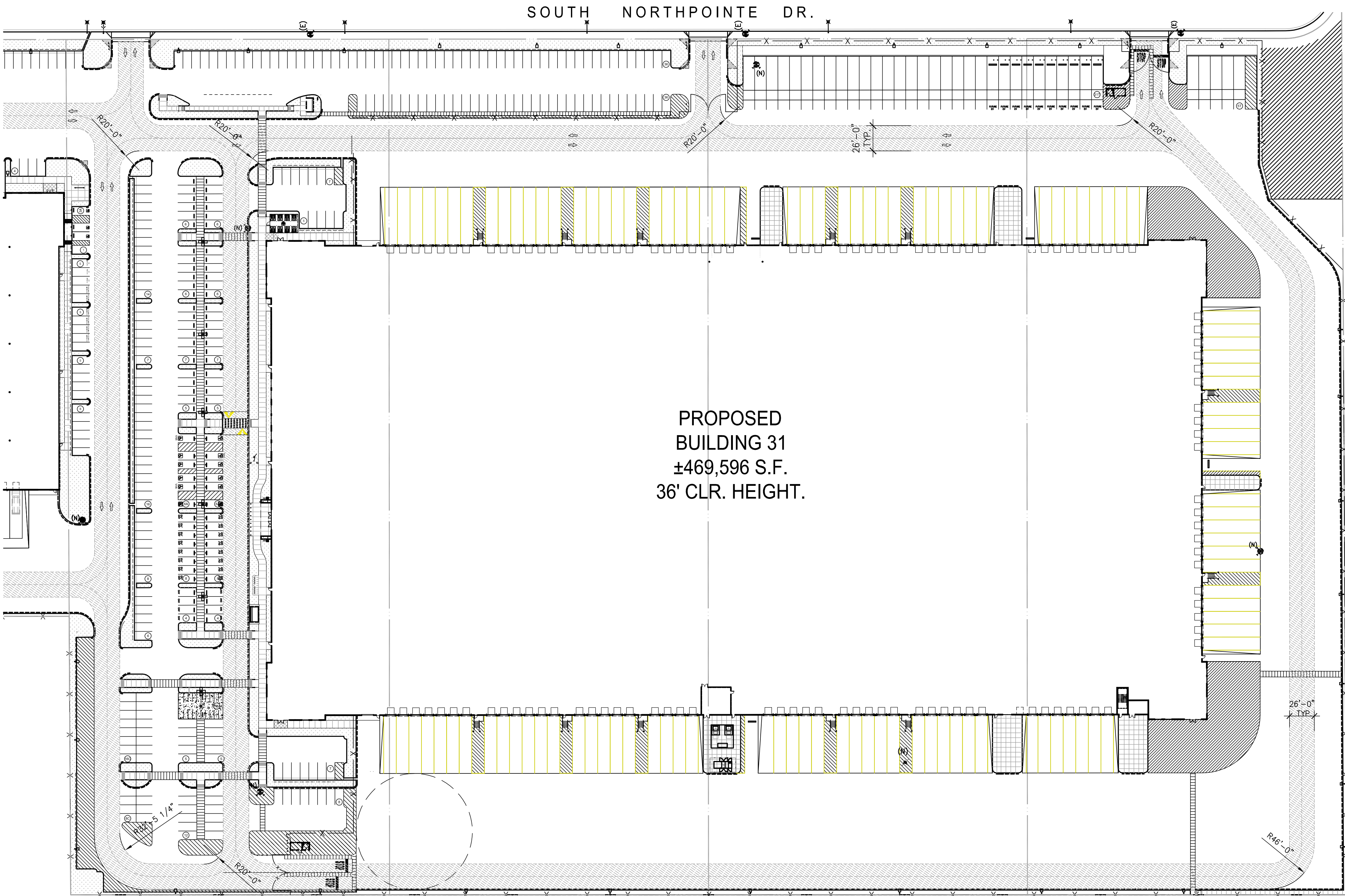
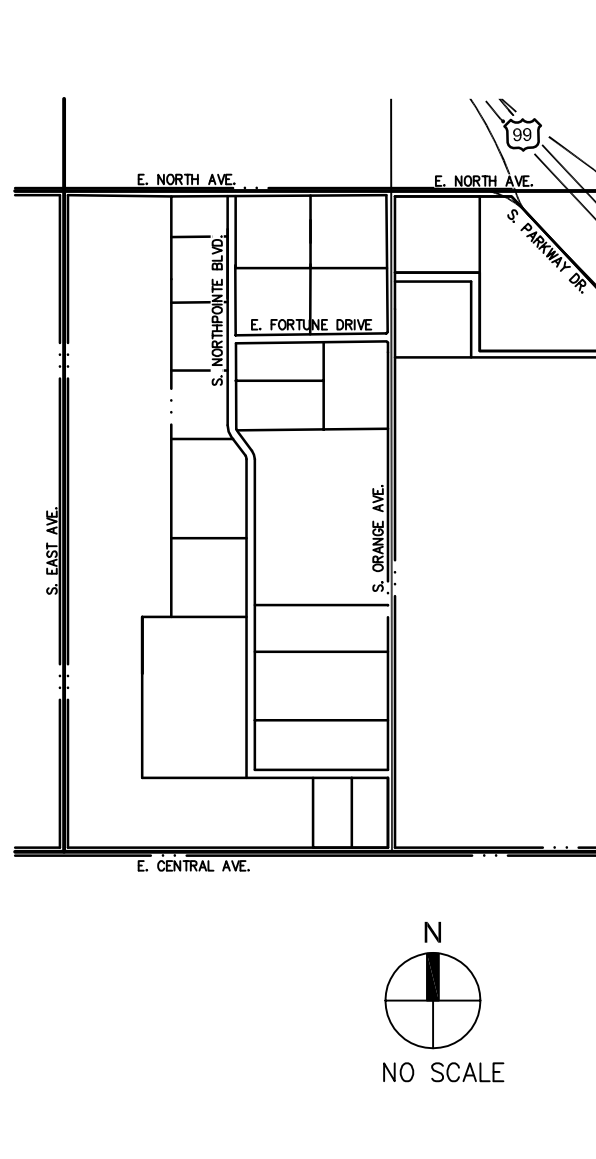
SITE LEGEND

- 26' WIDE FIRE ACCESS ROUTE IN ACCORDANCE WITH FRESNO FIRE CODE SECTION 16.52.503.
- (E) EXISTING FIRE HYDRANT
- (N) NEW FIRE HYDRANT

KEY MAP



VICINITY MAP

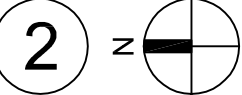


REVIEWED  
By PUBLIC WORKS - ANDREINA AGUILAR at 9:04 am, Oct 27, 2020

PLANNING DIVISION TO REVIEW AND APPROVE ONSITE PARKING AND CIRCULATION.

FIRE TRUCK SITE ACCESS - SOUTH

SCALE: 1"=60'-0"





## SITE PLAN GENERAL NOTES

1. REFER TO A1.1 FOR SITE PLAN GENERAL NOTES

## FIRE NOTES

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PLANNING DIVISION TO REVIEW AND APPROVE ONSITE PARKING AND CIRCULATION

APPL. NO. P20-03406 EXHIBIT A-2 DATE 10/01/2020

PLANNING REVIEW **REVIEWED** DATE \_\_\_\_\_

TRAFFIC ENG. *By PUBLIC WORKS - ANDREINA AGUILAR at 9:04 am, Oct 27, 2020* DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

[illegible]

**VERIFY APN**

NOTE:  
1. LONG TERM PARKING WILL BE PROVIDED BY TENANTS IN COMPLIANCE WITH THE GREEN BUILDING CODE.

## PROJECT DATA

APN: 330-021-645, 330-021-655, 330-021-655, 330-021-675  
(APN: 330-021-665 PER VPM #2019-31)

OVERALL SITE AREA (ENTIRE PARCEL AREA): 44.76 ACRES (1,949,746 SF)

SITE AREA - EXTENT OF NEW DEVELOPMENT ONLY: 26.78 ACRES (1,166,537 SF)

EXISTING PLANNED LAND USE: HEAVY INDUSTRIAL/AGRICULTURAL

EXISTING ZONE DISTRICT: GROWTH MANAGEMENT

PROPOSED ZONE DISTRICT: IH/UGM

TOTAL BUILDING AREA: IH/UGM

BUILDING/SITE COVERAGE: 469,596 SF

PAVED AREA: LANDSCAPE 40.3%

54.3% (633,527 SF)

5.4% (63,414 SF)

BARB'D

PARKING REQUIREMENTS:  
WAREHOUSING: 1/2,000 SQFT UP TO 10,000 SQFT AND  
1/5,000 SQFT OVER 10,000 SQFT PLUS 1/300 SQFT OF  
OFFICE SPACE.

BIKE STALLS REQUIRED:  
10% OF PARKING

PARKING REQUIRED:

WAREHOUSE (459,596 SQFT/5,000) = 91	
FUTURE OFFICE (16,100 SQFT/300) = 54	
<u>TOTAL STALLS</u>	<u>144</u>
STANDARD (9'-0" W X 18'-0"L)	171 STALLS
STANDARD (9'-0" W X 19'-0"L) (16 EV STALLS)	94 STALLS
COMPACT (9'-0" W X 16'-6"L)	24 STALLS
STANDARD ACCESSIBLE (1 EV STALL)	8 STALLS
VAN ACCESSIBLE (1 EV VAN)	4 STALLS

TOTAL PARKING STALLS PROVIDED	301 STALLS
TOTAL BIKE STALLS PROVIDED:	18 STALLS (SHORT TERM)

## LEGAL DESCRIPTION

REFER TO PARCEL C THROUGH F MAP #2012-06. FOR VOLUNTARY PARCEL  
MERGER REFER TO VPM #2019-31.

[illegible]

## SITE LEGEND

- |  |   |  |  |
|--|---|--|--|
|  | PARKING LIGHTING SINGLE HEAD – 25'-0" HIGH. SEE ELECTRICAL DRAWINGS & DETAIL 18/A6.1. |  | EXISTING PROPERTY LINE TO BE ADJUSTED FOR PROPOSED SITE DESIGN LAYOUT PER LLA NO. 2018-42. |
|  | PROPOSED STREET LIGHT CONSTRUCTED PER CURRENT PUBLIC WORKS STANDARDS                  |  | PROPERTY LINE LOCATION PER LLA NO. 2018-42.  |
|  | EXISTING STREET LIGHT CONSTRUCTED PER CURRENT PUBLIC WORKS STANDARDS                  |  | EXISTING EASEMENT (U.O.N.)   |
|  | WALL MOUNTED TRUCK DOCK LIGHTING – 20'-0" HIGH. SEE ELECTRICAL DRAWINGS.              |  | STREET CENTERLINE  |
|  | TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS.                               |  |  |
|  | GRADE LEVEL TRUCK DOOR.   |  |  |
|  | DOCK HIGH TRUCK DOOR.   |  |  |
|  | EXISTING FIRE HYDRANT.  |  |  |
|  | NEW FIRE HYDRANT.   |  |  |
|  | BIKE PARKING, SEE DETAILS 24/A6.1.  |  |  |
|  | STANDARD PARKING 19'-0" x 9'-0"   |  |  |
|  | COMPACT PARKING 16'-6" x 9'-0"  |  |  |
|  | ACCESSIBLE PARKING  |  |  |
|  | ADJACENT SITE (NOT IN SCOPE).   |  |  |

### SITE PLAN NOTES (CONT.)

- |    |   |
|----|---|
| 7  | PROPOSED TRASS ENCLOSURE PER CITY STANDARDS. SEE DETAIL 11/A/6.1  |
| 8  | PROPOSED ACCESSIBLE PAV OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE. SEE CIVIL DRAWINGS. (-----) AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22505.   |
| 9  | PROPOSED FIRELANE ENTRY SIGNAGE. SEE DETAIL 7/A/6.1   |
| 10 | PROPOSED FIRELANE SIGNAGE. SEE DETAIL 8/A/6.1   |
| 11 | PROPOSED FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED OR FIRE LANE STRIPING WHERE NO CURB PRESENT. SEE DETAIL 16/A/6.1 (-----) AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22505.  |
| 12 | PROPOSED LANDSCAPE AND IRRIGATION AREA PER CITY STANDARDS. SEE LANDSCAPE DRAWINGS.  |
| 13 | PROPOSED SAFETY YELLOW STRIPING FOR ACCESSIBLE PAV ON ASPHALT PAVING.   |
| 14 | PROPOSED ASPHALT PAVING PER STANDARDS P-41, P-42, & P-43  |
| 15 | PROPOSED CONCRETED TRUCK WELL PER PUBLIC WORKS STANDARDS P-41 & P-43  |
| 16 | PROVIDE (1) INDUSTRIAL SIZE COMPACTOR ON ELEVATED CONCRETE SLAB COMPACTOR SHALL HAVE A 60' ROLL-OFF OPERATION TO ACCOMMODATE ACCESS BY TRUCKS. PROVIDE 60" CLEARANCE IN FRONT OF COMPACTOR UNITS & 3'-0" CLEARANCE ON EITHER SIDE FOR LOADING & UNLOADING. DEVELOPER SHALL STRIPE THE AREA IN FRONT OF COMPACTORS TWO (2) FEET WIDE OF EACH LOCATION. EACH LOCATION WILL BE REQUIRED TO FILE FOR A ROLL OFF PERMIT. |
| 17 | GUTTER, TYP.  |

NOTE:  
A VOLUNTARY PARCEL MERGER IS REQUIRED FOR APN'S 330-021-64S, 65S, 66S, 67S. A LOT LINE ADJUSTMENT IS REQUIRED FOR ANY PROPOSED PROPERTY LINE ADJUSTMENTS.

## DEVELOPER / PROPERTY OWNER

G4 ENTERPRISES LTD.

8570 SOUTH CEDAR AVE.  
FRESNO, CA 93725

ROSS PARNAGIAN  
PH: (559) 834-5911  
FAX: (559) 834-5272

## ARCHITECT / APPLICANT

WARE MALCOMB

00 CAMINO RAMON, SUITE 390  
N RAMON, CA 94583

133. (C)

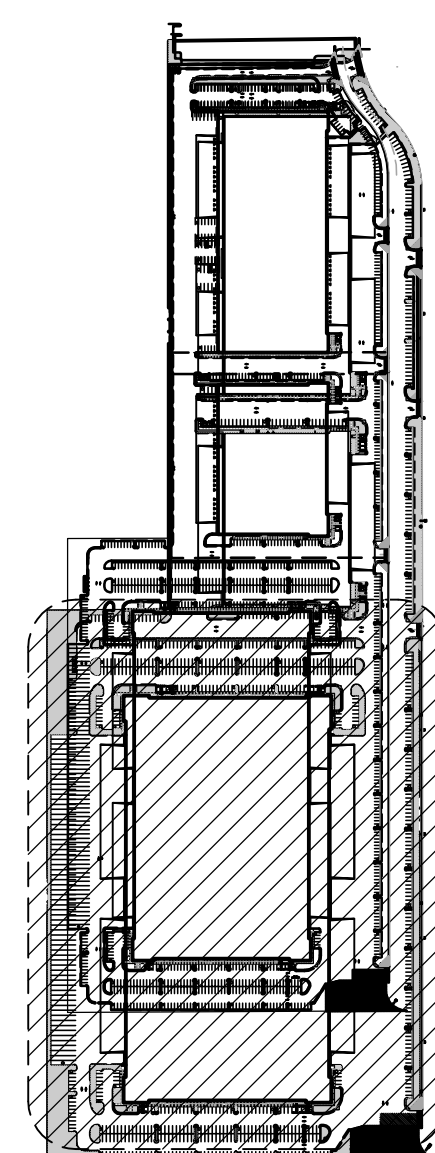
CONSULTA

CIVIL ENGINEER

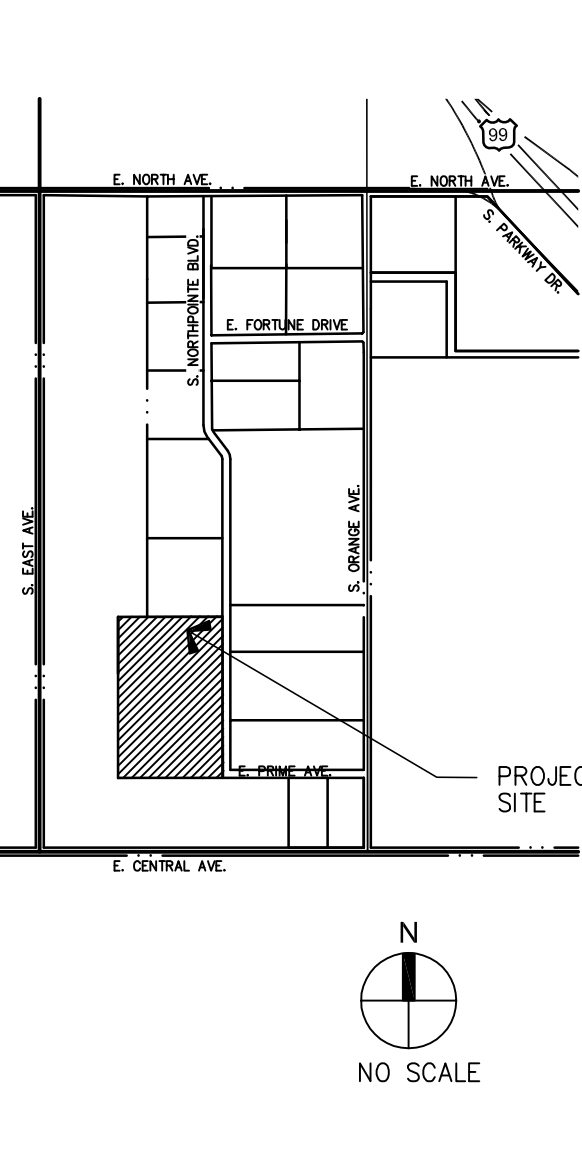
1300 E. SHAW AVE., SUITE 176  
FRESNO, CA 93710

LANDSCAPE ARCHITECT

## KEY MAP

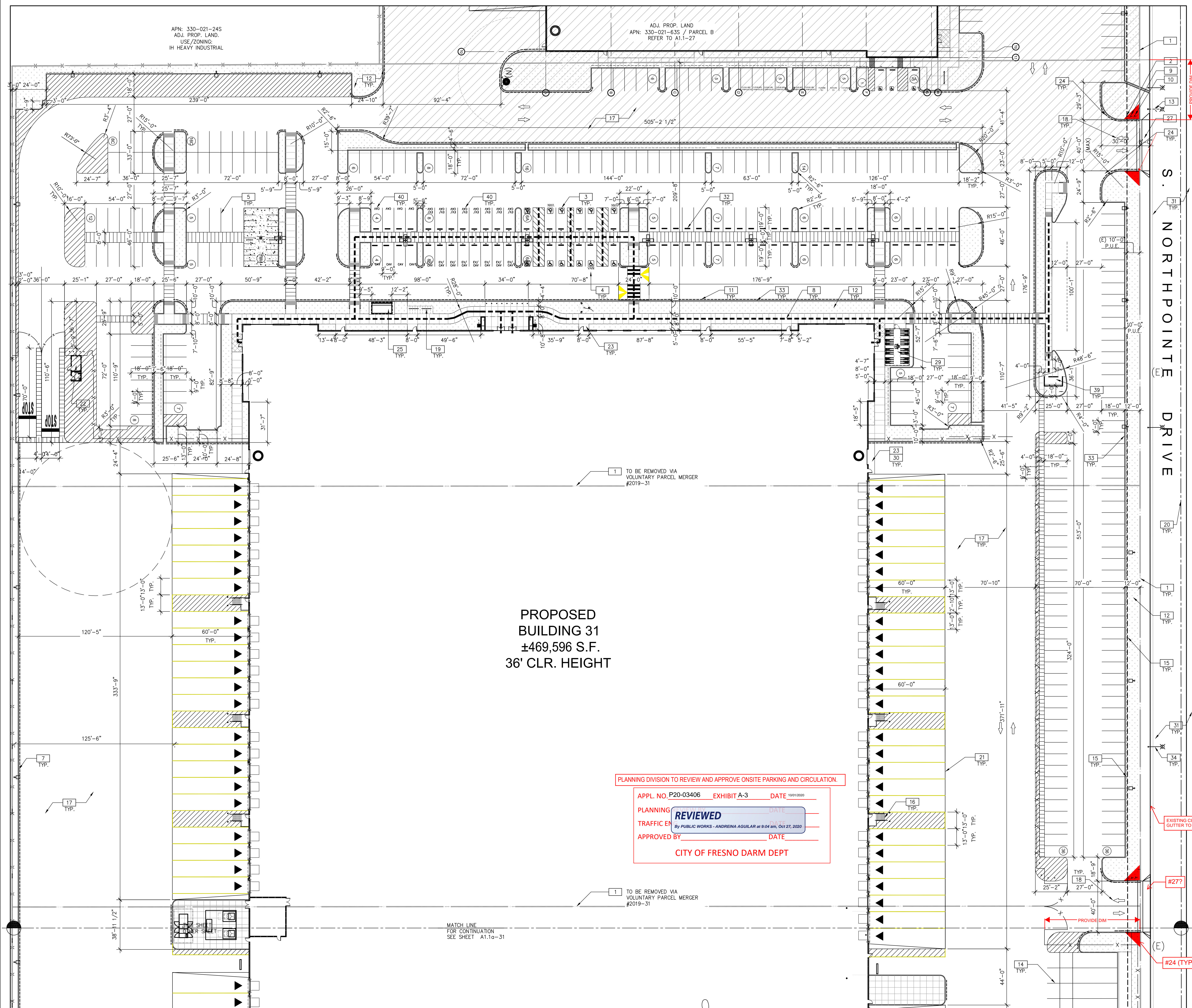


## VICINITY MAP





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PROPOSED  
BUILDING 31  
±469,596 S.F.  
36' CLR. HEIGHT

PLANNING DIVISION TO REVIEW AND APPROVE ONSITE PARKING AND CIRCULATION.

APPL. NO. P20-03406 EXHIBIT A-3 DATE 10/01/2020

PLANNING REVIEWED DATE 10/01/2020

TRAFFIC EN By PUBLIC WORKS - ANDREINA AGUILAR at 9:04 am, Oct 27, 2020

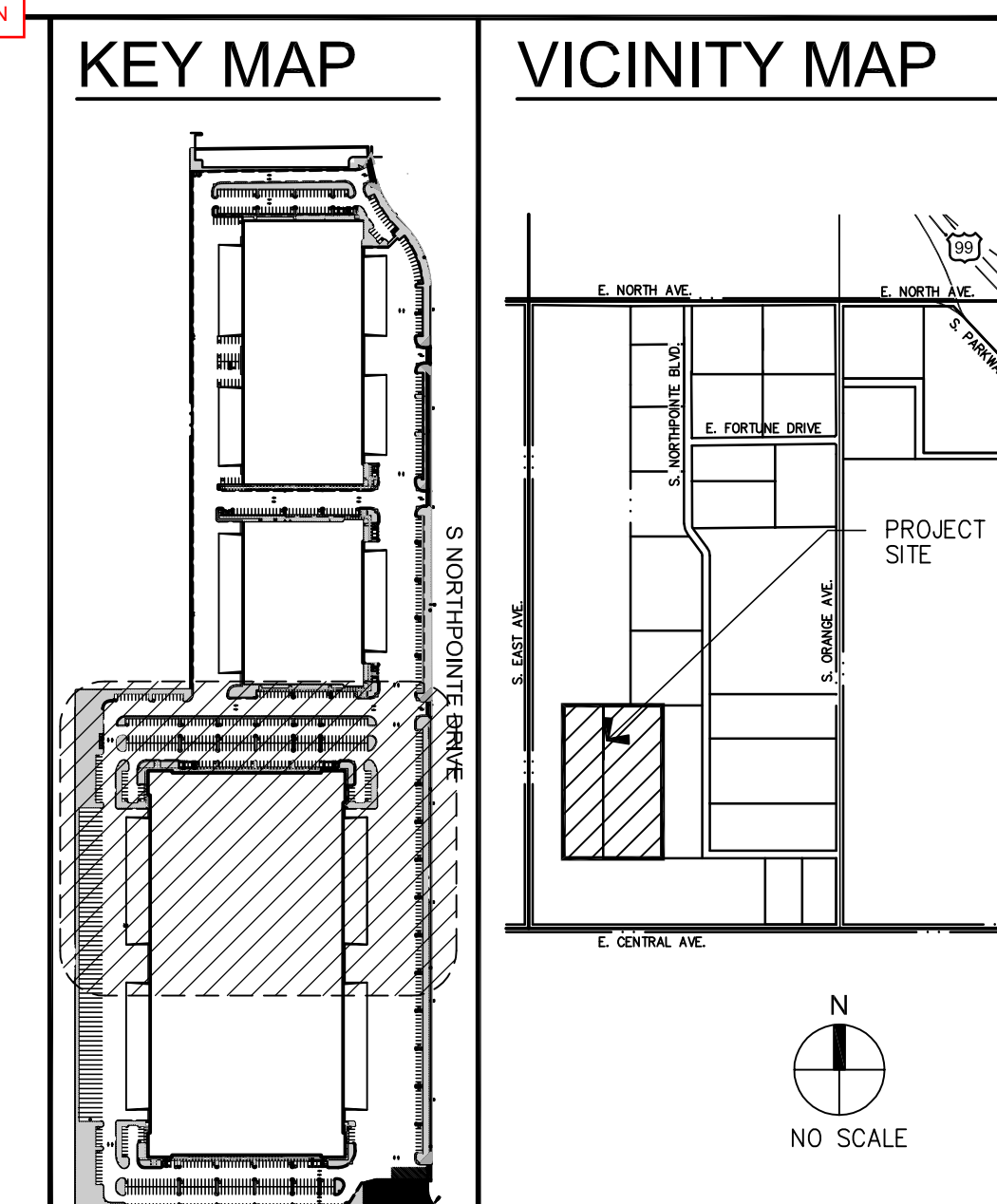
APPROVED BY DATE 10/01/2020

CITY OF FRESNO DARM DEPT

PARTIAL BUILDING 31 - SITE PLAN - NORTH

- ### SITE PLAN NOTES
- SEE SHEET A0.2 FOR GENERAL NOTES
- EXISTING PROPERTY LINE PER PARCEL MAP 2012-06
  - NEW PROPERTY LINE PER LLA NO. 2018-42
  - ACCESSIBLE ENTRY SIGNAGE, SEE A6.1
  - ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE A6.1
  - VAN ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE A6.1
  - 4" PAINTED PARKING STRIPING PER CITY STANDARDS.
  - 6" HIGH CONCRETE CURB
  - (P) EDGE OF PAVING. IF FENCING IS NOT REQUIRED OR EXISTING ALONG P.L.'S ABUTTING PAVED AREAS & SUCH PAVED AREAS ARE NOT DOCUMENTED FOR COMMON INGRESS - EGRESS USES, A MIN. 6" HIGH CURB SHALL BE PLACED A MIN. OF 3'-0" FROM THE PROPERTY LINES. SEE CIVIL DRAWINGS.
  - ACCESSIBLE PATH OF TRAVEL 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS.
  - FIRE LANE ENTRY SIGNAGE, SEE
  - FIRE LANE SIGNAGE, SEE
  - FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
  - LANDSCAPE AND IRRIGATION AREA.
  - EXISTING STREETLIGHT TO BE RELOCATED.
  - TRUCK PARKING
  - 1' FOOT VEHICLE OVERHANG - NO OBSTRUCTIONS ARE PERMITTED WITHIN THE OVERHANG
  - PROPOSED EXTERIOR EGRESS STAIR.
  - PROPOSED ASPHALT PAVING PER STANDARDS P-21, P-22, & P-23.
  - PROPOSED PAINTED DIRECTIONAL ARROWS PER CITY STANDARD.
  - PROPOSED BIKE RACK.
  - EXISTING CENTERLINE OF STREET.
  - PROPOSED CONCRETE TRUCK WELL PER PUBLIC WORKS STANDARDS
  - PRE-FABRICATED GUARDSHACK
  - PROPOSED EXTERIOR LANDING WITH SMOOTH TRANSITION TO ADJACENT PAVE SURFACED
  - 12' VISIBLE TRIANGLE
  - FUTURE SMOKERS CANOPY
  - IF NOT (E) CONSTRUCT CURB AND GUTTER PER PUBLIC WORKS STANDARD P-5
  - (P) DRIVE WAY APPROACH PER PUBLIC WORKS STANDARD P-2 and P-6 (40'-0" MAX)
  - PROPOSED CONCRETE PAVING WALKWAY 7' MIN. ADJACENT TO PARKING.
  - FUTURE LONG TERM BIKE SHELTER
  - 5' WIDE CONCRETE PAD ADJACENT TO GRADE LEVEL DOOR.
  - IF NOT (E) CONSTRUCT PERMANENT PAVING TO PW STD. P-50. FOR LOCAL INDUSTRIAL STREET
  - (P) 6" HIGH WHEEL STOP
  - (P) 6" HIGH CONCRETE CURB
  - IF NOT (E) CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STD. E-2 TO E-9
  - CONCRETE FILLED STEEL BOLLARD
  - EXISTING 25'-0" WIDE S.D. EASEMENT ON SOUTH SIDE OF APN 330-021-675
  - FUTURE TRASH COMPACTOR (TO BE PROVIDED BY FUTURE TENANT)
  - GUTTER TO STREET.
  - FUTURE BUS SHELTER.
  - FUTURE EV & CLEAN AIR PARKING.

- ### SITE LEGEND
- PARKING LIGHTING SINGLE HEAD - 25'-0" HIGH. SEE ELECTRICAL DRAWINGS & DETAIL 18/A6.1.
- WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ADJACENT BUILDING SITE (NOT IN SCOPE, SEPARATE CONTRACT)
- STANDARD PARKING STALL COUNT TOTAL
- W9'X19' - STANDARD PAINT STALL
- W9'X18' - STANDARD PLUS CONTINUOUS CONCRETE CURBS
- COMPACT PARKING COUNT TOTAL
- W9'X18' - STANDARD PLUS CONTINUOUS CONCRETE CURBS.
- ACCESSIBLE PARKING STALL COUNT TOTAL. REFER TO A0.3/15 FOR DETAILS
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS
- EXISTING PROPERTY LINE TO BE ADJUSTED FOR PROPOSED SITE DESIGN LAYOUT
- PROPERTY LINE LOCATION PER LLA NO. 2018-42
- STREET CENTERLINE
- EXISTING EASEMENT (U.O.N.)
- PROPOSED STREET LIGHT CONSTRUCTED PER CURRENT PUBLIC WORKS STANDARDS
- EXISTING STREET LIGHT CONSTRUCTED PER CURRENT PUBLIC WORKS STANDARDS



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san ramon, california 94583  
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f 925.244.9621

**NORTH POINTE BUSINESS PARK  
BUILDING 31**  
3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA

**PARTIAL SITE PLAN - NORTH**

DATE	REMARKS
09/22/2020	MAJOR REVISED EXHIBIT SUBMITTAL
D	

PA / PM: J.B.  
DRAWN BY: Z.P.  
JOB NO.: SNR17-0048-00

SHEET  
**A1.1a**


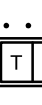
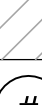

















## SITE PLAN NOTES

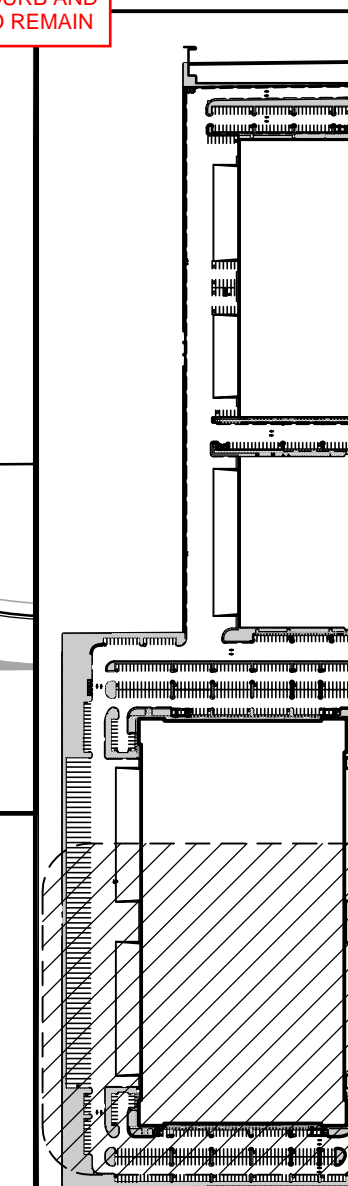
SEE SHEET A0.2 FOR GENERAL NOTE:

- 1 EXISTING PROPERTY LINE PER PARCEL MAP 2012-06 (-----)
  - 1a NEW PROPERTY LINE PER LLA NO. 2018-42 (-----)
  - 2 ACCESSIBLE ENTRY SIGNAGE, SEE (6) A6.1
  - 3 ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE (1) A6.1
  - 4 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE, SEE
  - 5 4" PAINTED PARKING STRIPING PER CITY STANDARDS.
  - 6 (E) 6" HIGH CONCRETE CURB
  - 7 (P) EDGE OF PAVING. IF FENCING IS NOT REQUIRED OR EXISTING ALONG P.L.'S ABUTTING PAVED AREAS & SUCH PAVED AREAS ARE NOT DOCUMENTED FOR COMMON INGRESS - EGRESS USES, A MIN. 6" HIGH CURB SHALL BE PLACED A MIN. OF 3'-0" FROM THE PROPERTY LINES.
  - 8 ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS. (-----)
  - 9 FIRE LANE ENTRY SIGNAGE, SEE (7) A6.1
  - 10 FIRE LANE SIGNAGE, SEE (8) A6.1
  - 11 FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED, SEE (16) A6.1 (-----)
  - 12 LANDSCAPE AND IRRIGATION AREA.
  - 13 EXISTING STREETLIGHT TO BE RELOCATED.
  - 14 TRUCK PARKING
  - 15 1 FOOT VEHICLE OVERHANG - NO OBSTRUCTIONS ARE PERMITTED WITHIN THE OVERHANG
  - 16 PROPOSED EXTERIOR EGRESS STAIR.
  - 17 PROPOSED ASPHALT PAVING PER STANDARDS P-21, P-22, & P-23.
  - 18 PROPOSED PAINTED DIRECTIONAL ARROWS PER CITY STANDARD.
  - 19 PROPOSED BIKE RACK, SEE DETAIL (2a) A6.1
  - 20 EXISTING CENTERLINE OF STREET.
  - 21 PROPOSED CONCRETED TRUCK WELL PER PUBLIC WORKS STANDARDS
  - 22 PRE-FABRICATED GUARDSHACK
  - 23 PROPOSED EXTERIOR LANDING WITH SMOOTH TRANSITION TO ADJACENT PAVE SURFACED
  - 24 12' VISIBLE TRIANGLE (10) A6.1
  - 25 FUTURE SMOKERS CANOPY
  - 26 IF NOT (E) CONSTRUCT CURB AND GUTTER PER PUBLIC WORKS STANDARD P-5
  - 27 (P) DRIVE WAY APPROACH PER PUBLIC WORKS STANDARD P-2 and P-6 (4'-0" MAX)
  - 28 PROPOSED CONCRETE PAVING WALKWAY 7' MIN. ADJACENT TO PARKING.
  - 29 FUTURE LONG TERM BIKE SHELTER
  - 30 5' WIDE CONCRETE PAD ADJACENT TO GRADE LEVEL DOOR.
  - 31 IF NOT (E) CONSTRUCT PERMANENT PAVING TO PW STD. P-50. FOR LOCAL INDUSTRIAL STREET
  - 32 (P) 6" HIGH WHEEL STOP
  - 33 (P) 6" HIGH CONCRETE CURB
  - 34 IF NOT (E) CONSTRUCT AN UNDERGROUND STREET LIGHTING SYSTEM TO PW STD. E-2 TO E-9
  - 35 CONCRETE FILLED STEEL BOLLARD
  - 36 EXISTING 25'-0" WIDE S.D. EASEMENT ON SOUTH SIDE OF APN 330-021-675
  - 37 FUTURE TRASH COMPACTOR (TO BE PROVIDED BY FUTURE TENANT)
  - 38 GUTTER TO STREET.
  - 39 FUTURE BUS SHELTER.
  - 40 FUTURE EV & CLEAN AIR PARKING.

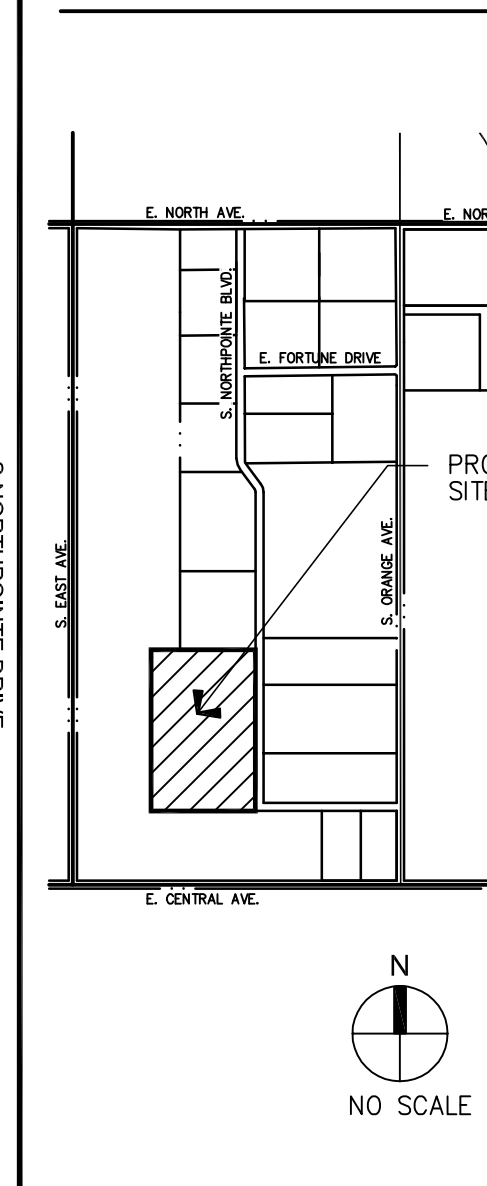
## SITE LEGEND

- |   |   |
|---|---|
|  | PARKING LIGHTING SINGLE HEAD – 25'-0" HIGH.<br>SEE ELECTRICAL DRAWINGS & DETAIL 18/A6.1.  |
|  | WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS   |
|  | TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS. PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS) |
|  | ADJACENT BUILDING SITE (NOT IN SCOPE. SEPARATE CONTRACTOR)  |
|  | STANDARD PARKING STALL COUNT TOTAL.<br>WS'X119' – STANDARD PAINT STALL<br>WS'X116' – STANDARD PLUS CONTINUOUS CONCRETE CURBS    |
|  | COMPACT PARKING COUNT TOTAL<br>WS'X116' – STANDARD PLUS CONTINUOUS CONCRETE CURBS.  |
|  | ACCESSIBLE PARKING STALL COUNT TOTAL.<br>REFER TO A0.3/15 FOR DETAILS   |
|  | DOCK HIGH TRUCK DOOR  |
|  | GRADE LEVEL TRUCK DOOR  |
|  | EXISTING FIRE HYDRANT   |
|  | NEW FIRE HYDRANT  |
|  | P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS  |
|  | EXISTING PROPERTY LINE<br>TO BE ADJUSTED FOR PROPOSED<br>SITE DESIGN LAYOUT   |
|  | PROPERTY LINE LOCATION PER LLA<br>NO. 2018-42   |
|  | EXISTING EASEMENT (U.O.N.)  |
|  | STREET CENTERLINE   |
|  | PROPOSED STREET LIGHT CONSTRUCTED PER CURRENT<br>PUBLIC WORKS STANDARDS   |
|  | EXISTING STREET LIGHT CONSTRUCTED PER CURRENT<br>PUBLIC WORKS STANDARDS   |

## KEY MAP



## VICINITY MAP



PROPOSED  
BUILDING 31  
±469,596 S.F.  
36' CLR. HEIGHT

REVISE DRIVE APPROACH TO MEET PW STD P-2 AND P-6 AS A ONE-WAY EXIT.  
OR  
PROVIDE A LEFT ARROW AND A RIGHT ARROW.

PLANNING DIVISION TO REVIEW AND APPROVE ONSITE PARKING AND CIRCULATION.

APPL. NO. P20-03406 EXHIBIT A-4 DATE 10/01/2020

PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

**REVIEWED**  
By **PUBLIC WORKS - ANDREINA A GUILAR** at 9:04 am, Oct 27, 2020

**CITY OF FRESNO DARM DEPT**

APN: 330-021-31  
ADJ. PROP. LAND.  
USE/ZONING:  
IH HEAVY INDUSTRIAL

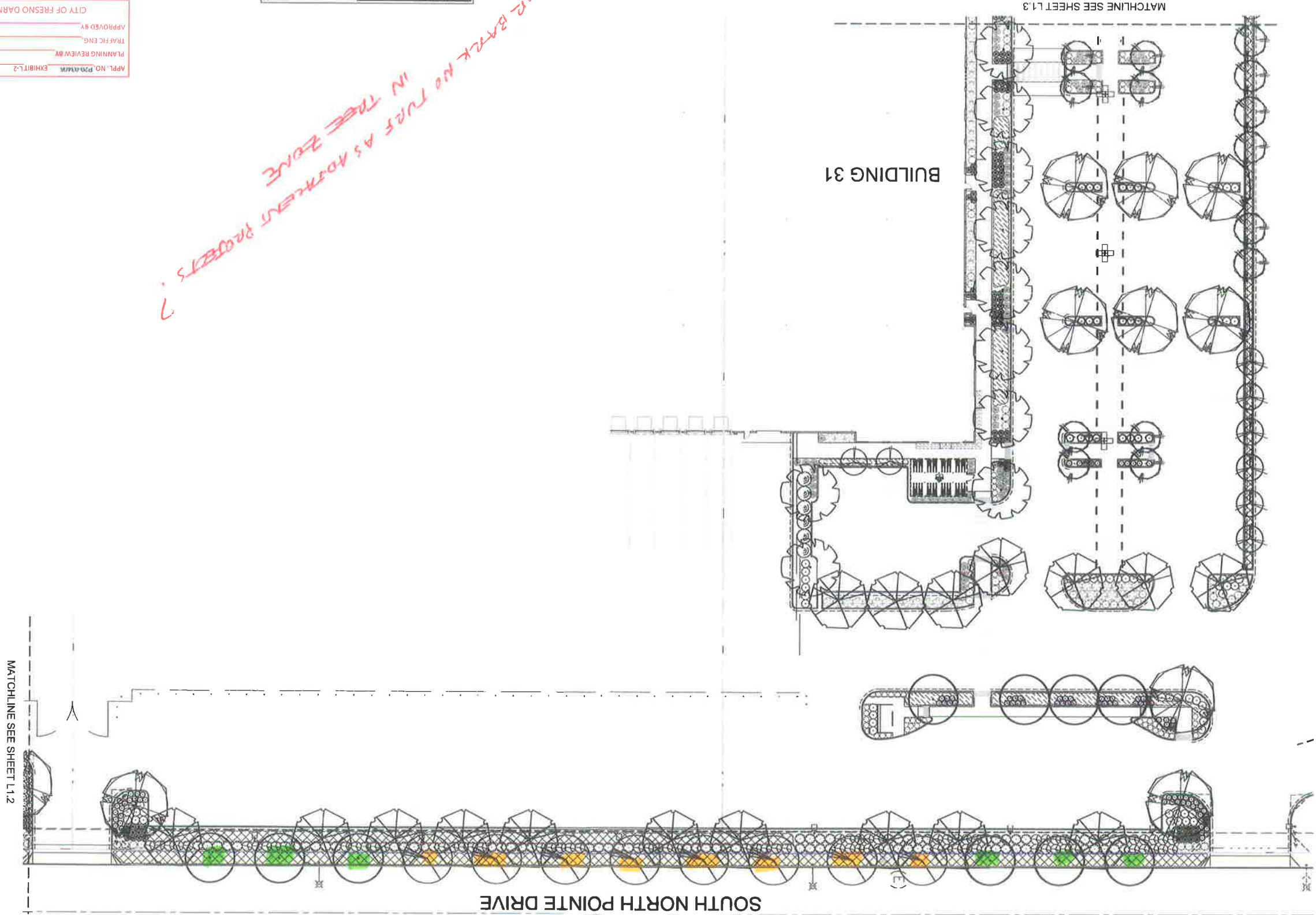
PARTIAL BUILDING 31 - SITE PLAN - SOUTH

SCALE: 1"=30'-0"

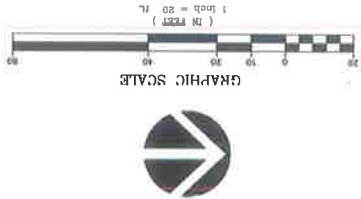
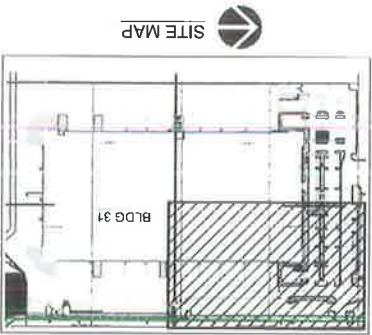
\\wma-arch.com\wm\SNR\17\0048\00\Architectura\Cad\00\PLANNING\Minor Modification (Blda. 31)\0048\_31\_A11b.dwg







GENERAL NOTES:  
1. ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIBER BARK DRESSING.  
2. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC WATER-CONTROLLING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.



APPL. NO. 2017-001-001 EXHIBIT L-2 DATE 10/1/17  
PLANNING REVIEW BY DATE 10/1/17  
TRAFFIC ENG. DATE 10/1/17  
APPROVED BY DATE 10/1/17  
CITY OF FRESNO DARRM DEPT

LANDSCAPE PLAN

DATE	REVISIONS
10/1/17	1.0
10/1/17	1.1
10/1/17	1.2
10/1/17	1.3
10/1/17	1.4
10/1/17	1.5
10/1/17	1.6
10/1/17	1.7
10/1/17	1.8
10/1/17	1.9
10/1/17	2.0

3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA

WARE MALCOMB

Landscape Architecture

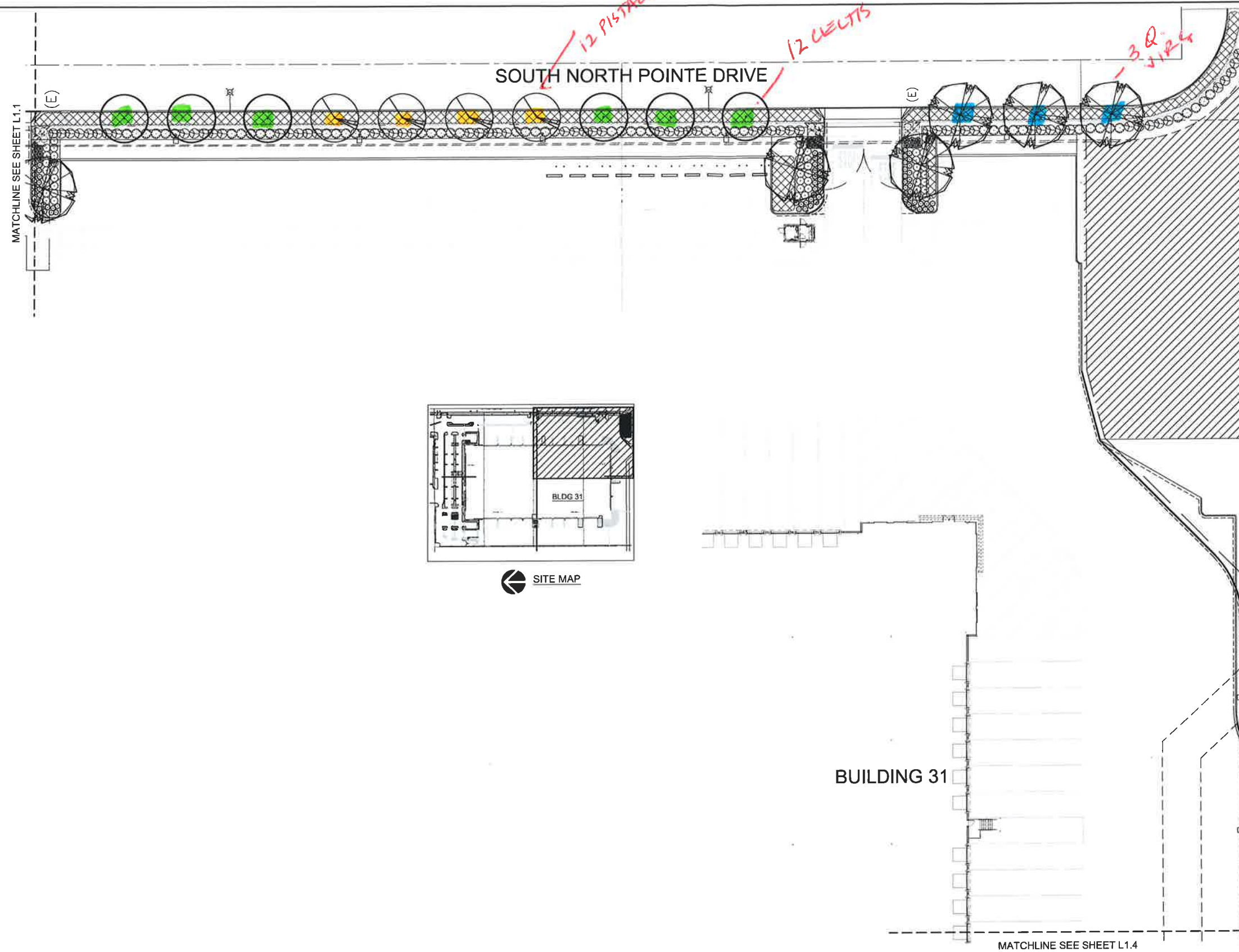
3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA 93701  
P 559.344.9620  
F 559.344.9621

WARE MALCOMB

Landscape Architecture

3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA 93701  
P 559.344.9620  
F 559.344.9621





APPL. NO. P20-03406 EXHIBIT L-3 DATE 1/26/2020  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO DARM DEPT

**GENERAL NOTES:**

1. ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
2. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.

[illegible]

PA / PM:	N.D.
DRAWN BY:	
JOB NO.:	SNR17-0048-0

SHEET

L1.2

**NORTH POINTE BUSINESS PARK  
BUILDING 31  
3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA**



architecture  
planning  
interiors  
graphics  
site development

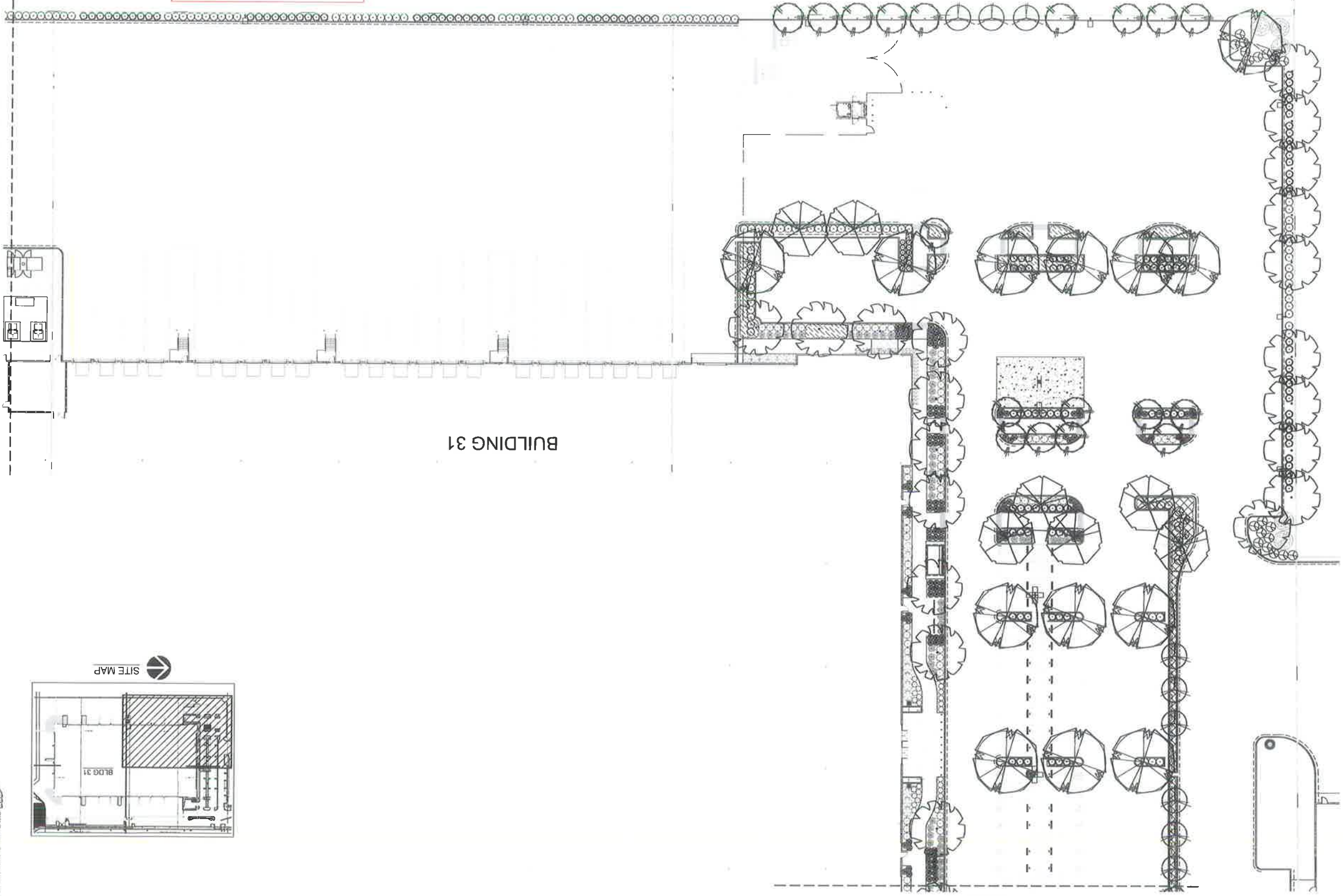
**WARE MALCOMB**  
Leading Design for Commercial Real Estate



**RW Stover & Associates, Inc.**  
**Landscape Architecture**  
 1830 North Main Street, Suite 4  
 West Creek, CA 94596

CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT

MATCHLINE SEE SHEET L1.1



MATCHLINE SEE SHEET L1.4

REFER TO SHEET 110 FOR PLANT LIST, NOTES AND DETAILS.

**GENERAL NOTES:**

1. ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING
2. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-SENSITIVE CONTROLLER OPERATION.

APPL NO. P21-03466	EXHIBIT 4	DATE	REVISION
PLANNING REVIEW BY	DATE	TRAFFIC ENG	DATE
APPROVED BY	DATE		
CITY OF FRESNO DARM DEPT			



015710

LANDSCAPE PLAN

[illegible]

**NORTH POINTE BUSINESS PARK**  
**BUILDING 31**  
**3611 S. NORTHPOINTE DR.**  
**FRESNO, CALIFORNIA**

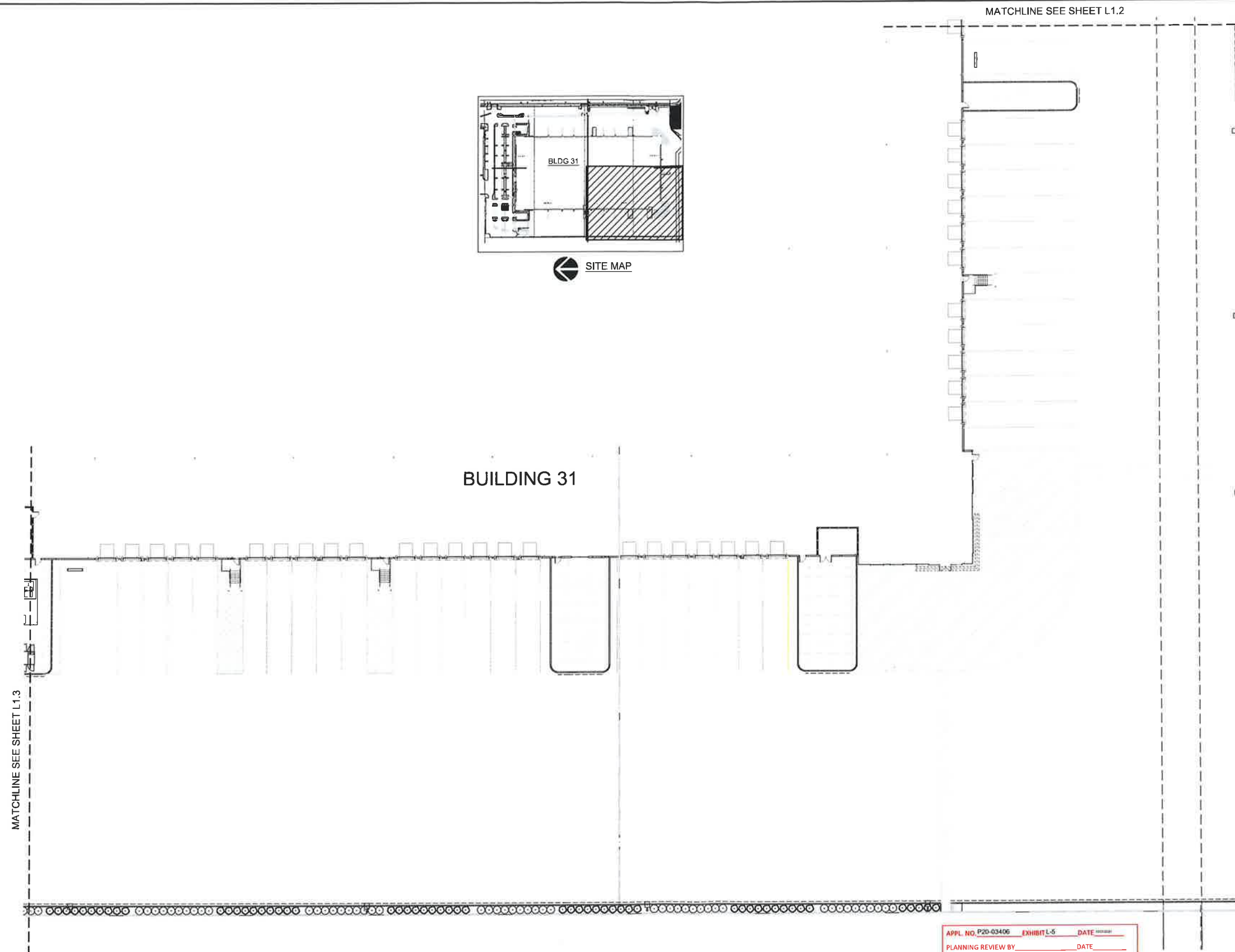


architecture  
planning  
interiors  
graphics  
site development

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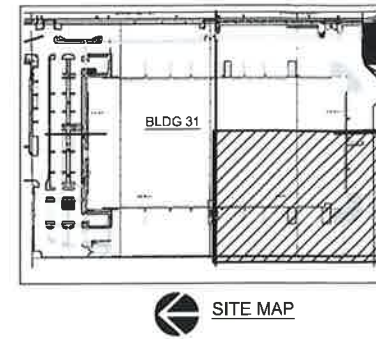






MATCHLINE SEE SHEET 113

MATCHLINE SEE SHEET L1.2

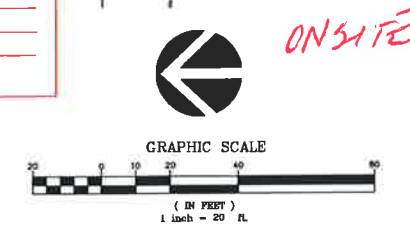
 [SITE MAP](#)

BUILDING 31

APPL. NO. P20-03406 EXHIBIT L-5 DATE 02/23/2021  
 PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO DARM DEPT

**GENERAL NOTES:**

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2. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.



ON SITE



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site development

2400 centine ramon suite 300  
san ramon, california 94583  
p 925 244 9620  
f 925 244 9621



**NORTH POINTE BUSINESS PARK  
BUILDING 31  
3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA**

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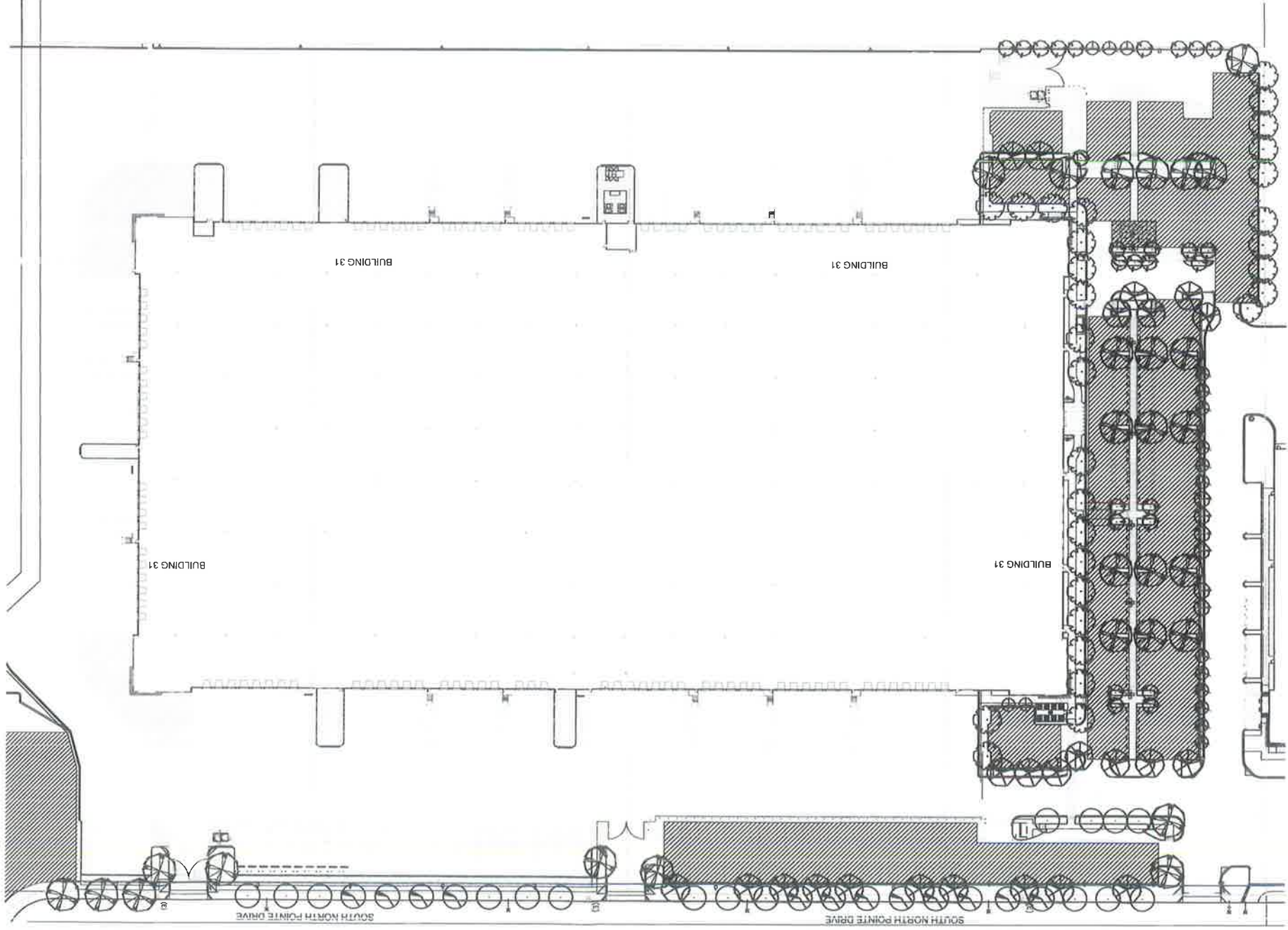
PA / PM	N.D.
DRAWN BY:	
JOB NO.:	SNR17-0048-00

SHEET

L1.4


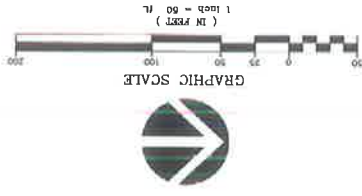
REFER TO SHEET L1.0 FOR PLANT LIST, NOTES AND DETAILS.

CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT



SYMBOL		BOTANICAL NAME		COMMON NAME		SIZE		LARGE MATURE TREE	
	CELTIS GINENSIS					40'x14'0W	LARGE		
	KOELREUTERIA PANICULATA					20'x20'W	SMALL		
	PRINUS C. PENSANIN					25'x25'W	SMALL		
	PISTIA CHINENSIS					30'x40'W	LARGE		
	PLATANUS COLUMBIA					30'x40'W	LARGE		
	QUERCUS VIRGINIANA					70'x70'W	LARGE		
	ULMUS AMERICANA					30'x10'W	LARGE		

TREE CANOPY SHADE CALCULATIONS									
TOTAL PAVED AREA (SQ. FT.)									
113,452									
MINIMUM REQUIRED AREA TO BE SHADED (SQ. FT.)									
56,726									
SHADE CANOPY		FULL CANOPY		3/4 CANOPY		1/2 CANOPY		1/4 CANOPY	
COVERAGE		80% SF		72% SF		40% SF		24% SF	
LARGE TREES		33		0		37		1	
SMALL TREES		314 SF		181 SF		157 SF		79 SF	
PARK LINES		18		0		14		1	
TOTAL SQ. FT. SHADED:									
57,712									
SHADE REQUIRED (SQ. FT.):									
56,726									
SHADE PROVIDED (SQ. FT.):									
57,712									
PERCENT SHADED:									
40%									

 TOTAL PAVED AREA (113,452 SQ. FT.)

**RW Scott & Associates, Inc.**  
**Landscape Architecture**  
450 South Main Street, Suite 2  
Westerville, OH 43081  
614/891-1281

**NORTH POINTE BUSINESS PARK  
BUILDING 31  
3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA**



2400 Eastman Avenue Suite 300  
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P 925 344 9620  
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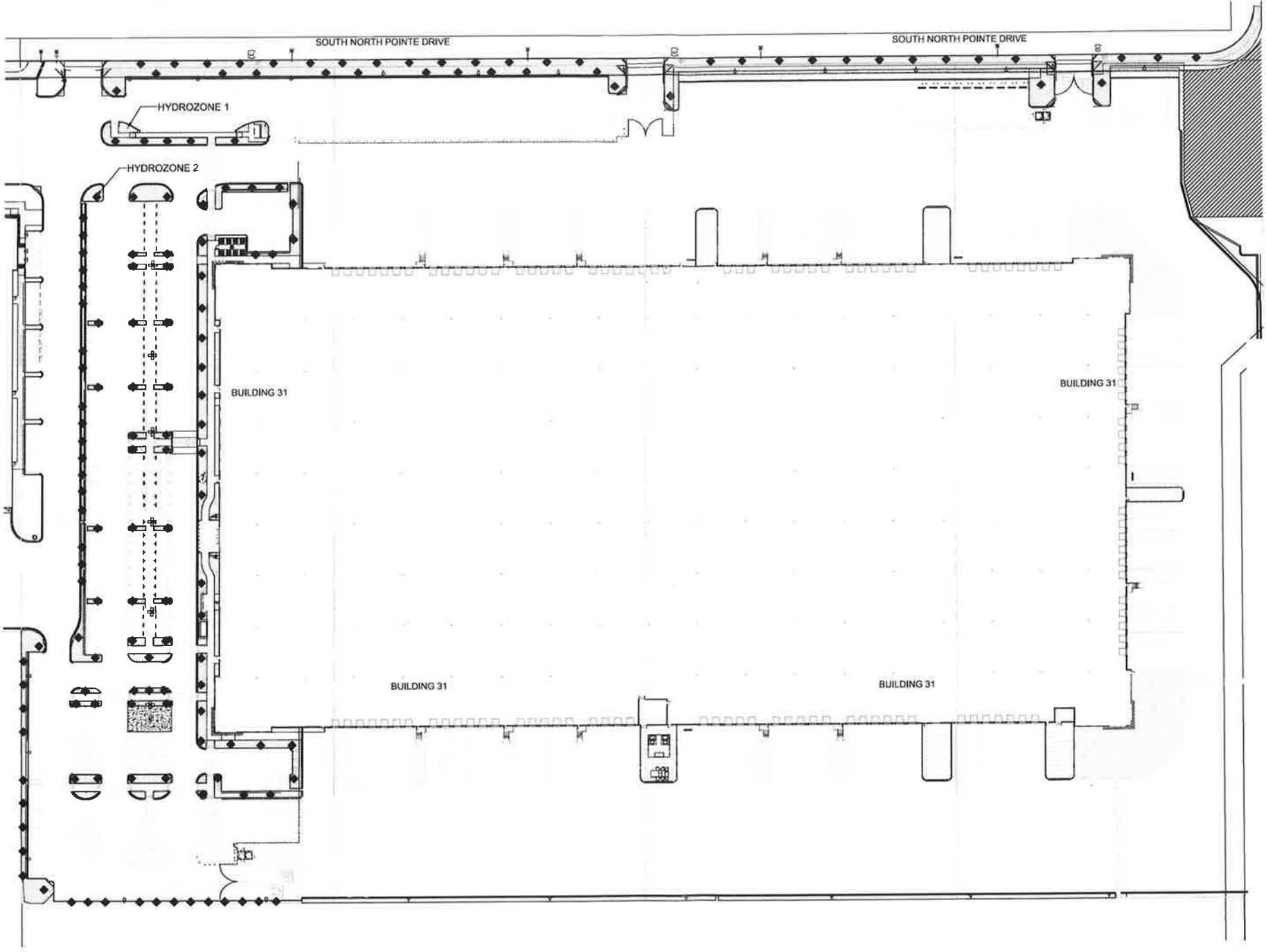
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## PARKING LOT SHADE CALCULATIONS

NO.	5M17-0048-00
NAME	
DATE	

L1.5





WATER EFFICIENT LANDSCAPE WORKSHEET - BY HYDROZONE										
REFERENCE EVAPOTRANSPIRATION (ET <sub>0</sub> )										
51.3										
HYDROZONE #	HYDROZONE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREAS:										
1	LOW WATER USE	Shrubs	0.3	Drip/Bubbler	0.8	0.375000	10000	3750.00	13383.3	53%
2	MEDIUM WATER USE	Trees	0.5	Bubbler	0.8	0.617188	3000	1851.56	22111.1	7%
TOTALS:							19772	2603.56	26035.6	100%
SPECIAL LANDSCAPE AREAS:										
POOL AREA										
POOL										
WATER FEATURE										
TOTALS:							0			
ETWU TOTAL:								242.449		
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):								281.317		
ETAF CALCULATIONS:										
REGULAR LANDSCAPE AREAS:										
TOTAL ETAF x AREA						7.653	<div>NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.</div>			
TOTAL LANDSCAPE AREA						19,772				
AVERAGE ETAF						0.39				
ALL LANDSCAPE AREAS:										
TOTAL ETAF x AREA						7.653				
TOTAL LANDSCAPE AREA						19,772				
AVERAGE ETAF						0.39				

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

HYDROZONE LEGEND:



HYDROZONE 1: LOW WATER USE- SHRUBS DRIP/BUBBLER



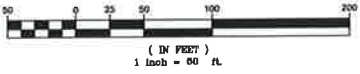
HYDROZONE 2: MED. WATER USE- TREES BUBBLER

NO SPECIFICATIONS FOR MANUFACTURER OF IRRIGATION OR P.O.C. LOCATION.

TREES ON SEPARATE 2 BUBBLER VALUE



GRAPHIC SCALE



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Fresno, California 93721  
F 505.444.6231



**NORTH POINTE BUSINESS PARK  
BUILDING 31**  
3611 S. NORTHPOINTE DR.  
FRESNO, CALIFORNIA

DATE	REVISIONS
07/22/2020	MAJOR REVISION SUBMITTAL

PA / PM: N.D.  
DRAWN BY:  
JOB NO.: TNR17-0048-00

SHEET  
**L1.6**



