



2600 Fresno Street, Third Floor  
Fresno, California 93721-3604  
(559) 621-8277 FAX (559) 498-1026

Development and Resource Management Department  
Jennifer K. Clark, AICP, Director

February 17, 2021

Please reply to:  
Jose Valenzuela  
(559) 621-8070

Nick Yovino  
Quad Knopf, Inc.  
[npyvovino@gmail.com](mailto:npyvovino@gmail.com)  
(Sent via email only)

**SUBJECT: PLAN AMENDMENT/REZONE APPLICATION NOS. P20-00635 & CONDITIONAL USE PERMIT APPLICATION NO. P20-00636, LOCATED AT 4645 EAST JENSEN AVENUE (APNs: 480-030-60)**

Dear Mr. Yovino:

The Fresno City Council, on March 4, 2021, approved Plan Amendment Application Nos. P20-00635 and Conditional Use Permit Application No. P20-00636, pertaining to  $\pm 12.18$  acres of vacant property. The approvals were granted to amend the 2035 Fresno General Plan to change the planned land use designations for the subject property from the Residential Urban Neighborhood ( $\pm 3.53$  acres), Commercial Community ( $\pm 2.15$  acres), and Light Industrial ( $\pm 5.90$  acres) to the Residential High Density ( $\pm 3.4$  acres), Commercial Community ( $\pm 6.5$  acres) and Light Industrial ( $\pm 2.2$  acres).

The approvals also granted to amend the Official Zoning Map of the City of Fresno to reclassify the subject property from the RM-2/UGM (*Residential Multi-Family, Urban Neighborhood/Urban Growth Management*) ( $\pm 3.53$  acres), CC/UGM (*Community Commercial/Urban Growth Management*) ( $\pm 2.15$  acres) and IL (*Light Industrial/Urban Growth Management*) ( $\pm 5.90$  acres) to the RM-3/UGM (*Residential Multi-Family, High Density/Urban Growth Management*) ( $\pm 3.4$  acres), CC/UGM (*Community Commercial/Urban Growth Management*) ( $\pm 6.5$  acres) and IL/UGM (*Light Industrial/Urban Growth Management*) ( $\pm 2.2$  acres) zone districts in accordance with the Plan Amendment Application No. P20-00635.

Lastly, approvals were granted for the construction a  $\pm 170,000$  square-foot, 4-story, multi-family residential building with a  $\pm 4,000$  square-foot day care center; a  $\pm 4,000$  square-foot convenience store with an eight-dispenser/16-station fuel canopy; and  $\pm 73,091$  square-feet of retail/office buildings.


The Fresno City Council adopted the Mitigated Negative Declaration prepared for Environmental Assessment (EA) No. P20-00635/P20-00636, dated February 10, 2021, for the proposed project pursuant to the California Environmental Quality Act (CEQA). The approval of this project is subject to compliance with the following Conditions of Approval:

#### **CONDITIONS OF APPROVAL**

## PART A – ITEMS TO BE COMPLETED

**The following items are required prior to issuance of building permits or certificate of occupancy:**

Planner to check when completed		
<input type="checkbox"/>	1.	Development shall take place in accordance with Exhibits, A-1, E-1, E-2, E-3, E-4, E-5, E-6, E-7 and L-1 dated February 17, 2021. Transfer all red line notes, comments, conditions, etc. to the corrected exhibit(s) and <b>submit to planner at least 15 days prior to sign off of the site plan.</b>
<input type="checkbox"/>	2.	Provide an elevation detail for the proposed fuel station canopy <b>to planner prior to plan check review submittal.</b> Canopy and support columns shall have architectural details and materials to match the design treatments of the commercial center buildings.
<input type="checkbox"/>	3.	A building with a drive-through lane shall not be located within 400 feet of another structure containing a drive-through facility. Revise plan to meet the separation requirements for drive-through facilities as outlined in FMC 15-2728, <b>prior to the issuance of building permits.</b>
<input type="checkbox"/>	4.	Pay the required fees as stated in the memoranda from the Fresno Metropolitan Flood Control District (FMFCD), dated June 29, 2020, <b>prior to issuance of building permits.</b> Provide proof of payment.
<input type="checkbox"/>	5.	<b>Prior to issuance of building permits</b> , the applicants will be required to submit complete food facility plans and specifications to the Fresno County Department of Public Health, Environmental Health Division, for review and approval. Contact the Consumer Food Protection Program at (559) 600-3357 for more information.
<input type="checkbox"/>	6.	<b>Prior to the issuance of building permits</b> , the applicant shall submit three (3) sets of complete plans and specifications regarding the installation of any underground storage tanks to the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency (CUPA), at (559) 600-3271 for more information.
<input type="checkbox"/>	7.	<b>Prior to the submittal of plans for plan check review</b> , all outside utility equipment shall be effectively screened from public view. The parapet heights of all buildings shall effectively screen all roof-top mechanical and electrical equipment and all ground mounted electrical utility circuit panel cabinets be installed within the buildings.
<input type="checkbox"/>	8.	<b>Prior to the submittal of plans for plan check review</b> , design shall incorporate landscaping and half screen walls to screen vehicles while allowing eye level visibility into the service station.

	9. Add applicable notes to the site plan from the attached “Notes and Requirements for Entitlement Applications” document.
---	--

## PART B – OTHER REQUIREMENTS

### 1) Planning/Zoning/Environmental Compliance Requirements

- a) Development and operation shall take place in accordance with the attached “Notes and Requirements for Entitlement Applications” as applicable.
- b) Development shall take place in accordance with the policies of the Fresno General Plan, Roosevelt Community Plan, Residential High Density, Community Commercial and Light Industrial planned land use designations.
- c) Development shall take place in accordance with the RM-3/UGM (*Residential Multi-Family, High Density/Urban Growth Management*), CC/UGM (*Community Commercial/Urban Growth Management*) and IL/UGM (*Light Industrial/Urban Growth Management*) zone districts, and all other applicable sections of the Fresno Municipal Code (FMC).
- d) Comply with the operational statement submitted for the proposed project dated February 17, 2021.

### 2) City and Other Services

Development shall take place in accordance with the attached memoranda and letters from the following City of Fresno Departments and partner agencies:

- Department of Public Works, Traffic & Engineering Services Division dated June 18, 2020;
- Department of Public Works, Traffic Operations Division (TIA) dated June 15, 2020
- Department of Public Works, CFD Division dated May 26, 2020;
- Fresno Irrigation District dated June 10, 2020;
- Department of Public Works, Median Island Maintenance Division dated June 1, 2020;
- Department of Public Works, Land Division & Engineering Division dated June 5, 2020;
- Department of Public Utilities, Solid Waste Division dated June 12, 2020;
- Department of Public Utilities, Water Division dated June 5, 2020;
- Department of Public Utilities, Sewer Division dated June 12, 2020;
- Department of Transportation, FAX Division dated May 21, 2020;
- Planning and Development Department, Long Range Planning Division dated August 6, 2020 & February 4, 2021;
- Fresno Police Department dated June 10, 2020;
- Fire Department/Fire Prevention & Technical Services Division dated June 10, 2020;
- Fresno Unified School District dated May 21, 2020;
- San Joaquin Valley Air Pollution Control District dated July 16, 2020
- Fresno Metropolitan Flood Control District dated June 29, 2020 & July 6, 2020;

- County of Fresno Department of Public Health dated May 27, 2020.

### 3) Miscellaneous Requirements

- a) Building plans and permits are required.
- b) Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
  - i) All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;
  - ii) All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
  - iii) Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.
- c) Approval of this site plan may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the Development Permit process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this site plan or subsequent amendments or revisions.

### **BACKCHECK PROCESS**

**Please Note:** To complete the back-check process for building permits relative to planning and zoning issues, submit electronic copies of this corrected, final site plan, together with electronic copies of the elevations, landscape, and irrigation plans, any fees and title reports for required covenants, and any required studies or analyses to Jose Valenzuela in the Development Services Division for final review and approval.

It may be necessary to resubmit these “corrected exhibits” a second time if not all the conditions have been complied with or are not shown on the exhibits. Once the “corrected exhibits” are approved by the Development Services Division, please place these exhibits in the plan check set.

Copies of the final approved site plan, elevations, landscaping, and irrigation plans stamped by the Development Services Division must be substituted for unstamped copies of the same in each of the sets of construction plans submitted for plan check prior to the issuance of building permits.

## **EXPIRATION**

The exercise of rights granted by these special permits must be commenced by **March 4, 2024**, (three years from the date of approval). An extension of up to one additional year may be granted, provided that the findings required under FMC Section 15-5013-A.1 are made by the Director. All required improvements must be installed prior to the operation of the proposed use.

If you have any questions regarding this letter, feel free to give me a call at the number listed above.

Sincerely,



Jose Valenzuela, Planner  
Development Services Division

Enclosures: A-1, E-1, E-2, E-3, E-4, E-5, E-6, E-7 and L-1 dated February 17, 2021  
Comments from Partner Agencies & Departments

Job Address File: 4645 East Jensen Avenue S/A

## Agency Comments for Conditional Use Permit Application No. P20-00636

### **Fire Department dated June 10, 2020**

Resubmittal required, see fire redlined site plan uploaded in documents and items below to insure all corrections are made prior to resubmittal:

Note on plan: All weather access roads shall be installed and maintained in a serviceable condition prior to and during construction. (FFD Development Policy 403.002)

Note on plan: Turns in private drives for fire apparatus access shall have minimum 44 foot centerline turn radius.

The fire access surrounding the apartment buildings as shown are too narrow as the building height is 45' from ground level, aerial access is required as per the following notes. Driveways along the east side of the building must be a minimum of 26 feet in width.

Sheet A100, isn't dimensioned and the scale is off as I only get about 22 feet wide on the required 26 foot aerial access on the east side. Sheet A101 is dimensioned and shows 27'. Revise the site plans so they all match with minimum 26 feet for the required aerial access.

Note on plan: Where roof eaves are more than 30 feet in height, measured from grade, 26-foot driveways shall be located directly adjacent to at least one long side of the building. The aerial fire apparatus access shall extend at least 45 feet beyond each end of the building. This allows for access to the corners of the building and to accommodate a set up area out of the collapse zone. Aerial fire apparatus access shall comply with all access and turnaround requirements. (FFD Development Policy 403.002)

Note on plan: Aerial fire apparatus access (near edge) shall be located a minimum 15 feet and a maximum 30 feet away from the building. (FFD Development Policy 403.002)

Note on plan: Overhead utility, power lines, large trees, and other obstructions shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. (FFD Development Policy 403.002)

The new required public and private hydrants as noted during DRC and provided on the fire site redlines by FPE Byron Beagles were not addressed on this plan. See the new fire redlined site plan in the documents and spot the hydrants as noted. There are also

some additional existing public hydrants not noted on this plan. The water main must be extended and public hydrants added the entire length of the project as indicated and previously noted.

Install on site hydrants with a minimum 8 inch main and a fire flow of 2500 GPM for multi-family residential. See ATTACHED FIRE REDLINES IN DOCUMENTS for locations. Public and private hydrants for multi-family dwellings are spaced a maximum of 450 feet apart.

The water main in E Jensen must be extended across the property frontage to have connections both at Jensen on the east side of the parcel and at S Maple.

Note on plan and show locations as provided: Install on site hydrants with a minimum 8 inch main and a fire flow of 1500 GPM. See plan for locations. Public hydrants in commercial areas are spaced a maximum of 450 feet apart. SEE FIRE REDLINES IN DOCUMENTS

Note on plan: Public street hydrants must be installed. Coordinate location with Public Works and see the attached FIRE REDLINES in documents.

Show the proposed locations of all fire risers and fire department connections as requested in DRC notes. It appears from the proposed building list provided that all buildings will have fire sprinklers except F & G. If F is proposed as an A2 tenant with an occupant load of 100 or more, fire sprinklers will be required regardless of square footage.

Show the location of the fire department connections. Fire department connections shall not be installed within five (5) feet of any building opening, excluding a fire department riser access door. (FFD Development Policy 405.025)

Note on plan: Fire department connections shall be located within forty (40) feet of a fire apparatus access lane. (FFD Development Policy 405.025)

Note on plan: The minimum size of all fire department connections shall be based upon the system type. No connection shall be less than 2½ inch in size. (FFD Development Policy 405.025)

Note on plan: Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the fire chief. 2019 CFC, Section 912.2.1.

Note on plan: Address Identification on the FDC's. For new and existing buildings, the fire code official is authorized to require approved address or building area identification

signage as needed to readily determine which building or area of a building protected by fire department connections. FMC Section 10-50912.2.3

The buildings as called out in the project description document and the site plan project information do not match in building numbers or square footage assigned.

Project Information add "M" to the occupancy groups, and potentially A2.

This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

Public Works Traffic Planning dated June 18, 2020

Public works traffic planning conditions of approval and redlined exhibit cp1 date 06/18/2020 have been uploaded.

If you have questions, please contact Andreina Aguilar at (559) 621-8674 or at [andreina.aguilar@fresno.gov](mailto:andreina.aguilar@fresno.gov).

**Department of Transportation, FAX dated May 21, 2020**

Need to ensure the sidewalk width at the bus stop is a minimum of 10 feet.

**Department of Public Utilities, Water Division dated June 5, 2020**

1. Install a 16-inch water main (Including installation of City fire hydrants) in East Jensen Avenue from South Sierra Vista Avenue west to South Maple Avenue.
2. Replace the existing 8-inch water main (including City fire hydrants) with a 12-inch water main (Including installation of City fire hydrants) in South Maple Avenue from East Jensen Avenue north to Pump Station 354.
3. On-site water facilities shall be private.
4. Installation of water service(s) & meter box(es) shall be required.
5. Two independent sources of water, meeting Federal and State Drinking Water Act Standards, are required to serve the tract including any subsequent phases thereof. The two-source requirement may be accomplished through any combination of water main extensions, construction of supply wells, or other acceptable sources of water supply approved by the Assistant Public Utilities Director.

6. Destruct any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-81 and 74-90 or current revisions issued by California Department of Water Resources and City of Fresno standards.

7. Engineered improvement plans prepared by a Registered Civil Engineer are required for proposed additions to the City Water System.

8. All Public water facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.

The water supply requirements for this project are as follows:

1. The project applicant shall be required to pay Water Capacity Fee charges for the installation of new water services and meters to serve the property.

a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.

b. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule.

c. The City reserves the right to require an applicant to increase or decrease the size of a water meter for a project or a property to ensure that the meter is properly sized to accommodate fire protection requirements, and to allow for accurate volumetric flow measurements at low- and high-flow conditions.

d. The Water Capacity Fee Charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.

2. The project applicant shall be required to pay all other water-related fees and charges in accordance with the City's Master Fee Schedule and Municipal Code.

### **Department of Public Utilities, Solid Waste Division dated June 12, 2020**

#### **General Findings:**

This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Mid Valley Disposal at 559-237-9425.

#### **General Requirements:**

- This location will require a one, 2-cell trash enclosure, designed to accommodate separate facilities containing 2 - 4cu. yd. bins, one for trash and one for recycling

collection to be constructed to current Solid Waste standards (P-33, P-34 and P-95) to be serviced weekly.

- Developer will need to provide a 44' (centerline) turning radius at all corners and a T-turnaround (or hammerhead) area where the solid waste vehicle is to turn around.

Future Needs/Requirements:

Revise plans to address concerns stated above and resubmit for approval.

**Department of Public Utilities, Sewer Division dated June 12, 2020**

Comments

Sewer Requirements

The nearest sanitary sewer main to serve the proposed project is an 8-inch sewer main located in South Maple Avenue. Sanitary sewer facilities are available to provide service to the site subject to the following requirements:

1. Construct an 8-inch sanitary sewer main (including sewer house branches to adjacent properties) in East Jensen Avenue from the existing 30-inch sewer trunk located at the intersection of South Maple and East Jensen Avenues to the east property line of said project.
2. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
3. All underground utilities shall be installed prior to permanent street paving.
4. All sanitary sewer mains shall be extended within the proposed tract to provide service to each lot.
5. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed additions to the City Sewer System.
6. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.
7. Installation of sewer house branch(s) shall be required.
8. Separate sewer house branches are required for each lot.
9. Street work permit is required for any work in the Right-of-Way.
10. On-site sanitary sewer facilities shall be private.

11. Abandon any existing on-site private septic systems.

12. The Project Developer shall contact Wastewater Management Division/Environmental Services at (559) 621-5100 prior to pulling building permits regarding conditions of service for special users.

#### Sanitary Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Sewer Lateral Charge.

2. Sewer Oversize Area #33.

3. Sewer Facility Charge (Non-Residential)

4. Wastewater Facilities Charge (Residential Only)

5. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility charges per Fresno Municipal Code Sections 6-304 and 6-305. Sewer Facility Charges consist of two components, a Wastewater Facilities Charge and Trunk Sewer Charge where applicable.

6. Sewer Facility Charges are collected after occupancy on a monthly basis over time based on metered (water or sewer effluent) usage. The developer may contact the Department of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect, at that time, per Fresno's Master Fee Resolution. The developer shall provide data regarding estimated sewer discharge rates [flow] and loading [BOD/TSS levels] required for calculating the estimated charges.

#### **Fresno Police Department dated June 10, 2020**

The Fresno Police Department Southeast Policing District is not opposed to the construction of this unit, with the following conditions:

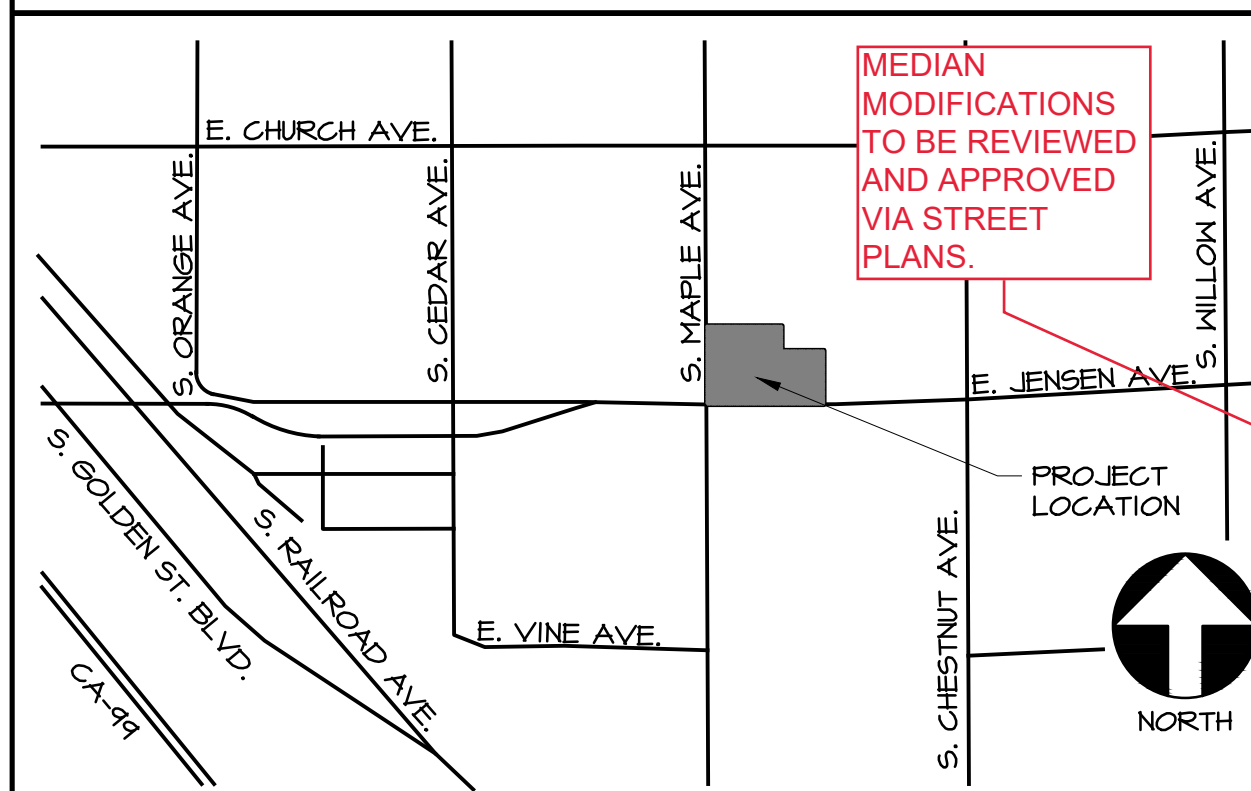
Please consider combating crimes through the implementations of Crime Prevention through Environmental Design (CPTED) concept. Examples: Sufficient lightings helps deter crime and allows officers to properly evaluate the area of any potential criminal activities. Surveillance cameras should be installed at all entry/exit points, points of sales locations, locations where groups of people would congregate and parking lots. Surveillance systems should be digital HD format; hold a minimum of fourteen days (14) of recordings has the ability to play back and is downloadable.

## **Long Range Planning dated August 6, 2020**

This project is located on a parcel that includes/is adjacent to a proposed Class I Bike Path. The path is planned for the north side of Jensen Ave. For more information, see the City of Fresno Active Transportation Plan at <https://www.fresno.gov/atp>

This project is near the proposed boundary for the South Central Specific Plan which is currently being developed. For more information, please visit: <https://www.fresno.gov/darm/planning-development/plans-projects-under-review>

## VICINITY MAP



MEDIAN MODIFICATIONS TO BE REVIEWED AND APPROVED VIA STREET PLANS.

SEE DETAILED REDLINES ON A-2 AND A-3. REVISE ALL EXHIBITS ACCORDINGLY. SITE PLAN IS INCOMPLETE. DOES NOT PROVIDE PROPOSED DEDICATIONS

## DEMOLITION KEYNOTES

- INDICATES (E) TREE TO BE DEMOLISHED, TYP.
- DEMO (E) FENCE AT PERIMETER OF PONDING BASIN
- DEMO (E) PONDING BASIN TO BE FILLED AND COMPACTED; SEE CIVIL
- DEMO (E) STORM DRAIN LINE TO BE DEMOLISHED OR ABANDONED; SEE CIVIL
- DEMO (E) OVERHEAD POWER LINE AND POLES TO BE DEMOLISHED AND UNDERGROUNDED
- DEMO (E) OVERHEAD TELEPHONE LINE AND POLES TO BE DEMOLISHED
- DEMO (E) MEDIAN AND CURB AS REQUIRED TO CONSTRUCT (N) LEFT TURN LANE; SEE CIVIL
- DEMO (E) MEDIAN LANDSCAPING AND IRRIGATION AT AREA OF DEMOLISHED MEDIAN; SEE CIVIL AND LANDSCAPING
- RELOCATE (E) 'SIGN AHEAD' SIGN; VERIFY LOCATION W/ CITY OF FRESNO

## PROJECT DIRECTORY

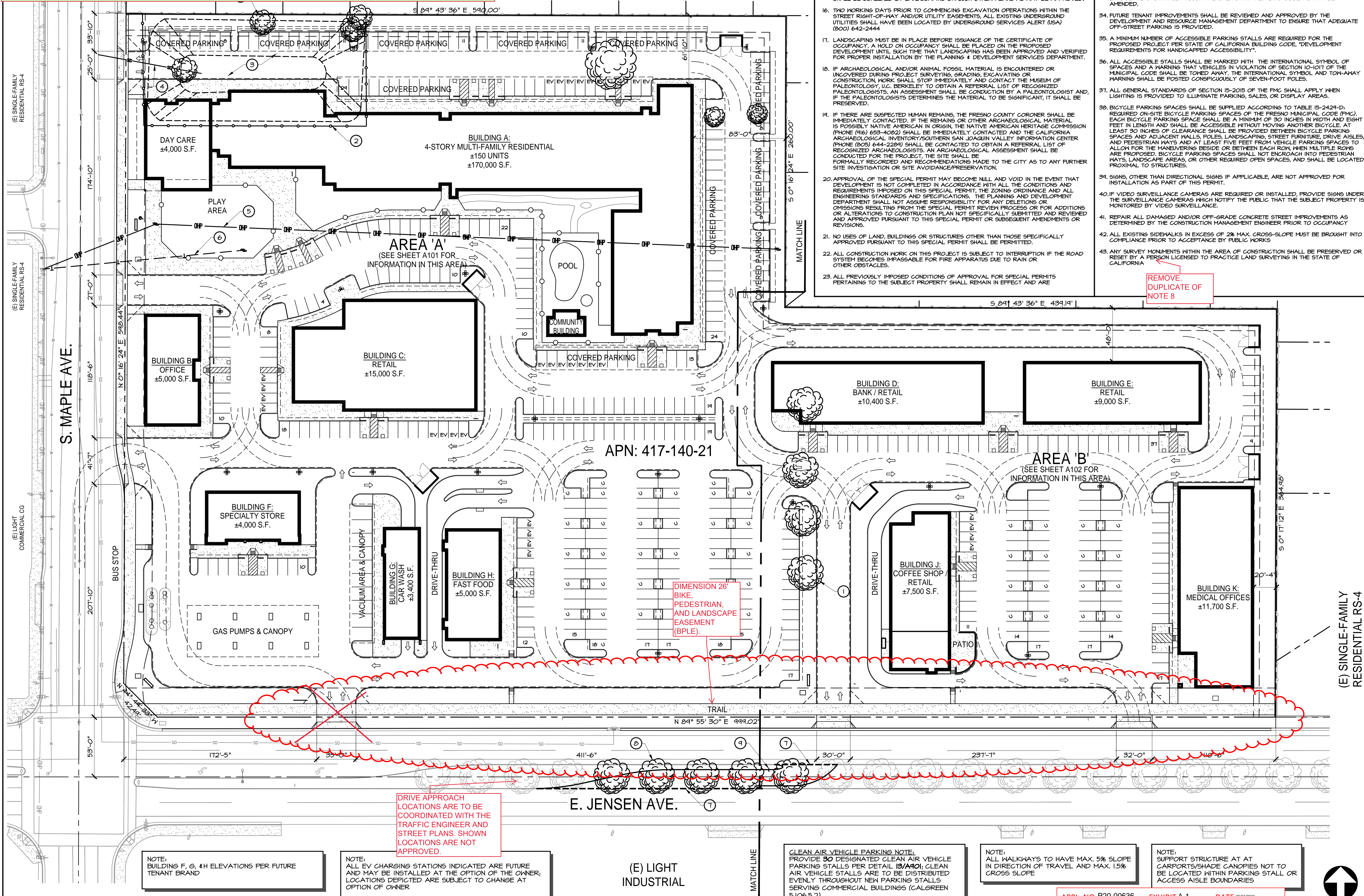
<b>OWNER</b> HAMEL INVESTMENT PROPERTIES, LLC 10768 S NAVARRO WAY SOUTH JORDAN, UT 84009 (801) 897-1578 CONTACT: SHISHU BEDI E-MAIL: shishu@designtrends.re	<b>CIVIL ENGINEER</b> GATEWAY ENGINEERING 5811 E. PRINCETON AVE. FRESNO, CA 93727 (559) 320-0344 CONTACT: JOEY DAGGETT EMAIL: JOEY@GATEWAYENG.COM
<b>PROJECT ARCHITECT</b> THE TAYLOR GROUP ARCHITECTS 410 PARK CREEK DRIVE CLOVIS, CA 93611 (559) 708-4046 CONTACT: RUSS TAYLOR, CLAUDIO DADDATO E-MAIL: russ@tgarchitects.com claudio@tgarchitects.com	<b>TRAFFIC ENGINEER</b> JBL TRAFFIC ENGINEERING 516 W SHAW AVE. FRESNO, CA 93704 (559) 570-8881 CONTACT: JOSE LUIS BENAVIDES E-MAIL: jbenavides@jbltraffic.com
<b>LANDSCAPE ARCHITECT</b> WOOD ARCHITECTURE 1512 W MINERAL KING AVE. VISALIA, CA 93291 (559) 786-9600 CONTACT: TYSON CARROLL E-MAIL: tyson@woodarchitecture.com	<b>PLANNING CONSULTANT</b> NICK YOYINO SR. / QUAD KNOPF 1879 S HOMSAY AVE. FRESNO, CA 93727 (559) 255-1355 CONTACT: NICK YOYINO SR. E-MAIL: npoyino@gmail.com

## SITE GENERAL NOTES

- REPOSE SITE GENERAL NOTES TO INCLUDE MISSING NOTES AS OUTLINED IN THE CONDITIONS OF APPROVAL (COA).
- INCORPORATED HEREIN BY REFERENCE, EXCEPT AS MAYBE SPECIFICALLY MODIFIED BY THIS SPECIAL PERMIT.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AS INDICATED HEREON AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY BETWEEN THESE PLANS AND EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BID.
  - THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS OF SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE SUBMITTING BIDS.
  - PROVIDE MINIMUM OF 28' CLEARANCE FROM BUILDINGS FOR A DISTANCE OF 5'-0" AT LANDSCAPE AREAS, 18' MINIMUM AT PAVING AREAS.
  - NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
  - PROVIDE 1/2" MAX. STEP FROM EXTERIOR DOOR THRESHOLDS TO EXTERIOR SURFACE. CHANGES IN ELEVATIONS MORE THAN 6" ALONG EXIT WAYS SHALL BE BY MEANS OF AN APPROVED RAMP.
  - LAY OUT FORMS FOR WALKWAYS AND EXTERIOR SLABS IN FIELD FOR ARCHITECT'S APPROVAL BEFORE POURING.
  - CONTRACTOR TO PROVIDE THE BUILDING DEPARTMENT WITH SOIL COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
  - THE APPLICANT SHALL INSTALL AN APPROVED BACKFLOW PREVENTION ASSEMBLY ADJACENT TO THE WATER METER AND SHALL BE TESTED BY AN APPROVED AHWA CERTIFIED TESTER WITHIN 5 DAYS OF INSTALLATION WITH THE RESULTS SENT TO THE CITY UTILITIES DIVISION.
  - CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL) INTO THE BUILDING FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
  - THE SOILS REPORT SHALL BE A PART OF THESE PLANS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING RAMP.
  - PROVIDE ILLUMINATED ADDRESS SIGN, VISIBLE FROM THE STREET PRIOR TO FINAL INSPECTION PER FIRE DEPT. STANDARD.
  - THE SANITARY SEWER SERVICES, WATER, GAS AND OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF PAVING ON SITE.
  - ROOF MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BATTLED.
  - ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
  - TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND UTILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) (800) 642-2444.
  - LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
  - IF ARCHAEOLOGICAL AND/OR ANNUAL FOSSIL MATERIAL IS ENCOUNTERED OR UNCOVERED DURING PROJECT SURVEYING, GRADING, EXCAVATING OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY AND CONTACT THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
  - IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE (916) 693-4082) SHALL BE IMMEDIATELY CONTACTED AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE (805) 644-2299) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
  - APPROVAL OF THE SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT. THE ZONING ORDINANCE AND ALL ENGINEERING STANDARDS AND SPECIFICATIONS AND THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
  - NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SPECIAL PERMIT SHALL BE PERMITTED.
  - ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
  - ALL PREVIOUSLY IMPOSED CONDITIONS OF APPROVAL FOR SPECIAL PERMITS PERTAINING TO THE SUBJECT PROPERTY SHALL REMAIN IN EFFECT AND ARE
- REMOVE DUPLICATE OF NOTE 8

## PROJECT INFORMATION

SITE ADDRESS:	E. JENSEN & S. MAPLE FRESNO, CA 93704	← OBTAIN OFFICIAL ADDRESS FROM PLANNING DIVISION.
SITE PLAN REVIEW NO.:	-	
APN:	480-030-60	
EXISTING ZONING:	CC/LR/M-2/ USM	
EXISTING USE:	VACANT	
PROPOSED USE:	MIXED USE, MULTI-FAMILY RESIDENTIAL, COMMERCIAL, RETAIL AND OFFICE SPACES	
SITE AREA:	(530.561 SQ. FT.)	12.18 ACRES
BUILDING AREA:	A: FIRST FLOOR - DAY CARE A: FIRST FLOOR - RESIDENTIAL A: SECOND FLOOR - RESIDENTIAL A: THIRD FLOOR - RESIDENTIAL A: FOURTH FLOOR - RESIDENTIAL TOTAL BUILDING AREA:	\$4,000 SQ. FT. \$38,500 SQ. FT. \$42,500 SQ. FT. \$42,500 SQ. FT. \$42,500 SQ. FT. \$170,000 SQ. FT.
	BUILDING B: OFFICE	\$5,000 SQ. FT.
	BUILDING C: RETAIL	\$15,000 SQ. FT.
	BUILDING D: BANK/RETAIL	\$10,400 SQ. FT.
	BUILDING E: RETAIL	\$9,000 SQ. FT.
	BUILDING F: SPECIALTY STORE	\$4,000 SQ. FT.
	BUILDING G: CAR WASH	\$3,400 SQ. FT.
	BUILDING H: FAST FOOD	\$5,000 SQ. FT.
	BUILDING J: COFFEE SHOP/RETAIL	\$13,000 SQ. FT.
	BUILDING K: MEDICAL OFFICES	\$11,700 SQ. FT.
BUILDING HEIGHT:	FOUR STORIES FOR RESIDENTIAL; SEE ELEVATIONS SINGLE STORY FOR COMMERCIAL; SEE ELEVATIONS	
SITE COVERAGE:	21.4% (BLDG. FOOTPRINT/SITE AREA)	
TYPE OF CONSTRUCTION:	V-B IW FIRE SPRINKLERS	
OCCUPANCY GROUP:	R-2 / B	
MULTI-UNIT RESIDENTIAL PARKING:		
REQUIREMENTS PER FRESNO MUNICIPAL CODE TABLE 15-2404:		
STUDIO UNITS (30)	= MIN. 30 COVERED + 8 GUEST SPACES	
ONE-BR. UNITS (54)	= MIN. 54 COVERED + 24 GUEST SPACES	
TWO-BR. UNITS (66)	= MIN. 66 COVERED + 24 GUEST SPACES	
TOTAL PARKING REQUIRED (9'x18')	150 COVERED + 10 GUEST SPACES	
ACCESSIBLE PARKING REQUIRED:	11 SPACES (2 VAN + 4 STANDARD)	
PARKING PROVIDED:		
COVERED STALLS:	150 (9'x18')	
VISITOR STALLS:	10 (9'x18')	
ACCESSIBLE STALLS:	12 (9'x18')	
TOTAL STALLS:	232	
FUTURE RESIDENTIAL E.V. CHARGING STATIONS:	232 X .06 = 14 MIN. REQ'D. (PER CALGREEN 4.106.4.2)	
COMMERCIAL PARKING:		
REQUIREMENTS PER FRESNO MUNICIPAL CODE TABLE 15-2404:		
BUILDING B: OFFICE (1:400)	= MIN. 13 SPACES	
BUILDING C: RETAIL (1:450)	= MIN. 33 SPACES	
BUILDING D: BANK/RETAIL (1:400/1:450)	= MIN. 25 SPACES	
BUILDING E: RETAIL (1:450)	= MIN. 20 SPACES	
BUILDING F: SPECIALTY STORE (1:450)	= MIN. 9 SPACES	
BUILDING G: CAR WASH	N/A	
BUILDING H: FAST FOOD (1:150)	= MIN. 34 SPACES	
BUILDING J: COFFEE SHOP/RETAIL (1:150/1:450)	= MIN. 25 SPACES	
BUILDING K: MEDICAL OFFICES (1:275)	= MIN. 43 SPACES	
TOTAL PARKING REQUIRED:	202 SPACES	
ACCESSIBLE PARKING REQUIRED:	7 SPACES (2 VAN + 5 STANDARD)	
PARKING PROVIDED:		
STANDARD STALLS:	246 (9'x18')	
COMPACT STALLS:	44 (9'x17')	
ACCESSIBLE STALLS:	18 (9'x18')	
TOTAL STALLS:	363	
(ASSUME 25% TENANT-OCCUPANTS, 75% VISITORS)		
DESIGNATED CLEAN AIR VEHICLE PARKING STALLS REQ'D.:	363 X .08 = 30 MIN.	
FUTURE E.V. CHARGING STATIONS:	363 X .06 = 22 MIN. REQ'D. (PER CALGREEN 4.106.4.2)	



PLUT DATE:

NOTE: BUILDING F, 6, 4H ELEVATIONS PER FUTURE TENANT BRAND

NOTE: DRIVE APPROACH LOCATIONS ARE TO BE COORDINATED WITH THE TRAFFIC ENGINEER AND STREET PLANS. SHOWN LOCATIONS ARE NOT APPROVED.

NOTE: ALL E.V. CHARGING STATIONS INDICATED ARE FUTURE AND MAY BE INSTALLED AT THE OPTION OF THE OWNER. LOCATIONS DEPICTED ARE SUBJECT TO CHANGE AT OPTION OF OWNER.

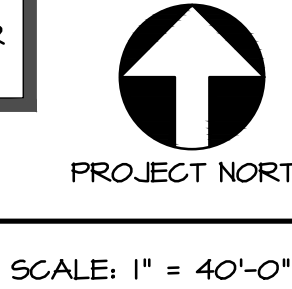
CLEAN AIR VEHICLE PARKING NOTE:  
PROVIDE 30 DESIGNATED CLEAN AIR VEHICLE PARKING STALLS PER DETAIL 15A101. CLEAN AIR VEHICLE STALLS ARE TO BE DISTRIBUTED EVENLY THROUGHOUT NEW PARKING STALLS SERVING COMMERCIAL BUILDINGS (CALGREEN 5.106.5.2)

NOTE: ALL WALKWAYS TO HAVE MAX. 5% SLOPE IN DIRECTION OF TRAVEL AND MAX. 15% CROSS SLOPE

NOTE: SUPPORT STRUCTURE AT AT CARPORTS/SHADE CANOPIES NOT TO BE LOCATED WITHIN PARKING STALL OR ACCESS AISLE BOUNDARIES

SEE EXHIBIT A-2 FOR ADDITIONAL REDLINES.

APPL. NO. P20-00636 EXHIBIT A-1 DATE 05/11/2020  
PLANNING REVIEW BY DATE  
TRAFFIC ENG. DATE  
APPROVED BY DATE  
CITY OF FRESNO DARM DEPT



SCALE: 1" = 40'-0"

REVIEWED

By PUBLIC WORKS - ANDREINA AGUILAR at 3:23 pm, Jun 18, 2020

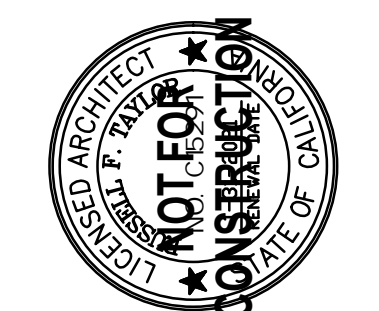
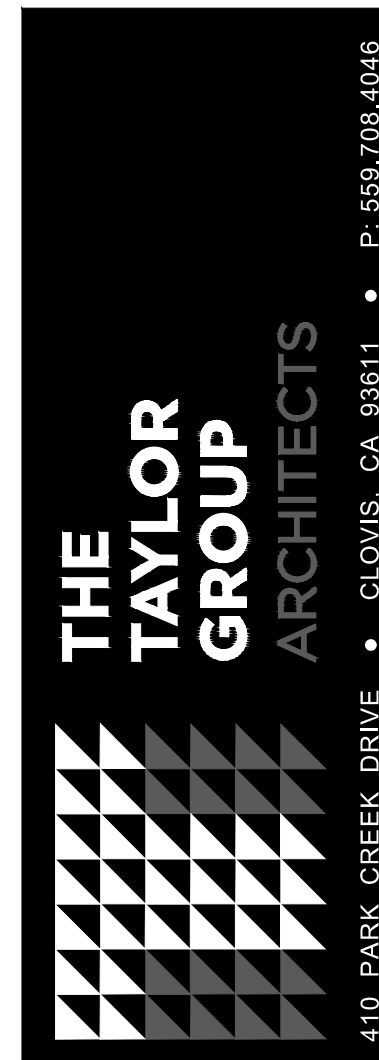
SITE MASTER PLAN

## PROPERTY LEGAL DESCRIPTION

PARCEL B OF PARCEL MAP NO. T4-06, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED AUGUST 21, 1978 IN BOOK 32, PAGE 22 OF PARCEL MAPS, FRESNO COUNTY RECORDS.

## FIRE PROTECTION NOTES

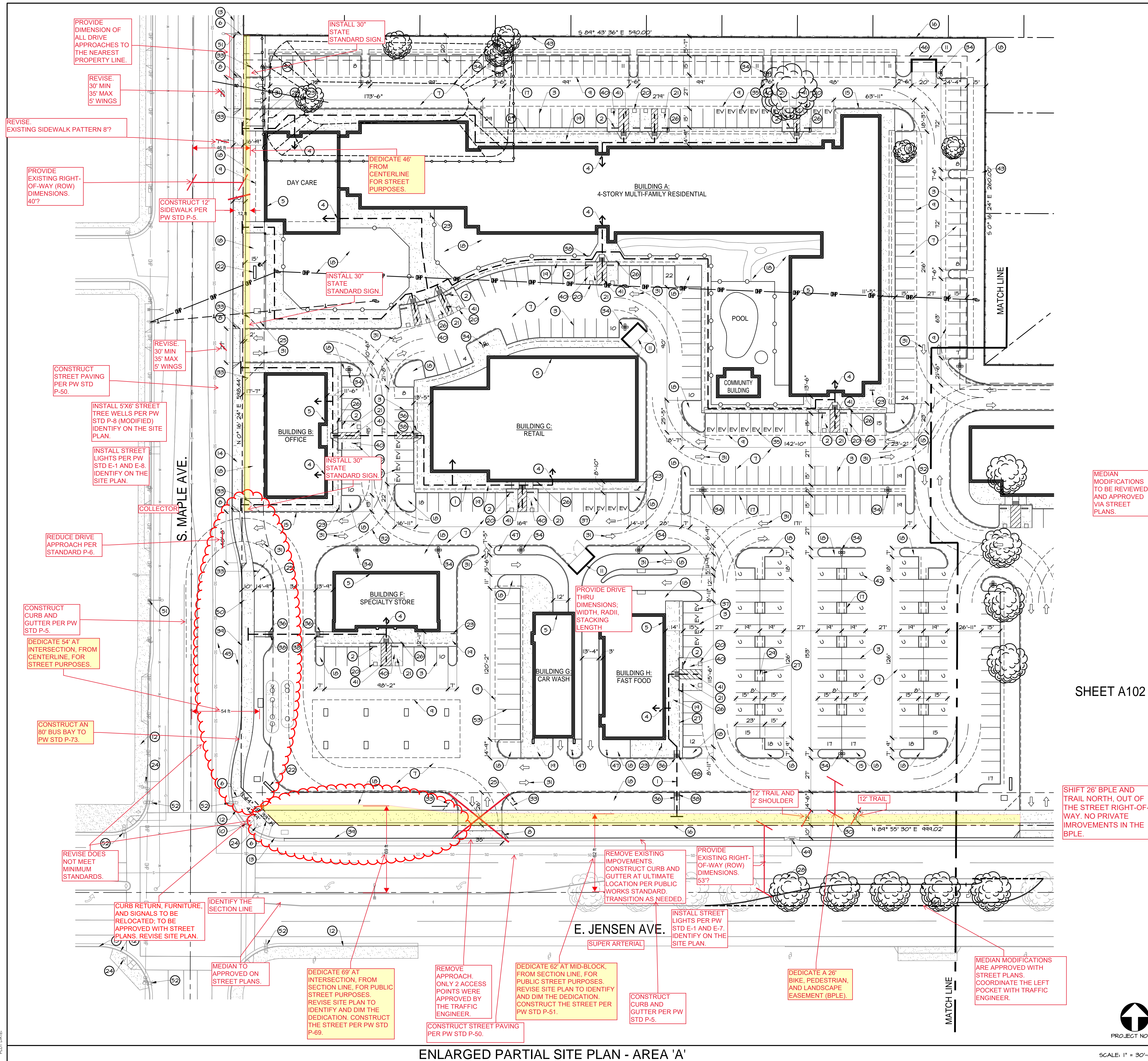
- PROVIDE SIGNS (11"x22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY (HIGH STATE WARNING - VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE - 22658(a) CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 621-2500).
- FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED, TESTED AND APPROVED AND SHALL BE MAINTAINED SERVICEABLE PRIOR TO AND DURING ALL PHASES OF DEVELOPMENT. THE 4 1/2" OUTLET SHALL FACE THE ACCESS LANE.
- WALKING ACCESS IS REQUIRED TO REACH BUILDING OPENINGS WITHIN 200 FT. OF A PAVED SURFACE DESIGNED FOR FIRE APPARATUS USE. REQUIRED WALKING ACCESS SHALL BE DESIGNED TO PREVENT SHARP TURNS OR OBSTACLES THAT WOULD HINDER THE CARRYING OF GROUND LADDERS AND OTHER HAND-HELD EQUIPMENT. GATES SHALL BE A MINIMUM OF 4 FEET IN WIDTH IF THEY ARE USED IN THE WALKING ACCESS PATH.
- ALL PEDESTRIAN GATES (WHERE PROVIDED) FOR COMPLIANCE OF THE 200' RULE, SHALL REMAIN UNLOCKED OR BE PROVIDED WITH POLICE/FIRE BYPASS LOCKS OR BEST-X-1 LOCK BOX ("BEST" PADLOCK MODEL 21B700 SERIES).



DATE	DESCRIPTION	C.U.P. SUBMITTAL PACKAGE
03/09/2020		

PROPOSED MIXED USE SITE PLAN FOR:  
BDM BUILDERS  
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE  
FRESNO, CA  
SITE MASTER PLAN

PROJECT NO. 19-008.00  
DRAWING A100  
www.tgarchitects.com



## KEYNOTES

(NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

- DASHED LINE INDICATES CONTINUOUS ACCESSIBLE PATH-OF-TRAVEL (2% MAX. SLOPE, 15% MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY TO ACCESSIBLE PARKING TO BUILDING ENTRANCES, TYP. MIN. 48" WIDE; SEE CIVIL DRAWINGS
- INDICATES (N) CONCRETE WHEEL STOP; SEE DETAIL 12/A101
- INDICATES (N) PAINTED WHITE PARKING STRIPE, TYP.
- ACCESSIBLE BUILDING ENTRANCE AT PROPOSED (N) BUILDING
- INDICATES (N) PROPOSED BUILDING FOOTPRINT, TYP.
- (N) CONCRETE SIDEWALK TO FLUSH WITH (E) SIDEWALK PER DETAIL 10/A101
- (N) AC PARKING LOT PAVEMENT PER FRESNO P.W. STD. P-21, P-22, & P-23. EXTENT OF (N) PAVEMENT AS INDICATED ON CIVIL DRAWINGS.
- (N) DRIVEWAY APPROACH PER FRESNO P.W. STD. P-2 & P-6
- INDICATES CANOPY OR ROOF OVERHANG
- (E) CURB RAMP
- (N) SOLID-WASTE ENCLOSURE BASED ON CITY OF FRESNO P.W. STD. P-33 & P-34
- (E) CONCRETE SIDEWALK, CURB AND GUTTER TO BE REMOVED OR REMAIN?
- (E) CONCRETE CURB & GUTTER WHERE INDICATED TO BE REMOVED OR REMAIN?
- (N) CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER FRESNO P.W. STD. P-5
- DASHED LINE INDICATES DRIVE AISLES IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1. DESIGNATE CURBS AS FIRE LANES (RED CURB WITH FIRE LANE) IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGN EVERY 50 FEET, TYP.
- INDICATES PROPERTY LINE, TYP.
- (N) 6" RAISED CONCRETE CURB PER DETAILS 6 & 9/A101 AND CIVIL DRAWINGS, TYP.
- (N) LANDSCAPE AREA; SEE LANDSCAPE PLAN FOR SCOPE OF (N) LANDSCAPING
- (N) CONCRETE SLAB/SIDEWALK; 1:20 MAX. SLOPE, 15% MAX. CROSS-SLOPE; SEE CIVIL DRAWINGS & DETAILS 6 & 7/A101. LIGHT BROOM FINISH, TYP. PROVIDE FIBER EXPANSION JOINT WHERE SIDEWALK MEETS BUILDING FOOTINGS; SLOPE MIN. 15% AWAY FROM BUILDING
- (N) VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A101
- (N) PAVEMENT FLUSH WITH CURB OR WALK, TYP. AT ACCESSIBLE STALLS AND ACCESS AISLES
- (N) PROPOSED MONUMENT SIGNAGE LOCATION SIGNAGE UNDER SEPARATE PERMIT
- (N) BICYCLE RACK W/ MIN. 3 BICYCLE CAPACITY (SHORT TERM); SEE SPECIFICATIONS
- (E) FIRE HYDRANT
- (N) PARKING ENTRANCE SIGN, SEE DETAIL 4/A101
- (N) PARKING SIGN FOR ACCESSIBLE SPACES, TYP.; SEE DETAIL 5/A101
- INDICATES (N) 36" VEHICLE BUMPER OVERHANGS, TYP.
- (E) MEDIAN ISLAND
- (N) TREE WELL PLANTER, TYP.; ALL TREES TO BE LOCATED OUTSIDE OF 3' BUMPER OVERHANG AREA
- (N) MAJOR STREET TRAIL W/ 26" BIKE/PEDESTRIAN EASEMENT PER CITY OF FRESNO P.W. STD. P-60; SEE CIVIL DRAWINGS P-60 AND P-58 OR P-59
- (N) DIRECTIONAL ARROW PAINTED WHITE PER DETAIL 27/A101
- INDICATES 20' WIDE TURNING RADIUS W/ 44' CENTER RADIUS, TYP.
- INDICATES 12 FT. MIN. VISIBILITY TRIANGLE EA. SIDE OF DRIVEWAY PER F.M.C. 15-2018B
- (N) SITE LIGHTING STANDARD; SEE ELECTRICAL DRAWINGS
- FUTURE E.V. CHARGING STATIONS PER CALGREEN RESIDENTIAL MANDATORY MEASURES SECTION 4.106.4.2; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
- (N) SIDEWALK TRANSITION RAMP; 2% MAX. SLOPE
- FUTURE E.V. CHARGING STATIONS PER CALGREEN NON-RESIDENTIAL MANDATORY MEASURES SECTION 5.106.5.3; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
- INDICATES (N) CONT. TRUNCATED DOME DETECTABLE WARNING SURFACE, TYP. PER DETAIL 27/A101
- (N) CONCRETE CURB AND GUTTER WHERE OCCURS, TYP.; SEE CIVIL PER PW STD P-5.
- (N) ACCESSIBLE PARKING STALL(S), TYP.; SEE TYP. DETAILS 10 & 14/A101
- (N) PAINTED WHITE STRIPING AT 3'-0" O.C. AT PEDESTRIAN AISLE
- INDICATES COMPACT CAR STALL, TYP.
- (N) 6 FT. HIGH MIN. CMU WALL
- (N) MEDIAN ISLAND LEFT TURN POCKET IN (E) MEDIAN PER CITY OF FRESNO P.W. STD. P-62 & P-63; SEE CIVIL DRAWINGS
- (N) BUS BAY PER CITY OF FRESNO P.W. STD. P-73; SEE CIVIL DRAWINGS
- INDICATES LIMIT OF TYPE 2 LANDSCAPE BUFFER PER F.M.C. TABLE 15-2305-G1
- (N) "EXIT ONLY" SIGN
- (N) DECORATIVE GUARDRAIL AT PERIMETER OF PATIO SEATING AREA
- (E) STORM DRAIN INLET
- (E) BUS STOP SIGN; RELOCATE AS REQUIRED FOR NEW BUS BAY CONSTRUCTION
- (E) STREET LIGHT ON METAL POLE, TYP.
- (E) TRAFFIC SIGNAL, TYP.
- (N) CAR WASH VACUUM STATIONS UNDER CANOPY; STATIONS 12W x 18D, TYP.

SHEET A102

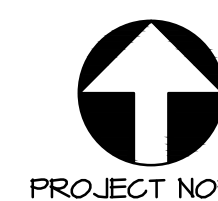
**REVIEWED**

By PUBLIC WORKS - ANDREINA AGUILAR at 3:23 pm, Jun 18, 2020

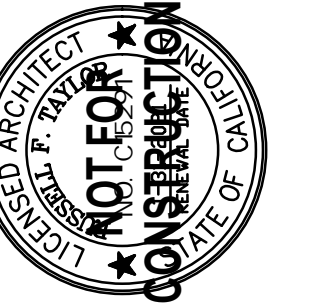
APPL. NO. P20-00636 EXHIBIT A-2 DATE 06/18/2020  
PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF FRESNO DARM DEPT

## LEGEND

- PROPERTY LINE
- CENTERLINE
- EASEMENT BOUNDARY
- 36" BUMPER OVERHANG
- SITE LIGHTING FIXTURE
- (E) MANHOLE
- (E) STREET VALVE
- (E) FIRE HYDRANT
- (E) UTILITY POLE

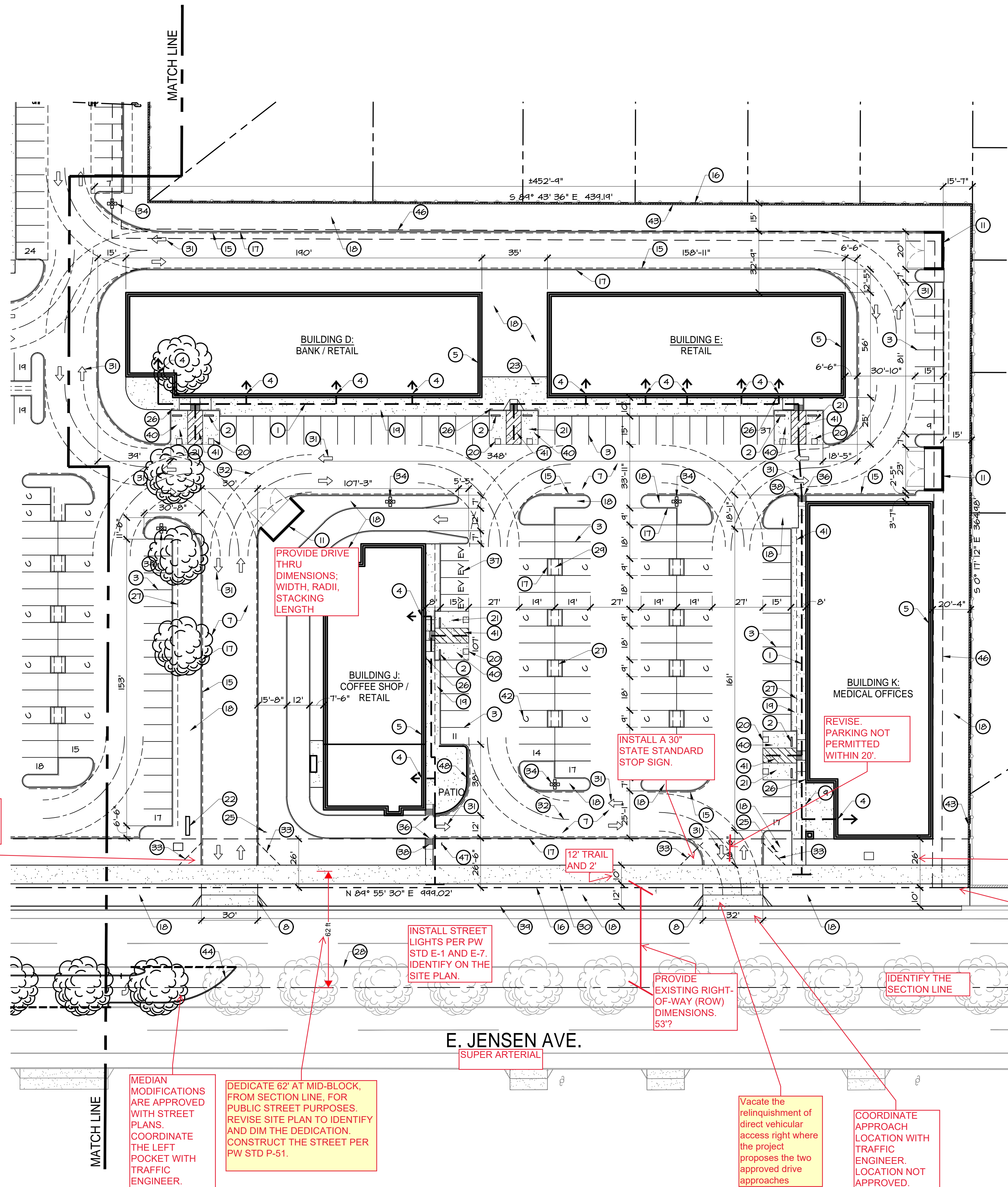


SCALE: 1" = 30'-0"



DATE	DESCRIPTION	C.U.P. SUBMITTAL PACKAGE
03/09/2020		

SHEET A101



ENLARGED PARTIAL SITE PLAN - AREA 'B'

## KEYNOTES

(NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)

- DASHED LINE INDICATES CONTINUOUS ACCESSIBLE PATH-OF-TRAVEL (2% MAX. SLOPE, 15% MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY & ACCESSIBLE PARKING TO BUILDING ENTRANCES, TYP.; MIN. 48" WIDE; SEE CIVIL DRAWINGS
- INDICATES (N) CONCRETE WHEEL STOP; SEE DETAIL 12/A101
- INDICATES (N) PAINTED WHITE PARKING STRIPE, TYP.
- ACCESSIBLE BUILDING ENTRANCE AT PROPOSED (N) BUILDING
- INDICATES (N) PROPOSED BUILDING FOOTPRINT, TYP.
- (N) CONCRETE SIDEWALK TO FLUSH WITH (E) SIDEWALK PER DETAIL 10/A101
- (N) AC PARKING LOT PAVEMENT PER FRESNO P.M. STDS. P-21, P-22, & P-23. EXTENT OF (N) PAVEMENT AS INDICATED ON CIVIL DRAWINGS
- (N) DRIVEWAY APPROACH PER FRESNO P.M. STDS. P-2 & P-6
- INDICATES CANOPY OR ROOF OVERHANG
- (E) CURB RAMP
- (N) SOLID-WASTE ENCLOSURE BASED ON CITY OF FRESNO P.M. STDS. P-33 & P-34
- (E) CONCRETE SIDEWALK, CURB AND GUTTER
- (E) CONCRETE CURB & GUTTER WHERE INDICATED
- (N) CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER FRESNO P.M. STD. P-5
- DASHED LINE INDICATES DRIVE AISLES IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1. DESIGNATE CURBS AS FIRE LANES (RED CURB WITH "FIRE LANE" IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGNS EVERY 50 FEET), TYP.
- INDICATES PROPERTY LINE, TYP.
- (N) 6" RAISED CONCRETE CURB PER DETAILS 8 & 9/A101 AND CIVIL DRAWINGS, TYP.
- (N) LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR SCOPE OF (N) LANDSCAPING
- (N) CONCRETE SLAB/SIDEWALK; 1:20 MAX. SLOPE, 15% MAX. CROSS-SLOPE; SEE CIVIL DRAWINGS & DETAILS 6 & 7/A101. LIGHT BROOM FINISH, TYP.; PROVIDE FIBER EXPANSION JOINT WHERE WALKWAY MEETS BUILDING FOOTINGS; SLOPE MIN. 15% AWAY FROM BUILDING
- (N) VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES. PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A101
- (N) PAVEMENT FLUSH WITH CURB OR WALK, TYP. AT ACCESSIBLE STALLS AND ACCESS AISLES
- (N) PROPOSED MONUMENT SIGNAGE LOCATION, SIGNAGE UNDER SEPARATE PERMIT
- (N) BICYCLE RACK W/ MIN. 3 BICYCLE CAPACITY (SHORT TERM); SEE SPECIFICATIONS
- (E) FIRE HYDRANT
- (N) PARKING ENTRANCE SIGN, SEE DETAIL 4/A101
- (N) PARKING SIGN FOR ACCESSIBLE SPACES, TYP.; SEE DETAIL 5/A101
- INDICATES (N) 36" VEHICLE BUMPER OVERHANGS, TYP.
- (E) MEDIAN ISLAND
- (N) TREE WELL PLANTER, TYP.; ALL TREES TO BE LOCATED OUTSIDE OF 3' BUMPER OVERHANG AREA
- (N) MAJOR STREET TRAIL W/ 26' BIKE/PEDESTRIAN EASEMENT PER CITY OF FRESNO P.M. STD. P-60; SEE CIVIL DRAWINGS
- (N) DIRECTIONAL ARROW PAINTED WHITE PER DETAIL 21/A101
- INDICATES 20' WIDE TURNING RADIUS W/ 44' CENTER RADIUS, TYP.
- INDICATES 12 FT. MIN. VISIBILITY TRIANGLE EA. SIDE OF DRIVEWAY PER F.M.C. 15-201BB
- (N) SITE LIGHTING STANDARD; SEE ELECTRICAL DRAWINGS
- FUTURE E.V. CHARGING STATIONS PER CALGREEN RESIDENTIAL MANDATORY MEASURES SECTION 4.106.4.2; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
- (N) SIDEWALK TRANSITION RAMP; 2% MAX. SLOPE
- FUTURE E.V. CHARGING STATIONS PER CALGREEN NON-RESIDENTIAL MANDATORY MEASURES SECTION 5.106.5.3; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
- INDICATES (N) CONT. TRUNCATED DOME DETECTABLE WARNING SURFACE, TYP. PER DETAIL 2/A101
- (N) CONCRETE CURB AND GUTTER WHERE OCCURS, TYP.; SEE CIVIL
- (N) ACCESSIBLE PARKING STALL(S), TYP.; SEE TYP. DETAILS 10 & 14/A101
- (N) PAINTED WHITE STRIPING AT 3'-0" O.C. AT PEDESTRIAN AISLE
- INDICATES COMPACT CAR STALL, TYP.
- (N) 6 FT. HIGH MIN. CMU WALL
- (N) MEDIAN ISLAND LEFT TURN POCKET IN (E) MEDIAN PER CITY OF FRESNO P.M. STDS. P-62 & P-63; SEE CIVIL DRAWINGS
- (N) BUS BAY PER CITY OF FRESNO P.M. STD. P-73; SEE CIVIL DRAWINGS
- INDICATES LIMIT OF TYPE 2 LANDSCAPE BUFFER PER F.M.C. TABLE 15-2305-G1
- (N) "TEXT ONLY" SIGN
- (N) DECORATIVE GUARDRAIL AT PERIMETER OF PATIO SEATING AREA
- (E) STORM DRAIN INLET
- (E) BUS STOP SIGN; RELOCATE AS REQUIRED FOR NEW BUS BAY CONSTRUCTION
- (E) STREET LIGHT ON METAL POLE, TYP.
- (E) TRAFFIC SIGNAL, TYP.
- (N) CAR WASH VACUUM STATIONS UNDER CANOPY; STATIONS 12'W x 18'D, TYP.

MEDIAN MODIFICATIONS TO BE REVIEWED AND APPROVED VIA STREET PLANS.

DEDICATE A 26' BIKE, PEDESTRIAN, AND LANDSCAPE EASEMENT (BPLE).

SHIFT 26' BPLE AND TRAIL NORTH, OUT OF THE STREET RIGHT-OF-WAY. NO PRIVATE IMPROVEMENTS IN THE BPLE.

IDENTIFY TRANSITION TO EXISTING SIDEWALK AND RIGHT-OF-WAY TO EAST.

COORDINATE APPROACH LOCATION WITH TRAFFIC ENGINEER. LOCATION NOT APPROVED.

Vacate the relinquishment of direct vehicular access right where the project proposes the two approved drive approaches

PROVIDE EXISTING RIGHT-OF-WAY (ROW) DIMENSIONS, 53'?

INSTALL STREET LIGHTS PER PW STD E-1 AND E-7. IDENTIFY ON THE SITE PLAN.

DEDICATE 62' AT MID-BLOCK, FROM SECTION LINE, FOR PUBLIC STREET PURPOSES. REVISE SITE PLAN TO IDENTIFY AND DIM THE DEDICATION. CONSTRUCT THE STREET PER PW STD P-51.

MEDIAN MODIFICATIONS ARE APPROVED WITH STREET PLANS. COORDINATE THE LEFT POCKET WITH TRAFFIC ENGINEER.

## REVIEWED

By PUBLIC WORKS - ANDREINA AGUILAR at 3:23 pm, Jun 18, 2020

SEE EXHIBIT A-2 FOR ADDITIONAL REDLINES.

APPL. NO. P20-00636 EXHIBIT A-3 DATE 06/18/2020  
PLANNING REVIEW BY \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

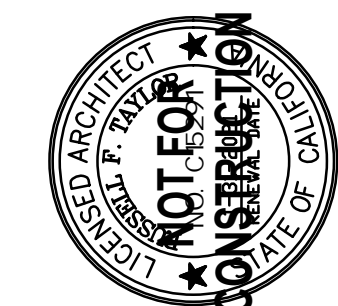
CITY OF FRESNO DARM DEPT

## LEGEND

- PROPERTY LINE
- CENTERLINE
- EASEMENT BOUNDARY
- 36" BUMPER OVERHANG
- SITE LIGHTING FIXTURE
- (E) MANHOLE
- (E) STREET VALVE
- (E) FIRE HYDRANT
- (E) UTILITY POLE



SCALE: 1" = 30'-0"



DATE	DESCRIPTION	C.U.P. SUBMITTAL PACKAGE
03/09/2020		

PROPOSED MIXED USE SITE PLAN FOR:  
BDM BUILDERS  
EAST JENSEN AVENUE AND SOUTH MAPLE AVENUE  
FRESNO, CA  
ENLARGED PARTIAL SITE PLAN - AREA 'B'





**SUBJECT:** Conditions of Approval for **P20-00636**

**DATE:** June 18, 2020

**TO:** Jose Valenzuela, Planner III  
Planning and Development Department

**FROM:** Andreina Aguilar, Engineer II  
Public Works Department, Traffic Planning Section

**ADDRESS:** 4645 East Jensen Avenue

**APN:** 480-030-60

<b>ATTENTION:</b> The items below require a separate process with additional fees and timelines, in addition to the development permit process. Submit the following items early to avoid delaying approval of building permits. Final approval of the site plan is contingent on receipt of all items checked below.		
<b>To be completed:</b>	<b>Point of Contact</b>	<b>Department and Contact Information</b>
<b>Grading Plan</b> Coordinate the corrected site plan with the grading plan.	Jose Valenzuela	Planning and Development Department (559) 621-8070 <a href="mailto:Jose.Valenzuela@fresno.gov">Jose.Valenzuela@fresno.gov</a>
<b>Traffic Impact Study (TIS)</b> A Traffic Impact Study was required. Comply with the City Traffic Engineer's mitigated measures based on the Traffic Impact Analysis.	Jill Gormley	Public Works Department (559) 621-8792 <a href="mailto:Jill.Gormley@fresno.gov">Jill.Gormley@fresno.gov</a>
<b>Deeds (up to 2 month processing time)</b> Deeds are required to provide easements to the City for required public improvements. They shall be prepared by the owner / developer's engineer. Contact Jeff Beck for fees and processing requirements. Provide	Jeff Beck	Public Works Department (559) 621-8560 <a href="mailto:Jeff.Beck@fresno.gov">Jeff.Beck@fresno.gov</a>

a copy of the recorded dedications to Traffic Planning <b><u>prior</u></b> to the issuance of building permits.		
<p><b>Vacation (4 month processing time)</b></p> <p>A Feasibility Study is required to determine viability and to establish conditions, if any. Contact Jason Camit for fees and processing requirements. Provide a copy of the resolution to vacate to Traffic Planning <b><u>prior</u></b> to the issuance of building permits.</p>	Jason Camit	Public Works Department (559) 621-8681 <a href="mailto:Jason.Camit@fresno.gov">Jason.Camit@fresno.gov</a>

**ATTENTION:**

**Prior to resubmitting the corrected exhibit, provide the following information and conditions of approval on the site plan:**

**A. GENERAL REQUIREMENTS**

- ☐ 1. **Address:** Verify the project address with the Planning and Development Department.
- ☐ 2. **Required Notes:** Revise General Notes to include the required Public Works Department notes.
  - ☐ The performance of any work within the public street right-of-way requires a street work permit prior to commencement of work. All required street improvements must be completed and accepted by the City prior to occupancy.
  - ☐ Deeds are required to provide easements to the city for required public improvements. They shall be prepared by the owner / developer's engineer. Executed copies shall be submitted to the city with verification of ownership prior to the issuance of building permits.
  - ☐ All existing driveway approaches which no longer provide access to approved vehicle parking areas shall be removed unless otherwise approved by the City Engineer. Such areas shall be reconstructed with curb, gutter and sidewalk to match existing adjacent street improvements. This work shall be completed and accepted before a Permit of Occupancy is issued or the building is occupied per FMC 13-211.
  - ☐ Underground all existing off-site overhead utilities within the limits of this application as per Fresno Municipal Code Section 15-2017 and Public Works Policy No. 260.01.
  - ☐ Submit street construction plans to the Public Works Department.
  - ☐ Submit street lighting plans to the Public Works Department.
  - ☐ Submit trail construction plans to the Public Works Department.
  - ☐ Submit signing and striping plans to the public works department. Comply with the current Caltrans standards.
  - ☐ Construction on state highways must conform to both City of Fresno and State Division of Highways Specifications.
  - ☐ Provide a 4' minimum path of travel along the public sidewalk directly in front of property, to meet current accessibility regulations. A pedestrian easement may be required if requirements are not met.
  - ☐ Contact the Public Works Department, Traffic Engineering at 559-621-8800, 10 working days prior to any offsite concrete construction.
  - ☐ All existing sidewalks in excess of 2% maximum cross slope must be brought into compliance prior to acceptance by Public Works.
  - ☐ All development shall take place in accordance with all city, county, state,

federal, railroad laws and regulations.

**B. OFFSITE INFORMATION:**

- ☐ 1. **Section:** Identify section lines. Provide right-of-way dimensions.
- ☐ 2. **Dedications:** Identify and dimension (from the section and/or centerlines) street, pedestrian and trail dedications.
- ☐ 3. **Public Street Improvements:**
  - ☐ a. **Street pavement:** Identify area to be paved.
  - ☐ b. **Curb, Gutter, and Sidewalk:** Revise the site plan to show the curb, gutter and sidewalk at the correct location per Public Works Standard P-53.
  - ☐ c. **Sidewalk drains:** Identify the drain locations.
  - ☐ d. **Bus bay:** Revise and dimension bus bay at the intersection, not at mid-block.
  - ☐ e. **Street lights:** Identify street lights.
  - ☐ f. **Trails:** Revise the width and location.
  - ☐ g. **Tree Wells:** Identify the 5'x6' tree wells along Maple Avenue.

**C. ONSITE INFORMATION:**

- ☐ 1. **Onsite site may require redesign to accommodate the right-of-way required dedications.**
- ☐ 2. **Drive Through:** Identify and maintain a minimum of a **10** car stack using **20'** per car. Stacking shall not block parking. Provide and maintain **15'** minimum inside turning radius, **13'** minimum aisle within the turn, **11'** through lane and **9'** minimum at the window.
- ☐ 3. **State standard "STOP":** Identify and install a **30"** state standard "STOP" signs at the locations shown. A "right turn only" sign is also required; install a **30" x 36"** state standard sign immediately below the stop sign on the same post, on Jensen. Signs shall be mounted on a **2"** galvanized post with the bottom of the lowest sign **7'** above ground, located behind curb and immediately behind a major street sidewalk.

## PUBLIC IMPROVEMENT REQUIREMENTS

The following requirements are based on city records and the accuracy of the existing and proposed on-site and off-site conditions depicted on the exhibits submitted. Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed. Construct additional offsite improvements, including but not limited to, concrete curb, gutter, sidewalk, approaches, ramps, pavement, utility relocations, etc. in accordance with *City of Fresno's Public Works Standards, Specifications* and the approved street plans. Street widening and transitions shall also include utility relocations and necessary dedications.

Repair all damaged and/or off grade off-site concrete street improvements as determined by the City of Fresno Public Works Department, Construction Management Division, (559) 621-5600. Pedestrian paths of travel must also meet current accessibility regulations.

Underground all existing off-site overhead utilities within the limits of this site/map as per *Fresno Municipal Code Section 15-2017* and *Public Works Policy No. 260.01*.

The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an **Encroachment Covenant** is approved by the City of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8693. **Encroachment Covenant** must be approved prior to issuance of building permits.

Street work on major streets shall be designed to include *Intelligent Transportation Systems (ITS)* conduit in accordance with the Public Works ITS specifications.

### **Jensen Avenue: Super Arterial (6-Lane)**

(Provide the following as notes on the site plan.)

1. Dedication Requirements:
  - a. Dedicate **62'-69'** of property, from centerline, for public street purposes, within the limits of this application, per Public Works Standard **P-51**.
  - b. Vacate the relinquishment of direct vehicular access right where the project proposes the two approved drive approaches.
2. Construction Requirements:
  - a. Construct **20'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
  - b. Construct driveway approaches to Public Works Standards **P-2** and **P-6**, at the locations approved by the Traffic Engineer. Construct permanent paving as needed per Public Works Standard **P-48**. Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A-2 and A-3"**.

- c. Construct concrete curb and gutter to Public Works Standard **P-5**. The curb shall be constructed to a **10'** pattern. Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, Section 26-2.11(C).
- d. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-7** for Arterials. Street lights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in **Section 3-3.17** of the City Specifications and Standard Drawings **E-15, E-18** or as approved by the City Engineer
- e. Construct a concrete curb ramp per Public Works Standards **P-28 and P-32**, based on a 30' radius.
- f. Construct a **12'** wide Bike and Pedestrian Trail per the **Fresno General Plan**, the **City of Fresno Public Works Standards P-58, P-60, P-61**, and the **Caltrans Highway Design Manual Chapter 1000 for Class I Bikeways (Bike Paths)**. Construction shall be complete with lighting, signing, striping, and landscaping. Identify the route and cross section on the site plan. Above ground utilities shall not be constructed within this easement. Additional right of way may be required for grading and drainage purposes.
- g. Provide a **12'** visibility triangle at all driveways, per Fresno Municipal Code (FMC) 15-2018B.

#### **Maple Avenue: Collector (4-Lane)**

(Provide the following as notes on the site plan.)

- 1. Dedication Requirements:
  - a. Dedicate **46'-54'** of property, from centerline, for public street purposes, within the limits of this application, per Public Works Standard **P-53**.
- 2. Construction Requirements:
  - a. Construct **20'** of permanent paving per Public Works Standard **P-50**, within the limits of this application and transition paving as necessary.
  - b. Construct driveway approaches to Public Works Standards **P-2** and **P-6**, as shown on the site plan. Construct permanent paving as needed per Public Works Standard **P-48**. Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**.
  - c. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **12'** commercial pattern. Construct **5' x 6'** tree wells per Public Works Standard **P-8 (modified)**. Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, Section 26-2.11(C).
  - d. Construct an underground street lighting system to Public Works Standard **E-1** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-8** for Collectors. Street lights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in **Section 3-3.17** of the City Specifications and Standard Drawings **E-15, E-18** or as approved by the City Engineer.

- e. Construct an **80'** bus bay curb and gutter at the northeast corner of Maple and Jensen Avenues to Public Works Standard **P-73**, complete with a **12'** monolithic sidewalk.
- f. Provide a **12'** visibility triangle at all driveways, per Fresno Municipal Code (FMC) 15-2018B.

**Street Construction Plans are required and shall be approved by the City Engineer.**

All improvements shall be constructed in accordance with the *City of Fresno, Public Works Department Standard Drawings and Specifications*. The performance of any work within the public street right of way (including pedestrian and utility easements) requires a **STREET WORK PERMIT prior** to commencement of work. When preparing Street Plans and/or Traffic Control Plans, contact Harmanjit Dhaliwal at (559) 621-8694, **10 working days** in advance, to make sure that sidewalks or an approved accessible path remain open during construction. Submit construction plans for all required work, in a single package, to the City of Fresno's, Traffic and Engineering Services Division. All work shall be reviewed, approved, completed, and accepted **prior** to obtaining a certificate of occupancy. Utility poles, street lights, signals, etc. shall be relocated as determined by the City Engineer.

Two working days before commencing excavation operations within the street right of way and/or utility easements, all existing underground facilities shall have been located by Underground Services Alert (USA) Call 811.

Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice Land Surveying in the State of California.

## **PRIVATE IMPROVEMENT REQUIREMENTS**

### **Off-Street Parking Facilities and Geometrics:**

The parking lot is required to meet the *City of Fresno's Parking Manual, Public Works Standards and Specifications*. Parking must also comply with the *California Building Code's* accessibility requirements and the Fire and Solid Waste Department's minimum turning templates. The site plan must meet all criteria for final approval. Contact Planning and Development Department for questions regarding onsite parking lot improvements.

1. Off-Street parking facilities and geometrics shall conform to the *City of Fresno Public Works Department, Parking Manual and Standard Drawings P-21, P-22 and P-23 and Exhibits A-1, A-2, and A-3*.
2. Install a **30"** state standard "STOP" signs at the locations shown. A "right turn only" sign is also required; install a **30" x 36"** state standard sign immediately below the stop sign on the same post, on Jensen. Signs shall be mounted on a **2"** galvanized post with the bottom of the lowest sign **7'** above ground, located behind curb and immediately behind a major street sidewalk.

**Traffic Signal Mitigation Impact (TSMI) Fee:** This project shall pay all applicable TSMI Fees at the time of building permit. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the Master fee schedule.

TSMI fee is credited against traffic signal and Intelligent Transportation System (ITS) improvements, provided that the improvements are; constructed at ultimate locations, contained within the build out of the General Plan circulation element and are included in the latest Nexus Analysis for TSMI fee. Project specific impacts that are not consistent with the *General Plan, Public Works Standard Drawings* or not incorporated in the TSMI fee infrastructure costs, are not reimbursable. Failure to pay this fee or construct improvements that are credited / reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited / reimbursable with this fee, they should work with the Department of Public Works and identify, with a Professional Engineer's estimate, the costs associated with the improvements, prior to paying the TSMI fee at time of building permit.

The proposed project shall relocate the signal at the northeast corner of Jensen and Maple and modify the intersection of Maple Avenue at Jensen Avenue to include northbound and southbound left-turn phasing. This work is eligible for reimbursement and/or credit against Traffic Signal Mitigation Impact Fees. Plans shall be reviewed and approved by the Traffic Operations and Planning Division, Traffic Operations Section.

**Fresno Major Street Impact (FMSI) Fees:** This entitlement is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees. Contact the Public Works Department, Frank Saburit at (559) 621-8797.

**FMSI Requirements:**

**THE FMSI REQUIREMENTS ARE REQUIRED TO BE CONSTRUCTED PRIOR TO OCCUPANCY.**

**Jensen Avenue: Super Arterial**

1. Dedicate and construct the following **within the limits of this application**. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **55 MPH** design speed.
  - a. Remove and replace the existing concrete median island to provide a **250'** left turn pocket at Jensen and Maple Avenue.
  - b. Construct concrete median cap per Public Works Standard **P-62** and **P-63**.

**Regional Transportation Mitigation Fee (RTMF):** Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption **prior** to issuance of certificate of occupancy.

Questions relative to these conditions may be directed to Andreina Aguilar (559) 621-8674 or [Andreina.Aguilar@fresno.gov](mailto:Andreina.Aguilar@fresno.gov) in the Public Works Department, Traffic Planning Section.



July 16, 2020

Erik Young  
City of Fresno  
Development and Resource Management Department  
2600 Fresno Street-Third Floor  
Fresno, CA 93721-3604

**Project: Conditional Use Permit Application- P20-00636-4645 East Jensen Avenue**

**District CEQA Reference No: 20200435**

Dear Mr. Young:

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the Conditional Use Permit Application from the City of Fresno (City) for the proposed Maple-Jensen mixed use development. The proposed project consists of a multi-use commercial, office and residential development (Project). The Project also includes a plan amendment, rezone, development permit, and a parcel map. The Project is located at the northeast corner of S. Maple and E. Jensen Avenues, in Fresno, CA.

### **Project Description**

The Project consists of a gas station, carwash, 4,000 square-foot convenience store, a 5,000 square-foot fast food with drive-through restaurant, a building with 5,500 square-feet of retail space and a 2,000 square-foot drive-through coffee shop, a 11,450 square-foot medical office building, a 8,740 square-foot retail building, a 10,000 square-foot bank and retail building, a 12,000 square-foot retail building, a 3,000 square-foot retail building, a 5,000 square-foot office building, a 150 multi-family apartment building, and a 4,000 square-foot day care center.

The District offers the following comments:

### **1) Project Related Criteria Pollutant Emissions**

The District's initial review of the Project concludes that emissions resulting from construction and/or operation of the Project may exceed the following thresholds of significance: 100 tons per year of carbon monoxide (CO), 10 tons per year of oxides

**Samir Sheikh**  
Executive Director/Air Pollution Control Officer

---

**Northern Region**  
4800 Enterprise Way  
Modesto, CA 95356-8718  
Tel: (209) 557-6400 FAX: (209) 557-6475

**Central Region (Main Office)**  
1990 E. Gettysburg Avenue  
Fresno, CA 93726-0244  
Tel: (559) 230-6000 FAX: (559) 230-6061

**Southern Region**  
34946 Flyover Court  
Bakersfield, CA 93308-9725  
Tel: (661) 392-5500 FAX: (661) 392-5585

of nitrogen (NO<sub>x</sub>), 10 tons per year of reactive organic gases (ROG), 27 tons per year of oxides of sulfur (SO<sub>x</sub>), 15 tons per year of particulate matter of 10 microns or less in size (PM<sub>10</sub>), or 15 tons per year of particulate matter of 2.5 microns or less in size (PM<sub>2.5</sub>). The District recommends that a more detailed preliminary review of the Project be conducted for the Project's construction and operational emissions.

## **2) Project Related Construction Emissions**

Construction emissions are short-term emissions and should be evaluated separately from operational emissions. Equipment exhaust, as well as fugitive dust emissions should be quantified. For reference, the District's annual criteria thresholds of significance for construction are listed above.

## **3) Project Related Operational Emissions: Impacts on Air Quality**

For operational emissions, the District recommends that the County perform an assessment or analysis to determine whether or not the Project would have a significant impact.

Other potential significant air quality impacts related to Toxic Air Contaminants (see information below under Health Risk Assessment), Ambient Air Quality Standards, Hazards and Odors, may require assessments and mitigation. More information can be found in the District's Guidance for Assessing and Mitigating Air Quality Impacts at: [https://www.valleyair.org/transportation/GAMAQI\\_12-26-19.pdf](https://www.valleyair.org/transportation/GAMAQI_12-26-19.pdf).

## **4) Project Related Operational Emissions: Permitted Stationary Source Emission Units**

Stationary Source emissions include any building, structure, facility, or installation, which emits or may emit any affected pollutant directly or as a fugitive emission. District Rule 2010 requires operators of emission sources to obtain an Authority to Construct (ATC) and Permit to Operate (PTO) from the District. District Rule 2201 requires that new and modified stationary sources of emissions mitigate their emissions using best available control technology (BACT).

This Project may be subject to District Rule 2010 (Permits Required) and Rule 2201 (New and Modified Stationary Source Review) and may require District permits. For example, the operator of an internal combustion engines with a rating exceeding 50 bhp must obtain an ATC prior to installation and operation. In this example, prior to construction, the Project proponent must submit to the District an application for an Authority to Construct (ATC). For further information or assistance, the project proponent may contact the District's Small Business Assistance (SBA) Office at (559) 230-5888.

## **5) District Rule 9510, Indirect Source Review**

The purpose of District Rule 9510 is to reduce the growth in both NO<sub>x</sub> and PM<sub>10</sub> emissions associated with development and transportation projects from mobile and area sources associated with construction and operation of development projects. The rule encourages clean air design elements to be incorporated into development projects. In case the proposed development project clean air design elements are insufficient to meet the targeted emission reductions, the rule requires developers to pay a fee used to fund projects to achieve off-site emissions reductions.

The Project is subject to District Rule 9510 because it equals or exceeds 2,000 square-feet commercial space and has or will receive a project-level discretionary approval from a public agency. Accordingly, an Air Impact Assessment (AIA) application is required prior to applying for project level approval from a public agency. In this case, if not already done, please inform the project proponent to immediately submit an AIA application to the District to comply with District Rule 9510.

The District recommends that demonstration of compliance with District Rule 9510, before issuance of the first building permit, be made a condition of Project approval. Information about how to comply with District Rule 9510 can be found online at: <http://www.valleyair.org/ISR/ISRHome.htm>. The AIA application form can be found online at: <http://www.valleyair.org/ISR/ISRFormsAndApplications.htm>.

District staff is available to provide assistance with determining if future individual development projects will be subject to Rule 9510, and can be reached by phone at (559) 230-6000 or by email at [ISR@valleyair.org](mailto:ISR@valleyair.org).

## **6) Other District Rules and Regulations**

The proposed Project may be subject to District rules and regulations, including: Regulation VIII (Fugitive PM<sub>10</sub> Prohibitions), Rule 4102 (Nuisance), Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations), Rule 4601 (Architectural Coating), Rule 4621 (Gasoline Transfer Into Stationary Storage Containers, Delivery Vessels, and Bulk Plants), Rule 4622 (Gasoline Transfer Into Motor Vehicle Fuel Tanks), Rule 4692 (Commercial Charbroiling), Rule 4702 (Internal Combustion Engines), Rule 4901 (Wood Burning Fireplaces and Wood Burning Heaters, and Rule 4902 (Residential Water Heaters Certified Water Heaters). In the event an existing building will be renovated, partially demolished or removed, the Project may be subject to District Rule 4002 (National Emission Standards for Hazardous Air Pollutants).

The above list of rules is neither exhaustive nor exclusive. To identify other District rules or regulations that apply to this Project or to obtain information about District permit requirements, the applicant is strongly encouraged to contact the District's Small Business Assistance (SBA) Office at (559) 230-5888. Current District rules can be found online at: [www.valleyair.org/rules/1ruleslist.htm](http://www.valleyair.org/rules/1ruleslist.htm).

## 7) **Health Risk Assessment**

A Health Risk Screening/Assessment identifies potential Toxic Air Contaminants (TAC's) impact on surrounding sensitive receptors such as hospitals, daycare centers, schools, work-sites, and residences. TAC's are air pollutants identified by the Office of Environmental Health Hazard Assessment/California Air Resources Board (OEHHA/CARB) (<https://www.arb.ca.gov/toxics/healthval/healthval.htm>) that pose a present or potential hazard to human health. A common source of TACs can be attributed to diesel exhaust emitted from both mobile and stationary sources.

The District recommends the Project be evaluated for potential health impacts to surrounding receptors (on-site and off-site) resulting from operational and multi-year construction TAC emissions.

- i) The District recommends conducting a screening analysis that includes all sources of emissions. A screening analysis is used to identify projects, which may have a significant health impact. A prioritization, using CAPCOA's updated methodology, is the recommended screening method. A prioritization score of 10 or greater is considered to be significant and a refined Health Risk Assessment (HRA) should be performed.

For your convenience, the District's prioritization calculator can be found at:  
[http://www.valleyair.org/busind/pto/emission\\_factors/Criteria/Toxics/Utilities/PRIORITIZATION%20RMR%202016.XLS](http://www.valleyair.org/busind/pto/emission_factors/Criteria/Toxics/Utilities/PRIORITIZATION%20RMR%202016.XLS).

- ii) The District recommends a refined HRA for projects that result in a prioritization score of 10 or greater. Prior to performing an HRA, it is recommended that the Project proponent contact the District to review the proposed modeling protocol. The Project would be considered to have a significant health risk if the HRA demonstrates that the Project related health impacts would exceed the District's significance threshold of 20 in a million for carcinogenic risk and 1.0 for the Acute and Chronic Hazard Indices, and would trigger all feasible mitigation measures. The District recommends that Projects that result in a significant health risk not be approved.

For HRA submittals, please provide the following information electronically to the District for review:

- HRA AERMOD model files
- HARP2 files
- Summary of emissions source locations, emissions rates, and emission factor calculations and methodology.

More information on toxic emission factors, prioritizations and HRAs can be obtained by:

- E-Mailing inquiries to: [hramodeler@valleyair.org](mailto:hramodeler@valleyair.org); or
- The District can be contacted at (559) 230-6000 for assistance; or
- Visiting the Districts website (Modeling Guidance) at:  
[http://www.valleyair.org/busind/pto/Tox\\_Resources/AirQualityMonitoring.htm](http://www.valleyair.org/busind/pto/Tox_Resources/AirQualityMonitoring.htm).

## 8) **Assembly Bill 617**

Assembly Bill (AB) 617 (2017, Garcia) requires the California Air Resources Board (CARB) and air districts to develop and implement Community Emission Reduction Programs (CERPs) in an effort to reduce air pollution exposure in impacted disadvantaged communities. The South Central Fresno AB 617 area is one of the Valley communities selected by CARB for investment of additional air quality resources and attention under AB 617.

The CERP for the South Central Fresno was developed through an extensive community engagement process, which included input from Community Steering Committee members, and was adopted by the District Governing Board in September 2019 and by the CARB Board in February 2020. The CERP identifies a wide range of measures designed to reduce air pollution and exposure, including a number of strategies to be implemented in partnership between agencies and local organizations. For more information regarding the CERP approved for South Central Fresno, please visit the District website at: <http://community.valleyair.org/selected-communities/south-central-fresno>. The following clean air measures and strategies described below apply to the proposed project:

### Vegetative Barriers and Urban Greening

The proposed Project is a mixed-use development located north of Jensen Avenue, just across from several industrial buildings and east of a convenience store and gas station as well as several residences on Maple Avenue. Additionally, the north and east sides of the proposed Project consists of a large residential area, with Calwa Elementary School located 0.8 miles northeast. . The District suggests the County of Fresno consider the feasibility of incorporating vegetative barriers and urban greening as a measure to further reduce air pollution exposure on sensitive receptors (i.e. residential units). While various emission control techniques and programs exist to reduce air quality emissions from mobile and stationary sources, vegetative barriers have been shown to be an additional measure to potentially reduce a population's exposure to air pollution through the interception of airborne particles and the uptake of gaseous pollutants. Examples of vegetative barriers include, but not limited to the following: trees, bushes, shrubs, or a mix of these. Generally, a higher and thicker vegetative barrier with full coverage will result in greater reductions in downwind pollutant concentrations. In the same manner, urban greening is also a way to help improve air quality and

public health in addition to enhancing the overall beautification of a community with drought resistant low maintenance greenery.

### Solar Deployment in the Community

It is the policy of the State of California that renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers by December 31, 2045. While various emission control techniques and programs exist to reduce air quality emissions from mobile and stationary sources, the production of solar energy is contributing to improving air quality and public health. The District suggests that the County of Fresno consider the feasibility of incorporating solar power systems, as an emission reduction strategy for this Project.

### Reduce Particulate Matter (PM) from Commercial Underfired Charbroilers

Future development projects for restaurants with under-fired charbroilers may pose the potential for immediate health risk, particularly when located in densely developed locations near sensitive receptors, such as schools and residential neighborhoods, resulting in high exposure levels for sensitive Valley residents. Since the cooking of meat can release carcinogenic PM<sub>2.5</sub> species like polycyclic aromatic hydrocarbons, controlling emissions from new under-fired charbroilers will have a substantial positive impact on public health. The air quality impacts on neighborhoods near restaurants with under-fired charbroilers can be significant on days when meteorological conditions are stable, when dispersion is limited and emissions are trapped near the surface within the surrounding neighborhoods. The proposed Project is bound by a residential subdivision to the north and east. There are additional residences located across Maple Avenue, to the west. Additionally, Calwa Elementary School is located 0.8 miles northeast from the proposed Project site. This potential for neighborhood-level concentration of emissions during evening or multi-day stagnation events raises environmental concerns.

Furthermore, reducing commercial charbroiling emissions is essential to achieving attainment of multiple federal PM<sub>2.5</sub> standards and associated health benefits in the Valley. Therefore, the District recommends that the Conditional Use Permit include a measure requiring the assessment and potential installation, as technologically feasible, of particulate matter emission control systems for new large restaurants operating under-fired charbroilers. The District is available to assist the City and project proponents with this assessment. Additionally, to ease the financial burden for Valley businesses, the District is currently offering substantial incentive funding that covers the full cost of purchasing, installing, and maintaining the system for up to two years. Please contact the District at (559) 230-5800 or [technology@valleyair.org](mailto:technology@valleyair.org) for more information.

The District recommends that a copy of the District's comments be provided to the Project proponent. If you have any questions or require further information, please contact Cherie Clark by e-mail at [Cherie.Clark@valleyair.org](mailto:Cherie.Clark@valleyair.org) or by phone at (559) 230-5940.

Sincerely,



Jacob Whitson  
Program Manager

JW: cc



## County of Fresno

### DEPARTMENT OF PUBLIC HEALTH

May 27, 2020

City of Fresno  
Development & Resource Management  
2600 Fresno Street, Third Floor  
Fresno, CA 93721-3604

LU0020797  
2602

PROJECT NUMBER: **P20-00635, P20-00636, P20-00824**

**Plan Amendment & Rezone Application No. P20-00635**, was filed by Nick Yovino on behalf of Shishu Bedi of BDM Builders LLC and pertains to the 12.18 acres located on the northeast corner of South Maple Avenue and East Jensen Avenue. The applicant proposes to amend the Fresno General Plan and Roosevelt Community Plan by rezoning the existing zone district from RM-2 to RM-3 and reconfiguring the layout of the CC, IL, and new RM-3 zone districts. CC will go from 2.15 acres to 5.36 acres; IL from 5.90 acres to 3.50 acres; and from RM-2 with 3.53 acres to RM-3 with 3.38 acres. **Conditional Use Permit Application No. P20-00636**, the applicant proposes to an integrated mixed use development consisting of community commercial, light industrial, and multifamily residential uses. Proposed uses include a gas station, carwash, specialty store, fast food restaurant with drive thru, coffee shop with drive thru, retail, medical, and office space, and multi-family residential units with day care. **Conditional Use Permit Application No. P20-00824**, the applicant requests authorization to obtain a Type 20 alcohol license for a proposed integrated mixed use development consisting of community commercial, light industrial, and multifamily residential uses

**APN: 480-030-60**

**ZONING: CC, IL, RM-3**

**ADDRESS: 4645 E. Jensen Avenue**

Since specific Retail/Commercial/Professional tenants for this application have not been identified, the full range of 'CC & IL' zoning uses must be considered. The potential adverse impacts could include (but are not limited to) storage of hazardous materials and/or wastes, solid waste, medical waste, water quality degradation, excessive noise, and odors.

Recommended Conditions of Approval for Retail/Commercial Projects:

- For retail food establishments, prior to issuance of building permits. The applicant(s) shall submit complete food facility plans and specifications to the Fresno County Department of Public Health, Environmental Health Division, for review and approval. Prior to operation, the applicant(s) shall apply for and obtain a permit to operate a food facility from the Fresno County Department of Public Health, Environmental Health Division. A permit, once issued, is nontransferable. Contact the Consumer Food Protection Program at (559) 600-3357 for more information.
- Prior to the issuance of building permits, the applicant shall submit three (3) sets of complete plans and specifications regarding the installation of any underground storage tanks to the Fresno County Department of Public Health, Environmental Health Division. Prior to operations, the fuel facility applicant shall apply for and secure a Permit to Operate an Underground Storage Tank System from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

***Promotion, preservation and protection of the community's health***

1221 Fulton Street / P. O. Box 11867, Fresno, CA 93775

(559) 600-3271 • FAX (559) 600-7629

The County of Fresno is an Equal Employment Opportunity Employer

[www.co.fresno.ca.us](http://www.co.fresno.ca.us) • [www.fcdph.org](http://www.fcdph.org)

- Applicant(s) proposing to use and/or store hazardous materials and/or hazardous wastes, they shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the California Health and Safety Code (HSC), Division 20, Chapter 6.95, Section 25507 (<http://cers.calepa.ca.gov/>). Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.
- The applicant(s) may be required to obtain a Medical Waste Permit from the California Department of Health Services, Medical Waste Management Program. Call (916) 449-5671 for more information.
- Prior to operation, future tenants may be required to apply for and obtain a license to sell alcoholic beverages. Contact the California Alcoholic Beverage Control Department at (559) 225-6334 for more information.
- The applicant, or any tenant leasing space, should be advised that construction and operating permits may be required by the State of California, Department of Health Services for wholesale food manufacturing. Contact the staff at the Division of Food and Drug at (559) 445-5323 for more information.
- Should a body art facility (i.e. tattoo, piercing, branding or permanent cosmetics facility) be proposed, prior to issuance of building permits, the tenant shall submit complete body art facility plans and specifications to the Fresno County Department of Public Health, Environmental Health Division, for review and approval. Contact the Body Art Program at (559) 600-3357 for more information.
- The proposed construction and future projects have the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code and the County Ordinance Code.

Recommended Conditions of Approval for Residential and Proposed Day Care:

- Construction permits for the development should be subject to assurance that the City of Fresno community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board, Division of Drinking Water-Southern Branch. For more information call (559) 447-3300.
- Construction permits for development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Facilities that use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the California Health and Safety Code (HSC), Division 20, Chapter

6.95, Section 25507 (<http://cers.calepa.ca.gov/>). Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

- The proposed construction and associated projects have the potential to expose nearby residents to elevated noise levels. Consideration should be given to the City's municipal code.
- Section 113789 of the California Health and Safety Code (California Retail Food Code) exempts child day care facilities, community care facilities, residential care facilities for the elderly, and residential care facilities for the chronically ill, which has the same meaning as a residential care facility, as defined in Health & Safety Code Section 1568.01. These facilities are not deemed to be FOOD FACILITIES, and, therefore, are exempt from this part. As such, this Division has no regulatory jurisdiction on the daycare facility. Section 114437 delegates the authority to the State Department of Social Services.

The project should be routed to the following agency for comment:

California State Department of Social Services  
Community Care Licensing  
770 E. Shaw Ave., Suite 330  
Fresno, CA 93710-7708  
(559) 243-8080

- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.
- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

---

REVIEWED BY:

*Kevin Tsuda*

Kevin Tsuda, R.E.H.S.  
Environmental Health Specialist II

(559) 600-33271

---

kt

cc: Rogers, Moreno, Baruti, Chugg, Yang, Gomez & Xiong- Environmental Health Division (CT. 12.02)

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

File No. 210.413

Page 1 of 4

**PUBLIC AGENCY**

JOSE VALENZUELA  
DEVELOPMENT SERVICES/PLANNING  
CITY OF FRESNO  
2600 FRESNO ST., THIRD FLOOR  
FRESNO, CA 93721

**DEVELOPER**

NICK YOVINO  
1879 S. HOMSY AVE.  
FRESNO, CA 93727

PROJECT NO: **2020-00636**

ADDRESS: **4645 E. JENSEN AVE.**

APN: **480-030-60**

SENT: **June 29, 2020**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
HH	\$94,487.00	NOR Review	\$467.00	To be paid prior to release of District comments to Public Agency and Developer.
		Grading Plan Review	\$2,376.00	Amount to be submitted with first grading plan submittal.
Total Drainage Fee: \$94,487.00		Total Service Charge:	\$2,843.00	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/21 based on the site plan submitted to the District on 5/21/20. Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR  
CUP No. 2020-00636**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 2 of 4

**Approval of this development shall be conditioned upon compliance with these District Requirements.**

1. ☐ a. Drainage from the site shall  
☒ b. Grading and drainage patterns shall be as identified on Exhibit No. 1  
☐ c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
☐ Developer shall construct facilities as shown on Exhibit No. 1 as  
☒ None required.
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
☒ Grading Plan  
☒ Street Plan  
☐ Storm Drain Plan  
☐ Water & Sewer Plan  
☐ Final Map  
☒ Drainage Report (to be submitted with tentative map)  
☐ Other  
☐ None Required
4. Availability of drainage facilities:  
☒ a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
☐ b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
☐ c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
☐ d. See Exhibit No. 2.
5. The proposed development:  
☐ Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
☒ Does not appear to be located within a flood prone area.
6. ☐ The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

**FR  
CUP No. 2020-00636**

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 3 of 4

**FR  
CUP No. 2020-00636**

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.   X   See Exhibit No. 2 for additional comments, recommendations and requirements.



Debbie Campbell  
Design Engineer, RCE

Digitally signed by Debbie Campbell Date: 6/29/2020 11:43:59 AM



Rick Lyons  
Engineering Tech III

Digitally signed by Rick Lyons Date: 6/29/2020 11:42:26 AM

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 4 of 4

CC:

SHISHU BEDI, BDM BUILDERS LLC

---

177 PARK AVENUE, SUITE 200

---

SAN JOSE, CA 95113

---

HAMEL INVESTMENT PROPERTIES LLC

---

2458 SADDLE HORN CT.

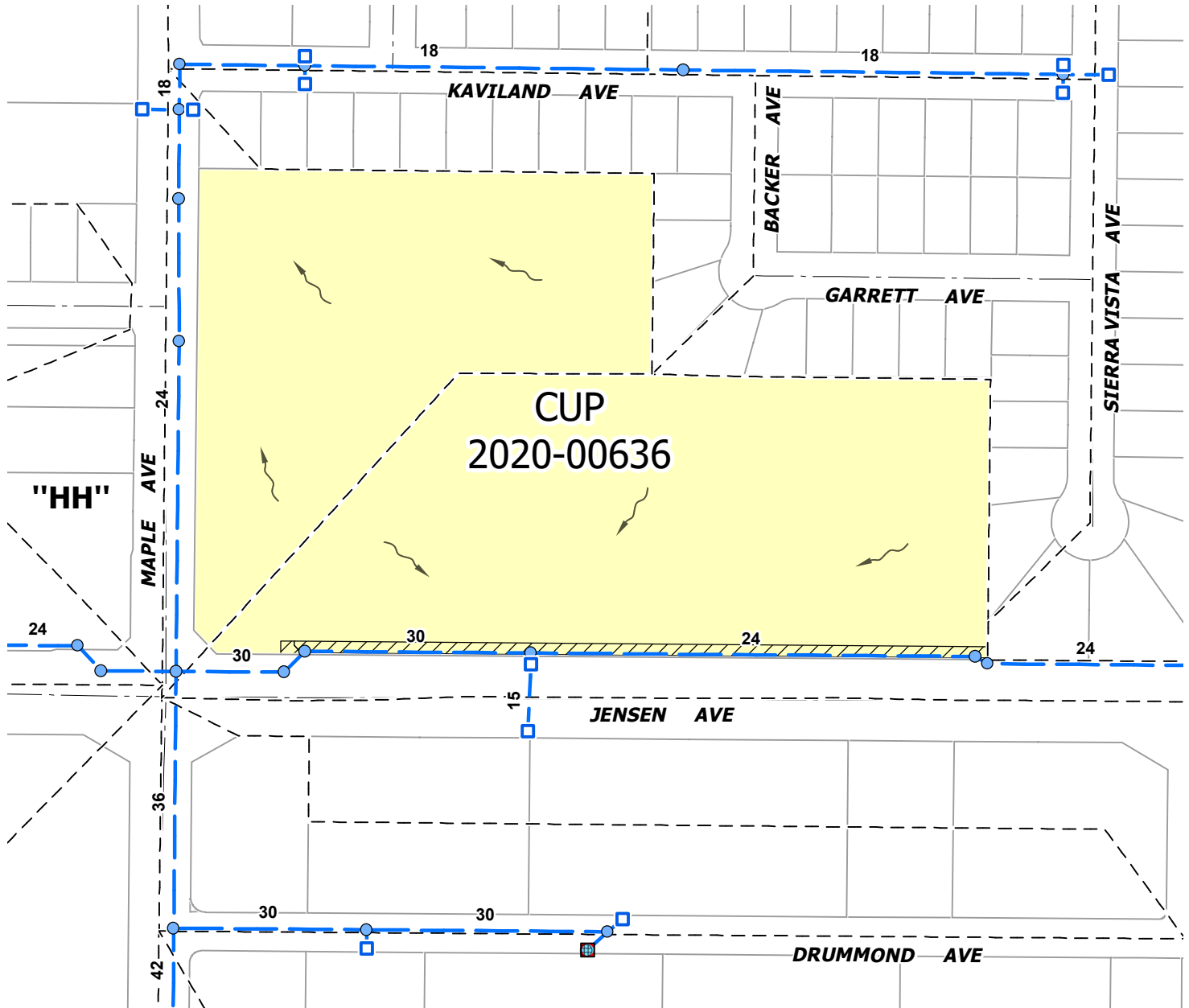
---

BLUFFDALE, UT 84065

---

**FR CUP No. 2020-00636**

NOTE: THIS MAP IS SCHEMATIC.  
DISTANCES, AMOUNT OF CREDITABLE  
FACILITIES, AND LOCATION OF INLET  
BOUNDARIES ARE APPROXIMATE.



## LEGEND

- Existing Master Plan Facilities
- Inlet Boundary
- Direction Of Drainage
- Existing 15' Wide Storm Drain Easement



1" = 200'

**CUP 2020-00636**  
**DRAINAGE AREA "HH"**



## EXHIBIT NO. 1 FRESNO METROPOLITAN FLOOD CONTROL DISTRICT

Prepared by: keithr  
Date: 6/3/2020  
Path: K:\Autocad\DWGS\0EXHIBIT\CITYCUP\2020-00636.mxd

## **OTHER REQUIREMENTS**

### **EXHIBIT NO. 2**

There is an existing fifteen-foot (15') wide storm drain easement along the southerly property line of the project site as shown on Exhibit No. 1. No encroachments into the easement shall be permitted including, but not limited to, foundations, roof overhangs, swimming pools, and trees

In an effort to improve storm runoff quality, outdoor storage areas shall be constructed and maintained such that material that may generate contaminants will be prevented from contact with rainfall and runoff and thereby prevent the conveyance of contaminants in runoff into the storm drain system.

The District encourages, but does not require that roof drains from non-residential development be constructed such that they are directed onto and through a landscaped grassy swale area to filter out pollutants from roof runoff.

Runoff from areas where industrial activities, product, or merchandise come into contact with and may contaminate storm water must be treated before discharging it off-site or into a storm drain. Roofs covering such areas are recommended. Cleaning of such areas by sweeping instead of washing is to be required unless such wash water can be directed to the sanitary sewer system. Storm drains receiving untreated runoff from such areas shall not be connected to the District's system. Loading docks, depressed areas, and areas servicing or fueling vehicles are specifically subject to these requirements. The District's policy governing said industrial site NPDES program requirements is available on the District's website at: [www.fresnofloodcontrol.org](http://www.fresnofloodcontrol.org) or contact the District's Environmental Department for further information regarding these policies related to industrial site requirements.



**Fresno Metropolitan Flood Control District**  
*Capturing Stormwater since 1956*

File 210.414  
400.21

July 6, 2020

Mr. Jose Valenzuela  
City of Fresno, Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno, CA 93721-3604

Dear Mr. Valenzuela,

**Rezone and Plan Amendment No. P20-00635**  
**Drainage Area "HH"**

The District has reviewed the land use changes proposed through the subject rezone and plan amendment. The proposed rezone lies within the District's Drainage Area "HH". The District's system can accommodate the proposed rezone.

Should you have any questions concerning this matter, please feel free to contact the District.

Very truly yours,

Rick Lyons  
Engineer Technician III

RL/lrl



*Preparing Career Ready Graduates*

May 21, 2020

Jose Valenzuela  
Development and Resource Management  
City of Fresno  
2600 Fresno Street, Third Floor  
Fresno, CA 93721-3604

**SUBJECT: PLANNING APPLICATION P20-00635  
'JENSEN LANDING' – PROPOSED MIXED USE DEVELOPMENT  
4645 E. JENSEN AVE.**

Dear Mr. Valenzuela,

Fresno Unified School District submits the following response to your request for review and comment on the above referenced Planning Application. The applicant proposes the construction of a mixed-use development to consist of 50,000 square feet of retail space, 15,000 square feet of office space, and a 150-unit multi-family complex to be located at 4645 East Jensen Avenue.

Any urban residential development occurring as a result of project approval will have an impact on the District's student housing capacity. The District, through local funding, is in a position to partially mitigate its shortage of classrooms to accommodate planned population growth for the foreseeable future. However, the District recognizes that the legislature, as a matter of law, has deemed, under Government Code Section 65996, that all school facilities impacts are mitigated as a consequence of SB 50's Level 1, 2 and 3 developer fee legislative provisions.

New development on the above referenced property is subject to development fee rates in effect at the time of payment; currently \$3.79 per square foot for residential development, and \$0.61 per square foot for commercial development. For mixed use projects the residential units and commercial space would be charged the residential and commercial rates, respectively. Fees will be calculated pursuant to rates effective at the time of payment and new development on the property will be subject to the development fee prior to issuance of a building permit.

The project is presently within the attendance areas of the schools identified below.

Elementary School:	Aynesworth
Middle School:	Terronez
High School:	Sunnyside

This project could potentially generate 72 TK-12 students, including approximately 47 elementary school students. If the assigned neighborhood schools cannot accommodate the increased number of students, current school assignments may be evaluated for potential adjustments.

The district appreciates the opportunity to comment on the proposed project. Please contact our office at 457-3066 if you have any questions or require additional information regarding our comments.

Sincerely,

Alex Belanger, Assistant Superintendent  
Facilities Management and Planning

AB:hl

DWC

## BOARD OF EDUCATION

Keshia Thomas, President  
Valerie F. Davis, Clerk  
Claudia Cazares  
Genoveva Islas  
Elizabeth Jonasson Rosas  
Carol Mills, J.D.  
Major Terry Slatik USMC (Retired)

## SUPERINTENDENT

Robert G. Nelson, Ed.D.



# RE: Accela housing element question (P20-00635 & P20-00636)

Casey Lauderdale

Thu 2/4/2021 4:19 PM

To: Jose Valenzuela <Jose.Valenzuela@fresno.gov>;

Cc: Rina Gonzales <Rina.Gonzales@fresno.gov>; Talia Kolluri <Talia.Kolluri@fresno.gov>;

Hi Jose and Rina,

I don't think this has changed much from the initial HE review in August except then I thought it was 150 units (but let me know if I'm not seeing something!). Thus I'm providing a slightly modified set of findings below. This one was odd because the rezone increases HE capacity, but because it's for above moderate units, that cancels out those gains and results in the loss of the existing capacity. I left in the Inventory numbers from August, but if you want to instead include them as they are today, they are as follows:

Before project: Low/Very Low: 4366

After project: Low/Very Low: 4309

Please do let me know if you see any issues or have any questions.

HE: Project P20-00636 and Project P20-00635 are located on a parcel listed in the 2013-2023 RHNA Housing Sites Inventory, which is designated for 57 units at the low/very low housing affordability category. Project P20-00636 proposes 151 units of above moderate housing. Project P20-00635 is a Plan Amendment modifying 3.58 acres of RM-2 to 3.4 acres of RM-3, which will increase the capacity by 45 units for a total capacity of 102 units of low/very housing.

The 2013-2023 RHNA obligation for low/very low is 8,834 and the existing surplus capacity is 4,672 for a total existing capacity of 13,507 units. While P20-00635 will have the effect of increasing the capacity to 102 low/very low units, project P20-00636 proposes 151 units of above moderate housing, thus resulting in the loss of the original capacity of 57 units for a new low/very low surplus of 4,615.

The remaining sites identified in the Housing Element are adequate to meet the requirements of Section 65583.2 of the California Government Code and to accommodate the City's share of the regional housing need pursuant to Section 65584, therefore this project is consistent with the Housing Element.

---

**From:** Jose Valenzuela <Jose.Valenzuela@fresno.gov>

**Sent:** Thursday, February 4, 2021 1:19 PM

**To:** Casey Lauderdale <casey.lauderdale@fresno.gov>

**Subject:** Re: Accela housing element question (P20-00635 & P20-00636)

Thank you Casey.

**Jose M Valenzuela**

Planner

Planning and Development Department

Development Services Division

2600 Fresno Street, Third Floor, Room 3043

Fresno, CA 93721

Office: (559) 621-8070  
[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)

---

**From:** Casey Lauderdale  
**Sent:** Thursday, February 4, 2021 12:54 PM  
**To:** Jose Valenzuela  
**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Thanks- I have meetings until 3, so I can work on it then.

---

**From:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>  
**Sent:** Thursday, February 4, 2021 12:51 PM  
**To:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>  
**Subject:** Re: Accela housing element question (P20-00635 & P20-00636)

The attorneys wanted me to add supporting facts to my findings stating that the proposed development promotes additional residential and commercial space. Not sure if you have time today to help me out. I guess I can use the findings you provided in the email below and I can tweak it if you're super busy.

Let me know what's the earliest you can.

---

**From:** Casey Lauderdale  
**Sent:** Thursday, February 4, 2021 12:24:52 PM  
**To:** Jose Valenzuela  
**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Ah, okay – I'll take a look. Can you give me a deadline? That'll be helpful.

---

**From:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>  
**Sent:** Thursday, February 4, 2021 12:03 PM  
**To:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>  
**Subject:** Re: Accela housing element question (P20-00635 & P20-00636)

The RM-3 acres changed from the original proposal.

**Jose M Valenzuela**  
Planner  
Planning and Development Department  
Development Services Division  
2600 Fresno Street, Third Floor, Room 3043  
Fresno, CA 93721

Office: (559) 621-8070  
[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)

---

**From:** Jose Valenzuela  
**Sent:** Thursday, February 4, 2021 11:47 AM  
**To:** Casey Lauderdale  
**Subject:** Re: Accela housing element question (P20-00635 & P20-00636)

It changed a bit. Please see the attached project description. It is now 151 multi family units under the proposed RM-3 zone district.

**Jose M Valenzuela**

Planner

Planning and Development Department

Development Services Division

2600 Fresno Street, Third Floor, Room 3043

Fresno, CA 93721

Office: (559) 621-8070

[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)

---

**From:** Casey Lauderdale**Sent:** Thursday, February 4, 2021 11:44 AM**To:** Jose Valenzuela**Subject:** FW: Accela housing element question (P20-00635 & P20-00636)

Hi Jose, is this the same project? Has the project changed since August?

If so I can revise the findings.

---

**From:** Casey Lauderdale**Sent:** Thursday, August 6, 2020 3:47 PM**To:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>**Cc:** Michelle Zumwalt <[Michelle.Zumwalt@fresno.gov](mailto:Michelle.Zumwalt@fresno.gov)>**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Perfect, thank you.

---

**From:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>**Sent:** Thursday, August 6, 2020 3:35 PM**To:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>**Cc:** Michelle Zumwalt <[Michelle.Zumwalt@fresno.gov](mailto:Michelle.Zumwalt@fresno.gov)>**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Hello Casey,

It makes sense to me.

Thanks,

**Jose M Valenzuela**

Planning and Development Department

Development Services Division

2600 Fresno Street, Third Floor, Room 3043

Fresno, CA 93721

Office: (559) 621-8070

[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)

**Helpful links:** [Zoning Lookup](#) [Fresno Municipal Code](#) [Application & Forms](#)

---

**From:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>  
**Sent:** Thursday, August 06, 2020 3:21 PM  
**To:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>  
**Cc:** Michelle Zumwalt <[Michelle.Zumwalt@fresno.gov](mailto:Michelle.Zumwalt@fresno.gov)>  
**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Here is the draft for the Housing Element findings. I'm combining the results for the two related projects. Can you please let me know if this makes sense? And I'd appreciate a second look on the math.

HE: Project P20-00636 and Project P20-00635 are located on a parcel listed in the 2013-2023 RHNA Housing Sites Inventory, which is designated for 57 units at the low/very low housing affordability category. Project P20-00636 proposes 150 units of above moderate housing. Project P20-00635 is a Plan Amendment modifying 3.58 acres of RM-2 to 3.38 acres of RM-3, which will increase the capacity by 44 units for a total capacity of 101 units of low/very housing.

The 2013-2023 RHNA obligation for low/very low is 8,834 and the existing surplus capacity is 4,672 for a total existing capacity of 13,507 units. While P20-00635 will have the effect of increasing the capacity to 101 low/very low units, project P20-00636 proposes 150 units of above moderate housing, thus creating a gain of 150 above moderate units to the existing above moderate surplus of 5,086 units and the loss of 101 units of low/very low income housing, resulting in a net loss of 57 units for a new low/very low surplus of 4,615.

The remaining sites identified in the Housing Element are adequate to meet the requirements of Section 65583.2 of the California Government Code and to accommodate the City's share of the regional housing need pursuant to Section 65584, therefore this project is consistent with the Housing Element.

---

**From:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>  
**Sent:** Wednesday, August 5, 2020 4:58 PM  
**To:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>  
**Cc:** Michelle Zumwalt <[Michelle.Zumwalt@fresno.gov](mailto:Michelle.Zumwalt@fresno.gov)>  
**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Hello Casey,

For now it is market rate.

Thanks,

**Jose M Valenzuela**

Planning and Development Department  
Development Services Division  
2600 Fresno Street, Third Floor, Room 3043  
Fresno, CA 93721

Office: (559) 621-8070  
[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)

**Helpful links:** [Zoning Lookup](#) [Fresno Municipal Code](#) [Application & Forms](#)

---

**From:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>  
**Sent:** Tuesday, August 04, 2020 8:57 PM  
**To:** Michelle Zumwalt <[Michelle.Zumwalt@fresno.gov](mailto:Michelle.Zumwalt@fresno.gov)>

**Cc:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>

**Subject:** Re: Accela housing element question (P20-00635 & P20-00636)

Hi Michelle,

I counted  $30 \times 3.38$  acres at the minimum density, so they are within the maximum at  $3.38 \times 45 = 152$ .

Jose, if you happen to know if they have any such documentation that would be helpful, otherwise we'll record it as market rate and will have to check after it's built what the affordability level is.

Thanks so much!

-Casey

---

**From:** Michelle Zumwalt

**Sent:** Tuesday, August 4, 2020 8:15:14 PM

**To:** Casey Lauderdale

**Cc:** Jose Valenzuela

**Subject:** RE: Accela housing element question (P20-00635 & P20-00636)

Hello Casey,

As part of the CUP, are they applying for an Affordable Housing Density Bonus to increase from the maximum of 101 units allowed to 150 units?

Unfortunately, to count any of the units as low or very low we would need proof through some form of covenant or deed restriction.

Thank you for reviewing and providing comments if needed!

Michelle

---

**From:** Casey Lauderdale <[casey.lauderdale@fresno.gov](mailto:casey.lauderdale@fresno.gov)>

**Sent:** Tuesday, August 04, 2020 8:03 PM

**To:** Michelle Zumwalt <[Michelle.Zumwalt@fresno.gov](mailto:Michelle.Zumwalt@fresno.gov)>

**Cc:** Jose Valenzuela <[Jose.Valenzuela@fresno.gov](mailto:Jose.Valenzuela@fresno.gov)>

**Subject:** Accela housing element question (P20-00635 & P20-00636)

Hi Michelle,

Do you know how I should record the following scenario?

1. Plan Amendment changes the zone from RM-2 to RM-3 increasing the low/very low capacity from 57 to 101
2. Conditional Use Permit that proposes 150 units of residential

Does the density alone allow us to record this as an increase of at least 44 units of low/very low or do we still need some form of covenant or deed restriction to prove it?

Jose – just checking, would a development permit follow with a more precise number?

Also, as a personal sigh, soooo much parking!! Also, also, sorry for the delay in reviewing this. I'm working through a list of projects that were still assigned to Amber.

Thanks everyone,  
Casey

2/8/2021

RE: Accela housing element question (P20-00635 & P20-00636) - Jose Valenzuela

--

Casey Lauderdale  
Planner  
City of Fresno  
Planning and Development



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2020-AWP-8083-OE

Issued Date: 07/30/2020

Nick Yovino  
Nick Yovino  
1879 South Homsy Avenue  
Fresno, CA 93727

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Multi-Family Residential & Retail
Location:	Fresno, CA
Latitude:	36-42-27.28N NAD 83
Longitude:	119-44-40.23W
Heights:	295 feet site elevation (SE) 47 feet above ground level (AGL) 342 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

\_\_\_\_ At least 10 days prior to start of construction (7460-2, Part 1)  
\_\_X\_\_ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 2.

This determination expires on 01/30/2022 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This determination cancels and supersedes prior determinations issued for this structure.

If we can be of further assistance, please contact our office at (424) 405-7641, or [tameria.burch@faa.gov](mailto:tameria.burch@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2020-AWP-8083-OE.

**Signature Control No: 446035904-447039511**

( DNE )

Tameria Burch  
Technician

City Hall  
2600 Fresno Street, 4<sup>th</sup> Floor  
Fresno, California 93721  
Ph. (559) 621-8800  
[www.fresno.gov](http://www.fresno.gov)

Scott L. Mozier, P.E.  
Public Works Director

June 15, 2020

Jose Valenzuela, Planner III  
Planning and Development Department  
2600 Fresno Street, 3<sup>rd</sup> Floor  
Fresno, CA 93721

**SUBJECT: REVIEW OF THE TRAFFIC IMPACT ANALYSIS (TIA) DATED FEBRUARY 3, 2020 AND ADDENDUM LETTER DATED FEBRUARY 28, 2020 FOR THE PROPOSED BDM BUILDERS MIXED-USE DEVELOPMENT LOCATED ON THE NORTHEAST CORNER OF MAPLE AVENUE AND JENSEN AVENUE TIS 20-009, P20-00634, P20-00636**

## **PROJECT OVERVIEW**

Traffic Operations and Planning staff has reviewed the Traffic Impact Analysis (TIA) prepared by JLB Traffic Engineering, Inc. for the proposed BDM Builders Mixed-Use Development, "project", located on the northeast corner of Maple Avenue and Jensen Avenue. The project proposes a General Plan Amendment to modify the 5.90 acres of light industrial, 2.15 acres of community commercial, and 3.53 acres of residential (RM-2) to 3.50 acres of light industrial, 5.36 acres of community commercial, and 3.38 acres of residential (RM-3). The project proposed to develop the approximately 12.18 acres site, which is currently vacant, with the following uses:

Gasoline/Service Station with 16 fueling positions and a specialty store

- 3,000 square foot fast-food restaurant with drive-through window
- 2,000 square foot fast-food restaurant without a drive-through window
- 32,000 square feet of retail uses
- 2,000 square foot coffee/donut shop with drive-through window
- 14,500 square foot medical-dental office
- 6,000 square foot walk-in bank
- 5,000 square foot office building
- 150 multi-family units (apartments)
- 4,000 square foot daycare

The TIA evaluated the impacts of the project by analyzing nine (9) intersections in the vicinity of the project during the AM and PM peak hours. Vehicle trips projected to be generated by the project were calculated using the ITE Trip Generation Manual, 10<sup>th</sup> Edition. The table below includes the daily (ADT), AM and PM peak hour trips projected to be generated by existing General Plan use and the proposed project as shown in the TIA.

Land Use	Size	Weekday						
		ADT	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Existing General Plan Uses								
Light Industrial (ITE Code 110)	45,618 SF	226	28	4	32	4	25	29
Multi-family Housing (Low Rise) (ITE Code 221)	81 DU	593	9	28	37	28	17	45
Shopping Center (ITE Code 820)	55,539 SF	2,097	32	20	52	102	110	212
Total		2,916	69	52	121	134	152	286
Proposed General Plan Uses								
Gasoline/Service Station with Convenience Market (ITE Code 945)	16 fueling positions	3,286	102	98	200	114	110	224
Fast-Food Restaurant with Drive-Thru (ITE Code 934)	3,000 SF	1,413	62	59	121	51	47	98
Fast-Food Restaurant without Drive-Thru (ITE Code 933)	2,000 SF	692	30	20	50	28	29	57
Shopping Center (ITE Code 820)	32,000 SF	1,208	19	11	30	59	63	122
Coffee/Donut Shop with Drive- Thru (ITE Code 937)	2,000 SF	1,641	91	87	178	43	44	87
Medical-Dental Office Building (ITE Code 720)	14,500 SF	505	31	9	40	14	36	50
Walk-in Bank (ITE Code 911)	6,000 SF	600	0	0	0	32	41	73
Small Office Building (ITE Code 712)	5,000 SF	81	8	2	10	4	8	12
Multifamily Housing (Mid-Rise) (ITE Code 221)	150 DU	816	14	40	54	40	26	66
Day Care Center (ITE Code 565)	4,000 SF	190	23	21	44	21	23	44
Total		10,432	380	347	727	406	427	833
Difference		+7,516	+311	+295	+606	+272	+275	+547

SF = square feet

DU = dwelling units

Based on the analyses included in the TIA, the intersection of Chestnut Avenue at Florence Avenue is currently operating below the adopted Traffic Impact Zone (TIZ) III level of service (LOS) standard of LOS D and is projected to continue to operate below the LOS D standard in all study scenarios. The intersections of Maple Avenue at Jensen Avenue and Chestnut Avenue at Jensen Avenue are projected to operate below the TIZ III standard in the Cumulative Year 2035 No Project and the Cumulative Year 2035 Plus Project scenarios. The intersection of Maple Avenue at North Avenue is projected to operate below the TIZ IV LOS standard of LOS E in the Near Term Plus Project, Cumulative Year 2035 No Project and Cumulative Year 2035 Plus Project scenarios.

In addition to operational analyses, the TIA prepared traffic signal warrants for all unsignalized intersections in all scenarios. Traffic Signal Warrant 1 – Eight Hour Volumes and Traffic Signal Warrant 2 – Four Hour Vehicular Volumes as defined in the California Manual of Uniform Traffic Control Devices (MUTCD) were prepared in the Existing scenario only. Traffic Signal Warrant 3 – Peak Hour Vehicular Volumes was prepared for all scenarios. The intersection of Maple Avenue at North Avenue currently satisfies Warrants 1, 2 and 3. It should be noted, when preparing Traffic Signal Warrant 3 JLB Engineering, Inc. has reduced the right turn volumes on the minor street approaches at all unsignalized intersections analyzed in the TIA by 50%. While the CA MUTCD does allow for the use of engineering judgement when determining the effects of the right-turn vehicle from the minor street approaches, staff does not agree with the reduction at the intersections analyzed in this study nor was the reduction proposed in the approved scope of work. The minor street approaches analyzed in the TIA are two-lane roadways/approaches with no striped right-turn lanes. The TIA reports the intersection of Maple Avenue at North Avenue as meeting Traffic Signal Warrant 3 beginning in the Near Term Plus Project scenario. When reevaluated by staff without the 50% reduction the warrant is met beginning in the Existing conditions scenario.

The TIA reviewed collisions obtained from the Statewide Integrated Traffic Records System (SWITRS) at all study intersections for the period of January 1, 2014 through December 31, 2018. In the TIA, the intersections of Maple Avenue at Jensen Avenue, Chestnut Avenue at Jensen Avenue, and Maple Avenue at North Avenue are reported to have had nine (9), seven (7) and five (5) non-DUI collisions, respectively during the 2014 through 2018 period. Three (3) or less non-DUI collisions were reported at all other study intersections.

## **GENERAL COMMENTS and CONDITIONS**

1. This project shall pay its Traffic Signal Mitigation Impact (TSMI) Fee per the Master Fee Schedule at the time of building permit.

The TSMI fee facilitates project impact mitigation to the City of Fresno Traffic Signal infrastructure so that costs are applied to each new project/building based on the generated ADT. The TSMI fee is credited against traffic signal installation/modifications and/or Intelligent Transportation System (ITS) improvements (constructed at their ultimate location) that plan to build out the General Plan circulation element and are included in the Nexus Study for the TSMI fee. If the project is conditioned with traffic signal improvements in excess of their TSMI fee amount, the applicant may apply for fee credits (security/bonding and/or developer agreement required) and/or reimbursement for work in

excess of their fee as long as the infrastructure is in place at the ultimate location. The applicant should work with the Public Works Department and identify, with a Professional Engineers estimate, the costs associated with the improvements prior to paying the TSMI fee to determine any applicable fee credits and/or reimbursements.

For project specific impacts that are not consistent with the General Plan, Public Works Standards, and/or are not incorporated into the TSMI fees, the infrastructure costs will not be eligible. Failure to pay this fee or construct improvements that are credited/reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence.

Improvements at the following study intersections are included in the TSMI fee program:

- Maple Avenue at Jensen Avenue
  - Maple Avenue at North Avenue
2. This project shall pay its Fresno Major Street Impact (FMSI) Fee, which will be determined at time of building permit. This FMSI fee is creditable towards major street roadway improvements included in the nexus study for the FMSI fee.
  3. The project shall pay the Regional Transportation Mitigation Fee (RTMF). Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption, based on vesting rights, prior to issuance of building permits.
  4. The proposed project shall pay the \$288 Traffic Impact Study review fee for review of the document. Proof of payment shall be provided to the Traffic Operations and Planning Division.
  5. The proposed project shall modify the intersection of Maple Avenue at Jensen Avenue to include northbound and southbound left-turn phasing. Plans shall be reviewed and approved by the Traffic Operations and Planning Division, Traffic Operations Section.
  6. The proposed project is proposing three (3) access points along Jensen Avenue. Per the Jensen Avenue Access Plan two (2) access points will be approved. The site plan shall be modified to reflect two (2) access points along Jensen Avenue.
  7. The proposed project shall make necessary improvements and right-of-way and public easement dedications along adjacent public street(s) and within the site boundaries per City of Fresno standards/requirements.
  8. The proposed site plan shall be reviewed and approved by the City of Fresno Traffic Operations and Planning Division, Traffic Planning Section.

If you have any further questions regarding this matter, please contact me at (559) 621-8792 or [jill.gormley@fresno.gov](mailto:jill.gormley@fresno.gov) .

Sincerely,

Jill Gormley, TE  
City Traffic Engineer / Traffic Operations & Planning Manager  
Public Works Department, Traffic Operations & Planning Services

C: Copy filed with Traffic Impact Study  
Louise Gilio, Traffic Planning Supervisor  
Harman Dhaliwal, PE  
Andrew Benelli, Assistant Director  
Francisco Magos, Engineering Services Manager  
Jason Camit, Chief Surveyor



**DATE:** May 26, 2020

**TO:** Israel Trejo, Planning Reviewer  
Development and Resource Management Department

**FROM:** Ann Lillie, Senior Engineering Technician  
Public Works Department, Traffic Operations and Planning Division

**SUBJECT:** PUBLIC WORKS CONDITIONS OF APPROVAL FOR CONDITIONAL  
USE PERMIT P20-00636 REGARDING MAINTENANCE  
REQUIREMENTS

**LOCATION:** 4645 E Jensen Ave  
**APN:** 501-152-01S

The Public Works Department, Traffic Operations and Planning Division, has completed its review and the following requirements are to be placed on this development as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the Exhibits submitted for this development.

<b>ATTENTION:</b>			
The item below requires a separate process with additional costs and timelines. In order to avoid delays with the development approval, the following item shall be submitted for processing to the Public Works Department, Traffic Operations and Planning Division <b>prior</b> building permit sign off. <b>At that time a HOLD of Occupancy will be placed on the project until the maintenance requirement has been satisfied.</b>			
<b>X</b>	<b>CFD Annexation Request Package</b>	Ann Lillie	(559) 621-8690 <a href="mailto:ann.lillie@fresno.gov">ann.lillie@fresno.gov</a>
<b>X</b>	<b>Private Maintenance Covenant</b>	Ann Lillie	(559) 621-8690 <a href="mailto:ann.lillie@fresno.gov">ann.lillie@fresno.gov</a>

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

Any change affecting the items in these conditions requires revision of this letter.

INCOMPLETE Community Facilities District (CFD) Annexation Request submittals may cause delays to the annexation process and project approval. **The annexation process takes from three to four months and SHALL be submitted for processing prior to Building Permit approval.**

All applicable construction plans for this development are to be submitted to the Public Works Department for review and approval prior to the CFD process. The Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process.

## 1. The Property Owner's Maintenance Requirements

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements (Services) associated with all new Commercial, Industrial and Multi-Family developments are the ultimate responsibility of the Property Owner. The property owner shall provide Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 9 (CFD No. 9).

The following public improvements (**Existing and Proposed**) are eligible for Services by CFD No. 9 as associated with this development:

- Landscaping, trees and irrigation systems within the City street rights-of-way (Parkways & Street Trees); and required and officially designated public trails within and adjacent to **Maple and Jensen Avenues**.
- Concrete curbs and gutters, valley gutters, sidewalks and curb ramps, and street lights within and adjacent to **Maple and Jensen Avenues**
- Trail amenities, to include the trail itself (asphalt or concrete); City required fencing, benches, drinking fountains, trash receptacles and low voltage lighting.
- All costs associated with the street lights (including repair and replacement) within public street rights-of-way.

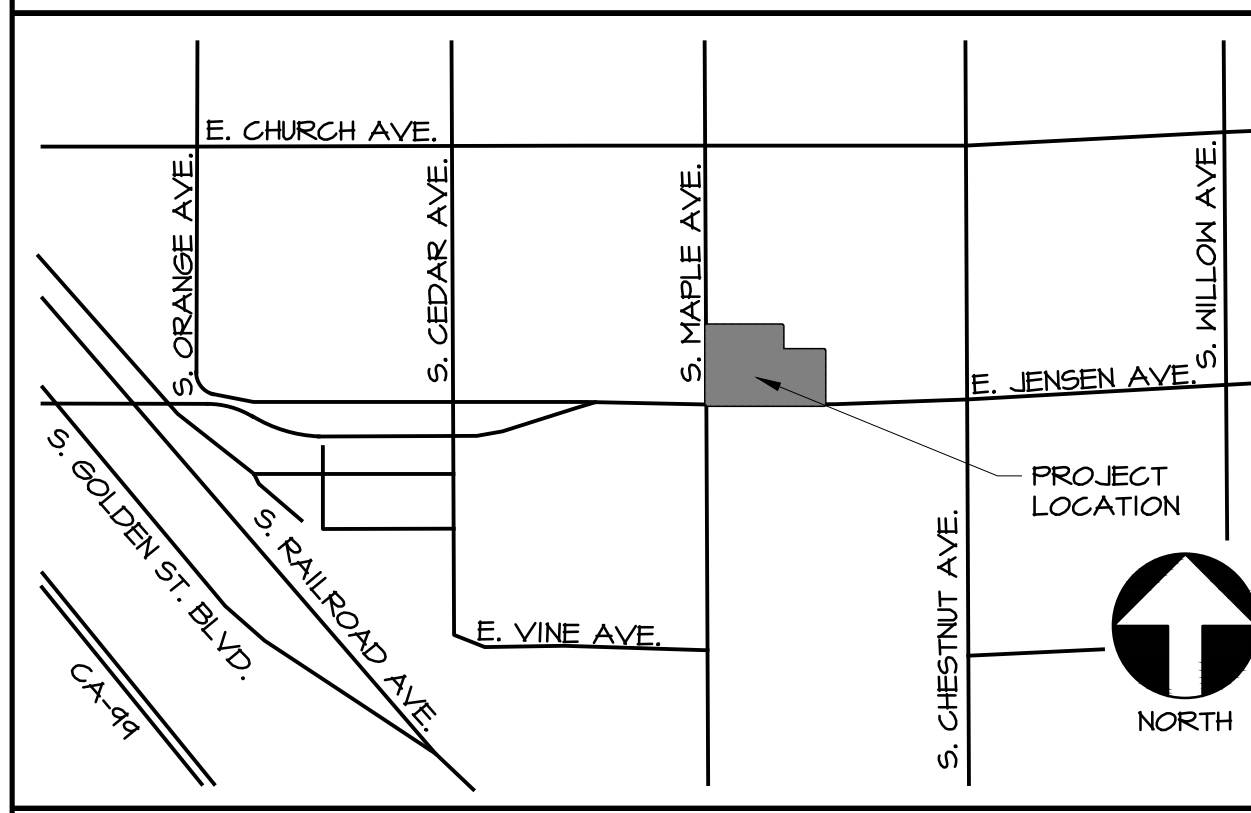
### The Property Owner may choose to do one or both of the following:

- a. The Property Owner may petition the City of Fresno to request annexation to CFD No. 9 by completing and submitting an Annexation Request Package to the Public Works Department, Traffic and Engineering Services Division for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Developer Doorway.
  - **Proceedings to annex the final map, or territory, to CFD No. 9 SHALL NOT commence unless the final map, or this development, is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.**
  - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 9 are not subject to change after acceptance for processing.**
  - Public improvements not listed above will require written approval by the Public Works Department Director or his designee.
- b. The Property Owner may provide for Services privately for some of the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 9 for Services **SHALL** be maintained by some other City

approved mechanism as approved by the City Engineer.

For questions regarding these conditions please contact me at (559) 621-8690 or [ann.lillie@fresno.gov](mailto:ann.lillie@fresno.gov)

## VICINITY MAP



## DEMOLITION KEYNOTES

- INDICATES (E) TREE TO BE DEMOLISHED, TYP.
- DEMO (E) FENCE AT PERIMETER OF PONDING BASIN
- (E) PONDING BASIN TO BE FILLED AND COMPACTED; SEE CIVIL
- (E) STORM DRAIN LINE TO BE DEMOLISHED OR ABANDONED; SEE CIVIL
- (E) OVERHEAD POWER LINE AND POLES TO BE DEMOLISHED
- (E) OVERHEAD TELEPHONE LINE AND POLES TO BE DEMOLISHED
- DEMO (E) MEDIAN AND CURB AS REQUIRED TO CONSTRUCT (N) LEFT TURN LANE; SEE CIVIL
- DEMO (E) MEDIAN LANDSCAPING AND IRRIGATION AT AREA OF DEMOLISHED MEDIAN; SEE CIVIL AND LANDSCAPING
- RELOCATE (E) 'SIGNAL AHEAD' SIGN; VERIFY LOCATION W/ CITY OF FRESNO

## PROJECT DIRECTORY

<b>OWNER</b> HAMEL INVESTMENT PROPERTIES, LLC 10768 S NAVARRO WAY SOUTH JORDAN, UT 84009 (801) 897-1578 CONTACT: SHISHU BEDI E-MAIL: shishu@designtrends.re	<b>CIVIL ENGINEER</b> GATEWAY ENGINEERING 5811 E. PRINCETON AVE. FRESNO, CA 93727 (559) 320-0344 CONTACT: JOEY DAGGETT EMAIL: JOEY@GATEWAYENG.COM
<b>PROJECT ARCHITECT</b> THE TAYLOR GROUP ARCHITECTS 410 PARK CREEK DRIVE VISALIA, CA 93291 (559) 708-4046 CONTACT: RUSS TAYLOR, CLAUDIO DADDATO E-MAIL: russ@tgarchitects.com claudio@tgarchitects.com	<b>TRAFFIC ENGINEER</b> JBL TRAFFIC ENGINEERING 516 W SHAW AVE. FRESNO, CA 93704 (559) 570-8881 CONTACT: JOSE LUIS BENAVIDES E-MAIL: jbenavides@jbltraffic.com
<b>LANDSCAPE ARCHITECT</b> WOOD ARCHITECTURE 1512 W MINERAL KING AVE. VISALIA, CA 93291 (559) 786-9600 CONTACT: TYSON CARROLL E-MAIL: tyson@woodarchitecture.com	<b>PLANNING CONSULTANT</b> NICK YOVIINO SR. / QUAD KNOPP 1879 S HOMSAY AVE. FRESNO, CA 93704 (559) 255-1355 CONTACT: NICK YOVIINO SR. E-MAIL: npoyvino@gmail.com

## SITE GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AS INDICATED HEREON AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY BETWEEN THESE PLANS AND EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BID.
  - THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS OF SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE SUBMITTING BIDS.
  - PROVIDE MINIMUM OF 24" CLEARANCE FROM BUILDINGS FOR A DISTANCE OF 5'-0" AT LANDSCAPE AREAS, 18" MINIMUM AT PAVING AREAS.
  - NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
  - PROVIDE 1/2" MAX. STEP FROM EXTERIOR DOOR THRESHOLDS TO EXTERIOR SURFACE. CHANGES IN ELEVATIONS MORE THAN 6" ALONG EXIT WAYS SHALL BE BY MEANS OF AN APPROVED RAMP.
  - LAY OUT FORMS FOR WALKWAYS AND EXTERIOR SLABS IN FIELD FOR ARCHITECT'S APPROVAL BEFORE POURING.
  - CONTRACTOR TO PROVIDE THE BUILDING DEPARTMENT WITH SOIL COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
  - THE APPLICANT SHALL INSTALL AN APPROVED BACKFLOW PREVENTION ASSEMBLY ADJACENT TO THE WATER METER AND SHALL BE TESTED BY AN APPROVED AHWA CERTIFIED TESTER WITHIN 5 DAYS OF INSTALLATION WITH THE RESULTS SENT TO THE CITY UTILITIES DIVISION.
  - CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL) INTO THE BUILDING FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
  - THE SOILS REPORT SHALL BE A PART OF THESE PLANS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK.
  - PROVIDE ILLUMINATED ADDRESS SIGN, VISIBLE FROM THE STREET PRIOR TO FINAL INSPECTION, PER FIRE DEPT. STANDARD.
  - ROOF MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BATTLED.
  - ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
  - TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND UTILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) (800) 642-2444.
  - LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
  - IF ARCHAEOLOGICAL AND/OR ANNUAL FOSSIL MATERIAL IS ENCOUNTERED OR UNCOVERED DURING PROJECT SURVEYING, GRADING, EXCAVATING OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY AND CONTACT THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGISTS DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
  - IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE (916) 693-4082) SHALL BE IMMEDIATELY CONTACTED AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE (805) 644-2299) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALY RECORDED AND RECOMMENDATIONS MADE TO THE CITY AS TO FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
  - APPROVAL OF THE SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT. THE ZONING ORDINANCE AND ALL ENGINEERING STANDARDS AND SPECIFICATIONS, THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELAYATIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
  - NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SPECIAL PERMIT SHALL BE PERMITTED.
  - ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
  - ALL PREVIOUSLY IMPOSED CONDITIONS OF APPROVAL FOR SPECIAL PERMITS PERTAINING TO THE SUBJECT PROPERTY SHALL REMAIN IN EFFECT AND ARE
- INCORPORATED HEREIN BY REFERENCE, EXCEPT AS MAYBE SPECIFICALLY MODIFIED BY THIS SPECIAL PERMIT.
- ACCESSIBLE PARKING STALLS SHALL BE LOCATED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM THE ACCESSIBLE PARKING STALL.
  - ALL OUTDOOR LIGHTING SHALL BE HOODED AND DIRECTED DOWNWARD SO AS TO NOT SHINE TOWARD ADJACENT PROPERTIES AND PUBLIC STREETS.
  - NO LAND SHALL BE USED, AND NO STRUCTURE SHALL BE CONSTRUCTED, OCCUPIED, ENLARGED, ALTERED, DEMOLISHED OR MOVED IN ANY ZONING DISTRICT, EXCEPT ACCORDANCE WITH THE PROVISIONS OF THIS CODE. SPECIFIC USES OF LAND, BUILDINGS, AND STRUCTURES ARE PROHIBITED IN ANY ZONING DISTRICT ARE HEREBY DECLARED TO BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE.
  - ANY BUILDING MODIFICATIONS AND/OR ADDITIONS NOT INCLUDED WITH THIS APPLICATION ARE NOT APPROVED WITH THIS SPECIAL PERMIT AND WOULD BE SUBJECT TO A NEW SPECIAL PERMIT.
  - A PERMIT GRANTED UNDER THIS CODE SHALL AUTOMATICALLY EXPIRE IF IT IS NOT EXERCISED OR EXTENDED WITHIN THREE YEARS OF ITS ISSUANCE. REFER TO SECTION 15-203, EXPIRATION OF PLANNING ENTITLEMENTS, FOR MORE INFORMATION ABOUT THE EXPIRE OF PERMITS.
  - FUTURE FENCES SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO INSTALLATION.
  - TREES SHALL BE MAINTAINED BY PROPERTY OWNERS TO BE FREE FROM PHYSICAL DAMAGE OR INJURY ARISING FROM LACK OF WATER, CHEMICAL DAMAGE, ACCIDENTS, VANDALISM, INSECTS, AND DISEASE. ANY TREE SHOWING SUCH DAMAGE SHALL BE REPLACED WITH ANOTHER TREE.
  - NO TREE FOR WHICH A TREE REMOVAL PERMIT IS REQUIRED SHALL BE REMOVED UNTIL ALL CONDITIONS OF THE PERMIT HAVE BEEN SATISFIED AND THE DECISION HAS BECOME FINAL. IN ADDITION, TREES) APPROVED FOR REMOVAL IN CONJUNCTION WITH A DEVELOPMENT APPLICATION SHALL NOT BE REMOVED BEFORE THE ISSUANCE OF A BUILDING PERMIT OR UNLESS ALL OF THE CONDITIONS OF APPROVAL OF THE DEVELOPMENT APPLICATIONS ARE SATISFIED.
  - LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
  - NEW LANDSCAPING SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO PROVIDE ADEQUATE AND EFFICIENT COVERAGE OF ALL PLANT MATERIAL. IRRIGATION SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF CALIFORNIA GREEN BUILDING DESIGN STANDARDS CODE AND/OR THE CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE AND/OR THE CALIFORNIA PLUMBING CODE AS MAY BE AMENDED.
  - FUTURE TENANT IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT TO ENSURE THAT ADEQUATE OFF-STREET PARKING IS PROVIDED.
  - A MINIMUM NUMBER OF ACCESSIBLE PARKING STALLS ARE REQUIRED FOR THE PROPOSED PROJECT PER STATE OF CALIFORNIA BUILDING CODE, DEVELOPMENT REQUIREMENTS FOR HANDICAPPED ACCESSIBILITY.
  - ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-01 OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY OF SEVEN-FOOT POLES.
  - ALL GENERAL STANDARDS OF SECTION 15-2015 OF THE PMG SHALL APPLY WHEN LIGHTING IS PROVIDED TO ILLUMINATE PARKING, SALES, OR DISPLAY AREAS.
  - BICYCLE PARKING SPACES SHALL BE SUPPLIED ACCORDING TO TABLE 15-2424-D. REQUIRED ON-SITE BICYCLE PARKING SPACES OF THE FRESNO MUNICIPAL CODE (PMC). EACH BICYCLE PARKING SPACE SHALL BE A MINIMUM OF 30 INCHES IN WIDTH AND EIGHT FEET IN LENGTH. THERE SHALL BE ACCESSIBLE WITHIN MOVING ANOTHER BICYCLE. AT LEAST 30 INCHES OF CLEARANCE SHALL BE PROVIDED BETWEEN BICYCLE PARKING SPACES AND ADJACENT POLES, LANDSCAPE, STREET FURNITURE, DRIVE AISLES AND PEDESTRIAN WAYS AND AT LEAST FIVE FEET FROM VEHICLE PARKING SPACES TO ALLOW FOR THE MANEUVERING BESIDE OR BETWEEN EACH ROW WHEN MULTIPLE ROWS ARE PROVIDED. BICYCLE PARKING SPACES SHALL NOT ENCROACH INTO PEDESTRIAN WAYS, LANDSCAPE AREAS, OR OTHER REQUIRED OPEN SPACES, AND SHALL BE LOCATED PROXIMATE TO BUILDINGS.
  - SIGNS, OTHER THAN DIRECTIONAL SIGNS IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS PERMIT.
  - IF VIDEO SURVEILLANCE CAMERAS ARE REQUIRED OR INSTALLED, PROVIDE SIGNS UNDER THE SURVEILLANCE CAMERAS WHICH NOTIFY THE PUBLIC THAT THE SUBJECT PROPERTY IS MONITORED BY VIDEO SURVEILLANCE.
  - REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
  - ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAX. CROSS-SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY PUBLIC WORKS.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.

## PROJECT INFORMATION

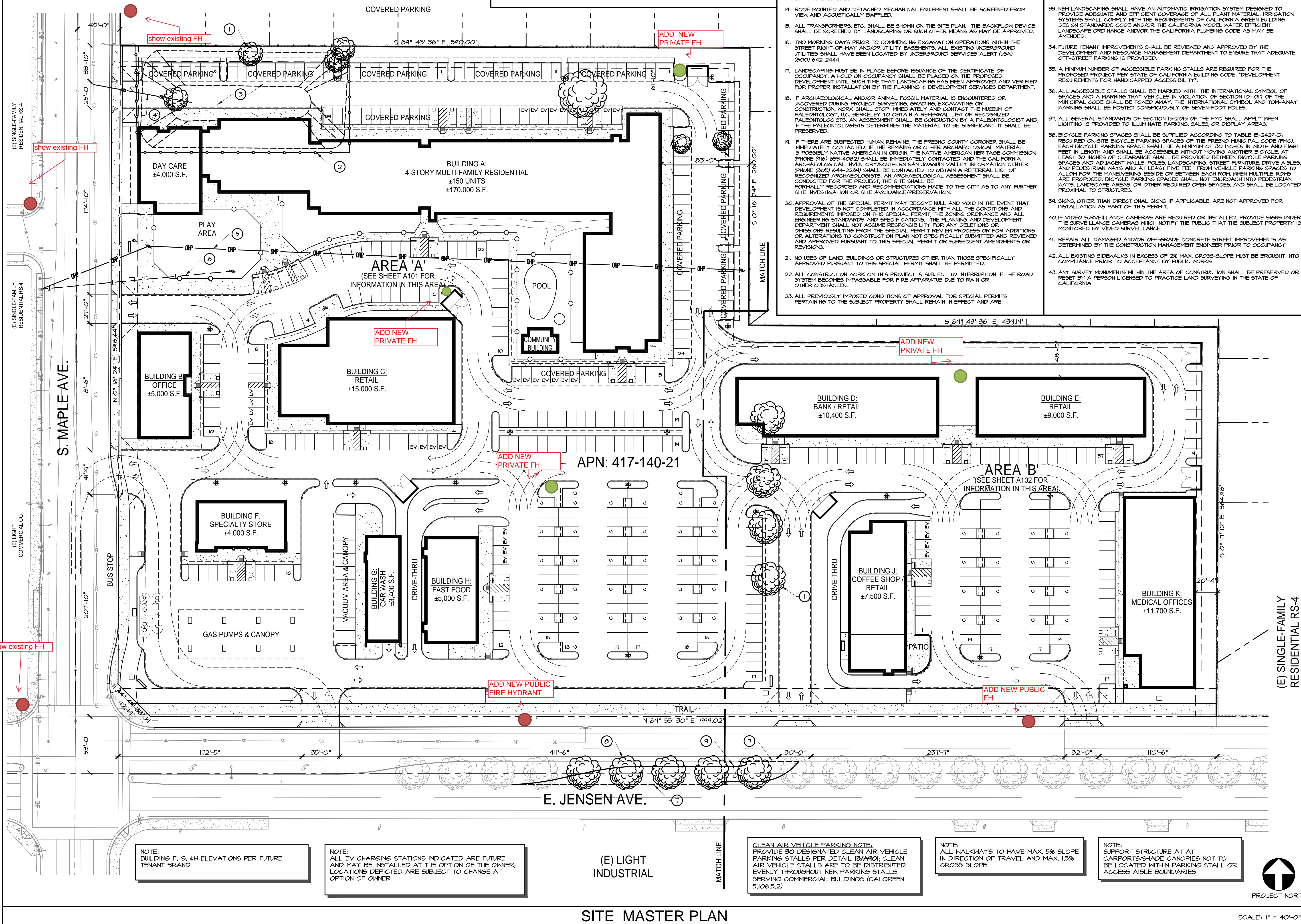
SITE ADDRESS:	E. JENSEN & S. MAPLE FRESNO, CA 93704
SITE PLAN REVIEW NO.:	-
APN:	480-030-60
EXISTING ZONING:	CC/IL/RM-2/ URM
EXISTING USE:	VACANT
PROPOSED USE:	MIXED USE, MULTI-FAMILY RESIDENTIAL, COMMERCIAL, RETAIL AND OFFICE SPACES
SITE AREA:	(530.561 SQ. FT.) 12.18 ACRES
BUILDING AREA:	A: FIRST FLOOR - DAY CARE 14,000 SQ. FT. A: FIRST FLOOR - RESIDENTIAL 38,500 SQ. FT. A: SECOND FLOOR - RESIDENTIAL 42,500 SQ. FT. A: THIRD FLOOR - RESIDENTIAL 42,500 SQ. FT. A: FOURTH FLOOR - RESIDENTIAL 42,500 SQ. FT. TOTAL BUILDING AREA: 170,000 SQ. FT.
BUILDING B: OFFICE	15,000 SQ. FT.
BUILDING C: RETAIL	15,000 SQ. FT.
BUILDING D: BANK/RETAIL	10,400 SQ. FT.
BUILDING E: RETAIL	19,000 SQ. FT.
BUILDING F: SPECIALTY STORE	14,000 SQ. FT.
BUILDING G: CAR WASH	13,400 SQ. FT.
BUILDING H: FAST FOOD	15,000 SQ. FT.
BUILDING J: COFFEE SHOP/RETAIL	17,500 SQ. FT.
BUILDING K: MEDICAL OFFICES	11,700 SQ. FT.
BUILDING HEIGHT:	FOUR STORIES FOR RESIDENTIAL; SEE ELEVATIONS SINGLE STORY FOR COMMERCIAL. SEE ELEVATIONS
SITE COVERAGE:	21.4% (BLDG. FOOTPRINT/SITE AREA)
TYPE OF CONSTRUCTION:	V-B W/ FIRE SPRINKLERS
OCCUPANCY GROUP:	R-2 / B
MULTI-UNIT RESIDENTIAL PARKING:	
REQUIREMENTS PER FRESNO MUNICIPAL CODE TABLE 15-2404:	
STUDIO UNITS (30)	= MIN. 30 COVERED + 8 GUEST SPACES
ONE-BR. UNITS (54)	= MIN. 54 COVERED + 24 GUEST SPACES
TWO-BR. UNITS (66)	= MIN. 66 COVERED + 33 GUEST SPACES
TOTAL PARKING REQUIRED (9'x18')	150 COVERED + 10 GUEST SPACES
ACCESSIBLE PARKING REQUIRED:	11 SPACES (2 VAN + 9 STANDARD)
PARKING PROVIDED:	
COVERED STALLS:	150 (9'x18')
VISITOR STALLS:	10 (9'x18')
ACCESSIBLE STALLS:	12 (9'x18')
TOTAL STALLS:	232
FUTURE RESIDENTIAL E.V. CHARGING STATIONS:	232 X .06 = 14 MIN. REQ'D. (PER CALGREEN 4.106.4.2)
COMMERCIAL PARKING:	
REQUIREMENTS PER FRESNO MUNICIPAL CODE TABLE 15-2404:	
BUILDING B: OFFICE (11,400)	= MIN. 13 SPACES
BUILDING C: RETAIL (11,450)	= MIN. 33 SPACES
BUILDING D: BANK/RETAIL (11,400/1,450)	= MIN. 25 SPACES
BUILDING E: RETAIL (11,450)	= MIN. 20 SPACES
BUILDING F: SPECIALTY STORE (11,450)	= MIN. 9 SPACES
BUILDING G: CAR WASH	N/A
BUILDING H: FAST FOOD (11,150)	= MIN. 34 SPACES
BUILDING J: COFFEE SHOP/RETAIL (11,150/1,450)	= MIN. 25 SPACES
BUILDING K: MEDICAL OFFICES (11,275)	= MIN. 43 SPACES
TOTAL PARKING REQUIRED:	202 SPACES
ACCESSIBLE PARKING REQUIRED:	7 SPACES (2 VAN + 5 STANDARD)
PARKING PROVIDED:	
STANDARD STALLS:	246 (9'x18')
COMPACT STALLS:	44 (9'x17')
ACCESSIBLE STALLS:	18 (9'x18')
TOTAL STALLS:	363
(ASSUME 25% TENANT-OCCUPANTS, 75% VISITORS)	
DESIGNATED CLEAN AIR VEHICLE PARKING STALLS REQ'D.	363 X .08 = 30 MIN.
FUTURE E.V. CHARGING STATIONS:	363 X .06 = 22 MIN. REQ'D. (PER CALGREEN 4.106.4.2)

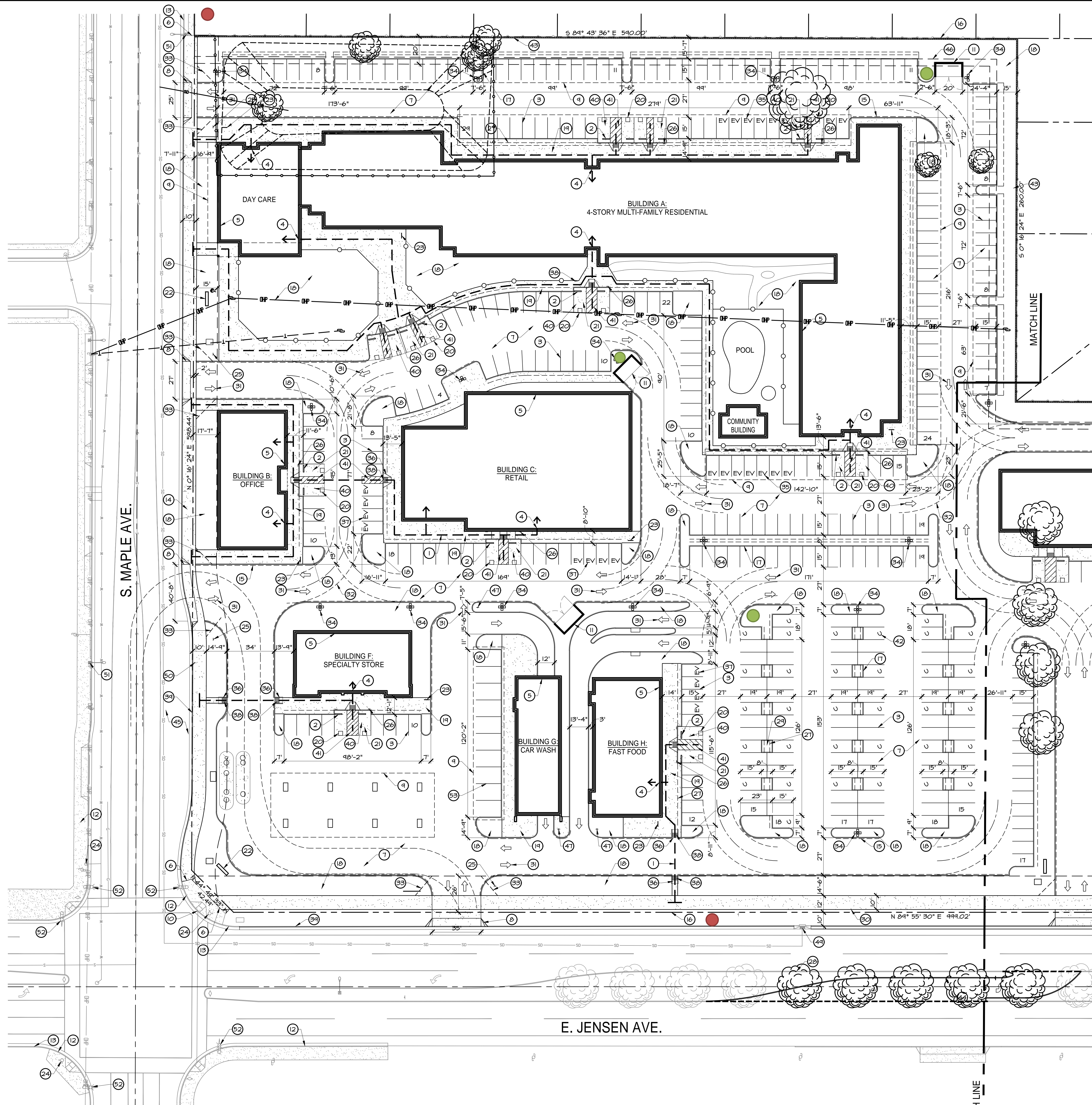
## PROPERTY LEGAL DESCRIPTION

PARCEL B OF PARCEL MAP NO. T4-06, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED AUGUST 21, 1978 IN BOOK 32, PAGE 22 OF PARCEL MAPS, FRESNO COUNTY RECORDS.

## FIRE PROTECTION NOTES

- PROVIDE SIGNS (11"x22" MINIMUM) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY (HIGH STATE WARNING - VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNER'S EXPENSE - 22658(a) CALIFORNIA VEHICLE CODE - FRESNO POLICE DEPARTMENT 621-2300).
- FIRE HYDRANTS AND ACCESS ROADS SHALL BE INSTALLED, TESTED AND APPROVED AND SHALL BE MAINTAINED SERVICEABLE PRIOR TO AND DURING ALL PHASES OF DEVELOPMENT. THE 4 1/2" OUTLET SHALL FACE THE ACCESS LANE.
- WALKING ACCESS IS REQUIRED TO REACH BUILDING OPENINGS WITHIN 200 FT. OF A PAVED SURFACE DESIGNED FOR FIRE APPARATUS USE. REQUIRED WALKING ACCESS SHALL BE DESIGNED TO PREVENT SHARP TURNS OR OBSTACLES THAT WOULD HINDER THE CARRYING OF GROUND LADDERS AND OTHER HAND-HELD EQUIPMENT. GATES SHALL BE A MINIMUM OF 4 FEET IN WIDTH IF THEY ARE USED IN THE WALKING ACCESS PATH.
- ALL PEDESTRIAN GATES (WHERE PROVIDED) FOR COMPLIANCE OF THE 200' RULE, SHALL REMAIN UNLOCKED OR BE PROVIDED WITH POLICE/FIRE BYPASS LOCKS OR BEST-X-1 LOCK BOX ("BEST" PADLOCK MODEL 218700 SERIES).





ENLARGED PARTIAL SITE PLAN - AREA 'A'

SHEET A102



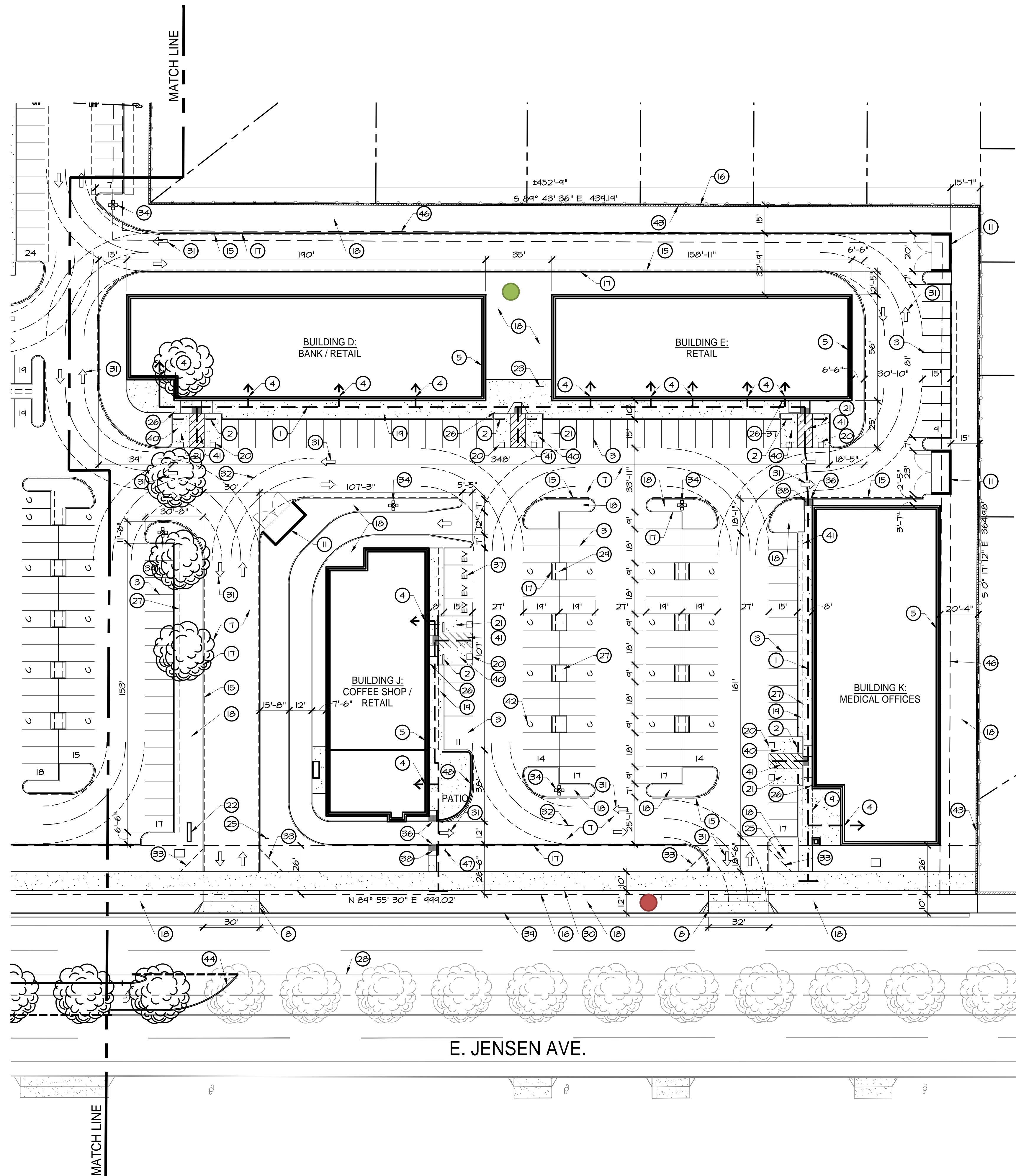
## KEYNOTES

- (NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET)
- DASHED LINE INDICATES CONTINUOUS ACCESSIBLE PATH-OF-TRAVEL (2% MAX. SLOPE, 15% MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY TO ACCESSIBLE PARKING TO BUILDING ENTRANCES, TYP.; MIN. 48" WIDE; SEE CIVIL DRAWINGS
  - INDICATES (N) CONCRETE WHEEL STOP; SEE DETAIL 12/A101
  - INDICATES (N) PAINTED WHITE PARKING STRIPE, TYP.
  - ACCESSIBLE BUILDING ENTRANCE AT PROPOSED (N) BUILDING
  - INDICATES (N) PROPOSED BUILDING FOOTPRINT, TYP.
  - (N) CONCRETE SIDEWALK TO FLUSH WITH (E) SIDEWALK PER DETAIL 10/A101
  - (N) AC PARKING LOT PAVEMENT PER FRESNO P.M. STDs, P-21, P-22, & P-23, EXTENT OF (N) PAVEMENT AS INDICATED ON CIVIL DRAWINGS
  - (N) DRIVEWAY APPROACH PER FRESNO P.M. STDs, P-2 & P-6
  - INDICATES CANOPY OR ROOF OVERHANG
  - (E) CURB RAMP
  - (N) SOLID-WASTE ENCLOSURE BASED ON CITY OF FRESNO P.M. STDs, P-33 & P-34
  - (E) CONCRETE SIDEWALK, CURB AND GUTTER
  - (E) CONCRETE CURB & GUTTER WHERE INDICATED
  - (N) CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER FRESNO P.M. STD, P-5
  - DASHED LINE INDICATES DRIVE AISLES IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1, DESIGNATE CURBS AS FIRE LANES (RED CURB WITH FIRE LANE) IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGNS EVERY 50 FEET, TYP.
  - INDICATES PROPERTY LINE, TYP.
  - (N) 6" RAISED CONCRETE CURB PER DETAILS 8 & 9/A101 AND CIVIL DRAWINGS, TYP.
  - (N) LANDSCAPED AREA; SEE LANDSCAPE PLAN FOR SCOPE OF (N) LANDSCAPING
  - (N) CONCRETE SLAB/SIDEWALK; 1:20 MAX. SLOPE, 15% MAX. CROSS-SLOPE; SEE CIVIL DRAWINGS & DETAILS 6 & 7/A101, LIGHT BROOM FINISH, TYP., PROVIDE FIBER EXPANSION JOINT WHERE WALKWAY MEETS BUILDING FOOTINGS; SLOPE MIN. 15% AWAY FROM BUILDING
  - (N) VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES, PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A101
  - (N) PAVEMENT FLUSH WITH CURB OR WALK, TYP., AT ACCESSIBLE STALLS AND ACCESS AISLES
  - (N) PROPOSED MONUMENT SIGNAGE LOCATION SIGNAGE UNDER SEPARATE PERMIT
  - (N) BICYCLE RACK W/ MIN. 3 BICYCLE CAPACITY (SHORT TERM); SEE SPECIFICATIONS
  - (E) FIRE HYDRANT
  - (N) PARKING ENTRANCE SIGN, SEE DETAIL 4/A101
  - (N) PARKING SIGN FOR ACCESSIBLE SPACES, TYP.; SEE DETAIL 5/A101
  - INDICATES (N) 36" VEHICLE BUMPER OVERHANGS, TYP.
  - (E) MEDIAN ISLAND
  - (N) TREE WELL PLANTER, TYP.; ALL TREES TO BE LOCATED OUTSIDE OF 3' BUMPER OVERHANG AREA
  - (N) MAJOR STREET TRAIL W/ 26' BIKE/PEDESTRIAN EASEMENT PER CITY OF FRESNO P.M. STD, P-60; SEE CIVIL DRAWINGS
  - (N) DIRECTIONAL ARROW PAINTED WHITE PER DETAIL 21/A101
  - INDICATES 20' WIDE TURNING RADIUS W/ 44' CENTER RADIUS, TYP.
  - INDICATES 12 FT. MIN. VISIBILITY TRIANGLE EA. SIDE OF DRIVEWAY PER F.M.C. 15-2018B
  - (N) SITE LIGHTING STANDARD; SEE ELECTRICAL DRAWINGS
  - FUTURE E.V. CHARGING STATIONS PER CALGREEN RESIDENTIAL MANDATORY MEASURES SECTION 4.106.4.2; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
  - (N) SIDEWALK TRANSITION RAMP; 2% MAX. SLOPE
  - FUTURE E.V. CHARGING STATIONS PER CALGREEN NON-RESIDENTIAL MANDATORY MEASURES SECTION 5.106.5.3; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A101
  - INDICATES (N) CONT. TRUNCATED DOME DETECTABLE WARNING SURFACE, TYP. PER DETAIL 2/A101
  - (N) CONCRETE CURB AND GUTTER WHERE OCCURS, TYP.; SEE CIVIL
  - (N) ACCESSIBLE PARKING STALL(S), TYP.; SEE TYP. DETAILS 10 & 14/A101
  - (N) PAINTED WHITE STRIPING AT 3'-0" O.C. AT PEDESTRIAN AISLE
  - INDICATES COMPACT CAR STALL, TYP.
  - (N) 6 FT. HIGH MIN. CMU WALL
  - (N) MEDIAN ISLAND LEFT TURN POCKET IN (E) MEDIAN PER CITY OF FRESNO P.M. STDs, P-62 & P-63; SEE CIVIL DRAWINGS
  - (N) BUS BAY PER CITY OF FRESNO P.M. STD, P-73; SEE CIVIL DRAWINGS
  - INDICATES LIMIT OF TYPE 2 LANDSCAPE BUFFER PER F.M.C. TABLE 15-2305-G1
  - (N) "TEXT ONLY" SIGN
  - (N) DECORATIVE GUARDRAIL AT PERIMETER OF PATIO SEATING AREA
  - (E) STORM DRAIN INLET
  - (E) BUS STOP SIGN; RELOCATE AS REQUIRED FOR NEW BUS BAY CONSTRUCTION
  - (E) STREET LIGHT ON METAL POLE, TYP.
  - (E) TRAFFIC SIGNAL, TYP.
  - (N) CAR WASH VACUUM STATIONS UNDER CANOPY; STATIONS 12'W x 18'D, TYP.

## LEGEND

- PROPERTY LINE
- CENTERLINE
- EASEMENT BOUNDARY
- 36" BUMPER OVERHANG
- SITE LIGHTING FIXTURE
- (E) MANHOLE
- (E) STREET VALVE
- (E) FIRE HYDRANT
- (E) UTILITY POLE

SHEET A101



ENLARGED PARTIAL SITE PLAN - AREA 'B'








SCALE: 1" = 30'-0"

## KEYNOTES

(NOTE: NOT ALL KEYNOTES  
MAY APPLY TO THIS SHEET)

1. DASHED LINE INDICATES CONTINUOUS ACCESSIBLE PATH-OF-TRAVEL (28" MAX. SLOPE, 158" MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY & ACCESSIBLE PARKING TO BUILDING ENTRANCES, TYP.; MIN. 48" WIDE; SEE CIVIL DRAWINGS
2. INDICATES (N) CONCRETE KNEEL STOP; SEE DETAIL 12/A901
3. INDICATES (N) PAINTED WHITE PARKING STRIPE, TYP.
4. ACCESSIBLE BUILDING ENTRANCE AT PROPOSED (N) BUILDING
5. INDICATES (N) PROPOSED BUILDING FOOTPRINT, TYP.
6. (N) CONCRETE SIDEWALK TO FLUSH WITH (E) SIDEWALK PER DETAIL 10/A901
7. (N) AC PARKING LOT PAVEMENT PER FRESNO P.J.M. STDS. P-21, P-22, & P-23, EXTENT (N) ON PAVEMENT AS INDICATED ON CIVIL DRAWINGS.
8. (N) DRIVEWAY APPROACH PER FRESNO P.J.M. STDS. P-2 & P-6
9. INDICATES CANOPY OR ROOF OVERHANGS
10. (E) CURB RAMP
11. (N) SOLID-HASH ENCLASURE BASED ON CITY OF FRESNO P.J.M. STDS. P-33 & P-34
12. (E) CONCRETE SIDEWALK, CURB AND GUTTER
13. (E) CONCRETE CURB & GUTTER WHERE INDICATED
14. (N) CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY PER FRESNO P.J.M. STD. P-5
15. DASHED LINE INDICATES DRIVE AISLES IDENTIFIED AS FIRE LANES AS PROVIDED IN THE CALIFORNIA VEHICLE CODE, SECTION 22500.1, DESIGNATE CURBS AS FIRE LANES (RED CURB WITH "FIRE LANE" IN 3 INCH WHITE LETTERS EVERY 50 FEET OR APPROVED SIGNS EVERY 50 FEET), TYP.
16. INDICATES PROPERTY LINE, TYP.
17. (N) 6" RAISED CONCRETE CURB PER DETAILS 6 & 9/A901 AND CIVIL DRAWINGS, TYP.
18. (N) LANDSCAPING AREA, SEE LANDSCAPE PLAN FOR SCOPE OF (N) LANDSCAPING
19. (N) CONCRETE SLAB/SIDEWALK, 1:20 MAX. SLOPE, 158" MAX. CROSS-SLOPE; SEE CIVIL DRAWINGS & DETAILS 6 & 17/A901, LIGHT BROWN FINISH, TYP.; PROVIDE FIBER EXPANSION JOINT WHERE WALKWAY MEETS BUILDING FOOTINGS; SLOPE MIN. 15% AWAY FROM BUILDING
20. (N) VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES, PLANT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER DETAIL 3/A901
21. (N) PAVEMENT FLUSH WITH CURB OR WALK, TYP. AT ACCESSIBLE STALLS AND ACCESS AISLES
22. (N) PROPOSED MONUMENT SIGNAGE LOCATION, SIGNAGE UNDER SEPARATE PERMIT
23. (N) BICYCLE RACK W/ MIN. 3 BICYCLE CAPACITY (SHORT TERM); SEE SPECIFICATIONS
24. (E) FIRE HYDRANT
25. (N) PARKING ENTRANCE SIGN, SEE DETAIL 4/A901
26. (N) PARKING SIGN FOR ACCESSIBLE SPACES, TYP.; SEE DETAIL 5/A901
27. INDICATES (N) 36" VEHICLE BUMPER OVERHANGS, TYP.
28. (E) MEDIAN ISLAND
29. (N) TREE HELL PLANTER, TYP.; ALL TREES TO BE LOCATED OUTSIDE OF 3' BUMPER OVERHANG AREA
30. (N) MAJOR STREET TRAIL W/ 26" BIKE/PEDESTRIAN EASEMENT PER CITY OF FRESNO P.J.M. STD. P-60; SEE CIVIL DRAWINGS
31. (N) DIRECTIONAL ARROW PAINTED WHITE PER DETAIL 21/A901
32. INDICATES 20' MIN. TURNING RADIUS W/ 44' CENTER RADIUS, TYP.
33. INDICATES 12" WIDE VISIBILITY TRIANGLE AREA, SIDE OF DRIVEWAY PER F.M.C. 15-201(B)
34. (N) SITE LIGHTING STANDARD; SEE ELECTRICAL DRAWINGS
35. FUTURE E.V. CHARGING STATIONS PER CALGREEN RESIDENTIAL MANDATORY MEASURES SECTION 5.106.4.2; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A901
36. (N) SIDEWALK TRANSITION RAMP, 28" MAX. SLOPE
37. FUTURE E.V. CHARGING STATIONS PER CALGREEN NON-RESIDENTIAL MANDATORY MEASURES SECTION 5.106.5.3; SEE ELECTRICAL DRAWINGS & TYP. DETAIL 16/A901
38. INDICATES (N) CONT. TRUNCATED DOME DETECTABLE WARNING SURFACE, TYP. PER DETAIL 2/A901
39. (N) CONCRETE CURB AND GUTTER WHERE OCCURS, TYP.; SEE CIVIL
40. (N) ACCESSIBLE PARKING STALL(S), TYP.; SEE TYP. DETAILS 10 & 11/A901
41. (N) PAINTED WHITE STRIPING AT 3'-0" O.G. AT PEDESTRIAN AISLE
42. INDICATES COMPACT CAR STALL, TYP.
43. (N) 6" FT. HIGH MIN. CMU WALL
44. (N) MEDIAN ISLAND LEFT TURN POCKET IN (E) MEDIAN PER CITY OF FRESNO P.J.M. STDS. P-62 & P-63; SEE CIVIL DRAWINGS
45. (N) BUS BAY PER CITY OF FRESNO P.J.M. STD. P-73; SEE CIVIL DRAWINGS
46. INDICATES LIMIT OF TYPE 2 LANDSCAPE BUFFER PER F.M.C. TABLE 15-2305-C.1
47. (N) "EXIT ONLY" SIGN
48. (N) DECORATIVE GUARDRAIL AT PERIMETER OF PATIO SEATING AREA
49. (E) STORM DRAIN INLET
50. (E) BUS STOP SIGN; RELOCATE AS REQUIRED FOR NEW BUS BAY CONSTRUCTION
51. (E) STREET LIGHT ON METAL POLE, TYP.
52. (E) TRAFFIC SIGNAL, TYP.
53. (N) CAR WASH VACUUM STATIONS UNDER CANOPY; STATIONS 12'W X 18'D, TYP.

## LEGEND

- |   |                       |
|---|-----------------------|
| _____   | PROPERTY LINE         |
| _____   | CENTERLINE            |
| _____   | EASEMENT BOUNDARY     |
| -----   | 36' BUMPER OVERHANG   |
|  | SITE LIGHTING FIXTURE |
|  | (E) MANHOLE           |
|  | (E) STREET VALVE      |
|  | (E) FIRE HYDRANT      |
|  | (E) UTILITY POLE      |



**P20-00636 - APPLICABLE DEVELOPMENT FEES SUMMARY**

**GOVERNMENT CODE §66020(d)(1)**

*A protest filed pursuant to subdivision and/or development (a) shall be filed at the time of approval or conditional approval of the development or within 90 days after the date of the imposition of the fees, dedications, reservations, or other exactions to be imposed on a development project. Each local agency shall provide to the project applicant a notice in writing at the time of the approval of the project or at the time of the imposition of the fees, dedications, reservations, or other exactions, a statement of the amount of the fees or a description of the dedications, reservations, or other exactions, and notification that the 90-day approval period in which the applicant may protest has begun.*

*Improvements and payments shall not be required on or in front of any undeveloped portion of a net acreage of ten acres or more which exists after the division of land. All improvements and payments to be completed with development.*

The following fees are based on preliminary conceptual information. The exact fee obligation will be computed prior to Final Map approval by Public Works Department, Land Division & Engineering. The fee rates in effect at the time of Final Map approval, determined by the Master Fee Schedule, shall apply (Reso. No. 2016-258).

**SEWER CONNECTION CHARGES**

**FEE RATE**

- |   |   |
|---|---|
| a. Lateral Sewer Charge [1]   | \$0.10/sq. ft. (lineal foot, to 100' depth) |
| b. Oversize Charge (inclusive of UGM Service Area) [1]                                  | \$0.05/sq. ft. (lineal foot, to 100' depth) |
| c. Wastewater Facilities Charge<br>- Commercial, Industrial, Residential (4+ units) [2] | S.T.E.P.**                                  |

**WATER CONNECTION CHARGES**

**FEE RATE**

- |                                  |  |
|----------------------------------|--|
| d. Service Connection Charge [1] | Fee based on service(s) and meter(s) sizes specified by owner; fee for service(s) and Meter(s) established by the Master Fee Schedule. |
| e. Frontage Charge [1]           | \$6.50/lineal foot   |
| f. Water Capacity Fee [1]        |  |
| - Up to ¾" Meter Size            | \$2,800/each   |
| - 1" Meter Size                  | \$4,481/each   |
| - 1½" Meter size                 | \$5,602/each   |
| - 2" Meter Size                  | \$11,201/each  |
| - 3" Meter Size                  | \$17,923/each  |
| - 4" Meter Size                  | \$28,004/each  |
| - 6" Meter Size                  | \$56,008/each  |
| - 8" Meter Size                  | \$268,836/each   |

**CITYWIDE DEVELOPMENT IMPACT FEES**

**FEE RATE**

- |  |                     |
|--|---------------------|
| g. Fire Facilities Impact Fee – Citywide [2] |                     |
| - Residential, SFR                           | \$1,893/living unit |
| - Residential, MFR                           | \$1,429/living unit |

- Commercial Office	\$757/1000 sq.ft. †
- Commercial Retail	\$662/1000 sq.ft. †
h. Park Facility Impact Fee – Citywide [2]	
- Residential, MFR	\$3,037/living unit
i. Citywide Regional Street Fee [1]	
- Residential, Multi-Family	\$15,607/adj. acre
- Commercial Retail	\$14,213/adj. acre
j. New Growth Area Major Street Fee [1]	
- Residential, Multi-Family	\$42,999/adj. acre
- Commercial Retail	\$39,941/adj. acre
k. Police Facilities Impact Fee – Citywide [2]	
- Residential, MFR	\$466/living unit
- Commercial Retail	\$658/1000 sq.ft. †
l. Traffic Signal Charge [1]	
- Residential, Multi-Family	\$350/living unit
<u>Institutional</u>	
- Clinic	\$1,654/1000 sq.ft. †
- Medical/Dental Office	\$1,901/1000 sq.ft. †
- Office	\$580/1000 sq.ft. †
<u>Commercial</u>	
- Discount Store	\$1,923/1000 sq.ft. †
- General Retail	\$2,246/1000 sq.ft. †
- Pharmacy	\$2,601/1000 sq.ft. †
- Restaurant	\$3,813/1000 sq.ft. †
- Fast-Food Restaurant	\$13,054/1000 sq.ft. †
- Convenience Market w/ Gas Station	\$3,769/pump/fueling position
- Bank	\$3,884/drive-in lanes

## Notes:

The Board of Directors of the Fresno County Regional Transportation Mitigation Fee Agency approved Resolution No. 2009 – 01 requiring the payment of Regional Transportation Mitigation Fee. The effective date of this resolution is January 1, 2010. Contact the Council of Fresno County Governments (FCOG) to determine this fee obligation. Confirmation by the FCOG is required before the City of Fresno can issue building permits.

On December 8, 2016, Fresno City Council adopted Resolution No. 2016-258, effective July 1, 2018, administratively updating the impact fees adjusted by this resolution annually to the percentage change in the 20-City Construction Cost Index as reported in the Engineering News Record (ENR) for the 12-month period ending of May of the year of adjustment.

\*\* Upon occupancy of the project, the subdivider shall pay the appropriate sewer facility charge pursuant to the Simple Tiered Equity Program (STEP) as determined by the Department of Public Utilities, Wastewater Division, Environmental Services Section (559-621-5153).

† Building areas to be calculated to the nearest square foot.

[1] Due at issuance of Building Permit.

[2] Due at/prior/after issuance of Certificate of Occupancy.

---

## DEPARTMENT OF PUBLIC WORKS

---

TO: Mindi Mariboho, Development Services Coordinator  
Planning and Development

FROM: Hilary Kimber, Parks Supervisor II (559.621.1345)  
Public Works, Street Maintenance Division

DATE: June 1, 2020

SUBJECT: **P20-00636 (formerly P19-01333)**; (APN: 480-030-60) located on the northeast corner of S. Maple and E. Jensen Avenues. The Department of Public Works has reviewed the proposed mixed use site plan (no date) submitted by The Taylor Group. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street right-of-ways, landscape easements, outlots and median islands:

### GENERAL REQUIREMENTS

#### **STREET TREE REQUIREMENTS**

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with FMC 12-306-23, Water Efficient Landscape Standards and AB 1881.

The designated street trees for E. Jensen Ave. are:

**Fraxinus a. 'Autumn Applause'**

**Autumn Applause Ash or**

**Fraxinus a. Autumn Purple'**

**Autumn Purple Ash**

The designated street tree for S Maple Ave. is:

**There is no designated street tree for S. Maple Ave. at this location. Please choose an appropriate street tree from the list of Approved street trees.**

2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a 10' Public Planting and Utility Easement.
  - a. Street tree inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
  - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
  - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.

- d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city controlled property is in conformance with the Specifications of the City of Fresno.
- e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.

### **BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS**

- 1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Home Owner's Association.
- 2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to a Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.
  - A. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with AB1881, water efficient landscaping.
  - B. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.
  - C. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the side walk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.
  - D. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.
  - E. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.
  - F. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

### **MEDIAN ISLAND LANDSCAPE REQUIREMENTS**

1. When median islands front onto the proposed development project, applicants shall submit Plans to the Public Works/Engineering Services showing the location and configuration of all median islands fronting the proposed project.
2. The Public Works Department will review and evaluate existing median island(s) for a determination of all required improvements prior to approval of Final Map. **There is an existing irrigation system and Valley Oak trees (*Quercus lobata*) that are currently maintained by the City of Fresno. All improvements will need to be included in the landscape and irrigation plans.**
3. Landscape and irrigation is required on all new construction of median islands and shall be applied in accordance with the City of Fresno, Public Works Department Standards & Specifications and FMC sections 12-306-24 and 12-306-23 and AB 1881. The Public Works Department requires all proposed median islands to be constructed with a one foot wide colored concrete strips, flush along curb edge, in a 12 inch by 12 inch brick red slate pattern.
4. Trees shall not be planted in sections which are less than eight (8) feet wide unless approved by the Public Works Department. Sections less than eight (8) feet shall be capped with concrete as an integral part of the off site improvements, whether the median is landscaped or not.

### **TRAIL REQUIREMENTS—Jensen Ave.**

1. The trail shall be constructed in accordance with the “Master Trails Manual” and the Public Works Department standards. The subdivider is responsible for the trail construction. The subdivider is responsible for all landscape and irrigation improvements for and within the trail. Construction plans shall be submitted and shall include landscaping and automatic drip irrigation design. Trail cross-sections will be required with submittal of Street Plans and Landscaping/Irrigation Plans for review and approval. These plans shall be in compliance with current City standards and approved by the Department of Public Works. Landscaping within the regional/multipurpose trail shall include large, medium and low-growing shrubs planted from 3 to 6 feet apart depending on variety, and trees spaced approximately 25 to 45 feet apart to provide 50% shade coverage onto the planting area and pathway. Landscaping adjacent to walls or fences shall comply with “Landscaped Buffer Development Standards.” All planting areas shall be irrigated with an automatic system.



**COUNCIL DISTRICT 5 PROJECT REVIEW COMMITTEE**  
**PROJECT REVIEW**  
**July 13, 2020**  
*Project Record*

**ITEM 4B Plan Amendment & Rezone Application No. P20-00635**

**PROJECT INFORMATION**

Plan Amendment & Rezone Application No. P20-00635 was filed by Nick Yovino on behalf of Shishu Bedi of BDM Builders LLC and pertains to the 12.18 acres located on the northeast corner of South Maple Avenue and East Jensen Avenue. The applicant proposes to amend the Fresno General Plan and Roosevelt Community Plan by rezoning the existing zone district from RM-2 to RM-3 and reconfiguring the layout of the CC, IL, and new RM-3 zone districts. CC will go from 2.15 acres to 5.36 acres; IL from 5.90 acres to 3.50 acres; and from RM-2 with 3.53 acres to RM-3 with 3.38 acres. Related Applications: DRC P19-01333, CUP P20-00636, ABCUP P20-00824.

**COMMITTEE RECOMMENDATION**

	APPROVE	APPROVE WITH CONDITION(S)	DENY	NO ACTION	
	Rabara (Chair)	Nachtigall (Co-Chair)	Kiran	Hansen-Smith	Singh
Approve	X	X		X	
Deny			X		
Abstain					
Absent					X

**COMMITTEE CONDITIONS / COMMENTS**

*The applicant presented the project.*

*Committee members asked questions regarding the difference between a convenience store, a grocery store, and a specialty store. Committee members also asked questions regarding who would occupy the proposed project as well as points of access to the development for surrounding neighborhoods.*

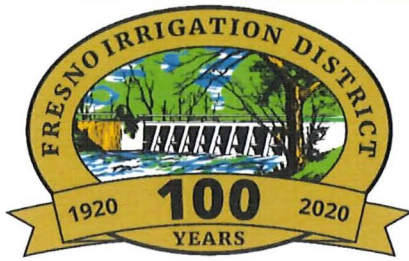
*The applicant explained that the sale of alcohol would be limited to beer and wine and that the sales area dedicated to the sale of alcohol would be constrained to 5% or less. The applicant also explained that there are ongoing negotiations with well-known companies and that the occupancy of buildings would not be limited to local businesses. Furthermore, the applicant explained that there would be pedestrian facility enhancements in the surrounding area.*

***Committee member Hansen-Smith moved and committee member Nachtigall seconded the motion to approve the project. The motion carried 3 to 0.***

Staff Facilitator: *Marisela Martínez*

Date: **7/13/2020**

Marisela Martínez, Planner I



2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208  
TELEPHONE: (559) 233-7161  
FAX: (559) 233-8227

**A Century of Commitment, Conveyance & Customer Service**

June 10, 2020

Jose Valenzuela  
Development and Resource Management  
City of Fresno  
2600 Fresno Street, Third Floor  
Fresno, CA 93721

RE: Conditional Use Permit Application No. P20-00636, Plan Amendment and Rezone  
Application No. P20-00635  
N/E Jensen and Maple avenues

Dear Mr. Valenzuela:

The Fresno Irrigation District (FID) has reviewed the Conditional Use Permit Application No. P20-00636 and Plan Amendment and Rezone Application No. P20-00635 for which the applicant proposes a mixed use development, amendment of the Fresno General Plans and rezone from RM-2 to RM-3, APN: 480-030-60. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, FID's Central No. 23 runs southwesterly crossing Chestnut Avenue and Jensen Avenue approximately 1,500 feet east of the subject project property, as shown on the attached ID exhibit map. Should this project include any street and/or utility improvements along Chestnut Avenue, Jensen Avenue, or in the vicinity of this facility, FID requires it review and approve all plans.

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or [clundeen@fresnoirrigation.com](mailto:clundeen@fresnoirrigation.com).

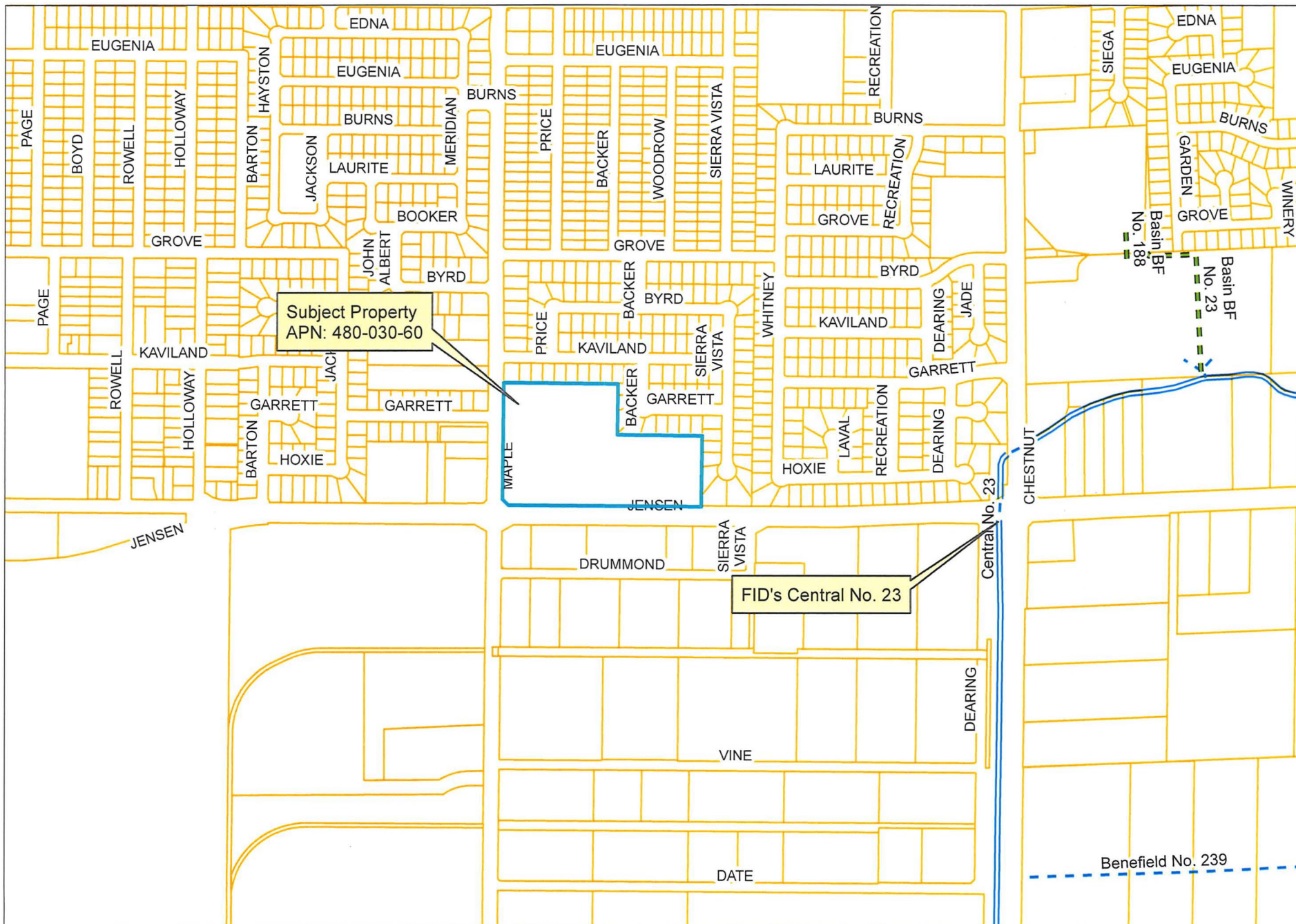
Sincerely,

A handwritten signature in blue ink, appearing to read "Laurence Kimura".

Laurence Kimura, P.E.  
Chief Engineer

Attachment

G:\Agencies\FresnoCity\Conditional Use Permit\P20-00636 and P20-00635.doc

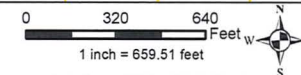


This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

FRESNO IRRIGATION DISTRICT

#### Legend

- |                 |                    |                   |                |                       |
|-----------------|--------------------|-------------------|----------------|-----------------------|
| FID Canal       | FID Pipeline       | Stream Group      | FID Boundary   | Parcel                |
| Private Canal   | Private Pipeline   | Other-Creek/River | Railroad       | FMFCD Acquired Basins |
| Abandoned Canal | Abandoned Pipeline | Other-Pipeline    | Streets & Hwys | FMFCD Proposed Basins |



Date Saved: 5/12/2020 9:49:10 AM  
Path: G:\fidgis\20200416 Master.mxd

## Chris Lundeen

---

**From:** do\_not\_reply@fresno.gov  
**Sent:** Thursday, May 21, 2020 2:22 PM  
**To:** Engineering Review  
**Subject:** Planning Application P20-00636 - Task Assigned

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

A task associated with Planning Application P20-00636 has been assigned for your review. You can review details online.

Application Description: Conditional Use Permit Application No. P20-00636 was filed by Nick Yovino on behalf of Shishu Bedi of BDM Builders LLC and pertains to the 12.18 acres located on the northeast corner of South Maple Avenue and East Jensen Avenue. The applicant proposes to an integrated mixed use development consisting of community commercial, light industrial, and multifamily residential uses. Proposed uses include a gas station, carwash, specialty store, fast food restaurant with drive thru, coffee shop with drive thru, retail, medical, and office space, and multi-family residential units with day care. Related Applications: DRC P19-01333, Plan Amendment & Rezone P20-00635, ABCUP P20-00824.

Task Information: Irrigation District

*Due 6/12*  
*No Comment*

## Chris Lundeen

---

**From:** do\_not\_reply@fresno.gov  
**Sent:** Thursday, May 21, 2020 1:41 PM  
**To:** Engineering Review  
**Subject:** Planning Application P20-00635 - Task Assigned

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

A task associated with Planning Application P20-00635 has been assigned for your review. You can review details online.

Application Description: Plan Amendment & Rezone Application No. P20-00635 was filed by Nick Yovino on behalf of Shishu Bedi of BDM Builders LLC and pertains to the 12.18 acres located on the northeast corner of South Maple Avenue and East Jensen Avenue. The applicant proposes to amend the Fresno General Plan and Roosevelt Community Plan by rezoning the existing zone district from RM-2 to RM-3 and reconfiguring the layout of the CC, IL, and new RM-3 zone districts. CC will go from 2.15 acres to 5.36 acres; IL from 5.90 acres to 3.50 acres; and from RM-2 with 3.53 acres to RM-3 with 3.38 acres. Related Applications: DRC P19-01333, CUP P20-00636, ABCUP P20-00824.

Task Information: Irrigation District

*Due 6/8/20  
No comment*

# TENTATIVE PARCEL MAP NO. 6303

CONSISTING OF ONE SHEET, SHEET ONE OF ONE

PARCEL B OF PARCEL MAP NO. 79-06, BK. 32, PG. 22 F.C.R.  
CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA  
SURVEYED AND PLATTED IN NOVEMBER 2019

OWNER:  
HAMEL INVESTMENT PROPERTIES LLC

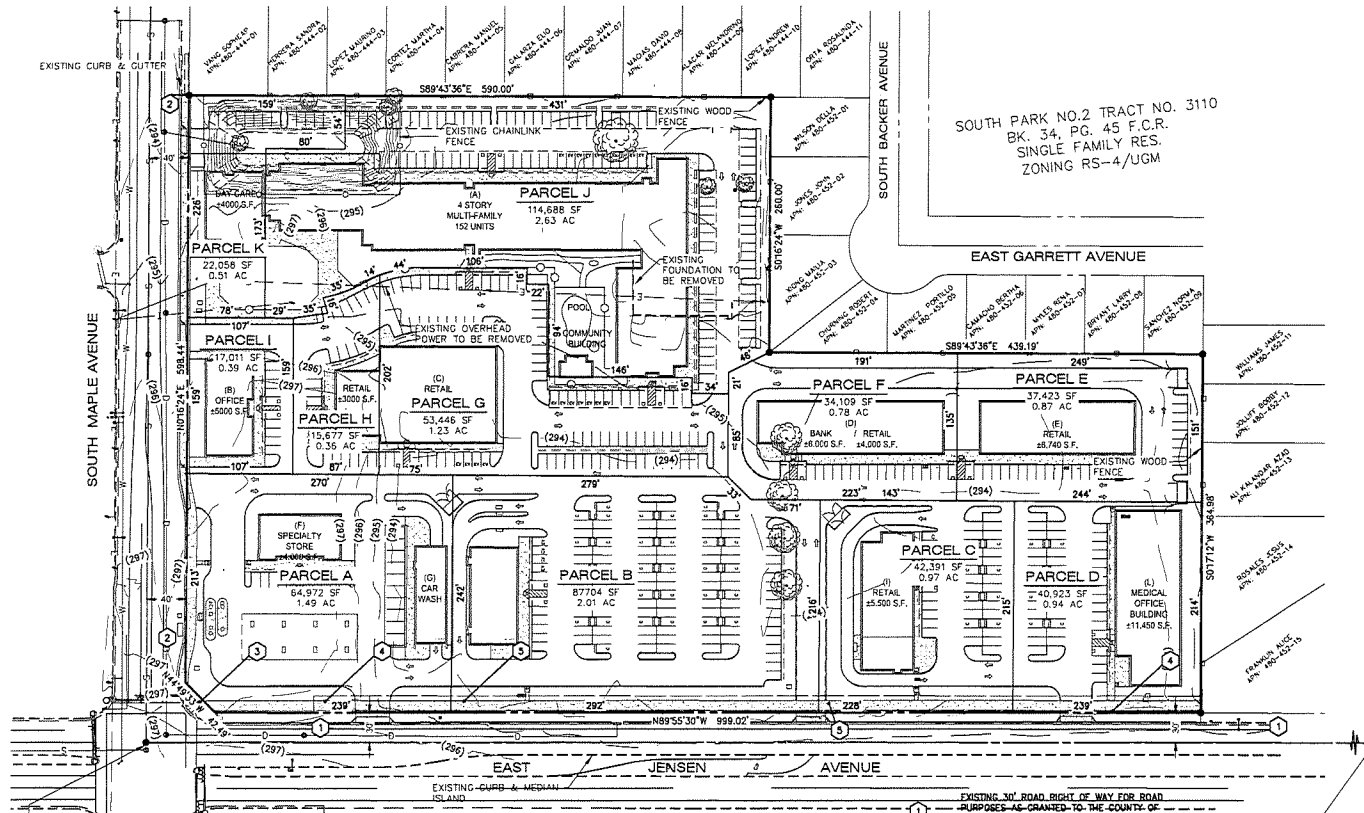
APPLICANT:  
SHISHU BEDI

## GENERAL INFORMATION:

1. APN: 480-030-60
2. ADDRESS: 4645 EAST JENSEN AVENUE, FRESNO, CA 93725
3. GROSS AREA: 12.18 ACRES
4. NET AREA: 12.18 ACRES
5. EXISTING ZONING: CC/L/RM-2/UGM
6. EXISTING USE: VACANT LAND
7. PROPOSED USE: COMMERCIAL, RETAIL AND OFFICE SPACES
8. PROPOSED LOTS: 11
9. UTILITY SERVICES PROVIDED BY:
  - WATER: CALWA - CITY OF FRESNO
  - SEWER: CITY OF FRESNO
  - ELECTRICITY: PACIFIC GAS & ELECTRIC
  - GAS: PACIFIC GAS & ELECTRIC
  - STORM DRAIN: FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
  - CABLE TELEVISION: AT&T
  - TELEPHONE: AT&T
10. ALL EXISTING STRUCTURES ON SITE TO BE DEMOLISHED AND REMOVED.
11. ALL EXISTING TREES (≥11'), FENCES, WELLS AND SEPTIC SYSTEMS TO BE REMOVED.
12. ALL EXISTING UTILITIES TO BE REMOVED OR UNDERGROUND.
13. ALL PROPOSED IMPROVEMENTS TO BE INSTALLED PER CITY OF FRESNO STANDARDS.
14. EXISTING RETENTION BASIN TO BE FILLED AND COMPACTED PER CITY OF FRESNO STANDARD.

## SYMBOL AND LINETYPE LEGEND:

	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING SIGN ON POST
	EXISTING TREE
	EXISTING CHAINLINK FENCE
	EXISTING EDGE OF PAVEMENT
	EXISTING CENTERLINE
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	PROPOSED PARCEL LINE
	EXISTING EASEMENT
	EXISTING 6" CURB & GUTTER (OFFSITE)
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	EXISTING AERIAL ELECTRICAL LINE



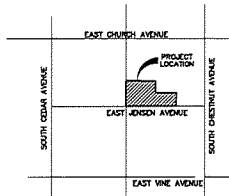
## LEGAL DESCRIPTION:

THE LAND DESCRIBED HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF FRESNO, CITY OF FRESNO, DESCRIBED AS FOLLOWS:

PARCEL B OF PARCEL MAP NO. 79-06, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED AUGUST 27, 1979 IN BOOK 32, PAGE 22 OF PARCEL MAPS, FRESNO COUNTY RECORDS.

## BASIS OF ELEVATIONS:

CITY BM 584 BRASS CAP ON CONCRETE SIGNAL BASE, NEAR EAST RETURN, SOUTHEAST CORNER MAPLE & JENSEN



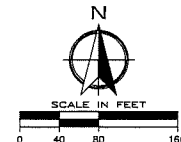
VICINITY MAP:



NOT TO SCALE

1. EXISTING 30' ROAD RIGHT OF WAY FOR ROAD PURPOSES AS GRANTED TO THE COUNTY OF FRESNO BY INSTRUMENT RECORDED NOVEMBER 1, 1983 IN BOOK 171 PAGE 43 OF DEEDS FRESNO COUNTY RECORDS
2. EXISTING 40' WIDE ROAD RIGHT OF WAY FOR ROAD PURPOSES AS GRANTED TO THE COUNTY OF FRESNO RECORDED NOVEMBER 4, 1965 IN BOOK 5236 PAGE 570 FRESNO COUNTY OFFICIAL RECORDS.
3. EXISTING ROAD RIGHT OF WAY FOR PUBLIC STREET PURPOSES AS GRANTED TO THE COUNTY OF FRESNO BY INSTRUMENT NO. 61360 RECORDED MAY 29, 1979 IN BOOK 7293 PAGE 902 FRESNO COUNTY OFFICIAL RECORDS.
4. EXISTING STORM DRAIN EASEMENT AS GRANTED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT BY INSTRUMENT NO. 2003-0009988 RECORDED JANUARY 14, 2003 FRESNO COUNTY OFFICIAL RECORDS.
5. EXISTING RIGHT OF WAY AND EASEMENT AS GRANTED TO THE FRESNO METROPOLITAN FLOOD CONTROL DISTRICT BY INSTRUMENT NO. 2000-005471 RECORDED JANUARY 14, 2003 FRESNO COUNTY OFFICIAL RECORDS.

FRESNO COUNTY BRASS CAP MONUMENT FLUSH IN ASPHALT BEING THE SOUTHEAST CORNER OF SECTION 13 TOWNSHIP 14 SOUTH, RANGE 20 EAST MOUNT DIABLO BASE AND MERIDIAN



**GATEWAY**  
ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
P. 509-325-0344 F. 509-325-0345 WWW.GATEWAYENG.COM  
400 PARK CREEK DRIVE, CLOVIS, CA 93611-4601