

Exhibit I



DATE: March 11, 2025

TO: Valeria Ramirez, Planner III
Planning and Development Department

THROUGH: Jairo Mata, Public Works Traffic and Land Planning Manager
Public Works Department

FROM: Angela Reis, Chief Engineering Technician
Public Works Department, Traffic Planning Section

SUBJECT: Public Works Conditions of Approval
T-6494 / P24-03421 a 6-lot single family subdivision
De Young Properties, LLC / QK Inc.

The Public Works Department, Traffic Operations and Planning Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

General Conditions:

1. **Street Dedications:** Provide corner cut dedications at all intersections for accessibility ramps.
2. **Right of way:** All right-of-way “outside” of the subdivision border shall either be acquired **prior** to recordation of Final Map, or a deposit equal to the value of the right-of-way and an estimate of the City staff time necessary to acquire the right-of-way shall be submitted **prior** to recordation of the Final Map.
3. **Plan Submittal:** Submit the following plans, as applicable, in a single package, to the Public Works Department for review and approval **prior** to recordation of the Final Map. Street: construction, signing, striping, traffic signal and streetlight and Trail: construction, grading, lighting, striping, signing, landscape and irrigation.
4. **Sidewalks** shall not exceed a 5% longitudinal slope. All existing sidewalks and trails in excess of 2% maximum cross slope must be brought into compliance prior to acceptance by Public Works.
5. **Local to Collector Street Intersections:** The intersection of two local continuous streets shall have a minimum of **160'** offset measured from centerline to centerline.
6. **Outlots:** If the subdivider seeks to dedicate to the City, in fee, an outlot for open space purposes, subdivider shall prove to the City that the outlot is free of toxic or hazardous materials pursuant to the requirements of *City Administrative Order 8-1*, including, but not limited to, performing a Phase I Soils Investigation. The soils Investigation report shall be submitted to the Public Works Department for review and approval. The

subdivider must obtain Public Works approval of the soils investigation report and complete any mitigation work identified by the soils investigation prior to subdivider's submittal of the Final Map to the Public Works Department. Any and all costs associated of the soils investigation and any required mitigation work shall be performed at the sole expense of the subdivider.

7. Encroachment Covenants: The construction of any private overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment covenant is approved by the City of Fresno Public Works Department, Engineering Services Division, **(559) 621-8681**. Encroachment covenants must be approved prior to issuance of building permits.
8. Street widening and transitions shall also include utility relocations and necessary dedications.
9. Overhead Utilities: Underground all existing overhead utilities with the limits of this map in accordance with *Fresno Municipal Code Section 15-4114*.
10. Intelligent Transportation Systems (ITS): Street work on major streets shall be designed to include ITS in accordance with the *Public Works ITS Specifications*, where not existing.
11. Private Irrigation Pipe: If not abandoned, all piping shall be located outside of the proposed street right of way. Any piping across city streets shall be rubber gasketed reinforced concrete pipe (RGRCP) constructed perpendicular to the street. Submit engineered plans to Public Works Department, Engineering Services Division for review and approval and provide an encroachment covenant for all crossings, **if applicable**.
12. Backing onto a major street: Backing onto a major street is prohibited.
13. The first order of work shall include a minimum of two points of vehicular access to the major streets for **any** phase of this development.
14. Intersection Visibility: Maintain visibility at all intersections as described in the *Fresno Municipal Code Section 15-2018*.
15. Driveway Approaches: The throat of the driveway approaches shall be the same width as the driveway. Approach widths shall be built to *Public Works Standard P-6*.
16. FAX: When a bus shelter is required by the Transportation Department, FAX Division, a thicker sidewalk will be required. Contact Jeff Long at 559 621-1436. Coordinate all conditions of approval between Public Works and FAX.
17. Verify that the border is correct. Incorrect boundaries could result in extending timelines due to the need for separate processes, timelines and fees.
18. When permanent facilities are not available from the Fresno Metropolitan Flood Control District, the applicant shall identify a temporary onsite storm water basin per *Public Works Standard P-97* for review and approval from Public Works, **if applicable**.
19. Release Covenant requirements for temporary storm drain facilities prior to map approval.
20. Identify all easements on the map.
 - Major Streets: A 2' pedestrian easement is required.
 - Local Streets: If constructed **42'** or **50'**, a pedestrian easement is required on streets with driveway approaches.

Frontage Improvement Requirements:

Public Streets:

Veterans Avenue: 6-Lane Super Arterial

1. Dedication and Vacation Requirements:
 - a. Dedicate a 30' easement for pedestrian and landscape purposes.
 - b. If not existing, dedicate a corner cut for public street purposes at the intersection of Veterans and Barstow.
 - c. Relinquish direct access rights to Veterans Avenue from all lots within this subdivision.
 - d. Vacate 10' Public Utility Easement.
 - e. Vacate existing 30' landscape easement.
2. Construction Requirements:
 - a. Construct a 6' residential sidewalk to *Public Works Standard P-5 and P-51*.

Barstow Avenue: 4-Lane Collector

1. Dedication and Vacation Requirements:
 - a. Dedicate a **2'** pedestrian easement per *Public Works Standard* to accommodate for a 12' residential sidewalk pattern per *Public Works Standards P-53*.
 - b. Relinquish direct access rights to Barstow from all lots within this subdivision.
 - c. Dedicate a corner cut at the cul-de-sac entrance at Barstow and Brent Avenue.
 - d. Vacate portion of relinquishment of access, where entrance is located on the map.
 - f. Vacate 10' Public Utility Easement.
2. Construction Requirements:
 - a. Construct a concrete **6'** sidewalk to *Public Works Standard P-5*. The curb shall be constructed to a **12'** residential pattern (**5.6' – 6' - .6'**). If existing curb and gutter are to be replaced, construct per *Public Works Standard P-5*.
 - b. Planting and Irrigation of street trees shall conform to the minimum spacing, guidelines, and requirements as stated in the *Model Water Efficiency Landscape Ordinance, Public Works Standards and Specifications, Section 25 and 26*.
 - c. If not existing, construct an **80'** bus bay curb and gutter at the southeast corner of Veterans and Barstow to *Public Works Standard FAX-1 – FAX-4*, complete with a **12'** monolithic sidewalk, coordinate with FAX.
 - d. Construct standard curb ramps per *Public Works Standards P-28 and P-32* at intersection of Barstow, radius to meet PW standards P-24- P-26.
 - e. Construct an underground street lighting system to *Public Works Standard E-1 and E-7A, E-7B, E-8*, within the limits of this subdivision. Streetlights installed on major streets shall be fed from a service pedestal with a master photo control as detailed in *Section 3-3.17* of the *City Specifications and Standard Drawings E-15, E-17 and/or E-18* or as approved by the City Engineer.

Interior Streets: Public 50' local Cul-de-sac

Dedicate, design and construct all driveways, ramps, curb, gutter, sidewalk, permanent paving, cul-de-sacs, easements and underground street lighting systems on all interior local streets to *Public Works Standards P-1, P-4, P-5, P-6, P-18, P-28, P-50, P-56A, E-1, E-9A, E-9B and E-11*. Pedestrian easements are required behind driveways with sidewalk patterns less than 10'.

1. All streets and pedestrian ways shall connect to other streets and pedestrian ways to form a continuous vehicular and pedestrian network with connections within the subdivision and to adjacent development. Pedestrian paths of travel must meet current accessibility regulations. Sidewalks are recommended on both sides of the street. Identify ramps within the proposed subdivision wherever sidewalks are provided.
2. Garages: Garage or carport setbacks are recommended to be a minimum of 18' from the back of walk or curb, whichever is greater.
3. Provide a 12' visibility triangle at all driveways.

Specific Mitigation Requirements:

Within the subdivision border-

1. Relinquish direct vehicular access rights to:
 - a. the north property line of lots 1 and 6.
 - b. the west property line of lots 1,2,3 and 4.
2. The intersection of:
 - a. Barstow and Brent Avenues shall be limited to right-in and right-out turns.

Traffic Signal Mitigation Impact (TSMI) Fee: This project shall pay all applicable TSMI Fees **at the time of building permit**. Contact the Public Works Department, Frank Saburit at (559)621-8797. The fees are based on the Master Fee schedule. In some cases, traffic signals may be conditioned on multiple maps. If the signal is existing at the time of the final map, the applicant would not be required to construct the signal but would be required to pay the applicable fee.

TSMI fee is credited against traffic signal and Intelligent Transportation System (ITS) improvements, provided that the improvements are constructed at ultimate locations, contained within the build out of the *General Plan* circulation element and are included in the latest Nexus Analysis for TSMI fee. Project specific impacts that are not consistent with the *General Plan*, *Public Works Standard Drawings* or not incorporated in the TSMI fee infrastructure costs, are not reimbursable. Failure to pay this fee or construct improvements that are credited / reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited / reimbursable with this fee, they should work with the Department of Public Works and identify, with a Professional Engineer's estimate, the costs associated with the improvements, prior to paying the TSMI fee at time of building permit.

Fresno Major Street Impact (FMSI) Fee: This Map is in the **New Growth Area**; therefore, pay all applicable growth area fees and City-wide regional street impact fees. In some cases, center section improvements or bridges may be conditioned on multiple maps. If the improvements are existing at the time of the final map, the applicant would not be required to construct them, but would be required to pay the applicable fee.

Regional Transportation Mitigation Fee (RTMF): Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; www.fresnocog.org. Provide proof of payment or exemption **prior** to certificate of occupancy.

DEPARTMENT OF PUBLIC WORKS

TO: Valeria Ramirez, Planner II
Planning & Development Department

FROM: Adrian Gonzalez, Supervising Engineering Technician
Public Works, Land Planning & Subdivision Inspection Section

DATE: March 11, 2025

SUBJECT: P24-03421; Tract 6494 (APN: 505-220-60) located on the southeast corner of North Veterans Boulevard and West Barstow Avenue. The Department of Public Works offers the following comments regarding the requirements for landscaping and irrigation in the street rights-of-way, landscape easements, outlots and median islands:

GENERAL REQUIREMENTS

STREET TREE REQUIREMENTS

1. The subdivider is required to provide street trees on all public street frontages per Fresno Municipal Code and for the dedication of planting and buffer landscaping easements as determined by the Planning Department. Street trees shall be planted at the minimum rate of one tree for each 40' of street frontage or one tree per home (whichever is greater) by the Developer. The subdivider is required to provide irrigation for all street trees. The irrigation system shall comply with AB 1881.
2. Street Tree Planting by Developer: For those lots having internal street tree frontage available for street tree planting, the developer shall plant one tree for each 40' of street frontage, or one tree per lot having street frontage, whichever is greater. Tree planting shall be within a Street or Landscape Easement.
 - a. Street tree inspection fees shall be collected for each 40' of public street frontage or one tree per lot whichever is greater.
 - b. Street trees shall be planted in accordance with the City of Fresno, Department of Public Works "Standard Specifications."
 - c. Landscape plans for all public use areas, such as parkways, buffers, medians and trails, shall be reviewed and approved by the Department of Public Works, Engineering Services. A street tree planting permit shall be required for all residential street tree planting.
 - d. Performance and payment securities, paid with final map, will be released when all landscaping installed on public and/or city-controlled property is in conformance with the Specifications of the City of Fresno.
 - e. Upon acceptance of the required work, warranty security shall be furnished to or retained by the city for guaranty and warranty of the work for a period of ninety days following acceptance.

- f. Choose appropriate trees from the list of Approved Street Trees.
[Developer Doorway – City of Fresno](#)

BUFFER LANDSCAPING & MAINTENANCE REQUIREMENTS

1. The subdivider shall provide long term maintenance for all proposed landscaped areas by either petitioning for annexation in the Community Facilities District or by forming a Homeowner's Association.
2. Maintenance Service Through Annexation into the Community Facilities District. Landscape and Irrigation plans are required and shall be submitted to the Department of Public Works for review and approval prior to Council approval of the final map. Plans shall be numbered to conform to and be included in the Department of Public Works Street construction plan set for the final map. Fees are applicable when the subdivider elects to have landscaping maintained by annexing into the City's Community Facilities District.
 - a. Landscaping shall comply with Landscape Buffer Development Standards approved by the City Council on October 2, 1990. Landscape and irrigation plans shall comply with AB1881, water efficient landscaping.
 - b. Should the proposed landscape buffers and/or parkway strips be located next to an existing buffer and/or parkway strip, the planting concept shall simulate the adjacent landscape design to present a more uniform appearance on the street. Variances in the landscape concept will be acceptable, but the design of the new landscape buffer and/or parkway strip shall strive to mimic the existing as much as possible.
 - c. Landscape plans shall indicate grades on a cross-section detail to include fencing or wall details. All fencing shall be placed outside the landscape easement. Maximum slopes shall not exceed 4:1 with 1 foot of level ground between the slope and the back of the sidewalk and/or face of fence. Erosion control measures shall be implemented on all slopes of 4:1, including the use of synthetic erosion control netting in combination with ground cover species approved by the Department of Public Works/Engineering Services Division.
 - d. The water meter(s) serving the buffer landscaping shall be sized for the anticipated service flows.
 - e. No private flags, signs or identification of any kind shall be permitted in the right-of-way, within the City - controlled easement or on the fence or wall facing the street.
 - f. Landscaping in the right-of-way and landscape setback adjacent to water well sites shall be the responsibility of the City of Fresno Water Division and may not be included in the CFD.

Submit all landscape and irrigation plans, to the scale of 1" = 20', to dpwplansubmittal@fresno.gov for plan review, prior to the installation of any landscaping within the right-of-way.



DATE: March 11, 2025

TO: Valeria Ramirez, Planner II
Planning and Development Department

FROM: Adrian Gonzalez, Supervising Engineering Technician
Public Works Department, Land Planning & Subdivision Inspection Section

SUBJECT: PUBLIC WORKS CONDITIONS OF APPROVAL FOR VESTING TENTATIVE TRACT
MAP NO. 6494 REGARDING MAINTENANCE REQUIREMENTS (P24-03421)

LOCATION: 6397 West Barstow Avenue
APN: 505-220-60

The Public Works Department, Land Planning & Subdivision Inspection Section, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the exhibits submitted for this development.

| | | | |
|---|---------------------------------------|-----------------|--|
| ATTENTION: | | | |
| The item below requires a separate process with additional costs and timelines. In order to avoid delays with the final map approval, the following item shall be submitted for separate processing to the Public Works Department, Land Planning Section prior to final map approval. | | | |
| X | CFD Annexation Request Package | Adrian Gonzalez | (559) 621-8693 Luis.Gonzalez@fresno.gov |

The Community Facilities District annexation process takes from three to four months and SHALL be completed prior to final map approval. INCOMPLETE Community Facilities District (“CFD”) Annexation Request submittals may cause delays to the annexation process and final map approval.

All applicable construction plans for this development shall be submitted to the appropriate City Department for review and approval **prior** to the CFD process.

- a. Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process and the approval of the final map.
- b. Proposed park amenities shall be reviewed and approved by the Building & Safety Services Division or as approved in writing by the City Engineer at time of submittal for the CFD process and prior to final map approval.**

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

Any change affecting the items in these conditions shall require a revision of this letter.

The Property Owner's Maintenance Requirements

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Single-Family developments are the ultimate responsibility of the Developer. The Developer shall provide these Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 11 ("CFD No. 11").

The following public improvements (Existing and Proposed) are eligible for Services by CFD No. 11 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within the street rights-of-way and landscape easements; including without limitation, the median island (1/2, if fronting only one side of median), parkways, buffers, street entry medians and sides (**10' wide minimum landscaped areas allowed**) in **all Local and Major Streets**.
- All landscaping, trees, irrigation systems, hardscaping and amenities within Outlots having the purpose for open spaces and trails.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, median island concrete maintenance band and cap (1/2, if fronting only one side of median), and street lights in **all Major Streets**.
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures, and street entry and interior median island curbing and hardscape, street paving, street name signage and street lights in **all Local Streets**.

***All end lots, side yards, and front yards are the responsibility of the property owner and are not eligible for Services for maintenance by the CFD.**

The Property Owner may choose to do one or both of the following:

- a. The Property Owner may petition the City of Fresno to request annexation to CFD No. 11 by completing and submitting an Annexation Request Package to the Public Works Department, Land Planning Section for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Land Development.
 - **Proceedings to annex the final map to CFD No. 11 SHALL NOT commence** unless the final map is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.
 - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that**

the facilities and quantities to be maintained by CFD No. 11 are not subject to change and after acceptance for processing.

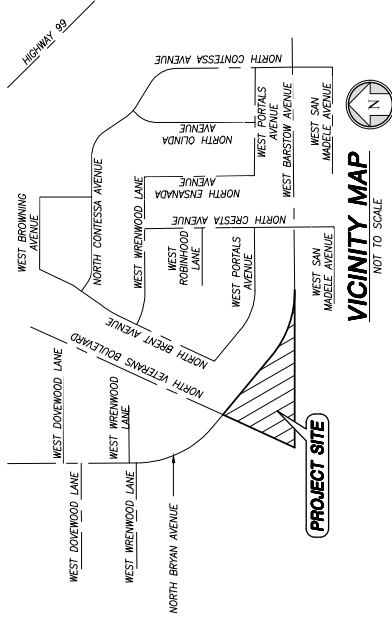
- Public improvements not listed above will require written approval by the Public Works Department Director or his designee.
 - All areas not within the dedicated street rights-of-way and approved for Services by CFD No. 11 shall be dedicated as a public easement for maintenance purposes. Outlots purposed for required public open space or City trails shall be dedicated in fee to the City of Fresno or as approved by the Public Works Department City Engineer.
- b. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 11 for Services **SHALL** be included in the DCC&Rs or some other City approved mechanism for the required Services associated with this development. Contact the Planner in the Planning and Development Department for more details.

For questions regarding these conditions please contact Adrian Gonzalez at (559) 621-8693 or Luis.Gonzalez@fresno.gov

TENTATIVE TRACT MAP NO. 6494

IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA
DECEMBER 3, 2024

APPL. NO. T-6494 EXHIBIT A DATE: 12/03/24
PLANNING REVIEW BY: DATE: 12/03/24
TRAFFIC ENG. DATE: 12/03/24
APPROVED BY: DATE: 12/03/24
CITY OF FRESNO DARM DEPT



LEGAL DESCRIPTION:

QUARTER 84 OF TRACT No. 6524, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED ON MAY 20, 2004, IN BOOK 72 OF MAPS, PAGES 66 THROUGH 69, FRESNO COUNTY RECORDS.

APN: 509-220-60

NOTES:

1. ADDRESS: W BARSTOW AVENUE, FRESNO, CA 93723
2. PROPOSED ZONING: LAND USE: R4, MEDIUM LOW DENSITY RESIDENTIAL
3. EXISTING LAND USE: VACANT
4. SITE AREA: 1.42 ACRES (GROSS) 1.11 ACRES (NET)
5. NO GRADE DIFFERENTIALS MORE THAN 6" IS FORESEEN. ANY GRADE DIFFERENTIALS ACROSS EXISTING AND PROPOSED PROPERTY LINES WILL BE MITIGATED PER CITY OF FRESNO REQUIREMENTS.
6. ALL UTILITIES SHALL BE DEEPENED TO MEET THE CITY OF FRESNO STANDARD SPECIFICATIONS, AND STREET PAVEMENT TO BE INSTALLED PER CITY OF FRESNO STANDARD SPECIFICATIONS.
7. ALL STREETS WITHIN THIS SUBDIVISION TO BE OFFERED FOR DEDICATION FOR PUBLIC STREET PURPOSES.
8. ALL EXISTING WATER LINES, SEWERS, AND STORM DRAINS WILL REMAIN UNLESS OTHERWISE NOTED PER CITY AND COUNTY STANDARDS.
9. ALL EXISTING STRUCTURES ARE TO BE REMOVED. WELLS AND SEPTIC SYSTEMS ARE TO BE ABANDONED PER CITY AND COUNTY STANDARDS.
10. THERE ARE NO OPEN CANALS OR DITCHES ON THIS PROPERTY.
11. THIS SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR PASSIVE NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NON-RENEWABLE ENERGY.
12. THIS SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR AN ADVANTAGEOUS ORIENTATION FOR RESIDENTIAL SOLAR EQUIPMENT.

UTILITY INFORMATION:

SEWER AND WATER: FRESNO METROPOLITAN WATER DISTRICT
TELEPHONE: FRESNO TELEVISION
CABLE TELEVISION: FRESNO METROPOLITAN WATER DISTRICT
GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
5554 EAST OLIVE AVENUE, FRESNO, CA 93721
RM. E-100-0E FRESNO, CA 93721
PHONE: (559) 621-2489

STORM DRAIN: FRESNO METROPOLITAN WATER DISTRICT
2441 NORTH GROVE INDUSTRIAL DRIVE, FRESNO, CA 93725
PHONE: (559) 456-3292

RECORD OWNER: DE YOUNG PROPERTIES 5224 LP
677 WEST PALMWOOD AVE FRESNO, CA 93704
PHONE: (559) 435-0900

SUBDIVIDER: ANTONIO S. WESTERLAND, PLS, CF#65
601 POLLAJSKY AVE CLOVIS, CA 93612
PHONE: (559) 449-2400

LAND SURVEYOR: ANTONIO S. WESTERLAND, PLS, CF#65
601 POLLAJSKY AVE CLOVIS, CA 93612
PHONE: (559) 449-2400

LEGEND:

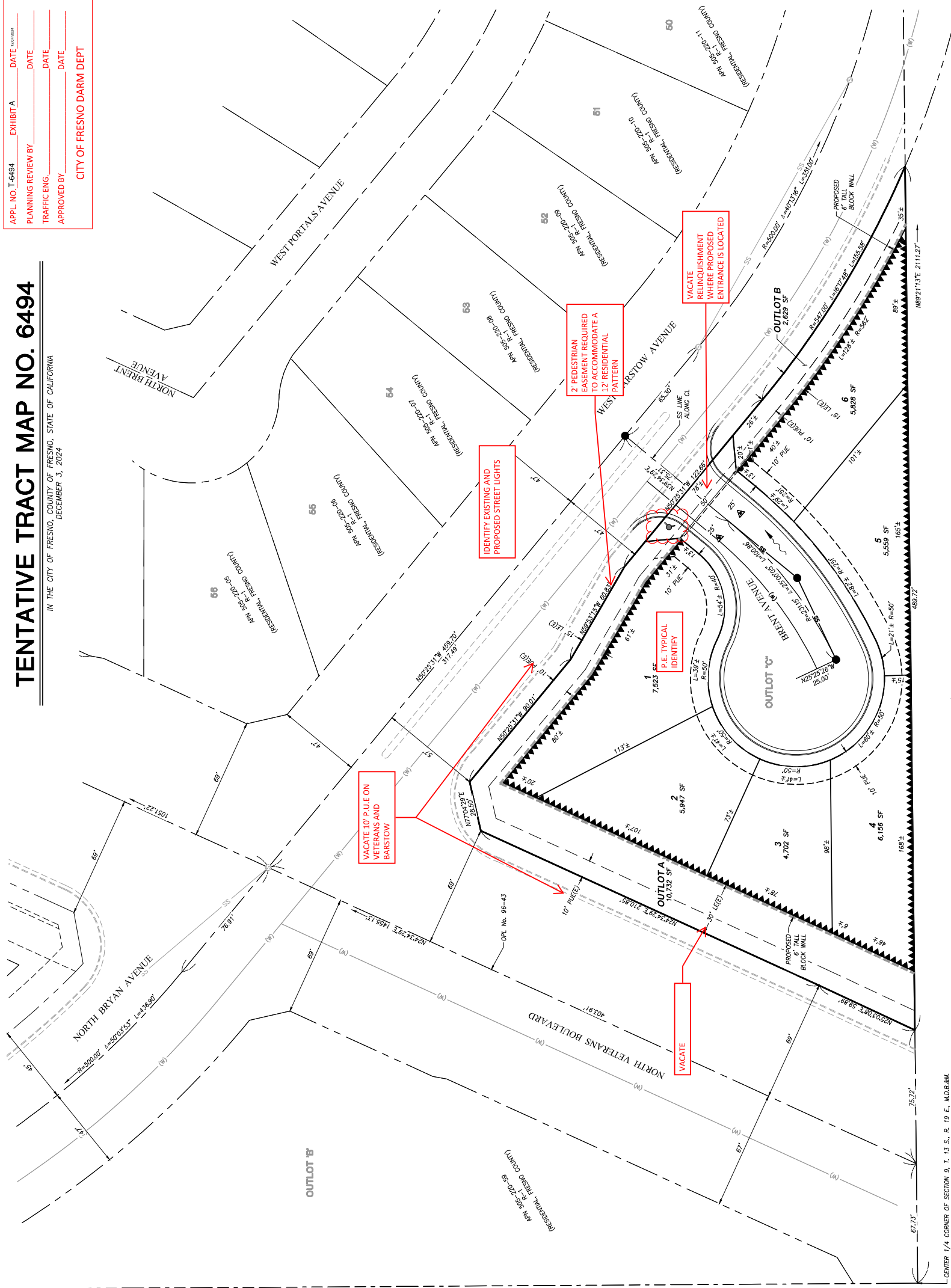
- (E) CENTERLINE
- EXISTING CURB & GUTTER
- EXISTING LANDSCAPE EASEMENT
- EXISTING LOT LINE
- EXISTING MEDIAN, APPROXIMATE LOCATION
- EXISTING PUBLIC UTILITY EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING SWAMPY SEWER MANHOLE
- MAP BOUNDARY
- PROPOSED CITY RIGHT OF WAY DEDICATION
- PROPOSED CURB AND GUTTER
- PROPOSED FIRE HYDRANT
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED LOT LINE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER MAN
- PROPOSED DIRECTION OF STORM WATER OVERFLOW
- PROPOSED WATER MAIN
- SECTION LINE
- 61

LOT NUMBER PER FINAL MAP OF TRACT No. 5224, RECORDED IN VOLUME 72 OF PLATS AT PAGES 66 THRU 69, FRESNO COUNTY RECORDS

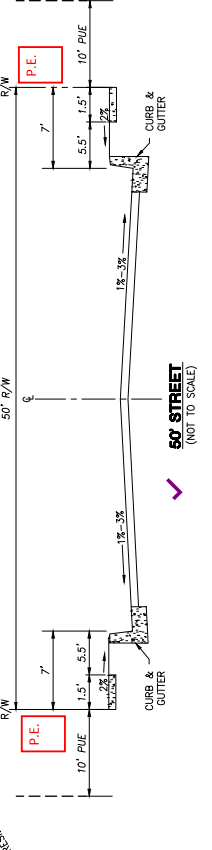
RELINQUISHMENT OF DIRECT ACCESS RIGHTS, THAT PORTION NOT SHOWN HEREON TO BE ABANDONED ON FINAL MAP.

THIS PROPERTY IS SUBJECT TO THE FOLLOWING:

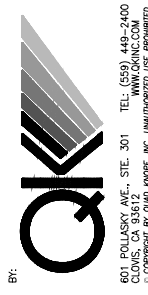
1. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO BAY A. HUMPHREYS, ET AL FOR THE RIGHT TO RUN WATER IN CERTAIN DITCH, RECORDED IN BOOK 394 OF DEEDS AT PAGE 417.
2. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO PACIFIC GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 8, 1995 IN BOOK 3830 OF OFFICIAL RECORDS, PAGE 280 UNDER RECORDER'S SERIAL NUMBER 47925.
3. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO PACIFIC GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 8, 1995 IN BOOK 3830 OF OFFICIAL RECORDS, PAGE 280 UNDER RECORDER'S SERIAL NUMBER 47925.
4. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO PACIFIC GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 8, 1995 IN BOOK 3830 OF OFFICIAL RECORDS, PAGE 280 UNDER RECORDER'S SERIAL NUMBER 47925.



TRACT No. 6494
VOLUME 68 OF PLATS AT PAGES 1 AND 2,
FRESNO COUNTY RECORDS



SCALE: 1" = 30'



601 POLLAJSKY AVE, STE. 301
CLOVIS, CA 93612
WWW.QKINC.COM
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DEPARTMENT OF PUBLIC UTILITIES

MEMORANDUM

DATE: December 17, 2024

TO: VALERIA RAMIREZ – Planner II
Planning & Development Department – Current Planning

FROM: DENISE SORIA, MSCE, PE, Licensed Professional Engineer
Department of Public Utilities – Utilities Planning & Engineering

SUBJECT: DPU CONDITIONS OF APPROVAL FOR P24-03421 - T-6494 SEC OF VETERANS AND BARSTOW – APN 505-220-60 (Cross-reference P24-02675)

Background

On August 12, 2024, the Department of Public Utilities (DPU) issued Conditions of Approval (Map Pre-Application P24-02675) for the development of Outlot C (APN 505-220-60) under Tentative Tract Map No. 5224.

Tentative Tract Map No. 6494 subdivides the property into six single-family residential lots and a public cul-de-sac identified as Brent Avenue, as shown on the site plan uploaded to Accela on December 4, 2024. These DPU Conditions of Approval dated December 17, 2024, are substantially the same as the August 12, 2024, conditions, with some editorial and/or clarifying changes only.

General Requirements

1. Engineered improvement plans, prepared by a Registered Civil Engineer, if necessary, shall be submitted for (DPU)review and approval.
2. All DPU facilities shall be constructed in accordance with the Department of Public Works standards, specifications, and policies.
3. Street easements and/or deeds shall be recorded prior to approval of improvement plans.
4. A street work permit is required for any work in the Right-of-Way.
5. All underground utilities shall be installed prior to permanent street paving.
6. **Attached to these DPU Conditions of Approval is a preliminary review of the Site Plan for the Project (as such Site Plan was available on Accela as of the date of these Conditions of Approval). Final Site Plan review will be conducted after an update based on these and other conditions for the Project.**

Water Service Requirements

The nearest water mains to serve the Project are a 14-inch water main located in West Barstow Avenue. Water facilities are available to provide service to the Project subject to the following requirements:

1. Install an 8-inch water main (including installation of City fire hydrants, if applicable) in Brent Avenue (as depicted on the site plan uploaded to Accela, dated December 4, 2024) to provide service to each lot.
2. Installation of water service(s) and meter(s) to each lot shall be required.
3. The applicant shall be financially responsible for the abandonment of any unused water services previously installed at the property.
4. Destroy any existing on-site well(s) in compliance with the State of California Well Standards, Bulletins 74-81 and 74-90, or current revisions, issued by California Department of Water Resources, and City of Fresno standards. The applicant shall comply with Fresno Municipal Code (FMC) Chapter 6, Article 4, as may be amended from time to time.

Water Supply Requirements

The existing property is currently not served by a City water service. However, there is an existing 1 (one) 2.0-inch irrigation service (inactive, no meter) on the northernmost side of the property intended to provide irrigation to the landscaping strip on the perimeter of the tract.

1. The applicant shall be required to pay water Capacity Fee charges for the installation of new water services and meters to serve the property.
 - a. The Water Capacity Fee charge assessed to the applicant shall be based on the number and size of service connections and water meters required to serve the property.
 - b. The Water Capacity Fee charges by meter size are defined in the City's Master Fee Schedule (MFS).
 - c. The City reserves the right to require the applicant to increase or decrease the size of a water meter for the Project to ensure that it is properly sized to accommodate fire protection requirements and to allow for accurate volumetric flow measurements at low- and high-flow conditions.
 - d. The Water Capacity Fee charge for any new or expanded service connection shall be payable prior to the issuance of a building permit at the fee level in effect on the date such permit is issued.

2. The applicant shall be required to pay all other water-related fees and charges in accordance with the City's MFS and the FMC.

Sewer Service Requirements

The nearest sanitary sewer main to serve the Project is a 12-inch sewer main located in West Barstow Avenue. Sanitary sewer facilities are available to provide service to the Project subject to the following requirements:

1. A preliminary sewer design layout shall be prepared by the applicant's engineer and submitted to the Department of Public Utilities for review and conceptual approval prior to submittal for City review or acceptance of the final map(s) and engineered plan and profile improvement drawing(s).
2. Install an 8-inch sanitary sewer main in Brent Avenue from the existing sanitary sewer main in West Barstow Avenue (as depicted on the site plan uploaded to Accela on December 4, 2024) to provide service to each lot.
3. Installation of separate sewer service branch(es) to each lot shall be required.
4. The applicant shall be financially responsible for the abandonment of any unused sewer services previously installed at the property, if any.
5. All existing on-site private septic systems (including septic tanks) shall be destroyed and abandoned in compliance with the State of California standards, Fresno County standards, and City of Fresno standards, as may be amended from time to time. All sewer connections and sewer main extensions shall comply with FMC Section 6-303(a), as may be amended from time to time.

Sanitary Sewer Fees

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Lateral Sewer Charge.
2. Oversize Sewer Charge: Area #19.
3. Wastewater Facility Sewer Charge (Residential).
4. Sewer Trunk Area: Grantland.

Solid Waste Service Requirements

This Project will be serviced as a Single-Family Residential property with Basic Container Service. Each unit will receive 3 containers to be used as follows: 1 (one) Gray container

DPU CONDITIONS OF APPROVAL FOR P24-03421 - T-6494 SEC OF VETERANS
AND BARSTOW – APN 505-220-60 (Cross-Reference P24-02675)

December 17, 2024

Page 4 of 4

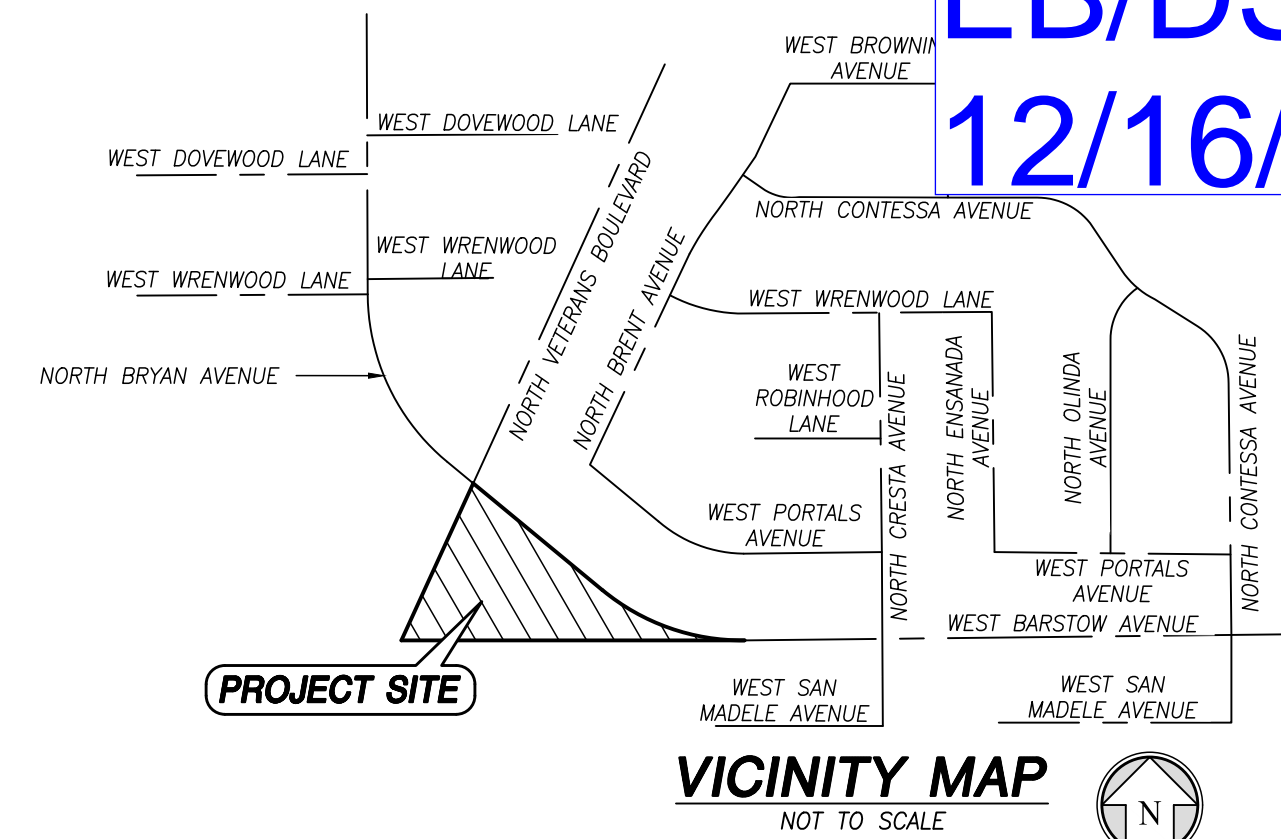
for solid waste, 1 (one) Green container for green waste, and 1 (one) Blue container for recyclable material.

1. Provide a 44-foot (centerline) turning radius at all corners and a T-turnaround (or hammerhead) area where the solid waste vehicle is to turn around.
2. Ingress and egress of the location shall have an unobstructed overhead clearance of 16 feet and shall not be less than 18 feet wide.
3. The safe back up limit for a solid waste vehicle shall not exceed 45 feet.

TENTATIVE TRACT MAP NO. 6494

IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA
DECEMBER 3, 2024

APPL. NO. T-6494 EXHIBIT A DATE 12/04/2024
PLANNING REVIEW BY _____ DATE _____
TRAFFIC ENG. _____ DATE _____
APPROVED BY _____ DATE _____
CITY OF FRESNO DARM DEPT



PROJECT SITE

VICINITY MAP

NOT TO SCALE

LEGAL DESCRIPTION:

OUTLOT "C" OF TRACT No. 5224, IN THE CITY OF FRESNO, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED ON MAY 20, 2005, IN BOOK 72 OF MAPS, PAGES 66 THROUGH 69, FRESNO COUNTY RECORDS.

APN: 505-220-60

NOTES:

1. ADDRESS: W BARSTOW AVENUE FRESNO, CA 93723
2. EXISTING ZONING, LAND USE: RS4, MEDIUM LOW DENSITY RESIDENTIAL
3. PROPOSED ZONING, LAND USE: RS4, MEDIUM LOW DENSITY RESIDENTIAL
4. EXISTING LAND USE: VACANT
5. SITE AREA: 1.42 ACRES (GROSS) / 1.13 ACRES (NET)
6. ESTIMATED NUMBER OF EXISTING TREES TO BE REMOVED WITHIN SUBDIVISION: 0
7. NO GRADE DIFFERENTIALS MORE THAN 6" IS FORESEEN. ANY GRADE DIFFERENTIALS ACROSS EXISTING AND PROPOSED PROPERTY LINES WILL BE MITIGATED PER CITY OF FRESNO REQUIREMENTS.
8. PROPOSED SEWER, WATER, CONCRETE CURBS, GUTTERS, SIDEWALKS, STREETLIGHTS, AND STREET PAVEMENT TO BE INSTALLED PER CITY OF FRESNO STANDARD SPECIFICATIONS.
9. ALL STREETS WITHIN THIS SUBDIVISION TO BE OFFERED FOR DEDICATION FOR PUBLIC STREET PURPOSES.
10. ALL EXISTING WATER LINES, SEWERS, AND STORM DRAINS WILL REMAIN UNLESS OTHERWISE NOTED.
11. ALL EXISTING STRUCTURES ARE TO BE REMOVED. WELLS AND SEPTIC SYSTEMS ARE TO BE ABANDONED PER CITY AND COUNTY STANDARDS.
12. THERE ARE NO KNOWN UNDERGROUND FEATURES SUCH AS WELLS OR CESSPOOLS WITHIN THE PROPOSED SUBDIVISION.
13. THERE ARE NO OPEN CANALS OR DITCHES ON THIS PROPERTY.
14. THERE ARE NO DUMP SITES ON THIS PROPERTY.
15. WATER SUPPLY AND SEWER SERVICES ARE FROM THE CITY OF FRESNO.
16. THIS SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR PASSIVE NATURAL HEATING OR COOLING OPPORTUNITIES AND OTHER MEASURES THAT CONSERVE NON-RENEWABLE ENERGY RESOURCES. ALL LOTS WERE DESIGNED TO TAKE INTO ACCOUNT AN ADVANTAGEOUS ORIENTATION FOR RESIDENTIAL SOLAR EQUIPMENT.

UTILITY INFORMATION:

SEWER AND WATER: CITY OF FRESNO, 2800 FRESNO STREET, FRESNO, CA 93721, PHONE: (559) 621-2489
TELEPHONE: AT&T CALIFORNIA, 5555 EAST OLIVE AVENUE, RM. E-100-DE, FRESNO, CA 93762, PHONE: (559) 454-3778
GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC COMPANY, 650 'O' STREET, FRESNO, CA 93721, PHONE: 800-743-5000
STORM DRAIN: FRESNO METROPOLITAN FLOOD CONTROL DISTRICT, 5459 EAST OLIVE AVENUE, FRESNO, CA 93725, PHONE: (559) 456-3292
CABLE TELEVISION: COMCAST, 2441 NORTH GROVE INDUSTRIAL DRIVE, FRESNO, CA 93727, PHONE: (559) 455-4221

RECORD OWNER: SUBDIVIDER: LAND SURVEYOR:

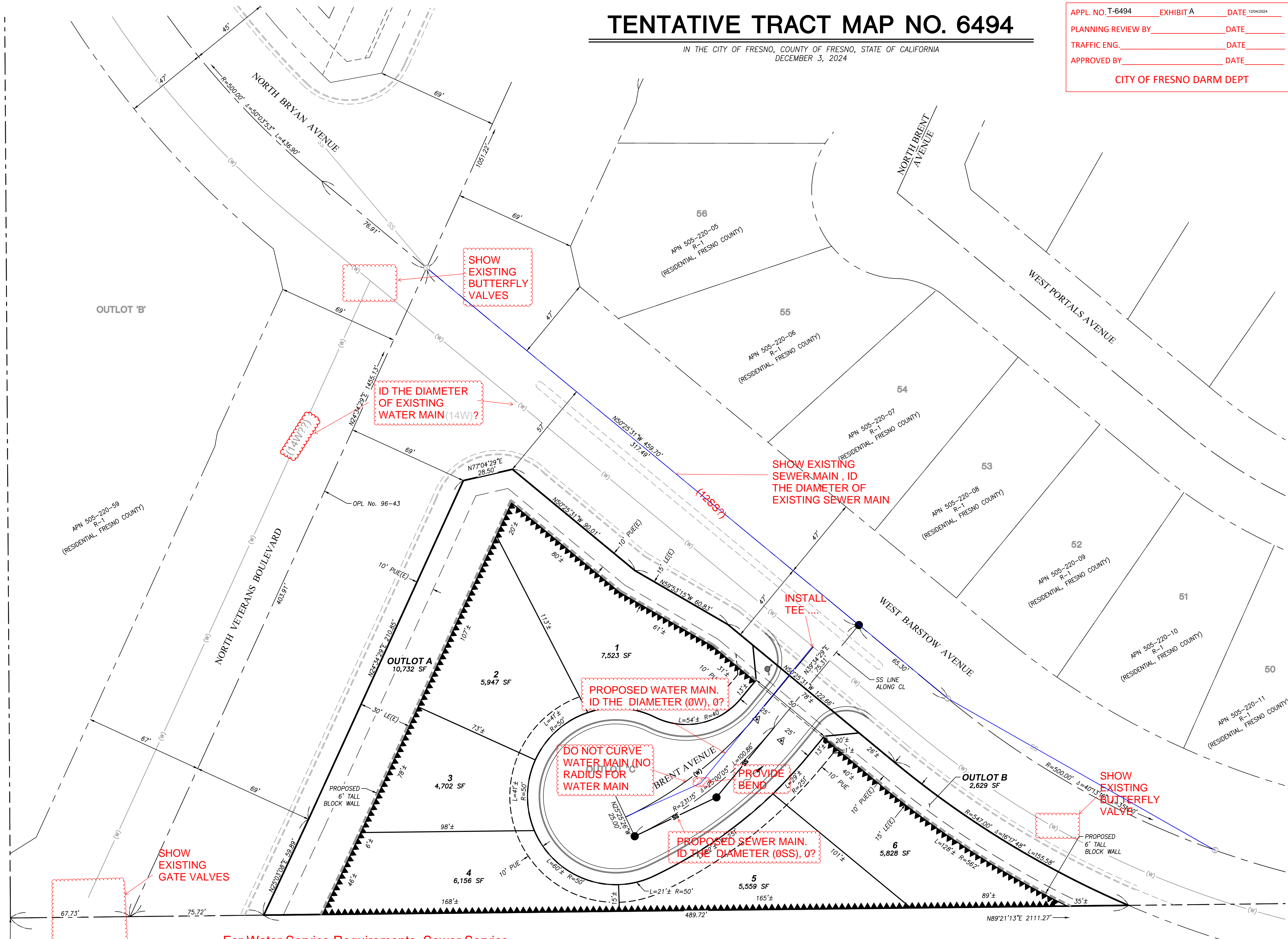
DE YOUNG PROPERTIES 5224 LP, 677 WEST PALMDON AVE, SUITE 208, FRESNO, CA 93704, (559) 435-0900
DE YOUNG PROPERTIES, 677 WEST PALMDON AVE, SUITE 208, FRESNO, CA 93704, (559) 435-0900
ANTONIO S. WESTERLUND, PLS., CFedS, 601 POLLASKY AVE, SUITE 301, CLOVIS, CA 93612, (559) 449-2400

LEGEND:

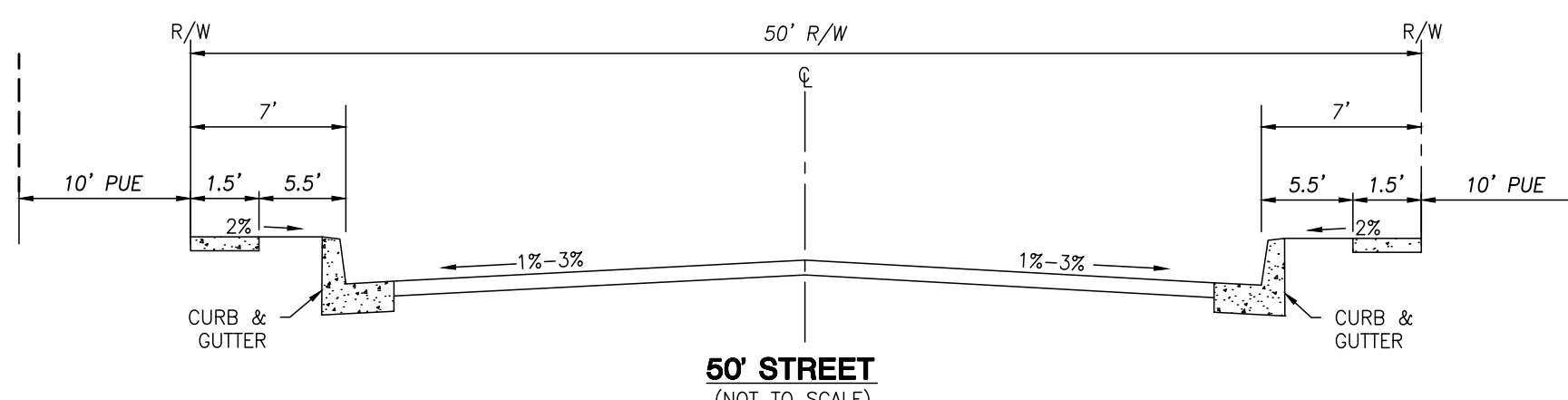
- (E) CENTERLINE
- EXISTING
- EXISTING CURB & GUTTER
- EXISTING LANDSCAPE EASEMENT
- LE
- EXISTING LOT LINE
- PUE
- EXISTING MEDIAN, APPROXIMATE LOCATION
- EXISTING PUBLIC UTILITY EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER MANHOLE
- MAP BOUNDARY
- PROPOSED CITY RIGHT OF WAY DEDICATION
- PROPOSED CURB AND GUTTER
- PROPOSED FIRE HYDRANT
- PUE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED LOT LINE
- PROPOSED SEWER MANHOLE
- (BSS)
- PROPOSED SEWER MAIN
- PROPOSED DIRECTION OF STORM WATER OVERFLOW
- (OW)
- PROPOSED WATER MAIN
- SECTION LINE
- 51
- LOT NUMBER PER FINAL MAP OF TRACT No. 5224, RECORDED IN VOLUME 72 OF PLATS AT PAGES 66 THRU 69, FRESNO COUNTY RECORDS
- RELINQUISHMENT OF DIRECT ACCESS RIGHTS. THAT PORTION NOT SHOWN HEREON TO BE ABANDONED ON FINAL MAP.
- 0
- DIAMETER PIPE IN INCHES**

THIS PROPERTY IS SUBJECT TO THE FOLLOWING:

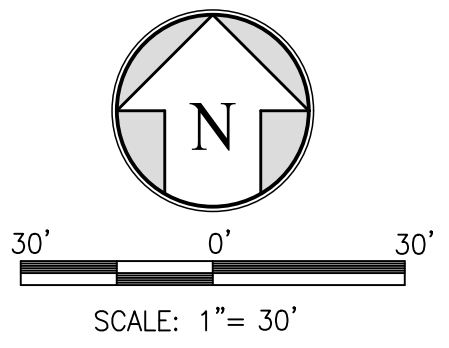
1. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO RAY A. HUMPHREYS, ET AL FOR THE RIGHT TO RUN WATER IN CERTAIN DITCH, RECORDED IN BOOK 398 OF DEEDS AT PAGE 417. (NOT PLOTTABLE)
2. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO PACIFIC GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 8, 1955 IN BOOK 3630 OF OFFICIAL RECORDS, PAGE 280 UNDER RECORDER'S SERIAL NUMBER 47825. (DOES NOT AFFECT SUBJECT SITE)
3. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES GRANTED TO PACIFIC GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED SEPTEMBER 30, 1955 IN BOOK 3664 OF OFFICIAL RECORDS AT PAGE 267 UNDER RECORDER'S SERIAL NUMBER 66702. (DOES NOT AFFECT SUBJECT SITE)
4. AN EASEMENT AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS SHOWN ON THE FILED MAP RECORDED MAY 20, 2005 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2005-0112239. (LANDSCAPE & PUBLIC UTILITY EASEMENT)



For Water Service Requirements, Sewer Service Requirements, and Solid Waste Service Requirements see the attached DPU Conditions of Approval.



By: **QK**
601 POLLASKY AVE., STE. 301 TEL: (559) 449-2400
CLOVIS, CA 93612 WWW.QKINC.COM
© COPYRIGHT BY QUAD KNOPP, INC. UNAUTHORIZED USE PROHIBITED.



L:\PROJECTS\2024\202407\4040\TENTATIVE MAP\202407-TM\DWG-12/15/2024-9:55 AM

Fire Department

December 9, 2024
Justin Beal

Comments

1. This is a 6-lot proposed subdivision with a proposed 36-foot public street. There are no relevant Public Works Standards for this street shown on the map and these should be required to be placed on the map prior to any final approval of this map. FFD staff are unable to determine if there will be any on street parking restrictions.
2. All lots are within the fire 4-minute response time, and within the service area (2 miles) of Fire Station 18. There are no development restrictions related to fire department emergency services response.
3. All lots in the subdivision are subject to the city-wide fire service delivery impact fee. UGM Fee Requirements & Development restrictions related to fire services can be found in the Fresno Municipal Code.
4. All weather fire access must be provided, inspected and in service (approved) prior to the delivery of combustible material to the location. All weather fire access must be maintained throughout the project without interruption. FFD Policy #403.002.
5. No phasing of construction has been proposed by developer.
6. Install a Public Works approved "NO OUTLET" sign at the intersection of Barstow and Brent for the proposed blind cul-de-sac.
7. Install 8-inch minimum public water mains throughout the development per Public Utilities and Fire Department requirements for local residential streets.
8. Fire hydrants must be inspected and in service (approved) prior to the delivery of combustible material to the location.
9. A single public fire hydrant is shown on the map, in a compliant location. Provide public fire hydrants per Public Works and Public Utilities requirements for residential subdivisions with a minimum fire flow of 1500 gpm at a residual pressure of 20 psi with fire hydrants spaced no more than 600 feet apart with two points of connection.

10. There is an existing COF 14 inch main in Barstow.
11. Fire hydrants shall be in service, and all-weather access provided and maintained during all stages of construction.
12. Dwelling units require an NFPA 13D residential fire sprinkler system supplied from the domestic water supply to each dwelling unit.
13. It is the permit applicant's obligation to confirm and comply with all fire & life safety provisions per '22 CFC §106.2.3



&
2600 Fresno Street
Fresno, California 93721-3604
www.fresno.gov

Fresno County Health Department

December 18, 2024
Public Health

Comments

1. The proposed project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to city of Fresno Municipal Code.
2. As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.
3. Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS**

PUBLIC AGENCY

VALERIA RAMIREZ
DEVELOPMENT SERVICES/PLANNING
CITY OF FRESNO
2600 FRESNO STREET, THIRD FLOOR
FRESNO, CA 93721-3604

DEVELOPER

GILBERT TAPIA, DE YOUNG PROPERTIES
677 W. PALMDON DR.
FRESNO, CA 93704

PROJECT NO: **6494**

ADDRESS: **6397 W. BARSTOW AVE.**

APN: **505-220-60**

SENT: **January 06, 2025**

| Drainage Area(s) | Preliminary Fee(s) | Development Review Service Charge(s) | Fee(s) | |
|---------------------------------------|--------------------|---------------------------------------|----------|--|
| EM | \$9,450.00 | NOR Review | \$85.00 | To be paid prior to release of District comments to Public Agency and Developer. |
| | | Grading Plan Review | \$236.00 | Amount to be submitted with first grading plan submittal. |
| Total Drainage Fee: \$9,450.00 | | Total Service Charge: \$321.00 | | |

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District’s Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District’s reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/25 based on the site plan submitted to the District on 12/04/24 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Creditable storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Creditable drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Creditable facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

FR TRACT No. 6494

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Page 2 of 4

FR
TRACT
No. 6494

Approval of this development shall be conditioned upon compliance with these District Requirements.

1. a. Drainage from the site shall
 b. Grading and drainage patterns shall be as identified on Exhibit No. 1.
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.

2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:
 Developer shall construct facilities as shown on Exhibit No. 1 as
 None required.

3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:
 Grading Plan
 Street Plan
 Storm Drain Plan
 Water & Sewer Plan
 Final Map
 Drainage Report (to be submitted with tentative map)
 Other
 None Required

4. Availability of drainage facilities:
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.
 d. See Exhibit No. 2.

5. The proposed development:
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)
 Does not appear to be located within a flood prone area.

6. The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Page 3 of 4

FR
TRACT
No. 6494

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
 - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 2014 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
 - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. X See Exhibit No. 2 for additional comments, recommendations and requirements.



Debbie Campbell
Design Engineer, RCE

Digitally signed by Debbie Campbell Date: 1/6/2025 10:30:21 AM



Shauna L. Espinoza Mendoza
Engineer III, RCE

Digitally signed by Shauna L. Espinoza Mendoza Date: 1/3/2025 1:19:42 PM

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
NOTICE OF REQUIREMENTS

Page 4 of 4

CC:

ERNIE ESCOBEDO, QK INC

601 POLLASKY AVE.

CLOVIS, CA 93612

JULI KUTKA, DE YOUNG PROPERTIES

677 W. PALMDON DR., SUITE 208

FRESNO, CA 93704

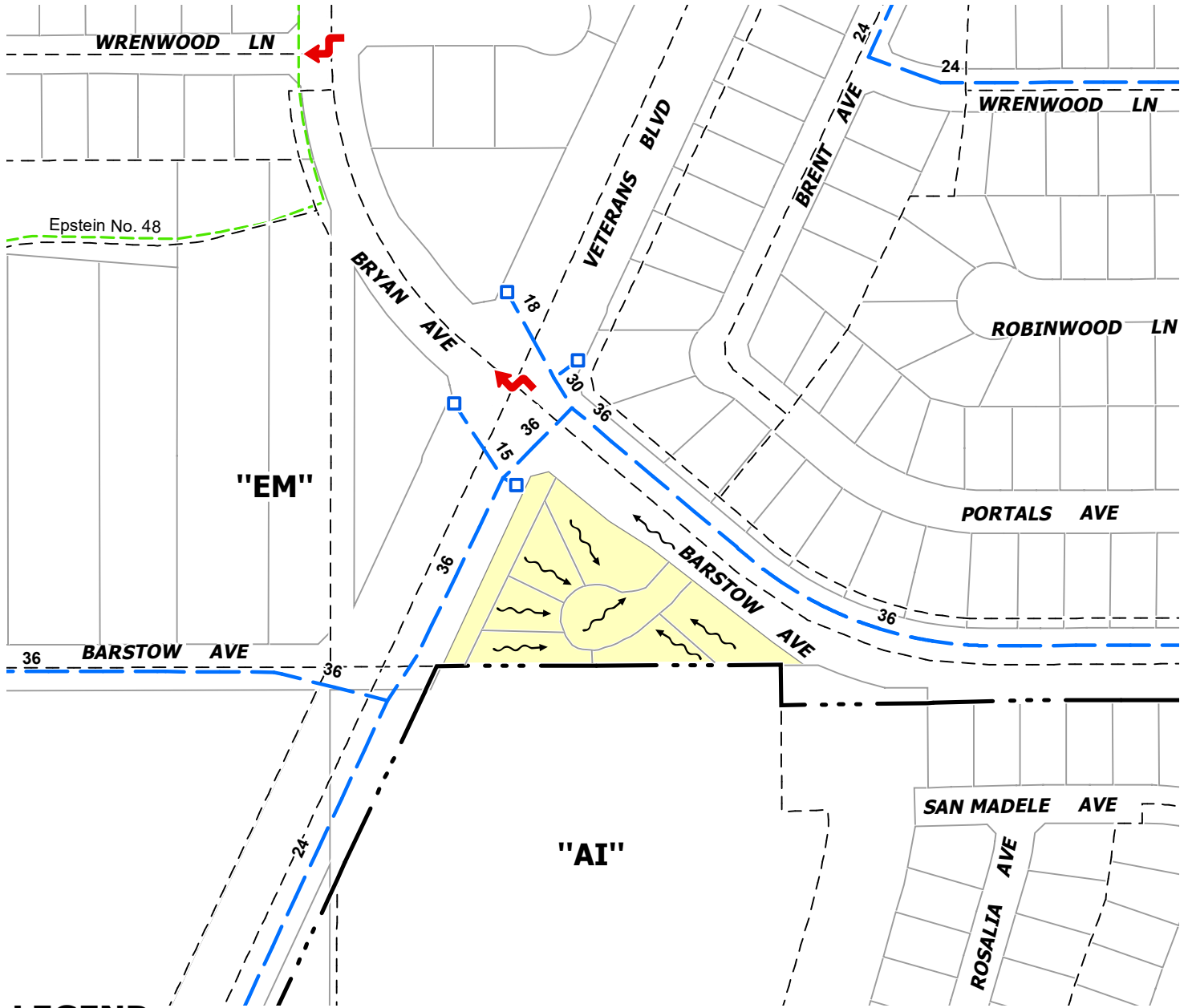
BRANDON DEYOUNG

2109 W. BULLARD #101



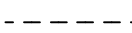



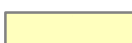
FRESNO, CA 93711

FR TRACT No. 6494

NOTE: THIS MAP IS SCHEMATIC. DISTANCES, AMOUNT OF CREDITABLE FACILITIES, AND LOCATION OF INLET BOUNDARIES ARE APPROXIMATE.



LEGEND

-  Existing Master Plan Facilities
-  Direction Of Drainage
-  Inlet Boundary
-  Drainage Area Boundary
-  Existing FID Facilities
-  Major Storm Breakover
-  Limits Of Tract 6494



Tract 6494
DRAINAGE AREA "EM"

EXHIBIT NO. 1

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT



OTHER REQUIREMENTS

EXHIBIT NO. 2

The minimum finish floor elevation shall be 294.95 (U.S.G.S. Datum).

The Master Plan system has been designed such that during a two-year event flow will not exceed the height of the 6-inch curb. Should wedge curb (4.5 inches height) be used the same criteria shall apply whereby flow remains below the top of curb. Any extensions or pipe size increases due to meeting the requirement listed above shall be at the developer's expense.



Fresno Metropolitan Flood Control District

Capturing Stormwater Since 1956

File 220.013811 #433
340. "EM"

October 19, 2023

Mr. Eric Frampton
Development Department
City of Fresno
2600 Fresno Street
Fresno, CA 93721

Dear Mr. Frampton,

Availability of Drainage Service
APN 505-220-59, 60
Veterans Boulevard and Barstow Avenue
Drainage Area "EM"

The District has constructed facilities which can provide stormwater drainage service to the subject parcel. As a result, the City's requirement for stormwater runoff to be retained by temporary facilities is no longer necessary to control stormwater volumes and flows from the site. Therefore, the existing temporary facility may be abandoned and all pipelines entering the site shall be plugged and/or eliminated in accordance with City standards. See the attached Assessor's Parcel Map for the location.

Fill material is available from the District when using licensed contractors that comply with District insurance requirements. Information regarding the availability of fill material can be obtained by contacting Jake Eubanks, Interim Facilities Manager, at (559) 456-3292.

Stormwater runoff contains pollutants, which will build up over time in a stormwater runoff retention facility. **The site owner and the operator are fully responsible for the proper operation, maintenance, and abandonment of the temporary retention facility at the subject location.**

The Federal Clean Water Act prohibits the discharge of anything but stormwater to the storm drain system. Stormwater drainage only, such as surface water runoff from home sites, parking lots, and landscapes may be directed from the site to a public street or the District's storm drain system.

Please contact Adam Johnson, Engineering Technician at the District, at (559) 456-3292 with any questions or concerns you may have about the District's storm drainage services. You may also contact Jared Shuman, Environmental Resource Manager, at the same number for additional information about federal stormwater quality laws and regulations.

k:\letters\pond abandonment letters\2023\433-city of fresno pond aband (em)(aj) apn 505-220-5960.docx

Mr. Eric Frampton
Development Department
City of Fresno
October 19, 2023
Page 2

Sincerely,



Adam Johnson
Engineering Technician

AJ/jt

Enclosure

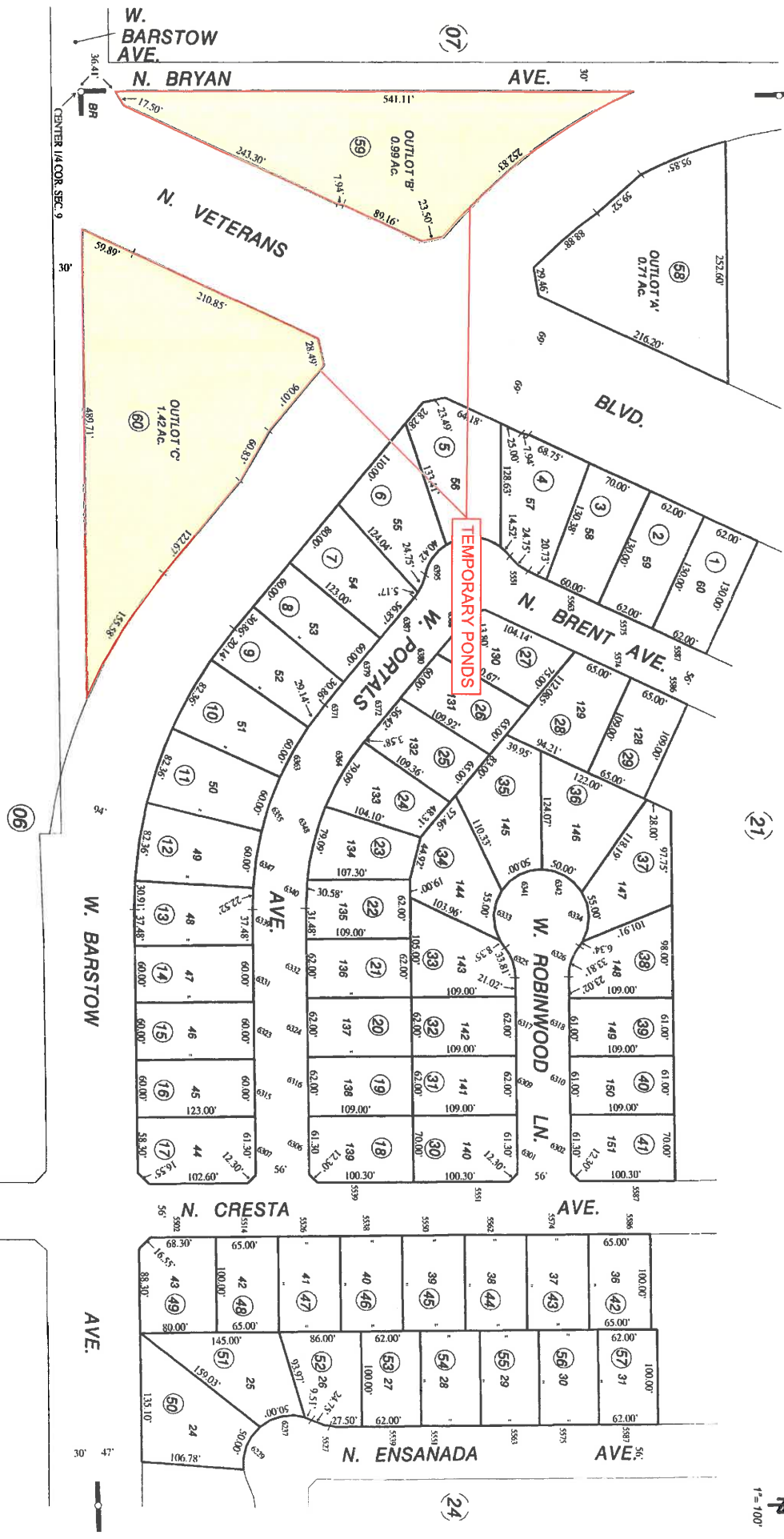
c: Jarrod Takemoto, Fresno Metropolitan Flood Control District
Adam Johnson, Fresno Metropolitan Flood Control District
Jared Affleck, Fresno Metropolitan Flood Control District
Mike Karbassi, City Councilmember, District 2
Scott Mozier, City of Fresno Public Works Director
Fresno Mosquito and Vector Control District
Eva Flores, City of Fresno Code Enforcement
Brian Russell, City of Fresno Street Maintenance
Property Owners De Young Properties

NOTE - - -
 This map is for assessment purposes only. It is not to be construed as portraying legal ownership or division of land for purposes of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 9, T.13S., R.19E., M.B.D.&M.

Tax Rate Area
 5-926

505-22



Brentwood Ranch Tract no. 5224 - Bk. 72, Pgs. 66-69

Assessor's Map Bk. 505 - Pg. 22
 County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
 Assessor's Parcel Numbers Shown in Circles.

06-28-2005



2907 S. Maple Avenue
Fresno, California 93725-2208
Telephone: (559) 233-7161
Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

December 12, 2024

Valeria Ramirez
Development and Resource Management
City of Fresno
2600 Fresno Street, Third Floor
Fresno, CA 93721

RE: Planning Application P24-03421, Tentative Tract Map 6494
S/E Veterans Boulevard and Barstow Avenue

Dear Ms. Ramirez:

The Fresno Irrigation District (FID) has reviewed Planning Application P24-03421 for Tentative Tract Map 6494 for which the applicant proposes a 6-lot single-family subdivision, APN: 505-220-60 FID has the following comments and conditions:

1. FID's does not own, operate, or maintain any facilities located on the subject property, as shown on the attached FID exhibit map.
2. For informational purposes, FID's active Epstein No. 48 runs southerly along the west side of Bryan Avenue approximately 430 feet northwest of the subject property and crosses Barstow Avenue approximately 940 feet west of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Bryan Avenue, Barstow Avenue, or in the vicinity of this facility, FID requires it review and approve all plans.
3. For informational purposes, FID's active Herndon No. 39 runs westerly and crosses Veterans Boulevard approximately 1,630 feet south of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Veterans Boulevard or in the vicinity of this facility, FID requires it review and approve all plans.
4. The proposed development may negatively impact local groundwater supplies. The area is currently mostly open land or limited agricultural production with little to no water demand. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a conversion from imported surface water to groundwater, this deficit will increase. FID suggests the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft.

5. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Fresno are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City of Fresno should consider the impact of the development on the City's ability to comply with the requirements of SGMA.
6. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Fresno and FID service area. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.

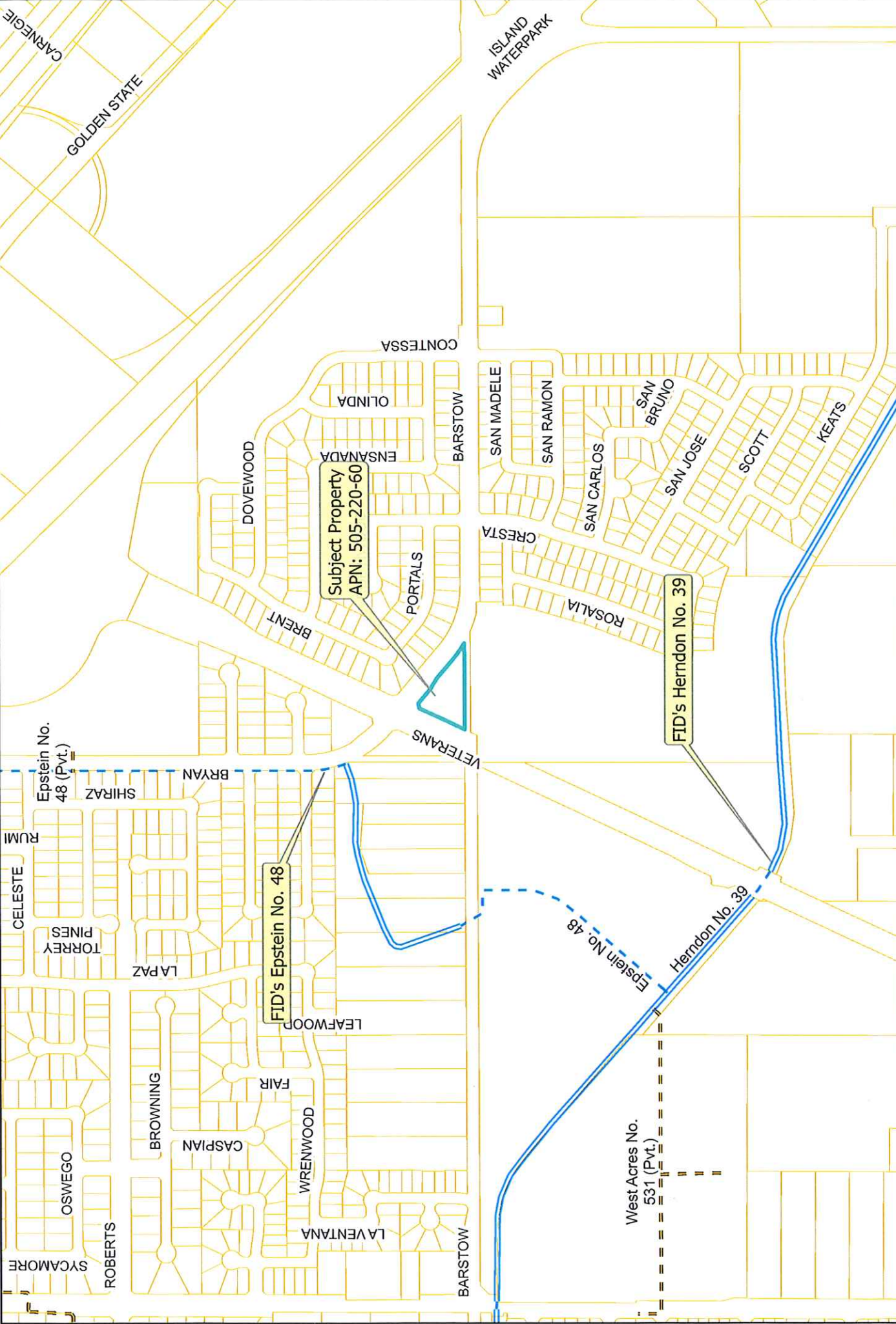
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



Subject Property
APN: 505-220-60

FID's Epstein No. 48

FID's Herndon No. 39

West Acres No.
531 (Pvt.)

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

North Arrow
0 270 540 Feet

- Legend**
- FID Canal
 - FID Pipeline
 - Private Canal
 - Private Pipeline
 - Abandoned Canal
 - Abandoned Pipeline
 - Stream Group
 - Other-Creek/River
 - Other-Pipeline
 - FID Boundary
 - Railroad
 - Streets & Hwys
 - Parcel
 - FMFCD Acquired Basins
 - FMFCD Proposed Basins



FRESNO IRRIGATION DISTRICT

Shattil Reference:
Name: NAD 1983 StatePlane California IV FIPS 0404



2600 Fresno Street
Fresno, California 93721-3604
www.fresno.gov

Central Unified School District

December 20, 2024
Katrina Loya

Comments

The District has no comments at this time on application No. P24-03421. Please note that Impacts from the proposed development may result in the need for additional classroom(s). The District's current Developer Fee Rates fall under Level I at \$5.17 per square foot for residential and \$0.84 per square foot for commercial developments. Developer fees are assessed annually and are, therefore, subject to change based on factors that impact growth within the District.

Should you need further information or have any questions, please contact me at (559) 274-4700 ext. 12102 or Kloya@centralunified.org

Katrina Loya
Central Unified School District
Facilities Planning Manager



December 6, 2024

Re: P24-03421
Tentative Tract Map No. 6494

Dear City of Fresno,

Thank you for providing PG&E the opportunity to review the proposed plans for P24-03421 dated 12/4/2024. Our review indicates the proposed improvements do not appear to directly interfere with existing PG&E facilities or impact our easement rights.

Please note this is our preliminary review and PG&E reserves the right for additional future review as needed. This letter shall not in any way alter, modify, or terminate any provision of any existing easement rights. If there are subsequent modifications made to the design, we ask that you resubmit the plans to the email address listed below.

If the project requires PG&E gas or electrical service in the future, please continue to work with PG&E's Service Planning department: <https://www.pge.com/cco/>.

As a reminder, before any digging or excavation occurs, please contact Underground Service Alert (USA) by dialing 811 a minimum of 2 working days prior to commencing any work. This free and independent service will ensure that all existing underground utilities are identified and marked on-site.

If you have any questions regarding our response, please contact the PG&E Plan Review Team at pgeplanreview@pge.com.

Sincerely,

PG&E Plan Review Team
Land Management