

Planning Commission

September 17, 2025



Information Packet

ITEMS

File ID 25-1226

Workshop: Basics of Parking Requirements - Planning and Development Department

Contents of Supplement:

Supplemental Exhibit A – Presentation and Supporting Materials

Supplemental Information:

Any agenda related public documents received and distributed to a majority of the Commission after the Agenda Packet is printed are included in Supplemental Packets. Supplemental Packets are produced as needed. The Supplemental Packet is available for public inspection in the City Clerk's Office, 2600 Fresno Street, during normal business hours (main location pursuant to the Brown Act, G.C. 54957.5(2)). In addition, Supplemental Packets are available for public review at the Planning Commission meeting in the City Council Chambers, 2600 Fresno Street. Supplemental Packets are also available online on the City Clerk's website.

Americans with Disabilities Act (ADA):

The meeting room is accessible to the physically disabled, and the services of a translator can be made available. Requests for additional accommodations for the disabled, sign language interpreters, assistive listening devices, or translators should be made one week prior to the meeting. Please call City Clerk's Office at 621-7650. Please keep the doorways, aisles and wheelchair seating areas open and accessible. If you need assistance with seating because of a disability, please see Security.

Supplemental Exhibit A

FRESNO PLANNING COMMISSION

PARKING WORKSHOP

September 17, 2025



GENERAL PLAN GOALS



Goal 10 - Emphasize increase land use intensity and mixed-use development at densities supportive of greater use of transit in Fresno.



Goal 11 - Emphasize and plan for all modes of travel on local and Major Streets in Fresno.



New development
or uses typically
require on-site
parking, which can
be provided as
surface or garage
parking.

ON-SITE PARKING



PARKING REQUIREMENTS

The Development Code provides the minimum number of parking spaces required for various use types



Article 24-Parking & Loading provisions under FMC Chapter 15 specifies on-site parking spaces of the various zone districts:

Downtown Districts (DTN, DTC, DTG)

Mixed Use and Commercial Main Street
(NMX, CMX, RMX, CMS)

Other Districts (Residential, Public/Semi-Public, Commercial, Employment, Transportation/Communication/Utilities)

SPECIFIC PURPOSES OF PARKING & LOADING REGULATIONS



Minimize design impacts that can result from parking lots, driveways, and drive aisles within parking lots



Offer flexible means of minimizing the amount of area devoted to vehicle parking by allowing reductions in the number of required spaces in transit-served locations, shared parking facilities, and other situations expected to have lower vehicle parking demand



Require that parking areas are designed to reduce potential environmental impacts, including minimizing stormwater runoff and the heat island effect

SPECIFIC PURPOSES OF PARKING & LOADING REGULATIONS



Ensure that parking is provided for new land uses and alterations to existing uses, to avoid the negative impacts associated with spillover parking into adjacent neighborhoods;



Ensure that adequate off-street bicycle parking facilities are provided and promote parking lot designs that offer safe and attractive pedestrian routes;



Establish standards and regulations of any specific use occurring outdoors or within an existing, newly constructed, or relocated building to provide well-designed, on-site parking areas; and,



Provide loading & delivery facilities in proportion to the needs of allowed uses.

DOWNTOWN DISTRICTS

TABLE 15-2407: REQUIRED ON-SITE PARKING SPACES, DOWNTOWN DISTRICTS

Use	Required Parking Spaces
Residential	
Studio, and one-bedroom units	0.5 space per unit
Two bedrooms	0.5 space per unit
Three or more bedrooms	0.5 space per unit
Non-Residential	
Office	None Required
Retail	None Required
Restaurant	None Required
All other Non-Residential uses	None Required

MIXED USE DISTRICTS & CMS DISTRICT

TABLE 15-2408: REQUIRED ON-SITE PARKING SPACES, MIXED-USE DISTRICTS AND CMS DISTRICT

Use	Required Parking Spaces	
Residential		
Studio, and one-bedroom units	.75 space per unit	Required parking shall be covered. One additional guest parking space must be provided for every 4 units for projects greater than 4 units.
Two bedrooms	1 space per unit	
Three or more bedrooms	1.5 spaces per unit	
Non-Residential		
Office	1 space per 600 square feet	
Retail	1 space per 600 square feet	
Restaurant	1 space per 600 square feet	
All other Commercial uses	1 space per 600 square feet	
On-street parking along a lot's corresponding frontage lines shall be counted toward the parking requirement for mixed-use projects.		

OTHER DISTRICTS

Includes Residential, Public/Semi-Public, Commercial, Employment and Transportation/Communication/Utilities

Table 15-2409; Required On-Site Parking Spaces, Other Districts (See the Table handout)

OTHER RELATED REQUIREMENTS



Bicycle Parking - Section 15-2429


Short-Term for shoppers, customers, messengers, guests, and other visitors to a site who generally stay for two hours or less

Long-Term for employees, students, residents, commuters, and others who generally stay at a site for longer than two hours



On-Site Loading - Section 15-2430

Uses requiring the receipt or distribution by vehicles or trucks of material or merchandise



PARKING EXCEPTIONS AND REDUCTIONS

PARKING EXCEPTIONS

Buildings constructed prior to February 13, 1954

30-Year-Old or Older Buildings, provided:

- The new parking area is not reduced; and
- The new use does not involve
 - Convenience stores that are 3,000 sq. ft. or less with off-site alcohol sales;
 - Schools (K-12; private or public)
 - Drive-through restaurants
 - Banquet Halls and Religious Assembly Facilities with direct access to local street(s)
 - Auto-related uses.

Small Commercial Uses are not required to provide parking when they contain less than 1,000 square feet of floor area

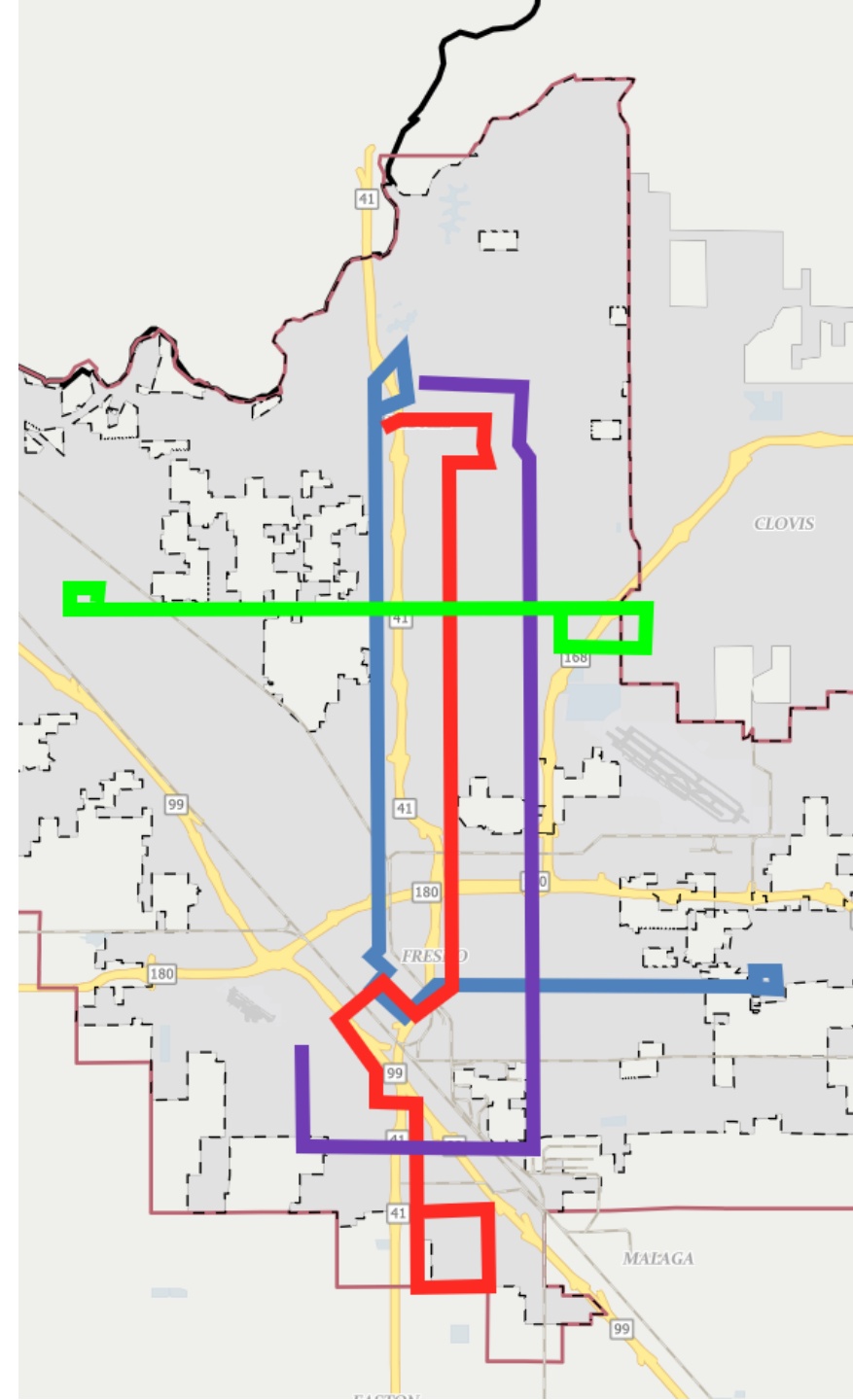
- Uses include retail sales, personal services, eating and drinking establishments, food and beverage retail sales, and offices.

AFFORDABLE HOUSING DEVELOPMENT REDUCTIONS

- Reduced parking may be requested as an incentive for affordable housing.
- The Standard reduction requires:
 - .5 on-site space for studio units;
 - .75 on-site space for one- or two-bedroom units;
 - One on-site space for three or more bedrooms; and
 - Guest parking shall be provided per the underlying district.

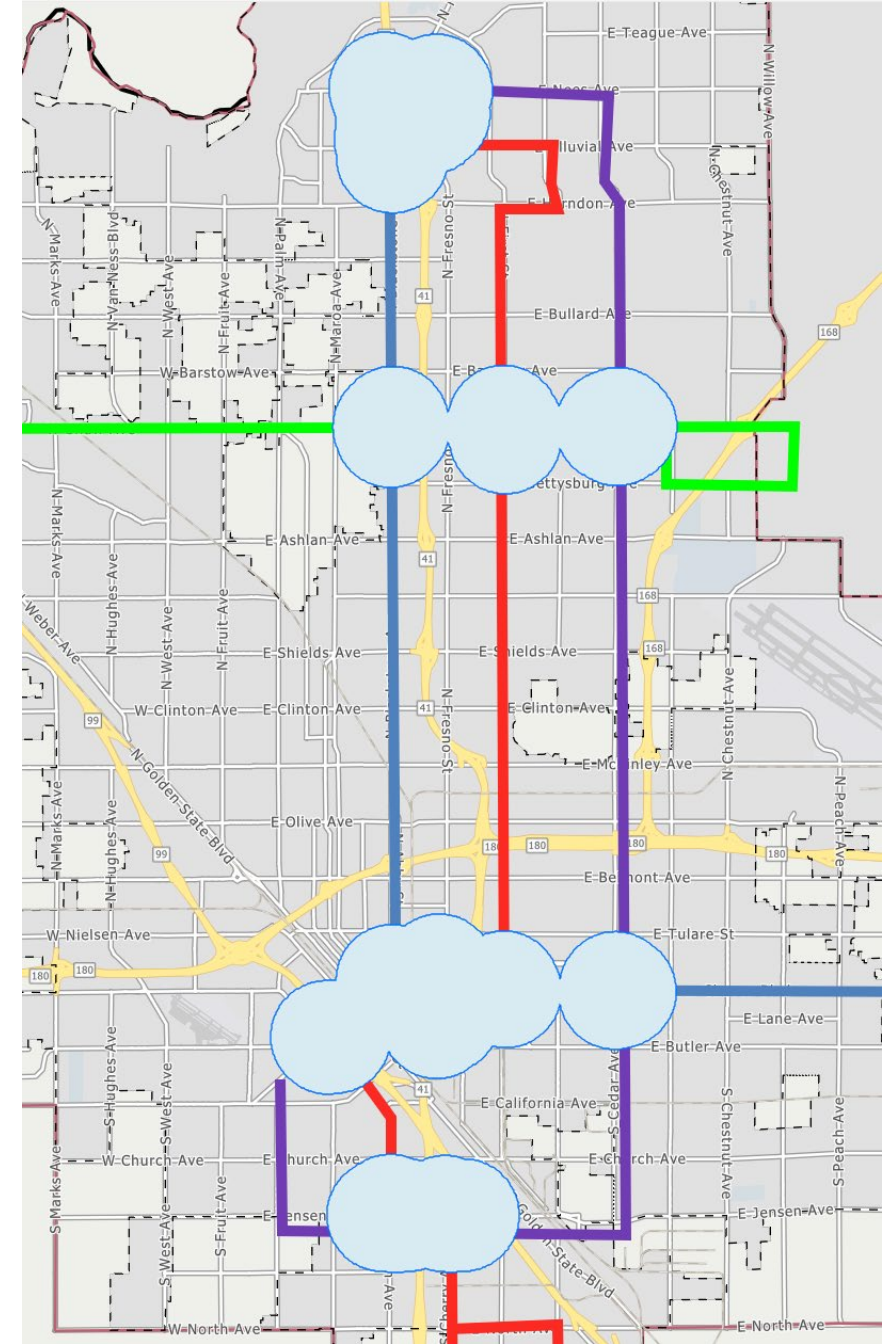
TRANSIT ACCESSIBILITY

If any portion of a lot is located within $\frac{1}{4}$ mile of a transit stop with a 15 minute or more frequent service during the hours of 7 a.m. to 9 a.m. and 5 p.m. and 7 p.m., the number of required parking spaces may be reduced by 30 percent of the normally required number of spaces.



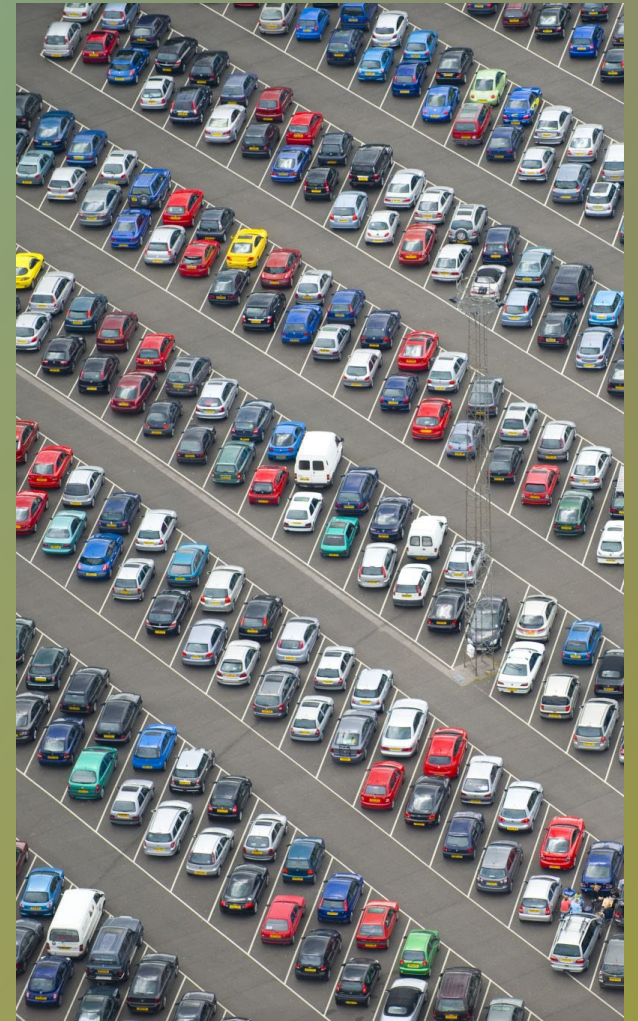
AB 2097

- A public agency may not impose any minimum automobile parking requirement on any residential, commercial, or other development project that is located within ½ mile of a major transit stop.
 - A major transit stop is an intersection of 2+ major bus routes with a frequency of service of 15 minutes or less; or,
 - Major transit stops that are included in the regional transportation plan
- Specific exceptions apply for Event Centers, Hotels, Motels, Transient Lodging, and Bed & Breakfasts.



OTHER PARKING REDUCTIONS

- A Planned Development Permit may reduce required parking by 20 percent.
 - May not be combined with other reductions.
- A Shared Parking facility serving more than one use may reduce required spaces up to 50 percent.
- Off-site parking for non-residential uses may be provided with a Conditional Use Permit.
- All above reductions are subject to additional criteria and findings.



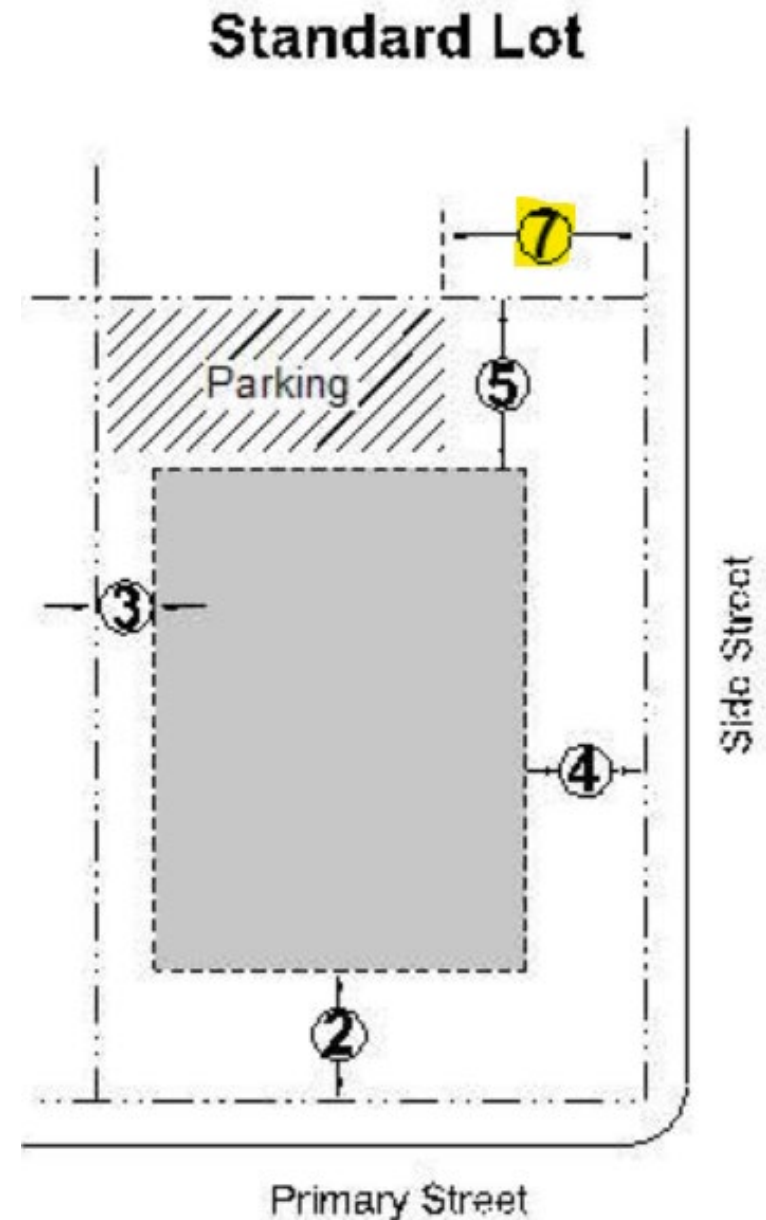
LOCATION OF REQUIRED PARKING (15-2414)

- No parking spaces shall be located within the front and street side setback areas.
 - In single-unit districts, parking shall not be located within required setbacks, with the exception of the rear yard.
 - Vehicles may park on driveways in single-unit districts.
 - ❑ This shall not count towards meeting the required parking.
- In single-unit districts, at least one covered parking space is required.

PARKING SETBACKS

RM Districts

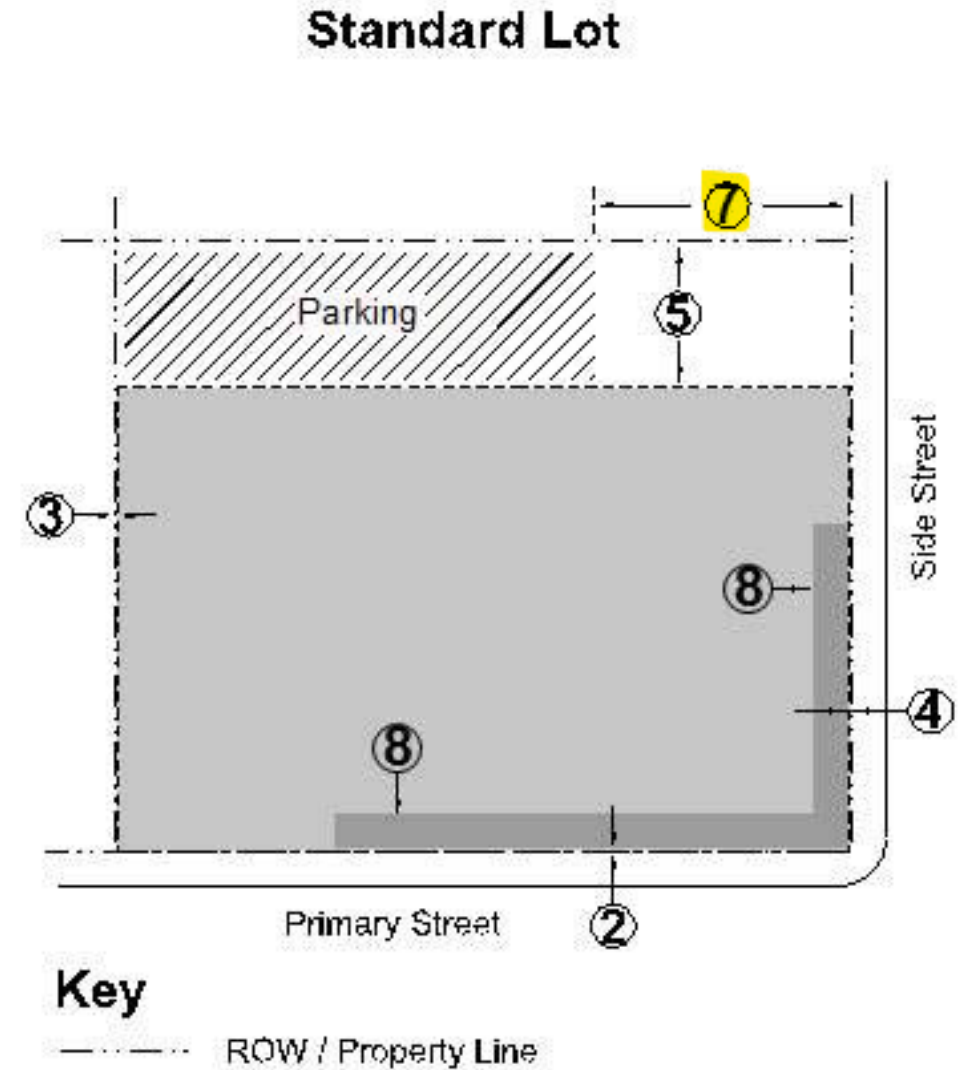
- 30' from back of sidewalk or curb



PARKING SETBACKS (CONTINUED)

MX Districts

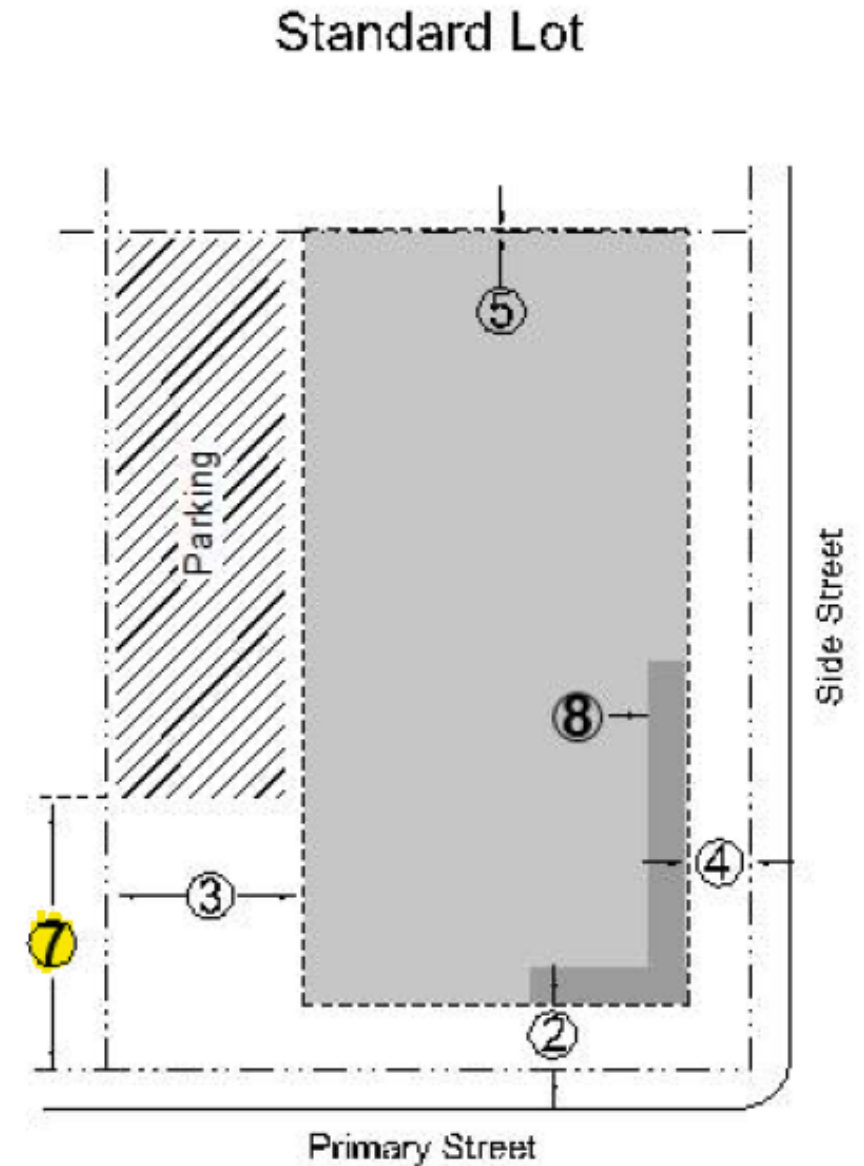
- 30' from back of sidewalk or curb



PARKING SETBACKS (CONTINUED)

Commercial Districts

- CMS District
 - 30' from back of sidewalk or curb
- CC, CR, CG, CH, CRC
 - No minimum parking setback



PARKING SETBACKS (CONTINUED)

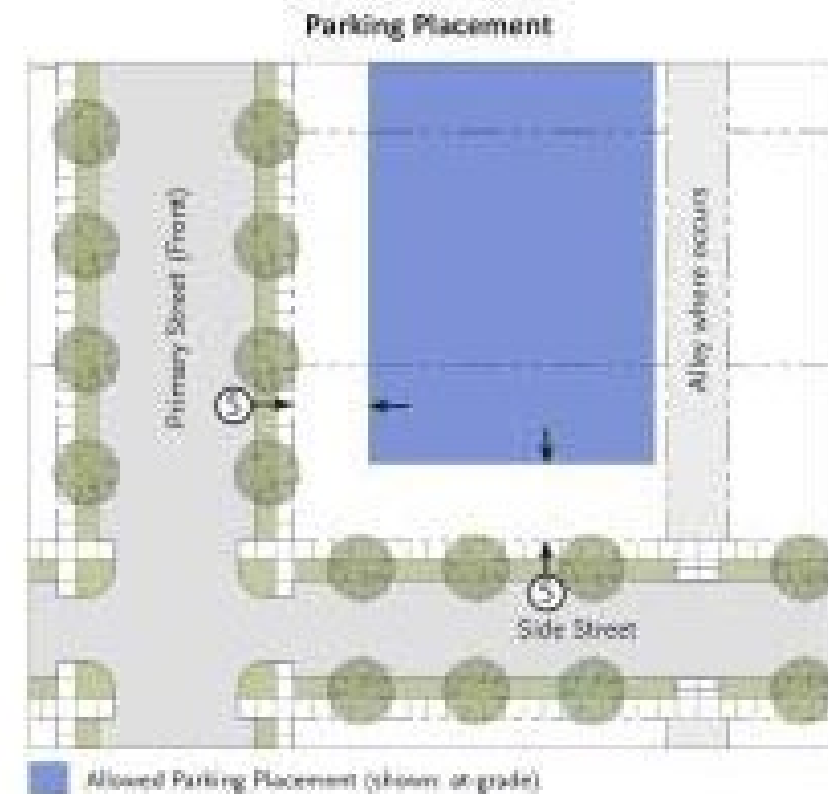
Employment Districts

- O, BP, RBP
 - 15' from back of sidewalk or curb
- IL and IH
 - No minimum parking setback

PARKING SETBACKS (CONTINUED)

Downtown Districts

- 30' from back of sidewalk or curb
- Parking typically must be located behind building



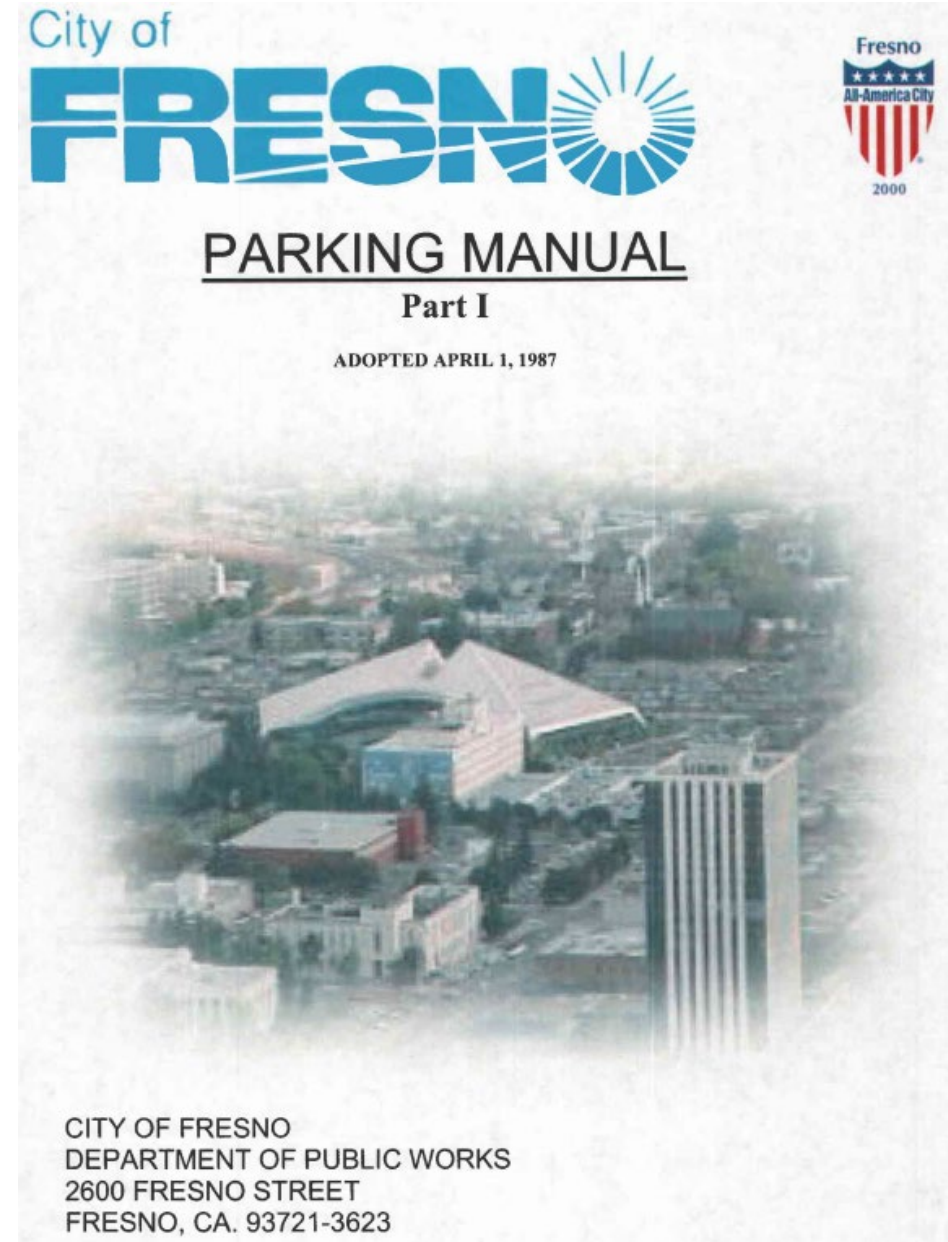
PARKING LOT LANDSCAPING AND SHADING (1 5 - 2 4 2 1)

- **Heat Island Reduction.** A heat island is the increase in ambient temperature that occurs over large paved areas compared to natural landscape.
 - 50 percent of areas not landscaped shall be shaded.
- **Permitted Types of Shading.** Shade may be provided by solar shade structures, trees, or other equivalent mechanism.
- **Exception:** This requirement shall not apply to RS Districts and truck loading and truck parking areas within Employment Districts.

PARKING AREAS ADJACENT TO PUBLIC STREETS

- Provide a landscaped planting strip equivalent to the required setback for the subject zoning district.
 - Landscaping shall screen cars from view from the street to a height of between 24 and 36 inches.
 - Screening may include a combination of plant materials, earth berms, solid masonry walls, raised planters, or other screening devices that meet the intent of this requirement.

- ❖ Adopted April 1, 1987
- ❖ Parking space dimensions
- ❖ Design criteria
 - Driveway approach
 - Backing onto Public Rights-of-Way
 - Access
 - Circulation Signing and Markings
 - Surface Requirements
 - Delineation of Parking Spaces
 - Physical Barriers
 - Landscaping
 - Lighting
 - Maintenance of Parking Facilities and Equipment
 - Parking Lot Design
- ❖ Information pertaining to accessible stalls
- ❖ Tables of design dimensions for various parking angles
- ❖ Full-turn details

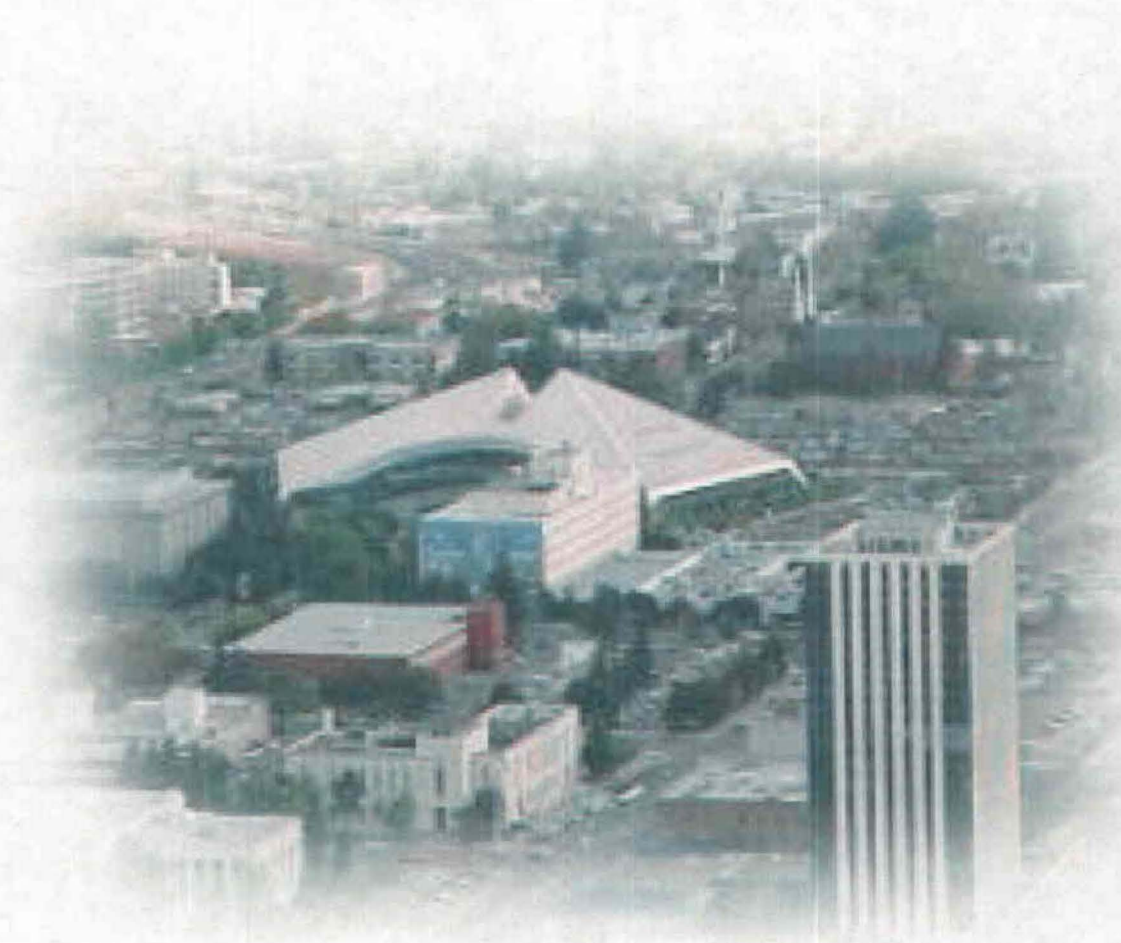




PARKING MANUAL

Part I

ADOPTED APRIL 1, 1987



CITY OF FRESNO
DEPARTMENT OF PUBLIC WORKS
2600 FRESNO STREET
FRESNO, CA. 93721-3623

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PURPOSE

The purpose of this manual is to present the design standards to regulate the development of off-street parking facilities in the City of Fresno.

The design standards contained herein represent minimum requirements necessary for providing adequately developed parking facilities. For the greater part, these have been taken from the Zoning Ordinance and the Standard Specifications of the Public Works Department. In addition, standards have been developed for those special situations which have not been covered by the above two sources.

These standards deal with the method of parking vehicles in an off-street facility. In designing the parking for a given zoning or use, the Zoning Ordinance should be consulted to determine the number of parking spaces required. In addition, the developer is urged to conduct an independent parking study to determine whether these minimum standards are adequate to meet the parking demands of his specific development.

Subsection 5 of Section 12-306-I of the Fresno Municipal Code provides that the standards required in this manual shall be followed.

PARKING DESIGN STANDARDS

1. PARKING SPACE DIMENSIONS

A. Passenger Vehicle Parking Space

There are two basic passenger vehicle parking space dimensions. 9' x 19' standard painted stalls and 8-1/2' x 16-1/2' small car (compact) painted stalls. Any parking lot or structure may install these basic stalls in accordance with criteria defined on page 6, Section 3. Should a property owner wish to reduce the two basic stall sizes by designating exclusive employee parking areas or by constructing continuous concrete curbs, the two basic stall sizes may be reduced in size. The eight cases defined below reflect dimensions for standard and small car stalls, stalls with continuous concrete curbs, and stalls designated for exclusive employee parking areas.

<u>Case#</u>	<u>Length</u>	<u>Width</u>	<u>Requirements</u>
1	19'	9'	Standard painted stall.
2	18'	9'	Standard plus continuous concrete curbs.
3	19'	8-1/2'	Standard plus designated exclusive employee parking.
4	18'	8-1/2'	Standard plus continuous concrete curbs and designated exclusive employee parking.
5	16-1/2'	8-1/2'	Compact painted stall.
6	15-1/2'	8-1/2'	Compact plus continuous concrete curbs.
7	16-1/2'	8'	Compact plus designated exclusive employee parking.
8	15-1/2'	8'	Compact plus continuous concrete curbs and designated exclusive employee parking.

The conditions that must be met in order to define which basic stall size may be used are stated in Section 3 of this manual, page 6.

B. Truck Loading Spaces

A truck loading space shall be an accessible rectangle having a width of 12 feet and a length of 40 feet. Any overhead obstruction shall have a vertical clearance of 15 feet.

2. DESIGN CRITERIA

A. Driveway Approach Construction Standards

Driveway approaches to private property shall be constructed in conformance with the Standard Specifications of the Public Works Department, particularly Drawings **P-1**, **P-2**, **P-3**, and **P-4**, as each may apply. Special driveway approach designs not shown in the Standard Specifications may be approved by the Public Works Department for developments for which more than 200 parking spaces are provided.

Driveway approaches on public streets may not be used to furnish circulation from one row of parking to an adjacent row of parking. This traffic circulation must be provided on private property.

B. Backing onto Public Rights-of-Way

Backing a vehicle onto or from public rights-of-way (public alleys exempt) is prohibited in all areas except residential areas located on streets that are classified as a local street. Parking spaces shall be designed and arranged so that it is more convenient for the parking space user to accomplish the necessary backing movements on the private property than it is to back onto or from the public right of way, where backing is prohibited.

C. Access to Parking Spaces

All parking spaces must have convenient ingress and egress. Access lanes shall be clear and specifically delineated as necessary. (Except in lots with less than 10 parking stalls). All access to individual parking spaces shall be from access lanes (aisles) within the parking facility or from a public alley. Aisle widths are stated on pages 9 through 16 of this manual. Final approval of aisle widths that are designated as fire lanes shall be by the Fresno Fire Department.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way, and where opposing directions are each provided in separate bays (two W-1 bays, see pages 9 through 16) or an opposing aisle is at least 13 feet wide in addition to W-1.

The parking space shall be designed so that the total process of entering and leaving a parking space shall be accomplished in no more movements than two forward and one reverse. No backing maneuver from a parking stall shall conflict or block the public street driveway approach. All such stalls shall be no closer than 20' to the property line at the driveway approach. With the exception of parking facilities having attendant parking, designing of a parking space so as to require the movement of a vehicle to permit entry or exit from another parking space is not permitted.

All required parking spaces shall be available and accessible at all times for vehicular parking purposes.

D. Traffic Circulation Signing and Markings

Directional signs, arrows, and appropriate pavement marking shall be installed to control the direction of traffic flow, when deemed necessary by Public Works Department or the Director of the Development Department.

E. Surface Requirements

All parking areas shall be surfaced in accordance with the Standard Specifications of the Department of Public Works. Reference Public Works Standard **P-21**.

F. Delineation of Parking Spaces

All parking spaces shall be delineated by appropriate fixed curbing, painted lines (a minimum of 4" wide), or other fixed markers. Compact parking stalls or groups of parking stalls shall be individually signed or marked. Any curb painting used to indicate specific use or time limits of parking spaces shall conform to Chapter 10 of the Municipal Code of the City of Fresno.

G. Physical Barriers

Fixed physical barriers shall be installed to protect public and private property adjacent to the parking facility as well as buildings, landscaping, and appurtenances within the development which could be damaged by vehicles using the parking facility. These barriers shall be designed and constructed to facilitate easy cleaning of the parking surface.

A solid masonry wall shall be constructed when required by the zoning ordinance. When no masonry wall is required, wheel stops in the form of a 6" high concrete curb or other approved fixed barrier, placed a minimum distance of 3' from the property line, or the building to be protected, shall be installed. Landscaping shall be adequately protected to avoid damage by vehicles.

Generally, the fixed physical barrier will be placed 3 feet from the property line, or the building to be protected; however, this distance must be a minimum of 5 feet if the vehicles are permitted to back into the parking stalls.

H. Landscaping

Landscaping and irrigation systems shall be installed where required by the Zoning Ordinance or other condition to zoning. For those parking facilities where landscaping is not required, the developer is encouraged to install landscaping to improve the appearance of his premises and of the general neighborhood.

I. Lighting

A lighting system shall be installed on all off-street parking areas. This lighting system shall be designed to produce a minimum maintained average light level of one-half (1/2) foot candle on the entire parking facility's horizontal surface, including the parking spaces, the loading spaces and the vehicular and pedestrian circulation areas.

The system shall have a maximum brightness ratio of 6 to 1.

The lighting fixtures shall be hooded and so arranged and controlled as not to cause a nuisance either to highway traffic or adjacent properties. When the parking facility is open to the public during darkness, this lighting system shall be operating sufficiently to produce the required minimum of one-half (1/2) foot-candle.

All lighting designs are subject to review and approval by the City.

J. Maintenance of Parking Facilities and Equipment

All paving, directional devices and protective equipment, landscaping, and other equipment furnished or required on the parking facility shall be maintained to insure safe pedestrian movement, vehicular operation, adequate protection of adjoining properties, and to present a neat and attractive appearance of the facility.

K. Parking Lot Design

The design of parking lots shall conform to the minimum standards shown on pages 9 through 16.

3. CRITERIA TO DETERMINE BASIC STALL SIZE

- A. Any parking lot or structure may use **Case #1** stall dimensions for design.
- B. In order to use **Case #2** dimensions a 6" high continuous concrete curb must be used. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 3'.
- C. To use **Case #3** dimensions 90% of the parking area must be designated for the exclusive use of employees. The 10% of the parking area closest to the main building entrance must be reserved for customer/visitor parking. This 10% must be designed to **Case #1 or #2** standards.
- D. **Case #4** dimensions may be used as stated in **Case #3** if a 6" high continuous concrete curb is constructed. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 3'.

E. **Case #5** reflects the basic size for small car spaces in lots or structures. 8-1/2' x 16-1/2' is the basic dimension. Up to twenty-five percent (25%) of the parking spaces in any given parking lot in the commercial, industrial, manufacturing, school, or hospital zone districts may be designated for small cars. Other long term parking areas may also be considered by the director. Residential uses may not use small car standards **Cases #5 through #8**. Before any small car standards (**Cases #5 through #8**) are allowed 10 standard size stalls (**Cases #1 through #4**) must be provided. These 10 standard size stalls must be located on the site closest to the main building entrance. 50% of the standard size stalls excluding the required 10 minimum and the required handicap stalls must be located on the site closest to the main entrance (up to 25 spaces). On lots exceeding 70 stalls, 25 standard size and handicap stalls shall be located on the site closest to the main entrance.

F. **Case #6** dimensions may be used with the same criteria stated in Case #5 with the addition of a 6" high continuous concrete curb. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 2'.

G. **Case #7** dimensions may be used if 90% of the parking area is designed for the exclusive use of employees. The 10% of parking area closest to the main building entrance must be reserved for customer/visitor parking. This 10% must be designed to Case #1 or #2 standards.

H. **Case #8** dimensions may be used as stated in **Case #7** if a 6" high continuous concrete curb is constructed. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 2'.

Access to all spaces shall conform to the parameters outlined in Section 2-C of this manual. If a common space is to be provided serving both small cars and standard size cars, the minimum dimensions for standard cars shall apply.

4. **ACCESSIBLE PARKING STALLS**

Accessible Parking Stalls shall be provided as required in the zoning ordinance. Accessible parking for people with disabilities should be consistent with current State and Federal Guidelines.

For more information about California State requirements for accessible parking, you can visit the California Division of State Architect (DSA) website at:

<http://www.dsa.dgs.ca.gov/Access/default.htm>

You can view the DSA's California Access Compliance Reference Manual (revised June of 2006) at::

http://www.dsa.dgs.ca.gov/Access/ud_accessmanual.htm

checklist for accessible parking at:

http://www.documents.dgs.ca.gov/dsa/pubs/checklists_06-16-06.pdf

The ADA Standards for Accessible Design are available at the US Department of Justice Website:

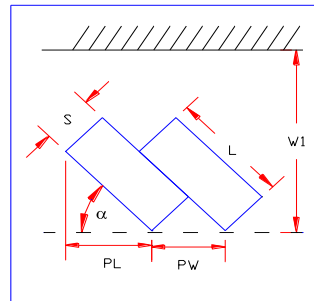
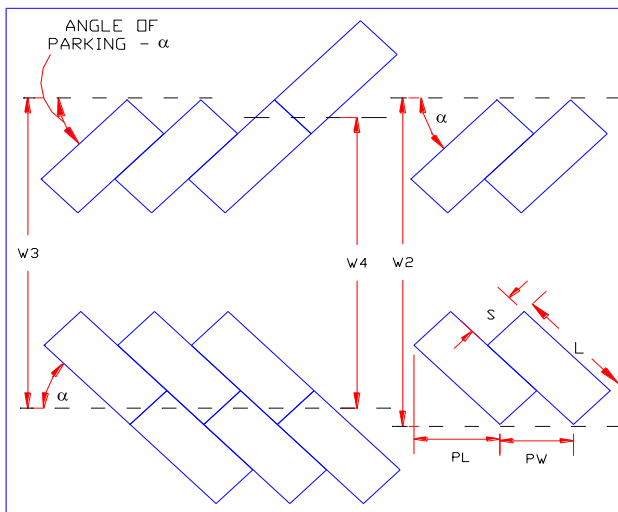
<http://www.ada.gov/stdspdf.htm>

5. **TABLE OF DESIGN DIMENSION FOR VARIOUS PARKING ANGLES**

(See pages 9-16)

TABLE OF DESIGN DIMENSION FOR VARIOUS PARKING ANGLES
CASE - 1

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W -4		P.L.	P.W.
30.0	29.5	46.5	42.5	39.0	12.0	29.9	18.0
35.0	30.5	48.5	45.0	41.0	12.0	26.1	15.7
40.0	31.0	50.0	47.0	43.5	12.0	22.8	14.0
45.0	32.0	51.5	48.5	45.0	12.0	19.8	12.7
50.0	33.5	53.5	51.0	48.0	13.0	17.1	11.8
55.0	33.5	54.5	52.0	49.5	13.0	14.5	11.0
60.0	35.0	56.0	53.5	51.5	14.0	12.1	10.4
65.0	37.0	58.0	56.0	54.0	16.0	9.8	9.9
70.0	39.0	60.0	58.5	57.0	18.0	7.6	9.6
75.0	40.5	61.5	60.0	59.0	20.0	5.5	9.3
80.0	43.5	63.5	63.0	62.0	23.0	3.6	9.1
85.0	44.5	64.5	64.0	63.5	25.0	1.7	9.0
90.0	47.0	65.0	65.0	65.0	27.0	0.0	9.0



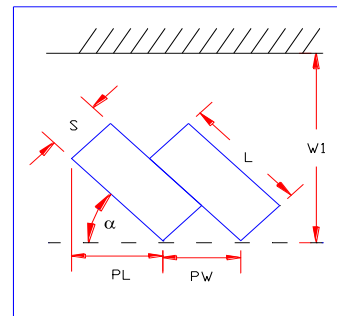
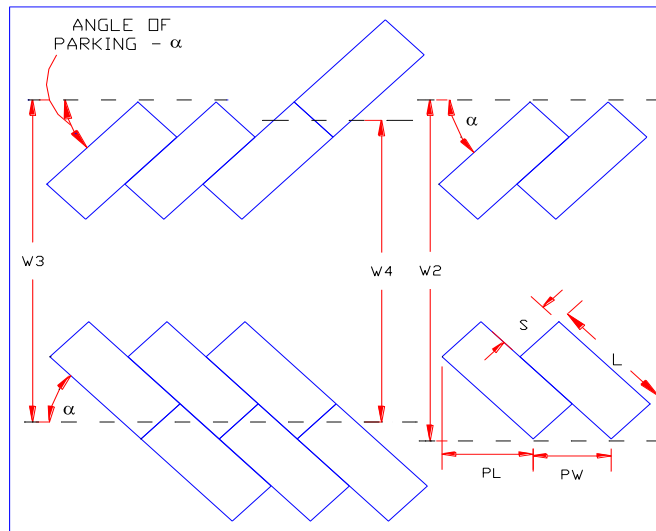
S = 9.0 ft.

L = 19.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 2

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	29.0	45.5	41.5	38.0	12.0	29.1	18.0
35.0	29.5	47.5	43.5	40.0	12.0	25.3	15.7
40.0	30.5	49.0	45.5	42.0	12.0	22.0	14.0
45.0	31.0	50.0	47.0	44.0	12.0	19.1	12.7
50.0	32.5	52.0	49.5	46.5	13.0	16.4	11.8
55.0	33.0	53.0	50.0	47.5	13.0	13.9	11.0
60.0	34.0	54.0	52.0	49.5	14.0	11.6	10.4
65.0	36.0	56.0	54.5	52.5	16.0	9.4	9.9
70.0	38.0	58.0	56.5	55.0	18.0	7.3	9.6
75.0	39.5	59.5	58.5	57.0	20.0	5.3	9.3
80.0	42.5	61.5	61.0	60.0	23.0	3.4	9.1
85.0	43.5	62.5	62.0	61.5	25.0	1.6	9.0
90.0	46.0	63.0	63.0	63.0	27.0	0.0	9.0



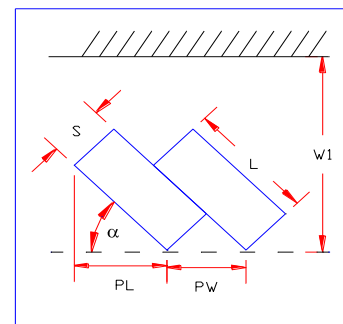
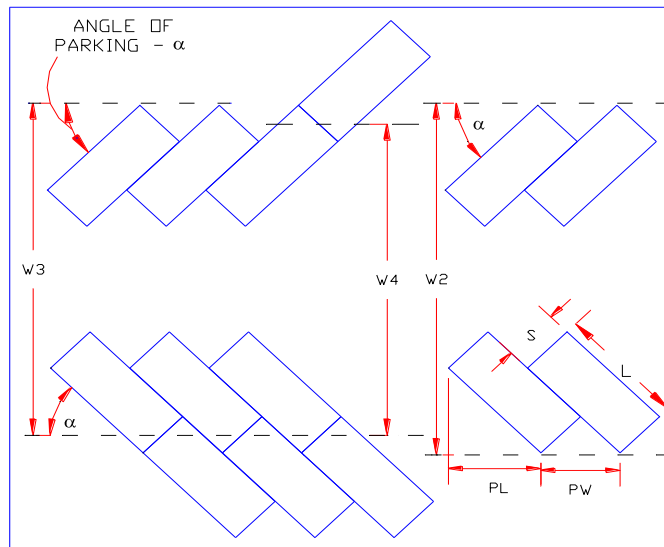
S = 9.0 ft.

L = 18.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE -3

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L	PW
30.0	29.0	45.5	42.0	38.5	12.0	29.2	17.0
35.0	30.0	47.5	44.0	41.0	12.0	25.5	14.8
40.0	30.5	49.5	46.0	43.0	12.0	22.3	13.2
45.0	31.5	51.0	48.0	45.0	12.0	19.5	12.0
50.0	33.0	53.0	50.5	47.5	13.0	16.8	11.1
55.0	33.5	54.0	51.5	49.0	13.0	14.3	10.4
60.0	34.5	55.5	53.5	51.0	14.0	12.0	9.8
65.0	37.0	57.5	56.0	54.0	16.0	9.7	9.4
70.0	39.0	59.5	58.0	56.5	18.0	7.6	9.1
75.0	40.5	61.0	60.0	59.0	20.0	5.5	8.8
80.0	43.0	63.5	62.5	62.0	23.0	3.6	8.6
85.0	44.5	64.5	64.0	63.5	25.0	1.7	8.5
90.0	47.0	65.0	65.0	65.0	27.0	0.0	8.5

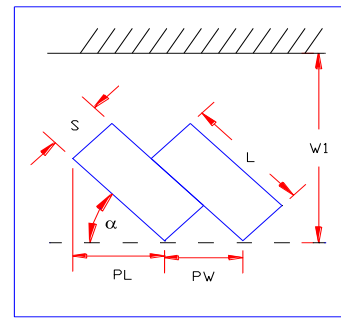
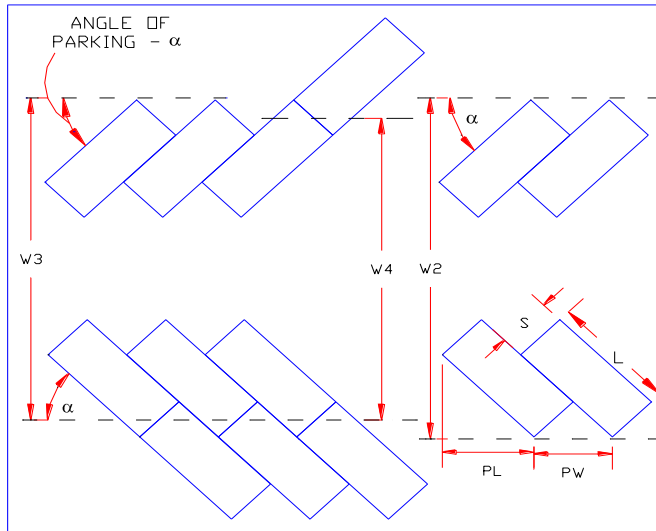


S = 8.5 ft.
L = 19.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 4

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	28.5	44.5	41.0	37.5	12.0	28.3	17.0
35.0	29.5	46.5	43.0	39.5	12.0	24.7	14.8
40.0	30.0	48.0	45.0	41.5	12.0	21.6	13.2
45.0	30.5	49.5	46.5	43.5	12.0	18.7	12.0
50.0	32.5	51.5	49.0	46.0	13.0	16.2	11.1
55.0	32.5	52.0	50.0	47.5	13.0	13.7	10.4
60.0	34.0	53.5	51.5	49.5	14.0	11.5	9.8
65.0	36.0	56.0	54.0	52.0	16.0	9.3	9.4
70.0	38.0	57.5	56.0	54.5	18.0	7.2	9.1
75.0	39.5	59.0	58.0	57.0	20.0	5.3	8.8
80.0	42.0	61.5	60.5	60.0	23.0	3.4	8.6
85.0	43.5	62.5	62.0	61.5	25.0	1.6	8.5
90.0	46.0	63.0	63.0	63.0	27.0	0.0	8.5



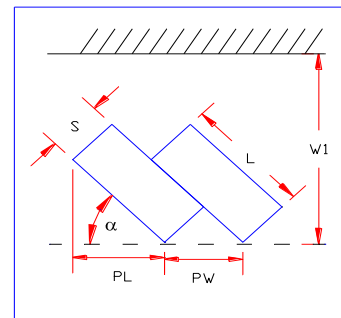
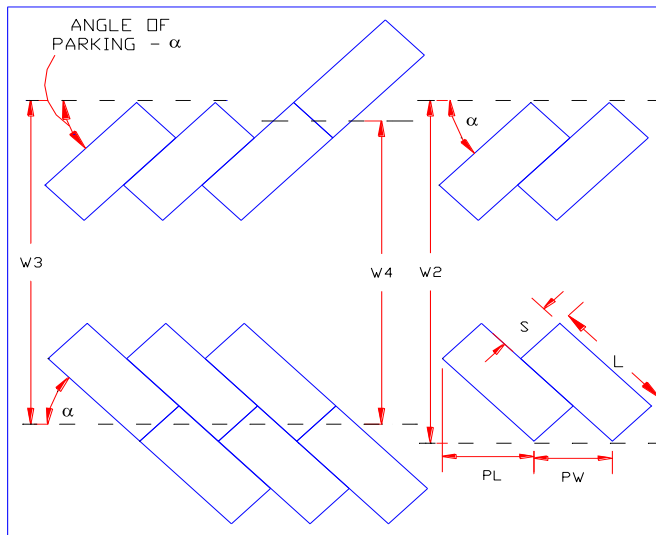
S = 8.5 ft.

L = 18.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE -5

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.5	43.0	39.5	36.0	12.0	27.0	17.0
35.0	28.5	45.0	41.5	38.0	12.0	23.5	14.8
40.0	29.0	46.0	43.0	39.5	12.0	20.4	13.2
45.0	29.5	47.5	44.5	41.5	12.0	17.7	12.0
50.0	31.0	49.0	46.5	43.5	13.0	15.2	11.1
55.0	31.5	50.0	47.5	45.0	13.0	12.9	10.4
60.0	32.5	51.0	49.0	47.0	14.0	10.7	9.8
65.0	34.5	53.0	51.5	49.5	16.0	8.7	9.4
70.0	36.5	55.0	53.5	52.0	18.0	6.7	9.1
75.0	38.0	56.5	55.0	54.0	20.0	4.9	8.8
80.0	40.5	58.5	57.5	57.0	23.0	3.1	8.6
85.0	42.0	59.5	59.0	58.5	25.0	1.5	8.5
90.0	44.5	60.0	60.0	60.0	27.0	0.0	8.5



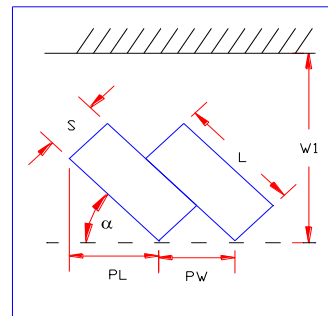
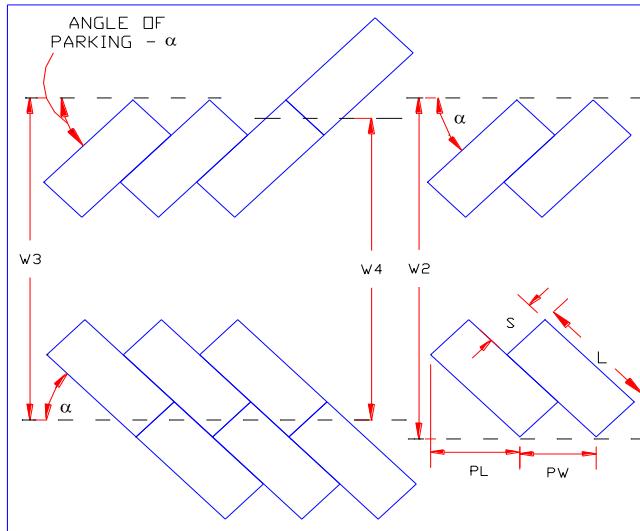
S = 8.5 ft.

L = 16.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 6

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.0	42.0	38.5	35.0	12.0	26.2	17.0
35.0	28.0	43.5	40.0	36.5	12.0	22.6	14.8
40.0	28.5	45.0	41.5	38.5	12.0	19.6	13.2
45.0	29.0	46.0	43.0	40.0	12.0	17.0	12.0
50.0	30.5	47.5	45.0	42.0	13.0	14.6	11.1
55.0	30.5	48.0	45.5	43.5	13.0	12.3	10.4
60.0	31.5	49.5	47.0	45.0	14.0	10.2	9.8
65.0	33.5	51.5	49.5	47.5	16.0	8.2	9.4
70.0	35.5	53.0	51.5	50.0	18.0	6.4	9.1
75.0	37.0	54.5	53.0	52.0	20.0	4.6	8.8
80.0	39.5	56.5	55.5	55.0	23.0	3.0	8.6
85.0	41.0	57.5	57.0	56.5	25.0	1.4	8.5
90.0	43.5	58.0	58.0	58.0	27.0	0.0	8.5



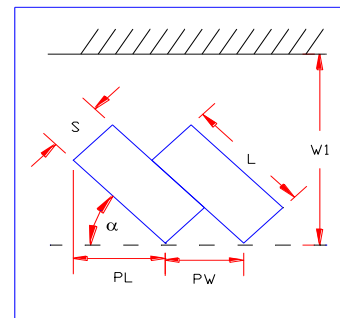
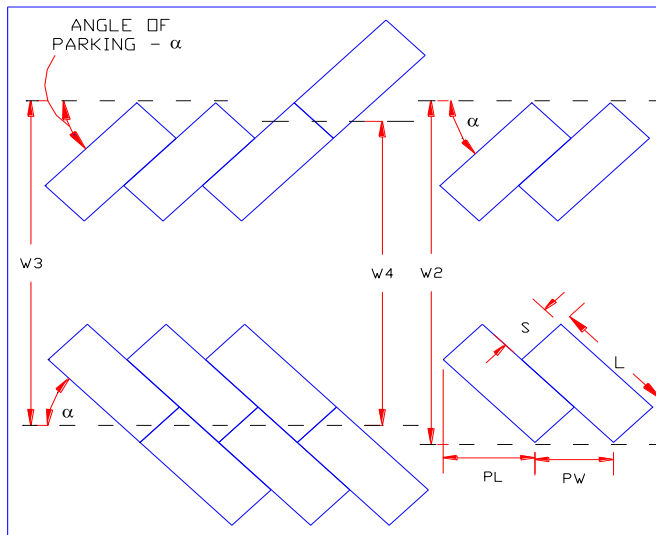
S = 8.5 ft.

L = 15.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 7

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.0	42.5	39.0	35.5	12.0	26.3	16.0
35.0	28.0	44.0	41.0	37.5	12.0	22.9	14.0
40.0	28.5	45.5	42.5	39.5	12.0	19.9	12.5
45.0	29.5	46.5	44.0	41.0	12.0	17.3	11.3
50.0	31.0	48.5	46.0	43.5	13.0	14.9	10.4
55.0	31.0	49.0	47.0	44.5	13.0	12.7	9.8
60.0	32.5	50.5	48.5	46.5	14.0	10.6	9.2
65.0	34.5	52.5	51.0	49.5	16.0	8.6	8.8
70.0	36.0	54.5	53.0	51.5	18.0	6.6	8.5
75.0	38.0	56.0	55.0	54.0	20.0	4.8	8.3
80.0	40.5	58.5	57.5	57.0	23.0	3.1	8.1
85.0	42.0	59.5	59.0	58.5	25.0	1.5	8.0
90.0	44.5	60.0	60.0	60.0	27.0	0.0	8.0



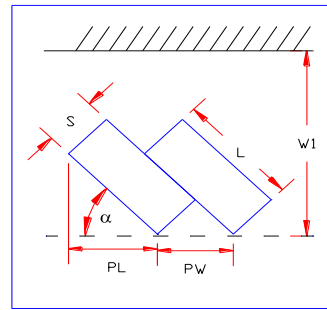
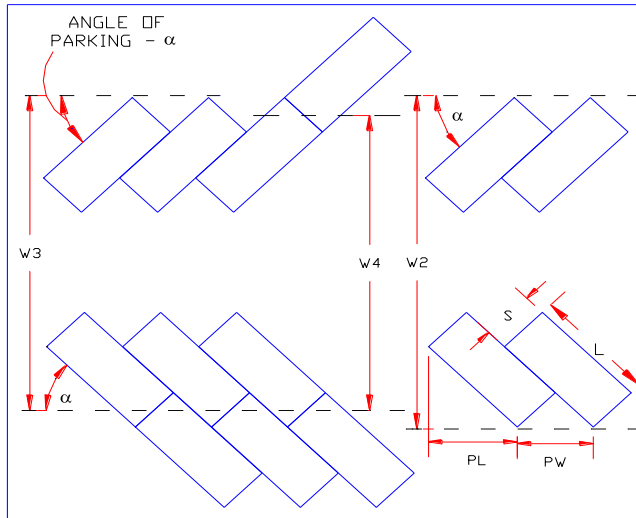
S = 8.0 ft.

L = 16.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES
CASE - 8

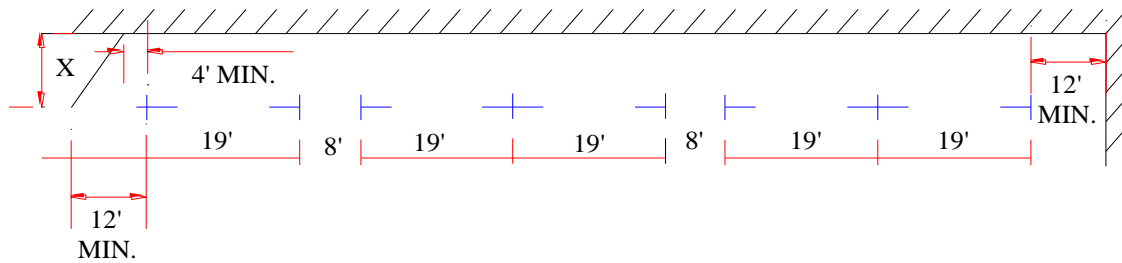
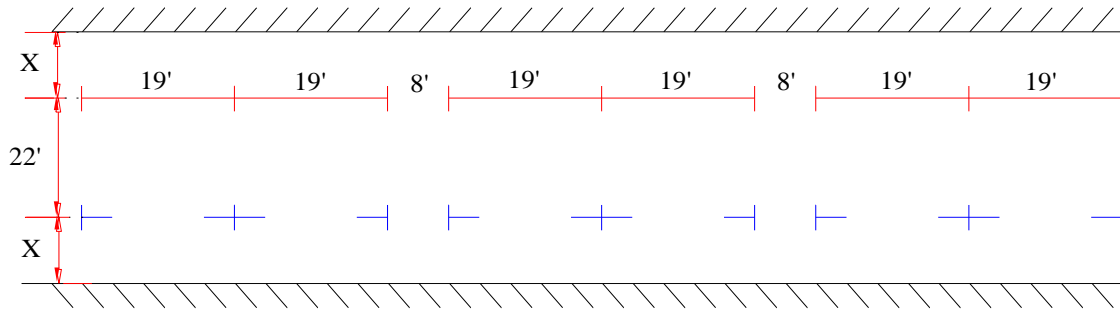
ANGLE OF PARKING	PARKING BY DIMENSION				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	26.5	41.5	38.0	34.5	12.0	25.4	16.0
35.0	27.5	43.0	39.5	36.5	12.0	22.1	14.0
40.0	28.0	44.0	41.0	38.0	12.0	19.2	12.5
45.0	28.5	45.0	42.5	39.5	12.0	16.6	11.3
50.0	30.0	47.0	44.5	42.0	13.0	14.3	10.4
55.0	30.5	47.5	45.5	43.0	13.0	12.1	9.8
60.0	31.5	49.0	47.0	45.0	14.0	10.1	9.2
65.0	33.5	51.0	49.0	47.5	16.0	8.1	8.8
70.0	35.5	52.5	51.0	50.0	18.0	6.3	8.5
75.0	37.0	54.0	53.0	52.0	20.0	4.6	8.3
80.0	39.5	56.5	55.5	55.0	23.0	2.9	8.1
85.0	41.0	57.5	57.0	56.5	25.0	1.4	8.0
90.0	43.5	58.0	58.0	58.0	27.0	0.0	8.0



S = 8.0 ft.
L = 15.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

6. PARALLEL PARKING DESIGN DIMENSIONS (STANDARD STALLS)

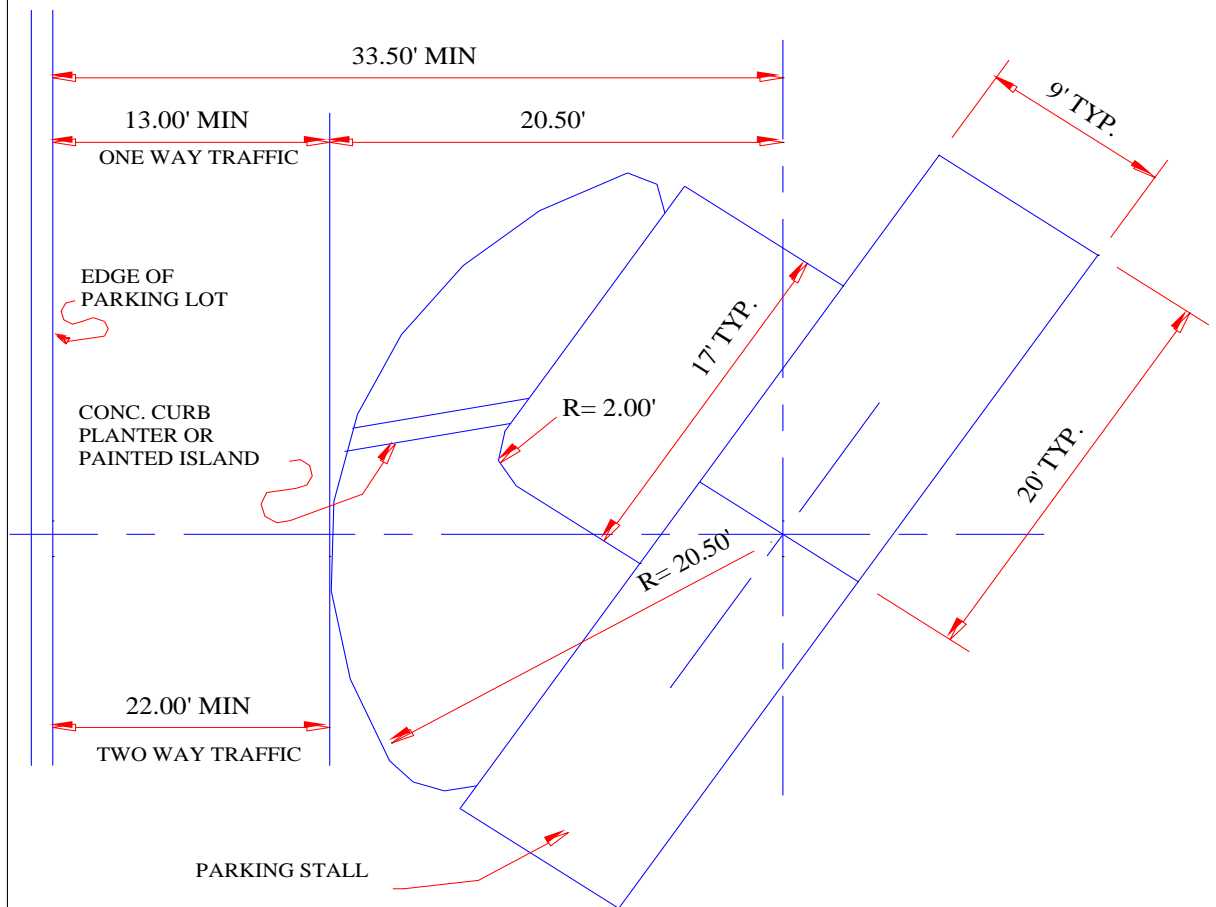


X = 10' IF ADJACENT TO AN OBSTRUCTION OVER 8" HIGH SUCH AS A WALL OR FENCE.

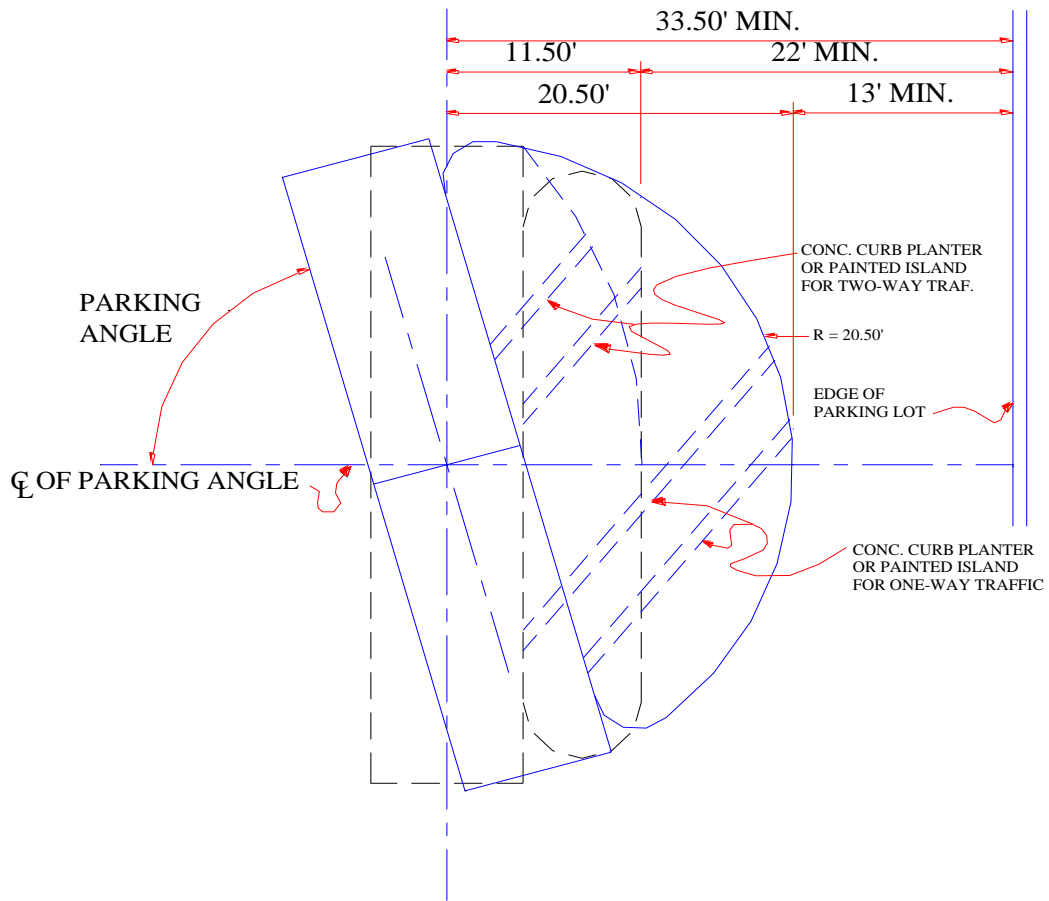
X = 8' IF ADJACENT TO A SIDEWALK OR SIMILAR BARRIER LESS THAN 8" HIGH AND AT LEAST 2' WIDE.

NOTE: MINIMUM ONE-WAY AISLE - 13'
MINIMUM TWO-WAY AISLE - 22'

7. FULL-TURN DETAIL FOR 65° PARKING ANGLE OR LESS



8. FULL-TURN DETAIL FOR MORE THAN 65° PARKING (STANDARD STALLS)



Parking Manual – Part I

Accessible parking for people with disabilities should be consistent with current State and Federal Guidelines.

For more information about California State requirements for accessible parking, you can visit the California Division of State Architect (DSA) website at: <http://www.dsa.dgs.ca.gov/Access/default.htm>. You can view the DSA's California Access Compliance Reference Manual (revised June of 2006) at http://www.dsa.dgs.ca.gov/Access/ud_accessmanual.htm, and a checklist for accessible parking at: http://www.documents.dgs.ca.gov/dsa/pubs/checklists_06-16-06.pdf.

The ADA Standards for Accessible Design are available at the US Department of Justice Website: <http://www.ada.gov/stdspdf.htm>.

SEC. 15-2407. - REQUIRED PARKING FOR DOWNTOWN DISTRICTS.

- A. The required number of on-site parking spaces are stated in Table 15-2407, Required Parking for Downtown Districts. The parking requirement for any use not listed in Table 15-2407 shall be the same as required for the land use in other districts as stated in Table 15-2409, Required Parking, Other Districts.

TABLE 15-2407: REQUIRED ON-SITE PARKING SPACES, DOWNTOWN DISTRICTS	
Use	Required Parking Spaces
Residential	
Studio, and one-bedroom units	0.5 space per unit
Two bedrooms	0.5 space per unit
Three or more bedrooms	0.5 space per unit
Non-Residential	
Office	None Required
Retail	None Required
Restaurant	None Required
All other Non-Residential uses	None Required

(Added Ord. 2016-43, § 8, eff. 12-9-16).

SEC. 15-2408. - REQUIRED PARKING FOR MIXED-USE DISTRICTS AND CMS DISTRICT.

The required numbers of on-site parking spaces are stated in Table 15-2408, Required Parking for Mixed-Use Districts and CMS District. The parking requirement for any use not listed in Table 15-2408 shall be the same as required for the land use in other districts as stated in Table 15-2409, Required Parking, Other Districts.

TABLE 15-2408: REQUIRED ON-SITE PARKING SPACES, MIXED-USE DISTRICTS AND CMS DISTRICT		
Use	Required Parking Spaces	
Residential		
Studio, and one-bedroom units	.75 space per unit	Required parking shall be covered. One additional guest parking space must be provided for every 4 units for projects greater than 4 units.
Two bedrooms	1 space per unit	
Three or more bedrooms	1.5 spaces per unit	
Non-Residential		
Office	1 space per 600 square feet	
Retail	1 space per 600 square feet	
Restaurant	1 space per 600 square feet	
All other Commercial uses	1 space per 600 square feet	

On-street parking along a lot's corresponding frontage lines shall be counted toward the parking requirement for mixed-use projects.

(Added Ord. 2015-39, § 1, eff. 1-9-16).

SEC. 15-2409. - REQUIRED PARKING, OTHER DISTRICTS.

The required numbers of on-site parking spaces are stated in Table 15-2409, Required On-Site Parking Spaces, Other Districts. The parking requirement for any use not listed in Table 15-2409 shall be determined by the Director based upon the requirements for the most similar comparable use, the particular characteristics of the proposed use, and any other relevant data regarding parking demand.

TABLE 15-2409: REQUIRED ON-SITE PARKING SPACES, OTHER DISTRICTS

Use Classification	Required Parking Spaces	
Residential Use Classifications		
Single-Unit Residential constructed prior to the adoption date of this Code	1 space per dwelling unit	Must be covered.
Single-Unit Residential, up to two bedrooms	1 space per dwelling unit	Must be within a garage.
Single-Unit Residential, three or more bedrooms	1 space per dwelling unit	Must be within a garage.
Duplex	1 space per dwelling unit	Must be within a garage.
Second/Accessory Dwelling Units (ADUs)	Refer to <u>Section 15-2754</u> , Second/Accessory Dwelling Units (ADUs).	

Affordable Housing Developments (Moderate Income and Below, Single-Unit or Multi-Unit)

Studio, one- or two-bedroom

.75 space per unit

Three or more bedrooms

1.5 spaces per unit

Multi-Unit Residential (2 or more units)

Studio

1 space per unit

One covered space shall be designated for each unit.
One additional uncovered guest parking space must be provided for every 4 units.

One- or two-bedroom

1 space per unit

One covered space shall be designated for each unit.
One additional uncovered guest parking space must be provided for every 2 units.

Three or more bedrooms

1.5 spaces per unit

Small Family Day Care

None in addition to what is required for the residential use.

Large Family Day Care

1 per employee plus an area for loading and unloading children, on or off-site. Required spaces and the residential driveway for the primary residential use may be counted toward meeting these requirements.

Elderly and Long-Term Care	1 for every 7 residents plus 1 for each live-in caregiver. Facilities serving more than 15 residents shall also provide 1 space for each caregiver, employee, and doctor on-site at any one time.
Group Residential	1 spaces for the owner-manager plus 1 for every 5 beds and 1 for each non-resident employee.
Residential Care, Limited	None in addition to what is required for the residential use.
Residential Care, General	2 spaces for the owner-manager plus 1 for every 5 beds and 1 for each non-resident employee.
Residential Care, Senior	1 for every 7 residents plus 1 for each live-in caregiver. Facilities serving more than 15 residents shall also provide 1 space for each caregiver, employee, and doctor on-site at any one time.
Single Room Occupancy	0.5 space per unit.

Public and Semi-Public Use Classifications

Colleges and Trade Schools, Public or Private	1 per 5 members of the school population (including students, faculty, and staff) based on maximum enrollment.
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Community and Religious Assembly	<p>1 for each 5 permanent seats in main assembly area, or 1 for every 50 sq. ft. of assembly area for group activities or where temporary or moveable seats are provided, whichever is greater.</p> <p>For auxiliary classrooms, there shall be 1 parking space per classroom.</p>
Cultural Institutions	<p>Stage theaters and auditoriums: 1 for each 6 permanent seats in main assembly area, or 1 for every 60 sq. ft. of assembly area where temporary or moveable seats are provided, whichever is greater.</p> <p>Galleries, Libraries, and Museums: 1 for every 1,000 sq. ft. of floor area.</p> <p>Other establishments: determined by the Director.</p>
Day Care Center	1 per employee plus 2 loading spaces.
Emergency Shelter	1 per 500 sq. ft. of floor area.
Government Offices	1 per 500 sq. ft. of floor area.
Hospitals, Rehabilitation Centers	1 per 1.5 beds; plus 1 per 300 sq. ft. of area used for office, clinics, testing, research, administration, and similar activities associated with the principal use.
Clinics or Urgent Care	1 per exam room; plus 1 per 300 sq. ft. of area used for office, clinics, testing, research, administration, and similar activities associated with the principal use.
Instructional Services	1 per 200 sq. ft. of public or instruction area.

Schools, Public or Private	Elementary and Middle Schools: 1 per classroom, plus 1 per 300 sq. ft. of office area. High Schools: 5 per classroom.
Social Service Facilities	1 per 350 sq. ft. of floor area.
Commercial Use Classifications	
Large Commercial Shopping Center (greater than 300,000 square feet of floor area).	1 per 350 sq. ft. or the total required for each individual use, whichever is less.
Adult-Oriented Business	1 per 300 sq. ft. of floor area.
Animal Care, Sales and Services	
Grooming and Pet Stores	1 per 500 sq. ft. of floor area.
Kennels	1 per employee plus three spaces for loading and unloading animals on-site.
Veterinary Services	1 per 350 sq. ft. of floor area.
Artist's Studio	1 per 1,000 sq. ft. of floor area.
Automobile/Vehicle Sales and Services	
Automobile/Vehicle Rentals	1 per 250 sq. ft. of office area in addition to spaces for all vehicles for rent.

Automobile/Vehicle, and Motorcycle Sales and Leasing	1 per 2,500 sq. ft. of lot area. Any accessory auto repair: 2 per service bay.
Automobile/Vehicle Repair, Major or Minor	1 space plus 1.5 per service bay. 1 per 250 sq. ft. of any retail or office on site.
Automobile/Vehicle Washing, Automated	1 per 250 sq. ft. of any indoor sales, office, or lounge areas.
Automobile/Vehicle Washing, Detail	.50 per service bay plus 1 per 250 sq. ft. of any indoor sales, office, or lounge areas.
Service Station	1.5 per service bay, if service bays are included on site. 1 per 250 sq. ft. of any retail or office on site.
Boat/Recreational Vehicle Sales and Leasing	1 per 6,000 sq. ft. of lot area. Any accessory auto repair: 1.5 per service bay.
Towing and Impound	1 per 500 sq. ft. of building area plus 1 per 0.5 acre of gross outdoor use area.
Banks and Financial Institutions	1 per 400 sq. ft. of floor area.
Banquet Hall	1 for each 5 permanent seats in main assembly area, or 1 for every 50 sq. ft. of assembly area for group activities or where temporary or moveable seats are provided, whichever is greater.
Business Services	1 per 400 sq. ft. of floor area.

Entertainment and Recreation	<p>Establishments with seating: 1 for each 4 fixed seats, or 1 for every 50 sq. ft. of seating area where temporary or moveable seats are provided, whichever is greater.</p> <p>Athletic Clubs/Fitness Centers: 1 per 200 sq. ft. of main floor area.</p> <p>Bowling Alleys: 1.5 per lane.</p> <p>Cinema/Theaters: 1 for each 6 permanent seats in main assembly area, or 1 for every 60 sq. ft. of assembly area where temporary or moveable seats are provided, whichever is greater.</p> <p>Game Courts (e.g., tennis): 1.5 per court.</p> <p>Golf Courses: 3 per hole (Additional parking may be required for ancillary uses such as Banquet Rooms)</p> <p>Golf Driving Range/Putting Greens: .75 per station/hole.</p> <p>Parks: 1 per 7,500 sq. ft. of active recreational area (pocket parks are exempt from providing parking).</p> <p>Skating Rinks: 1 per 150 sq. ft. of gross floor area.</p> <p>Swimming Pools: 1 per 200 square feet of pool area plus 1 per 500 feet of area related to the pool.</p> <p>Other Entertainment and Recreation uses: 1 per every 3 persons permitted to occupy the floor space of the facility.</p>
Eating and Drinking Establishments	
Convenience	1 per 125 sq. ft. of floor area.
Coffee Shops/Cafes	1 per 150 sq. ft. of floor area; For Outdoor Dining, refer to <u>Section 15-2744</u> , Outdoor Dining and Patio Areas.
Restaurants Take-Out Only	1 per 250 sq. ft. of floor area.

Restaurants, Full Service	1 per 150 sq. ft. of floor area; For Outdoor Dining, refer to <u>Section 15-2744</u> , Outdoor Dining and Patio Areas.
Bars/Nightclubs/Lounges	1 per 100 sq. ft. of floor area.
Food and Beverage Sales	
Farmer's Markets	Refer to <u>Section 15-2730</u> , Farmer's Markets.
General Market	1 per 450 sq. ft. of floor area.
Healthy Food Grocer	1 per 1,000 sq. ft. of floor area.
Liquor Store	1 per 450 sq. ft. of floor area.
Food Preparation	1 per 1,500 sq. ft. of use area plus 1 per 300 sq. ft. of office area.
Funeral Parlors and Internment Services	1 for each 6 permanent seats in assembly areas or 1 for every 60 sq. ft. of assembly area where temporary or moveable seats are provided, whichever is greater, plus 1 per 250 sq. ft. of office area.
Lodging	
Bed and Breakfast	1 per room for rent plus 1 space adjacent to registration office.

Hotels and Motels	<p>1 per each sleeping unit, plus 2 spaces adjacent to registration office.</p> <p>Meeting/banquet rooms or restaurants under 1,500 sq. ft. are not required to provide additional parking when located within a hotel. Additional parking shall be required for ancillary uses, such as Meeting Rooms, Banquet Centers, etc. that exceed 1,500 sq. ft.</p>
Live-Work	1 per unit or 1 for every 1,000 sq. ft. of floor area, whichever is greater.
Maintenance and Repair Services Offices	1 per 600 sq. ft. of floor area, plus one space for each fleet vehicle.
Business and Professional	1 per 400 sq. ft. of floor area up to 100,000 sq. ft. 1 per 350 sq. ft. over 100,000 sq. ft.
Medical and Dental	1 per 275 sq. ft. of floor area.
Walk-In Clientele	1 per 300 sq. ft. of floor area.
Personal Services	1 per 400 sq. ft. of floor area.
Retail Sales	
Building Materials and Services	1 per 650 sq. ft. of floor area; plus 1 per 2,000 sq. ft. of outdoor display area.
Nurseries and Garden Centers	1 per 500 sq. ft. of floor area; plus 1 per 2,000 sq. ft. of outdoor display area.

All Other Retail Sales Subclassifications	1 per 450 sq. ft. of floor area. 1 per 750 sq. ft. of floor area for appliance and furniture stores.
Swap Meet/Flea Market	1 per vendor, plus 5 per every 0.5 acre of gross outdoor use area.
Employment Use Classifications	
Construction and Material Yards	1 per 2,500 sq. ft. up to 10,000 sq. ft. plus 1 per 5,000 sq. ft. over 10,000 sq. ft.
Custom Manufacturing	1 per 1,500 sq. ft. plus 1 per 300 sq. ft. of office.
Limited Industrial	1 per 1,500 sq. ft. plus 1 per 300 sq. ft. of office.
General Industrial	1 per 1,500 sq. ft. plus 1 per 300 sq. ft. of office.
Intensive Industrial	1 per 1,500 sq. ft. plus 1 per 300 sq. ft. of office.
Recycling Facility	
CRV Recycling Centers	See <u>Section 15-2750</u> , Recycling Facilities.
Recycling Processing Facility	1 for each 2 employees on the maximum work shift, or 1 per 1,000 sq. ft. of floor area, whichever is greater.
Research and Development	1 per 600 sq. ft. of manufacturing and assembly; 1 per 300 sq. ft. of office; 1 per 1,500 sq. ft. of warehousing; and 1 per 800 sq. ft. of laboratory.
Salvage and Wrecking	1 per 500 sq. ft. of building area plus 1 per 0.5 acre of gross outdoor use area.

Warehousing, Storage, and Distribution	
Chemical and Mineral Storage	1 per 300 sq. ft. of office area.
Warehousing	1 per 2,000 sq. ft. of area up to 10,000 sq. ft.; 1 per 5,000 sq. ft. over 10,000 sq. ft., plus 1 per 300 sq. ft. of office.
Personal Storage	1 space per 100 storage units, plus 1 space per 300 sq. ft. of office area. A minimum of 3 spaces shall be provided, plus one enclosed space per caretaker's residence should one be proposed.
Wholesaling and Distribution	1 per 1,500 sq. ft. of use area up to 10,000 sq. ft., 1 per 5,000 sq. ft. over 10,000 sq. ft., plus 1 per 300 sq. ft. of office.
Transportation, Communication, and Utilities Use Classifications	
Light Fleet-Based Services	1 per 300 sq. ft. of office floor area, plus one space for each fleet vehicle.
Utilities, Major	1 for each employee on the largest shift plus 1 for each vehicle used in connection with the use. Minimum of 2.
Utilities, Minor	None.
Transportation Facilities/Bus Depots/Bus Terminal	1 per bus bay, plus 1 per 250 sq. ft. of building/waiting area.

(Added Ord. 2015-39, § 1, eff. 1-9-16; Am. Ord. 2018-66, § 28, eff. 1-18-19; Am. Ord. 2025-024, § 46, eff. 7-27-25).