

General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see detail
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A701.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: projectors, projector screens, tackboard and dry erase boards. See detail
- 9) Doors into wheelchair accessible water closet stalls shall be self-closing, typ. u.n.o.
- 10) All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.

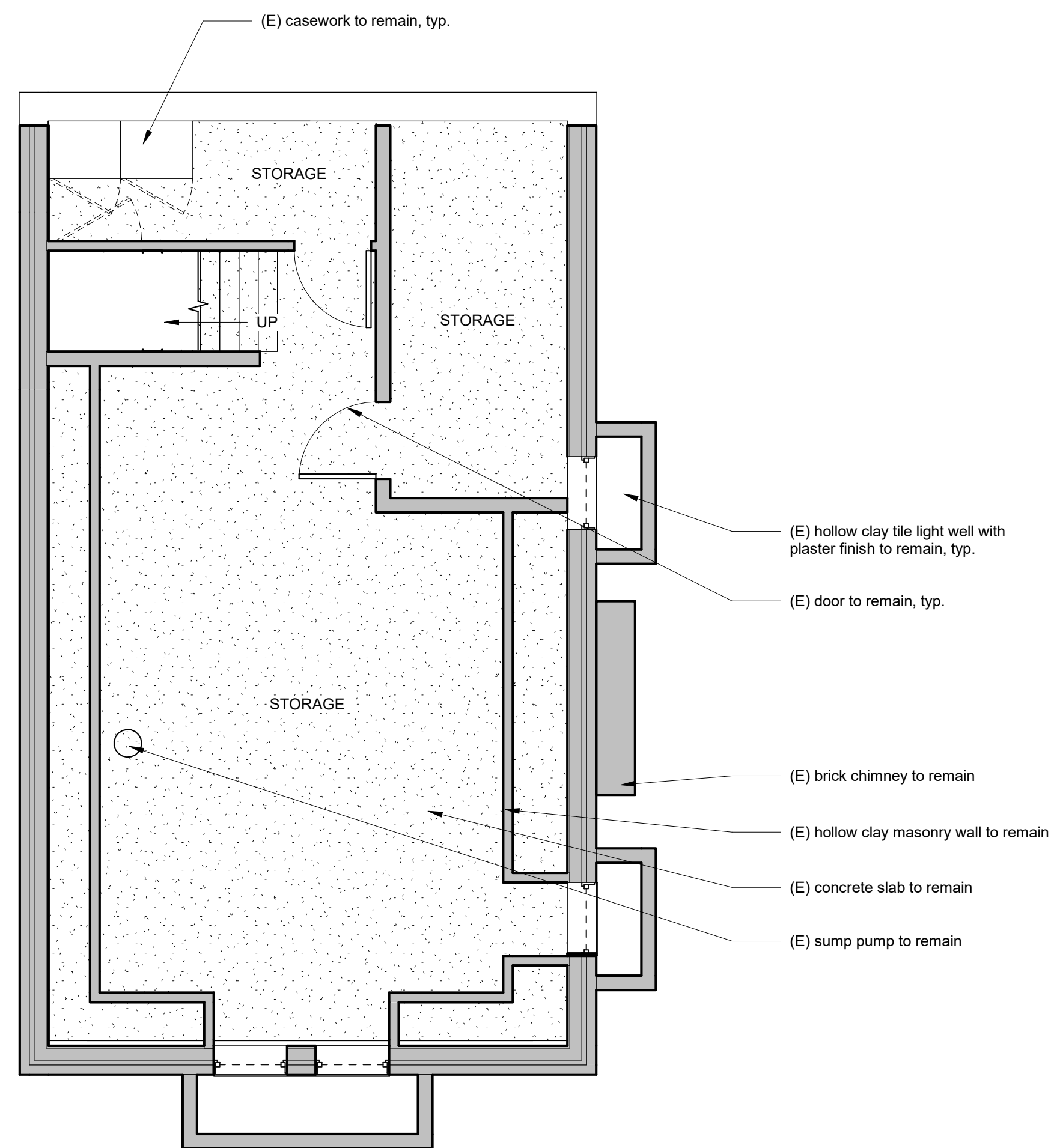
PH

PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100
 Clovis, CA 93612-1185
 T: 559.297.7900 F: 559.297.7950
 www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.



PROJECT:
Reza Assemi
Craycroft Change of Occupancy
 6545 North Palm Ave, Fresno, CA 93704
SHEET: Basement Floor Plan - Existing

DRAWING SET INFORMATION:

10.15.2021	DP Submittal
------------	--------------

REVISIONS:

PROJECT NUMBER:
 2017-34

SHEET NUMBER:
 A5

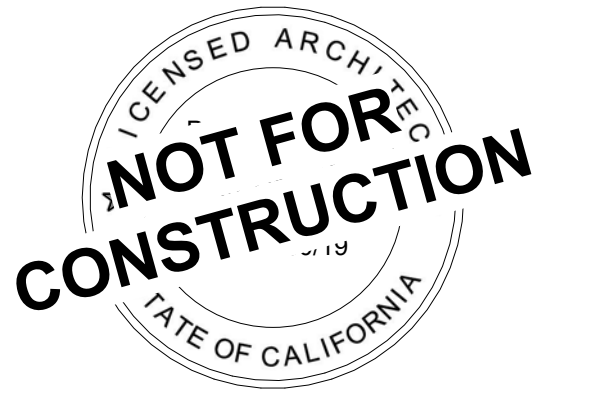
General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see detail
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A701.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: projectors, projector screens, tackboard and dry erase boards. See detail
- 9) Doors into wheelchair accessible water closet stalls shall be self-closing, typ. u.n.o.
- 10) All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.

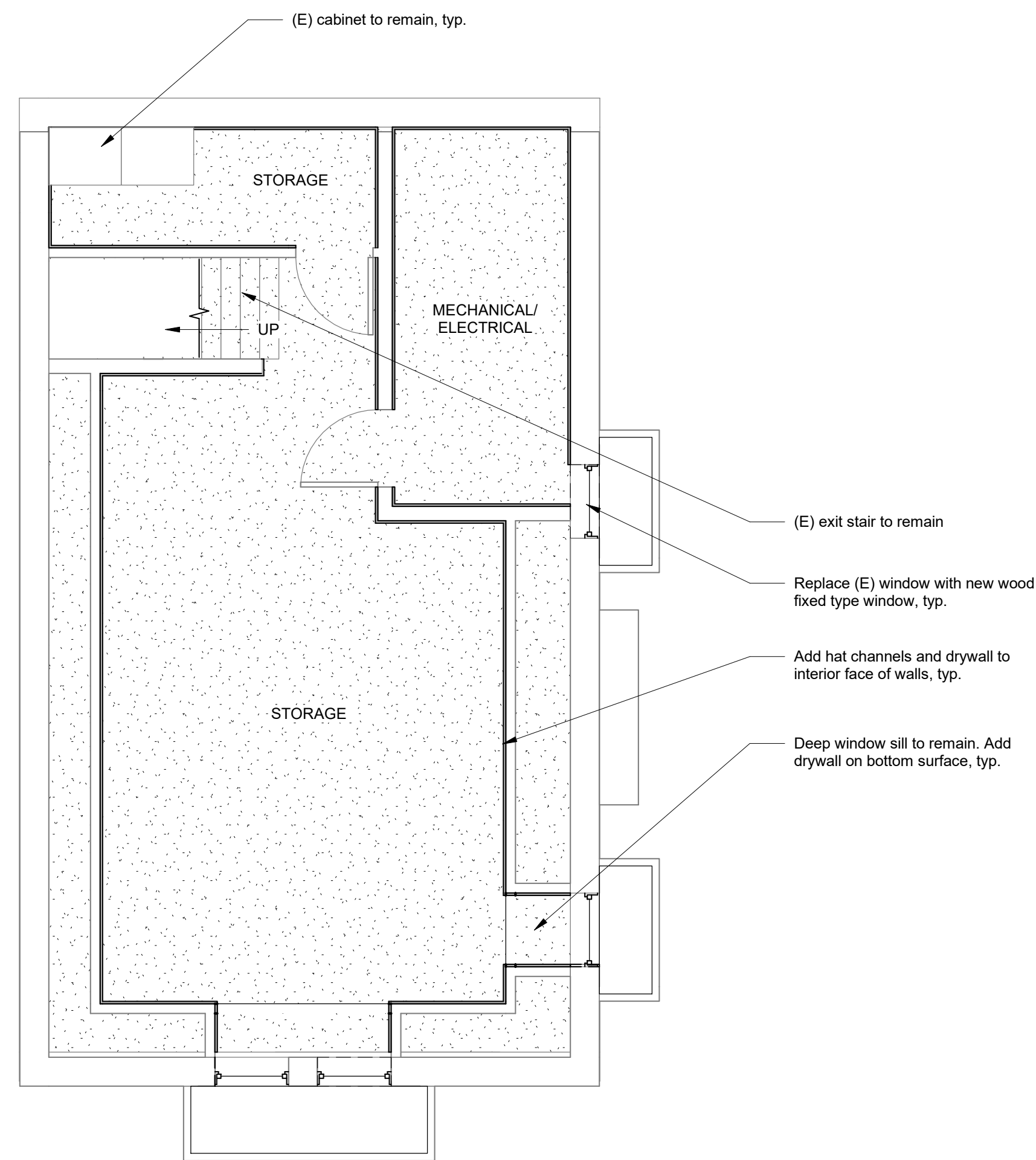


PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100
 Clovis, CA 93612-1185
 T: 559.297.7900 F: 559.297.7950
 www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.



PROJECT:
Reza Assemi
Craycroft Change of Occupancy
 6545 North Palm Ave, Fresno, CA 93704
 SHEET: Basement Floor Plan - Proposed

DRAWING SET INFORMATION:

10.15.2021	DP Submittal
------------	--------------

REVISIONS:

PROJECT NUMBER:

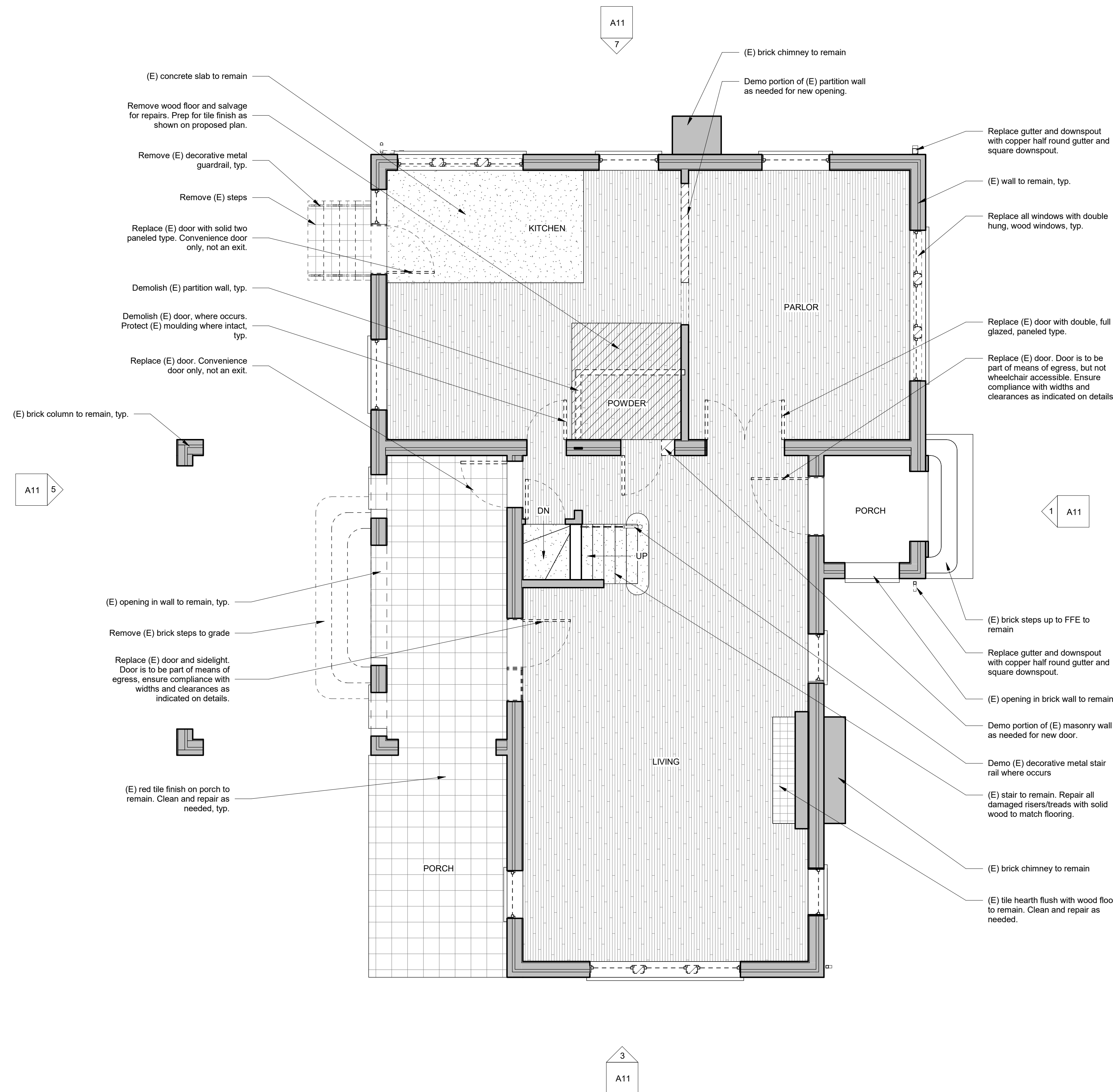
2017-34

SHEET NUMBER:

A6

General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see detail
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A701.
- 8) Provide backing as needed for all CFCI/OFCL items, including but not limited to: projectors, projector screens, tackboard and dry erase boards. See detail
- 9) Doors into wheelchair accessible water closet stalls shall be self-closing, typ. u.n.o.
- 10) All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.





PAUL HALAJIAN ARCHITECTS
 389 Clovis Ave, Suite 100
 Clovis, CA 93612-1185
 T: 559.297.7900 F: 559.297.7950
 www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

PROJECT:
Reza Assemi
Craycroft Change of Occupancy
 6545 North Palm Ave, Fresno, CA 93704
SHEET: First Floor Plan - Existing

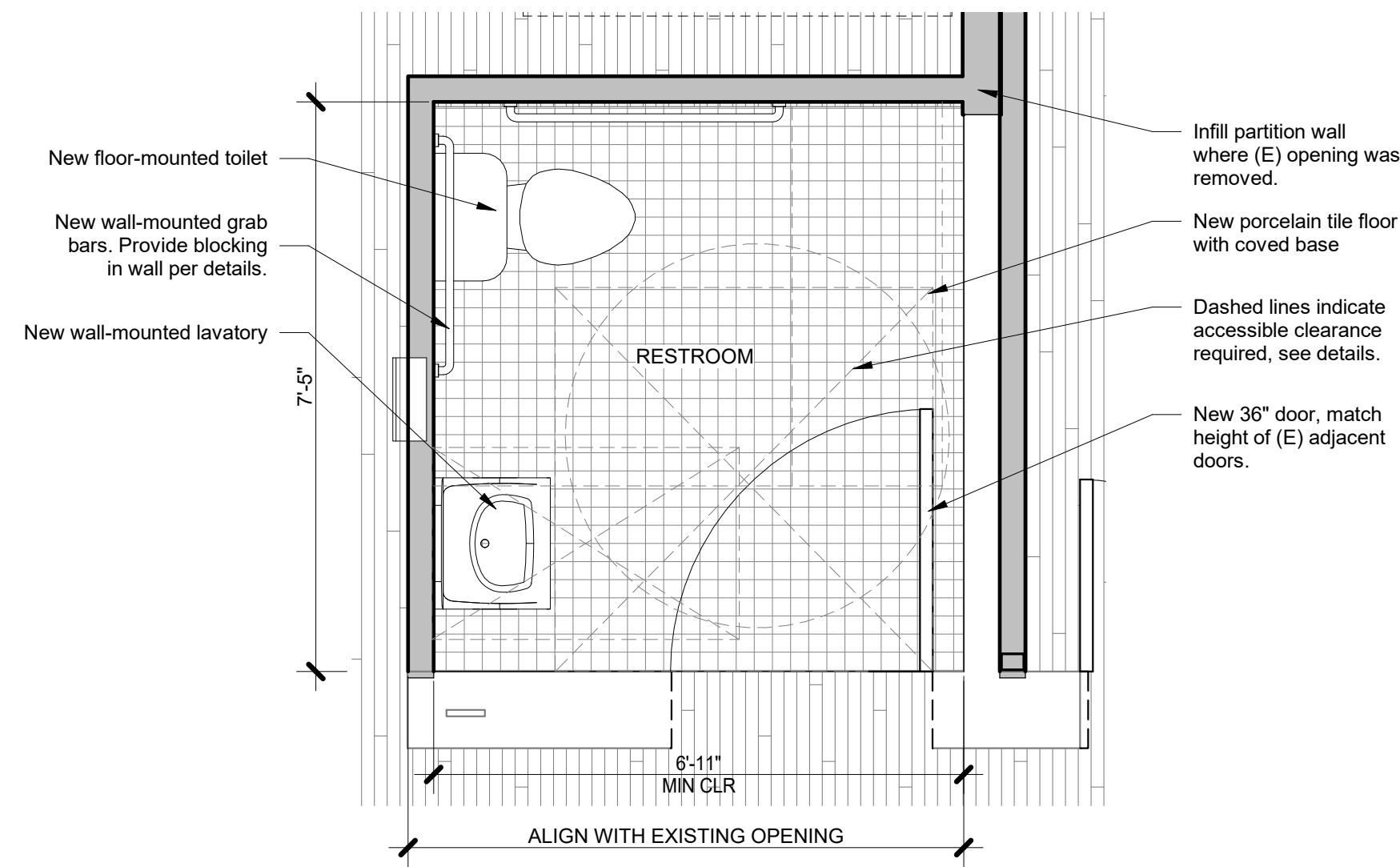
DRAWING SET INFORMATION:

10.15.2021	DP Submittal
------------	--------------

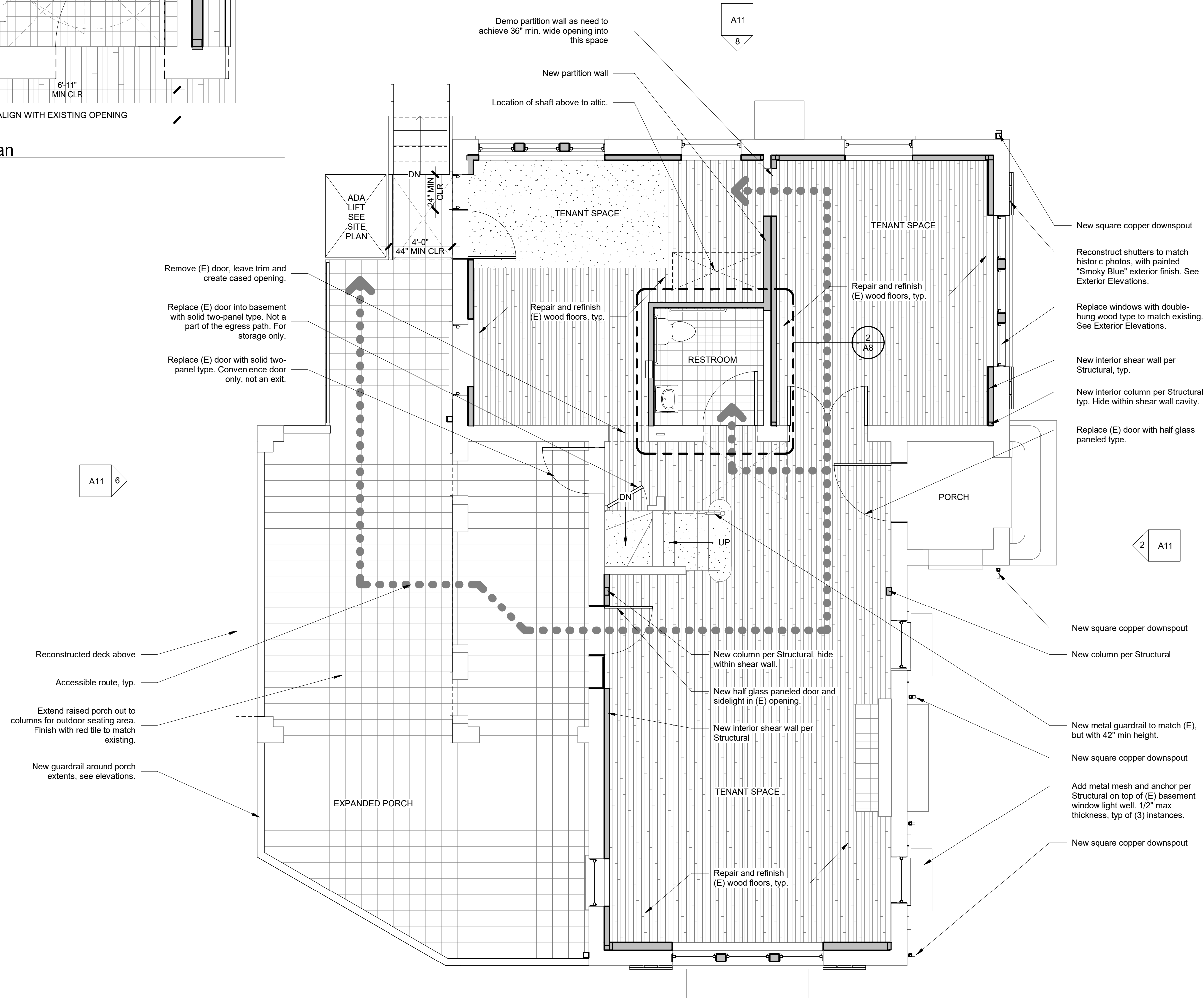
REVISIONS:

PROJECT NUMBER:
2017-34

SHEET NUMBER:
A7



2 Enlarged Restroom Plan
1/2" = 1'-0"



1 First Floor Plan - Proposed
1/4" = 1'-0"

General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see detail
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A701.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: projectors, projector screens, tackboard and dry erase boards. See detail
- 9) Doors into wheelchair accessible water closet stalls shall be self-closing, typ. u.n.o.
- 10) All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.

PH

PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100
Clovis, CA 93612-1185
T: 559.297.7900 F: 559.297.7950
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

PROJECT:
Reza Assemi
Craycroft Change of Occupancy
6545 North Palm Ave, Fresno, CA 93704
SHEET: First Floor Plan - Proposed

DRAWING SET INFORMATION:

10.15.2021 DP Submittal

REVISIONS:

NO.	DESCRIPTION

PROJECT NUMBER:

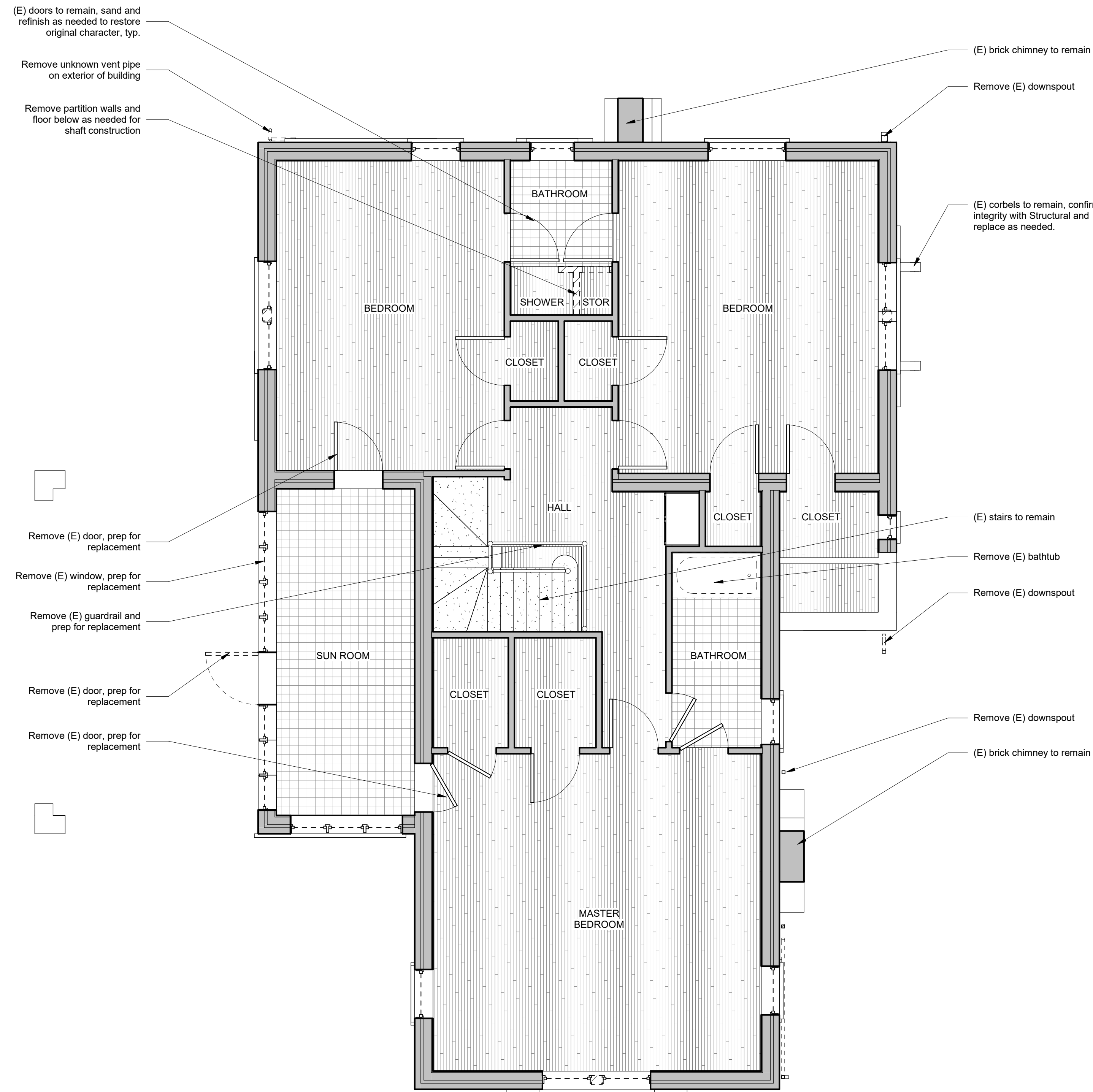
2017-34

SHEET NUMBER:

A8

General Notes

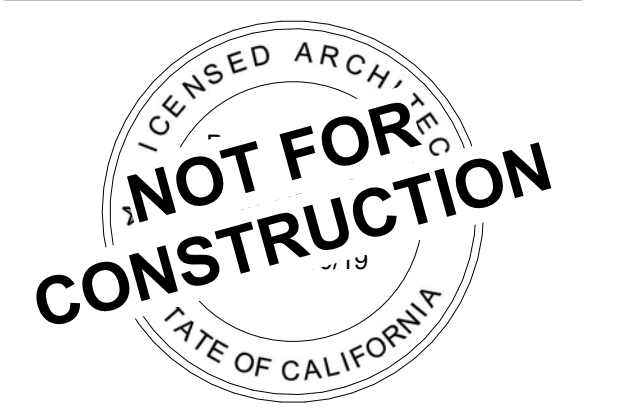
- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see detail
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A701.
- 8) Provide backing as needed for all CFCI/OFCl items, including but not limited to: projectors, projector screens, tackboard and dry erase boards. See detail
- 9) Doors into wheelchair accessible water closet stalls shall be self-closing, typ. u.n.o.
- 10) All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.



PH

PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100
Clovis, CA 93612-1185
T: 559.297.7900 F: 559.297.7950
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

PROJECT:
Reza Assemi
Craycroft Change of Occupancy
 6545 North Palm Ave, Fresno, CA 93704
SHEET: Second Floor Plan - Existing

DRAWING SET INFORMATION:

10.15.2021	DP Submittal
------------	--------------

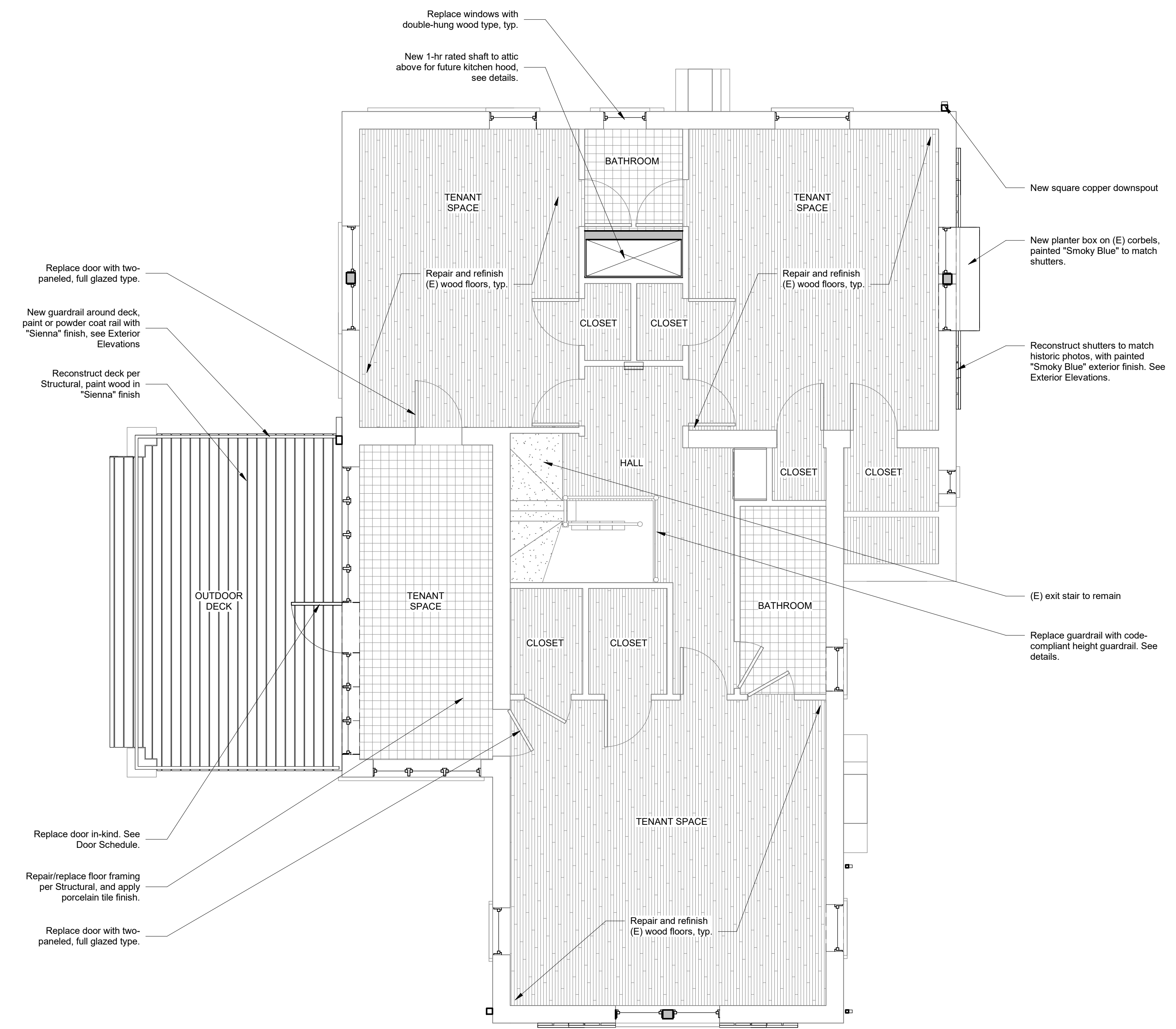
REVISIONS:

PROJECT NUMBER:
2017-34

SHEET NUMBER:
A9

General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" "MIN CLR" or "ABSOLUTE" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see detail
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A701.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: projectors, projector screens, tackboard and dry erase boards. See detail
- 9) Doors into wheelchair accessible water closet stalls shall be self-closing, typ. u.n.o.
- 10) All new partition walls shall be continuous to underside of roof deck, typ. u.n.o.





PAUL HALAJIAN ARCHITECTS
 389 Clovis Ave, Suite 100
 Clovis, CA 93612-1185
 T: 559.297.7900 F: 559.297.7950
 www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

PROJECT:
Reza Assemi
Craycroft Change of Occupancy
 6545 North Palm Ave, Fresno, CA 93704
SHEET: Second Floor Plan - Proposed

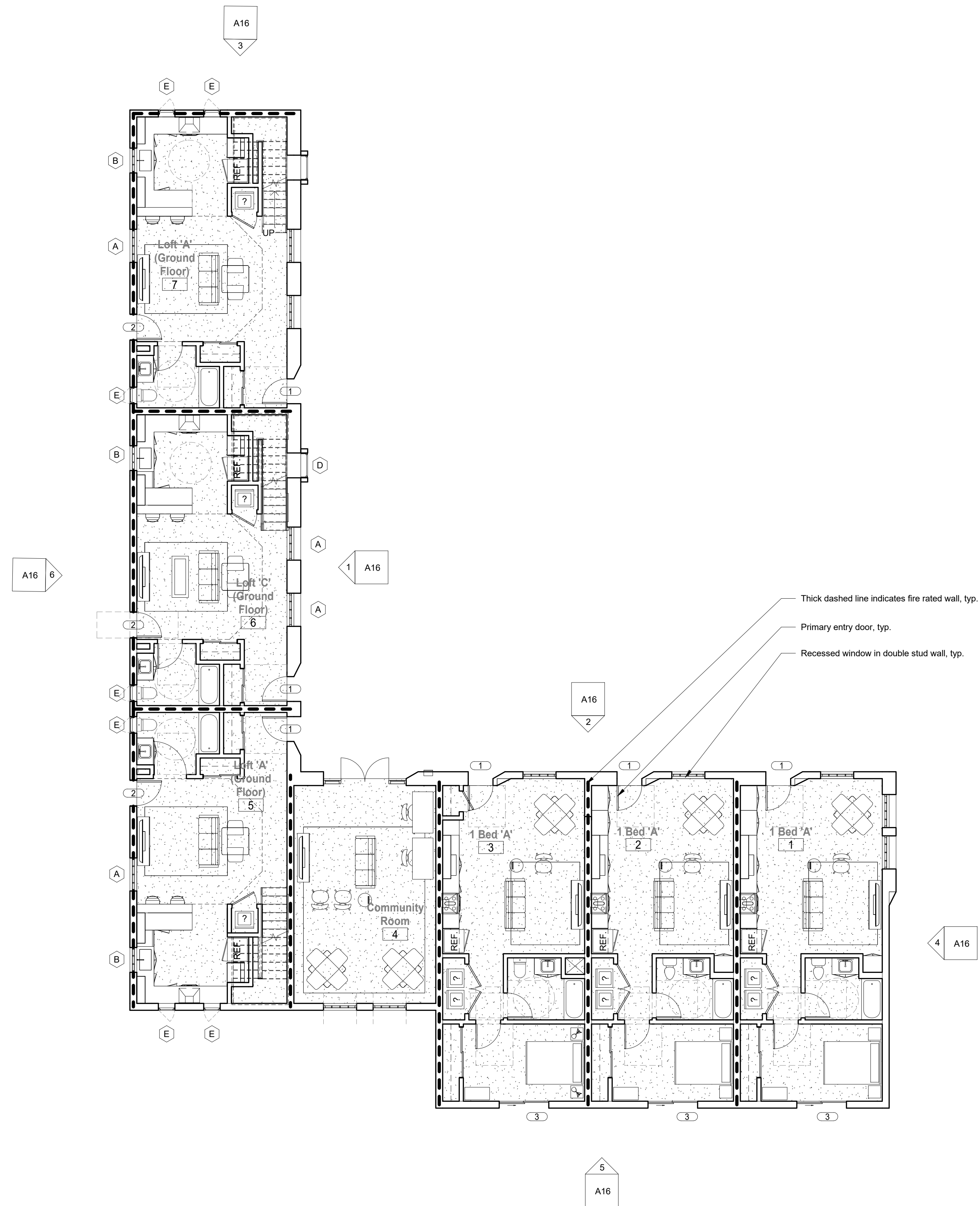
DRAWING SET INFORMATION:

10.15.2021	DP Submittal
REVISIONS:	

PROJECT NUMBER:
2017-34

SHEET NUMBER:
A10

1 First Floor Keynote Plan
1/8" = 1'-0"



General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" or "MIN CLR" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see details and
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A700-A -- A705-A.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: wall-mounted TV's, grab bars, and cabinets. See detail
- 9) All walls shall be continuous to underside of roof deck, typ. u.n.o.
- 10) For unit plan info see sheets A206-A - A207-A.
- 11) See Electrical for pull station locations, typ. u.n.o.
- 12) For units showing accessible showers, see detail 5 / A910-A
- 13) All units are required to be compliant with either CBC 11A (adaptable) or CBC 11B (accessible), typ.
- 14) At accessible units, 1 window in living/bedroom areas to have latch located within prescribed reach (max. 48" A.F.F.). See Window Schedule on A705-A.
- 15) For more information on fire and sound rated walls, see detail

Legend

- Dashed line indicates fire rating, see A970 for penetration details.
- Thick dash/dot/dot line indicates interior curb, see Structural and
- Dashed line indicates clear space for accessibility, see details, typ.
- Dashed line indicates soffit/wall/roof above, typ.
- ⬠ Window Tag, see A7xx W-1 Sign Tag, see A9xx
- ⬠ Door Tag, see A7xx Room name Room Tag
- ⬠ Keynote Tag, see Legend ⬠ Section, see A4xx
- ⬠ Interior Elevation, see A8xx ⬠ Exterior Elevation, see A3xx

PH

PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100
Clovis, CA 93612-1185
T: 559.297.7900 F: 559.297.7950
www.halajianarch.com

LICENSED ARCHITECT
NOT FOR CONSTRUCTION
STATE OF CALIFORNIA

PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

PROJECT:
Reza Assemi
Craycroft Housing
 6545 North Palm Avenue, Fresno, CA 93704
SHEET: First Floor Plan - Keynote

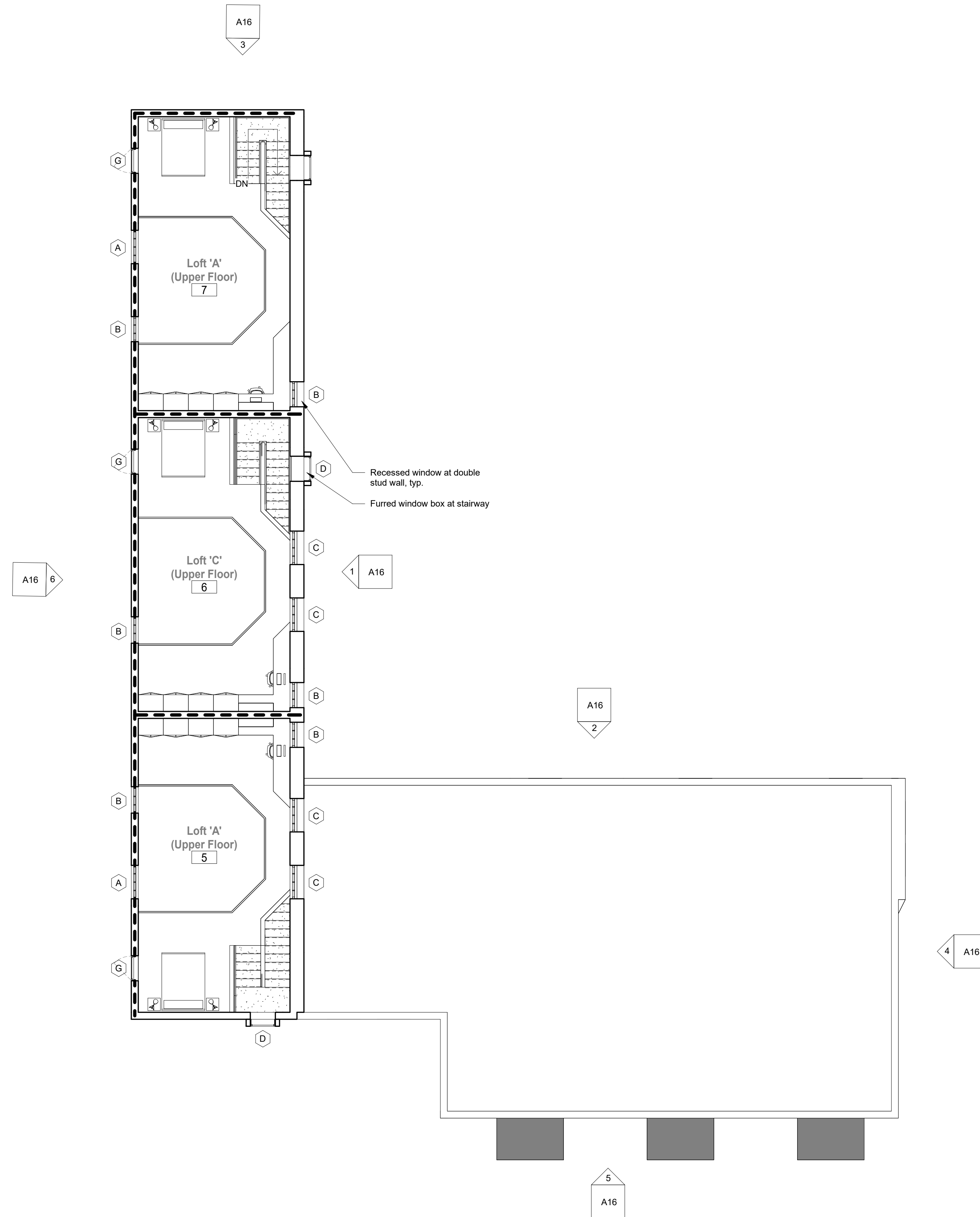
DRAWING SET INFORMATION:

12.02.2021	DP Submittal
------------	--------------

REVISIONS:

PROJECT NUMBER:
2017-34

SHEET NUMBER:
A12



General Notes

- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" or "MIN CLR" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see details and
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A700-A -- A705-A.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: wall-mounted TV's, grab bars, and cabinets. See detail
- 9) All walls shall be continuous to underside of roof deck, typ. u.n.o.
- 10) For unit plan info see sheets A206-A - A207-A.
- 11) See Electrical for pull station locations, typ. u.n.o.
- 12) For units showing accessible showers, see detail 5 / A910-A
- 13) All units are required to be compliant with either CBC 11A (adaptable) or CBC 11B (accessible), typ.
- 14) At accessible units, 1 window in living/bedroom areas to have latch located within prescribed reach (max. 48" A.F.F.). See Window Schedule on A705-A.
- 15) For more information on fire and sound rated walls, see detail

Legend

- Dashed line indicates fire rating, see A970 for penetration details.
- Thick dash/dot/dot line indicates interior curb, see Structural and
- Dashed line indicates clear space for accessibility, see details, typ.
- Dashed line indicates soffit/wall/roof above, typ.
- ⬡ Window Tag, see A7xx W-1 Sign Tag, see A9xx
- ⬢ Door Tag, see A7xx Room name Room Tag
- ⬢ Keynote Tag, see Legend Room name Section, see A4xx
- ⬢ Interior Elevation, see A8xx Axxx
- ⬢ Exterior Elevation, see A3xx

PH

PAUL HALAJIAN ARCHITECTS
389 Clovis Ave, Suite 100
Clovis, CA 93612-1185
T: 559.297.7900 F: 559.297.7950
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

PROJECT:
Reza Assemi
Craycroft Housing
 6545 North Palm Avenue, Fresno, CA 93704
SHEET: Second Floor Plan - Keynote

DRAWING SET INFORMATION:

12.02.2021	DP Submittal
------------	--------------

REVISIONS:

PROJECT NUMBER:
2017-34

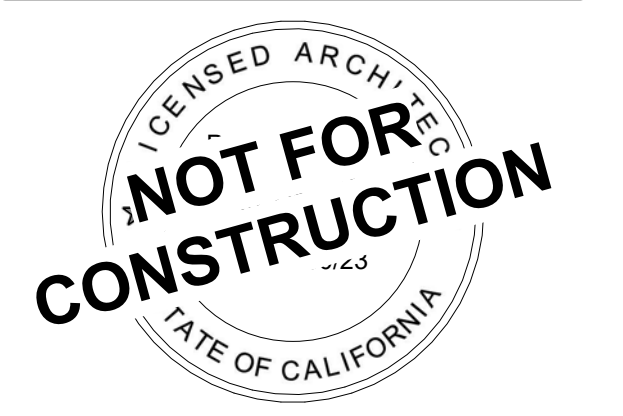
SHEET NUMBER:
A13

General Notes

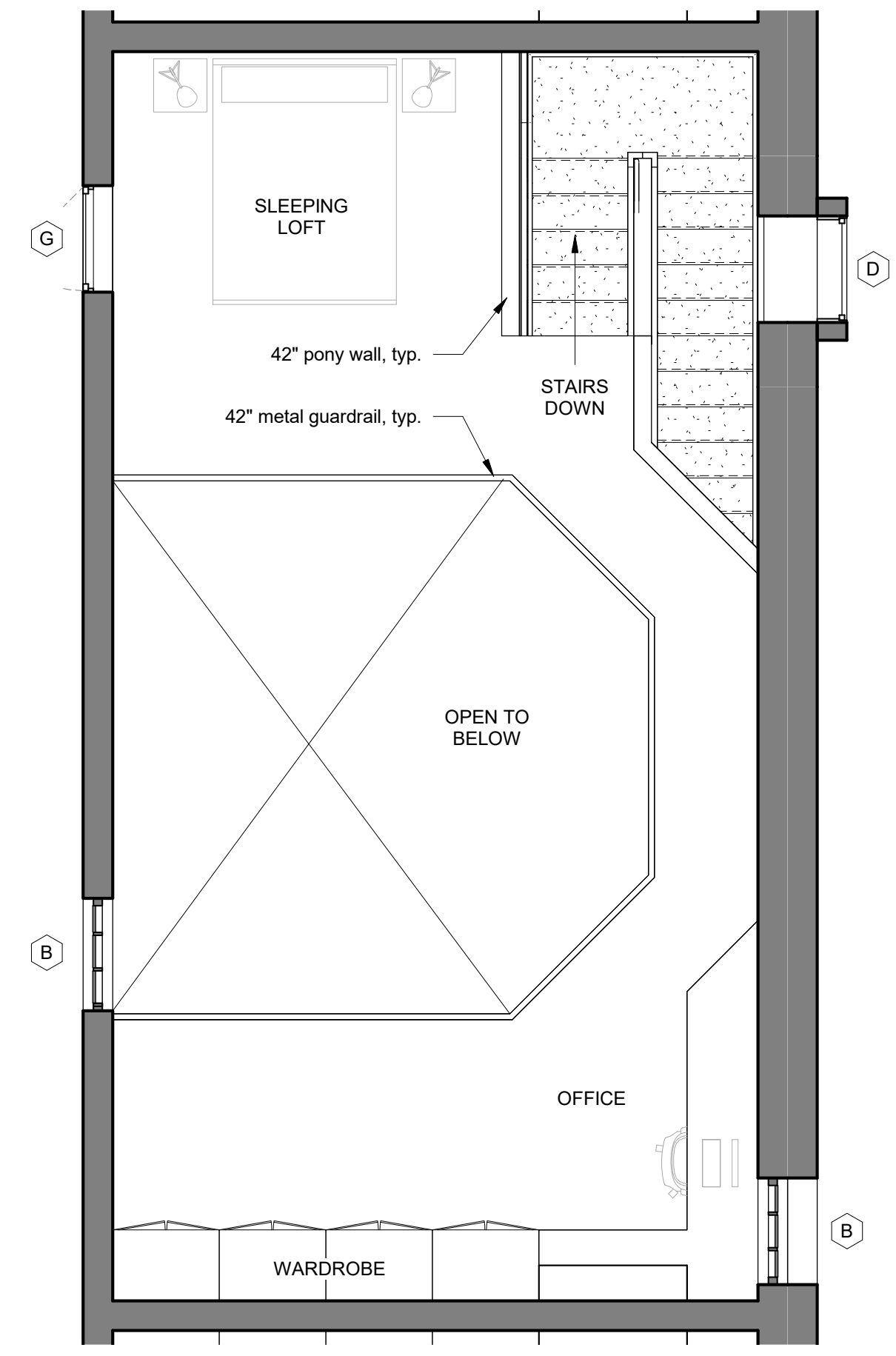
- 1) Keynotes apply to this sheet only.
- 2) Dimensions with "MIN" "CLR" or "MIN CLR" are measured from face of wall finish.
- 3) For typical reach ranges, see detail
- 4) For door clearances, see details and
- 5) Room numbering shown here is not to be used for room signage. Confirm with Owner prior to fabrication and installation.
- 6) For fixture and toilet accessories mounting and location, see Interior Elevations and
- 7) For Finish, Door and Window information, see A700-A -- A705-A.
- 8) Provide backing as needed for all CFCI/OFCI items, including but not limited to: wall-mounted TV's, grab bars, and cabinets. See detail
- 9) All walls shall be continuous to underside of roof deck, typ. u.n.o.
- 10) For unit plan info see sheets A206-A - A207-A.
- 11) See Electrical for pull station locations, typ. u.n.o.
- 12) For units showing accessible showers, see detail 5 / A910-A
- 13) All units are required to be compliant with either CBC 11A (adaptable) or CBC 11B (accessible), typ.
- 14) At accessible units, 1 window in living/bedroom areas to have latch located within prescribed reach (max. 48" A.F.F.). See Window Schedule on A705-A.
- 15) For more information on fire and sound rated walls, see detail



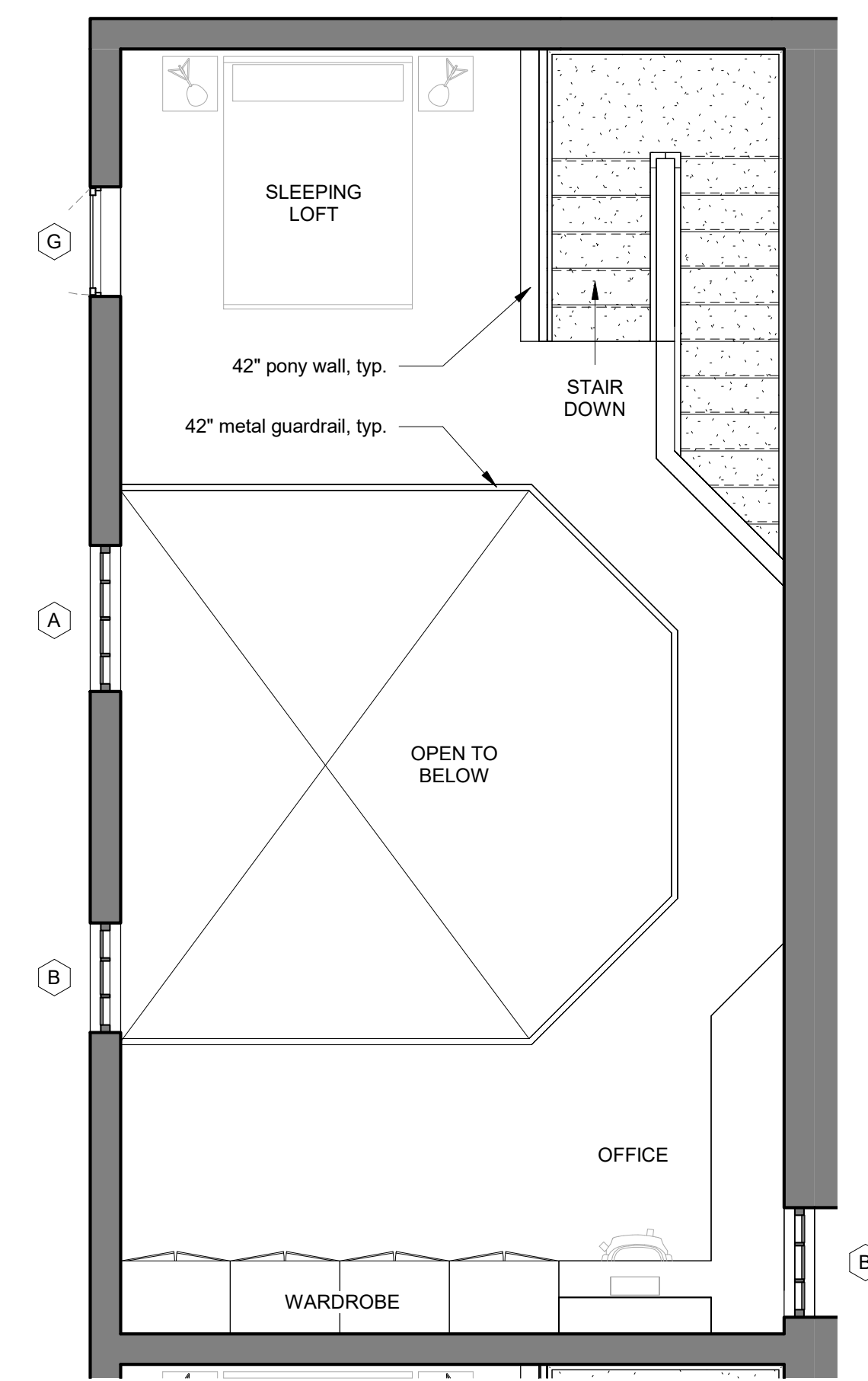
PAUL HALAJIAN ARCHITECTS
 389 Clovis Ave, Suite 100
 Clovis, CA 93612-1185
 T: 559.297.7900 F: 559.297.7950
 www.halajianarch.com



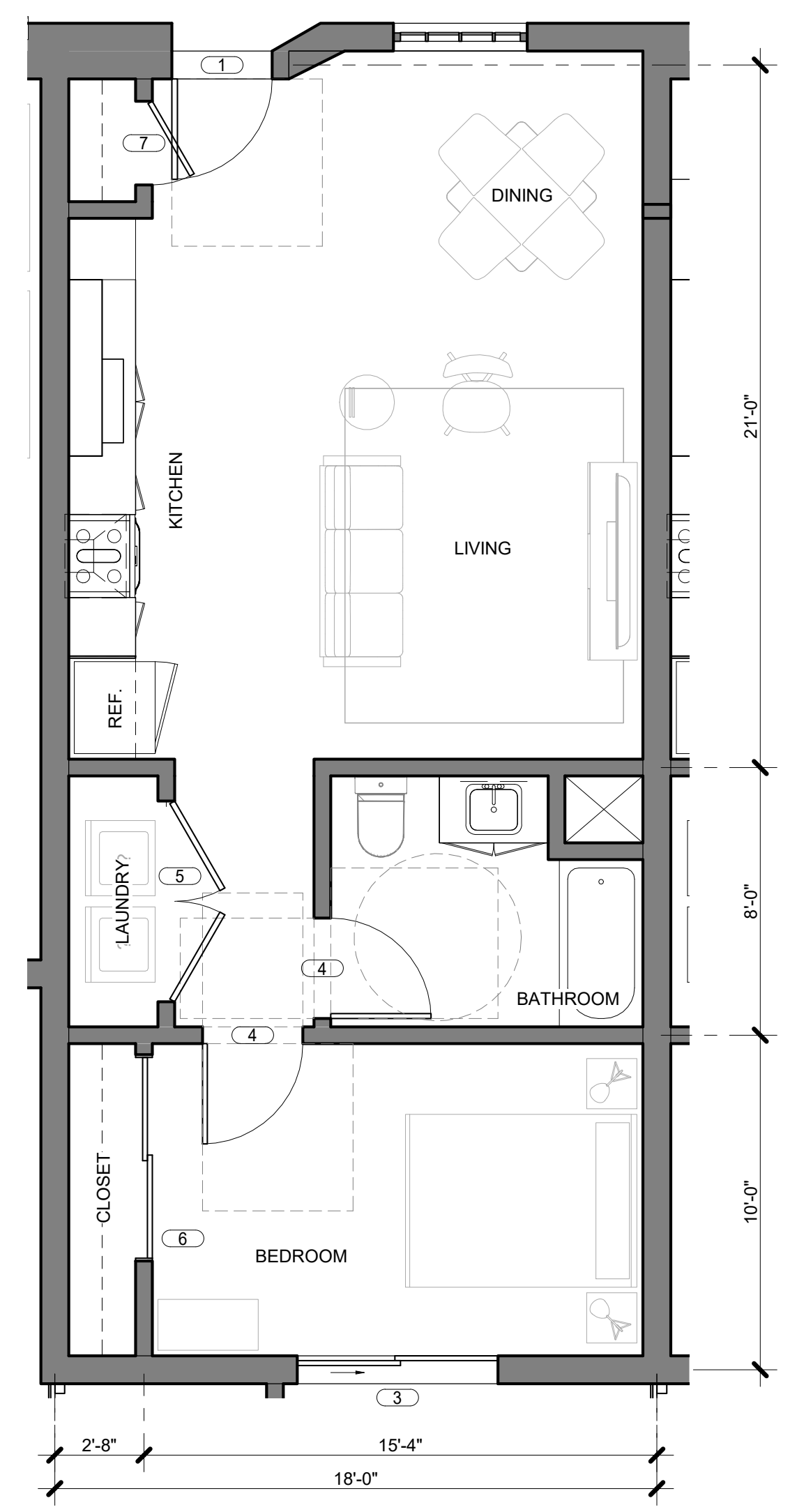
PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.



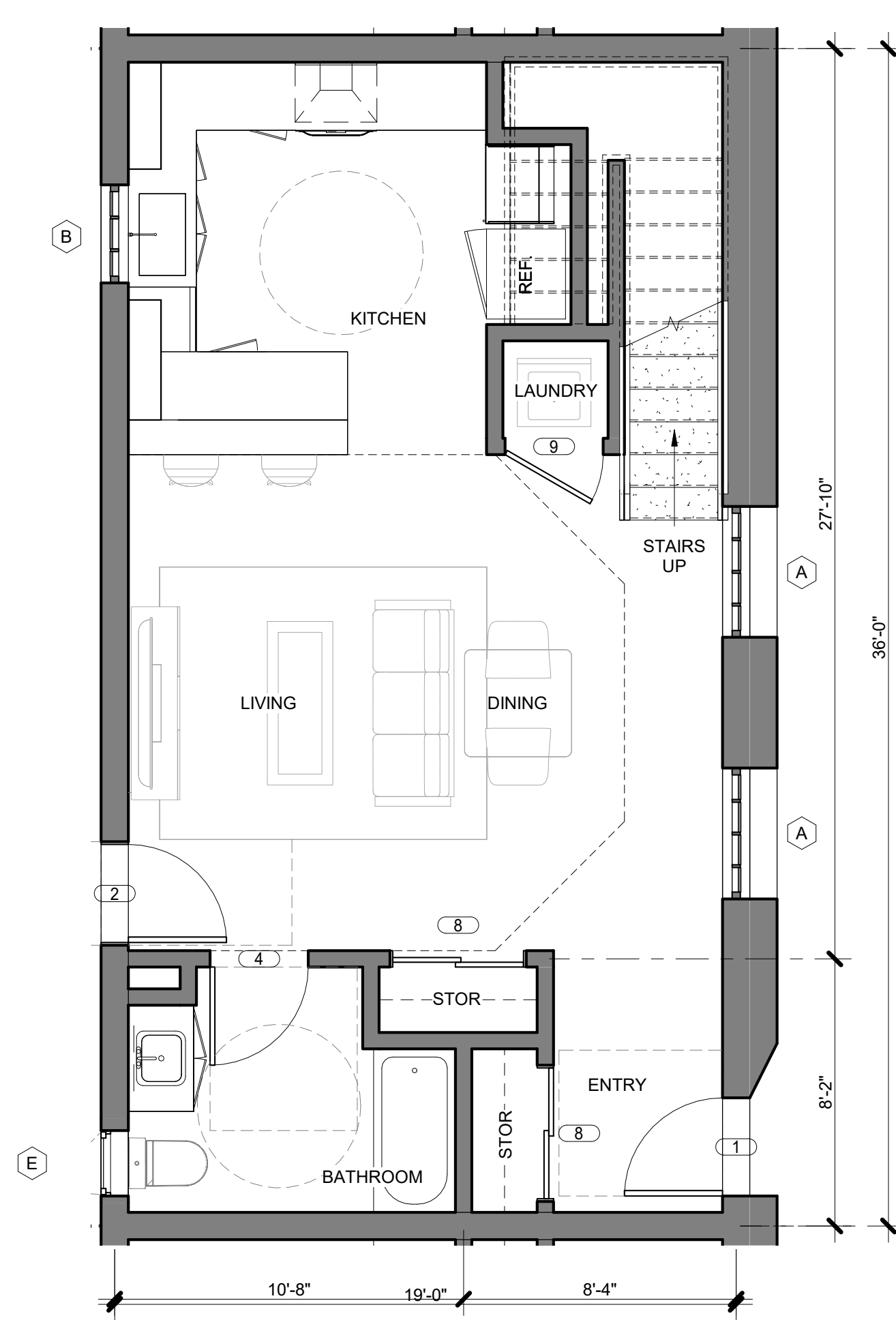
④ Unit Plan - Loft C - Second Floor
 1/4" = 1'-0"



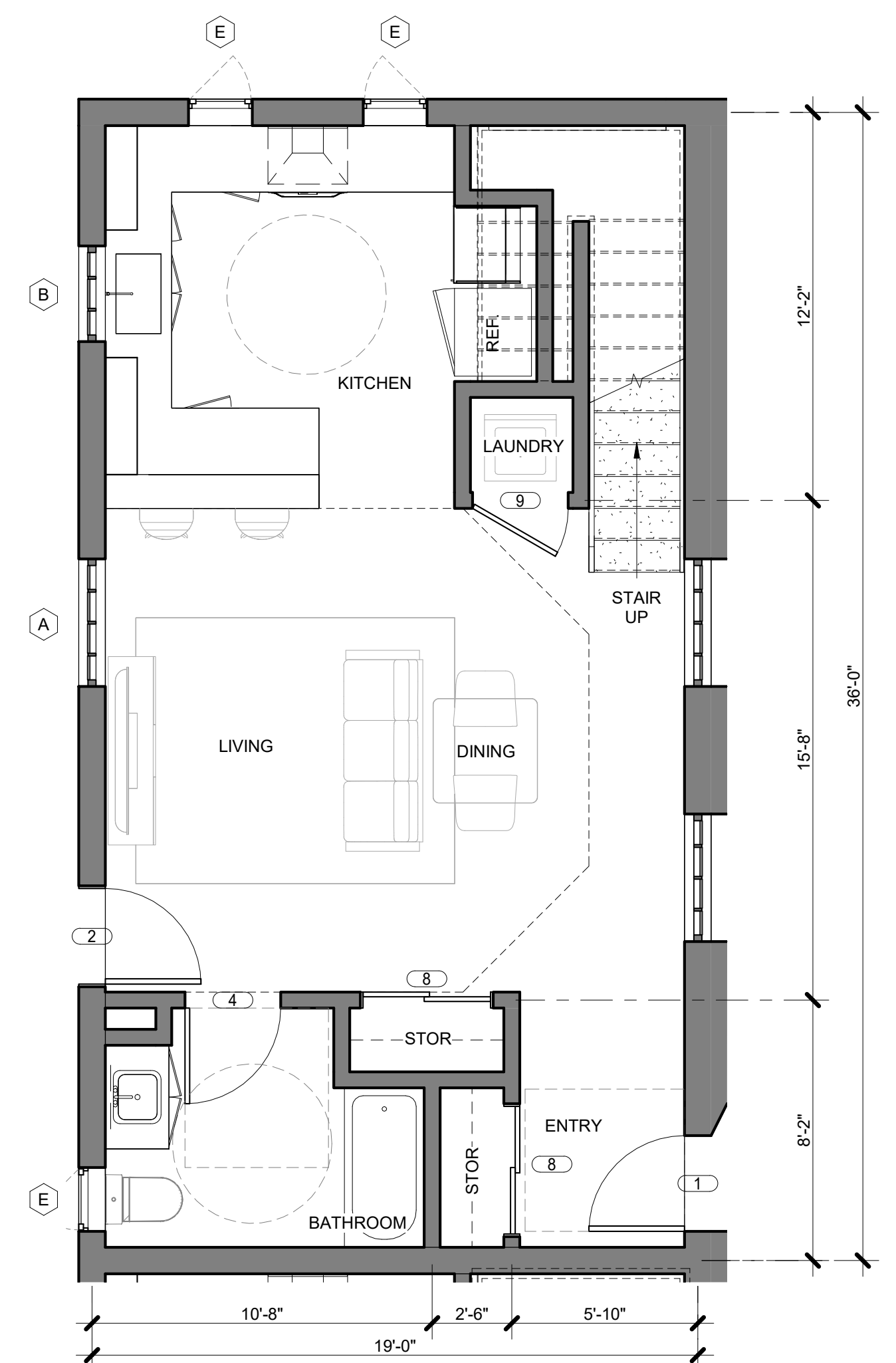
② Unit Plan - Loft A - Second Floor
 1/4" = 1'-0"



⑤ Unit Plan - 1 Bed A
 1/4" = 1'-0"



③ Unit Plan - Loft C - First Floor
 1/4" = 1'-0"



① Unit Plan - Loft A - First Floor
 1/4" = 1'-0"

PROJECT:

Reza Assemi Craycroft Housing
 6545 North Palm Avenue, Fresno, CA 93704

SHEET: Unit Plans

DRAWING SET INFORMATION:

12.02.2021	DP Submittal
REVISIONS:	

PROJECT NUMBER:
 2017-34

SHEET NUMBER:
 A14