

Exhibit H
Presentation

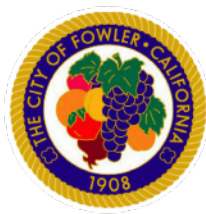


City of Fresno

Housing Element Update

Planning Commission

December 4, 2024



F R E S N O C O U N C I L O F G O V E R N M E N T S

Agenda



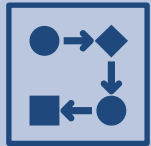
Housing Element Overview



Sites Inventory



Action Plan



HCD Submittal and Revisions Process



Next Steps and Staff Recommendation

Housing Element Overview



About the Housing Element



8-year housing plan required by State Law



Considers housing needs of all economic segments of the community



Must show adequate land for housing, with diverse zoning



Must include goals, objectives, and meaningful actions to support safe, decent, and affordable housing for all



Must be certified by the State for compliance with state law

Housing Element Contents and Organization

Regional Housing Element

- Introduction
- Public Outreach & Engagement
- Housing Needs Assessment
- Regional Assessment of Fair Housing
- Opportunities for Residential Development
- Housing Constraints
- Goals & Policies

Local Appendix: 1E

- 1E-0: Summary of Needs and Conditions
- 1E-1: Action Plan
- 1E-2: Sites Inventory
- 1E-3: Local Assessment of Fair Housing
- 1E-4: Constraints
- 1E-5: Review of Past Accomplishments
- 1E-6: Public Outreach & Engagement
- 1E-7: Detailed Sites Inventory Tables

Community Engagement

- **2** Regional Focus Groups (October/November 2022)
- **10** Stakeholder Consultations (Summer/Fall 2022)
- **21** Community and Stakeholder Workshops (August 2022-August 2023)
 - Approx. **420 participants**
- **4** Climate Adaptation/ Environmental Justice Workshops (April-June 2024)
- **3** Discussions with Affordable Housing Partners (October 2024)



Sites Inventory



How is the RHNA Determined

State Role

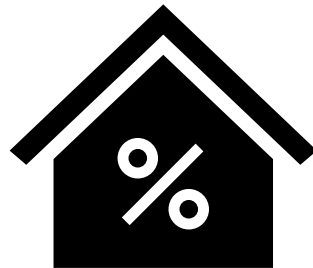
The State projects future housing needs at various income levels and allocates units to COGs Statewide



Regional Role

The COG develops a methodology to evaluate factors for distribution of units to each jurisdiction; methodology approved by HCD

FCOG RHNA = 58,298 units



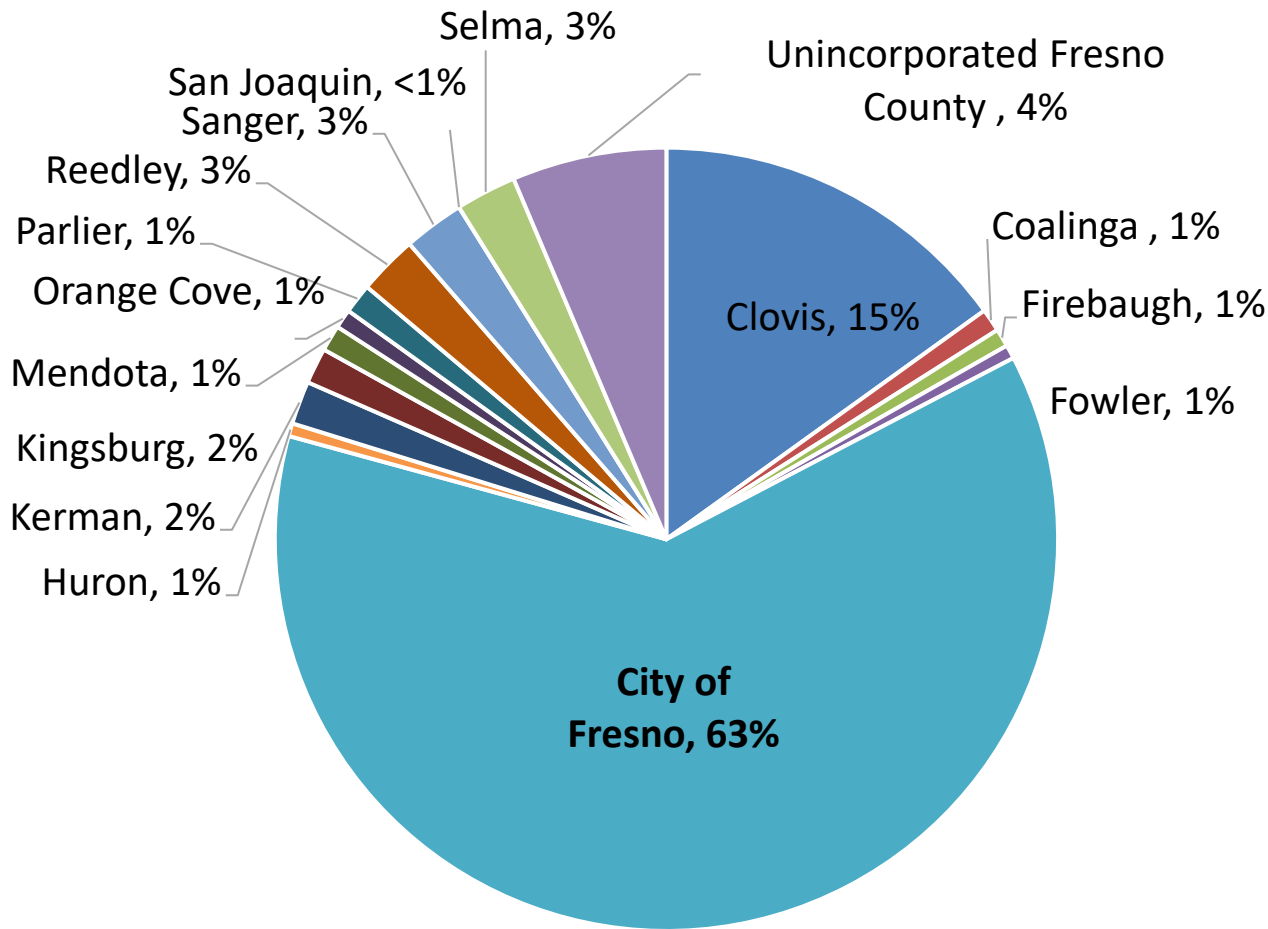
Local Role

Cities and counties are allocated units. They must then find ways to accommodate – enough land at appropriate densities

**City of Fresno
RHNA = 36,866 units**



Fresno COG RHNA



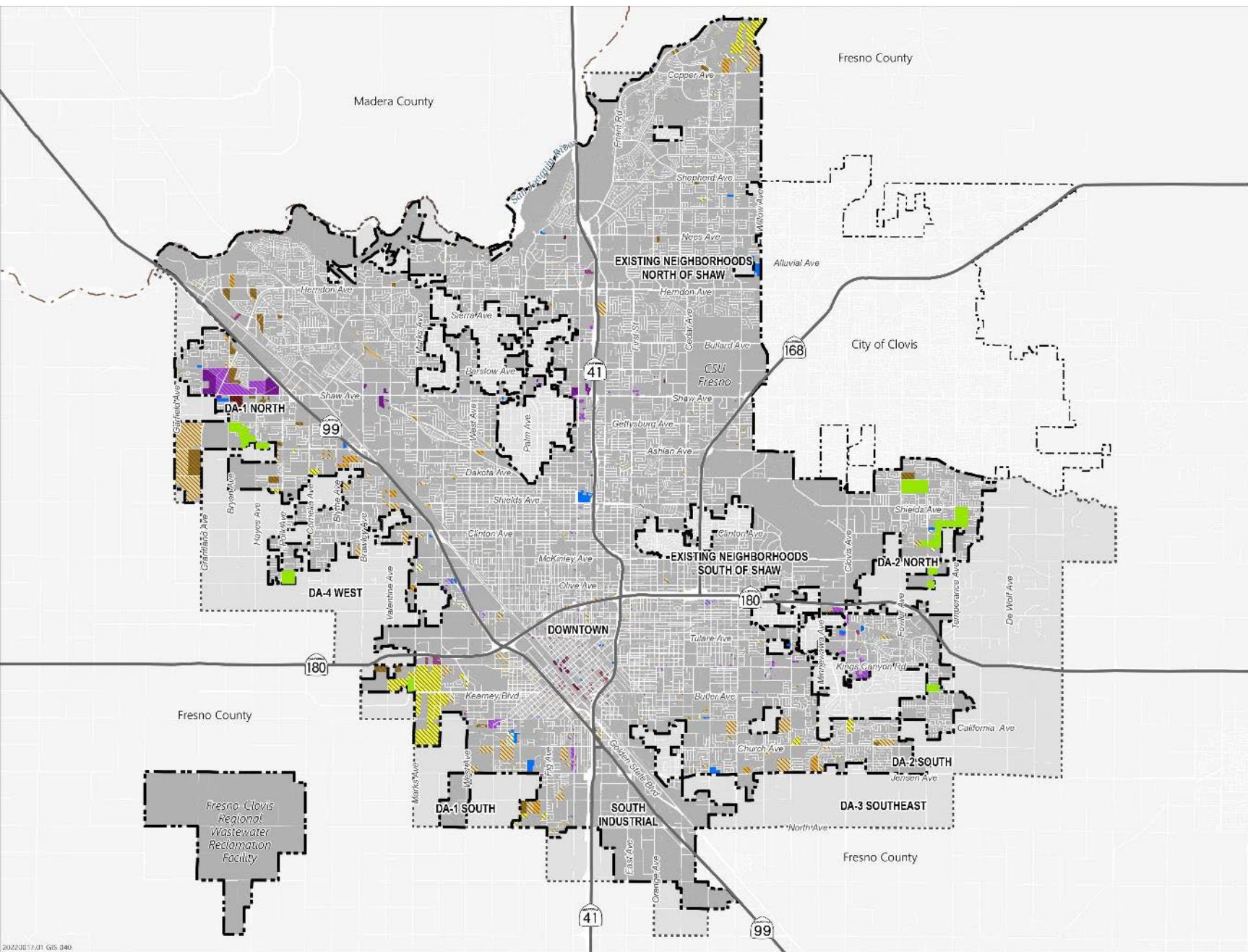
Jurisdiction	RHNA Allocation	RHNA Allocation Percentage
Clovis	8,977	15%
Coalinga	566	1%
Firebaugh	443	1%
Fowler	339	1%
City of Fresno	36,866	63%
Huron	319	1%
Kerman	1,063	2%
Kingsburg	882	2%
Mendota	642	1%
Orange Cove	469	1%
Parlier	733	1%
Reedley	1,463	3%
Sanger	1,494	3%
San Joaquin	200	<1%
Selma	1,492	3%
Unincorporated Fresno County	2,350	4%

Fresno RHNA by Income Level

Income Level	Income Range*	2023-2031 RHNA (housing units)	Percent of Total
Very Low Income (<50% of AMI)	≤\$38,950	9,440	26%
Low Income (51-80% of AMI)	\$38,951- \$62,300	5,884	16%
Moderate Income (81-120% of AMI)	\$62,301 - \$80,300	5,638	15%
Above Moderate Income (>120% of AMI)	>\$80,300	15,904	43%
TOTAL		36,866	100%

*Fresno County Area Median Income (AMI) = \$80,300**

**Based on 2022 HCD Income Limits for a four-person household in Fresno County*



- City Limits
- Sphere of Influence
- Vacant and Underutilized Sites**
- Vacant Land with Final Subdivision Maps Under Construction
- Planned or Approved Projects
- ▨ Non-Vacant Sites

Sites by Zoning District and Affordability

Lower-Income Sites

- DTC - Downtown Core
- DTG - Downtown General
- DTN - Downtown Neighborhood
- ▨ DTN-AH - Downtown Neighborhood Apartment House Overlay
- RM-2 - Residential Multi-Family, Urban Neighborhood
- RM-3 - Residential Multi-Family, High Density
- NMX - Neighborhood Mixed Use
- CMX - Corridor/Center Mixed Use
- RMX - Regional Mixed Use
- CMS - Commercial Main Street
- CR - Commercial Regional
- O - Office

Moderate-Income Sites

- RM-MH - Mobile Home Park
- RM-1 - Residential Multi-Family, Medium High Density

Above Moderate-Income Sites

- RE - Residential Estate
- RS-1 - Residential Single-Family, Extremely Low Density
- RS-2 - Residential Single-Family, Very Low Density
- RS-3 - Residential Single-Family, Low Density
- RS-4 - Residential Single-Family, Medium Low Density
- RS-5 - Residential Single-Family, Medium Density



20220017.01 GIS 040

RHNA Summary by Income Level

	Very Low- Income	Low- Income	Moderate Income	Above- Moderate	Total Capacity
2023-2031 RHNA	9,440	5,884	5,638	15,904	36,866
Planned or Approved Projects	292 ¹	317	1,041	1,107	2,787
Vacant Land with Final Subdivision Maps	0	0	0	967	967
Vacant Sites		11,111	3,096	8,025	22,232
Underutilized Sites		7,035	2,488	8,127	17,650
Accessory Dwelling Units		28	38	28	94
Total Capacity		18,783	6,664	18,254	43,700
<i>Surplus</i>		<i>3,459</i>	<i>1,026</i>	<i>2,350</i>	<i>6,834</i>

¹ Includes extremely low- and very low-income units.

Action Plan



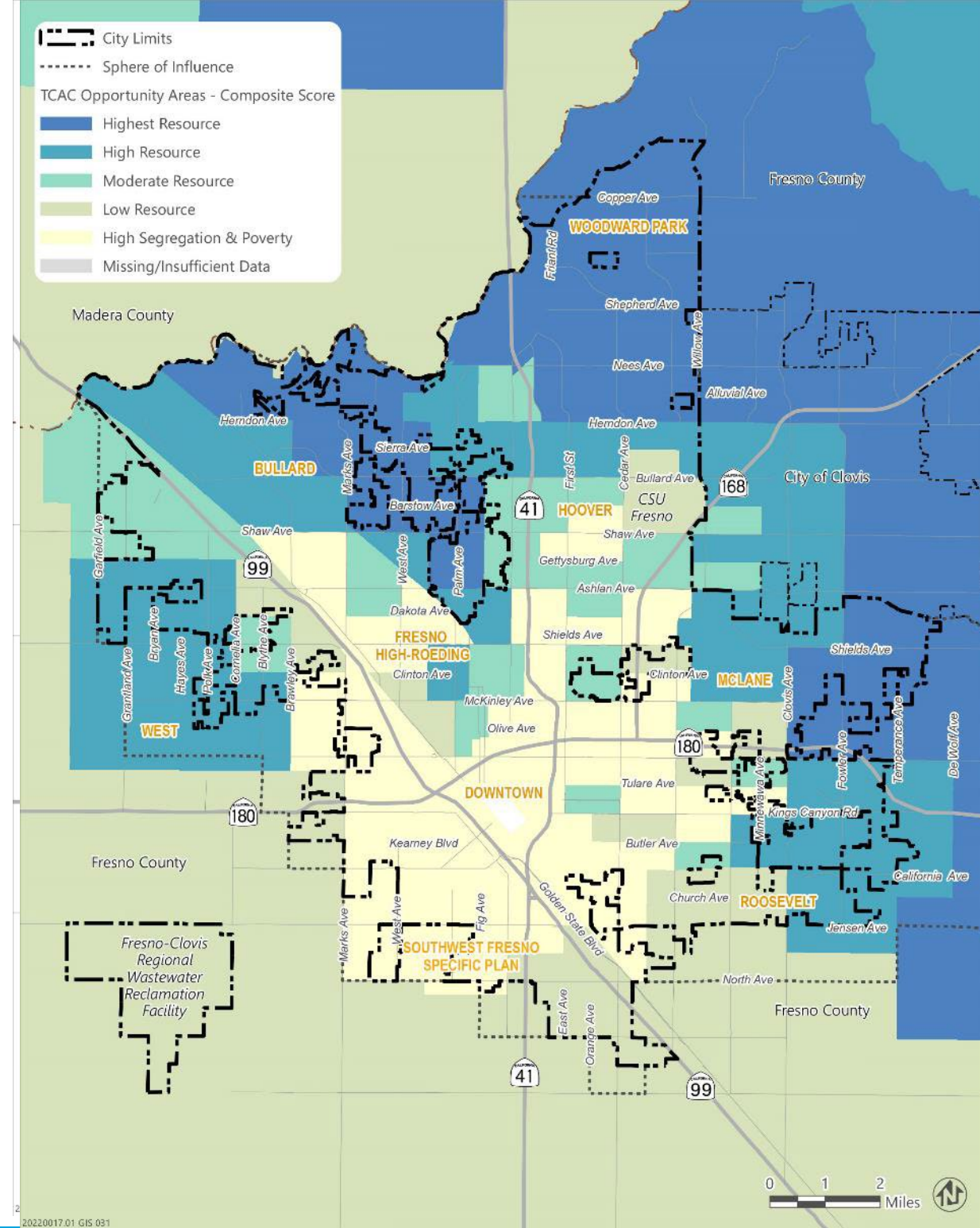
2023-2031 Housing Element Goals



AFFH Themes of the Action Plan

AB 686 mandates the City to affirmatively further fair housing (AFFH)

- Increasing opportunities for variety of housing types in high resource areas
 - Rezone land for multifamily
 - Geographic targeting of financial resources for affordable housing
- Place based revitalization in low resource areas and concentrated areas of poverty
 - Direct capital improvements and grant funding to improve quality of life (e.g., parks, community centers, pedestrian infrastructure)



Goal 1- New Housing Development

Program 1 – Maintain Adequate Sites

Program 2 – Variety of Housing Opportunities in High Resource Areas

Program 3 – Encourage and Facilitate Accessory Dwelling Units and Small Homes

Program 4 – Streamline Development Review Process

Program 5 – Large and Small Lot Development

Program 6 – Objective Design Standards

Program 7 – Adaptive Reuse

Program 8 – List of Local Labor Unions and Apprenticeship Programs

Program 9 – Use of Sites in Previous Housing Elements

Program 10 – Annual Reporting Program

Key Implementation Programs

■ Program 2 – Variety of Housing Opportunities in High Resource Areas

- Provide opportunities for higher density residential in all areas of the city and reduce concentrations of poverty. Includes:
 - Allowing housing as a permitted use on parcels zoned Office,
 - Allowing ministerial approval of office-to-residential conversions,
 - Allowing ministerial approval of housing and/or density bonuses for projects near bus stops,
 - Increase allowable density and permitted uses (e.g., multifamily) in single-family districts within ¼ mile of a transit stop of any type.
- Create additional capacity for 2,500 multi-unit lower-income housing units in high and relatively higher resource and income areas.
- Support the development of 400 missing middle housing types (e.g., duplexes, triplexes, fourplexes, SB-9 lot splits) in RS zones.

Key Implementation Programs

■ Program 4 – Streamline Development Review Process

- Develop an SB 330 preliminary application form and SB 35 streamlined approval process by July 2025.
- Review local entitlement and permitting procedures by December 2025 to shorten average processing timelines.
 - Establish a non-discretionary process to approve housing for qualifying developments based on size, type, affordability level, and location.
 - Remove appeal provisions for Development Permits or convert certain housing applications to ministerial if project meets objective standards.

Key Implementation Programs

- **Program 6 – Objective Design Standards**

- Review zoning standards for site development and façade design to ensure standards are clear and objective.
- Begin in January 2025. Develop and adopt objective zoning and design standards by December 2025.

Key Implementation Programs

- **Program 9 – Use of Sites in Previous Housing Elements**
 - Amend the Development Code to permit developments with at least 20 percent affordable lower-income units without discretionary review on any sites identified in the lower-income inventory of the 5th Cycle Housing Element.
 - A proposed project would not be subject to CEQA and would not be appealable.

Goal 2 – Affordable Housing

Program 11 – Incentives for Housing Development

Program 12 – Local Housing Trust Fund

Program 13 – Pursue State and Federal Funding Sources for Housing Development

Program 14 – Partnerships with Affordable Housing Developers

Program 15 – Land Bank

Program 16 – Community Land Trust

Program 17 – Surplus Public Lands

Program 18 – Mixed Income Neighborhood Trust (MINT)

Program 19 – Home Buyer Assistance

Program 20 – Housing Choice Voucher Incentive Program

Program 21 – Advocate for Repeal of Article 34

Key Implementation Programs

■ Program 17 – Surplus Public Lands

- Review all City-owned sites by June 2025 to determine appropriateness for affordable housing and identify if a zone change would be needed.
- Develop disposition and disposal strategy in 2026. Initiate rezoning of City-owned sites in 2026 and complete rezoning in 2027.
- Publish a Notice of Availability for at least 15 percent of City surplus sites annually and complete disposition within one year of publication.
- Complete entitlements and issue building permits within one year of disposition.
- Evaluate progress in 2029 toward achieving the objective and if necessary to maintain adequate sites to accommodate the RHNA, identify and/or rezone additional sites by 2030.

Goal 3 – Housing and Neighborhood Conservation

Program 22 - Housing Rehabilitation

Program 23 - Comprehensive Code Enforcement

Goal 4 – Special Needs Housing

Program 24 – Special Needs Housing

Program 25 - Development Code Amendments for Compliance with State Law and to Reduce Barriers to Housing Development

Key Implementation Programs

- **Program 25 – Development Code Amendments for Compliance with State Law and to Reduce Barriers to Housing Development**
- Amend the Development Code to address the following development standards and barriers to housing opportunities:
 - Density Bonus
 - Accessory Dwelling Units
 - Parking Requirements
 - Emergency Shelters
 - Low-Barrier Navigation Centers
 - Residential Care Facilities
 - Single-Room Occupancy Units
 - Farmworker and Employee Housing
 - Supportive Housing
 - Definition of “Family”
 - Definition of “Tiny Home”
 - Overlay Zone in Transit Rich and Urban Infill Sites
 - Overlay Zones for Workforce Housing
 - Reduce Parking Requirements for Residential Care, General

Goal 5 – Fair and Equal Housing Opportunities

Program 26 – Fair Housing Services

Program 27 – Environmental Justice

Program 28 – Equitable Community Investments

Program 29 – Equitable Engagement

Program 30 – Workforce Development

Goal 6 – Energy Conservation and Sustainable Development

Program 31 – Reduce or Waive Fees for Vehicle Miles Traveled (VMT)

Key Implementation Programs

■ Program 27 – Environmental Justice

- Prepare an EJ Element by June 2026. Policies will address:
 - Pollution exposure and air quality,
 - Access to public facilities,
 - Healthy food access,
 - Safe and sanitary homes, and
 - Promotion of physical activity.
- Monitor the impact of the EJ Element policies in the General Plan by developing a data tracking program to assess program outcomes in disadvantaged communities and analyze data every 5 years to measure progress.

Key Implementation Programs

■ Program 28 – Equitable Community Investments

- Prioritize investments and annually seek grant funding targeting areas of greatest need.
 - New and improved community centers in West and Central Fresno.
 - New and improved parks, plazas, and open space in Southwest Fresno, Chinatown, and Downtown.
 - Pedestrian, bicycle, and streetscape improvements.
 - Expansion of transit services.
 - Water, sewer, stormwater, and other infrastructure improvements.
- Track investments transparently so public can see what and where investments are taking place.
 - Develop online tool showing location, type, value, and status of public infrastructure projects.
 - Publish quarterly report in addition to tracking in the Housing Element Annual Progress Report.

Goal 7– Prevent Displacement and Homelessness

Program 32 – Opportunity to Purchase Act

Program 33 – Mobile Home Parks

Program 34 – Eviction Protection Program

Program 35 – Replacement Units

Program 36 – Homeless Assistance

Program 37 – At-Risk Housing

Key Implementation Programs

■ Program 33 – Mobile Home Parks

- Preserve mobile homes as opportunities for homeownership to individuals and households who might not be able to afford other housing purchase options through
 - Code enforcement,
 - Funding opportunities,
 - Prevention of excessive rent increases,
 - Resident engagement.
- Establish regulations to protect affordable housing on property currently occupied by mobile home parks. If the property is proposed for conversion from a mobile home park, it will be required to redevelop with a number of covenanted affordable units equal to the number of mobile home units lost in the conversion, or 10 percent of new units, whichever is higher.

Key Implementation Programs

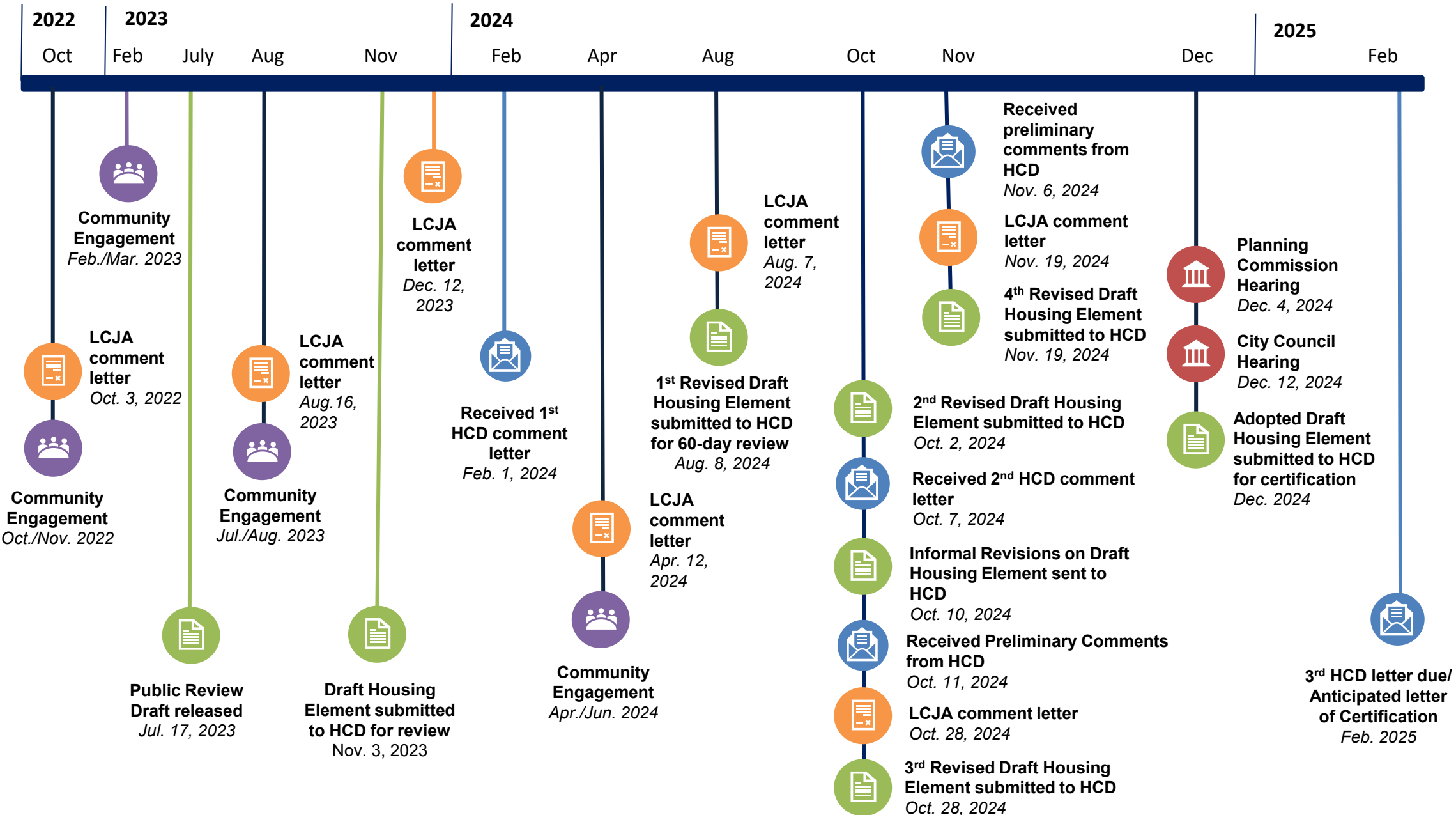
■ Program 36 – Homeless Assistance

- Invest in various housing and emergency shelter types to serve people experiencing homelessness, including but not limited to:
 - Establish a Rapid Rehousing and Case Management pilot program for 100 persons at certified Independent Living Homes (ILH) throughout the City.
 - Establish a reserve fund for operations, support services, maintenance, and repair for various types of shelters and activities.
 - Support the transition of former motels into emergency shelter and supportive housing.
 - Work with local service providers to explore the feasibility of a safe parking program.
 - Provide mobile showers and restrooms for the unhoused.
 - Partner with local school districts and colleges to develop targeted strategies to address the needs of at-risk youth.
- Goal: Maintain inventory of at least 500 shelter beds and create 400 new units of permanent supportive housing.

HCD Submittal & Revisions Process

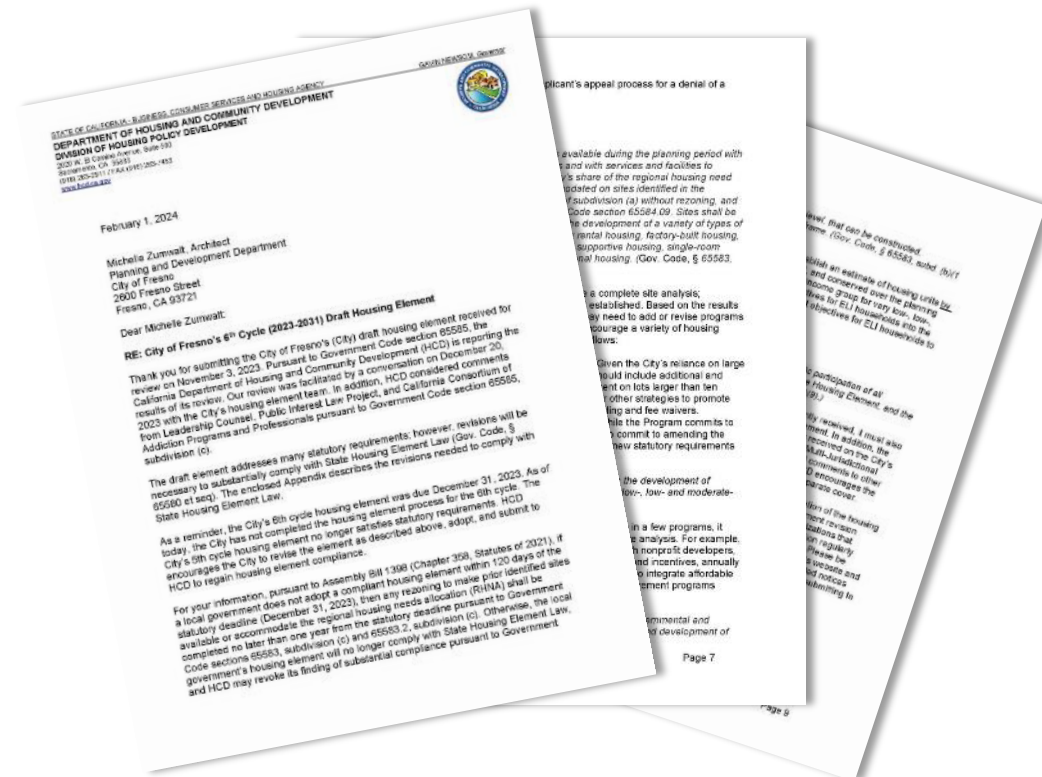


Public Review Draft, HCD Submittal, & Revisions Process



Summary of HCD Comments

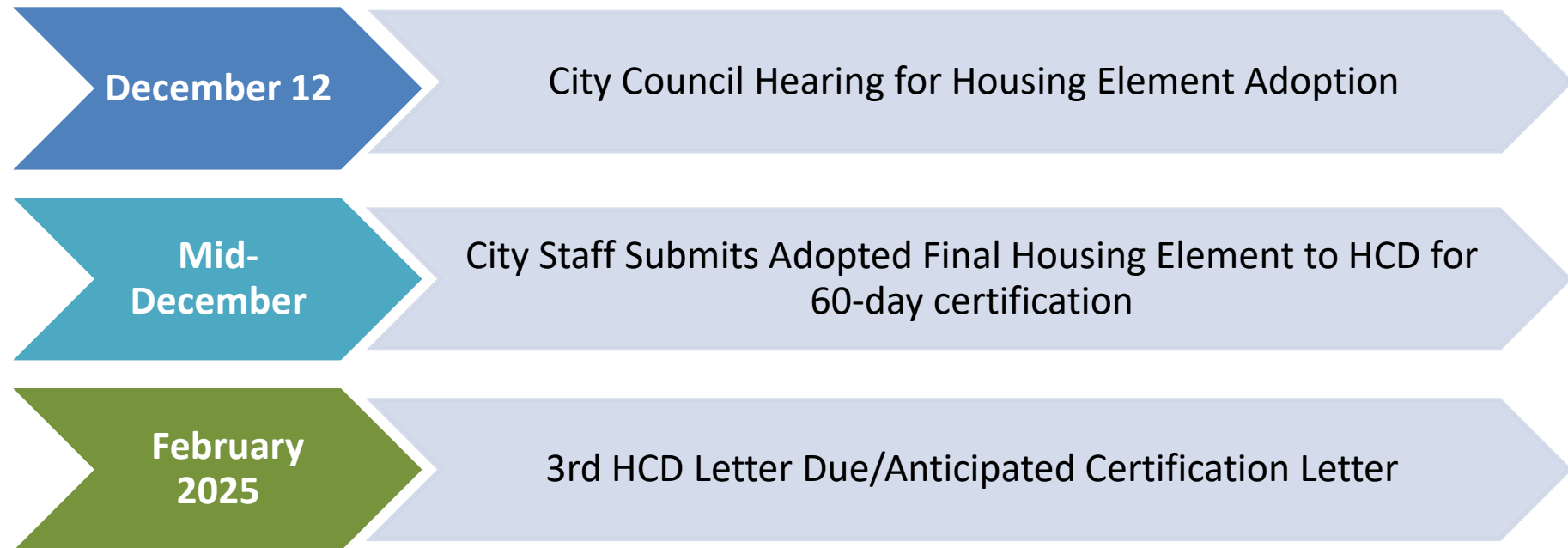
- **Public Comments:** Summarize how public comments were addressed.
- **Fair Housing:** Expand fair housing analysis related to concentrated areas of poverty and concentrated areas of affluence.
- **Sites Inventory:**
 - Provide more justification for nonvacant sites, realistic density assumptions, and assumptions for large sites (>10 acres).
 - Add details on barriers to development and phasing for publicly owned sites and pipeline projects.
- **Action Plan:** Make implementation actions specific and measurable. Add geographic targeting.



Next Steps and Staff Recommendation



What's Next?



Recommendation

Staff recommends that the Planning Commission adopt a resolution recommending that the City Council:

- Find that adoption of the Housing Element is exempt from CEQA
- Approve a general plan amendment for the adoption of the Housing Element, and
- Authorize staff to submit the Housing Element to the California Department of Housing and Community Development (HCD) for certification.

Resources

» **Multijurisdictional Housing Element webpage:**

- www.fresnomjhe.com

» **City of Fresno Housing Element webpage:**

- www.fresno.gov/housingelement

» **State of California Housing and Community Development webpage:**

- <https://www.hcd.ca.gov/planning-and-community-development/housing-elements>

» **City of Fresno Staff Contacts:**

- Michelle.Zumwalt@fresno.gov
- Sophia.Pagoulatos@fresno.gov

Thank you

